

- GENERAL NOTES:**
- THIS MAP IS NOT A CERTIFIED SURVEY. BOUNDARY AND TOPOGRAPHIC INFORMATION PROVIDED BY THE ISAACS GROUP, P.C., THE PHYSICAL AND TOPOGRAPHIC DATA PROVIDED IN THESE DRAWINGS HAS BEEN COMPILED BY THE ISAACS GROUP, P.C. AND THE ENGINEER OF RECORD (ENGINEER) IN SUPPORT OF THIS PROJECT AND CANNOT BE RELIED UPON BY OTHERS. "THE ISAACS GROUP" AND "THE ENGINEER OF RECORD" SHALL DEFINE THE TERM OF "ENGINEER" USED IN THE SUBSEQUENT NOTES.
 - THE EXISTING UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THIS PLAN AND THE UTILITIES SHOWN ON THIS PLAN MAY NOT BE IN THE EXACT LOCATIONS AS SHOWN. THE ISAACS GROUP, P.C. ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN OR ANY OMISSIONS IN SHOWING EXISTING UTILITIES THAT MAY BE WITHIN THE PROJECT AREA. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR UTILIZING A PRIVATE LOCATION AND APPROPRIATE UTILITY COMPANIES TO LOCATE THE SIZE, LOCATION, INVERTS, DEPTHS AND EXISTENCE OF ALL EXISTING UTILITIES (ELECTRICAL, MECHANICAL, WATER, TELEPHONE, FIBER OPTIC, GAS, ETC.) TO MEET HIS/HER SATISFACTION PRIOR TO COMMENCEMENT OF CONSTRUCTION AND EXCAVATION ACTIVITIES. CONFLICTS BETWEEN EXISTING UTILITIES AND PROPOSED EXCAVATION SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.
 - PROVIDE MINIMUM OF 48 HOUR NOTICE TO OWNER OR REPRESENTATIVE PRIOR TO INTERRUPTION OF ANY EXISTING UTILITY, IF BEING UTILIZED.
 - THE CONTRACTOR IS RESPONSIBLE FOR REPAIR AND/OR REPLACEMENT OF ANY UTILITIES DAMAGED DURING CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATION & PROTECTION OF EXISTING ABOVE AND BELOW GROUND UTILITIES AND STRUCTURES. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY IN SERVICE WHICH ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT NO ADDITIONAL EXPENSE TO THE OWNER OR THE ISAACS GROUP, P.C. ANY AND ALL MAINS OR INDIVIDUAL SERVICES PRESENTLY NOT IN SERVICE AND WHICH ARE TO BE REPLACED DURING THE COURSE OF CONSTRUCTION MAY BE REMOVED AND LEGALLY DISPOSED OF IF DAMAGED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING NEAR ALL UNDERGROUND AND OVERHEAD UTILITIES.
 - HANDICAP SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH A.D.A. STANDARDS AT H/C PARKING SPACES SHOWN.
 - ALL DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL NECESSARY PERMITS AND APPROVALS HAVE BEEN OBTAINED PRIOR TO CONSTRUCTION. THESE PERMITS AND APPROVALS MAY INCLUDE BUT ARE NOT LIMITED TO GRADING, DEMOLITION, ZONING, BUILDING, DRIVEWAY, DETENTION, SUBDIVISION, SPECIAL USE, SEWER AND WATER.
 - PROPOSED EXTERIOR ELEVATIONS ALONG BUILDING AND RETAINING WALLS ARE BASED UPON THE SITE GRADING AND DRAINAGE CONSTRAINTS IDENTIFIED BY THE ENGINEER. THE OWNER / DEVELOPER / PROJECT MANAGER IS RESPONSIBLE FOR ENSURING THE ARCHITECT AND STRUCTURAL ENGINEER ARE PROPERLY COORDINATING THE BUILDING EXTERIOR WALL AND RETAINING WALL ELEVATIONS BASED UPON THESE CIVIL DRAWINGS. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.
 - PROPOSED DUMPSTER ENCLOSURES SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY. ALL FINAL STRUCTURAL AND ARCHITECTURAL DETAILS AND SPECIFICATIONS FOR DUMPSTER ENCLOSURES SHALL BE PROVIDED BY OTHERS. THE OWNER / DEVELOPER / PROJECT MANAGER IS RESPONSIBLE FOR ENSURING THE FINAL DUMPSTER ENCLOSURE DETAILS FOR CONSTRUCTION ARE COORDINATED BETWEEN ALL DISCIPLINES. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.
 - PROPOSED LOCATIONS AND SIZES OF UNDERGROUND UTILITIES SHOWN ON THESE DRAWINGS ARE BASED UPON DESIGN CONSTRAINTS IDENTIFIED BY THE ENGINEER AND SHOULD BE VERIFIED BY THE CONTRACTOR TO ENSURE CONSISTENCY WITH THE MECHANICAL, ELECTRICAL, AND PLUMBING PLANS TO ENSURE PROPER COORDINATION AND PLAN CONSISTENCY. ANY DISCREPANCIES BETWEEN THE INFORMATION SHOWN ON THESE DRAWINGS AND DRAWINGS PREPARED BY OTHER DESIGN CONSULTANTS NOT SUBCONTRACTING DIRECTLY WITH THE ISAACS GROUP / ENGINEER SHOULD BE REPORTED IMMEDIATELY UPON DISCOVERY AS NEEDED TO RESOLVE.

ZONING CODE SUMMARY

PROJECT NAME: BELMONT-ABBEE WIMMER CR. RESIDENCE HALLS
 OWNER: BELMONT ABBEE COLLEGE, INC.
 DEVELOPER: UHS-BELMONT, LLC
 PLANS PREPARED BY: THE ISAACS GROUP, PC PHONE #: 704-527-3440
 ZONING: IC-D
 TAX PARCEL #: 217518 JURISDICTION: CITY OF BELMONT, NC
 PROPOSED USE: STUDENT HOUSING
 BELMONT ABBEE CAMPUS: 12,719,520/292.0 SQ. FEET/ACRES NUMBER OF UNITS/SUITES:
 PROJECT AREA: 115,785/2.66 SQ. FEET/ACRES
 GROSS FLOOR AREA: SQ. FEET (PER BUILDING)
 PROPOSED BUILDINGS, CONCRETE AND PAVEMENT: 19,894 / 0.456 SQ. FT/ACRES
 WATERSHED: WS-IV-PA
 REQUIRED SCREENING:
 FRONT: YES REAR: YES
 SIDE (L): YES SIDE (R): YES
 REQUIRED SETBACKS:
 FRONT: 80 FEET REAR: 25 FEET
 SIDE (L): 25 FEET SIDE (R): 25 FEET
 WATERSHED DISTRICT: WS-IV-PA (CONNECTED AREA)
 ALL SIGNAGE WILL BE PERMITTED SEPARATELY.
 BUILDING PERMIT NUMBER AND ADDRESS SHALL BE POSTED ON THE BUILDING.
 NUMBER OF BEDS: 160

HC PARKING CALCULATIONS

8 PER BUILDING = 16 TOTAL
 A) NUMBER OF ACCESSIBLE UNITS: 64 PER BUILDING = 128 TOTAL
 HANDICAPPED PARKING SPACES REQ'D (PER NCBC 1106.2) = 2% OF ACCESSIBLE & TYPE B UNITS
 = 2% * (16+72) = 2.88 ~ 3 SPACES

