

**AGENDA – REGULAR MEETING
BELVEDERE CITY COUNCIL
OCTOBER 10, 2022, 6:30 P.M.
TELECONFERENCE MEETING**

On March 3, 2020, Governor Newsom proclaimed a State of Emergency due to the COVID-19 pandemic that remains in effect. This meeting will be held remotely consistent with Executive Order N-29-20 and Assembly Bill 361, modifying provisions of the Brown Act to allow teleconference meetings at the current time.

Members of the public are encouraged to participate remotely via Zoom or telephone pursuant to the information and link below. The Council will take public comment by email or by speaking at the meeting. Members of the public are entitled to provide public comment once on each agenda item when it is called. Those who wish to comment on an agenda item during the meeting should use the “raise hand” function or should write “I wish to make a public comment” in the chat section. If you have called into the meeting and wish to speak, please press *9. Council will not entertain comments made in the chat function. Upon being recognized by the Mayor, please limit your oral statement to no more than three minutes.

The public may also submit comments in advance of the meeting by emailing the City Clerk at: clerk@cityofbelvedere.org. Please write “Public Comment” in the subject line. Comments submitted one hour prior to the commencement of the meeting will be presented to the City Council and included in the public record for the meeting.

City of Belvedere is inviting you to a scheduled Zoom meeting.

Topic: Belvedere Regular City Council Meeting

Time: October 10, 2022, 6:30 P.M.

Join Zoom Meeting:

<https://us02web.zoom.us/j/83322734561?pwd=emMvKzBtWFM5VW9kMU4rbGdTUitCZz09>

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**AGENDA – REGULAR MEETING
BELVEDERE CITY COUNCIL
OCTOBER 10, 2022, 6:30 P.M.
TELECONFERENCE MEETING**

COMMENTS ON AGENDA ITEMS BY MEMBERS OF THE AUDIENCE

*Members of the public are encouraged to participate remotely via Zoom or telephone. The Council will take public comment by email or by speaking at the meeting. Members of the public are entitled to provide public comment once on each agenda item when it is called. Those who wish to comment on an agenda item during the meeting should use the “raise hand” function or should write “I wish to make a public comment” in the chat section. If you have called into the meeting and wish to speak, please press *9. Council will not entertain comments made in the chat function. Upon being recognized by the Mayor, please limit your oral statement to no more than three minutes. The Council welcomes comments raised by interested citizens but typically does not respond during the comment period.*

6:30 PM CALL TO ORDER

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| OPEN FORUM |
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This is an opportunity for any citizen to briefly address the City Council on any matter that does not appear on this agenda. Upon being recognized by the Mayor, please limit your oral statement to no more than three minutes. Matters that appear to warrant a more lengthy presentation or Council consideration may be placed on the agenda for further discussion at a later meeting.

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| REPORTS & PRESENTATIONS |
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1. City Council reports.
2. City Manager report.
3. Police Chief quarterly report.
4. Presentation from Resilient Neighborhoods Executive Director Tamra Peters.

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| CONSENT CALENDAR |
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The Consent Calendar consists of items that the City Council considers to be routine, or Council has discussed previously and do not require further discussion. Unless any item is specifically removed by any member of the City Council, staff, or the public, the Consent Calendar will be adopted by one motion. Items removed will be considered in the sequence as they appear below. If any member of the public wishes to have an item removed, please raise your hand when called and indicate the item.

5. Approve minutes of the August 8, 2022, regular meeting.
6. Approve minutes of the September 12, 2022, regular meeting.
7. Approve to the California Department of Transportation (Caltrans) and the Metropolitan Transportation Commission (MTC) for Highway 37 interim improvements.
8. Approve Award of Contract for 2022 Road Maintenance Project to Pavement Coatings Company, the lowest responsive bidder.

9. Approve Revocable License for 25 Peninsula Road for improvements in the Peninsula Road right-of-way.
10. Approve Revocable License for 28 Windward Road for improvements in the Windward Road right-of-way.
11. Approve Revocable License for 68 Lagoon Road for improvements in the Lagoon Road right-of-way.
12. Adopt Resolution 2022-50 Accepting the recent update(s) to the Belvedere Police Department Policy Manual (Lexipol).
13. Adopt Resolution 2022-51 Authorizing the Continuation of Teleconference Public Meetings Pursuant to Government Code section 54953(e) (Assembly Bill 361).
14. Waive Further Reading and Authorize Introduction and/or Adoption of Resolutions and Ordinances by Title Only (Standard procedural item – no backup information provided).

PUBLIC HEARING

15. Council consideration of an appeal for the assessment of construction time limit penalties for 1 Belvedere Avenue, Belvedere CA 94920. Applicant & Owners: Justin and Susan Kelley.
Staff recommendation: Conduct a public hearing and affirm the appeal and assessed penalties.

OTHER SCHEDULED ITEMS

16. Progress Report from Staff on Construction Impacts Committee recommendations: Consider the report and provide staff with comments and direction.
Staff recommendation: receive report and provide additional direction to staff as needed.

ADJOURN

NOTICE: WHERE TO VIEW AGENDA MATERIALS

Staff reports and other materials distributed to the City Council are available for public inspection at the following locations:

- Online at www.cityofbelvedere.org/archive.aspx
- Belvedere City Hall, 450 San Rafael Avenue, Belvedere. *(Materials distributed to the City Council after the Thursday before the meeting are available for public inspection at this location only.)*
- Belvedere-Tiburon Library, 1501 Tiburon Boulevard, Tiburon.

To request automatic mailing of agenda materials, please contact the City Clerk at (415) 435-3838.

NOTICE: AMERICANS WITH DISABILITIES ACT

The following accommodations will be provided, upon request, to persons with a disability: agendas and/or agenda packet materials in alternate formats and special assistance needed to attend or participate in this meeting. Please make your request at the Office of the City Clerk or by calling 415/435-3838. Whenever possible, please make your request four working days in advance.

Posted 10/7/2022

CONSENT CALENDAR

**BELVEDERE CITY COUNCIL
OCTOBER 10, 2022**

To: Mayor and City Council

From: Robert Zadnik, City Manager

Subject: Approve minutes of the August 8, 2022 regular City Council meeting

Recommended Motion/Item Description

That the City Council approve the minutes as part of the Consent Calendar.

Attachments

Minutes.

**REGULAR MEETING
BELVEDERE CITY COUNCIL
AUGUST 8, 2022, 6:30 PM
REMOTE VIA ZOOM**

MINUTES

COUNCIL PRESENT: James Campbell, Nancy Kemnitzer, James Lynch, Peter Mark, and Sally Wilkinson

COUNCIL ABSENT: None

STAFF PRESENT: City Manager Robert Zadnik, Director of Planning and Building Irene Borba, Police Chief Jason Wu, Associate Planner Samie Malakiman, Administrative Services Director Helga Cotter, City Attorney Amy Ackerman, and City Clerk Beth Haener

These minutes are intended to reflect the general content of the regular meeting. An audio file of the meeting is available: <https://www.cityofbelvedere.org/agendacenter>.

CALL TO ORDER IN REMOTE OPEN SESSION

The meeting was called to order by Mayor Wilkinson at 6:31 PM via remote Zoom meeting.

City Manager Zadnik took roll call.

City Clerk Haener read the COVID-19 notice and public participation instructions.

OPEN FORUM

Belvedere resident Linda Remy ceded her time to William Rothman.

Belvedere resident William Rothman stated his concerns about the timeframe of the Environmental Impact Report (EIR) for the Protect Belvedere Project and stated his concerns about the project itself. Mr. Rothman also stated his concerns about the Community Park playground remodel.

Seeing no one else wishing to speak, Mayor Wilkinson closed the open forum.

REPORTS & PRESENTATION

1. City Council Reports

There were no reports.

2. City Manager Report

City Manager Zadnik reported on the Protect Belvedere Project, stating that Council decided earlier in the year to scale back the project and focus on providing earthquake protection on Beach Road and San Rafael Avenue. He continued by stating that this decision resulted in a less costly project considering the scope of work will not include a seawall component. City Manager Zadnik stated that the Environmental Impact Report (EIR) is underway, and a draft will be available to the public soon. City Manager Zadnik stated that Council will be establishing a new Citizens Advisory Committee this evening to help review the Draft EIR.

City Manager Zadnik gave an update on the Community Park playground remodel, stating about 80% of the construction is done and the woodchip area of the park will be open soon. City Manager Zadnik noted that the City unexpectedly received three large

donations from private residents, and that staff will be working with the Parks Committee to utilize those donations.

Mayor Wilkinson called for public comment.

Belvedere resident William Rothman stated his concerns on the testing of the materials that will be used in the playground remodeling.

Belvedere resident Jane Cooper thanked City Manager Zadnik for his report.

Seeing no one else wishing to speak, Mayor Wilkinson closed public comment.

3. Presentation of the City of Belvedere Spotlight Award to Mauricio Avila of Mill Valley Refuse Service.

Belvedere residents Sandra Donnell and Nena Hart presented Mr. Avila with the Belvedere Spotlight award and thanked him for his many years of service to the community. Mr. Avila accepted the award and stated it has been his privilege to work in Belvedere. He concluded by thanking Council and the residents for the award.

Mayor Wilkinson called for public comment, and seeing none, closed public comment.

4. Presentation by the Ranch Director Jessica Hotchkiss providing an update on the Ranch.

Jessica Hotchkiss, the Ranch Director, presented a slide show and gave an update on the Ranch's programs of the last year.

Mayor Wilkinson called for public comment, and seeing none, closed public comment.

5. Interviews of the following applicants for an appointment to the Finance Committee: Will Lyon and Steve Roulac.

Council interviewed the applicants for the open seats on the Finance Committee. Mayor Wilkinson thanked the applicants for their time and stated that Council will be making appointments at the end of the meeting.

CONSENT CALENDAR

Members of the public requested that item 8,9,11,12, 13,and 14 be removed from the consent calendar for further discussion.

MOTION: Move to adopt the Consent Calendar with one motion, with the exception of items 8,9,11,12,13, and 14.

MOVED: By Campbell, seconded by Mark. Approval was unanimous.

The Consent Calendar consisted of the following Items:

6. Approve minutes of the July 11, 2022, regular meeting.

7. Approve warrants for June 2022.

10. Adopt a Resolution authorizing the City Manager to execute an Amendment to the City's Professional Services Agreement with MIG, Inc. to increase the not to exceed limit of the Agreement.

15. Waive Further Reading and Authorize Introduction and/or Adoption of Resolutions and Ordinances by Title Only (Standard procedural item – no backup information provided).

Items removed from the Consent Calendar for further discussion:

8. **Adopt a Resolution approving an amendment to the Memorandum of Understanding for the Miscellaneous Employee Group providing a 1% Cost of Living salary increase for the 2022-2023 Fiscal Year.**
9. **Adopt a Resolution approving an amendment to the Memorandum of Understanding for the Police Employee Group providing a 1% Cost of Living salary increase for the 2022-23 Fiscal Year.**

Belvedere resident William Rothman asked the Council how they can expect to attract qualified Police staff. City Manager Zadnik addressed the question.

MOTION: Move to adopt the Resolution approving an amendment to the Memorandum of Understanding for the Miscellaneous Employee Group providing a 1% Cost of Living salary increase for the 2022-2023 Fiscal Year and adopt a Resolution approving an amendment to the Memorandum of Understanding for the Police Employee Group providing a 1% Cost of Living salary increase for the 2022-23 Fiscal Year in one motion.

MOVED: By Campbell, seconded by Mark. Approval was unanimous.

11. **Adopt an Ordinance of the City Council of the City of Belvedere amending the Belvedere Municipal Code by Amending Title 2, Chapter 2.28 “Planning Commission.”**

Ms. Locks stated she was confused by the edits to the Ordinance that seemed to remove power away from the Planning Commission. City Attorney Ackerman stated that they have not changed the powers of the Planning Commission; that this was an update to an outdated Ordinance.

MOTION: Move to adopt an Ordinance of the City Council of the City of Belvedere Amending Title 2 of the Belvedere Municipal Code by Amending Chapter 2.28 “Planning Commission.”

MOVED: By Lynch, seconded by Campbell. Approval was unanimous.

12. **Approve the response to Marin County Civil Grand Jury Report regarding a County Wide Approach to Electrifying Marin County Buildings.**

Belvedere resident Clous Lund ceded his time to Carolyn Lund.

Belvedere resident Carolyn Lund stated her concerns with the City’s response to the Marin Grand Jury report and listed the details of the report she disagreed with.

David Moller, a representative of the Marin-Sonoma Building Electrification squad, stated his concerns with the City’s response to the Marin Grand Jury report.

Belvedere resident William Rothman stated his concerns with the City’s response to the Marin Grand Jury report.

Belvedere resident Linda Remy stated her concerns with the City’s response to the Marin Grand Jury report.

Seeing no one else wishing to speak, Mayor Wilkinson closed public comment and brought it back to Council for discussion.

Council requested staff review the questions that have been raised by Council and the public and bring the item back to Council for approval.

13. **Appoint Larry Binkley to the Marin County Commission on Aging.**

Ms. Locks stated she had spoken with the previous representative of the Marin County Commission on Aging about her agreement to withdraw her application for appointment.

Diana Lopez, the Chair of the Marin County Commission on Aging, stated that on behalf of the Commission, she supports the Council decision to appoint Larry Binkley.

MOTION: Move to appoint Larry Binkley to the Marin County Commission on Aging.

MOVED: By Mark, seconded by Lynch. Approval was unanimous.

14. Adopt a Resolution Authorizing the Continuation of Teleconference Public Meetings Pursuant to Government Code section 54953(e) (Assembly Bill 361).

Belvedere resident William Rothman stated his support for the continuation of teleconference public meetings.

MOTION: Move adopt a Resolution Authorizing the Continuation of Teleconference Public Meetings Pursuant to Government Code section 54953(e) (Assembly Bill 361).

MOVED: By Mark, seconded by Campbell. Approval was unanimous.

INDIVIDUAL CONSENT CALENDAR

Councilmember Lynch stated for the record that his residence is within 500 feet of the subject property and therefore he must recuse himself from item 16 and item 17.

16. Authorize the City to enter into a Mills Act Agreement for the property at 428 Golden Gate Avenue, as recommended by the Historic Preservation Committee. The Mills Act is a tax abatement program for the purposes of historic preservation. CEQA status: Categorically exempt pursuant to Section 15331. Property Owner: Shyang Jen and Kris Yao.

MOTION: Move to approve the Mills Act Agreement for the property at 428 Golden Avenue and authorize the Mayor to execute the agreement on behalf of the City.

MOVED: By Campbell, seconded by Mark. Motion passed.

VOTE:
AYES: Campbell, Kemnitzer, Mark and Mayor Wilkinson
NOES: None
ABSENT: None
RECUSED: Lynch

17. Approve a revocable license for proposed private improvements on the City tide lot “The Strip” for the property located at 310 Beach Road, as recommended by the Planning Commission.

MOTION: Move to approve a revocable license agreement for 310 Beach Road for new improvements on the City tide lot known as “The Strip” below 310 Beach Road for: new Staircase, Landings, and Landscaping.

MOVED: By Kemnitzer, seconded by Mark. Motion passed.

VOTE:
AYES: Campbell, Kemnitzer, Mark and Mayor Wilkinson
NOES: None
ABSENT: None
RECUSED: Lynch

PUBLIC HEARING

18. Adoption a Resolution amending the City's Master Schedule of Fees, Charges & Application Fees.

Administrative Services Director Helga Cotter presented a brief staff report and took questions from Council.

Mayor Wilkinson called for public comment, and seeing none, closed public comment.

MOTION: Move to adopt a resolution amending the City's Master Schedule of Fees, Charges & Application Fees

MOVED: By Kemnitzer, seconded by Campbell. Approval was unanimous

OTHER SCHEDULED ITEMS

19. Discussion and possible action on the Construction Impact Committee draft report.

City Manager Zadnik introduced the item, and Construction Impacts Committee Chair John Tantum presented the Committee's findings and recommendations before taking questions from Council.

Mayor Wilkinson called for public comment.

Belvedere resident Jerry Butler stated that the City needs the correct tool to measure noise complaints and needs be consistent with the measuring.

Belvedere resident William Rothman stated his issue with certain aspects of the permit process.

Belvedere resident Linda Remy stated her concern about the amount of construction that is allowed simultaneously on the roads of Belvedere.

Seeing no one else wishing to speak, Mayor Wilkinson closed public comment and brought the item back to Council for discussion. Council gave recommendations on the draft report by topic.

The Mayor asked for direction from Council on *road impact fees*. Councilmember Lynch stated for short-duration encroachments, he would like to keep the fees low; Councilmember Mark agreed. Councilmember Campbell recommended that the City keep records of fees and retain data.

The Mayor asked for direction from Council on *design review requirements that projects preserve existing site conditions*. Councilmember Kemnitzer stated that there should be much stricter scrutiny on the removal of soil from Belvedere and the greater environmental impact of this action. Councilmember Lynch stated that the Planning and Building departments have begun to be more rigorous on this topic now that it is on their radar; he also stated he agrees with Councilmember Kemnitzer's comment. Council unanimously supported this recommendation.

The Mayor asked for direction from Council on *Parking*. Council requested a fiscal analysis to look at the impacts of parking and necessary enforcement related to the Committee report.

The Mayor asked for direction from Council on *Construction Time Limits*. Councilmember Campbell inquired about how the City would manage permits expiring in a week compared to a permit expiring in a year and stated he is interested in understating other models of this process. Council requested staff look at other jurisdictions' models on this subject.

The Mayor asked for direction from Council on *communication, information, and complaints*. Councilmember Campbell indicated he supports the idea of tracking communication, information, and complaints. Councilmember Mark stated a system should be developed to track these items.

The Mayor asked for direction from Council on *permitted work hours for construction*. After discussion and review of written comments from the public, Council recommended keeping the work hours as is.

The Mayor asked for direction from Council on *Historical properties*. Council recommended The Historical Preservation Committee should review the gaps between the Historical Resources Inventory list, the Landmark Society lists, and the City of Belvedere list.

A motion was not needed for this item.

20. Adopt a Resolution establishing an Oversight Committee for the Protect Belvedere Project.

City Manger Zadnik presented the staff report and took questions from Council.

Mayor Wilkinson called for public comment.

Belvedere resident William Rothman stated his opposition for creating an oversight committee.

Belvedere resident Sandy Donnell stated that a committee would help the public give this project a proper review.

Mayor Wilkinson closed public comment and brought the item back to Council for discussion.

MOTION: Move to adopt a Resolution establishing an Oversight Committee for the Protect Belvedere Project.

MOVED: By Kemnitzer, seconded by Lynch. Approval was unanimous.

21. Appoint a voting delegate and alternate for the League of California Cities' Annual Conference.

No action was take on this topic.

22. Discussion of and Possible Action to Appoint a Member to the Finance Committee.

MOTION: To reappoint Will Lyon to the Belvedere Finance Committee.

MOVED: By Campbell, seconded by Mark. Approval was unanimous.

ADJOURN

The meeting was adjourned at 9:35 P.M.

THE FOREGOING MINUTES were approved at a regular meeting of the Belvedere City Council on October 10, 2022, by the following vote:

AYES:

NOES:

ABSENT:

RECUSED:

Attest: _____
Acting City Clerk

Approve: _____
Sally Wilkinson, Mayor

CONSENT CALENDAR

**BELVEDERE CITY COUNCIL
OCTOBER 10, 2022**

To: Mayor and City Council

From: Robert Zadnik, City Manager

Subject: **Approve minutes of the and the September 12, 2022 regular City Council meeting**

Recommended Motion/Item Description

That the City Council approve the minutes as part of the Consent Calendar.

Attachments

Minutes.

**REGULAR MEETING
BELVEDERE CITY COUNCIL
SEPTMEBER 12, 2022, 6:30 PM
REMOTE VIA ZOOM**

MINUTES

COUNCIL PRESENT: James Campbell, Nancy Kemnitzer, James Lynch, Peter Mark, and Sally Wilkinson

COUNCIL ABSENT: None

STAFF PRESENT: City Manager Robert Zadnik, Director of Planning and Building Irene Borba, Police Chief Jason Wu, Administrative Services Director Helga Cotter, City Attorney Amy Ackeman, and City Clerk Beth Haener

These minutes are intended to reflect the general content of the regular meeting. An audio file of the meeting is available: <https://www.cityofbelvedere.org/agendacenter>.

CALL TO ORDER IN REMOTE OPEN SESSION

The meeting was called to order by Mayor Wilkinson at 6:30 PM via remote Zoom meeting.

City Manager Zadnik took roll call.

City Clerk Haener read the COVID-19 notice and public participation instructions.

OPEN FORUM

Belvedere resident Richard Snyder stated that he is against the proposed charter and commented on the draft of the measure.

Belvedere resident Linda Remy ceded her time to William Rothman.

Belvedere resident William Rothman stated his concerns about the Protect Belvedere Project and the proposed charter.

Seeing no one else wishing to speak, Mayor Wilkinson closed the open forum.

REPORTS & PRESENTATION

1. City Council Reports

Councilmember Kemnitzer thanked Belvedere's Citizen of the Year Adam Gavzer for organizing the community talent show last weekend. He also reported about her participation in a Block Captain drill using the volunteer group's new radios; she thanked the group for staying prepared in the event of an emergency. Councilmember Kemnitzer reported that she attended the Marin County Council of Mayors & Councilmembers' (MCCMC) recent meeting and reported on the new laws that were recently passed by the Governor.

Mayor Wilkinson reported that she appointed seven members to the recently established citizens' committee to review the draft Environmental Impact Report (EIR) for the Protect Belvedere project. She stated the committee will start work soon.

Mayor Wilkinson called for public comment, and seeing none, closed public comment.

2. City Manager Report

City Manager Zadnik thanked Councilmember Campbell and Belvedere resident Jane Cooper for organizing a Californian State Assembly Candidate forum. Zadnik applauded the two for giving residents the opportunity to meet their Assembly Candidates and stated it was great to see democracy in action.

City Manager Zadnik reported that the City hired Tony Boyd as the new Director of Public Works and stated Mr. Boyd brings an impressive amount of experience from his current employment with the City of Mill Valley, where he works as Mill Valley's Public Works Superintendent. He concluded by stating that Mr. Boyd's first day will be September 19th.

City Manager Zadnik reported that the City received grants from the Transportation Authority of Marin for the installation of electric vehicle charging stations at City hall. He continued by commenting that the new stations will be dedicated to charging staff vehicles, aimed at help the City meet its future Climate Action Plan goals.

City Manager Zadnik also reported on the City's latest CalPERS report for 2021 which listed the City's employee pension obligation as fully funded. He thanked the Finance Committee for their expert work.

Mayor Wilkinson called for public comment.

Belvedere resident Sandy Donnell congratulated the City for doing so well with their pension obligations.

Belvedere resident Linda Remy ceded her time to William Rothman.

Belvedere resident William Rothman stated his concerns with the City Manager's report.

SCHEDULED ITEMS

3. Presentation by Staff and Consultant on the Development of the City's Housing Element.

Planning Director Irene Borba presented the staff report and introduced Ande Flower, Principal Planner with the EMC Planning Group, and the Assistant City Attorney, Ann Danforth. Mr. Flower gave a presentation on the 6th Cycle Housing Element Update by discussing the timeline, the milestones they are reaching, and the public engagement that will take place in the next months. Consultant Flower commented on the differences between the 5th and 6th cycle housing elements. Assistant City Attorney Danforth added to the presentation by discussing the State legislature and the risks of late submittal. Flower and Danforth took questions from Council.

Mayor Wilkinson called for public comment.

Belvedere resident Jane Cooper asked if the City would be required to undertake an Environmental Impact Report (EIR) for a modified rezoning proposal. She also asked if the timeline could be clarified. Assistant Attorney Danforth stated that an EIR may be necessary if the prior environmental document did not address specific topics related to a rezoning proposal—this would have to be determined. Assistant Attorney Danforth then commented on the timeline of the Housing Element Update.

Belvedere resident Carolyn Lund asked the Consultant what Belvedere residents wanted. Flower stated that he understands the community would like to have an element that is certified and in good standing, and stated they are doing what they can to keep the options broad at his stage so residents can participate in the effort.

Belvedere resident Richard Snyder asked if the City could request Senator McGuire to initiate a request to the state auditor to audit Marin and the Association of Bay Area Governments (ABAG). He also asked if the City should join the pending litigation challenging the numbers ABAG has assigned to Belvedere. City Attorney Ackerman stated that the City, along with many other Cities in Marin County, appealed the numbers, and all the appeals were denied by ABAG.

Belvedere resident William Rothman stated his concerns on the Housing Element Update.

Belvedere resident Susan Cluff asked about the best way for residents to participate in this process. Mr. Flower stated the best way to participate is to attend the City Council and Planning Commission workshop scheduled for October 20th and to subscribe for updates on the [City's Housing Element website](#), where you can participate in the process.

Seeing no one else wishing to speak, Mayor Wilkinson closed the open forum and brought it back to Council for discussion. Council requested that staff circulate the draft well in advance of the joint session and accelerate outreach with information on Accessory Dwelling Units (ADU's).

CONSENT CALENDAR

Councilmember Mark requested item 8 be removed for further discussion, and members of the public requested items 11 and 13 be removed from the Consent Calendar for further discussion.

MOTION: Move to adopt the Consent Calendar with one motion, with the exception of items 8,11, and 13.

MOVED: By Mark, seconded by Campbell. Approval was unanimous

The Consent Calendar consisted of the following Items:

- 4. Approve warrants for July and August of 2022.**
- 5. Receive the City's fourth quarter investment report.**
- 6. Approve the Grant Agreement with Marin County for disbursement of Measure A Parks tax proceeds.**
- 7. Adopt Resolution No. 2022-47 approving an amendment to the Administrative Policy Manual Section 2.2 Fund Balance and Reserve Policies.**
- 9. Adopt Resolution No. 2022-48 amending and approving the City of Belvedere's Conflict of Interest Code.**
- 10. Approve a revocable license for proposed private improvements in the City street right-of-way along Bayview Avenue for the property at 25 Bayview Avenue.**
- 12. Approve response to Marin County Grand Jury report titled "Affordable Housing: Time for Collaboration in Marin."**
- 14. Waive Further Reading and Authorize Introduction and/or Adoption of Resolutions and Ordinances by Title Only (Standard procedural item – no backup information provided).**

Items removed from the Consent Calendar for further discussion.

8. Approve the purchase of an all-electric vehicle for the replacement of one police vehicle.

Councilmember Mark requested clarification on the choice of the vehicle. City Manager Zadnik stated that other agencies are purchasing Tesla models, and staff was also favoring the Tesla given the vehicle outfitting options available for law enforcement.

Mayor Wilkinson called for public comment.

Belvedere resident William Rothman asked for clarification on the item.

Seeing no one else wishing to speak, Mayor Wilkinson closed public comment.

MOTION: Move to approve the purchase of an all-electric vehicle for the replacement of one police vehicle.

MOVED: By Mark, seconded by Campbell. Approval was unanimous.

11. Approve the response to Marin County Civil Grand Jury Report regarding a Countywide Approach to Electrifying Marin County Buildings.

Mayor Wilkinson called for public comment.

Belvedere resident Claus Lund ceded his time to Carolyn Lund.

Belvedere resident Carolyn Lund stated her concern with the City's response to the Marin County Grand Jury report.

Seeing no one else wishing to speak, Mayor Wilkinson closed public comment.

MOTION: Move to approve the response to Marin County Civil Grand Jury Report regarding a Countywide Approach to Electrifying Marin County Buildings.

MOVED: By Kemnitzer, seconded by Lynch. Approval was unanimous

13. Adopt Resolution No. 2022-49 Authorizing the Continuation of Teleconference Public Meetings Pursuant to Government Code section 54953(e) (Assembly Bill 361).

Belvedere resident William Rothman stated his support for hybrid meetings with Zoom access.

MOTION: Move to adopt Resolution No. 2022-49 Authorizing the Continuation of Teleconference Public Meetings Pursuant to Government Code section 54953(e) (Assembly Bill 361).

MOVED: By Campbell, seconded by Lynch. Approval was unanimous

INDIVIDUAL CONSENT CALENDAR

Mayor Wilkinson and Councilmember Mark stated for the record that their residences are within 500 feet of the subject property and therefore they must recuse themselves from item 15 and item 16.

MOTION: Move to adopt the Individual Consent Calendar with one motion

MOVED: By Kemnitzer, seconded by Campbell. Motion passed.

VOTE:
AYES: Campbell, Kemnitzer, and Lynch
NOES: None
ABSENT: None
RECUSED: Wilkinson and Mark

The Individual Consent Calendar consisted of the following Items:

15. Approve a revocable license for 19 Eucalyptus Avenue for improvements in the Eucalyptus Avenue right-of-way.

16. Approve a revocable license for 137 Golden Gate for the Eucalyptus Avenue right-of-way.

PUBLIC HEARING

17. Adopt Resolution No. 2022-50 Approving the designating of the property located at 206 Bayview Avenue as a City of Belvedere Historic Property.

Councilmember Kemnitzer and Councilmember Campbell state for the record that their residences are within 500 feet of the subject property and therefore they must recuse themselves from the item.

Planning Director Borba presented the staff report. There were no questions from Council.

Mayor Wilkinson called for public comment, and seeing none, closed public comment.

MOTION: Move to adopt Resolution No. 2022-50 approving the designating of the property located at 206 Bayview Avenue as a City of Belvedere Historic Property.

MOVED: By Lynch, seconded by Mark. Motion passed.

VOTE: **AYES:** Lynch, Mark, and Wilkinson

NOES: None

ABSENT: None

RECUSED: Kemnitzer and Campbell

ADJOURN

The meeting was adjourned at 8:31 P.M.

THE FOREGOING MINUTES were approved at a regular meeting of the Belvedere City Council on October 10, 2022, by the following vote:

AYES:

NOES:

ABSENT:

RECUSED:

Approve: _____
Sally Wilkinson, Mayor

Attest: _____
Acting City Clerk

To: Mayor and City Council

From: Robert Zadnik, City Manager

Subject: **Consider Letter to the California Department of Transportation (Caltrans) and the Metropolitan Transportation Commission (MTC) for Highway 37 interim improvements.**

RECOMMENDATION

Authorize Mayor Wilkinson to issue a letter to the California Department of Transportation (Caltrans) and the Metropolitan Transportation Commission (MTC).

DISCUSSION

At the request of Mayor Wilkinson and Councilmember Kemnitzer, Council is being asked to consider issuing the attached letter respectfully urging Caltrans and MTC to consider the compatibility of short-term “interim” traffic solutions when planning for long-range projects aimed at addressing multimodal transportation solutions that are adaptable to flood risk within the Highway 37 corridor.

BACKGROUND

SR 37, a 21-mile vital transportation link in the region connecting four North Bay counties, is extremely vulnerable to flood-related closures due to sea level rise (SLR) and experiences a high level of congestion. Caltrans, MTC, and the four North Bay Area counties are partners in the Resilient SR 37 program working on multiple studies addressing the corridor's critical flooding, SLR, congestion, ecosystem connectivity, and multimodal issues.

The California Department of Transportation (Caltrans) earlier this year released a Draft Environmental Impact Report/Environmental Assessment regarding proposed improvements to SR 37 to alleviate flood risk and chronic traffic congestion. Caltrans has also led the Planning and Environmental Linkages (PEL) Study regarding the future of State Route 37.

Nearly all stakeholders agree that a multi-modal, multi-benefit elevated causeway along the current SR 37 alignment is the "ultimate" project solution, balancing flood risk and congestion management with wetland restoration, and also allowing the opportunity for rail to be adjacent. While nearly all stakeholders also agree that interim congestion relief is critical as well, Caltrans projects that the "ultimate" project will take some 20 years to plan and build, costing \$6 to \$8 billion.

It is staff's understanding that Caltrans and MTC are moving to finalize a nearly \$500 million 10-mile conventional freeway widening as its preferred interim solution. However, there is concern that a temporary freeway widening will be overtopped by rising sea levels within 15 years and/or does not reconcile with the goal of building the "ultimate" multi-benefit project. Additionally, the new interim freeway would likely need to be demolished for the elevated causeway to function.