B) TOTAL NUMBER OF H/C SPACES PROVIDED = 4 SPACES

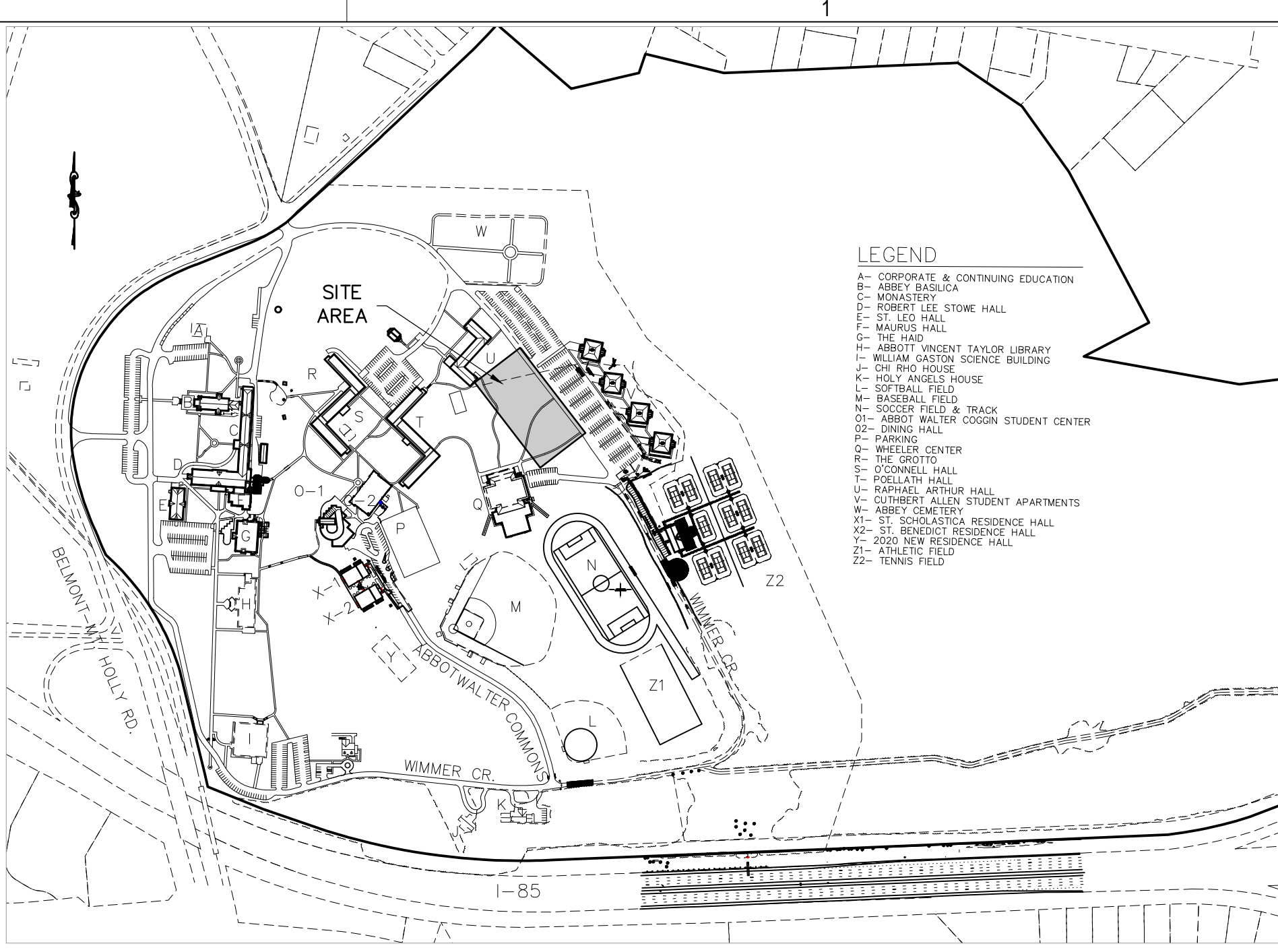
Belmont Abbey College	
Impervious Area Calculations	9/9/2011
Total Area of Campus - 10/13/2006 GIS Calculation	292 Acres
This area is bounded by Betty Dr (east), I-85 (south), Belmont-Mt Holly Road (west) and Belmont City Limits (North)	
Impervious Areas - 10/13/2006 GIS Calculation	
Pavement Surface Area	14.13 Acres
Buildings Area	5.08 Acres
Areas added since 2006 determination	
Leovy Alumni Center	
Sidewalk Area	1,035 S.F.
Building Area	4,380 S.F.
Total Impervious Area	5,145 S.F./0.124 Acres
Chapel	
Areas measured using Gaston County GIS	
Sidewalk Area	250 S.F.
Building Area	1,200 S.F.
Total Impervious Area	1,450 S.F./0.033 Acres
Room at the Inn	
Area provided from storm water design calculations	
Total Impervious Area	47,088 S.F./1.081 Acres
Dining Hall	
Area from site engineer (The Isaacs Group)	
Sidewalk Area	2,451 S.F.
Building Area	13,000 S.F.
Asphalt/Concrete Area	4,040 S.F.
Total Impervious Area	19,491 S.F./0.447 Acres
LeChase Dorms (Across from old Tennis Courts)	
Area from site engineer (The Isaacs Group)	
Sidewalk/Concrete Area	7,872 S.F.
Building Area	11,250 S.F.
Asphalt Area	1,322 S.F.
Total Impervious Area	20,244/0.465 Acres
New Residence Halls (University Housing Solutions)	
Area from site engineer (The Isaacs Group)	
Sidewalk/Concrete Area	7,896 S.F.
Building Area	9,813 S.F.
Asphalt Area	3,229 S.F.
Total Impervious Area	20,538 s.f. / 0.471 Acres
New Residence Halls (Wimmer Circle)	
Area from site engineer (The Isaacs Group)	
Sidewalk/Concrete Area	10,608 S.F.
Building Area	22,549 S.F.
Asphalt Area	7,586 S.F.
Total Impervious Area	40,742 s.f. / 0.935 Acres
Total Impervious Area after Construction of the Dorms	22,766 Acres
Percent Impervious after Construction of the Dorms	7.80%
EDI's after Construction of the Dorms (@ 2,500 s/EDU)	380.12

BELMONT ABBEE COLLEGE

WIMMER CR. RESIDENCE HALL ADDITION

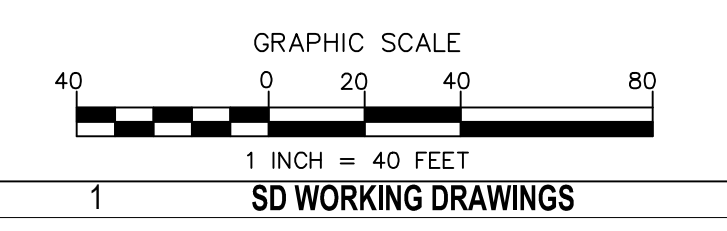
BELMONT, NORTH CAROLINA

(SKETCH PLAN)



SHEET INDEX:

C0.0	COVER SHEET
C0.1	EXISTING CONDITIONS PLAN
C0.2	EXISTING CONDITIONS WITH AERIAL
C0.3	DEMOLITION PLAN
C1.0	SITE PLAN
C1.1	SITE PLAN WITH AERIAL
C2.0	UTILITY PLAN
C3.0	SLOPE ANALYSIS



161 North 4th Street
Columbus, OH 43215
606.673.7594
www.mkcinc.com

CIVIL ENGINEERS

THE ISAACS GROUP
CIVIL ENGINEERING DESIGN AND LAND SURVEYING

The Isaacs Group
8720 Reed Oak Blvd., Ste. 420
Charlotte, NC 28217
Phone: 704-527-3440
Web: www.isaacsgp.com