With Council's approval, as Caltrans/MTC moves to finalize next steps regarding certification of the EIR for Highway 37 improvements, staff will issue the attached letter respectfully urging CalTrans/MTC to accelerate the elevated causeway now as the permanent solution and to implement lower cost interim improvements to address congestion and flood risk that are adaptable to the permanent solution.

RECOMMENDATION

Staff recommends that Council consider the attached letter and provide direction to staff, if necessary.

Attachments:

- Letter to Caltrans and MTC.



CITY of BELVEDERE

450 San Rafael Avenue • Belvedere CA 94920-2336

Tel.: 415.435.3838

www.cityofbelvedere.org

October 10, 2022

Tony Tavares, Director
California Department of Transportation (CalTrans)
P.O. Box 942873
Sacramento, CA 94273-001

Therese McMillan, Executive Director
Metropolitan Transportation Commission
Bay Area Metro Center
375 Beale Street, Suite 800
San Francisco, CA 94105-2066

SUBJECT: Highway 37 “interim (B)” solutions

Dear Director Taveres and Executive Director McMillan

As members of the Belvedere City Council, we write to share our views about the “interim (B)” project for Highway 37, which constitutes a critical transportation corridor for residents, families, friends, visitors, city staff and workforce of our community in Southern Marin. It also transects a critical ecosystem that makes Marin and the entire San Francisco Bay region a healthy and vibrant place to live.

We support the ultimate vision of an elevated causeway that will permanently address regular traffic congestion and guard against episodic flooding, while protecting one of the largest tidal wetlands complexes on the West Coast. We understand that your agencies also support this final goal, wisely recognizing that the immediate traffic challenges also offer opportunities for addressing climate adaptation. As your agencies consider the possible solutions before you, we hope the process will avoid short-term mistakes that defeat the long-term solution around which years of stakeholder input has built a strong consensus.

Our main concern is that build-out of the interim plan should not (1) exhaust funds that could be better used to phase the ultimate solution, and should not (2) be structurally incompatible with the ultimate design. To these ends, we urge you to consider a truly “interim” (i.e., temporary) project that can be developed and built efficiently, more cheaply, and with less impact on the land than

one which just adds more fill to widen the current roadway. We urge you to consider the feasibility of accelerating the ultimate causeway in a phased approach to both funding and construction. Meanwhile, installing a moveable barrier with occasional turnouts can bring traffic relief relatively soon.

We are deeply grateful for the hard work your agencies are doing to address this problem which involves competing issues of current traffic congestion as well as environmental impacts of climate change. It is clear that a solution to the Highway 37 problem is clearly needed; it is equally clear that doing it once is the only way to do it right.

Sincerely

Sally Wilkinson, Mayor, City of Belvedere

Belvedere City Council

To: Mayor and City Council

From: Antony Boyd – Public Works Director
Chris Barry – Associate Engineer

Subject: Award Contract for “2022 Road Maintenance Project”

Recommended Motion/Item Description

That the City Council award the construction contract for the “2022 Road Maintenance Project” in the amount of \$221,605.45 to Pavement Coatings Company.

Background

In August of 2022, the Public Works Department publicly advertised the 2022 Road Maintenance Project. This work is part of the City’s Street Improvement Program, a 5-year Capital Improvement Program focused on significant investment in the maintenance and repair of Belvedere’s roadways.

The establishment of priority streets and their necessary treatments are outlined in Belvedere’s Pavement Management Technical Assistance Program (P-TAP) Budget Options Report, 2021, a consultant led pavement condition assessment that is performed periodically at a county-wide level. All of the City’s roadways are surveyed and assessed in this effort which occurs once every three years. The work outlined in P-TAP for 2022 includes slurry seal and microsurfacing treatments. In addition, staff identified the need for crack sealing work on the affected roads.

Three competitive bids were submitted by separate construction companies. Upon review of the bids and accompanying certifications, Pavement Coatings Company was deemed the lowest responsive bidder.

Fiscal Impact

\$310,000 was earmarked for pavement repairs in the 2022/23 FY Capital Improvement Budget. The Engineer’s estimate for this project was \$253,000. Pavement Coatings Company’s low bid came in at \$221,605.45. Pavement Coatings Company will also perform crack sealing on all roads within the “2022 Road Maintenance Project” on a time and materials basis, with a do not exceed limit of \$15,000.00, prior to the start of the project. All remaining funds will be allocated towards repairing asphalt base failures and other structural rehab work in the Spring of 2023.

Recommendation

That the City Council award the construction contract for the “2022 Road Maintenance Project” in the amount of \$221,605.45 to Pavement Coatings Co.

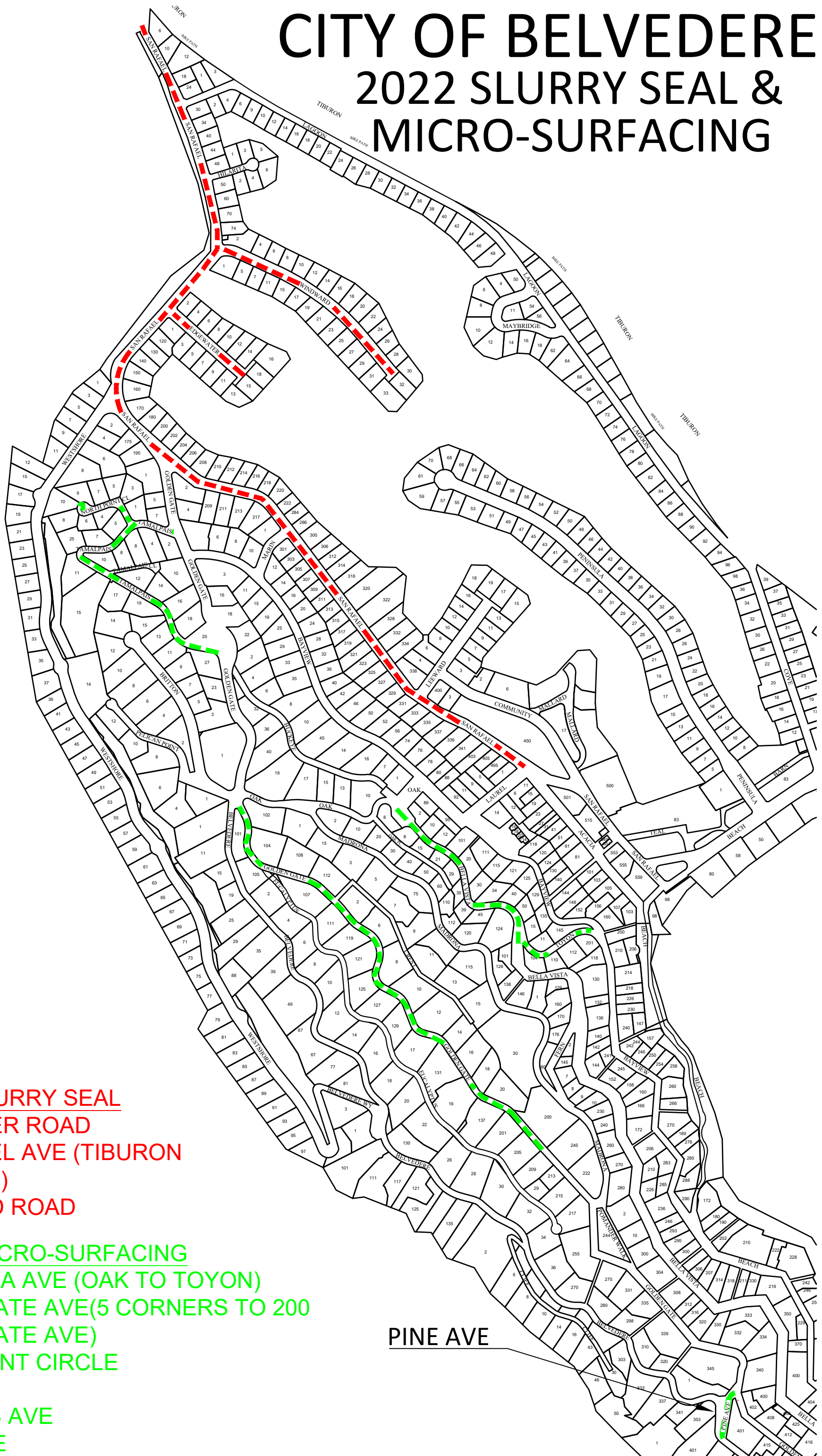
Attachments

1. Bid Summary
2. Map of Slurry Seal and Microsurfacing Locations (Exhibit from Contract Plans)

Bid Opening Summary
Project: 2022 Road Maintenance Project
Bid Date: Sept. 8th, 2022 11:30am [Eng. Est. \$253,000.00 No Addenda as of today's date]

| # | Contractor | Bid Total (P-2) | Addenda (P-3) | Bid Bond | Signature (P-4) | Contractor Data (P-4) |
|----|-----------------------|--------------------|------------------|----------|--------------------|--------------------------|
| 1 | VSS International | \$ 328,000.00 | YES | YES | YES | YES |
| 2 | Dryco | \$ 255,949.32 | YES | YES | YES | YES |
| 3 | Pavement Coatings Co. | \$ 221,605.45 | YES | YES | YES | YES |
| 4 | | | | | | |
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| 10 | | | | | | |

CITY OF BELVEDERE 2022 SLURRY SEAL & MICRO-SURFACING



SLURRY SEAL

- EDGEWATER ROAD
- SAN RAFAEL AVE (TIBURON TO LAUREL)
- WINDWARD ROAD

MICRO-SURFACING

- BELLA VISTA AVE (OAK TO TOYON)
- GOLDEN GATE AVE(5 CORNERS TO 200 GOLDEN GATE AVE)
- NORTH POINT CIRCLE
- PINE AVE
- TAMALPIAS AVE
- TOYON AVE

To: Mayor and City Council

From: Irene Borba, Director of Planning & Building

Reviewed by: Robert Zadnik, City Manager

Subject: Approve revocable license for proposed private improvements in the City street right-of-way along Peninsula Road for the property at 25 Peninsula Road

Recommended Motion/Item Description

That the City Council approve a revocable license agreement for 25 Peninsula Road for existing & new improvements in the Bayview Avenue street right-of-way for concrete driveway apron, walkway to property, and landscaping in the right-of-way.

Background and Findings

On September 20, 2022, the Planning Commission approved Design Review (retroactive) for landscaping & site improvements at the property. The project consists of a redesign of landscaping improvements for the existing house. Most of the previous planting and hardscape around the house has already been removed, including the existing bulkhead and rip rap wall on the northeast side of the existing dock. This is the reason for the retroactive nature of the project.

The new landscape design consists of new bluestone paving, new plantings, including low water use planting in the city right of way and a deck at the rear of the house made of IPE wood decking materials. Two firepits are proposed for the new deck. Landscape lighting is also proposed. The lighting as shown on the plans are low landscaping lighting fixtures and step lighting. The Commission also recommended Council approval of the requested Revocable License for the improvements in the city right-of-way.

A review of city records indicates there are no Revocable Licenses on file for the subject property.

Compliance with Administrative Policy Manual Section 272.05, Revocable Licenses

In accordance with Section 272.05 of the City’s Administrative Policy Manual, a revocable license for private use of the excess street right-of-way may be granted at the discretion of the City Council when there is some benefit to the public, provided that any proposed encroachment into the right-of-way complies with the design review requirements of Title 20 of the Belvedere Municipal Code. The existing & proposed improvements conform to the Administrative Policy Manual for revocable licenses.

The Belvedere Administrative Policy Manual provides that the City Council may grant a revocable license for the private use of excess right-of-way if there is some public benefit and based on a list of factors. (Administrative Policy No. 11.7.) Here, staff recommends that the Council approve a revocable license for the existing & *proposed* improvements pursuant to the administrative policy because there is a public benefit, and the factors are satisfied, as indicated in italics below.

- a. Where necessary to provide pedestrian or vehicular access from private property to the adjacent public street;

There is an existing driveway apron to provide vehicle access to property as well as a walkway to provide pedestrian access over city property to residence.

- b. Where use of the public right-of-way will permit landscaping and/or related improvements to be installed that the City Council determines will enhance the aesthetic qualities of the streetscape. Any such landscaping and/or related improvements should not significantly impede public views or views from neighboring properties, or infringe on the privacy of neighboring properties;

The proposed new vegetation helps to soften and screen the property along the street and improves the aesthetic qualities of the streetscape. Said landscaping will not significantly impede public views from what currently exists or infringe on the privacy of neighboring properties.

- c. Where use of the public right-of-way will permit the creation of an off-street parking area, and will thereby relieve parking or traffic congestion on the adjacent City street;

Not applicable.

- d. Where the public right-of-way will be used to construct retaining walls, drainage structures or other facilities that the City considers necessary to protect or maintain the public infrastructure;

There are no retaining walls proposed in the right of way.

- e. Where appropriate to validate already existing private improvements in the public right-of-way for the purpose of shifting the City's potential liability for injuries and damages to the private property owners using the right of-way for private purposes;

The existing improvements include, a concrete driveway, and walkway to access residence. The project is proposing new landscaping in the public right-of-way. A Revocable License is necessary to shift potential liability for injury and damages to the private property owner.

- f. Where necessary to protect or enhance public safety;

Not applicable.

- g. Where use of the public right-of-way will provide an area for street-level refuse and recycling containers on property that would otherwise not have an area for such improvements.

Not applicable as no street-level refuse area is proposed with this project.

Additionally, the Administrative Policy further states that "Where fencing is proposed on City property, with the exception of where said fencing would be located on a very steep slope and

would serve as a safety measure for vehicles and pedestrians said fencing should normally be avoided as this effectively turns public property into private property and potentially creates the unwanted image of a “tunnel effect” along our city streets. Fences and other similar barriers, including landscaping, that enclose public property for private use should be avoided.”

No fencing is proposed in the public right-of-way.

Public Benefit

The project benefits the public, as these proposed improvements will enhance the aesthetic appeal of the property frontage and will the driveway apron and walkway provide access to the property. The proposed landscaping will provide screening of the home, as well as creating visual interest of the property.

Future improvements

The license covers any future improvements within the revocable license area which receive staff or Planning Commission design review approval, and which meet one or more of the criteria for approval of revocable license listed in the City’s Administrative Policy Manual, Policy 272.05, as adopted by City Council resolution. Applications for substantial, potentially permanent and/or obstructive structures within the City right-of-way, which fall outside the criteria, will still be required to go to the City Council for consideration and approval/denial. Detailed records at City Hall, maintained in the Planning Department file for this address, will always be available to show exactly what structures have been approved within the license area. This will save considerable staff time that would otherwise be devoted to bringing a revised license and staff report to the City Council, along with issuing, recording, and archiving a new license agreement.

Recommended Action

That the City Council approve a new/updated revocable license agreement for existing & *proposed* improvements for 25 Peninsula Road as part of the Consent Calendar.

Attachments

1. Draft license agreement with attached exhibit.

RECORDING REQUESTED BY:
City Clerk, City of Belvedere
RECORD WITHOUT FEE PER G.C. 27383

AND WHEN RECORDED MAIL TO:

City Clerk
City of Belvedere
450 San Rafael Avenue
Belvedere, CA 94920-2336

CITY OF BELVEDERE

REVOCABLE LICENSE NO. 2022.07

ASSESSOR'S PARCEL NO.: **060-072-04**
ADDRESS: **25 Peninsula Road, Belvedere, California 94920**
OWNER: **Trygve Liljestrand**
DATE ISSUED: **October 10, 2022**

The City of Belvedere, California, a municipal corporation (hereinafter referred to as "City"), hereby authorizes and licenses the owner of the land described above and in Exhibit "A" (hereinafter referred to as "Licensee"), at its own cost and expense, to encroach upon the adjoining land owned by the City of Belvedere (hereinafter referred to as "Premises") for the following purpose:

concrete driveway apron, walkway to property and landscaping

The above-described improvements received City design review approval. This license shall cover any future improvements within the revocable license area which receive design review approval and which meet one or more of the criteria adopted by City Council resolution for the granting of revocable licenses. Any future revocable license application which does not meet the criteria must be approved by the City Council.

This revocable license is granted subject to the following terms and conditions:

1. Licensee shall save and hold harmless the City of Belvedere from any loss, damage, or injury of any kind or character whatsoever that may arise from anything done, or omitted to be done, by Licensee, its agents, employees or contractors in connection with or in any way related to the matters authorized by this License. Licensee agrees to hold City harmless and indemnify City (including, but not limited to, attorney fees, expert witness costs and court costs), without limitation, from and against any and all claims, injuries, damage, liability and/or cause of action which may ever arise as a result of injury and/or damage to property claimed to be the result of construction and/or failure to maintain said property or improvements by Licensee in, on, under, or above City property which is the subject of the revocable license granted Licensee by City.
2. To the extent this License authorizes the erection or installation of any building, fence, wall, or other structure or facility in or upon land owned by City, Licensee agrees to erect and install the same in accordance with plans and specifications approved by the Planning Commission of the City of Belvedere and further agrees to maintain the same at all times in good condition and repair, all at Licensee's sole cost and expense.
3. To the extent this License authorizes the erection or installation of any infrastructure improvements which are subject to the Americans With Disabilities Act ("the Act"), Licensee agrees to construct and maintain those improvements in full compliance with the requirements of the Act.
4. If Licensee shall fail to comply with the terms and conditions of this License, the City, at its option may immediately terminate and revoke this License by mailing or delivering written notice thereof

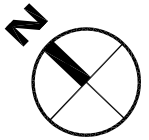
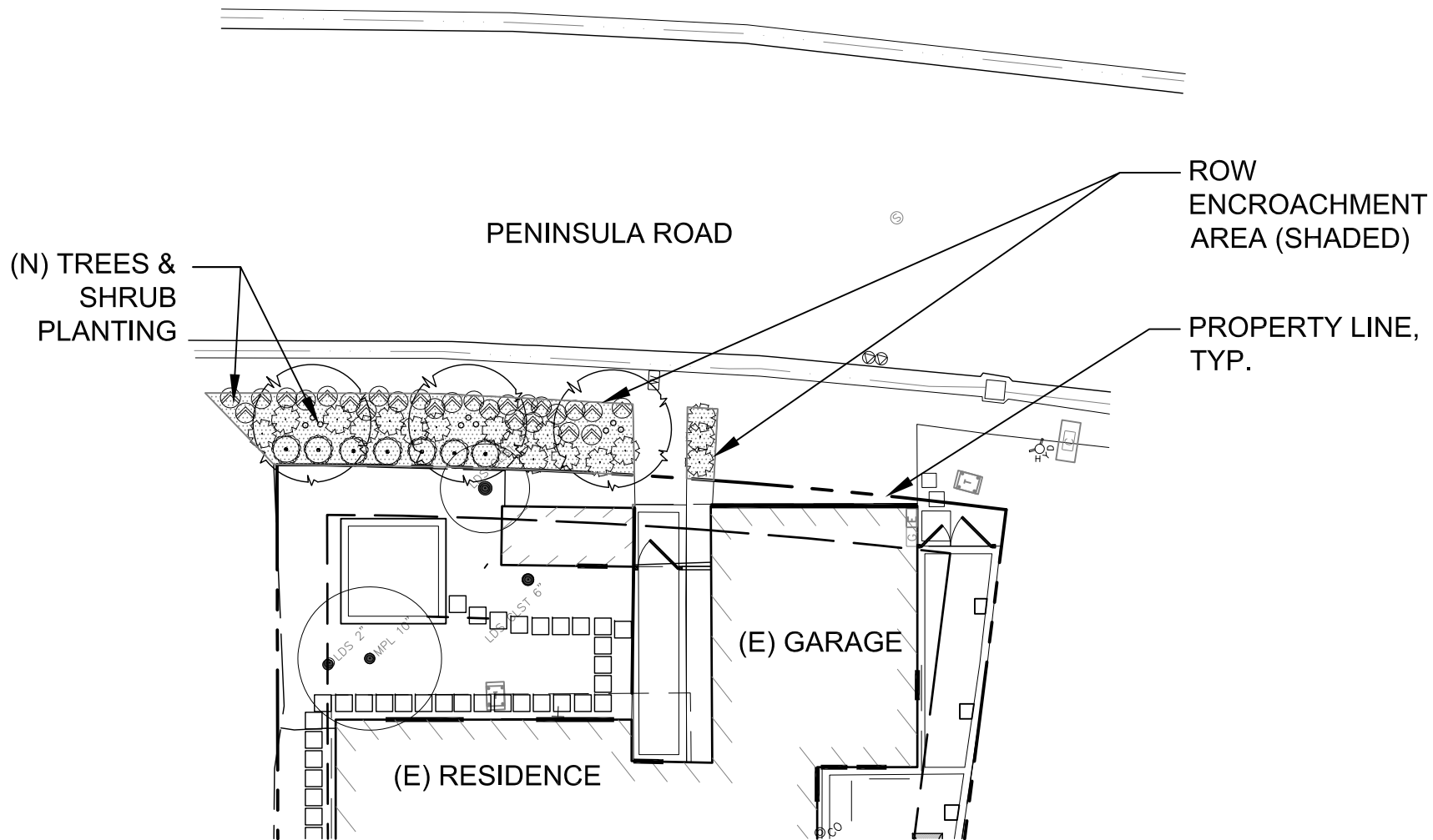
- to Licensee at the address hereinabove stated. Licensee shall not restrict access by the public and/or by adjacent property owners to the licensed area.
5. Licensee shall execute this License by: signing the License; making an acknowledgement of the License before a notary public or an officer specified by the State to take the acknowledgement of instruments of writing; and delivering the signed License and certificate of acknowledgement to the City. If Licensee shall fail to execute this License within thirty days of the date issued, the City may immediately terminate and revoke this License by mailing or delivering written notice thereof to Licensee at the address hereinabove stated.
 6. Anything herein to the contrary notwithstanding, this License shall be revocable at the pleasure of the City Council of the City of Belvedere. The election to revoke this License may be exercised at any time by mailing or delivering to Licensee at the address hereinabove stated a notice of revocation and termination. Within the time specified in said notice, Licensee shall, at its own cost and expense, remove from the Premises the encroachment and all structures and facilities placed thereon or therein by Licensee.
 7. That upon the failure of Licensee to comply with any of the agreements contained herein, City may declare said improvements to be a public nuisance and may take such action as may be authorized by law to abate said nuisance. The City shall be entitled to recover from Licensee costs of suit and reasonable attorney's fees, to be determined by the court. The remedy of City as contained in this paragraph shall not be exclusive.
 8. The Licensee acknowledges that the property interest created hereunder by issuance of this license may be subject to possessory interest taxation and said Licensee in whom such possessory interest is vested recognizes and agrees that it/they shall be solely responsible for payment of all such taxes levied upon said possessory interest.
 9. The Licensee shall deliver this license to any successor in interest to the above-described land.
 10. The agreements contained herein are covenants and servitudes running with the land and shall be binding upon Licensee and its successors, assignors, executors, administrators, and personal representatives.
 11. The Licensee shall obtain an encroachment permit from the City prior to the commencement of any work on City property.
 12. Any previous revocable licenses issued to this property are now null and void.

Issued by direction of the City Council of the City of Belvedere pursuant to action taken at its meeting of October 10, 2022.

Robert Zadnik, City Manager

The foregoing License is accepted and its terms and conditions are agreed to:

Trygve Liljestrand, Licensee



REVOCABLE LICENSE EXHIBET "A"

LICENSE AREA SHOWN SHADED

25 PENINSULA ROAD
 BELVEDERE, CA 94920
 APN# 060-072-04

SCALE: 1/16" = 1'-0"

To: Mayor and City Council

From: Samie Malakiman, Associate Planner

Reviewed By: Irene Borba, Director of Planning and Building
Robert Zadnik, City Manager
Amy Ackerman, City Attorney

Subject: Revocable license for proposed private improvements in the City street right-of-way along Windward Road for the property at 28 Windward Road

Recommended Motion/Item Description

That the City Council review and approve a revocable license agreement for 28 Windward Road for new & existing improvements in the 28 Windward Road right-of-way for: new Driveway, Sidewalk, and Landscaping.

Background and Findings

Proposed encroachment on City property – 28 Windward Road – APN 060-021-37. The attached license agreement requires the property owner to assume liability and maintenance responsibilities for:

New Driveway, Sidewalk, and Landscaping

Background of current application

On May 18, 2021, the Planning Commission approved Design Review for a remodel and addition to the residence at 28 Windward Road. The project received Planning Commission approval for a variance from side yard setback requirements the following month on June 15, 2021. As a project condition of approval, the applicant is required to obtain a Revocable License for all previous and proposed improvements within the public right-of-way.

A review of city records indicates that there is no existing Revocable License for the property.

Existing Improvements

- Driveway
- Concrete slab
- Landscaping
- Sidewalk

Proposed Improvements in the Britton Avenue Right of Way

- Driveway
- Concrete slab
- Landscaping
- Sidewalk

Compliance with Administrative Policy Manual Section 272.05, Revocable Licenses

In accordance with Section 11.7 of the City’s Administrative Policy Manual, a revocable license for private use of excess street right-of-way may be granted at the discretion of the City Council when there is some benefit to the public, and provided that any proposed encroachment into the right-of-way complies with the design review requirements of Title 20 of the Belvedere Municipal Code. The existing & proposed improvements conform to the Administrative Policy Manual for revocable licenses.

The Belvedere Administrative Policy Manual provides that the City Council may grant a revocable license for the private use of excess right-of-way if there is some public benefit and based on a list of factors. (Administrative Policy No. 11.7.) Here, staff recommends that the Council approve a revocable license for the existing & *proposed* improvements pursuant to the administrative policy because there is a public benefit, and the factors are satisfied, as indicated in italics below.

- a. Where necessary to provide pedestrian or vehicular access from private property to the adjacent public street;

The project proposes to replace the existing concrete driveway and sidewalk with new concrete. The improvements are necessary to provide pedestrian and vehicular access.

- b. Where use of the public right-of-way will permit landscaping and/or related improvements to be installed that the City Council determines will enhance the aesthetic qualities of the streetscape. Any such landscaping and/or related improvements should not significantly impede public views or views from neighboring properties, or infringe on the privacy of neighboring properties;

The project proposes to remove existing concrete and install new landscaping. The landscaping will help soften and screen the property along the street and will improve the aesthetic qualities of the streetscape. Said landscaping will not significantly impede public views from what currently exists or infringe on the privacy of neighboring properties. Landscaping will include five Birch trees (24” boxes).

- c. Where use of the public right-of-way will permit the creation of an off-street parking area, and will thereby relieve parking or traffic congestion on the adjacent City street;

The project proposes to replace an existing driveway with a new driveway that will lead to the existing two-car garage. The garage is not in the right-of-way and will provide parking for the homeowners.

- d. Where the public right-of-way will be used to construct retaining walls, drainage structures or other facilities that the City considers necessary to protect or maintain the public infrastructure;

There are no new retaining walls proposed in the right of way.

- e. Where appropriate to validate already existing private improvements in the public right-of-way for the purpose of shifting the City's potential liability for injuries and damages to the private property owners using the right of-way for private purposes;

The existing improvements include: concrete driveway, sidewalk, concrete slab, and landscaping. The project is proposing to upgrade relevant frontage including concrete driveway, landscaping, sidewalk, and concrete slab. A Revocable License is necessary to shift potential liability for injury and damages to the private property owner.

- f. Where necessary to protect or enhance public safety;

The project will enhance public safety by providing updated frontage and streetscape improvements.

- g. Where use of the public right-of-way will provide an area for street-level refuse and recycling containers on property that would otherwise not have an area for such improvements.

Not applicable as no street-level refuse area is proposed with this project.

Additionally, the Administrative Policy states that "Where fencing is proposed on City property, with the exception of where said fencing would be located on a very steep slope and would serve as a safety measure for vehicles and pedestrians, said fencing should normally be avoided as this effectively turns public property into private property and potentially creates the unwanted image of a "tunnel effect" along our city streets. Fences and other similar barriers, including landscaping, that enclose public property for private use should be avoided."

Not applicable as no fencing is proposed within the public right-of-way.

Public Benefit

The project benefits the public, as these proposed improvements will enhance the aesthetic appeal of the property frontage and will provide safer pedestrian access by way of an upgraded sidewalk. The proposed landscaping will provide screening of the home and create new visual interest. The improvements would not impede pedestrian access along the public sidewalk.

Future improvements

The license covers any future improvements within the revocable license area that receive staff or Planning Commission design review approval and which meet one or more of the criteria for approval of revocable license listed in the City's Administrative Policy Manual, Policy 11.7, as adopted by City Council resolution. Applications for substantial, potentially permanent and/or obstructive structures within the City right-of-way, which fall outside the criteria, will still be

required to go to the City Council for consideration and approval/denial. Detailed records at City Hall, maintained in the Planning Department file for this address, will be retained in perpetuity to memorialize the exact structures approved by the city within the license area. This will save considerable staff time that would otherwise be devoted to bringing a revised license and staff report to the City Council, along with issuing, recording, and archiving said agreement.

Recommended Action

That the City Council approve a revocable license agreement for existing & *proposed* improvements for 28 Windward Road as part of the Consent Calendar.

Attachments

- a. Draft license agreement with attached exhibit.
- b. Revocable License Application.
- c. Google Street View
- d. Planning Commission approved plans

RECORDING REQUESTED BY:
City Clerk, City of Belvedere
RECORD WITHOUT FEE PER G.C. 27383

AND WHEN RECORDED MAIL TO:

City Clerk
City of Belvedere
450 San Rafael Avenue
Belvedere, CA 94920-2336

CITY OF BELVEDERE REVOCABLE

LICENSE NO. 2022-08

ASSESSOR'S PARCEL NO.: **060-021-37**
ADDRESS: **28 Windward Road, Belvedere, California 94920**
OWNER: **Fernando and Gloria Cruz**
DATE ISSUED: **October 10, 2022**

The City of Belvedere, California, a municipal corporation (hereinafter referred to as "City"), hereby authorizes and licenses the owner of the land described above and in Exhibit "A" (hereinafter referred to as "Licensee"), at Licensee's own cost and expense, to encroach temporarily upon the adjoining land owned by the City of Belvedere (hereinafter referred to as "Premises") for the following purpose:

Driveway, Sidewalk, and Landscaping.

The Planning Commission approved these improvements on May 18, 2021, and a more specific description of the improvements can be found in the approved plans. This license shall cover any future improvements within the revocable license area which receive design review approval from the Planning Commission or Planning staff and which meet one or more of the criteria adopted by City Council resolution for the granting of revocable licenses.

A legal description of the Premises is attached hereto as Exhibit A and incorporated herein by reference.

This revocable license is granted subject to the following terms and conditions:

1. Licensee shall save and hold the City harmless from any loss, damage, or injury of any kind or character whatsoever that may arise from anything done, or omitted to be done, by Licensee, its agents, employees or contractors in connection with or in any way related to the matters authorized by this License. Licensee agrees to hold City harmless and indemnify City (including, but not limited to, attorney fees, expert witness costs and court costs), without limitation, from and against any and all claims, injuries, damage, liability and/or cause of action which may ever arise as a result of injury and/or damage to property claimed to be the result of construction and/or failure to maintain said property or improvements by Licensee in, on, under, or above City property which is the subject of the revocable license granted Licensee by City.
2. All work performed pursuant to this License shall comply with the City of Belvedere Municipal Code, including, without limitation, Title 13.
3. To the extent this License authorizes the erection or installation of any building, fence, wall, or other structure or facility in or upon land owned by City, Licensee agrees to erect and install the same in accordance with plans and specifications approved by the Planning Commission or Planning staff and further agrees to maintain the same at all times in good condition and repair, all at Licensee's sole cost and expense.

4. To the extent this License authorizes the erection or installation of any infrastructure improvements that are subject to the Americans With Disabilities Act (“the Act”), Licensee agrees to construct and maintain those improvements in full compliance with the requirements of the Act.
5. If Licensee shall fail to comply with the terms and conditions of this License, the City Manager at his sole discretion may immediately terminate and revoke this License by mailing or delivering written notice thereof to Licensee at the address hereinabove stated.
6. This License does not convey an exclusive right to use the Premises. Licensee shall not restrict access by the public and/or by adjacent property owners to the licensed area.
7. Licensee shall execute this License by: signing the License; making an acknowledgement of the License before a notary public or an officer specified by the State to take the acknowledgement of instruments of writing; and delivering the signed License and certificate of acknowledgement to the City. If Licensee shall fail to execute this License within thirty days of the date issued, the City may immediately terminate and revoke this License by mailing or delivering written notice thereof to Licensee at the address hereinabove stated.
8. ***Notwithstanding any other provision herein, this License shall be revocable at the pleasure of the City Council of the City of Belvedere.*** The election to revoke this License may be exercised at any time by mailing or delivering to Licensee at the address hereinabove stated a notice of revocation and termination. Within the time specified in said notice, Licensee shall, at its own cost and expense, remove from the Premises the encroachment and all structures and facilities placed thereon or therein by Licensee.
9. Upon the failure of Licensee to comply with any of the agreements contained herein, City may declare said improvements to be a public nuisance and may take such action as may be authorized by law to abate said nuisance. The City shall be entitled to recover from Licensee costs of suit and reasonable attorney's fees, to be determined by the court. The remedy of City as contained in this paragraph shall not be exclusive.
10. The Licensee acknowledges that the property interest created hereunder by issuance of this license may be subject to possessory interest taxation and said Licensee in whom such possessory interest is vested recognizes and agrees that it/they shall be solely responsible for payment of all such taxes levied upon said possessory interest.
11. The Licensee shall deliver this license to any successor in interest to the above-described land.
12. The agreements contained herein are covenants and servitudes running with the land and shall be binding upon Licensee and its successors, assignors, executors, administrators, and personal representatives unless or until revoked by the City.
13. The Licensee shall obtain an encroachment permit from the City prior to the commencement of any work on City property.
14. Any previous revocable licenses issued to this property are now null and void.

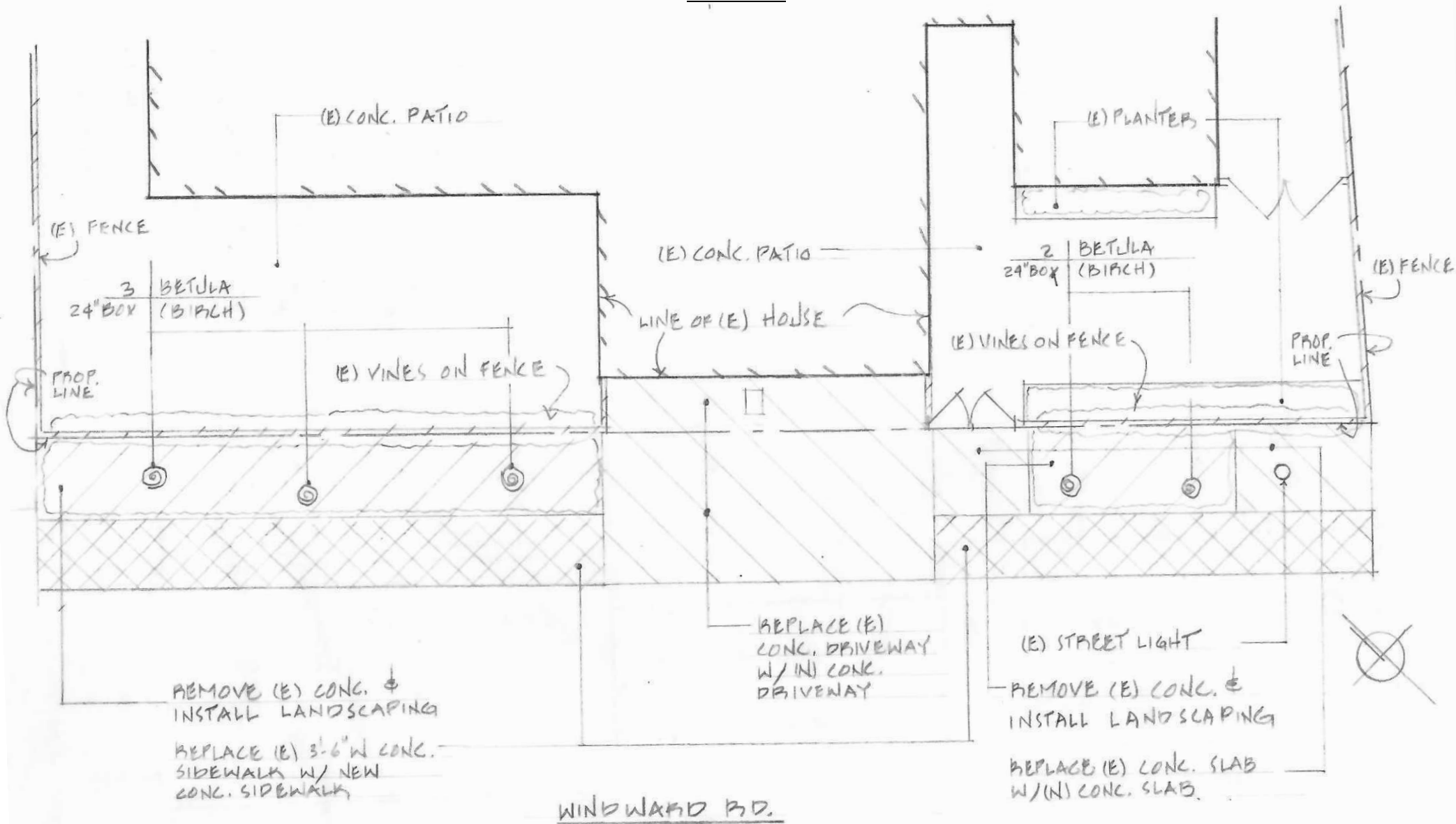
Issued by direction of the City Council of the City of Belvedere pursuant to action taken at its meeting of October 10, 2022.

Robert Zadnik, City Manager

The foregoing License is accepted and its terms and conditions are agreed to:

Fernando and Gloria Cruz, Licensee

Exhibit A



PARTIAL SITE PLAN (SIDEWALK REPLACEMENT)

REVOCABLE LICENCE

1/8" = 1'-0"

CRUZ RESIDENCE
28 WINDWARD ROAD
BELVEDERE, CA 94920
A.P. # 060-021-37



APPLICATION FOR REVOCABLE LICENSE

CITY OF BELVEDERE
450 SAN RAFAEL AVE • BELVEDERE, CA 94920-2336
PH. 415-435-3838 • FAX 415-435-0430 • WWW.CITYOFBELVEDERE.ORG

RECEIVED FOR STAFF USE ONLY

Date: AUG 03 2022 Rec'd. by: NSM Amount: _____ Receipt No.: _____
Parcel No. Belvedere Zone: _____
City property to be encroached upon: _____

TO BE COMPLETED BY APPLICANT

Address of Property: 28 WINDWARD RD
BELVEDERE CA 94920

Type of City Property to Be Encroached Upon (e.g., street right-of-way, view easement, tide lot):
STREET

Record Owner of Property: FERNANDO AND GLORIA CRUZ
Mailing 28 WINDWARD RD Daytime Phone: [REDACTED]
Address: BELVEDERE CA 94920 Fax: _____
Email: [REDACTED]

Owner's Representative: ARCHITECT MOHAMAD SADRIEH
Mailing 1 GATE SIX ROAD BLDG A Daytime Phone: [REDACTED]
Address: SUITE G Fax: _____
SAUSALITO CA 94965 Email: [REDACTED]

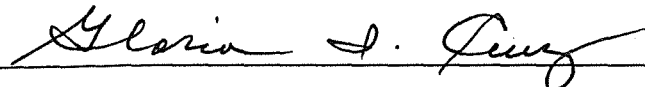
Description of Encroachment Requested and Its Purpose (include list of private improvements, both existing and proposed, that will encroach onto public property):
NEW SIDEWALK TO REPLACE EXISTING ONE

- Applicants, please attach a scale diagram showing your property line and the encroachments. FOLLOW INSTRUCTIONS ON PAGE 3

IMPORTANT! This application will first be reviewed by the City Staff and/or Planning Commission. If the application successfully passes this review, a revocable license agreement will be drawn up by City Staff and a formal recommendation will be made to the City Council to approve it. *The property owner(s) will need to sign the agreement document and have the signature(s) acknowledged by a notary public or the Deputy City Clerk before the agreement can be ratified by the City Council.* A specimen copy of the revocable license agreement is attached for your information. **THE OWNER'S FAILURE TO EXECUTE THE AGREEMENT WILL PREVENT THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE LICENSE.**

I, the undersigned owner of the property herein described (or owner representative, as authorized by completion of a Statement of Ownership and Designation of Representative), hereby make application for the revocable license requested, and I hereby certify that the facts, statements and information presented herein and in the attached exhibit(s) are true and correct to the best of my knowledge and belief

I understand that the contents of this document are a Public Record.

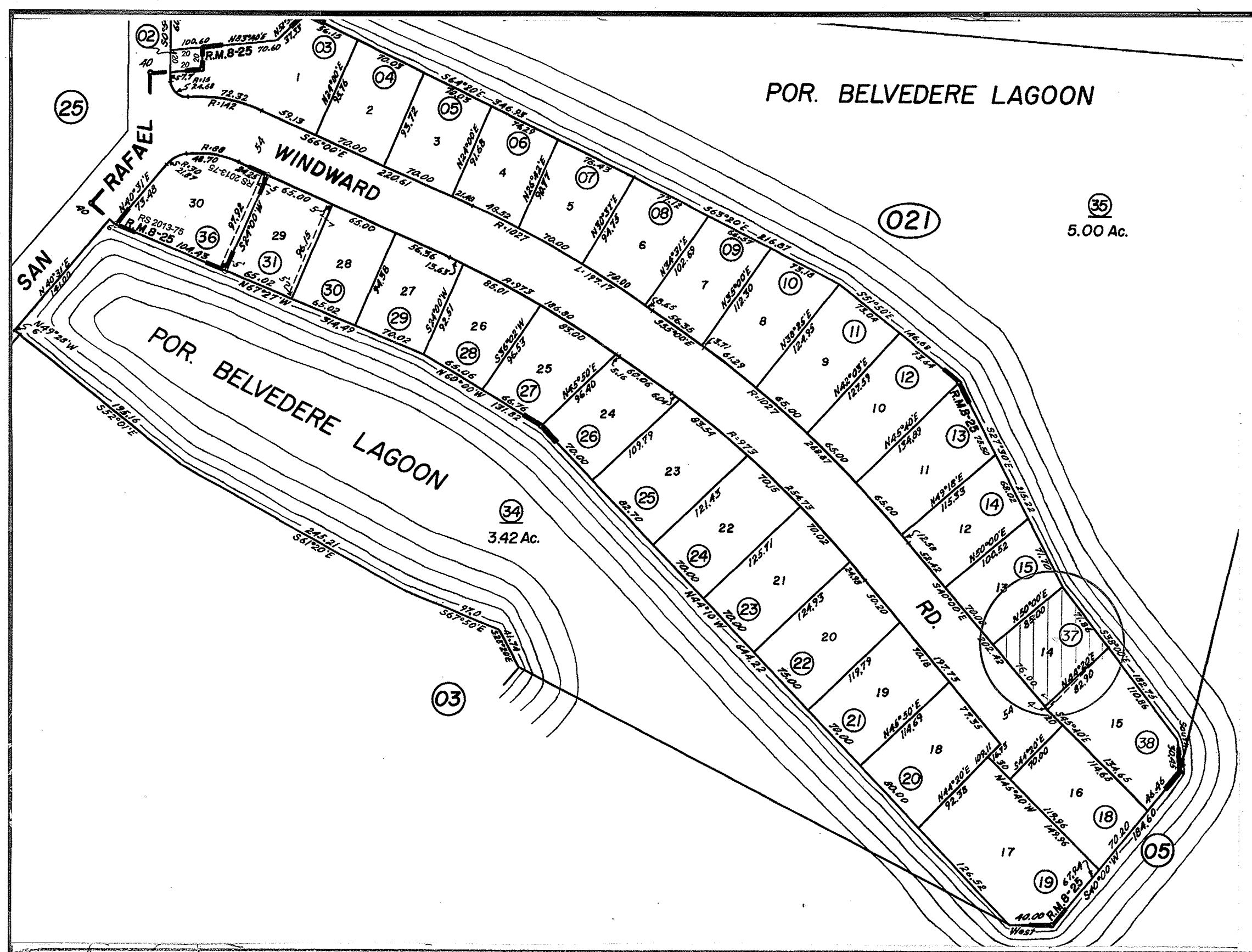
Signature: 

Name: GLORIA I. CRUZ

Date: AUGUST 3, 2022



1511 ←



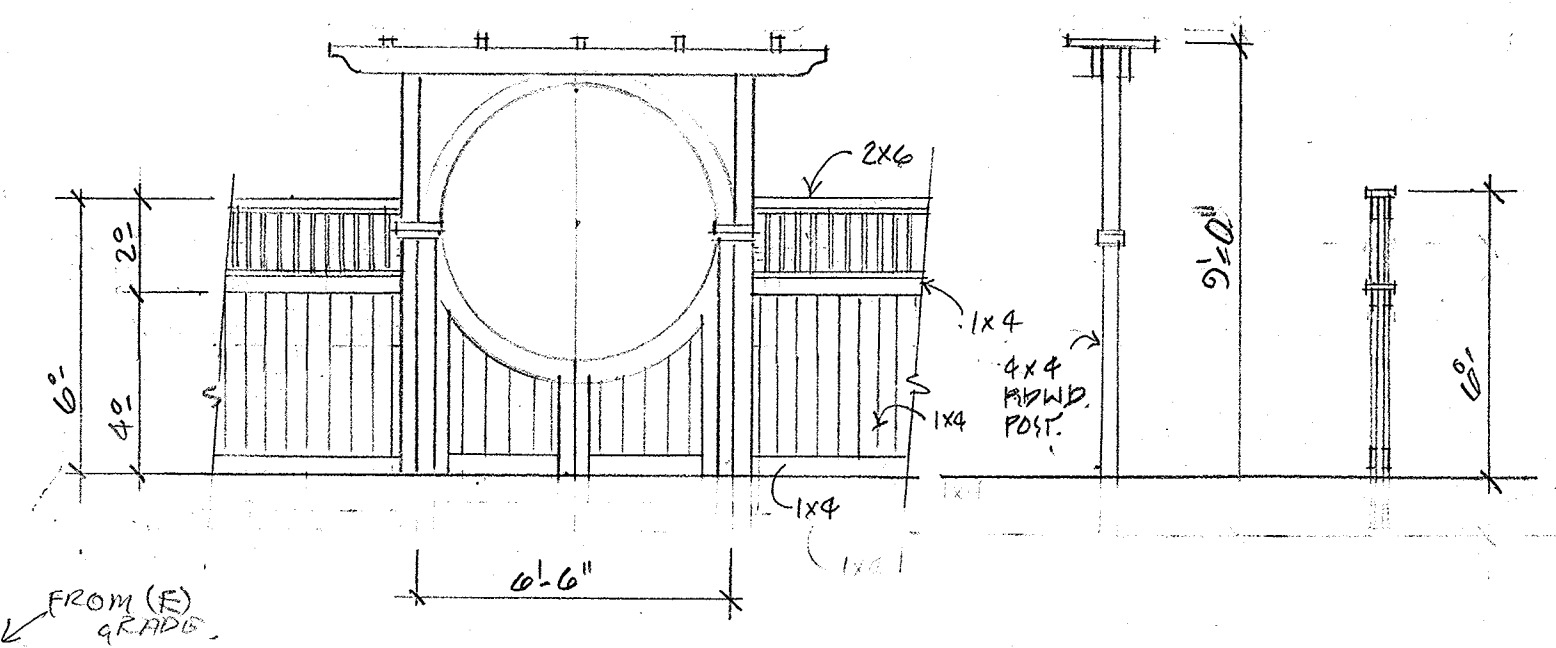
VICINITY PLAN

SCOPE OF WORK

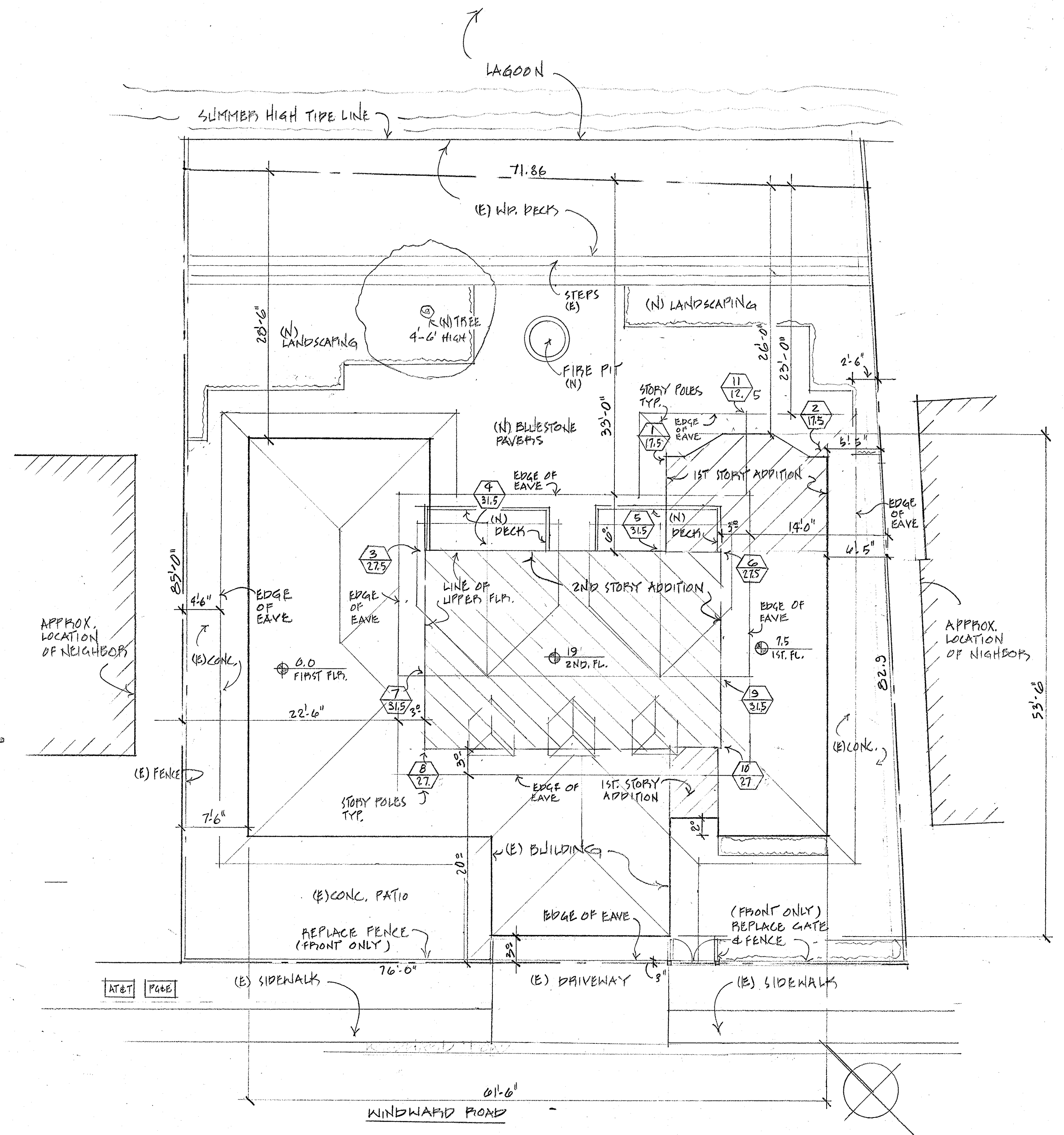
- ADDITION OF A 593 S.F. 2ND FLOOR ON AN EXISTING SINGLE FAMILY HOME
- ADDITION OF A DINING ROOM ON THE LOWER FLOOR
- INCREASING THE SIZE OF THE ENTRY
- NEW KITCHEN, STAIRS, FIREPLACE, POWDER ROOM REMODEL
- NEW SLIDERS AT GREAT ROOM
- NEW ENTRY CLOSET
- NEW COMPOSITION SHINGLE ROOF
- FRENCH DOORS TO REPLACE FRONT WINDOW
- NEW FRONT FENCE AND GATE

ZONING DATA

| | | | |
|--|------------------------|-------------------|-----------------|
| ZONE- | R1-L | | |
| LOT AREA, EXISTING S.F. | 6059 S.F. | | |
| LOT AREA- DRY LAND S.F. | 6059 S.F. | | |
| FLOOR AREA, EXISTING S.F. | 2256 S.F. | | |
| LOT AREA, S.F. | MINIMUM | EXISTING | PROPOSED |
| | 7500 S.F. | 6059 S.F. | 6059 S.F. |
| PROPOSED NEW S.F. | | | |
| 1 ST FLOOR- NEW DINING ROOM ADDITION | | 130 S.F. | |
| 1 ST FLOOR- NEW FOYER INFILL ADDITION | | 37 S.F. | |
| 1 ST FLOOR- TOTAL NEW S.F. | | 167 S.F. | |
| 2 ND FLOOR- NEW ADDITION S.F. | | 593 S.F. | |
| TOTAL: | | 760 S.F. | |
| SETBACKS, FT. | | | |
| FRONT YARD | MINIMUM | EXISTING | PROPOSED |
| 1 ST FLOOR | 10 | 3.0 | 3.0 |
| 2 ND FLOOR | 10 | N/A | 23.0 |
| REAR YARD | MINIMUM | EXISTING | PROPOSED |
| 1 ST FLOOR | 15 | 28.5 | 26'-0" |
| 2 ND FLOOR | 15 | N/A | 39'-0" |
| RIGHT SIDE | MINIMUM | EXISTING | PROPOSED |
| 1 ST FLOOR | 5 | 6.42 | 5.42 |
| 2 ND FLOOR | 10 | N/A | 17'-0" |
| LEFT SIDE | MINIMUM | EXISTING | PROPOSED |
| 1 ST FLOOR | 5 | 7.5 | 7.5 |
| 2 ND FLOOR | 10 | N/A | 25'-6" |
| LOT COVERAGE- MAX. 40% | MAXIMUM | EXISTING | PROPOSED |
| | 2423.6 S.F. - 40% | 2256 S.F. - 37.7% | 2423 S.F. - 40% |
| F.A.R. - MAX. 50% | MAXIMUM | EXISTING | PROPOSED |
| | 3029.5 S.F. - 50% | 2256 S.F. - 37.7% | 3016 S.F. - 4% |
| HEIGHT, FT. - | MAXIMUM | EXISTING | PROPOSED |
| MAX. FROM B.F.E. +1 | 26 FT. W/SETBACK BONUS | 11.9 | 20'-8" |
| HEIGHT FROM EXISTING GRADE | MAXIMUM | EXISTING | PROPOSED |
| | 26 FT. W/SETBACK BONUS | 15.3 | 24'-0" |



FENCE & GATE DETAIL
(FACING STREET ONLY)



| REVISIONS | BY |
|--------------|----|
| DEC. 10, '20 | |
| | |
| | |
| | |

MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A., SUITE G
 SAUSALITO, CA 94965
 415-331-0410

SITE PLAN

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. # 060-021-37

| | |
|-------|--------------|
| Date | SEP. 22, '20 |
| Scale | 1/8"=1'-0" |
| Drawn | |
| Job | |
| Sheet | 1 |
| Of 13 | Sheets |

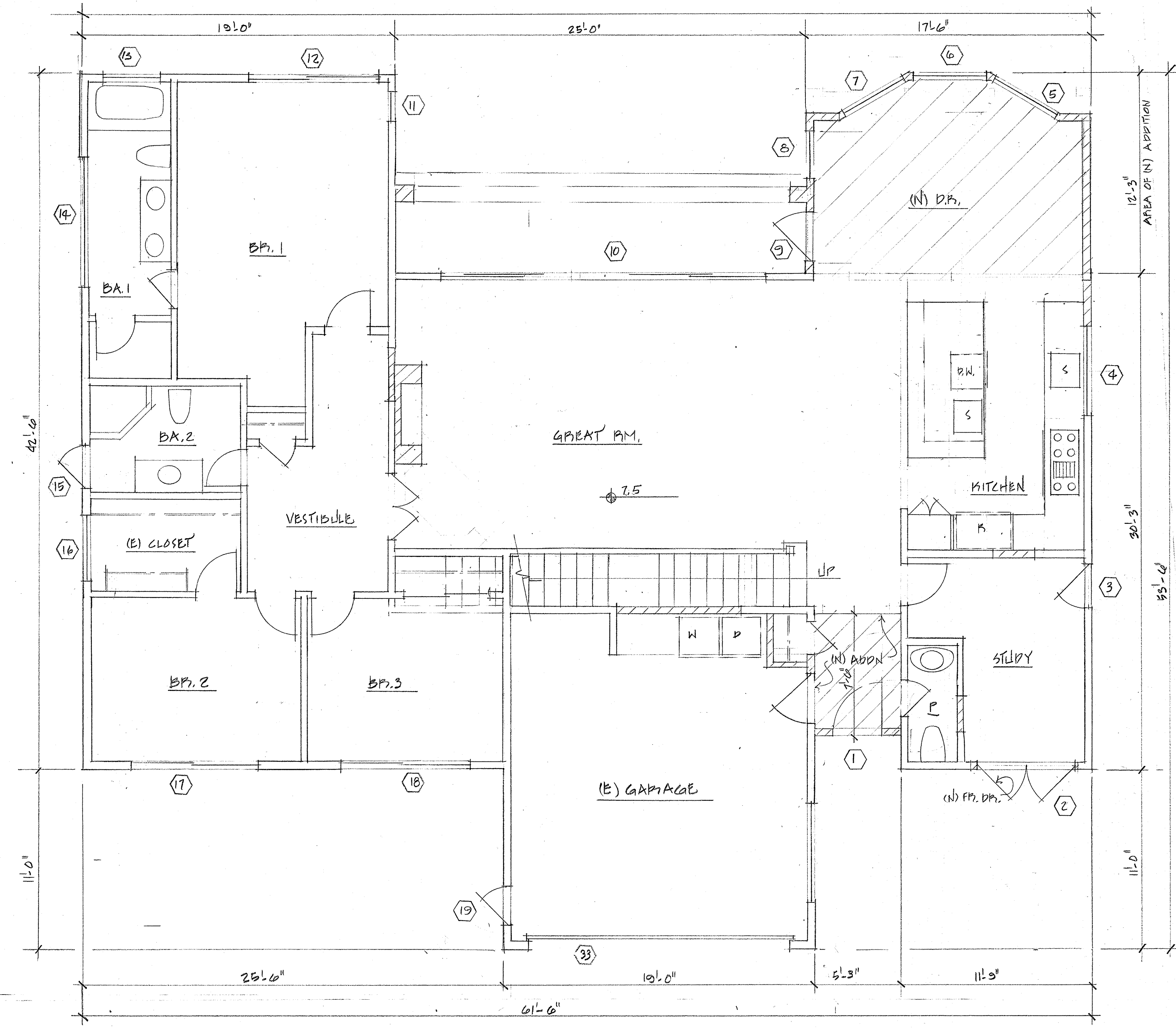
| REVISIONS | BY |
|-------------|----|
| DEC. 10, 20 | |
| | |
| | |
| | |
| | |

MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A, SUITE G
 SAUSALITO, CA 94965
 415-331-0410

LOWER FLOOR PLAN

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELLEVILLE CA 94020
 A.P. # 066-021-37

Date SEP. 22, 20
 Scale 1/4" = 1'-0"
 Drawn
 Job
 Sheet 2
 Of 13 Sheets



LOWER FLOOR PLAN

(E) GARAGE = 399 S.F. (E) BLDG. = 1857 S.F. TOTAL (E) BLDG. = 2256 S.F. 167 S.F.(ADDITION) = 2423 S.F.

To: Mayor and City Council

From: Samie Malakiman, Associate Planner

Reviewed By: Irene Borba, Director of Planning and Building
Robert Zadnik, City Manager
Amy Ackerman, City Attorney

Subject: Revocable license for proposed private improvements in the City street right-of-way along Lagoon Road for the property at 68 Lagoon Road

Recommended Motion/Item Description

That the City Council review and approve a revocable license agreement for 68 Lagoon Road for new & existing improvements in the 68 Lagoon Road right-of-way for: new Driveway, Sidewalk, and Landscaping.

Background and Findings

Proposed encroachment on City property – 68 Lagoon Road – APN 060-063-17. The attached license agreement requires the property owner to assume liability and maintenance responsibilities for:

New Driveway, Sidewalk, Curb and Gutter, and Landscaping

Background of current application

On September 20, 2022, the Planning Commission approved Design Review and Demolition permit to demolish an existing residence and construct a new FEMA compliant, single-story residence at 68 Lagoon Road. The Commission unanimously approved the project and raised no concerns or objections to the proposed public right-of-way improvements on 68 Lagoon Road. The Commission agreed the project conforms Municipal Code Chapter 13.04 and Section 19.48.100 and to the requirements in the Administrative Policy Manual for Revocable Licenses.

A review of city records indicates that there is no existing Revocable License for the property.

Existing Improvements

- Driveway
- Landscaping
- Sidewalk/Curb/Gutter

Proposed Improvements in the Britton Avenue Right of Way

- Driveway
- Landscaping
- Sidewalk/Curb/Gutter

Compliance with Administrative Policy Manual Section 272.05, Revocable Licenses

In accordance with Section 11.7 of the City’s Administrative Policy Manual, a revocable license for private use of excess street right-of-way may be granted at the discretion of the City Council when there is some benefit to the public, and provided that any proposed encroachment into the right-of-way complies with the design review requirements of Title 20 of the Belvedere Municipal Code. The existing & proposed improvements conform to the Administrative Policy Manual for revocable licenses.

The Belvedere Administrative Policy Manual provides that the City Council may grant a revocable license for the private use of excess right-of-way if there is some public benefit and based on a list of factors. (Administrative Policy No. 11.7.) Here, staff recommends that the Council approve a revocable license for the existing & *proposed* improvements pursuant to the administrative policy because there is a public benefit, and the factors are satisfied, as indicated in italics below.

- a. Where necessary to provide pedestrian or vehicular access from private property to the adjacent public street;

The project proposes to remove the existing driveway and replace it approximately 15 feet north. The project will upgrade the existing sidewalk to meet current ADA compliant standards as well. The improvements are necessary to provide pedestrian and vehicular access.

- b. Where use of the public right-of-way will permit landscaping and/or related improvements to be installed that the City Council determines will enhance the aesthetic qualities of the streetscape. Any such landscaping and/or related improvements should not significantly impede public views or views from neighboring properties, or infringe on the privacy of neighboring properties;

The project proposes to remove five trees (6-inch dia., 15 ft tall) and install new landscaping. The landscaping will help soften and screen the property along the street and will improve the aesthetic qualities of the streetscape. Said landscaping will not significantly impede public views from what currently exists or infringe on the privacy of neighboring properties. Landscaping will include 6-foot tall Coffeeberry, Germander, and Purple Sage.

- c. Where use of the public right-of-way will permit the creation of an off-street parking area, and will thereby relieve parking or traffic congestion on the adjacent City street;

The project proposes to replace an existing driveway with a new driveway that will lead to a new two-car garage. The garage is not in the right-of-way and will provide parking for the homeowners.

- d. Where the public right-of-way will be used to construct retaining walls, drainage structures or other facilities that the City considers necessary to protect or maintain the public infrastructure;

There are no new retaining walls proposed in the right of way.

- e. Where appropriate to validate already existing private improvements in the public right-of-way for the purpose of shifting the City's potential liability for injuries and damages to the private property owners using the right of-way for private purposes;

The existing improvements include: concrete driveway, sidewalk; curb and gutter, and landscaping. The project is proposing to upgrade relevant frontage including curb/gutter, curb ramp, driveway approach, and ADA compliant sidewalks to conform with the Marin County Uniform Construction Standards. New landscaping is proposed as well. A Revocable License is necessary to shift potential liability for injury and damages to the private property owner.

- f. Where necessary to protect or enhance public safety;

The sidewalk improvements will enhance public safety by providing updated frontage improvements in conformance with the Marin County Uniform Construction Standards.

- g. Where use of the public right-of-way will provide an area for street-level refuse and recycling containers on property that would otherwise not have an area for such improvements.

Not applicable as no street-level refuse area is proposed with this project.