KE
FRAMER ENGINEERS

394 Oak Street
Columbus, Ohio 43215
614-233-6911

Fitzpatrick
ENGINEERING GROUP

19520 W. Calverton Avenue
Suite 311
Cornelius, NC 28031
Phone: 704-867-9114

BELMONT ABBEE HOUSING

100 Belmont Mt Holly Rd, Belmont, NC 28012

UNIVERSITY HOUSING SOLUTIONS

PRELIMINARY

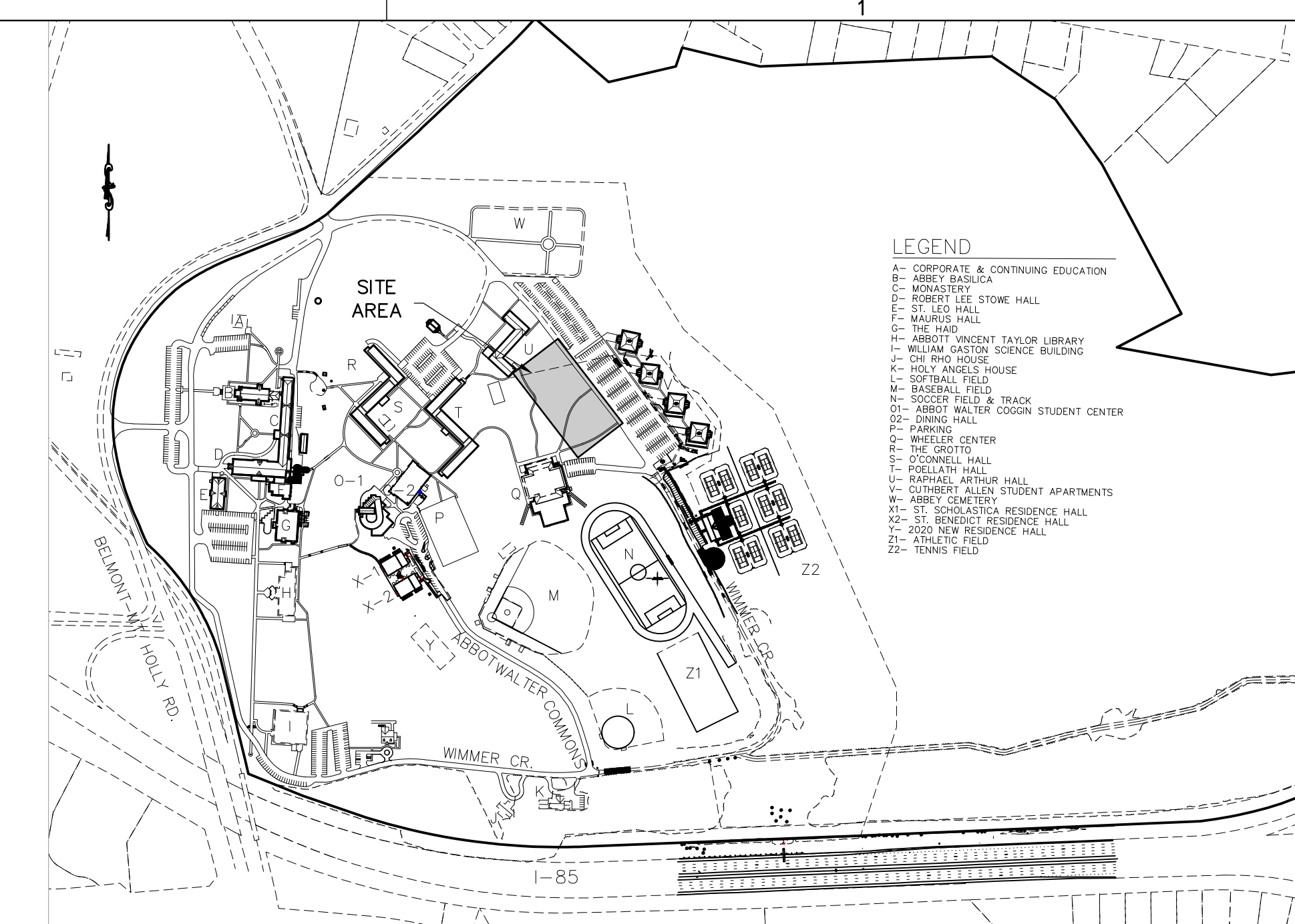
NOT FOR CONSTRUCTION

SUBMITTED: JANUARY 11, 2021

C0.0

COVER SHEET

MKC PROJECT: 21-330



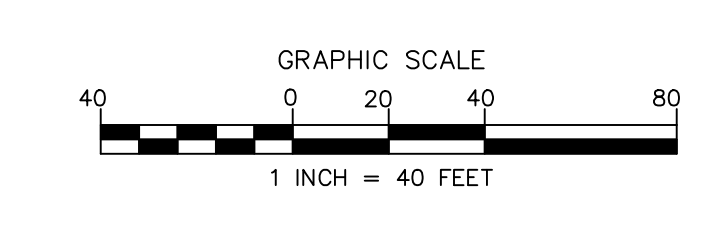
LEGEND

C&G	CONCRETE CURB AND GUTTER
FPE	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
HDPE	HIGH DENSITY POLYETHYLENE
EP	EDGE OF PAVEMENT
EC	EDGE OF CONCRETE
EG	EDGE OF GRAVEL
Ⓞ	COMMUNICATION VAULT
Ⓜ	COMMUNICATION MANHOLE
Ⓜ	COMMUNICATION PEDESTAL
Ⓜ	ELECTRIC STRUCTURE
Ⓜ	ELECTRIC MANHOLE
Ⓜ	UTILITY POLE
Ⓜ	LIGHT POLE
Ⓜ	FIRE HYDRANT
Ⓜ	WATER VALVE
Ⓜ	WATER VAULT
Ⓜ	CATCH BASIN
Ⓜ	DROP INLET
Ⓜ	SANITARY SEWER MANHOLE
Ⓜ	SANITARY SEWER CLEANOUT
Ⓜ	SIGN
Ⓜ	TREE
Ⓜ	SHRUB
Ⓜ	TREE LINE
Ⓜ	FENCE LINE
Ⓜ	STORM DRAIN PIPE
Ⓜ	SANITARY SEWER PIPE
Ⓜ	UNDERGROUND WATER
Ⓜ	UNDERGROUND ELECTRIC
Ⓜ	UNDERGROUND GAS
Ⓜ	UNDERGROUND COMMUNICATION

UNDERGROUND UTILITY DISCLAIMER:
 UNDERGROUND UTILITIES SHOWN HEREON ARE A GRAPHICAL REPRESENTATION OF THEIR APPROXIMATE LOCATION ONLY AND MAY NOT BE A COMPLETE INVENTORY OF ALL UTILITIES. EXACT LOCATIONS AND A COMPLETE INVENTORY OF EXISTING UTILITIES REQUIRES SLOTTED EXCAVATION OR SIMILAR NON-DESTRUCTIVE FORM OF VERIFICATION, WHICH HAS NOT BEEN PERFORMED ON THIS PROJECT. THE ISAACS GROUP P.C. ACCEPTS NO RESPONSIBILITY FOR THE EXACT LOCATION OF SITE UTILITIES SHOWN OR FOR UTILITIES NOT SHOWN ON THIS MAP. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 ((WWW.CALL811.COM)) OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.

NOTICE OF LEGAL ACTION:
 THIS DRAWING AND/OR THE DESIGN SHOWN IS THE PROPERTY OF THE ISAACS GROUP, P.C. THE REPRODUCTION, ALTERATION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT THE ISAACS GROUP P.C.'S WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

ZONING DISCLAIMER:
 NO ZONING REPORT OR ZONING VERIFICATION LETTER WAS PROVIDED TO THE ISAACS GROUP P.C. IT IS THE RESPONSIBILITY OF THE LAND OWNER AND/OR DEVELOPER TO VERIFY THE ZONING REQUIREMENTS AND LAND DEVELOPMENT STANDARDS PRIOR TO CONVEYANCE AND/OR DEVELOPMENT.



MKC | ARCHITECTS
 161 North 4th Street
 Columbus, OH 43215
 614.675.7584
 www.mkcinc.com

THE ISAACS GROUP
 CIVIL ENGINEERING DESIGN AND LAND SURVEYING
 The Isaacs Group
 8720 Red Oak Blvd., Ste. 420
 Charlotte, NC 28217
 Phone: 704-527-3440
 Web: www.isaacsgroup.com

KE
 KOSANER ENGINEERS
 354 Oak Street
 Columbus, Ohio 43215
 614-233-6911

Fitzpatrick
 ENGINEERING
 STRUCTURAL
 19202 W. Catawba Avenue
 Suite 311
 Cornelius, NC 28031
 Phone: 704-987-9114