Additionally, the Administrative Policy states that "Where fencing is proposed on City property, with the exception of where said fencing would be located on a very steep slope and would serve as a safety measure for vehicles and pedestrians, said fencing should normally be avoided as this effectively turns public property into private property and potentially creates the unwanted image of a "tunnel effect" along our city streets. Fences and other similar barriers, including landscaping, that enclose public property for private use should be avoided."

Not applicable as no fencing is proposed within the public right-of-way.

Public Benefit

The project benefits the public, as these proposed improvements will enhance the aesthetic appeal of the property frontage and will provide safer pedestrian access with a sidewalk that is up to Marin County Uniform Construction Standards. The proposed landscaping will provide screening of the home and create visual interest. The improvements would not impede pedestrian access along the public sidewalk.

Future improvements

The license covers any future improvements within the revocable license area that receive staff or Planning Commission design review approval, and which meet one or more of the criteria for

approval of revocable license listed in the City's Administrative Policy Manual, Policy 11.7, as adopted by City Council resolution. Applications for substantial, potentially permanent and/or obstructive structures within the City right-of-way, which fall outside the criteria, will still be required to go to the City Council for consideration and approval/denial. Detailed records at City Hall, maintained in the Planning Department file for this address, will be retained in perpetuity to memorialize the exact structures approved by the city within the license area. This will save considerable staff time that would be devoted to bringing a revised license and staff report to the City Council and in issuing, recording, and archiving a new license agreement.

Recommended Action

That the City Council approve a revocable license agreement for existing & *proposed* improvements for 68 Lagoon Road as part of the Consent Calendar.

Attachments

- a. Draft license agreement with attached exhibit.
- b. Revocable License Application.
- c. Site Plan and Landscape Plan
- d. Plans approved by the Planning Commission
- e. Google Street view of Existing Property

RECORDING REQUESTED BY:
City Clerk, City of Belvedere
RECORD WITHOUT FEE PER G.C. 27383

AND WHEN RECORDED MAIL TO:

City Clerk
City of Belvedere
450 San Rafael Avenue
Belvedere, CA 94920-2336

CITY OF BELVEDERE REVOCABLE

LICENSE NO. 2022-09

ASSESSOR'S PARCEL NO.: **060-063-17**
ADDRESS: **68 Lagoon Road, Belvedere, California 94920**
OWNER: **Red Riding Hood Cabin LLC**
DATE ISSUED: **October 10, 2022**

The City of Belvedere, California, a municipal corporation (hereinafter referred to as "City"), hereby authorizes and licenses the owner of the land described above and in Exhibit "A" (hereinafter referred to as "Licensee"), at Licensee's own cost and expense, to encroach temporarily upon the adjoining land owned by the City of Belvedere (hereinafter referred to as "Premises") for the following purpose:

New Driveway, Sidewalk, Curb and Gutter, and Landscaping.

The Planning Commission approved these improvements on September 20, 2022 and a more specific description of the improvements can be found in the approved plans. This license shall cover any future improvements within the revocable license area which receive design review approval from the Planning Commission or Planning staff and which meet one or more of the criteria adopted by City Council resolution for the granting of revocable licenses.

A legal description of the Premises is attached hereto as Exhibit A and incorporated herein by reference.

This revocable license is granted subject to the following terms and conditions:

1. Licensee shall save and hold the City harmless from any loss, damage, or injury of any kind or character whatsoever that may arise from anything done, or omitted to be done, by Licensee, its agents, employees or contractors in connection with or in any way related to the matters authorized by this License. Licensee agrees to hold City harmless and indemnify City (including, but not limited to, attorney fees, expert witness costs and court costs), without limitation, from and against any and all claims, injuries, damage, liability and/or cause of action which may ever arise as a result of injury and/or damage to property claimed to be the result of construction and/or failure to maintain said property or improvements by Licensee in, on, under, or above City property which is the subject of the revocable license granted Licensee by City.
2. All work performed pursuant to this License shall comply with the City of Belvedere Municipal Code, including, without limitation, Title 13.
3. To the extent this License authorizes the erection or installation of any building, fence, wall, or other structure or facility in or upon land owned by City, Licensee agrees to erect and install the same in accordance with plans and specifications approved by the Planning Commission or Planning staff and further agrees to maintain the same at all times in good condition and repair, all at Licensee's sole cost and expense.

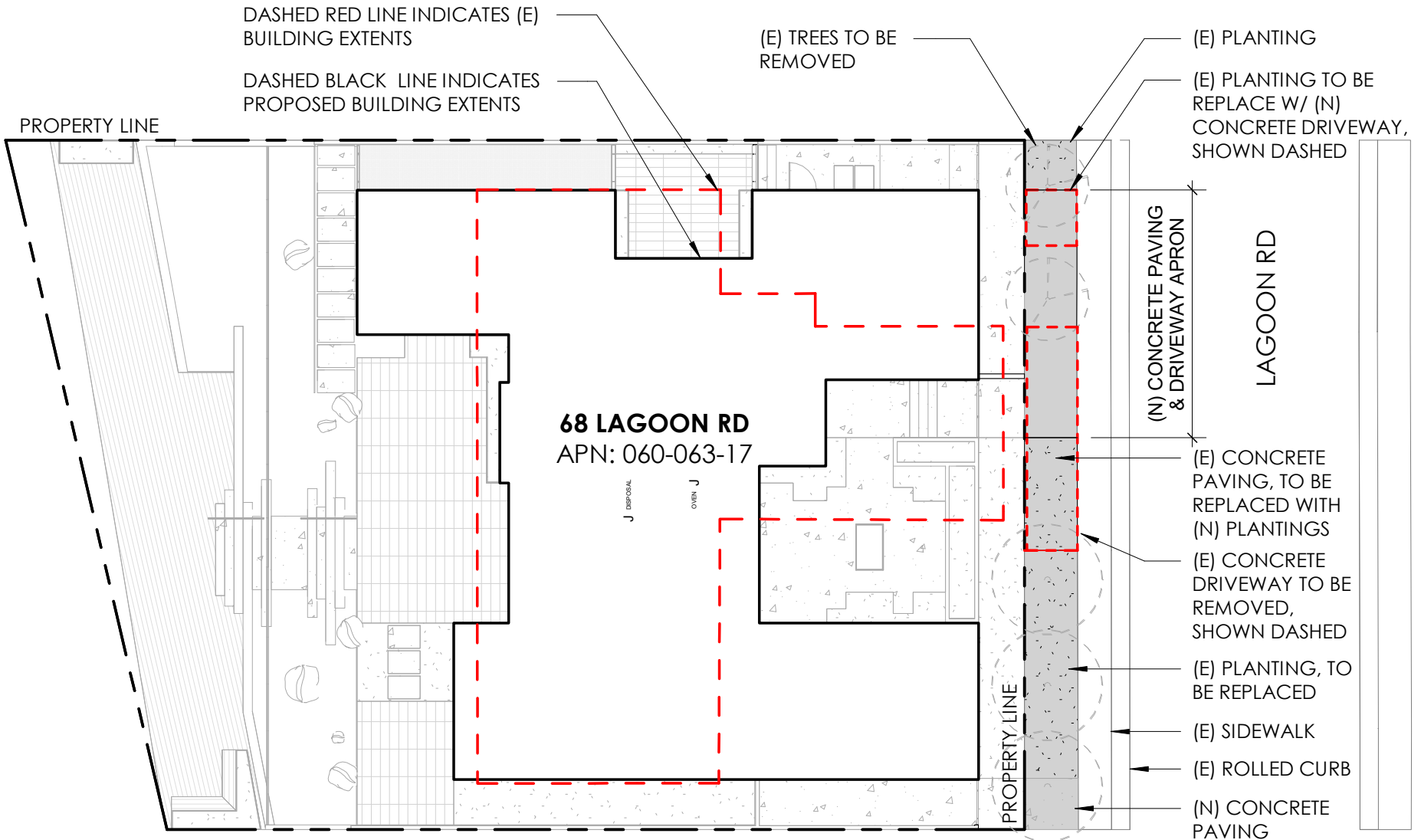
4. To the extent this License authorizes the erection or installation of any infrastructure improvements that are subject to the Americans With Disabilities Act (“the Act”), Licensee agrees to construct and maintain those improvements in full compliance with the requirements of the Act.
5. If Licensee shall fail to comply with the terms and conditions of this License, the City Manager at his sole discretion may immediately terminate and revoke this License by mailing or delivering written notice thereof to Licensee at the address hereinabove stated.
6. This License does not convey an exclusive right to use the Premises. Licensee shall not restrict access by the public and/or by adjacent property owners to the licensed area.
7. Licensee shall execute this License by: signing the License; making an acknowledgement of the License before a notary public or an officer specified by the State to take the acknowledgement of instruments of writing; and delivering the signed License and certificate of acknowledgement to the City. If Licensee shall fail to execute this License within thirty days of the date issued, the City may immediately terminate and revoke this License by mailing or delivering written notice thereof to Licensee at the address hereinabove stated.
8. ***Notwithstanding any other provision herein, this License shall be revocable at the pleasure of the City Council of the City of Belvedere.*** The election to revoke this License may be exercised at any time by mailing or delivering to Licensee at the address hereinabove stated a notice of revocation and termination. Within the time specified in said notice, Licensee shall, at its own cost and expense, remove from the Premises the encroachment and all structures and facilities placed thereon or therein by Licensee.
9. Upon the failure of Licensee to comply with any of the agreements contained herein, City may declare said improvements to be a public nuisance and may take such action as may be authorized by law to abate said nuisance. The City shall be entitled to recover from Licensee costs of suit and reasonable attorney's fees, to be determined by the court. The remedy of City as contained in this paragraph shall not be exclusive.
10. The Licensee acknowledges that the property interest created hereunder by issuance of this license may be subject to possessory interest taxation and said Licensee in whom such possessory interest is vested recognizes and agrees that it/they shall be solely responsible for payment of all such taxes levied upon said possessory interest.
11. The Licensee shall deliver this license to any successor in interest to the above-described land.
12. The agreements contained herein are covenants and servitudes running with the land and shall be binding upon Licensee and its successors, assignors, executors, administrators, and personal representatives unless or until revoked by the City.
13. The Licensee shall obtain an encroachment permit from the City prior to the commencement of any work on City property.
14. Any previous revocable licenses issued to this property are now null and void.

Issued by direction of the City Council of the City of Belvedere pursuant to action taken at its meeting of October 10, 2022.

Robert Zadnik, City Manager

The foregoing License is accepted and its terms and conditions are agreed to:

Red Riding Hood Cabin LLC, Licensee



1 REVOCABLE LICESNSE EXHIBIT A
1/16" = 1'-0"

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com

915 Battery Street, First Floor San Francisco, CA 94111

68 LAGOON RD
BELVEDERE, CA 94920

APN: 060-063-17 | PROJECT NO. 21.035

DATE: 05/20/22
REVOCABLE LICENSE
EXHIBIT "A"

EXHIBIT A



APPLICATION FOR REVOCABLE LICENSE

CITY OF BELVEDERE
450 SAN RAFAEL AVE • BELVEDERE, CA 94920-2336
PH. 415-435-3838 • FAX 415-435-0430 • WWW.CITYOFBELVEDERE.ORG

FOR STAFF USE ONLY

Date: _____ Rec'd. by: _____ Amount: _____ Receipt No.: _____

Parcel No.: _____ Zone: _____

City property to be encroached upon: _____

TO BE COMPLETED BY APPLICANT

Address of Property: 68 Lagoon Rd. Belvedere, CA 94920

Type of City Property to Be Encroached Upon (e.g., street right-of-way, view easement, tide lot):
Street right-of-way

Record Owner of Property: Red Riding Hood Cabin LLC

Mailing 336 Bon Aire Center #221 Daytime Phone: _____

Address: Greenbrae, CA 94904 Fax: _____

_____ Emailk _____

Owner's Representative: Kelly Lawson

Mailing 336 Bon Aire Center #221 Daytime Phone: _____

Address: Greenbrae, CA 94904 Fax: _____

_____ Emailk _____

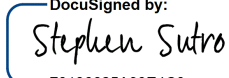
Description of Encroachment Requested and Its Purpose (include list of private improvements, both existing and proposed, that will encroach onto public property): The proposed project includes the demolition of an existing single family residence, and the construction of a new FEMA compliant single family residence in its place. Demolition and relocation of an existing driveway, between the property line and the sidewalk, is proposed as part of the new residence. Additionally, removal of existing trees and replacement with new landscaping is proposed in the portion of the existing driveway that is to be removed.

- Applicants, please attach a scale diagram showing your property line and the encroachments. FOLLOW INSTRUCTIONS ON PAGE 3

IMPORTANT! This application will first be reviewed by the City Staff and/or Planning Commission. If the application successfully passes this review, a revocable license agreement will be drawn up by City Staff and a formal recommendation will be made to the City Council to approve it. *The property owner(s) will need to sign the agreement document and have the signature(s) acknowledged by a notary public or the Deputy City Clerk before the agreement can be ratified by the City Council.* A specimen copy of the revocable license agreement is attached for your information. **THE OWNER'S FAILURE TO EXECUTE THE AGREEMENT WILL PREVENT THE ISSUANCE OF ANY BUILDING PERMIT ASSOCIATED WITH THE LICENSE.**

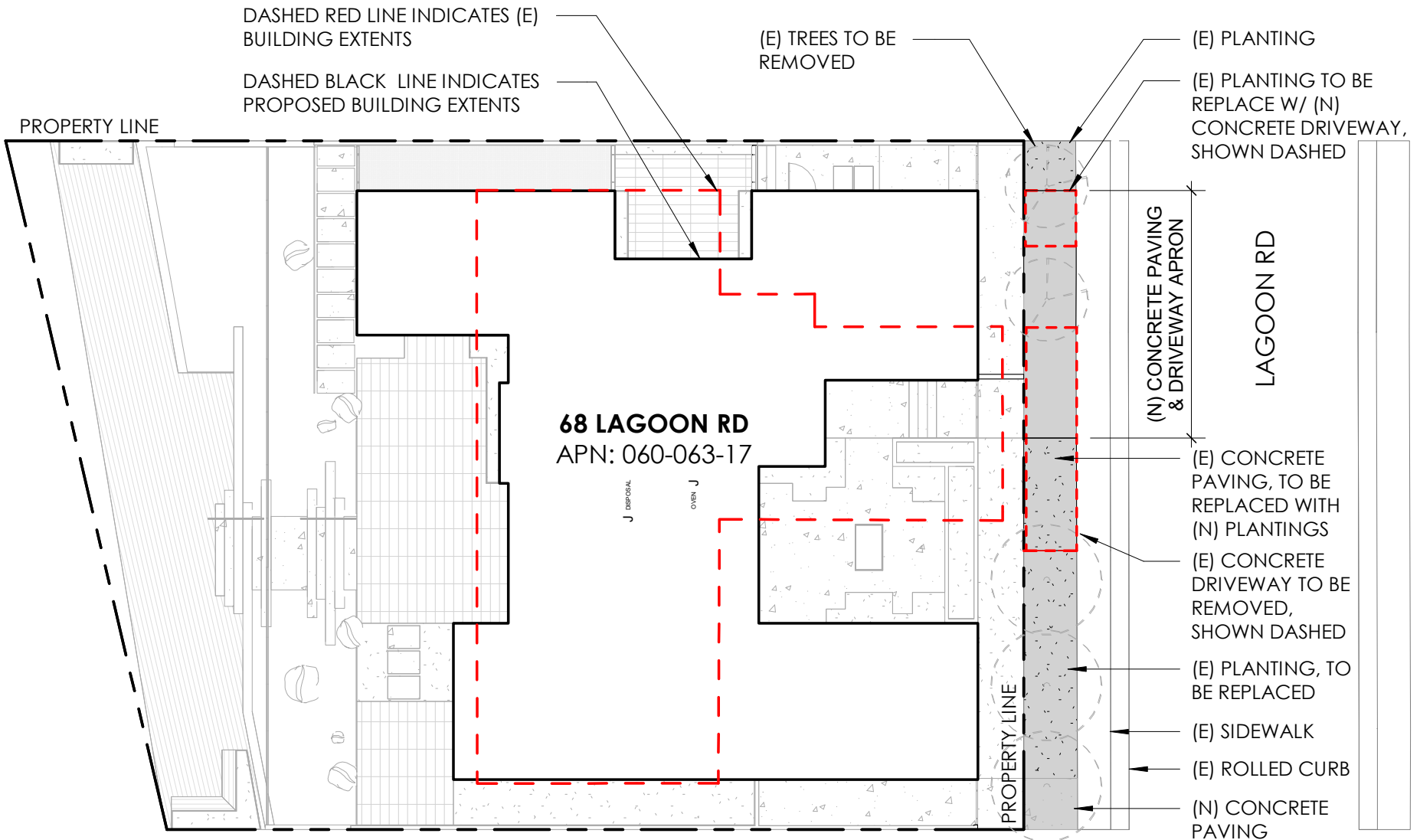
I, the undersigned owner of the property herein described (or owner representative, as authorized by completion of a Statement of Ownership and Designation of Representative), hereby make application for the revocable license requested, and I hereby certify that the facts, statements and information presented herein and in the attached exhibit(s) are true and correct to the best of my knowledge and belief

I understand that the contents of this document are a Public Record.

DocuSigned by:

Signature: _____
70196625A99E4C0...

Name: Stephen Sutro (Owner's Representative)

5/25/2022
Date: _____



1 REVOCABLE LICESNSE EXHIBIT A
1/16" = 1'-0"

SUTRO ARCHITECTS

415.956.3445
sutroarchitects.com

915 Battery Street, First Floor San Francisco, CA 94111

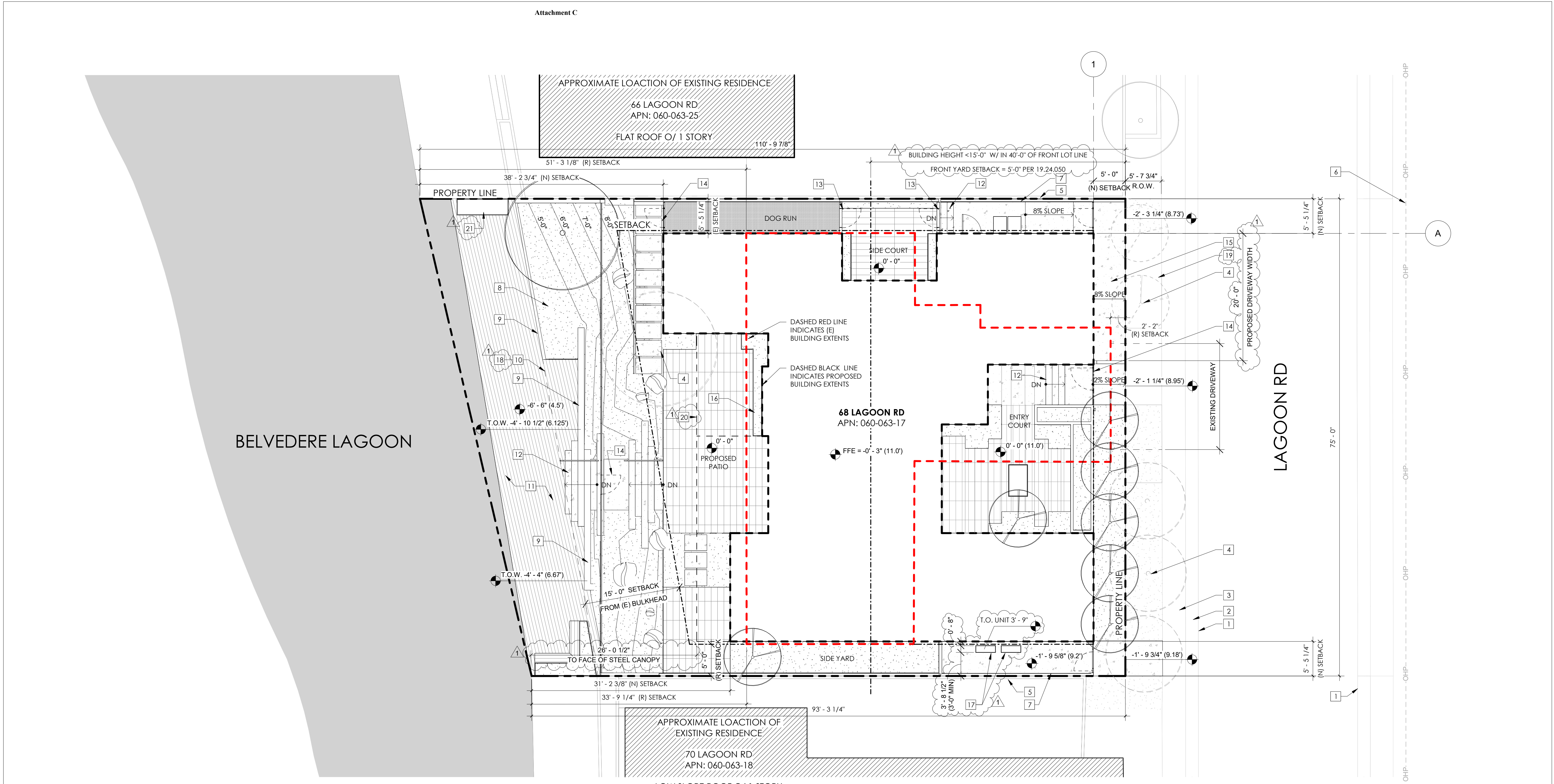
68 LAGOON RD
BELVEDERE, CA 94920

APN: 060-063-17 | PROJECT NO. 21.035

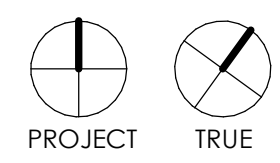
DATE: 05/20/22
REVOCABLE LICENSE
EXHIBIT "A"

EXHIBIT A

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



1 PROPOSED SITE PLAN
1/8" = 1'-0"



SITE PLAN GENERAL NOTES

- FOR REQUIRED PARKING SPACES, SEE FLOOR PLAN SHEET DR 2.1

SITEPLAN KEYNOTES

| NO. | NOTE | NO. | NOTE |
|-----|--|-----|---|
| 1 | (E) EDGE OF STREET PAVEMENT | 16 | STEEL PLANTER PER LANDSCAPE |
| 2 | (E) ROLLED GUTTER | 17 | HEAT PUMP / AC UNITS, DAIKIN FIT OR SIMILAR. UNITS TO BE INSTALLED NOT CLOSER THAN 3- FEET TO PROPERTY LINE AND NOT TO EXCEED 4- FEET ABOVE GRADE. UNIT OPERATIONAL NOISE OUTPUT NOT TO EXCEED 55 DECIBELS. |
| 3 | (E) SIDEWALK | 18 | HIGH WATER LINE OCCURS AT FACE OF BULKHEAD. HIGH WATER ELEVATION IS 4'-0" ABOVE NAVD88 ZERO ELEVATION. |
| 4 | (E) TREES AND PLANTING TO BE REMOVED AND REPLACED | 19 | (N) CONCRETE DRIVEWAY IN PUBLIC R.O.W. CONCRETE FINISH TO MATCH ADJACENT PAVING AT R.O.W. |
| 5 | (E) NEIGHBOR FENCE TO BE RELOCATED/REBUILT AT PROPERTY LINE. | 20 | EXTENT OF STEEL CANOPY ABOVE |
| 6 | (E) OVERHEAD LINES | 21 | (N) 18" REMOVABLE BENCH SEATING WITH INTEGRAL STORAGE. SITE FURNISHING |
| 7 | HORIZONTAL CLAD WOOD FENCE ON CONCRETE CURB WALL, 6' MAX ABOVE EXISTING GRADE | | |
| 8 | (N) PLANTINGS IN GRADED LANDSCAPE | | |
| 9 | NEW CONCRETE SEATWALL AT BULKHEAD | | |
| 10 | FACE OF (E) BULKHEAD, TO BE REPLACED | | |
| 11 | (E) DOCK TO BE RESURFACED | | |
| 12 | EXTERIOR CONCRETE STAIR 7-3/4" MAX RISE, 10" MIN RUN, HANDRAIL @ 34-38" ABOVE NOSING, TYP. | | |
| 13 | HORIZONTAL-CLAD WOOD FENCE AND GATE | | |
| 14 | STEEL SITE GATE | | |
| 15 | (N) CONCRETE DRIVEWAY | | |

SITEPLAN LEGEND

| | | | |
|--|---------------------------|--|------------------------|
| | PROPERTY LINE | | (N) DECIDUOUS TREE |
| | SETBACK LINE | | (E) TREE TO BE REMOVED |
| | PROPOSED BUILDING EXTENTS | | WOOD DECK |
| | EXISTING BUILDING EXTENTS | | LANDSCAPE PAVER |
| | WOOD FENCE | | |
| | PLANTING AREA | | |
| | CONCRETE | | |
| | LANDSCAPE PAVER | | |

DR SET 5.20.22
1 DR SET-REV 1 8.15.22

PROPOSED SITE PLAN

As indicated

A1.0

8/16/2022 10:13:16 AM

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

68 LAGOON RD
BELVEDERE, CA 94920

Attachment C

To: Mayor and City Council
From: Jason Wu, Chief of Police
Subject: **Lexipol Updates: July through September 2022**

Recommended Motion/Item Description

Adopt the resolution accepting the recent update(s) to the Belvedere Police Department Policy Manual (Lexipol).

Background

Pursuant to Section 20.7.1 of the City of Belvedere Administrative Policy Manual, the Belvedere Police Department (BPD) Policy Manual is incorporated into the Administrative Policy Manual of the City of Belvedere by reference. Changes to the Belvedere Police Policy Manual recommended by the City’s public safety risk management consultant (Lexipol) and approved by the Chief of Police shall be implemented on an interim basis and reported to the City Council concurrent with the next quarterly report by the Chief of Police to City Council. Per Policy Section 20.7.1, such changes will, in the ordinary course of business, be ratified by Council at that meeting. In the event that Council expresses significant concern about any BPD policy or change thereto, the Mayor may establish an ad hoc committee to consult with the Chief of Police and report back to the full Council with its recommendation. The BPD will continue to implement any pending changes until such report is made and Council makes a final decision on the matter.

There is no fiscal impact associated with the incorporation of the Police Policy Manual into the Administrative Policy Manual.

Recommendation

Staff recommends that the City Council adopt the attached Resolution ratifying the most recent Lexipol updates.

Attachments

- Resolution with changes to the Belvedere Police Manual included as Exhibit A.

CITY OF BELVEDERE

RESOLUTION NO. 2022-50

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BELVEDERE
RATIFYING LEXIPOL POLICE DEPARTMENT POLICY MANUAL UPDATES**

WHEREAS, Belvedere Administrative Policy Manual section 20.7.1 provides that updates and changes to the Belvedere Police Policy Manual recommended by the City’s public safety risk management consultant, Lexipol, and approved by the Chief of Police, are to be ratified by the City Council in the ordinary course of business; and

WHEREAS, Administrative Policy Manual section 20.7.1 further provides that said Police Policy Manual updates shall be reported to the City Council by the Chief of Police on a quarterly basis and submitted for Council ratification; and

WHEREAS, at its regularly scheduled meeting on October 10, 2022, the Chief of Police presented the Police Department’s Quarterly Update to the City Council, which included changes and updates to the Police Policy Manual as recommended by Lexipol and approved by the Chief of Police; and

WHEREAS, the City Council desires to ratify said Police Policy Manual updates; and

WHEREAS, the Police Policy Manual updates herein are not a “project” under the California Environmental Quality Act.

NOW, THEREFORE, BE IT RESOLVED by the City Council of the City of Belvedere that the updates and changes to the Belvedere Police Policy Manual are hereby ratified as set forth in “Exhibit A”.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Belvedere on October 10, 2022, by the following vote:

AYES:
NOES:
ABSENT:
RECUSED:

APPROVED: _____
Sally Wilkinson, Mayor

ATTEST: _____
Acting City Clerk

EXHIBIT A

A. Updates to Lexipol Policy 207 – License to Carry a Firearm

This policy has been updated to address the U.S. Supreme Court decision *New York State Rifle & Pistol Association v. Bruen* (2022), which hold that any “good cause” requirement for the issuance of Carry Conceal Weapon (CCW) permit is unconstitutional. Changes to this policy include:

- “Good cause” requirements or references have been deleted in **QUALIFIED APPLICANTS, PHASE ONE (TO BE COMPLETED BY ALL APPLICANTS), PHASE TWO, REVOCATION OF LICENSE, and LICENSE RENEWAL.**

Unrelated to the U.S. Supreme Court decision, additional changes include:

- In **ISSUED FIREARMS PERMITS**, a Knowledge Management System (KMS) formatting error has been corrected.
- Serial commas have been added in updated sections.

B. Updates to Lexipol Policy 1000 – Recruitment and Selection

This policy has been updated because REG TEXT 593448 amended law relating to background reports, and required information and findings related to bias to be included in the background report that references the Background Investigation Dimensions and Bias Assessment Framework as described in the POST Background Investigation Manual. Changes to this policy include:

- **DOCUMENTING AND REPORTING** has been updated to include the new requirement.

PLANTING SCHEDULE

| T R E E S | | | | | | | |
|---|----------|---------|---|-----------------------------|-------------|-------------------|------------------------|
| SYMBOL | QUANTITY | SIZE | BOTANICAL NAME | COMMON NAME | WATER USE | MATURE SIZE (HxW) | NOTES |
| OL | 2 | 36" BOX | OLEA EUROPAEA 'SWAN HILL' | 'SWAN HILL' OLIVE TREE | LOW | 25' x 25' | MULTI-TRUNK; FRUITLESS |
| CL | 1 | 24" BOX | CITRUS LEMON 'MEYER IMPROVED' | IMPROVED MEYER LEMON | MEDIUM | 8-10' x 6-8' | SEE PLAN |
| P E R E N N I A L S / G R A S S E S / S H R U B S | | | | | | | |
| AA | 4 | 15 GAL | AGAVE ATTENUATA | FOX TAIL AGAVE | LOW | 3-4' x 3-4' | PLANT 42"O.C. |
| AB | 8 | 5 GAL | AGAVE 'BLUE FLAME' | 'BLUE FLAME' AGAVE | LOW | 3-4' x 3-4' | PLANT 30"O.C. |
| AC | 38 | 1 GAL | ACHILLEA MILLEFOLIUM 'SONOMA COAST' | WHITE YARROW | LOW | 1-2' x 2' | PLANT 18"O.C. |
| AG | 11 | 1 GAL | AGAVE 'BLUE GLOW' | 'BLUE GLOW' AGAVE | LOW | 1-2' x 2-3' | PLANT 24"O.C. |
| CI | 3 | 1 GAL | CISTUS X PULVERULENTUS 'SUNSET' | MAGENTA ROCKROSE | LOW | 2-3' x 3-6' | PLANT 48"O.C. |
| CF | 48 | 1 GAL | CALAMAGROSTIS FOLIOSA | MENDOCINO REED GRASS | LOW | 1.5' x 2' | PLANT 24"O.C. |
| CY | 12 | 1 GAL | COTYLEDON ORBICULATA VAR. OBLONGA 'FLAVIDA' | FINGER ALOE | LOW | 1-2' x 3-4' | PLANT 24"O.C. |
| ED | 38 | 1 GAL | ECHEVERIA DERENBERGII | PAINTED LADY BABY ECHEVERIA | LOW | 3-4" x 1-2' | PLANT 18"O.C. |
| ES | 14 | 1 GAL | ECHIBECKIA SUMMERINA ORANGE | ECHIBECKIA | MEDIUM | 1.5' x 1.5' | PLANT 18"O.C. |
| FG | 27 | 1 GAL | FESTUCA GLAUCA | BLUE FESCUE | LOW | 1' x 1' | PLANT 12"O.C. |
| LB | 13 | 1 GAL | LOTUS BERTHELOTTI | PARROT'S BEAK | LOW/ MEDIUM | 8-12" x 1-2' | PLANT 24"O.C. |
| LO | 155 | 1 GAL | LOMANDRA BABY BREEZE | EVERGREEN BABY MAT RUSH | LOW | 1-2' x 1-2' | PLANT 24"O.C. |
| LU | 8 | 1 GAL | LAURUS NOBILIS | SWEET BAY | LOW | 10-30' x 10-20' | PLANT 60"O.C. |
| ME | 57 | 1 GAL | MELINIS NERVIGLUMIS | RUBY GRASS | MEDIUM | 1-2' x 1-2' | PLANT 12"O.C. |
| MU | 4 | 1 GAL | MUHLENBERGIA DUBIA | PINE MUHLY | LOW | 2-3' x 2-3' | PLANT 36"O.C. |
| PH | 4 | 1 GAL | PHORMIUM TENAX 'BRONZE BABY' | RED-BRONZE NEW ZEALAND FLAX | LOW | 4-6' x 3-5' | PLANT 36"O.C. |
| RH | 15 | 1 GAL | RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' | COFFEEBERRY | LOW | 6' x 6' | PLANT 48"O.C. |
| SA | 7 | 1 GAL | SALVIA LEUCOPHYLLA 'POINT SAL SPREADER' | PURPLE SAGE | LOW | 1-2' X 10-12' | PLANT 48"O.C. |
| SE | 860 SF | TRAY | SEDUM BLEND | - | LOW | 2-3" X 12" | MODULES/ TRAYS |
| TE | 20 | 1 GAL | TEUCRIUM CHAMAEDRYIS | GERMANDER | LOW | 1' X 2' | PLANT 30"O.C. |
| VE | 16 | 1 GAL | VERBENA CANADENSIS 'HOMESTEAD' | ROSE VERBENA | LOW | 10" X 2-3' | PLANT 30"O.C. |

PLANTING NOTES

- ALL LANDSCAPE PLANS SHALL CONFORM TO LOCAL LANDSCAPE GUIDELINES, APPLICABLE CODES, ORDINANCES AND LAWS.
- CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT IF UTILITY LOCATIONS OR CONDITIONS REQUIRE DEVIATION FROM PROPOSED PLANS.
- PLANTING LAYOUT SHALL BE REVIEWED WITH LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO DIGGING PLANT PITS. ALL PLANT MATERIAL SHALL BE ON SITE AND IN CONTAINERS, AS SPECIFIED, AND IN GENERAL LOCATION SHOWN ON PLANS, PRIOR TO SITE VISIT BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO VERIFY PLANT COUNT QUANTITIES ON PLAN PRIOR TO BIDDING & ORDERING PLANTS. CONTRACTOR IS RESPONSIBLE FOR INSPECTING PLANT MATERIAL UPON DELIVERY, AND REJECTING ANY PLANTS DEEMED IN UNACCEPTABLE CONDITION. AS CONTRACTOR WILL BE WARRANTING PLANTS FOR DURATION OF MAINTENANCE PERIOD. SEE "WARRANTY" BELOW.
- PERCOLATION TEST: A COMPREHENSIVE PERCOLATION TEST SHALL BE PERFORMED PRIOR TO CONSTRUCTION AND PLANTING. DIG TREE AND SHRUB HOLES, FILL WITH WATER, NOTE LENGTH OF TIME FOR WATER TO DRAIN. IF ANY HOLES TAKE LONGER THAN 24 HOURS TO DRAIN, FLAG THOSE HOLES AND NOTIFY LANDSCAPE ARCHITECT.
- SOIL ANALYSIS: CONTRACTOR TO PERFORM A COMPLETE SOIL PARTICLE SIZE ANALYSIS, SOIL CHEMISTRY ANALYSIS, MICRO-NUTRIENT ANALYSIS, AND RECOMMENDATIONS FOR ORGANIC SOIL AMENDMENT AND PLANTING BACKFILL MIX. ANALYSIS AND RECOMMENDATIONS TO BE OBTAINED FROM WAYPOINT ANALYTICS, A&L SOIL LAB, OR OTHER LABORATORY APPROVED BY LANDSCAPE ARCHITECT. NOTE: REQUEST A COMPLETE ANALYSIS, WITH ORGANIC RECOMMENDATIONS.
- SOIL PREPARATION & AMENDMENTS: NOTE: ALL AMENDMENTS SHALL BE FROM OMRI CERTIFIED ORGANIC SOURCES AND PRODUCED BY A US COMPOSTING COUNCIL SEAL OF TESTING ASSURANCE PARTICIPATING COMPOSTER. EXCAVATE A PLANTING HOLE SLIGHTLY SHALLOWER AND 2 TO 3 TIMES THE WIDTH OF THE ROOT BALL OR CONTAINER. SET THE ROOT BALL ON FIRM SOIL SO THAT THE TOP OF THE ROOT BALL WILL SIT SLIGHTLY HIGHER THAN THE FINAL GRADE. TYPICAL AMENDMENTS IN ADDITION TO SOIL ANALYSIS RECOMMENDATIONS:
 - TREES, SHRUBS, PERENNIALS, & VINES: ORGANIC COMPOST MIXED WITH EXISTING SITE SOIL BLENDED IN A 1 COMPOST TO 3 SOIL RATIO, PLACE AROUND ROOTBALL DURING BACKFILLING. MYCORRHIZAE - APPLY 2-3 TBSP. PER INCH OF STEM CALIPER DIRECTLY TO PLANT ROOTS, OR IN PREPARED TRANSPLANT HOLE.
 - VEGETABLE & FLOWER BEDS - MIXED INTO POTTING SOIL: COMPOST SHALL BE UNIFORMLY APPLIED OVER THE PLANTING AREA AT AN AVERAGE DEPTH OF 2 INCHES. INCORPORATE UNIFORMLY TO A DEPTH OF 6 TO 8 INCHES INTO TOPSOIL. MYCORRHIZAE - MIX 2 LBS PER 100 SQFT OF APPLY 1 TSP PER ROW FOOT WHEN SEEDING, OR 1/4 TSP DIRECTLY ON TRANSPLANT ROOTS.
 - WATER THOROUGHLY DURING AND AFTER PLANTING. COMPOST TO BE DIESTEL STRUCTURED COMPOST OR APPROVED EQUAL. MYCORRHIZAE TO BE "DOWN TO EARTH - ROOT GROWTH ENHANCER" OR APPROVED EQUAL.
- COMPACTED SOILS: SPOT TREAT BY LOOSENING SOIL TO 18 INCH DEPTH WHERE NECESSARY. DO NOT ROTOTILL. CAREFULLY INCORPORATE SOIL AMENDMENT TO MINIMIZE SOIL STRUCTURE DEGRADATION. GRADE AS PER PLANS OR AS DIRECTED BY LANDSCAPE ARCHITECT. PROCEED AS DIRECTED BELOW FOR NON-COMPACTED SOILS.
- NON-COMPACTED SOILS: IF AVAILABLE, SPREAD PREVIOUSLY STOCKPILED TOPSOIL TO ACHIEVE FINISHED GRADE ELEVATIONS AS PER PLANS. AMEND EXISTING SOIL AS SPECIFIED ABOVE, USING CERTIFIED ORGANIC COMPOST WHICH WAS PRODUCED BY A US COMPOSTING COUNCIL SEAL OF TESTING ASSURANCE PARTICIPATING COMPOSTER, AND OTHER CERTIFIED ORGANIC AMENDMENTS AT THE QUANTITIES RECOMMENDED. FLOAT AREAS TO A SMOOTH, UNIFORM GRADE. ENSURE THAT RUNOFF DOES NOT RUN TOWARDS BUILDING FOUNDATION. FINISH GRADE ADJACENT TO ANY HARDSCAPE ELEMENTS IS TO BE 4 INCHES BELOW TOP OF ELEMENT - CURB, SIDEWALK, ETC. TO ALLOW FOR 3 INCHES OF MULCH. SECURE FINISH GRADE APPROVAL PRIOR TO PLANTING.
- IMPORT TOPSOIL (IF REQUIRED) IDEALLY, TOPSOIL FROM THE SITE CAN BE STOCKPILED FOR REUSE ON SITE. IF NO SITE SOIL IS AVAILABLE, USE LYNGSO 'TOP SOIL' (www.lyngsogarden.com) OR APPROVED EQUAL. IMPORT SOIL SHALL BE AMENDED AS DIRECTED IN NOTE #4. IF IMPORT SOIL CONTAINS 6% ORGANIC MATTER, THEN AMENDING MAY NOT BE NEEDED. WHERE PLANTING AROUND EXISTING PLANTS, ON STEEP HILLSIDES OR IN OTHER AREAS WHERE ENTIRE BEDS ARE NOT BEING NEWLY PLANTED, SOIL PREPARATION AND PLANTING SHALL BE PERFORMED IN INDIVIDUAL PLANTING HOLES. PLANTING HOLES SHALL BE TWICE THE DIAMETER OF THE PLANT CONTAINER (3X FOR TREES), AND SHALL BE AS DEEP AS THE CONTAINER, MINUS 2 INCHES. ADD AMENDMENTS AS PER ABOVE TO EACH PLANTING HOLE.
- PLANTING: LAYOUT OF PLANT MATERIAL IS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. GENTLY ROUGHEN ROOTBALLS ON SIDES AND BOTTOM OF PLANT TO LOOSEN ALL ROOTS PREVIOUSLY AGAINST SIDES OF POT. IF ANY EVIDENCE OF ROOT GIRDLING IS VISIBLE, PLANT SHALL BE REJECTED. PLACE PLANTS IN HOLES SO THAT CROWN OF ROOT BALL IS 2 INCHES ABOVE FINISH GRADE.
- TREES: STAKE ONLY IF NECESSARY, WITH TWO STAKES PER TREE AND ARBOR TIES. ALIGN STAKES AT 90 DEGREES TO DIRECTION OF PREVAILING WIND.
- WEED CONTROL/SHEET MULCHING: REMOVE ALL WEEDS AND OTHER UNDESIRABLE PLANTS. WHERE WEEDS COVER 25% OR MORE OF AREA, OR WHERE NEW PLANTING IS TO BE PLANTED OVER INVASIVE GROUND COVER, APPLY SHEET MULCHING. COVER BARE SOIL OR COMPOST (SEE PLANTING, ABOVE), WITH TWO LAYERS OF RECYCLED CARDBOARD PER DIRECTIONS BELOW.
- SHEET MULCHING: AFTER THE 5 GALLON AND LARGER PLANT MATERIALS HAVE BEEN PLANTED THE SHEET MULCH SHALL BE INSTALLED. CUT CARDBOARD AROUND PLANTS 5 GALLON OR LARGER, LEAVING A HOLE THE DIAMETER OF THE POT SIZE. BOXED PLANTS OR TREES SHOULD BE CLEAR OF CARDBOARD FOR THE DIAMETER OF A 15 GALLON POT AROUND THE CROWN. IF CONTRACTOR WISHES TO SHEET MULCH PRIOR TO PLANTING 1 GALLON PLANTS, CONTRACTOR MAY DO SO WITH APPROVAL OF LANDSCAPE ARCHITECT. A MINIMUM OF TWO LAYERS OF 100% RECYCLED B FLUTE CARDBOARD AS A BIODEGRADABLE WEED BARRIER TO THE ENTIRE PLANTING AREA, COMPLETELY COVERING ALL EXISTING SOIL AND VEGETATION. WET CARDBOARD WHILE APPLYING TO PREVENT IT FROM BLOWING AWAY. SHEETS OF CARDBOARD SHALL OVERLAP A MINIMUM OF 8", AND CARDBOARD SHALL ABUT DIRECTLY AGAINST EDGE OF PAVEMENT, CURBS, BOULDERS & OTHER HARDSCAPE ELEMENTS. CARDBOARD SHALL BE APPLIED TO THE EDGE OF INSTALLED PLANT ROOT BALLS WITHOUT COVERING ANY PART OF THE TOP OF THE ROOT BALL/ROOT CROWN AREA. EXCESS CARDBOARD SHALL BE FOLDED UNDER ITSELF WHEN ABUTTING AGAINST HARDSCAPE OBJECTS OR ROOT CROWN AREAS, AS OPPOSED TO BEING CUT, TO AVOID EXCESSIVE CARDBOARD SCRAPS. THIS FOLDING UNDER PROCESS IS GREATLY AIDED WHEN THE CARDBOARD IS WET. ALL CARDBOARD SCRAPS SHALL REMAIN SEPARATED FROM OTHER CONSTRUCTION DEBRIS AND SHALL BE DEPOSITED AT A LOCAL RECYCLING FACILITY. APPLY COMPOST AND MULCH OVER CARDBOARD.
- MULCH: ALL PLANTING AREAS ARE TO RECEIVE 3-INCH MINIMUM THICKNESS OF SITE GENERATED CHIPS. LANDSCAPE ARCHITECT OR OWNER SHALL COORDINATE WITH ARBORIST TO PROVIDE CHIPS. IF ALTERNATIVE OR ADDITIONAL MULCH IS DESIRED, USE WM EARTH CARE'S "MONTEREY DUNE NATURAL" MULCH (www.wmearthcare.com) OR LYNGSO'S "WOOD CHIPS" MULCH (www.lyngsogarden.com). MULCH SHALL BE APPLIED OVER CARDBOARD OR COMPOST AS SPECIFIED IN WEED CONTROL, ABOVE. USE CHIPPINGS FROM PLANTS CUT OR REMOVED ON SITE AND STOCKPILED, CONSULT LARCH PRIOR TO CHIPPING. NO INVASIVE OR INFECTED PLANT MATERIAL SHALL BE USED. ROOT COLLAR TO BE KEPT CLEAR OF MULCH MIN. 2" FROM COLLAR.

SUPPLEMENTAL DIAGRAM - PLANTING SCHEDULE WITH MATURE PLANT SIZES

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of these restrictions.



68 LAGOON RESIDENCE

68 LAGOON RD. BELVEDERE, CA 94920

ABBREVIATIONS

| | | | | | |
|---------|-----------------------------|---------|-----------------------------|----------|--------------------------------|
| & | and | HD. | head | S.L.D. | see landscape drawings |
| < | angle | HDR. | header | S.M.D. | see mechanical drawings |
| @ | at | HGR. | hanger | S.P.D. | see plumbing drawings |
| # | pound or number | H.M. | hollow metal | SPEC. | specification |
| ± | plus or minus | HORIZ. | horizontal | SQ. | square |
| A.B. | anchor bolt | HR. | hour | STA. | station |
| A.C. | air conditioning | H.R. | handrail | ST.STL. | stainless steel |
| A.D. | area drain | HT. | height | ST. | standard drawings |
| ADJ. | adjustable | H.W.H. | hot water heater | STD. | standard |
| A.F.F. | above finish floor | I.D. | inside diameter | STL. | steel |
| AGGR. | aggregate | IN. | alternate | STN. | stone |
| ALT. | alternate | INSUL. | insulation | STOR. | storage |
| ALUM. | aluminum | INT. | interior | STRUCT. | structural |
| APPROX. | approximate | INTER. | intermediate | SUSP. | suspended |
| ARCH. | architectural | JST. | joist | S.V. | sheet vinyl |
| B.B. | butcher block | JT. | joint | S.W. | shear wall |
| BD. | board | LAM. | laminate | SYM. | symmetrical |
| BITUM. | bituminous | LAV. | lavatory | SYS. | system |
| BLDG. | building | LB. | load | T.O.C. | tread |
| BLK. | block | LT.FIXT | light fixture | TEL. | top of curb |
| BLKG. | blocking | LN. | linear | TEMP. | tempered |
| BM. | beam | LT. | light | TER. | terrazzo |
| B.O. | bottom of | MACH. | machine | T & G | tongue & groove |
| B.P. | building paper | MAINT. | maintenance | THK. | thick |
| B.R. | brick | MAT. | material | THRU. | through |
| B.TWN. | between | MAX. | maximum | T.M.E. | to match existing |
| C. | centerline | MECH. | mechanical | T.N. | toe nailed |
| CAB. | cabinet | MEMB. | membrane | T.O.C. | top of concrete |
| CEM. | cement | MTL. | metal | T.O.P. | top of plate |
| CER. | ceramic | MFR. | manufacturer | T.O.PLY | top of plywood |
| CHIM | chimney | MIN. | minimum | T.O.W. | top of wall |
| C.J. | control joint | MISC. | miscellaneous | T.V. | television |
| CLG. | ceiling | MSRY. | masonry | TYP. | typical |
| CLKG. | caulking | MTD. | mounted | U.B.C. | uniform building code |
| CLOS. | closet | MUL. | mullion | UNEXC. | unexcavated |
| CLR. | clear | (N) | new | UNF. | unfinished |
| C.M.U. | concrete masonry unit | N. | north | U.O.N. | unless otherwise noted |
| COL. | column | CONN. | connection | V.C.T. | vinyl composition tile |
| CONC. | concrete | CONSTR. | construction | VEN. | veneer |
| COND. | condition | CONT. | continuous | VERT. | vertical |
| CON. | condition | CPR. | copper | VEST. | vestibule |
| CONSTR. | construction | CPT. | carpet | V.I.F. | verify in field |
| CONT. | continuous | CTR. | center | VOL. | volume |
| COP. | copper | C.W. | cold water | W.C. | west or washer |
| CPT. | carpet | D. | dryer | W. | with |
| CTR. | center | DBL. | double | W.C. | water closet or wall covering |
| C.W. | cold water | DEPT. | department | WD. | wood |
| D. | dryer | DET. | detail | W/D. | washer / dryer |
| DBL. | double | DIA. | diameter | W.H. | water heater |
| DEPT. | department | DIM. | dimension | WO | without |
| DET. | detail | DISP. | dispenser | W.P. | work point |
| DIA. | diameter | DN. | down | W.P.M. | waterproof membrane |
| DIM. | dimension | DR. | door | WT. | weight |
| DISP. | dispenser | D.S.P. | dry standpipe | W.R. | water resistant |
| DN. | down | D.W. | dishwasher | W.W.M. | welded wire mesh |
| DR. | door | DWG. | drawing | W.W.F. | welded wire fabric |
| D.S.P. | dry standpipe | DWR. | drawer | | |
| D.W. | dishwasher | (E) | east | P. | pole |
| DWG. | drawing | EA. | existing | PAC | pacific |
| DWR. | drawer | E.A. | each | PBWL | paper backed wire lath |
| (E) | east | E.J. | expansion joint | PERIM. | perimeter |
| EA. | existing | ELEV. | elevation | PG & E | pacific gas & electric company |
| E.A. | each | ELEC. | electrical | P.I.P. | poled in place |
| E.J. | expansion joint | EMER. | emergency | PL. | plate |
| ELEV. | elevation | ENCL. | enclosure | P.LAM. | plastic laminate |
| ELEC. | electrical | E.P.B. | electrical panel board | PLAS. | plaster |
| EMER. | emergency | EQ. | equal | PLYWD. | plywood |
| ENCL. | enclosure | EQUIP. | equipment | PNL. | panel |
| E.P.B. | electrical panel board | EXP. | expansion | PNT. | paint |
| EQ. | equal | EXT. | exterior | PR | pair |
| EQUIP. | equipment | F.A. | fire alarm | P.S.I | per square inch |
| EXP. | expansion | F.A.U. | forced air unit | PT. | point |
| EXT. | exterior | F.D. | floor drain | P.T. | pressure treated |
| F.A. | fire alarm | F.E.C. | fire extinguisher cabinet | PTD. | painted |
| F.A.U. | forced air unit | FIN. | finish | Q.T. | quarry tile |
| F.D. | floor drain | FL. | floor | (R) | existing to be removed |
| F.E.C. | fire extinguisher cabinet | FLASH. | flashing | R. | riser |
| FIN. | finish | FLUOR. | fluorescent | R.A. | return air |
| FIXT. | fixture | F.O.C. | face of concrete | RAD. | radius |
| FL. | floor | F.O.F. | face of finish | R.C.P. | reflected ceiling plan |
| FLASH. | flashing | F.O.M. | face of masonry | R.D. | roof drain |
| FLUOR. | fluorescent | F.O.PLY | face of plywood | REC. | recessed |
| F.O.C. | face of concrete | F.O.S. | face of studs | REF. | reference |
| F.O.F. | face of finish | F.P. | fireproof | REFL. | reflected |
| F.O.M. | face of masonry | FR. | frame | REFR. | refrigerator |
| F.O.PLY | face of plywood | F.R.P. | fiberglass reinforced panel | REG. | register |
| F.O.S. | face of studs | FT. | foot or feet | REINF. | reinforced |
| F.P. | fireproof | FURR. | furring | REMOV. | removable |
| FR. | frame | FUT. | future | REOD. | required |
| F.R.P. | fiberglass reinforced panel | G. | gas outlet | RESIL. | resilient |
| FT. | foot or feet | G.A. | garage | RET. | retaining |
| FURR. | furring | GALV. | galvanized | REV. | revision, revised, reversed |
| FUT. | future | G.B. | grab bar | R.M. | room |
| G. | gas outlet | G.D. | garbage disposal | R.O. | rough opening |
| G.A. | garage | GEN. | general | RWD. | redwood |
| G.B. | grab bar | G.F.I. | ground fault interrupter | R.W.L. | rain water leader |
| G.D. | garbage disposal | G.L. | glass | S. | south |
| GEN. | general | GND. | ground | S.A.D. | see architectural drawings |
| G.F.I. | ground fault interrupter | G.O. | gas outlet | S.C. | solid core |
| G.L. | glass | G.S.M. | galvanized sheet metal | S.C.E.D. | see civil engineering drawings |
| GND. | ground | GYP. | gypsum | SCHED. | schedule |
| G.O. | gas outlet | H.B. | hose bibb | S.D. | soap dispenser/dish |
| G.S.M. | galvanized sheet metal | H.C. | hollow core or handicapped | SECT. | section |
| GYP. | gypsum | | | SEP. | separation |
| H.B. | hose bibb | | | SERV. | service |
| H.C. | hollow core or handicapped | | | SH. | shelf |
| | | | | S.H. | sprinkler head |
| | | | | SHR. | shower |
| | | | | SHT. | sheet |
| | | | | SIM. | similar |
| | | | | SL. | sliding |

PROJECT DIRECTORY

| | |
|--|--|
| OWNER: RED RIDING HOOD CABIN LLC 336 BON AIR CENTER #221 GREENBRAE, CA 94904 | SURVEYOR: MUIR CONSULTING, INC 139 CHURCH AVE OAKDALE, CA 95361 209.845.8630 |
| ARCHITECT: SUTRO ARCHITECTS 1055 POST STREET SAN FRANCISCO, CA 94109 415.956.3445 | CIVIL ENGINEER: TARNOFF ENGINEERING 1442A WALNUT ST. # 428 BERKELEY, CA 94709 415.279.5996 |
| STEPHEN SUTRO SSUTRO@SUTROARCHITECTS.COM JOHN SIMENIC JSIMENIC@SUTROARCHITECTS.COM MAX TASCHEK MTASCHEK@SUTROARCHITECTS.COM | JACK SMITH JSMITH@MUIRCONSULTING.COM MICHAEL TARNOFF MICHAEL@TARNOFFENGINEERING.COM |
| CONTRACTOR: HACHMAN CONSTRUCTION 3100 KERNER BLVD, SUITE U SAN RAFAEL, CA 94901 415.256.9810 | GEOTECHNICAL ENGINEER: MURRAY ENGINEERS, INC. 935 FREMONT AVENUE LOS ALTOS, CA 94024 650.218.5171 |
| TIM HACHMAN TIM@HACHMANCONSTRUCTION.COM | ANDREW SCAVULLO ASCAVULLO@MURRAYENGINEERS.COM |
| STRUCTURAL ENGINEER: HOLMES 235 MONTGOMERY ST. SUITE 1250 SAN FRANCISCO, CA 94104 415.796.7108 | LANDSCAPE ARCHITECT: BOXLEAF DESIGN 2730 BROADWAY REDWOOD CITY, CA 94062 650.362.3755 |
| DENNY KWAN DENNY.KWAN@HOLMES.US OLIVER TILL OLIVER.TILL@HOLMES.US | SARAH WARTO SARAH@BOXLEAFDESIGN.COM BARYUTH SPADAFORE BARYUTH@BOXLEAFDESIGN.COM |

SYMBOLS LEGEND

| | | | |
|----------------------|----------------------------|--------------------|---------------|
| ROOM NAME | Room name 101 150 SF | SECTION | 1 A101 |
| WALL TYPE | 1 | DETAIL | 1 A101 |
| DOOR TYPE | 101 (E) | ELEVATION | 1 Ref A101 |
| WINDOW TYPE | 200B (E) | INTERIOR ELEVATION | 1 Ref A101 |
| FINISH FLR ELEVATION | RCP | | 1 Ref A101 |
| ELEVATION DAUTM | Name Elevation | | 1 Ref A101 |
| COLUMN GRIDLINE | 0 | | 1 Ref A101 |

VICINITY MAP/SITE PLAN



SITE & BUILDING DATA

| | |
|---|---|
| SITE DATA: PROJECT NAME: | 68 LAGOON |
| PROJECT TYPE: | NEW CONSTRUCTION, SINGLE FAMILY RESIDENTIAL |
| PROJECT ADDRESS: | 68 LAGOON RD, BELVEDERE, CA 94920 |
| DESCRIPTION OF WORK: | DEMOLITION OF AN EXISTING SINGLE FAMILY HOME UNDER SEPARATE PERMIT. CONSTRUCTION OF NEW ONE-STORY SINGLE FAMILY HOME WITH ATTACHED TWO-CAR GARAGE, VEGETATED ROOF, ON SITE RAINWATER COLLECTION SYSTEM, ROOF MOUNTED PV SYSTEM UNDER SEPARATE PERMIT. SITE WORK INCLUDES A NEW DRIVEWAY, LANDSCAPE IMPROVEMENTS, AND THE REPLACEMENT OF EXISTING BULKHEAD AND DOCK ALONG THE LAGOON |
| BUILDING DATA: APPLICABLE BUILDING CODES: | 1. 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA ELECTRICAL CODE (CEC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA FIRE CODE (CFC) 2019 GREEN BUILDING CODE 2019 CALIFORNIA ENERGY CODE 2. AND ALL APPLICABLE FEDERAL, STATE, COUNTY, AND ALL LOCAL AMENDMENTS TO THE ABOVE CODES. |
| TYPE OF CONSTRUCTION: | TYPE V-B |
| SPRINKLER PROTECTION: | FULLY SPRINKLERED (DEFERRED SUBMITTAL) |
| OCCUPANCY TYPE / USE: | R-3 / SINGLE FAMILY RESIDENCE |
| PROPERTY ID: | 060-063-17 |
| ZONING DISTRICT: | R-1L |
| NO. OF OCCUPIED FLOORS: | 1 |
| NO. OF STORIES: | 1 |
| NO. OF BASEMENTS: | 0 |

PROJECT CALCS. FOR PARCEL 060-063-17:

| | |
|----------------------------------|--|
| WILD URBAN INTERFACE: | NO |
| FLOOD ZONE: | ZONE AE (EL 10) BASE FLOOD ELEVATION: 10'-0" |
| AVERAGE SLOPE: | 5.0% |
| MAX. ALLOWABLE HEIGHT: | 22'-0" MAX (MEASURED FROM BFE + 1'-0") |
| BUILDING HEIGHT: | EXISTING: 10'-4" (BFE + 1'-0") PROPOSED: 15'-0" (BFE + 1'-0") |
| SITE AREA: | 7,654 SF |
| LOT AREA: | 6,776 SF (MEASURED FROM (E) BULKHEAD) |
| FLOOR AREAS: | |
| | EXISTING SF PROPOSED SF |
| | 2,414 SF 2,976 SF |
| FLOOR AREA RATIOS: | |
| ALLOWABLE | EXISTING SF PROPOSED SF |
| 50% LOT AREA = 3,388 SF | 2,414 SF / 6,776 SF = 35.6% 2,976 SF / 6,776 SF = 43.9% |
| BUILDING COVERAGE RATIOS: | |
| ALLOWABLE * | EXISTING SF PROPOSED SF |
| 50% LOT AREA = 3,388 SF | 3,203 SF / 6,776 SF = 47.2% 3,086 SF / 6,776 SF = 45.5% |
| PERVIOUS VS. IMPERVIOUS: | |
| | EXISTING SF PROPOSED SF |
| IMPERVIOUS | 4,843 SF 4,868 SF |
| PERVIOUS | 2,811 SF 2,786 SF |
| GRADING IN CUBIC YARDS: | |
| CUT | FILL OFF-HAUL |
| 52 | 148 (ALL NEW FILL) 52 |
| PARKING: | |
| REQUIRED | EXISTING PROPOSED |
| 2 SPACES (8' X 18') | 2 SPACES (GARAGE) 2 SPACES (GARAGE) |
| SETBACKS: | REQUIRED EXISTING PROPOSED |
| FRONT YARD | 5'-0" 2'-2" (@ GARAGE) 5'-0" |
| REAR YARD | 15'-0" VARIES: 15'-0" MIN FROM (E) BULKHEAD VARIES: 15'-0" MIN FROM (E) BULKHEAD |
| SIDE YARDS | 5'-0" 5'-0" 5'-4 1/4" |
| * PER 19.52.050 | |

SHEET INDEX

| | | | |
|----------------------|----------------|--|------------|
| DR SET 8.15.22 | DR SET 5.20.22 | SHEET NUMBER | SHEET NAME |
| GENERAL | | | |
| | G0.1 | COVER SHEET | |
| | G0.2 | GENERAL NOTES | |
| | G0.3 | TITLE 24 | |
| | G0.4 | TITLE 24 | |
| | G0.5 | TITLE 24 | |
| | G0.6 | GREEN POINT RATED CHECKLIST | |
| CIVIL | | | |
| | C0.0 | SITE SURVEY | |
| | C1.0 | COVER SHEET | |
| | C2.0 | PRELIMINARY GRADING PLAN | |
| | C3.0 | IMPERVIOUS SURFACES COVER - EXIST & PROPOSED | |
| | C4.0 | PRELIMINARY EROSION & SEDIMENT CONTROL PLAN | |
| LANDSCAPE | | | |
| | L0.00 | PROPOSED LANDSCAPE SITE PLAN | |
| | L5.00 | PLANTING NOTES & LEGEND | |
| | L5.01 | PROPOSED PLANTING PLAN | |
| | L6.00 | LANDSCAPE IRRIGATION PLAN | |
| | L6.01 | LANDSCAPE IRRIGATION LEGEND | |
| | L6.02 | LANDSCAPE IRRIGATION DETAILS | |
| | L6.03 | LANDSCAPE IRRIGATION DETAILS | |
| | L6.04 | LANDSCAPE IRRIGATION DETAILS | |
| | L6.05 | LANDSCAPE IRRIGATION DETAILS | |
| | L6.06 | LANDSCAPE IRRIGATION NOTES | |
| | L6.07 | LANDSCAPE IRRIGATION CALCULATIONS | |
| | L6.08 | LANDSCAPE HYDROZONE PLAN | |
| | L7.00 | LANDSCAPE LIGHTING SCHEDULE & SPECS | |
| | L7.01 | LANDSCAPE PROPOSED LIGHTING PLAN | |
| ARCHITECTURAL | | | |
| | A1.0 | PROPOSED SITE PLAN | |
| | A1.1 | PROPOSED STORY POLE PLAN | |
| | A1.2 | SITE PHOTOS | |
| | A1.5 | PROPOSED RENDERING & MATERIALITY | |
| | A1.6 | PROPOSED RENDERING & MATERIALITY | |
| | A2.1 | FOUNDATION PLAN | |
| | A2.2 | PROPOSED FLOOR PLAN | |
| | A2.3 | PROPOSED ROOF PLAN | |
| | A3.1 | LEVEL 1 - REFLECTED CEILING PLAN | |
| | A3.2 | LEVEL 1 - ELECTRICAL PLAN | |
| | A3.3 | LIGHTING, ELECTRICAL AND MECHANICAL NOTES, LIGHTING SCHEDULE | |
| | A4.0 | EXISTING ELEVATIONS | |
| | A4.1 | PROPOSED ELEVATIONS | |
| | A4.3 | ELEVATIONS - PROPOSED COURTYARD & PARTIALS | |
| | A4.5 | PROPOSED SECTIONS | |
| | A4.10 | WALL SECTIONS | |
| | A4.11 | WALL SECTIONS | |
| | A4.12 | WALL SECTIONS | |
| | A4.13 | WALL SECTIONS | |
| | A6.1 | WINDOW SCHEDULE | |
| | A6.2 | DOOR SCHEDULE | |
| | A6.5 | LIGHTING SCHEDULE | |
| | A7.1 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.2 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.3 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.4 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.5 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.6 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.7 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.8 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.9 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.10 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A7.11 | ENLARGED PLANS & INTERIOR ELEVATIONS | |
| | A8.1 | EXTERIOR DETAILS | |

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LEGEND:

- AC ASPHALTIC CONCRETE
- AD AREA DRAIN
- BY BOTTOM OF VENT
- COMM COMMUNICATION
- CONC CONCRETE
- CRW CONCRETE RETAINING WALL
- EM ELECTRIC METER
- FF FINISHED FLOOR
- FL FLOWLINE
- FTNG GAS METER
- GM GROUNDSHOT
- GSBWL GROUNDSHOT BELOW WATER LEVEL
- TCRW TOP OF CONCRETE RETAINING WALL
- THRESH THRESHOLD
- TRC TOP OF ROLL CURB
- TRRW TOP OF ROCK RETAINING WALL
- TV TOP OF VENT
- TPMB TOP OF WOOD PLANTER BOX
- VLT VAULT
- WE WOOD EDGING
- WDF WOOD FENCE
- WFB WOOD PLANTER BOX
- WRW WOOD RETAINING WALL
- WTR WATER

- X8.3 INDICATES GROUNDSHOT
- 12TREE INDICATES TREE SIZE

- INDICATES BOUNDARY LINE
- INDICATES LOT LINE
- INDICATES CENTERLINE
- INDICATES MAJOR CONTOUR LINE
- INDICATES MINOR CONTOUR LINE
- INDICATES WOOD FENCE
- INDICATES ROCK RETAINING WALL
- INDICATES UNDERGROUND SANITARY SEWER LINE
- INDICATES BUILDING OVERHANG

- INDICATES CONCRETE
- INDICATES WALKWAY
- INDICATES WOOD DECK

NOTES:

1. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
2. THE DATE OF THE FIELD SURVEY WAS NOVEMBER 30, 2021.
3. ONLY A SIGNATURE IN BLUE INK INDICATES A TRUE AND ORIGINAL COPY.
4. CONTOURS ARE SET AT 1 FOOT INTERVALS.
5. TOPOGRAPHIC DATA DERIVED FROM HD SCANNER.