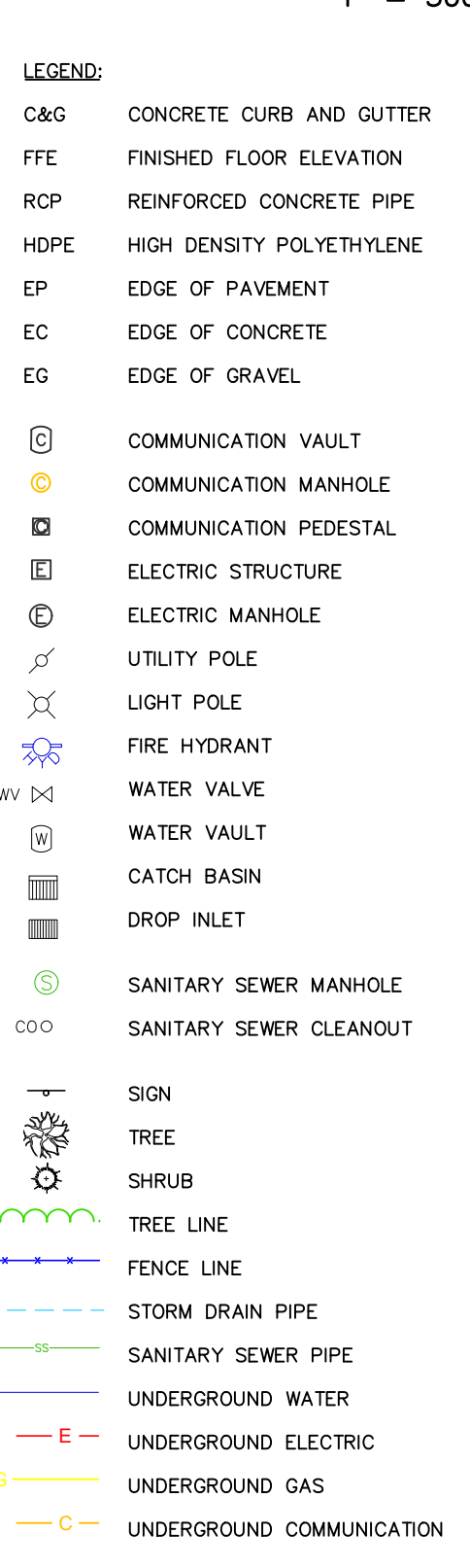
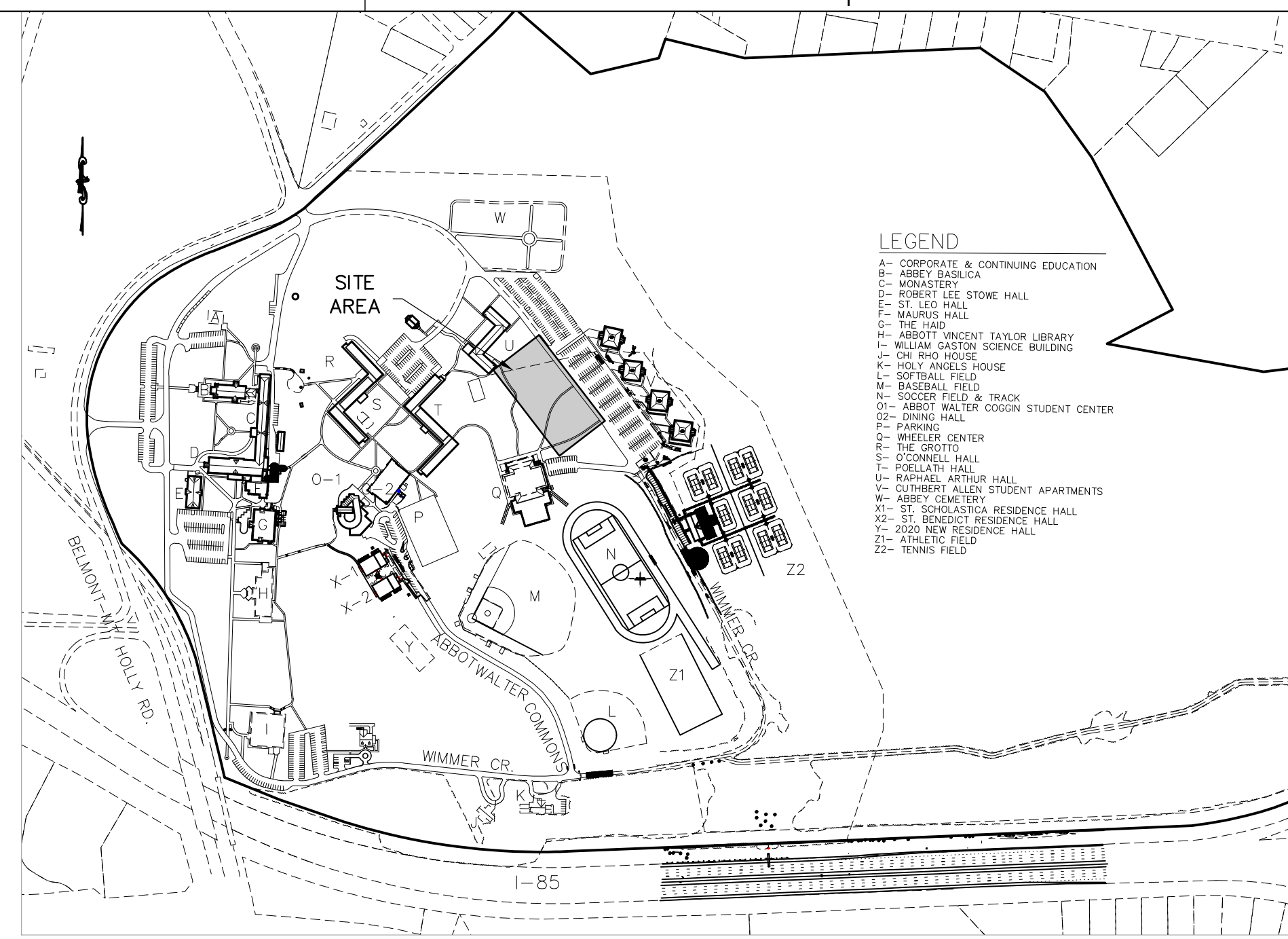
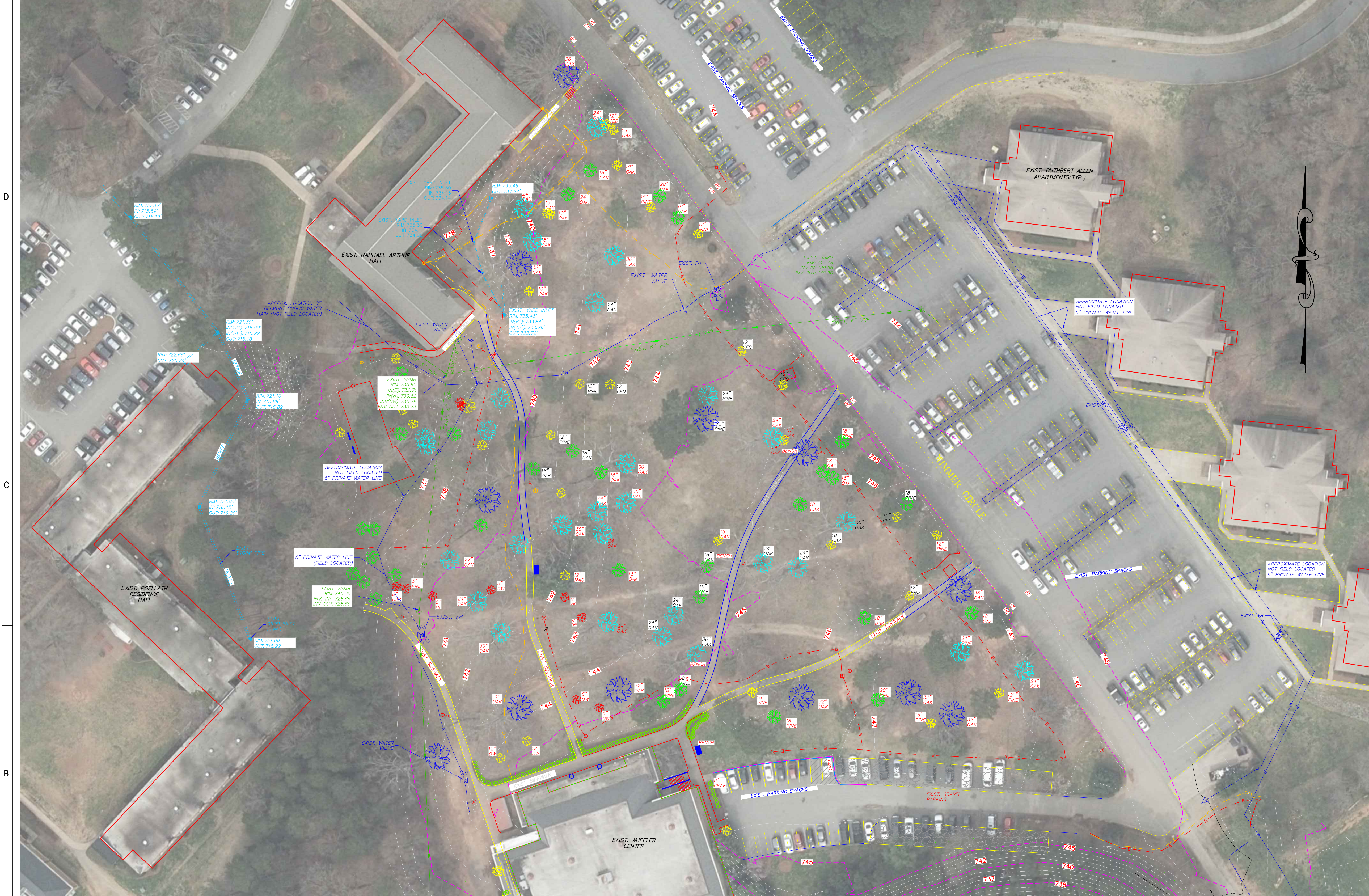
BELMONT ABBEY HOUSING
100 Belmont Mt Holly Rd, Belmont, NC 28012
 UNIVERSITY HOUSING SOLUTIONS