BENCHMARK:

- ELEVATIONS WERE DERIVED FROM GPS OBSERVATIONS AND ARE BASED ON NAVD83.

BASIS OF BEARINGS:

THE BEARING, SOUTH 36°26'00" EAST, BETWEEN TWO FOUND MONUMENTS IN MONUMENT WELLS ALONG LAGOON ROAD AS SHOWN ON THIS CERTAIN MAP ENTITLED "MAP OF LAGOON SUBDIVISION NO. 7" FILED FOR RECORD ON NOVEMBER 10, 1955 IN VOLUME 8 OF MAPS AT PAGE 104 IN THE OFFICE OF THE RECORDER, MARIN COUNTY, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS SURVEY.

TITLE REPORT NOTE:

NO ABSTRACT OF TITLE, NOR TITLE COMMITMENT, OR RESULTS OF A TITLE SEARCH WERE FURNISHED TO MUIR CONSULTING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL THAT ARE NOT SHOWN.

UTILITY NOTE:

UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.

CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION

TREE NOTE:

TREE TYPES, DRIP LINES, AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED IN REGARD TO TREE INFORMATION.

RECORD BOUNDARY NOTE:

THIS BOUNDARY IS BASED ON RECORD DATA AND DOES NOT CONSTITUTE A BOUNDARY SURVEY. NO WARRANTIES OR GUARANTEES ARE EXPRESSED OR IMPLIED IN REGARD TO THE ACCURACY OF THE BOUNDARY AS SHOWN. IF ACCURATE BOUNDARY DATA IS PERTINENT FOR DESIGN OR DEVELOPMENT, THEN A FULL BOUNDARY SURVEY MUST BE PERFORMED BY MUIR AND A RECORD OF SURVEY MUST BE FILED.

RECORD REFERENCE: 8 MAPS 104

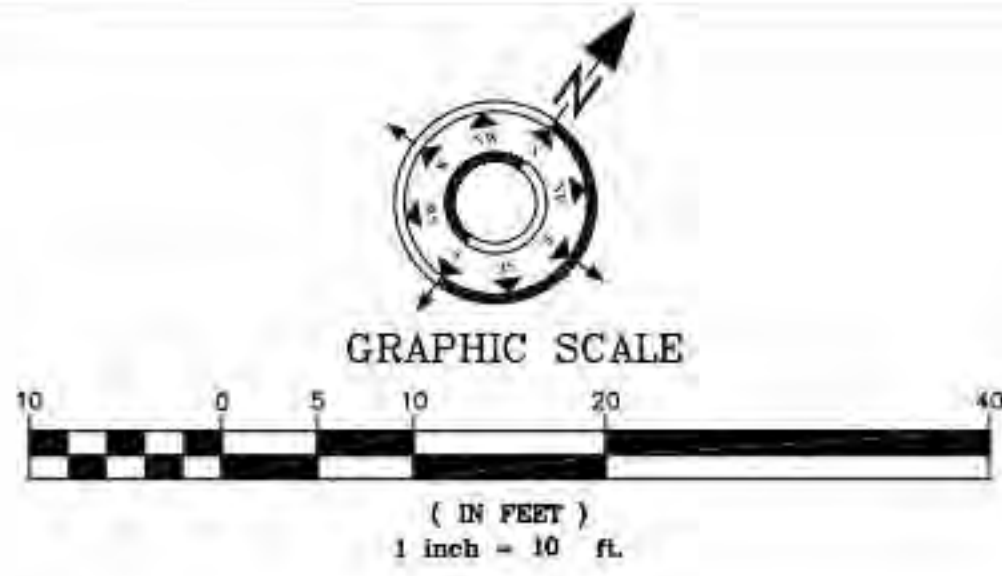
SURVEYOR'S STATEMENT

THIS SURVEY WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION.

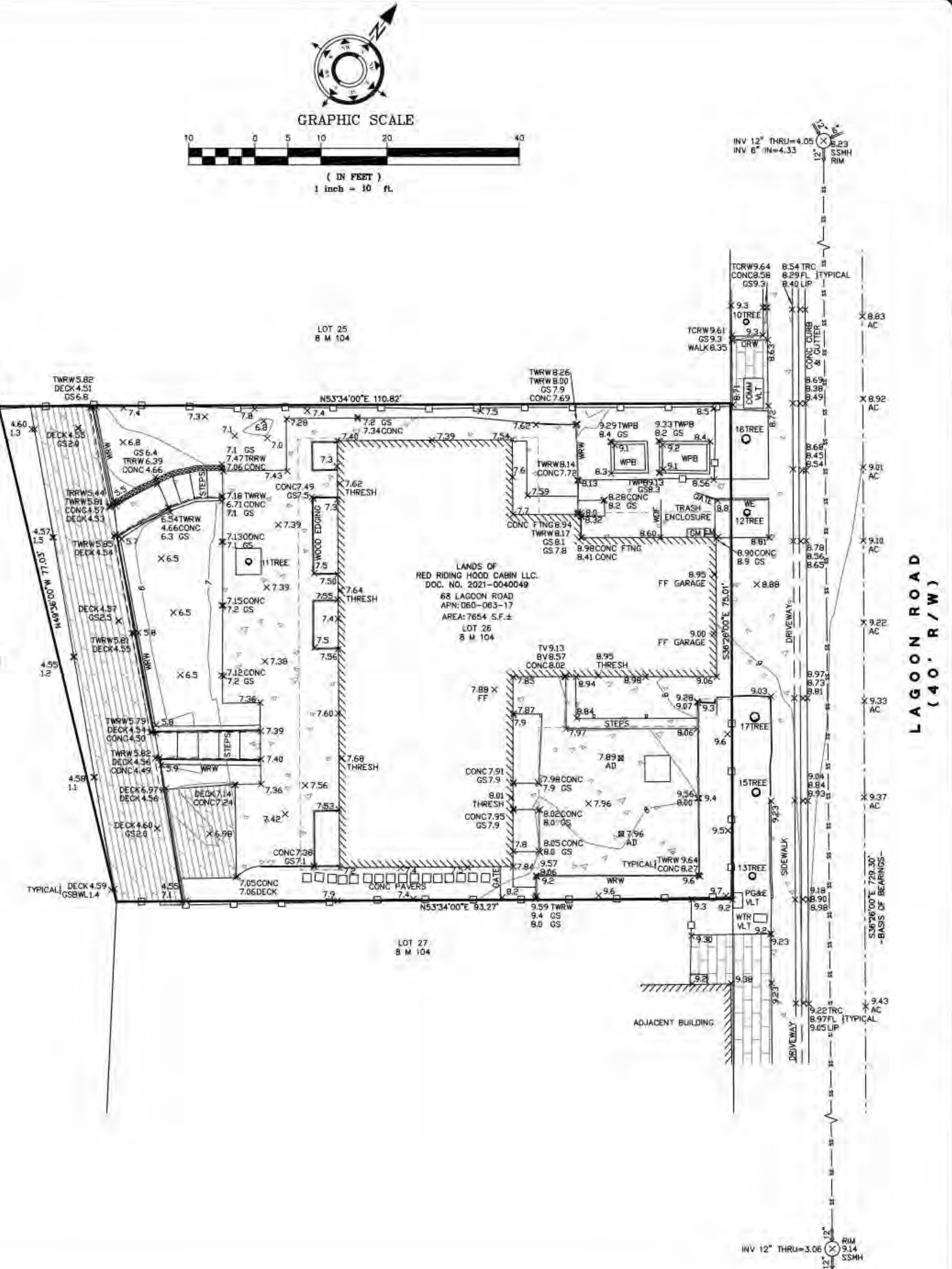
J. M. Smith
 JACK M. SMITH, P.L.S., #7539
 LICENSE EXPIRES: 01-31-2021



DATE _____



LVEDERE LAGOON



MUIR CONSULTING, INC.
 133 CHURCH AVENUE
 SAN FRANCISCO, CA 94102
 (415) 956-3445
 (415) 956-3446 FAX
 SURVEYING • HD SCANNING • GPS • UAV
 www.muirconsulting.com



CALIFORNIA

TOPOGRAPHIC SURVEY OF 68 LAGOON ROAD MARIN COUNTY

LAGOON ROAD (40' R/W)

| | | | |
|------------|------------|--------------|-----------------|
| JOB NUMBER | 8684-01 | DRAWING NAME | 8684-01.TPO.dwg |
| DRAWN BY | MCC | CHECKED BY | M.S. T.E. |
| DATE | 01/25/2022 | SHEET NO. | 1 OF 1 |

SUTRO ARCHITECTS
 415.956.3445
 sutroarchitects.com
 1055 Post Street, San Francisco, CA 94109

68 LAGOON RD
 BELVEDERE, CA 94920

DESIGN REVIEW 5/20/22

SITE SURVEY

C0.0

DESIGN REVIEW PLANS

FOR

68 LAGOON ROAD

BELVEDERE, MARIN COUNTY, CALIFORNIA



1442 A Walnut St. #428
Berkeley, CA 94709
415.279.5996
www.tarnoffengineering.com

68 LAGOON RD
BELVEDERE, CA

ABBREVIATIONS

| | | | |
|----------------|--------------------------------|--------------|--------------------------|
| AB | AGGREGATE BASE | L | LENGTH |
| AC | ASPHALTIC CONCRETE | LF | LINEAL FEET |
| AD | AREA DRAIN | LFF | LOWER FINISHED FLOOR |
| APPROX | APPROXIMATE | LIP | LIP OF GUTTER |
| BFP | BACK FLOW PREVENTOR | LP | LOW POINT |
| BC | BEGIN HORIZONTAL CURVE | LT | LEFT |
| B COR | BUILDING CORNER | MAX | MAXIMUM |
| BLDG | BUILDING | MH | MANHOLE |
| BM | BENCH MARK | MIN | MINIMUM |
| BNDY | BOUNDARY | MISC | MISCELLANEOUS |
| BSW | BACK OF SIDEWALK | NG | NATURAL GROUND |
| BVC | BEGIN VERTICAL CURVE | NIC | NOT INCLUDED IN CONTRACT |
| BVCE | BEGIN VERTICAL CURVE ELEVATION | NTS | NOT TO SCALE |
| BW | BOTTOM OF WALL | OH | OVERHEAD |
| CATV | CABLE TELEVISION | PG&E | PACIFIC GAS & ELECTRIC |
| CB | CATCH BASIN | P/L PL | PROPERTY LINE |
| C&G | CURB & GUTTER | PP | POWER POLE |
| CL | CLASS | PRO | PROPOSED |
| C/L | CENTERLINE | PWMT | PAVEMENT |
| CMP | CORRUGATED METAL PIPE | R | RADIUS |
| CO | CLEANOUT | REF | REFERENCE |
| CONC | CONCRETE | REINF | REINFORCED |
| CONST | CONSTRUCTION | REQ'D | REQUIRED |
| CONT | CONTINUOUS | RET WALL | RETAINING WALL |
| CU FT, CF | CUBIC FEET | RT | RIGHT |
| CY | CUBIC YARDS | R/W, ROW | RIGHT OF WAY |
| DI | DROP INLET | SCH | SCHEDULE |
| DIA | DIAMETER | SD | STORM DRAIN |
| DS | DOWNSPOUT | SDMH | STORM DRAIN MANHOLE |
| DWG | DRAWING | SDCO | STORM DRAIN CLEANOUT |
| DWY, D/W | DRIVEWAY | SF | SQUARE FEET |
| EC | END HORIZONTAL CURVE | SS | SANITARY SEWER |
| EG | EXISTING GRADE | SSCO | SANITARY SEWER CLEAN OUT |
| EL, ELEV | ELEVATION | SSMH | SANITARY SEWER MANHOLE |
| ELEC | ELECTRIC | STA | STATION |
| EP | EDGE OF PAVEMENT | STD | STANDARD |
| ESMT | EASEMENT | SW, S/W, SWK | SIDEWALK |
| EVC | END VERTICAL CURVE | TB OR TOB | TOP OF BANK |
| EVCE | END VERTICAL CURVE ELEVATION | TC | TOP OF CURB |
| EXIST, EX, (E) | EXISTING | TELE OR TEL | TELEPHONE |
| FG | FINISH GRADE | TEMP | TEMPORARY |
| FF | FINISH FLOOR | TOE | TOE OF BANK |
| FH, HYD | FIRE HYDRANT | TS | TURNING STRUCTURE |
| FL, INV | FLOWLINE | TRANS | TRANSFORMER |
| FS | FINISHED SURFACE | TW OR TOW | TOP OF WALL |
| G | GAS MAIN | TYP | TYPICAL |
| GB | GRADE BREAK | UTIL | UTILITY |
| GFF | GARAGE FINISHED FLOOR | VAR | VARIIES |
| GR | GRATE | VC | VERTICAL CURVE |
| H | HEIGHT | VERT | VERTICAL |
| HP | HIGH POINT | W, WTR | WATER LINE |
| JP | JOINT POLE | WM | WATER METER |
| JT | JOINT TRENCH | | |

SYMBOLS LEGEND

| | |
|---------------------------|----------|
| PROPERTY LINE | --- |
| LOT LINE | --- |
| CENTERLINE | --- |
| EASEMENT LINE | --- |
| PERIMETER OF BUILDING | --- |
| CONTOUR & ELEVATION | 35 |
| CUT/FILL; DAYLIGHT LINE | --- |
| DRAINAGE SWALE | --- |
| SIDEWALK | --- |
| PAVEMENT | --- |
| CONCRETE | --- |
| GRAVEL PATH | --- |
| RETAINING WALL | --- |
| ROCK WALL | --- |
| WALL HEIGHT | ④ |
| ELECTRIC LINE | E |
| GAS LINE | G |
| JOINT TRENCH | JT |
| OVERHEAD LINE | OH |
| WATER LINE | W |
| SANITARY SEWER LINE | SS |
| STORM DRAIN LINE | SD |
| STORM DRAIN SUBDRAIN | SD |
| STORM DRAIN DISSIPATER | SD |
| CHAIN LINK FENCE | --- |
| CATCH BASIN (CURB INLET) | --- |
| DROP INLET | --- |
| AREA DRAIN | --- |
| DOWNSPOUT | DS |
| STORM DRAIN MANHOLE | SD |
| SANITARY SEWER MANHOLE | SS |
| CLEANOUT | CO |
| GUY | G |
| POWER POLE | P |
| JOINT UTILITY POLE | JP |
| JOINT POLE W/STREET LIGHT | JP |
| STREET LIGHT | --- |
| FIRE HYDRANT | --- |
| WATER METER | M |
| SIGN | --- |
| SPOT ELEVATION | x 100.00 |
| DIRECTION OF FLOW | --- |
| SURVEY CONTROL POINT | --- |
| CENTERLINE MONUMENT | --- |
| PEDESTRIAN RAMP | --- |
| TREE SYMBOL & DRIP LINE | --- |
| DETAIL REFERENCE | A1 |
| SHEET NUMBER | L20 |

GENERAL NOTES

- All work and materials shall conform to the Cities and County of Marin Uniform Construction Standards and Standard Specifications, and the State of California Standard Plans and Specifications, where applicable.
- The contractor shall notify the County Department of Public Works 48 hours prior to starting any work.
- The contractor shall obtain applicable permits from the issuing agencies prior to commencing any work.
- Tarnoff Engineering Corporation shall not be responsible for any unauthorized changes to, or uses of these plans. The contractor shall assume complete responsibility for any and all changes to these plans without the written authorization of Tarnoff Engineering Corporation.
- All changes to the plans must be in writing, and must be approved by Tarnoff Engineering Corporation.
- The topographic information shown on these plans is provided by others. Tarnoff Engineering Corporation makes no warranties, either expressed or implied, as to the accuracy of this data. The Contractor shall be responsible for notifying Tarnoff Engineering Corporation if there are any topographic discrepancies that impact the plan design or the constructability of any planned improvement.
- The location of existing utilities shown on these plans is approximate only. The type, size, depth, and location of all existing utilities should be verified by the contractor prior to commencing any site work, including demolition. If the actual location of any utility is different from what is shown on the plans, and impacts the design or constructability of any planned improvement, the Contractor shall notify Tarnoff Engineering Corporation so that an alternate solution can be approved.
- All work shall be constructed in compliance with the project geotechnical report, including all letters and recommendations.

CONSTRUCTION NOTES

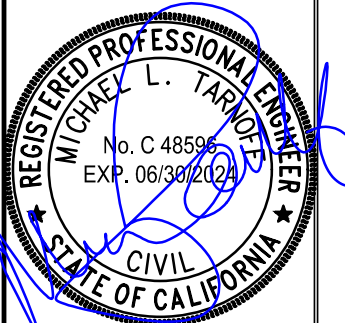
- The project engineer and geotechnical engineer shall be given minimum 48 hours' notice for any required inspection.
- No grading allowed between October 1 and April 1 without written consent from the authorizing agency.
- All permanent embankments shall be constructed at slopes of 2:1 or flatter, or as directed by the project geotechnical engineer.
- All tops and toes of graded embankments shall be rounded.
- All embankments and graded areas shall be treated with erosion control measures (per details in this plan set, or as directed by agency officials) by October 1, and maintained until April 1. Sediment control is required year-round to prevent offsite tracking or release of airborne particles.
- Dust control must be maintained at all times. Watering or covering graded areas, sweeping, and all other Best Management Practices must be maintained onsite. No silt, dirt, mud, or debris may accumulate in the public right of way.
- All excess materials must be stockpiled and covered properly, or placed at an approved fill site.
- The contractor is responsible for matching streets, surrounding landscape, and other improvements with a smooth transition - be it for grading, paving, curbs, sidewalks, etc. Contractor shall avoid abrupt or apparent grade changes, cross slopes, low spots (except for where intended), or hazardous conditions.
- All trees to be saved shall be protected per landscape architect or arborist details.
- If any archeological, historical, or paleontological materials are uncovered, discovered, or otherwise detected or observed during project grading and construction operations, work will cease immediately within the vicinity of the discovery until a qualified archeologist can be brought to the site for an assessment of the resources.
- Any subdrain information shown on these plans is for informational purposes only. Subdrain placement and construction shall adhere to the recommendations of, and direction from the project geotechnical engineer.
- All private sanitary sewer and storm drain pipe shall be PVC SDR-35 with water-tight gasketed joints, or approved equal. Private large diameter storm drain pipe shall be Hancor N-12 HDPE pipe, or equal.
- Stationing is generally along roadway or driveway centerline, unless otherwise shown or indicated.
- Curb return radii and data are to the face of curb.
- Lengths of utility pipes are horizontal distances from center to center of structure, rounded to the nearest tenth of a foot.
- Traffic control during construction shall comply with the California Manual on Uniform Traffic Control Devices (CMUTCD).
- Signing and Striping shall be in accordance with the applicable details from the CMUTCD, latest edition.
- Manhole, grate, and rim elevations are approximate only. The contractor shall be responsible for adjusting rims and covers to match finished grade.
- Best Management Practices must be applied at all times during construction.

SHEET INDEX

- C1.0 TITLE SHEET, NOTES & LEGEND
- C2.0 PRELIMINARY GRADING PLAN
- C3.0 IMPERVIOUS SURFACES COVER PLAN & STORMWATER TREATMENT PLAN
- C4.0 PRELIMINARY EROSION & SEDIMENT CONTROL PLAN



Prepared under the Direction of:



Michael L. Tarnoff
RCE 48596
Exp. 06/30/2024

DESIGN REVIEW
05/20/2022
D.R. RESUBMITTAL
08/15/2022

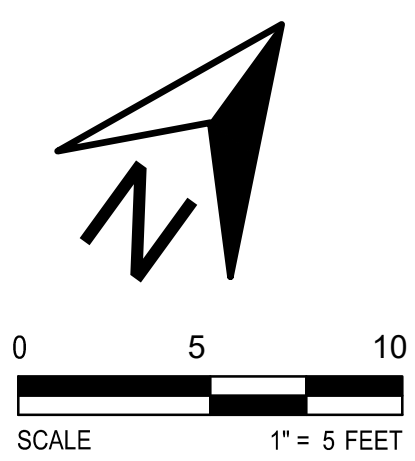
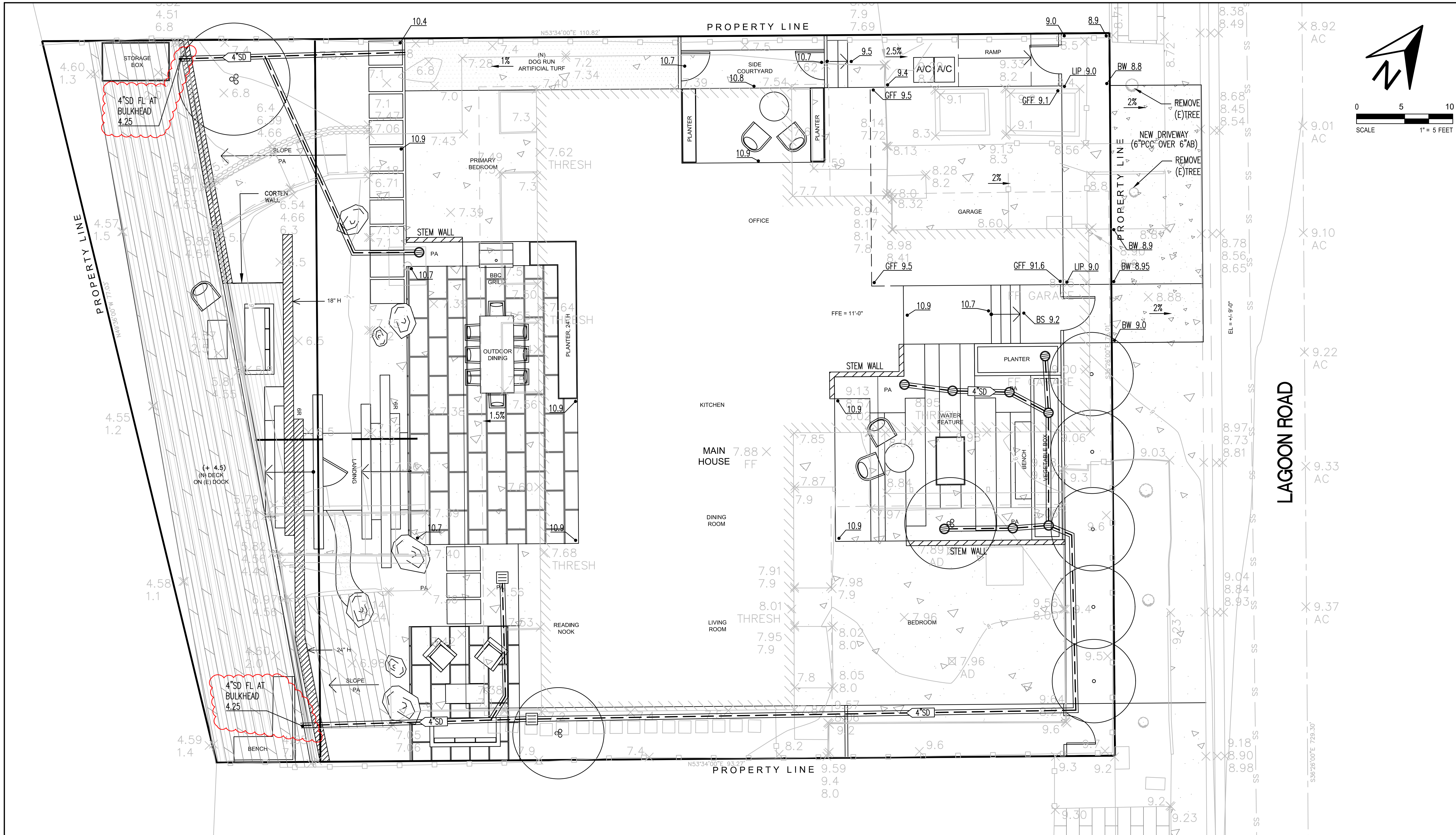
COVER SHEET

C1.0

05/18/2022

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EARTHWORK NOTES

A. THIS SITE IS UNDERLAIN BY VARYING THICKNESS OF BAY MUD. EITHER GEOFOAM OR LIGHTWEIGHT FILL WILL BE BROUGHT IN FOR ALL NEW FILL AREAS, AND PLANTER AREAS WILL BE BACKFILLED WITH A PLANTER SOIL MIXTURE.

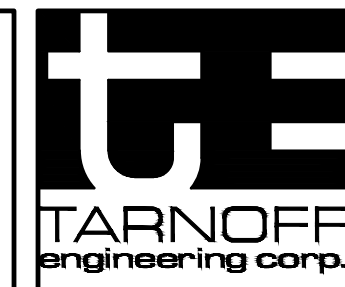
B. ESTIMATED ROUGH QUANTITIES ARE AS FOLLOWS:

CUT = 52 CY (ALL OFF-HAUL)
 FILL = 148 CY (ALL NEW IMPORT)

UTILITY NOTES

A. DRAIN INLETS SHALL BE NDS 6" SPEE-D-DRAIN OR APPROVED EQUIVALENT.

B. SITE STORM DRAIN SHALL BE 4" DIAMETER PVC SDR-35 OR APPROVED EQUAL. MINIMUM 18" COVER AND 2% SLOPE. DIRECT TO OUTFALL AT CONCRETE BULKHEAD UNDER EXISTING DECK.



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68 LAGOON RD
 BELVEDERE, CA

Prepared under the Direction of:



Michael L. Tarnoff
 RCE 48596
 Exp. 06/30/2024

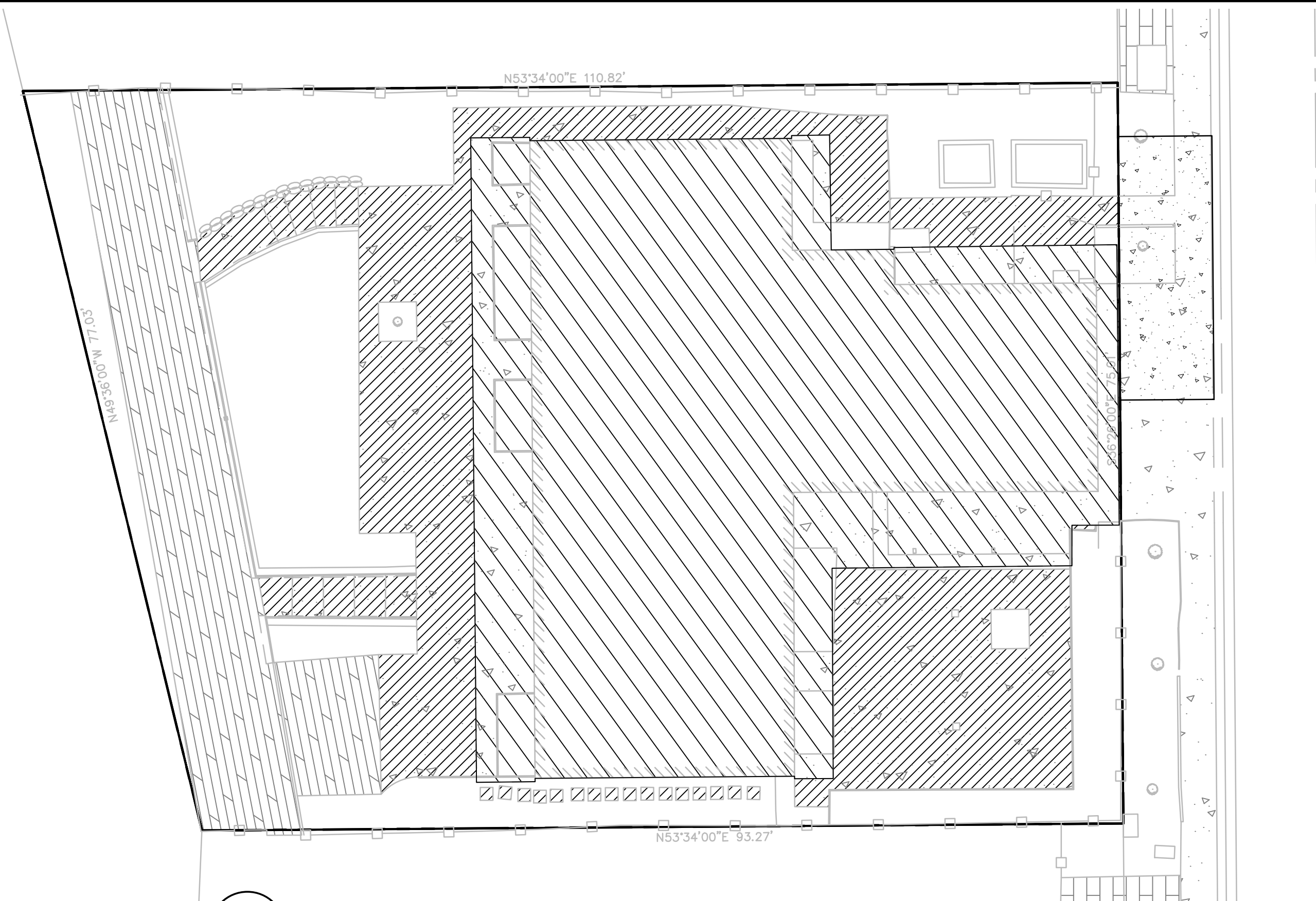
DESIGN REVIEW
 05/20/2022
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 08/15/2022

PRELIMINARY
 GRADING PLAN

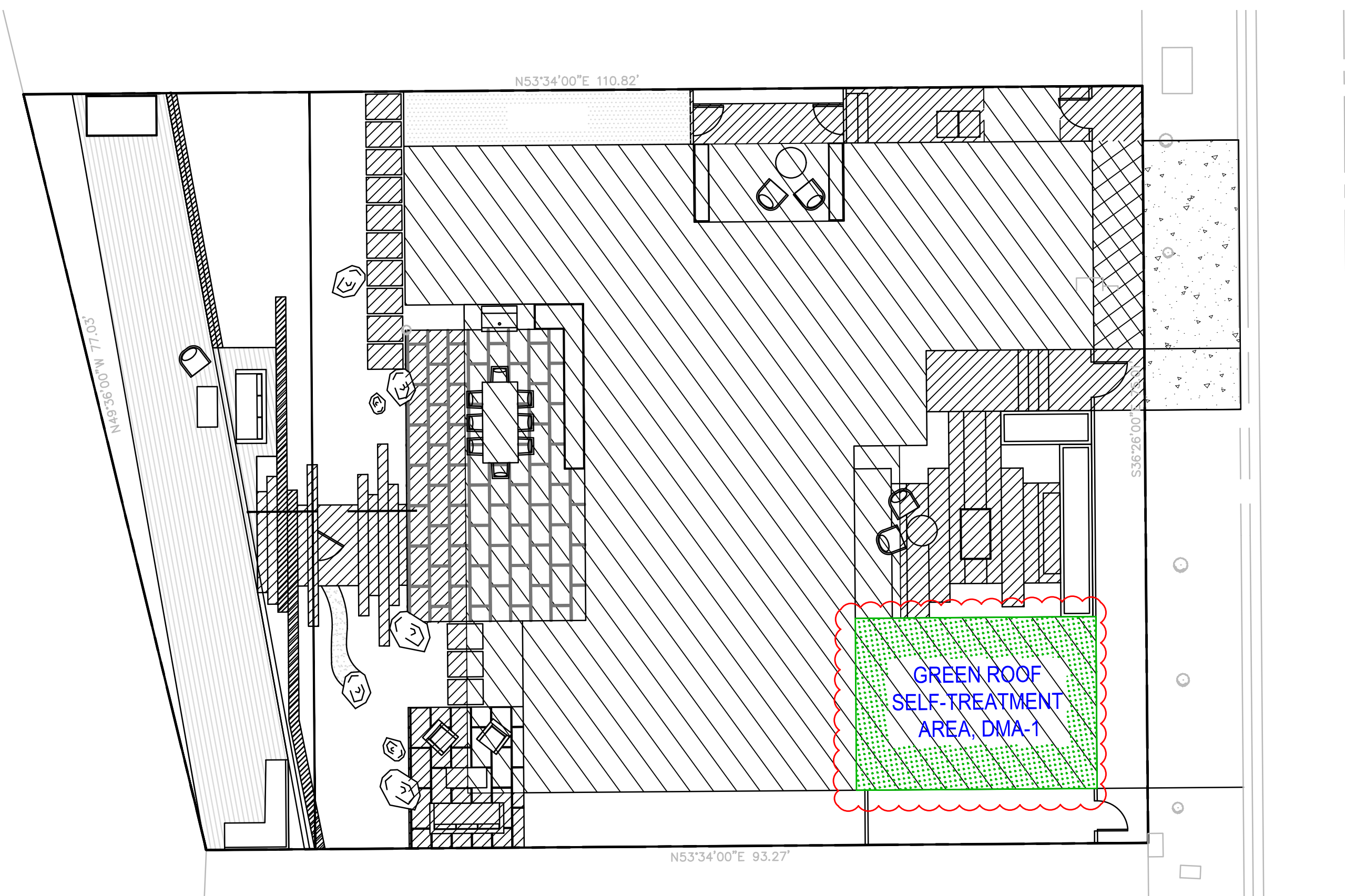
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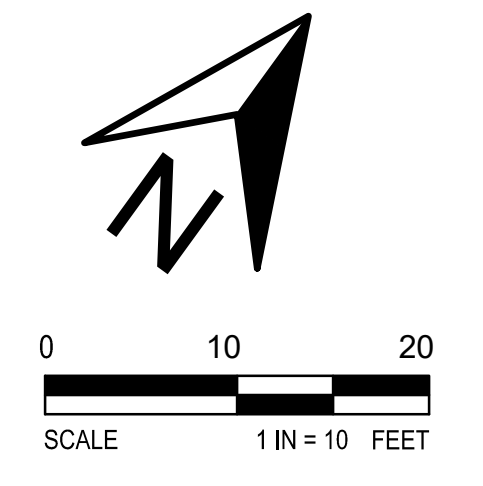


1 EXISTING IMPERVIOUS COVER
 3,267 SF EXISTING BUILDINGS & STRUCTURES
 5 SF EXISTING DRIVEWAY
 1,571 SF EXISTING HARDSCAPE
 4,843 SF TOTAL SITE EXISTING IMPERVIOUS COVER
 SCALE: 1"=10'



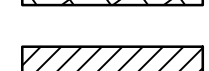


2 TOTAL POST-DEVELOPMENT IMPERVIOUS COVER
 3,644 SF PROPOSED BUILDINGS & STRUCTURES
 103 SF PROPOSED DRIVEWAY
 1,121 SF PROPOSED HARDSCAPE
 4,868 SF TOTAL SITE PROPOSED IMPERVIOUS COVER
 SCALE: 1"=10'

NEW OR REPLACED IMPERVIOUS COVER
 3,644 SF PROPOSED BUILDINGS & STRUCTURES
 103 SF PROPOSED DRIVEWAY
 1,121 SF PROPOSED HARDSCAPE
 4,868 SF TOTAL SITE PROPOSED NEW/REPLACED IMPERVIOUS COVER



IMPERVIOUS COVER LEGEND

-  BUILDINGS AREAS
-  DRIVEWAY & ROAD PAVING AREAS
-  HARDSCAPE PAVING AREAS

STORMWATER CONTROL NOTES

- TOTAL PROPOSED IMPERVIOUS SURFACES = 4,868 S.F
- THE ONE TREATMENT THIS PROJECT IS PROPOSING TO COMPLY WITH MCSTOPPP IS TO BUILD A GREEN ROOF.
- DRAINAGE MANAGEMENT AREA (DMA) AREA = 406 SF, AND AS A GREEN ROOF, IT IS SELF-TREATING.



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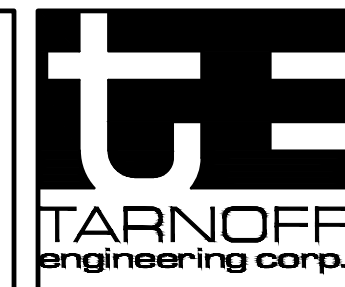
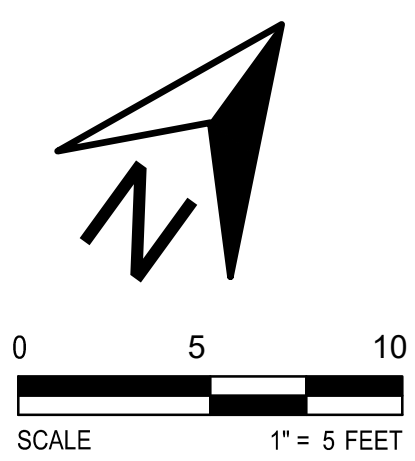
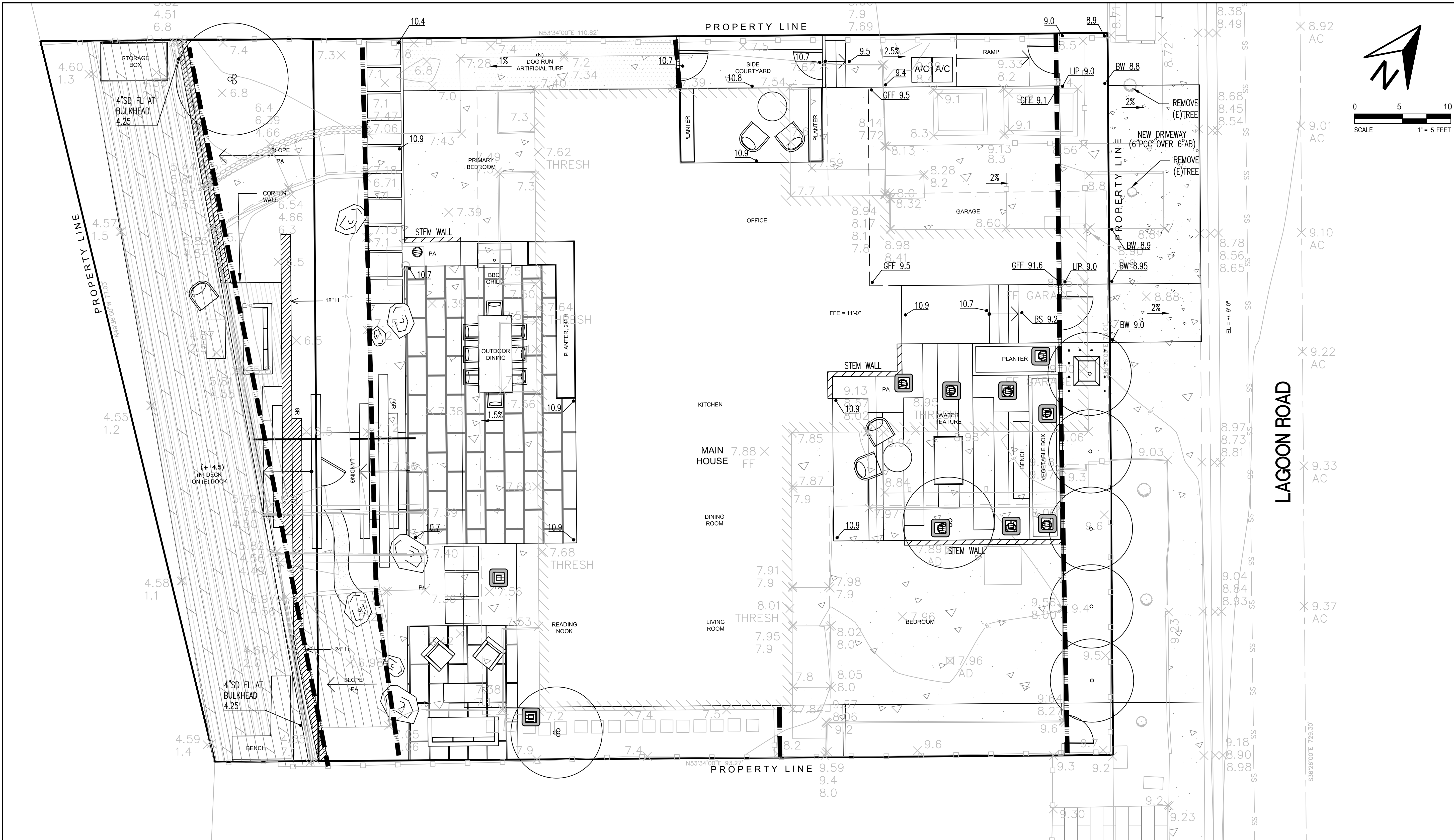
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IMPERVIOUS SURFACES COVER;
 STORMWATER CONTROL PLAN

C3.0

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DESIGN REVIEW
05/20/2022
D.R. RESUBMITTAL
08/15/2022

PRELIMINARY
EROSION &
SEDIMENT
CONTROL PLAN

C4.0

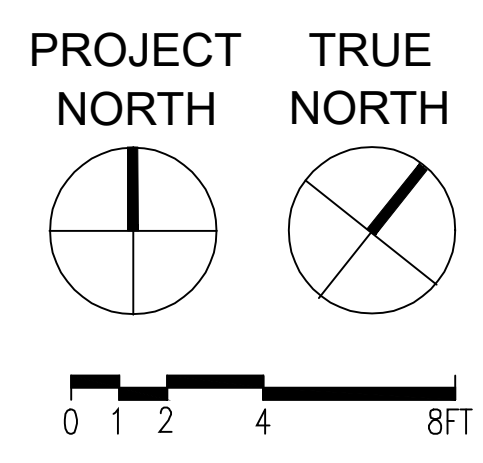
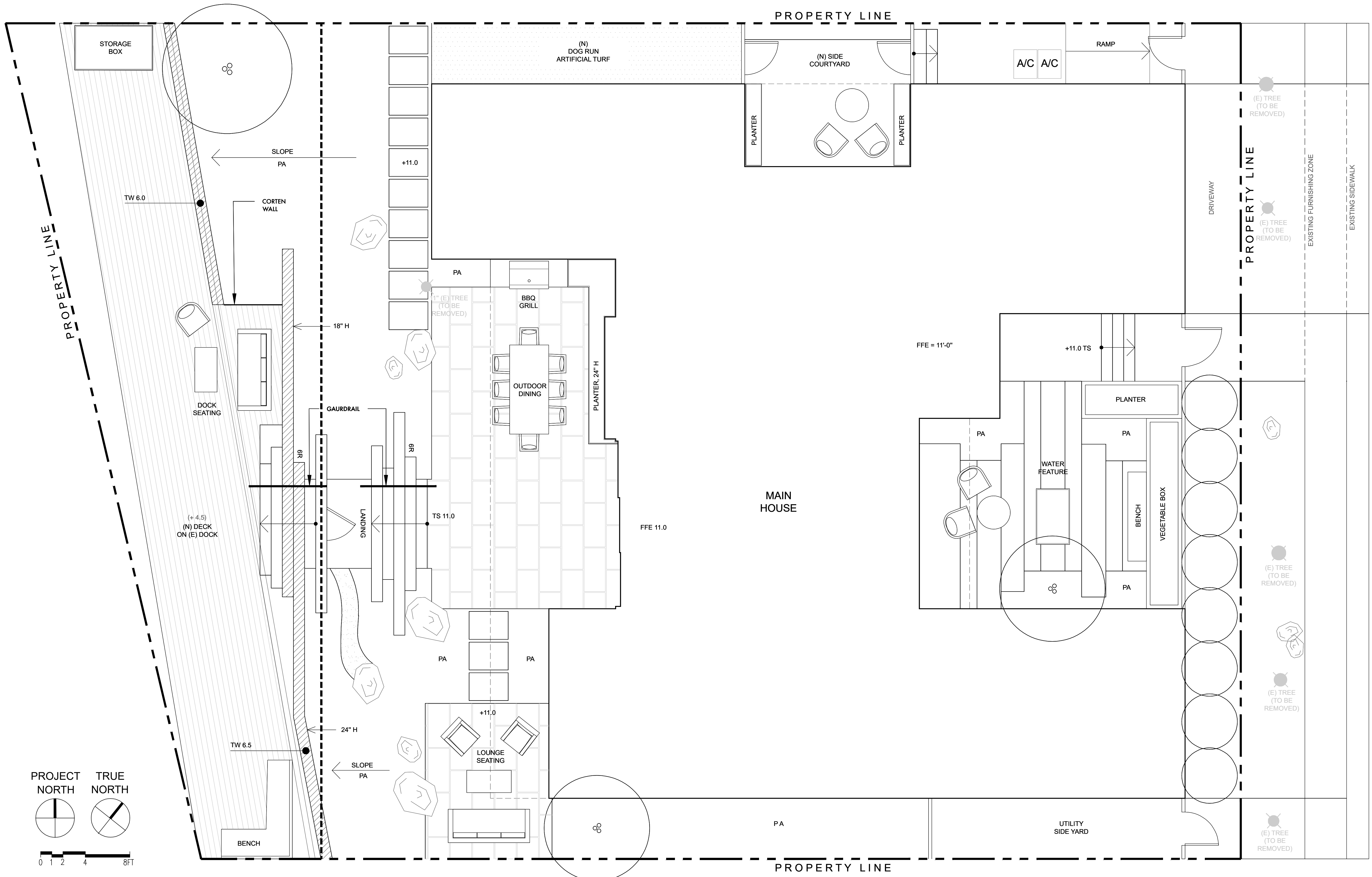
NOTES

1. ALL DISTURBED AREAS TO BE REVEGETATED OR STABILIZED WITH ADEQUATE SOIL COVER (STRAW MULCH WITH TACKIFIER, HYDROSEED, OR EROSION CONTROL BLANKETS), FOR AREAS INACTIVE FOR MORE THAN 14 DAYS AND PRIOR TO FORECASTED RAIN EVENTS. WOVEN COCONUT MATS OR EQUAL SHALL BE USED FOR ALL EXPOSED GRADED SLOPE AREAS. STEEPER EMBANKMENTS MAY REQUIRE GEOTEXTILE FABRIC ENFORCEMENT TO PREVENT EROSION. DO NOT USE LOOSE STRAW MULCH.
2. THIS PLAN IS FOR EROSION & SEDIMENT CONTROL ONLY. SEE SHEET C2.0 FOR GRADING AND DRAINAGE
3. THE ENGINEER SHALL HAVE THE AUTHORITY TO MODIFY ALL EROSION CONTROL MEASURES AS NECESSARY TO MEET MCSTOPPP STANDARDS.
4. ALL CHANGES TO SITE EROSION CONTROL SHALL BE DOCUMENTED BY THE CONTRACTOR IN THE ONSITE COPY OF THE EROSION CONTROL PLAN.
5. INTERIM EROSION CONTROL: IF STORM EVENTS OR SITE CONDITIONS PREVENT THE COMPLETION OF THE SITE GRADING, AND INSTALLATION OF THE PROPOSED STORM DRAIN PIPE, INTERIM EROSION CONTROL MEASURES MAY BE REQUIRED. THE ENGINEER SHALL BE CONSULTED FOR ANY INTERIM OR TEMPORARY EROSION CONTROL MEASURES, AND ANY CHANGE TO THIS PLAN MUST COMPLY WITH MCSTOPPP SANDARDS.
6. FOR HAZARDOUS WASTE MANAGEMENT AND SANITARY WASTE MANAGEMENT, THE CONTRACTOR MUST FOLLOW BEST MANAGEMENT PRACTICES, THE GUIDELINES IN THE BASMAA POST-CONSTRUCTION MANUAL, THE MARIN COUNTY CODE, AND TIBURON SANITARY DISTRICT REQUIREMENTS.

EROSION CONTROL KEY NOTES/SYMBOLS LEGEND

- (A) INSTALL FIBER ROLLS PER CASQA SE-5
- (B) INSTALL INLET PROTECTION PER CASQA SE-10
- (C) INSTALL CONCRETE WASTE/WASHOUT PER CASQA WM-8

05/18/2022



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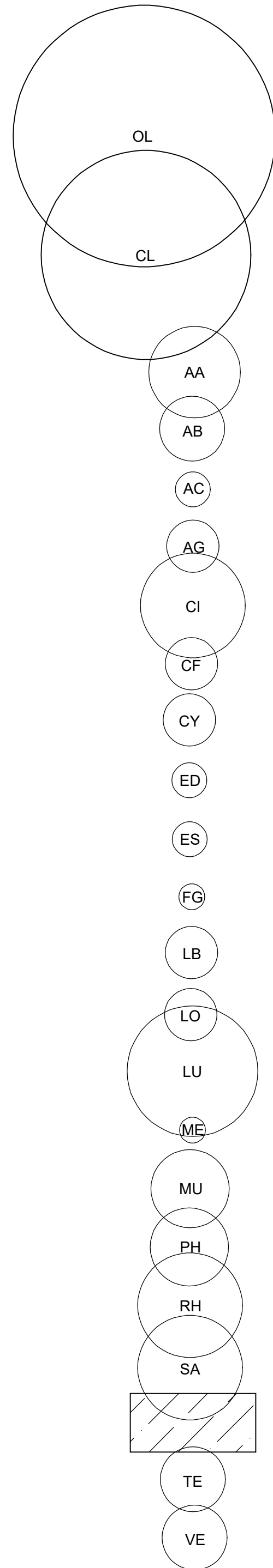
DESIGN 05/20/22
REVIEW

LANDSCAPE PROPOSED SITE PLAN

1/4" = 1'-0"

11 APRIL 2022

L0.00



PLANTING SCHEDULE

| TREES | | | | | | |
|---------------------------|----------|---------|---|-----------------------------|------------|------------------------|
| SYMBOL | QUANTITY | SIZE | BOTANICAL NAME | COMMON NAME | WATER USE | NOTES |
| OL | 2 | 36" BOX | OLEA EUROPAEA 'SWAN HILL' | 'SWAN HILL' OLIVE TREE | LOW | MULTI-TRUNK; FRUITLESS |
| CL | 1 | 24" BOX | CITRUS LEMON 'MEYER IMPROVED' | IMPROVED MEYER LEMON | MEDIUM | SEE PLAN |
| PERENNIALS/GRASSES/SHRUBS | | | | | | |
| AA | 4 | 15 GAL | AGAVE ATTENUATA | FOX TAIL AGAVE | LOW | PLANT 42" O.C. |
| AB | 8 | 5 GAL | AGAVE 'BLUE FLAME' | 'BLUE FLAME' AGAVE | LOW | PLANT 30" O.C. |
| AC | 38 | 1 GAL | ACHILLEA MILLEFOLIUM MILENRAMA | WHITE YARROW | LOW | PLANT 18" O.C. |
| AG | 11 | 1 GAL | AGAVE 'BLUE GLOW' | 'BLUE GLOW' AGAVE | LOW | PLANT 24" O.C. |
| CI | 3 | 1 GAL | CISTUS X PULVERULENTUS 'SUNSET' | MAGENTA ROCKROSE | LOW | PLANT 48" O.C. |
| CF | 48 | 1 GAL | CALAMAGROSTIS FOLIOSA | MENDOCINO REED GRASS | LOW | PLANT 24" O.C. |
| CY | 12 | 1 GAL | COTYLEDON ORBICULATA VAR. OBLONGA 'FLAVIDA' | FINGER ALOE | LOW | PLANT 24" O.C. |
| ED | 38 | 1 GAL | ECHEVERIA DERENBERGII | PAINTED LADY BABY ECHEVERIA | LOW | PLANT 18" O.C. |
| ES | 14 | 1 GAL | ECHIBECKIA SUMMERINA ORANGE | ECHIBECKIA | MEDIUM | PLANT 18" O.C. |
| FG | 27 | 1 GAL | FESTUCA GLAUCA | BLUE FESCUE | LOW | PLANT 12" O.C. |
| LB | 13 | 1 GAL | LOTUS BERTHELOTTI | PARROT'S BEAK | LOW/MEDIUM | PLANT 24" O.C. |
| LO | 155 | 1 GAL | LOMANDRA BABY BREEZE | EVERGREEN BABY MAT RUSH | LOW | PLANT 24" O.C. |
| LU | 8 | 1 GAL | LAURUS NOBILIS | SWEET BAY | LOW | PLANT 60" O.C. |
| ME | 57 | 1 GAL | MELINIS NERVIGLUMIS | RUBY GRASS | MEDIUM | PLANT 12" O.C. |
| MU | 4 | 1 GAL | MUHLENBERGIA DUBIA | PINE MUHLY | LOW | PLANT 36" O.C. |
| PH | 4 | 1 GAL | PHORMIUM TENAX 'BRONZE BABY' | RED-BRONZE NEW ZEALAND FLAX | LOW | PLANT 36" O.C. |
| RH | 15 | 1 GAL | RHAMNUS MOUND 'SAN BRUNO' | COFFEEBERRY | LOW | PLANT 48" O.C. |
| SA | 7 | 1 GAL | SALVIA LEUCOPHYLLA 'POINT SAL SPREADER' | PURPLE SAGE | LOW | PLANT 48" O.C. |
| SE | 860 SF | TRAY | SEDUM BLEND | - | LOW | MODULES/ TRAYS |
| TE | 20 | 1 GAL | TEUCRIUM CHAMAEDRYIS | GERMANDER | LOW | PLANT 30" O.C. |
| VE | 16 | 1 GAL | VERBENA CANADENSIS 'HOMESTEAD' | ROSE VERBENA | LOW | PLANT 30" O.C. |

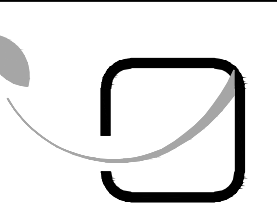
PLANTING NOTES

- ALL LANDSCAPE PLANS SHALL CONFORM TO LOCAL LANDSCAPE GUIDELINES, APPLICABLE CODES, ORDINANCES AND LAWS.
- CONTRACTOR SHALL STOP WORK AND IMMEDIATELY NOTIFY LANDSCAPE ARCHITECT IF UTILITY LOCATIONS OR CONDITIONS REQUIRE DEVIATION FROM PROPOSED PLANS.
- PLANTING LAYOUT SHALL BE REVIEWED WITH LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO DIGGING PLANT PITS. ALL PLANT MATERIAL SHALL BE ON SITE AND IN CONTAINERS, AS SPECIFIED, AND IN GENERAL LOCATION SHOWN ON PLANS, PRIOR TO SITE VISIT BY LANDSCAPE ARCHITECT.
- CONTRACTOR TO VERIFY PLANT COUNT QUANTITIES ON PLAN PRIOR TO BIDDING & ORDERING PLANTS. CONTRACTOR IS RESPONSIBLE FOR INSPECTING PLANT MATERIAL UPON DELIVERY, AND REJECTING ANY PLANTS DEEMED IN UNACCEPTABLE CONDITION. AS CONTRACTOR WILL BE WARRANTING PLANTS FOR DURATION OF MAINTENANCE PERIOD. SEE "WARRANTY" BELOW.
- PERCOLATION TEST: A COMPREHENSIVE PERCOLATION TEST SHALL BE PERFORMED PRIOR TO CONSTRUCTION AND PLANTING. DIG TREE AND SHRUB HOLES, FILL WITH WATER, NOTE LENGTH OF TIME FOR WATER TO DRAIN. IF ANY HOLES TAKE LONGER THAN 24 HOURS TO DRAIN, FLAG THOSE HOLES AND NOTIFY LANDSCAPE ARCHITECT.
- SOIL ANALYSIS: CONTRACTOR TO PERFORM A COMPLETE SOIL PARTICLE SIZE ANALYSIS, SOIL CHEMISTRY ANALYSIS, MICRO-NUTRIENT ANALYSIS, AND RECOMMENDATIONS FOR ORGANIC SOIL AMENDMENT AND PLANTING BACKFILL MIX. ANALYSIS AND RECOMMENDATIONS TO BE OBTAINED FROM WAYPOINT ANALYTICS, A&L SOIL LAB, OR OTHER LABORATORY APPROVED BY LANDSCAPE ARCHITECT. NOTE: REQUEST A COMPLETE ANALYSIS, WITH ORGANIC RECOMMENDATIONS.
- SOIL PREPARATION & AMENDMENTS: NOTE: ALL AMENDMENTS SHALL BE FROM OMRI CERTIFIED ORGANIC SOURCES AND PRODUCED BY A US COMPOSTING COUNCIL SEAL OF TESTING ASSURANCE PARTICIPATING COMPOSTER. EXCAVATE A PLANTING HOLE SLIGHTLY SHALLOWER AND 2 TO 3 TIMES THE WIDTH OF THE ROOT BALL OR CONTAINER. SET THE ROOT BALL ON FIRM SOIL SO THAT THE TOP OF THE ROOT BALL WILL SIT SLIGHTLY HIGHER THAN THE FINAL GRADE. TYPICAL AMENDMENTS IN ADDITION TO SOIL ANALYSIS RECOMMENDATIONS:

TREES, SHRUBS, PERENNIALS, & VINES: ORGANIC COMPOST MIXED WITH EXISTING SITE SOIL BLENDED IN A 1 COMPOST TO 3 SOIL RATIO, PLACE AROUND ROOTBALL DURING BACKFILLING. MYCORRHIZAE - APPLY 2-3 TBSP. PER INCH OF STEM CALIPER DIRECTLY TO PLANT ROOTS, OR IN PREPARED TRANSPLANT HOLE.

VEGETABLE & FLOWER BEDS - MIXED INTO POTTING SOIL: COMPOST SHALL BE UNIFORMLY APPLIED OVER THE PLANTING AREA AT AN AVERAGE DEPTH OF 2 INCHES. INCORPORATE UNIFORMLY TO A DEPTH OF 6 TO 8 INCHES INTO TOPSOIL. MYCORRHIZAE - MIX 2 LBS PER 100 SQFT OF APPLY 1 TSP PER ROW FOOT WHEN SEEDING, OR ¼ TSP DIRECTLY ON TRANSPLANT ROOTS.

WATER THOROUGHLY DURING AND AFTER PLANTING. COMPOST TO BE DIESTEL STRUCTURED COMPOST OR APPROVED EQUAL. MYCORRHIZAE TO BE "DOWN TO EARTH" - ROOT GROWTH ENHANCER* OR APPROVED EQUAL.
- COMPACTED SOILS: SPOT TREAT BY LOOSENING SOIL TO 18 INCH DEPTH WHERE NECESSARY. DO NOT ROTOTILL. CAREFULLY INCORPORATE SOIL AMENDMENT TO MINIMIZE SOIL STRUCTURE DEGRADATION. GRADE AS PER PLANS OR AS DIRECTED BY LANDSCAPE ARCHITECT. PROCEED AS DIRECTED BELOW FOR NON-COMPACTED SOILS.
- NON-COMPACTED SOILS: IF AVAILABLE, SPREAD PREVIOUSLY STOCKPILED TOPSOIL TO ACHIEVE FINISHED GRADE ELEVATIONS AS PER PLANS. AMEND EXISTING SOIL AS SPECIFIED ABOVE, USING CERTIFIED ORGANIC COMPOST WHICH WAS PRODUCED BY A US COMPOSTING COUNCIL SEAL OF TESTING ASSURANCE PARTICIPATING COMPOSTER, AND OTHER CERTIFIED ORGANIC AMENDMENTS AT THE QUANTITIES RECOMMENDED. FLOAT AREAS TO A SMOOTH, UNIFORM GRADE. ENSURE THAT RUNOFF DOES NOT RUN TOWARDS BUILDING FOUNDATION. FINISH GRADE ADJACENT TO ANY HARDSCAPE ELEMENTS IS TO BE 4 INCHES BELOW TOP OF ELEMENT - CURB, SIDEWALK, ETC. TO ALLOW FOR 3 INCHES OF MULCH. SECURE FINISH GRADE APPROVAL PRIOR TO PLANTING.
- IMPORT TOPSOIL (IF REQUIRED) IDEALLY, TOPSOIL FROM THE SITE CAN BE STOCKPILED FOR REUSE ON SITE. IF NO SITE SOIL IS AVAILABLE, USE LYNGSO 'TOP SOIL' (www.lyngsogarden.com) OR APPROVED EQUAL. IMPORT SOIL SHALL BE AMENDED AS DIRECTED IN NOTE #4. IF IMPORT SOIL CONTAINS 6% ORGANIC MATTER, THEN AMENDING MAY NOT BE NEEDED. WHERE PLANTING AROUND EXISTING PLANTS, ON STEEP HILLSIDES OR IN OTHER AREAS WHERE ENTIRE BEDS ARE NOT BEING NEWLY PLANTED, SOIL PREPARATION AND PLANTING SHALL BE PERFORMED IN INDIVIDUAL PLANTING HOLES. PLANTING HOLES SHALL BE TWICE THE DIAMETER OF THE PLANT CONTAINER (3X FOR TREES), AND SHALL BE AS DEEP AS THE CONTAINER, MINUS 2 INCHES. ADD AMENDMENTS AS PER ABOVE TO EACH PLANTING HOLE.
- PLANTING: LAYOUT OF PLANT MATERIAL IS TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. GENTLY ROUGHEN ROOTBALLS ON SIDES AND BOTTOM OF PLANT TO LOOSEN ALL ROOTS PREVIOUSLY AGAINST SIDES OF POT. IF ANY EVIDENCE OF ROOT GIRDLING IS VISIBLE, PLANT SHALL BE REJECTED. PLACE PLANTS IN HOLES SO THAT CROWN OF ROOT BALL IS 2 INCHES ABOVE FINISH GRADE.
- TREES: STAKE ONLY IF NECESSARY, WITH TWO STAKES PER TREE AND ARBOR TIES. ALIGN STAKES AT 90 DEGREES TO DIRECTION OF PREVAILING WIND.
- WEED CONTROL/SHEET MULCHING: REMOVE ALL WEEDS AND OTHER UNDESIRABLE PLANTS. WHERE WEEDS COVER 25% OR MORE OF AREA, OR WHERE NEW PLANTING IS TO BE PLANTED OVER INVASIVE GROUND COVER, APPLY SHEET MULCHING. COVER BARE SOIL OR COMPOST (SEE PLANTING, ABOVE), WITH TWO LAYERS OF RECYCLED CARDBOARD PER DIRECTIONS BELOW.
- SHEET MULCHING: AFTER THE 5 GALLON AND LARGER PLANT MATERIALS HAVE BEEN PLANTED THE SHEET MULCH SHALL BE INSTALLED. CUT CARDBOARD AROUND PLANTS 5 GALLON OR LARGER, LEAVING A HOLE THE DIAMETER OF THE POT SIZE. BOXED PLANTS OR TREES SHOULD BE CLEAR OF CARDBOARD FOR THE DIAMETER OF A 15 GALLON POT AROUND THE CROWN. IF CONTRACTOR WISHES TO SHEET MULCH PRIOR TO PLANTING 1 GALLON PLANTS, CONTRACTOR MAY DO SO WITH APPROVAL OF LANDSCAPE ARCHITECT. A MINIMUM OF TWO LAYERS OF 100% RECYCLED B FLUTE CARDBOARD AS A BIODEGRADABLE WEED BARRIER TO THE ENTIRE PLANTING AREA, COMPLETELY COVERING ALL EXISTING SOIL AND VEGETATION. WET CARDBOARD WHILE APPLYING TO PREVENT IT FROM BLOWING AWAY. SHEETS OF CARDBOARD SHALL OVERLAP A MINIMUM OF 8", AND CARDBOARD SHALL ABUT DIRECTLY AGAINST EDGE OF PAVEMENT, CURBS, BOULDERS & OTHER HARDSCAPE ELEMENTS. CARDBOARD SHALL BE APPLIED TO THE EDGE OF INSTALLED PLANT ROOT BALLS WITHOUT COVERING ANY PART OF THE TOP OF THE ROOT BALL/ROOT CROWN AREA. EXCESS CARDBOARD SHALL BE FOLDED UNDER ITSELF WHEN ABUTTING AGAINST HARDSCAPE OBJECTS OR ROOT CROWN AREAS, AS OPPOSED TO BEING CUT, TO AVOID EXCESSIVE CARDBOARD SCRAPS. THIS FOLDING UNDER PROCESS IS GREATLY AIDED WHEN THE CARDBOARD IS WET. ALL CARDBOARD SCRAPS SHALL REMAIN SEPARATED FROM OTHER CONSTRUCTION DEBRIS AND SHALL BE DEPOSITED AT A LOCAL RECYCLING FACILITY. APPLY COMPOST AND MULCH OVER CARDBOARD.
- MULCH: ALL PLANTING AREAS ARE TO RECEIVE 3-INCH MINIMUM THICKNESS OF SITE GENERATED CHIPS. LANDSCAPE ARCHITECT OR OWNER SHALL COORDINATE WITH ARBORIST TO PROVIDE CHIPS. IF ALTERNATIVE OR ADDITIONAL MULCH IS DESIRED, USE WM EARTH CARE'S 'MONTEREY DUNE NATURAL' MULCH (www.wmearthcare.com) OR LYNGSO'S 'WOOD CHIPS' MULCH (www.lyngsogarden.com). MULCH SHALL BE APPLIED OVER CARDBOARD OR COMPOST AS SPECIFIED IN WEED CONTROL, ABOVE. USE CHIPPINGS FROM PLANTS CUT OR REMOVED ON SITE AND STOCKPILED, CONSULT LARCH PRIOR TO CHIPPING. NO INVASIVE OR INFECTED PLANT MATERIAL SHALL BE USED. ROOT COLLAR TO BE KEPT CLEAR OF MULCH MIN. 2" FROM COLLAR.