PRELIMINARY
NOT FOR CONSTRUCTION

SUBMITTED: JANUARY 11, 2021



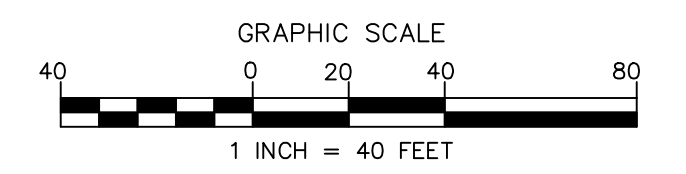
C0.1
 EXISTING CONDITIONS
 PLAN



UNDERGROUND UTILITY DISCLAIMER:
UNDERGROUND UTILITIES SHOWN HEREON ARE A GRAPHICAL REPRESENTATION OF THEIR APPROXIMATE LOCATION ONLY AND MAY NOT BE A COMPLETE INVENTORY OF ALL UTILITIES. EXACT LOCATIONS AND A COMPLETE INVENTORY OF EXISTING UTILITIES REQUIRES SLOTTED EXCAVATION OR SIMILAR NON-DESTRUCTIVE FORM OF VERIFICATION, WHICH HAS NOT BEEN PERFORMED ON THIS PROJECT. THE ISAACS GROUP, P.C. ACCEPTS NO RESPONSIBILITY FOR THE EXACT LOCATION OF SITE UTILITIES SHOWN OR FOR UTILITIES NOT SHOWN ON THIS MAP. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 ((WWW.CALL811.COM)) OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.

NOTICE OF LEGAL ACTION:
THIS DRAWING AND/OR THE DESIGN SHOWN IS THE PROPERTY OF THE ISAACS GROUP, P.C. THE REPRODUCTION, ALTERATION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT THE ISAACS GROUP P.C.'S WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

ZONING DISCLAIMER:
NO ZONING REPORT OR ZONING VERIFICATION LETTER WAS PROVIDED TO THE ISAACS GROUP P.C. IT IS THE RESPONSIBILITY OF THE LAND OWNER AND/OR DEVELOPER TO VERIFY THE ZONING REQUIREMENTS AND LAND DEVELOPMENT STANDARDS PRIOR TO CONVEYANCE AND/OR DEVELOPMENT.

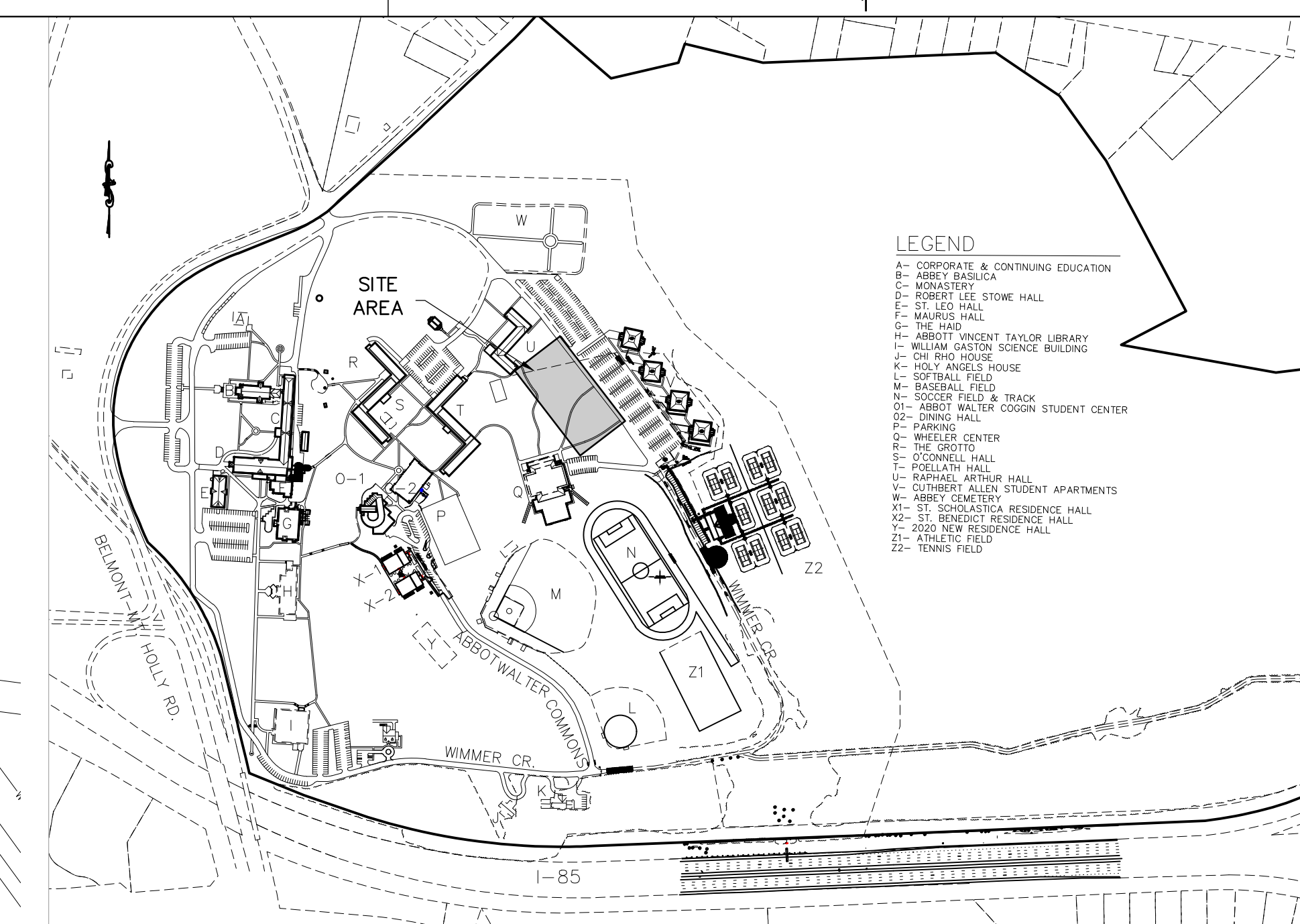


BELMONT ABBEY HOUSING
100 Belmont Mt Holly Rd, Belmont, NC 28012
UNIVERSITY HOUSING SOLUTIONS

PRELIMINARY
NOT FOR CONSTRUCTION

SUBMITTED: JANUARY 11, 2021

C0.2
EXISTING CONDITIONS
WITH AERIAL



VICINITY MAP
1" = 500'

- LEGEND:**
- C&G CONCRETE CURB AND GUTTER
 - FPE FINISHED FLOOR ELEVATION
 - RCF REINFORCED CONCRETE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - EP EDGE OF PAVEMENT
 - EC EDGE OF CONCRETE
 - EG EDGE OF GRAVEL
 - COMMUNICATION VAULT
 - COMMUNICATION MANHOLE
 - COMMUNICATION PEDESTAL
 - ELECTRIC STRUCTURE
 - ELECTRIC MANHOLE
 - UTILITY POLE
 - LIGHT POLE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER VAULT
 - CATCH BASIN
 - DROP INLET
 - SANITARY SEWER MANHOLE
 - SANITARY SEWER CLEANOUT
 - SIGN
 - EXIST. TREE
 - EXIST. TREE TO BE REMOVED
 - SHRUB
 - TREE LINE
 - FENCE LINE
 - STORM DRAIN PIPE
 - SANITARY SEWER PIPE
 - UNDERGROUND WATER
 - UNDERGROUND ELECTRIC
 - UNDERGROUND GAS
 - UNDERGROUND COMMUNICATION
 - EXIST. WATER, SEWER AND STORM PIPES TO BE REMOVED
 - EXIST. PAVEMENT TO BE MILLED 1.5"
 - EXIST. SIDEWALK TO BE REMOVED

UNDERGROUND UTILITY DISCLAIMER:
UNDERGROUND UTILITIES SHOWN HEREON ARE A GRAPHICAL REPRESENTATION OF THEIR APPROXIMATE LOCATION ONLY AND MAY NOT BE A COMPLETE INVENTORY OF ALL UTILITIES. EXACT LOCATIONS AND A COMPLETE INVENTORY OF EXISTING UTILITIES REQUIRES VACUUM EXCAVATION OR SIMILAR NON-DESTRUCTIVE FORM OF VERIFICATION, WHICH HAS NOT BEEN PERFORMED ON THIS PROJECT. THE ISAACS GROUP P.C. ACCEPTS NO RESPONSIBILITY FOR THE EXACT LOCATION OF SITE UTILITIES SHOWN OR FOR UTILITIES NOT SHOWN ON THIS MAP. PRIOR TO COMMENCEMENT OF ANY EXCAVATION, CONTACT 811 (WWW.CALL811.COM) OR A PRIVATE UTILITY LOCATOR AS NEEDED TO VERIFY THE LOCATIONS AND EXISTENCE OF EXISTING UTILITIES.

NOTICE OF LEGAL ACTION:
THIS DRAWING AND/OR THE DESIGN SHOWN IS THE PROPERTY OF THE ISAACS GROUP, P.C. THE REPRODUCTION, ALTERATION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT THE ISAACS GROUP P.C.'S WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

ZONING DISCLAIMER:
NO ZONING REPORT OR ZONING VERIFICATION LETTER WAS PROVIDED TO THE ISAACS GROUP P.C. IT IS THE RESPONSIBILITY OF THE LAND OWNER AND/OR DEVELOPER TO VERIFY THE ZONING REQUIREMENTS AND LAND DEVELOPMENT STANDARDS PRIOR TO CONVEYANCE AND/OR DEVELOPMENT.



BELMONT ABBEY HOUSING
100 Belmont Mt Holly Rd, Belmont, NC 28012
UNIVERSITY HOUSING SOLUTIONS

PRELIMINARY
NOT FOR CONSTRUCTION

SUBMITTED: JANUARY 11, 2021

C0.3
DEMOLITION PLAN



SITE LEGEND

	PROP. CONCRETE SIDEWALK
	PROP. LIGHT DUTY ASPHALT PAVEMENT

RECOMMENDED PAVING SPECIFICATIONS:

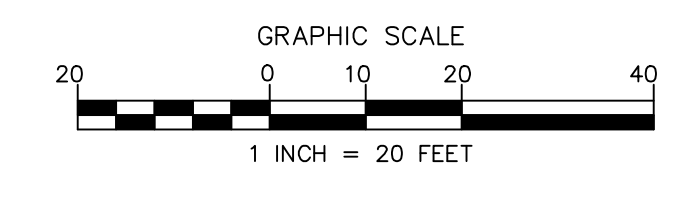
- *VERIFY WITH GEOTECHNICAL REPORT/ENGINEER*
- LIGHT DUTY PAVEMENT:**
 1.5" SURFACE COURSE, S9.5B
 1.5" INTERMEDIATE COURSE, S9.5B
 6" COMPACTED AGGREGATE BASE COURSE (CABC)
- HEAVY DUTY PAVEMENT:**
 1.5" SURFACE COURSE, S9.5B
 2.5" INTERMEDIATE COURSE, I19.0C
 6" COMPACTED AGGREGATE BASE COURSE (CABC)
- LIGHT DUTY CONCRETE (SIDEWALKS):**
 4" 3,600 PSI CONCRETE
 SUBGRADE SHALL BE COMPACTED TO 98% MIN. OF THE STANDARD MAXIMUM DRY DENSITY (ASTM D698).
- HEAVY DUTY CONCRETE:**
 6" 4,000 PSI CONCRETE WITH 6" X 6" WIRE MESH
 REINFORCEMENT (10 GAUGE WWF)
 6" COMPACTED AGGREGATE BASE COURSE (CABC)
- CONCRETE DUMPSTER PAD AROUND:**
 7" 4,000 PSI CONCRETE WITH 6" X 6" WIRE MESH
 REINFORCEMENT (10 GAUGE WWF)
 5" COMPACTED AGGREGATE BASE COURSE (CABC)
 (SEE ASPHALT & CONCRETE TRANSITION DETAIL ON SHEET CX-X)

NOTES:

- ALL FILL USED FOR RAISING SITE GRADES OR FOR REPLACEMENT OF MATERIAL THAT IS UNDERCUT SHOULD BE UNIFORMLY COMPACTED IN THIN LIFTS TO AT LEAST 95 PERCENT OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698). IN ADDITION, AT LEAST THE UPPER 18 INCHES OF SUBGRADE FILL BENEATH PAVEMENTS AND FLOOR SLABS AND 24 INCHES BELOW PAVEMENTS SUBJECT TO TRUCK TRAFFIC SHOULD BE COMPACTED TO 100 PERCENT OF THE SAME SPECIFICATION. THE ABOVE COMPACTION SPECIFICATION IS A RECOMMENDATION ONLY; SPECIFIC PAVEMENT OR FLOOR SLAB DESIGNS MAY REQUIRE A DIFFERENT COMPACTION STANDARD. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SITE WORK MEASURES IN STRICT ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS IN THE PROJECT SOILS REPORT AND/OR ON-SITE RECOMMENDATIONS PROVIDED BY A QUALIFIED GEOTECHNICAL ENGINEER DURING CONSTRUCTION.
- PAVEMENT SPECIFICATIONS LISTED ABOVE ARE RECOMMENDATIONS ONLY AND ARE SUBJECT TO CHANGE BASED UPON PROJECT CONDITIONS OR RECOMMENDATIONS CONTAINED WITHIN THE SOILS REPORT. PRIOR TO COMMENCEMENT OF PAVING, THE OWNER OR CONTRACTOR SHOULD HIRE A GEOTECHNICAL ENGINEER TO PROVIDE A PAVEMENT DESIGN BASED UPON ANTICIPATED VEHICULAR TRAFFIC AND PROJECT SOIL CONDITIONS. THE SPACE GROUP ASSUMES NO RESPONSIBILITY FOR THE ADEQUACY OF THE PAVEMENT SPECIFICATION PROVIDED ABOVE.
- UNLESS SPECIFIED/DETAILED WITHIN THE CONTRACT DRAWINGS, CONTRACTOR SHALL PREPARE A CONCRETE JOINT LAYOUT PLAN IN ACCORDANCE WITH ACI 224.3R-95 OR ACI 330.1-03 FOR CONCRETE SURFACES AND PROVIDE TO ENGINEER, OWNER AND ARCHITECT FOR SHOP DRAWING APPROVAL PRIOR TO CONCRETE INSTALLATION.

PAVEMENT STRIPING SPECIFICATION:

- PARKING LINES AND MARKINGS**
- ALLOW ASPHALT PAVING TO CURE AND SWEEP CLEAN PRIOR TO PAINTING.
 - PROVIDE PAINTED LINES AND MARKINGS FOR ASPHALT PAVING AS FOLLOWS:
 - PARKING SPACES FOR AUTOMOBILES IN PARKING AREAS.
 - HANDICAP SYMBOL AT EACH HANDICAP PARKING SPACE.
 - LINE AND MARKINGS SHALL BE WHITE AND NON-REFLECTIVE.
 - LINE AND MARKINGS SHALL BE 4" WIDE, UNIFORM, STRAIGHT, EVENLY SPACED AND ACCURATELY ALIGNED, WITH SHARPLY DEFINED EDGES.
 - APPLY LINES AT A NET FILM THICKNESS OF .015" (15 MILS) BY MEANS OF CONVENTIONAL TRAFFIC LINE STRIPING EQUIPMENT. USE TEMPLATES OR EMPLOY SKILLED SIGN PERSONNEL FOR HANDICAP SPACE MARKINGS TO BE PROVIDED AT EACH HANDICAP PARKING SPACE.
- CLEANING**
- CLEAN UP DEBRIS GENERATED BY PAVING OPERATIONS ON A DAILY BASIS.
 - REMOVE FROM SITE AT COMPLETION OF PAVING WORK ALL REMAINING DEBRIS, EXCESS MATERIAL, AND WASTE CREATED BY PAVING.
- PROTECTION**
- DO NOT PERMIT VEHICULAR TRAFFIC ON NEWLY COMPLETED ASPHALT SURFACES FOR AT LEAST TWELVE HOURS AFTER PAVING.
 - PROTECT PAVING FROM DAMAGE BY CONSTRUCTION EQUIPMENT, AND/OR SUBSEQUENT CONSTRUCTION OPERATIONS. PERMIT ONLY RUBBER-WHEELED VEHICLES ON PAVEMENT.
 - AFTER APPLICATION OF LINES AND MARKINGS, BARRICADE AREAS UNTIL PAINT HAS THOROUGHLY DRIED.



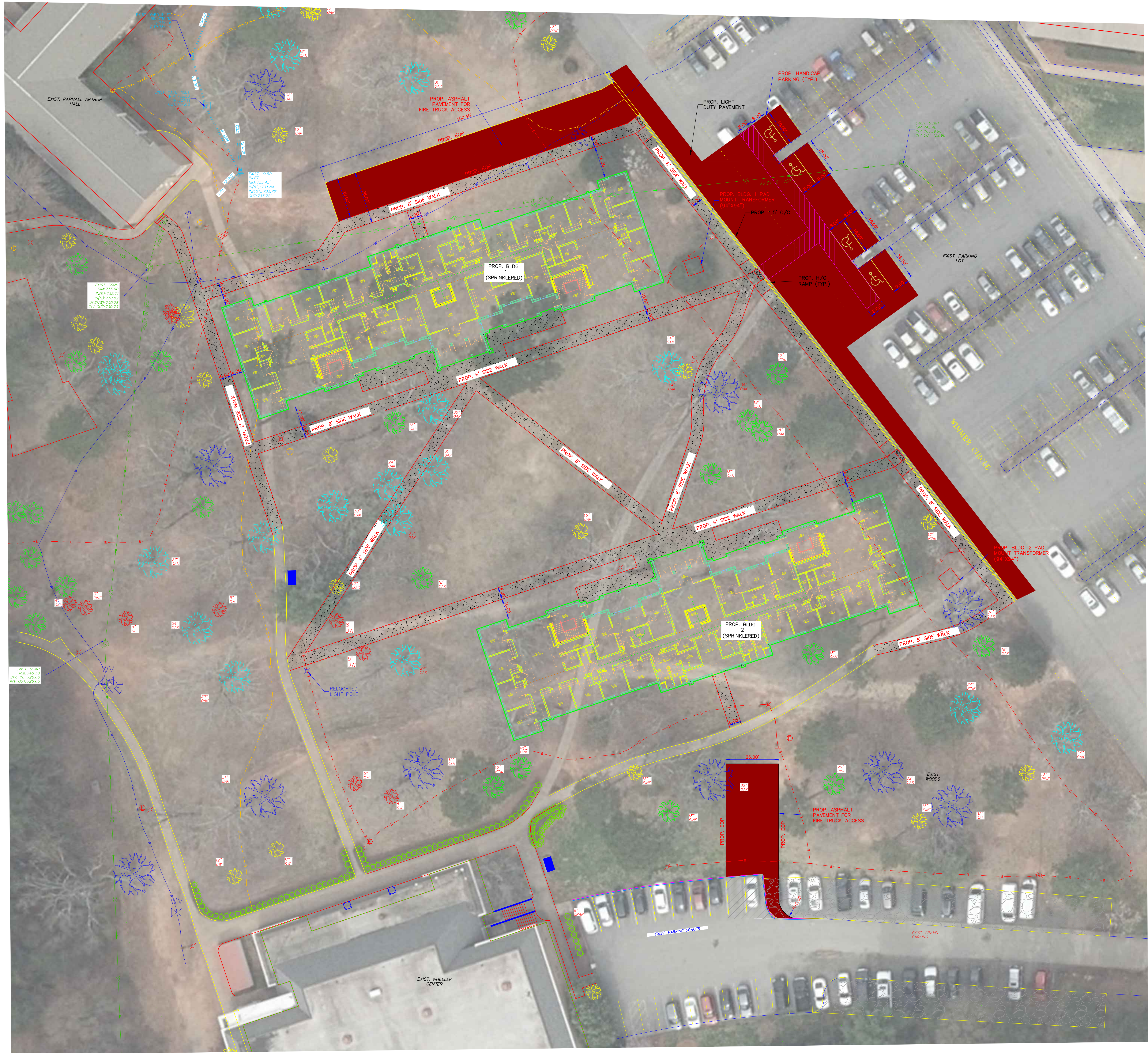
BELMONT ABBEY HOUSING
100 Belmont Mt Holly Rd, Belmont, NC 28012
 UNIVERSITY HOUSING SOLUTIONS

PRELIMINARY
NOT FOR CONSTRUCTION


SUBMITTED: JANUARY 11, 2021


C1.0
 SITE PLAN

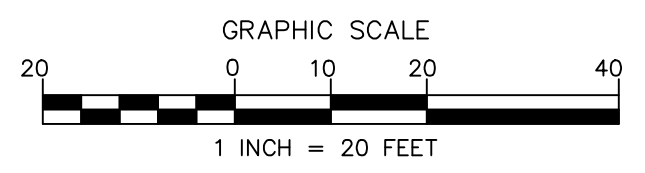
MKC PROJECT: 21-330



SITE LEGEND

 PROP. CONCRETE SIDEWALK

 PROP. LIGHT DUTY PAVEMENT



161 North 4th Street
Columbus, OH 43215
614.675.7594
www.mkcinc.com

THE ISAACS
Civil Engineering Design and Land Surveying

The Isaacs Group
8728 Red Oak Blvd., Ste. 420
Charlotte, NC 28217
Phone: 704-527-3440
Web: www.isaacsgroup.com

KE
KRAMER ENGINEERS

394 Oak Street
Columbus, Ohio 43215
614-233-6911

Fitzpatrick
ENGINEERING GROUP P.C.
STRUCTURAL

19020 W. Catawba Avenue
Suite 311
Cornelius, NC 28031
Phone: 704-387-9114

BELMONT ABBEY HOUSING
100 Belmont Mt Holly Rd, Belmont, NC 28012
UNIVERSITY HOUSING SOLUTIONS

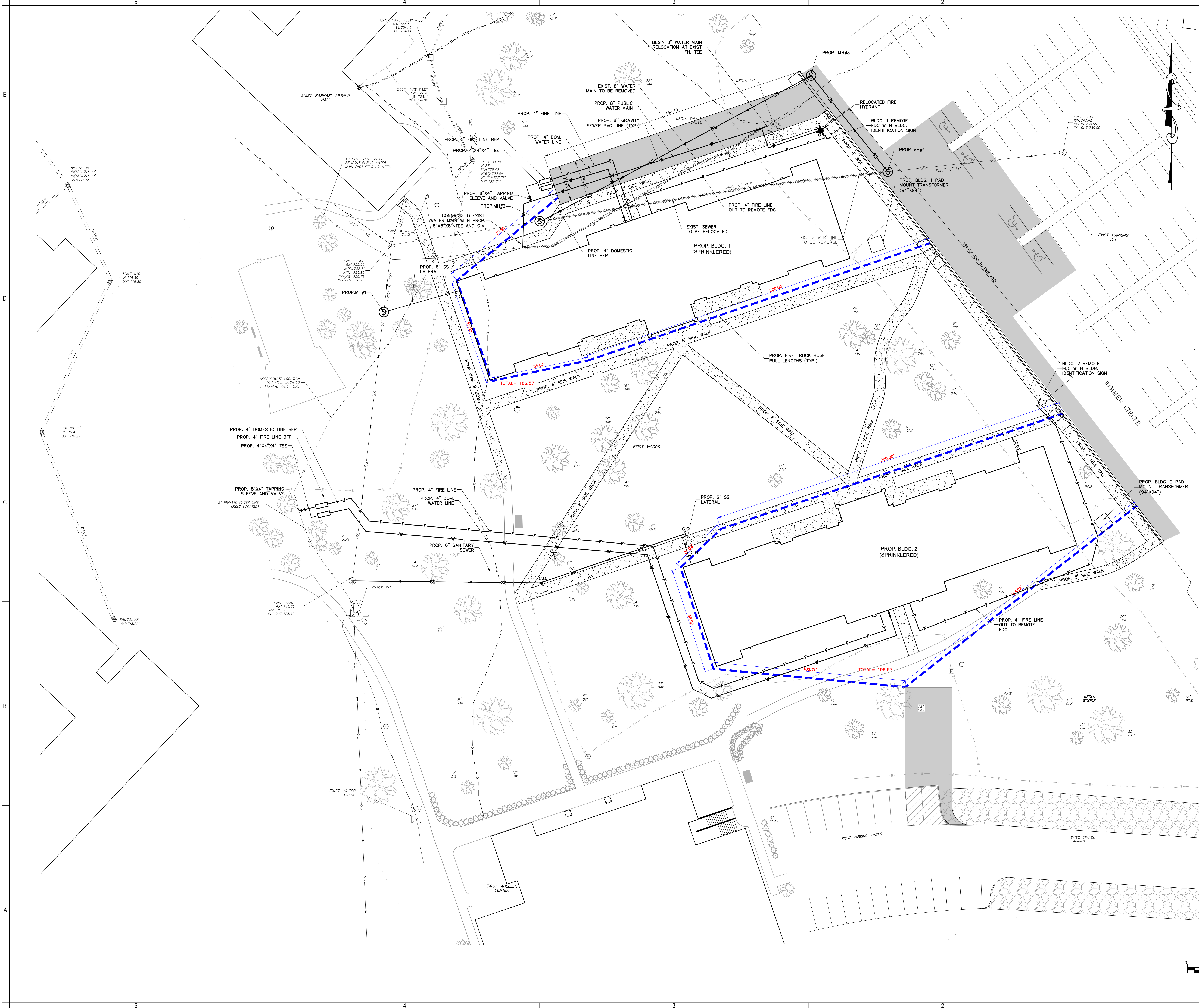
PRELIMINARY
NOT FOR CONSTRUCTION

SUBMITTED: JANUARY 11, 2021

C1.1
SITE PLAN
WITH AERIAL

MKC PROJECT: 21-330

PRELIMINARY NOT FOR CONSTRUCTION



- LEGEND:**
- C&G CONCRETE CURB AND GUTTER
 - FPE FINISHED FLOOR ELEVATION
 - RCP REINFORCED CONCRETE PIPE
 - HDPE HIGH DENSITY POLYETHYLENE
 - EP EDGE OF PAVEMENT
 - EC EDGE OF CONCRETE
 - EG EDGE OF GRAVEL
 - ⊕ COMMUNICATION VAULT
 - ⊖ COMMUNICATION MANHOLE
 - ⊞ COMMUNICATION PEDESTAL
 - ⊠ ELECTRIC STRUCTURE
 - ⊙ ELECTRIC MANHOLE
 - ⊚ UTILITY POLE
 - ⊛ LIGHT POLE
 - ⊜ FIRE HYDRANT
 - ⊝ WATER VALVE
 - ⊞ WATER VAULT
 - ⊠ CATCH BASIN
 - ⊞ DROP INLET
 - ⊙ SANITARY SEWER MANHOLE
 - ⊞ SANITARY SEWER CLEANOUT
 - ⊚ SIGN
 - ⊛ TREE
 - ⊜ SHRUB
 - ⊚ TREE LINE
 - ⊚ FENCE LINE
 - ⊚ STORM DRAIN PIPE
 - ⊚ SANITARY SEWER PIPE
 - ⊚ UNDERGROUND WATER
 - ⊚ UNDERGROUND ELECTRIC
 - ⊚ UNDERGROUND GAS
 - ⊚ UNDERGROUND COMMUNICATION



BELMONT ABBEY HOUSING
100 Belmont Mt Holly Rd, Belmont, NC 28012
 UNIVERSITY HOUSING SOLUTIONS

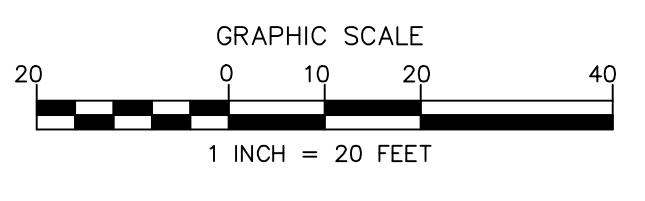
PRELIMINARY
NOT FOR CONSTRUCTION

SUBMITTED: JANUARY 11, 2021

C2.0
 UTILITY PLAN

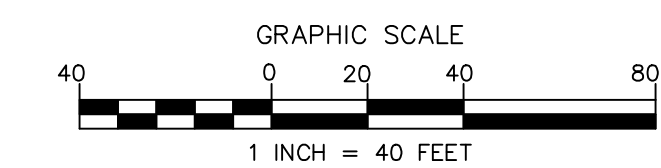
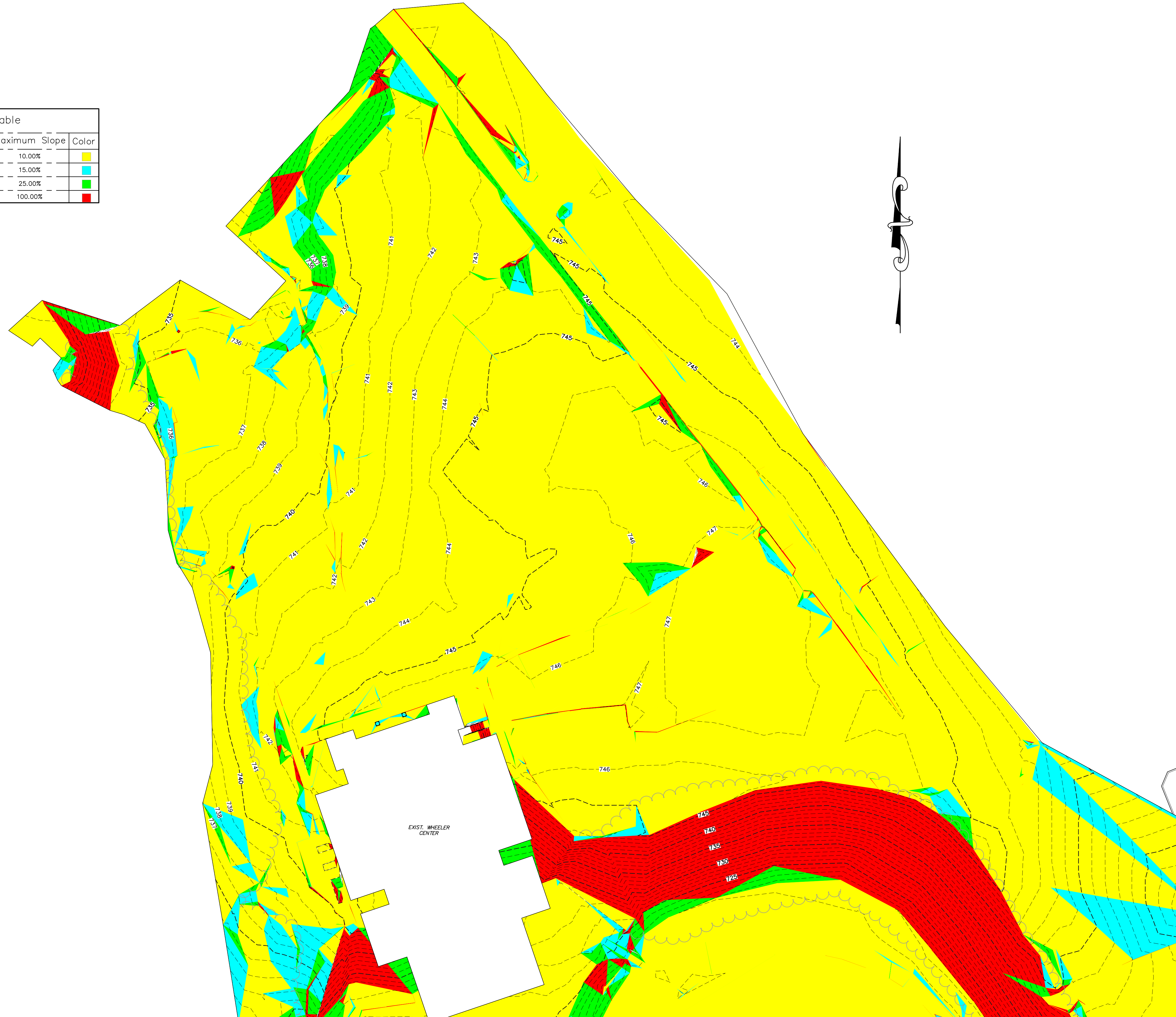
MKC PROJECT: 21-330

PRELIMINARY NOT FOR CONSTRUCTION



SD WORKING DRAWINGS

Slopes Table			
Number	Minimum Slope	Maximum Slope	Color
1	0.06%	10.00%	Yellow
2	10.00%	15.00%	Cyan
3	15.00%	25.00%	Green
4	25.00%	100.00%	Red



MKC | ARCHITECTS

161 North 4th Street
Columbus, OH 43215
614.675.7584
www.mkcinco.com

CONSULTANTS

Civil Engineer



The Isaacs Group
8720 Reed Oak Blvd., Ste. 420
Charlotte, NC 28217
Phone: 704-527-3440
Web: www.isaacsgp.com

MEP



354 Oak Street
Columbus, Ohio 43215
614-233-6911

Structural



19200 W. Catawba Avenue
Suite 311
Cornelius, NC 28031
Phone: 704-987-9114

BELMONT ABBEY HOUSING

100 Belmont Mt Holly Rd, Belmont, NC 28012

UNIVERSITY HOUSING SOLUTIONS

PRELIMINARY

NOT FOR
CONSTRUCTION

SUBMITTED: JANUARY 07, 2021

C3.0
SLOPE ANALYSIS

MKC PROJECT: 21-330

PRELIMINARY NOT FOR CONSTRUCTION