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68 LAGOON RD
BELVEDERE, CA 94920

DESIGN 05/ 20/ 22
REVIEW

PLANTING
PLAN

1/4" = 1'-0"

L5.00

20 MAY, 2022

To: Mayor and City Council

From: Robert Zadnik, City Manager

Subject: A Resolution Authorizing the Continuation of Teleconference Public Meetings Pursuant to Government Code section 54953(e) (Assembly Bill 361)

RECOMMENDATION

That the City Council adopt a Resolution authorizing the continued use of teleconference meetings pursuant to Assembly Bill 361 and give direction to staff as necessary.

BACKGROUND

In September 2021, the Ralph M. Brown Act (Brown Act) was amended by Assembly Bill 361 to allow teleconference meetings during a state of emergency. AB 361 amends Government Code section 54953 to allow virtual board meetings through December 31, 2023 in any of the following circumstances:

1. The legislative body holds a meeting during a proclaimed state of emergency and state or local officials have imposed or recommended measures to promote social distancing.
2. The legislative body holds a meeting during a proclaimed state of emergency for the purpose of determining, by majority vote, whether as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees.
3. The legislative body holds a meeting during a proclaimed state of emergency and has determined, by majority vote that, as a result of the emergency, meeting in person would present imminent risks to the health or safety of attendees.

To continue to hold virtual meetings while California’s state of emergency remains active, the body must make findings every 30 days that: 1) the body has reconsidered the circumstances of the state of emergency and 2) that the state of emergency continues to directly impact the ability of the members to meet safely in person or state and state or local officials continue to impose or recommend measures to promote social distancing.

The attached resolution makes the findings to confirm the conditions still exist to allow the continuation of teleconference public meetings pursuant to AB 361 for the City Council and on behalf all lower legislative bodies in the City.

ENVIRONMENTAL DETERMINATION

A meeting format determination under AB 361 is not a “project” under the California Environmental Quality Act, because it does not involve an activity that has the potential to cause a direct or reasonably foreseeable indirect physical change in the environment. (Pub. Res. Code § 21065)

CORRESPONDENCE

As of the writing of this report, no correspondence has been received regarding this agenda item.

RECOMMENDED ACTION

That the City Council adopt the Resolution authorizing the continued use of teleconference meetings pursuant to Assembly Bill 361 and give direction to staff as necessary.

ATTACHMENT

1. Resolution.

CITY OF BELVEDERE

RESOLUTION NO. 2022-51

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BELVEDERE
AUTHORIZING TELECONFERENCE MEETINGS PURSUANT TO GOVERNMENT
CODE SECTION 5953(e) (ASSEMBLY BILL 361)**

WHEREAS, the City of Belvedere is committed to preserving public access and participation in the meetings of the City Council; and

WHEREAS, all meetings of the City of Belvedere’s legislative bodies are open and public, as required by the Ralph M. Brown Act (Cal. Gov. Code §§ 54950 – 54963), so that any member of the public may attend, participate, and watch the City’s legislative bodies conduct their business; and

WHEREAS, on March 4, 2020 Governor Newsom declared a State of Emergency pursuant to Government Code section 8625 due to the COVID-19 pandemic, which State of Emergency remains in effect; and

WHEREAS, State Executive Orders N-25-20 and N-29-20, suspended certain provisions of the Brown Act (Gov. Code, §§ 54950 *et seq.*) to allow public meetings to be held virtually without opening a physical space to the public, which provisions expired September 30, 2021; and

WHEREAS, effective September 16, 2021, Assembly Bill 361 allows local agencies to continue to hold remote public meetings through December 31, 2023 when there is a State-declared emergency, and when state or local officials have imposed or recommended measures to promote social distancing or as a result of the declared emergency, meeting in-person would result in an imminent risk to the health or safety of attendees; and

WHEREAS, the Government Code section 8625 State of Emergency remains in effect; and

WHEREAS, on July 28, 2021, the California Department of Public Health issued guidance calling for the use of face coverings and stating that the Delta Variant is two times as contagious as early COVID-19 variants, leading to increasing infections, the Delta Variant accounts for over 80% of cases sequenced, and cases and hospitalizations of COVID-19 are rising throughout the state; and

WHEREAS, on January 5, 2022, the California Department of Public Health issued guidance again requiring universal masking indoors and stating that the Omicron Variant is more contagious than early COVID-19 variants and the Delta Variant, and has increased the seven-day average case rate more than sixfold and doubled COVID-19 hospitalization rates; and

WHEREAS, the universal masking requirements in all indoor public settings, social distancing guidance, vaccination availabilities and the increase in knowledge about protections against COVID-19 variant exposure or transmission led the CDPH to amend their masking guidance to allow the universal indoor masking requirement to expire on February 15, 2022; and

WHEREAS, the requirement for unvaccinated persons to mask in indoor public settings and businesses was replaced on March 1, 2022 by a strong recommendation that all persons, regardless of vaccine status, mask in indoor public settings and businesses; and

WHEREAS, the Delta and Omicron Variants have caused, and will continue to cause, conditions of imminent peril to the health safety of persons within the City; and

WHEREAS, public meetings involve many people in shared indoor spaces, in close proximity for hours, and City meetings rooms have limited mechanical and natural ventilation, creating a health risk for members of the public at this time;

WHEREAS, as a result of the continuing declared emergency, public meetings in-person would result in an imminent risk to the health or safety of attendees; and

WHEREAS, the City provides in the public notices and agendas for all public meetings the online and telephone options for participation in public meetings, protecting the right of the public to address their local officials and to participate in public meetings, and posts this information on the City's website, including instructions on how to access the public meeting remotely; now, therefore be it; and

WHEREAS, a meeting format determination under AB 361 is not a "project" under the California Environmental Quality Act, because it does not involve an activity that has the potential to cause a direct or reasonably foreseeable indirect physical change in the environment. (Pub. Res. Code § 21065.)

NOW, THEREFORE, BE IT RESOLVED, by the City Council of the City of Belvedere, based on the findings set forth above and incorporated herein, that public meetings of the City's legislative bodies shall be held using remote technology in compliance with the requirements of Government Code section 54953(e) and all other applicable laws for thirty (30) days following the date of adoption of this Resolution.

PASSED AND ADOPTED at a regular meeting of the City Council of the City of Belvedere on October 10, 2022, by the following vote:

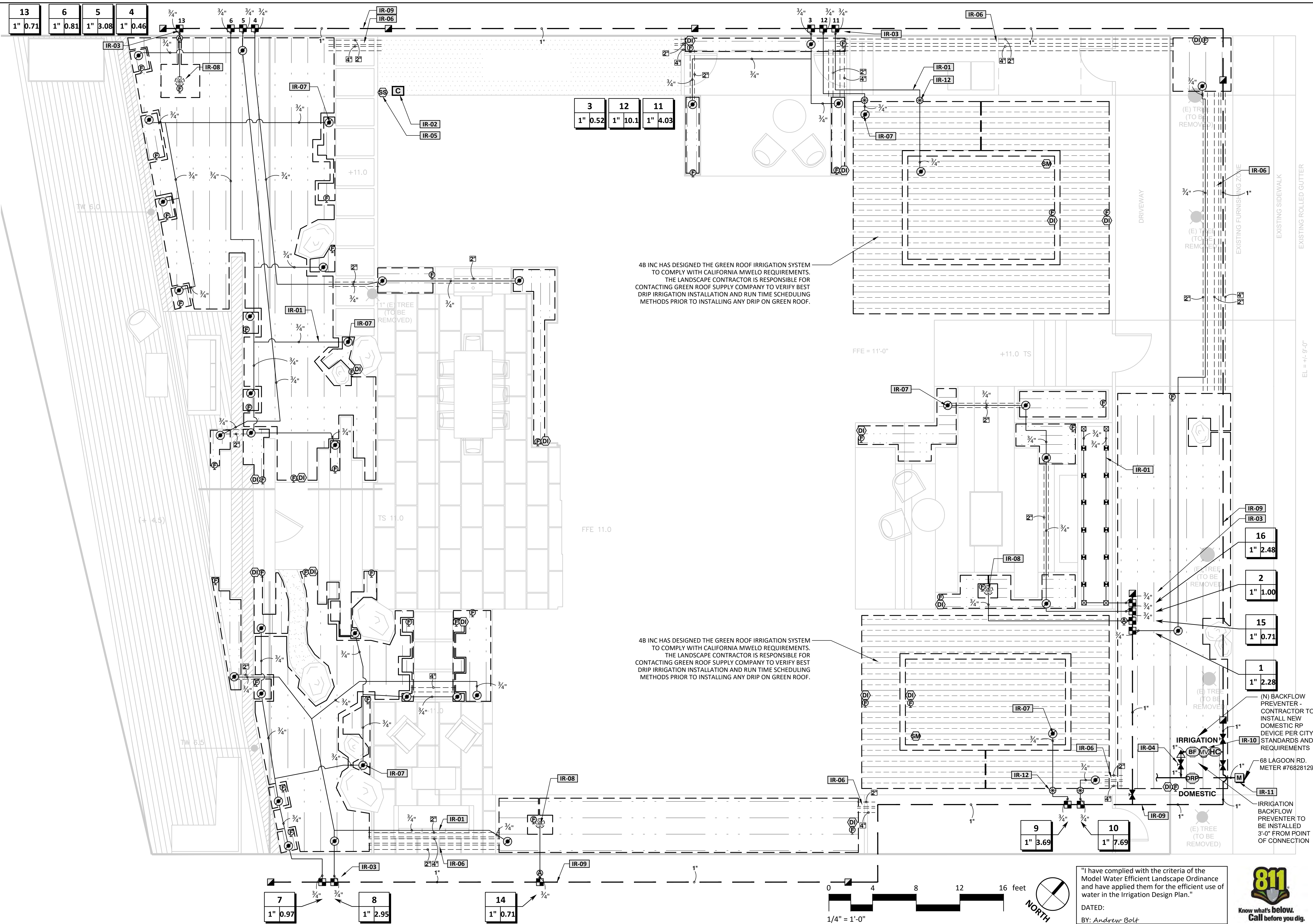
AYES:
NOES:

ABSENT:
RECUSED:

APPROVED: _____
Sally Wilkinson, Mayor

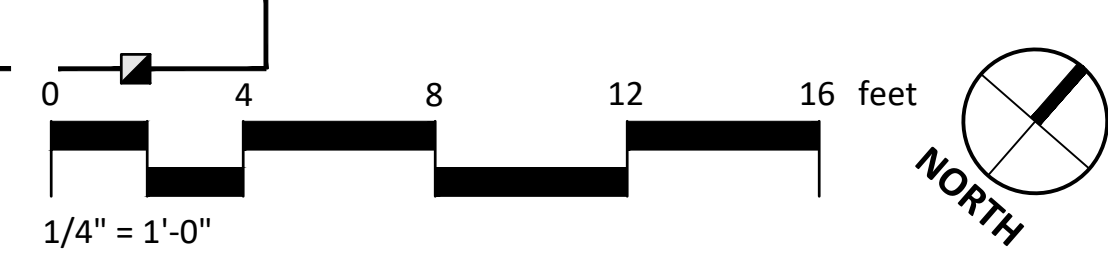
ATTEST: _____
Acting City Clerk

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48 INC HAS DESIGNED THE GREEN ROOF IRRIGATION SYSTEM TO COMPLY WITH CALIFORNIA MWELO REQUIREMENTS. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CONTACTING GREEN ROOF SUPPLY COMPANY TO VERIFY BEST DRIP IRRIGATION INSTALLATION AND RUN TIME SCHEDULING METHODS PRIOR TO INSTALLING ANY DRIP ON GREEN ROOF.

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"I have complied with the criteria of the Model Water Efficient Landscape Ordinance and have applied them for the efficient use of water in the Irrigation Design Plan."
 DATED:
 BY: Andrew Bolt



68 LAGOON RD
 BELVEDERE, CA 94970

DESIGN 05/20/22
 REVIEW

Landscape Irrigation Plan

1/4" = 1'-0"
L-6.00

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IRRIGATION NOTES:

POINT OF CONNECTION (P.O.C.):

- CONNECT IRRIGATION MAINLINE TO MAIN WATER SUPPLY (SEE CIVIL OR ARCHITECTURAL DRAWINGS FOR LOCATION). LANDSCAPE CONTRACTOR TO VERIFY LOCATION, SIZE, FLOW AND PRESSURES AVAILABLE AND TO NOTIFY LANDSCAPE ARCHITECT OF ANY NECESSARY CHANGES NEEDED TO BE MADE SO THAT THE IRRIGATION SYSTEM PERFORMS TO AN IRRIGATION EFFICIENCY OF A MINIMUM OF 81 PERCENT.
 - SYSTEM MAXIMUM OPERATING PRESSURE: 80 PSI (AT P.O.C) INSTALL PRESSURE REDUCER IF PRESSURES EXCEED EQUIPMENT MANUFACTURERS SUGGESTED MAXIMUM OPERATING PRESSURES.
 - SYSTEM MINIMUM OPERATING PRESSURE: 64 PSI (AT P.O.C)
- "A LANDSCAPE IRRIGATION AUDIT IS REQUIRED. THIS AUDIT MUST BE COMPLETED BY A CERTIFIED LANDSCAPE IRRIGATION AUDITOR, NOT THE DESIGNER OR INSTALLER. THE AUDIT MUST BE SUBMITTED TO THE BUILDING DEPARTMENT, WITH A CERTIFICATE OF COMPLETION (APPENDIX C) AS REQUIRED BY THE DEPARTMENT OF WATER RESOURCES, PRIOR TO SCHEDULING A FINAL INSPECTION OF THE WATER EFFICIENT LANDSCAPE PERMIT."


MWEO NOTES

CERTIFICATION OF COMPLETION REQUIREMENTS

- UPON COMPLETION OF LANDSCAPE AND IRRIGATION INSTALLATION THE LANDSCAPE CONTRACTOR SHALL SUBMIT THE FOLLOWING AS REQUIRED BY CALIFORNIA MODEL CERTIFICATION FROM LANDSCAPE ARCHITECT FOR INSTALLATION ACCORDING TO THE APPROVED LANDSCAPE DOCUMENTATION PACKAGE.
 - SOIL MANAGEMENT REPORT AND RECEIPTS FOR SOIL IMPROVEMENT PRODUCTS.
 - LANDSCAPE MAINTENANCE MANAGEMENT REPORT.
 - IRRIGATION MAINTENANCE MANAGEMENT REPORT.
 - IRRIGATION SCHEDULE FOR NEW AND ESTABLISHED PLANT MATERIALS
 - IRRIGATION AUDIT REPORT INDICATING SITE IRRIGATION EFFICIENCY,
 - IRRIGATION DISTRIBUTION UNIFORMITY, ALL INSTALLED EQUIPMENT COMPLIES WITH APPROVED MWEO GUIDELINES.
 - CERTIFICATE OF COMPLETION (COC) FORM.
- CONTACT LOCAL ENFORCING AGENCY FOR APPROVED SUBMITTAL FORMS AND PROCEDURES.

MWEO GENERAL NOTES:

- A CERTIFICATE OF COMPLETION SHALL BE COMPLETED BY EITHER THE OWNER, THE DESIGNER OF THE LANDSCAPE PLANS OR BY THE LICENSED INSTALLING CONTRACTOR.
- AN AS BUILT DIAGRAM OF THE INSTALLED IRRIGATION SHOWING NUMBERED ZONES, VALVE LOCATION, MAINLINE LOCATION, IRRIGATION CONTROLLER AND P.O.C LOCATION SHALL BE KEPT WITH THE CONTROLLER FOR SUBSEQUENT MANAGEMENT PURPOSES.
- CHECK VALVES ARE REQUIRED ON ALL SPRINKLER HEADS WHERE LOW HEAD DRAINAGE COULD OCCUR.
- PRESSURE REGULATING DEVICES ARE REQUIRED IF WATER OPTIMUM PRESSURE OF THE SPECIFIED IRRIGATION DEVICE PRESSURE EXCEEDS THE OPERATING RECOMMENDATIONS.
- NO OVERHEAD IRRIGATION IS PERMITTED IN LANDSCAPE AREAS THAT ARE LESS THAN 10' WIDE. DRIP OR LOW FLOW BUBBLER IRRIGATION MUST BE USED AS AN ALTERNATIVE.
- INSTALLING CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND PROGRAMMING ALL SELF ADJUSTING WEATHER/SOIL MOISTURE SENSING BASED CONTROLLERS. RAIN SENSORS ARE TO BE INSTALLED WITH ANY CONTROLLER WHERE AN OFFSITE WEATHER STATION IS USED.
- ALL SPECIFIED FLOW SENSORS AND MASTER VALVES MUST BE INSTALLED AND PROGRAMMED AS PER MANUFACTURERS REQUIREMENTS.
- AN IRRIGATION AUDIT AND COMMISSIONING IS REQUIRED ON ALL PROJECTS. CONTACT ANDREW BOLT 209-404-1746 TO SET UP.
- THESE PLANS HAVE BEEN PREPARED BY A CERTIFIED PROFESSIONAL AND ARE MEANT AS A GUIDE ONLY. PIPING AND VALVE PLACEMENT ARE DIAGRAMATIC ONLY. ALL PIPING UNDER HARDSCAPES MUST BE SLEEVED WITH SPECIFIED SLEEVING MATERIALS.
- PROTECT ALL EXISTING TREES DURING IRRIGATION TRENCHING AND PIPE INSTALLATION. CONSULT WITH LANDSCAPE ARCHITECT BEFORE CUTTING ANY ROOTS.
- NOTE TO CONTRACTOR:** ALL IRRIGATION ZONES HAVE BEEN LAYED OUT AND APPROVED BY THE CITY OR COUNTY BASED ON PLANT WATER USE. SHOULD THE INSTALLING CONTRACTOR CHANGE OR MODIFY THE APPROVED IRRIGATION LAYOUT IN ANYWAY WITHOUT PRIOR AUTHORIZATION THE CONTRACTOR WILL ASSUME ALL LIABILITY AND COST OF ALL CHANGES TO THE IRRIGATION LAYOUT AND ALL ADDITIONAL WATER USAGE OVER AND ABOVE FOR THE LIFE OF THE IRRIGATION SYSTEM(S) AND ALL COSTS THAT ARE ASSOCIATED WITH OVER WATER USAGE.



LANDSCAPE IRRIGATION
AUDITOR

WATER EFFICIENT LANDSCAPE ORDINANCE
NOTIFICATION OF COMPLIANCE
REQUIRED OF IRRIGATION CONTRACTORS

THE IRRIGATION CONTRACTOR IS REQUIRED TO FULLY COMPLY WITH THE IRRIGATION PLANS DURING INSTALLATION OF THE IRRIGATION SYSTEM. ALL FIELD CHANGES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT/LANDSCAPE IRRIGATION AUDITOR. ANY WORK NOT INSTALLED IN STRICT CONFORMANCE WITH THE LANDSCAPE IRRIGATION AUDITORS REQUIREMENTS SHALL BE REMOVED AND REINSTALLED AT THE CONTRACTORS EXPENSE. THE CONTRACTOR AND OWNER SHALL REFER TO THE IRRIGATION NOTES SHEET FOR IRRIGATION CONTRACTOR'S WORK RESPONSIBILITIES AND THE LANDSCAPE ARCHITECT'S REQUIRED FIELD OBSERVATION SCHEDULE.

IRRIGATION LEGEND

| SYMBOL | MANUFACTURER/MODEL/DESCRIPTION | SYMBOL | MANUFACTURER/MODEL/DESCRIPTION |
|--------|--|--------|--|
| | TORO DZK-700 LOW FLOW DRIP CONTROL VALVE KIT. WITH 1" IRRITROL 700 ULTRAFLOW INLINE VALVE, TORO Y-FILTER, PRESSURE REGULATOR AND FITTINGS. .10 GPM-30 GPM. REGULATED PRESSURE AT 40PSI | | RAIN BIRD 3-RC 3/4" BRASS QUICK-COUPLING VALVE, WITH CORROSION-RESISTANT STAINLESS STEEL SPRING, THERMOPLASTIC RUBBER COVER, AND 1-PIECE BODY. |
| | PIPE TRANSITION POINT PVC-PIVOT PIPE TRANSITION POINT. | | MATCO-NORCA 759 BRASS SHUT OFF BALL VALVE, 1/2" TO 4". TWO PIECE BODY, BLOW-OUT PROOF STEM, CHROME PLATED SOLID BRASS BALL, THREADED, WITH PTFE SEATS. SAME SIZE AS MAINLINE PIPE. |
| | NETAFIM TL50V NETAFIM TL50V- 1/2" MANUAL FLUSH VALVE, BARBED INSERT. INSTALL IN 10" BOX, WITH ADEQUATE BLANK OR "COBRA" TUBING TO EXTEND VALVE OUT OF VALVE BOX. 17MM FITS TECHLINE HCVXR, HCVXR-RW/RWP, CV, DL, RW AND RWP DRIPLINES, AND PE IRRIGATION HOSE | | BUCKNER-SUPERIOR 3200 1" NORMALLY CLOSED BRASS MASTER VALVE THAT PROVIDES DIRTY WATER PROTECTION AND NO MINIMUM FLOW FEATURE, WHICH ENSURES RELIABLE OPENING AND CLOSING OF THE VALVE IN EXTREME HIGH OR LOW FLOW SCENARIOS. AVAILABLE IN 3/4", 1" 1-1/2", 2", 2-1/2" AND 3". |
| | TORO T-YD-500-34 1/2" AIR VENT- MIPT AIR RELEASE AND VACUUM RELIEF VALVE | | HUNTER CHECK VALVE HC-75F-75M - CONTRACTOR TO INSTALL AS NEEDED. |
| | RAIN BIRD OPERIND DRIP SYSTEM OPERATION INDICATOR, STEM RISES 6" FOR CLEAR VISIBILITY WHEN DRIP SYSTEM IS CHARGED TO A MINIMUM OF 20PSI. INCLUDES 16" OF 1/4" DISTRIBUTION TUBING WITH CONNECTION FITTING PRE-INSTALLED. INSTALL MINIMUM TWO PER DRIP ZONE, PLACE NEXT TO FLUSH VALVE. | | APOLLO VALVES 36E11501T PRE PRESSURE REDUCING VALVE, SINGLE UNION, SIZE 1", 15-75PSI PRESSURE RANGE, FNPT THREAD CONNECTION |
| | RAIN BIRD XP-0600X DRIP MICRO-SPRAY LOW-VOLUME, LOW-PRESSURE, DRIP 6.0" POP-UP SPRAY, 1/4" BARBED INLET. NOZZLE OPTIONS: SQ SERIES, 5 MPR SERIES, 8 MPR SERIES, AND 5 SERIES PLASTIC BUBBLER. *NOTE* ALWAYS INSTALL A PRESSURE COMPENSATING SCREEN W/PLASTIC BUBBLER 5 SERIES. | | FEBCO 825YA 3/4" REDUCED PRESSURE BACKFLOW PREVENTER WITH FREEZE BLANKET PER CITY STANDARDS. BF - IS NEW / DRP - IS EXISTING |
| | TREE DRIP RING 1.0 GPH TREE DRIP RING TORO RGP-212 / 1.0 GPH. INSTALL PER DETAIL. 3 RINGS = 42.5 GPH, 4 RINGS = 69.5 GPH. INSTALL (2) ROOTWELL 318-C EVENLY AROUND THE ROOT BALL OF EVERY PROPOSED TREE | | HUNTER A2C-1800-SS W/ CENTRALUS WI-FI 18-STATION CONTROLLER WITH ONE (1) A2M-600 MODULE IN AN OUTDOOR STAINLESS STEEL WALL MOUNT ENCLOSURE. INSTALL WITH CENTRALUS WI-FI MODULE. |
| | AREA TO RECEIVE DRIPLINE NETAFIM TLEZ-04-06 TECHLINE EZ PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH ANTI-SIPHON DRIPPER. 0.4 GPH EMITTERS AT 6" O.C. DRIPLINE LATERALS SPACED AT 6" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 12MM. | | HUNTER SOIL-CLIK THE SOIL-CLIK PROBE USES PROVEN TECHNOLOGY TO MEASURE MOISTURE WITHIN THE ROOT ZONE. WHEN THE PROBE SENSES THAT THE SOIL HAS REACHED ITS DESIRED MOISTURE LEVEL, IT WILL SHUT DOWN IRRIGATION, PREVENTING WATER WASTE. |
| | AREA TO RECEIVE DRIPLINE NETAFIM TLHCVXR-CS-053-18 TECHLINE HCVXR-CS PRESSURE COMPENSATING LANDSCAPE DRIPLINE WITH COPPER STRIPE, CHECK VALVE AND ANTI-SIPHON FEATURE. 0.53 GPH EMITTERS AT 18" O.C. DRIPLINE LATERALS SPACED AT 18" APART, WITH EMITTERS OFFSET FOR TRIANGULAR PATTERN. 17MM. | | HUNTER WSS WIRELESS SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET. |
| | IRRIGATION LATERAL LINE: PVC SCHEDULE 21 INSTALL ALL LATERAL LINES TO A DEPTH OF 12" BELOW FINISH GRADE. BACKFILL WITH CLEAN FILL, NO ROCKS OVER 1/2" IN SIZE. | | HUNTER HC-100-FLOW 1" FLOW METER FOR USE WITH HYDRAWISE ENABLED CONTROLLER TO MONITOR FLOW AND PROVIDE SYSTEM ALERTS. ALSO FUNCTIONS AS STAND ALONE FLOW TOTALIZER/SUB METER ON ANY RESIDENTIAL OR COMMERCIAL IRRIGATION SYSTEM. |
| | PIPE SLEEVE: PVC SCHEDULE 40 INSTALL 2 EACH 2" SLEEVES 12" PAST EDGE OF HARDSCAPE TO A DEPTH OF 24" FOR MAINLINE AND 18" FOR LATERAL LINES. ALL OTHER SLEEVING INSTALL TO A DEPTH OF 12". | | WATER METER 5/8" MMWD METER #76828129 |
| | IRRIGATION MAINLINE: PVC SCHEDULE 40 INSTALL ALL MAINLINE TO A DEPTH OF 18" UNLESS OTHERWISE NOTED. BACKFILL WITH CLEAN FILL, NO ROCKS OVER 1/2" IN SIZE. NOTE ALL MAINLINE LOCATION ON AS-BUILT PLANS. | | IRRIGATION LATERAL LINE: PVC SCHEDULE 21 INSTALL ALL LATERAL LINES TO A DEPTH OF 12" BELOW FINISH GRADE. BACKFILL WITH CLEAN FILL, NO ROCKS OVER 1/2" IN SIZE. NOTE ALL MAINLINE LOCATION ON AS-BUILT PLANS. |
| | VALVE CALLOUT | | PIPE SLEEVE: PVC SCHEDULE 40 INSTALL 2 EACH 2" SLEEVES 12" PAST EDGE OF HARDSCAPE TO A DEPTH OF 24" FOR MAINLINE AND 18" FOR LATERAL LINES. ALL OTHER SLEEVING INSTALL TO A DEPTH OF 12". |

CRITICAL ANALYSIS

| | |
|------------------------------------|----------------------|
| Generated: | 2022-04-11 13:09 |
| P.O.C. NUMBER: 01 | |
| Water Source Information: | MMWD Meter #76828129 |
| FLOW AVAILABLE | |
| Water Meter Size: | 5/8" |
| Flow Available: | 15 GPM |
| PRESSURE AVAILABLE | |
| Static Pressure at POC: | 64.00 PSI |
| Elevation Change: | 5.00 ft |
| Service Line Size: | 1" |
| Length of Service Line: | 20 ft |
| Pressure Available: | 61.00 psi |
| DESIGN ANALYSIS | |
| Maximum Station Flow: | 10.1 GPM |
| Flow Available at POC: | 15 GPM |
| Residual Flow Available: | 4.9 GPM |
| Critical Station: | 12 |
| Design Pressure: | 30 PSI |
| Friction Loss: | 0.63 PSI |
| Fittings Loss: | 0.06 PSI |
| Elevation Loss: | 0 PSI |
| Loss through Valve: | 10.62 PSI |
| Pressure Req. at Critical Station: | 41.31 PSI |
| Loss for Fittings: | 0.31 PSI |
| Loss for Main Line: | 3.08 PSI |
| Loss for POC to Valve Elevation: | 0 PSI |
| Loss for Backflow: | 11.31 PSI |
| Loss for Master Valve: | 0.77 PSI |
| Loss for Water Meter: | 3.77 PSI |
| Critical Station Pressure at POC: | 60.55 PSI |
| Pressure Available: | 61 PSI |
| Residual Pressure Available: | 0.45 PSI |

REFERENCE NOTES

| SYMBOL | IRRIGATION DESCRIPTION |
|--------|--|
| | LATERAL LINES- ALL LATERALS ARE SIZED 3/4" UNLESS OTHERWISE NOTED. |
| | CONTROLLER LOCATION- CONTRACTOR TO CONFIRM LOCATION WITH OWNER OR GENERAL CONTRACTOR. |
| | SCHEMATIC VALVE BOX LOCATION- INSTALL ALL VALVE BOXES IN PLANTER AREAS AND SET BACK 2 FEET FROM ANY PATHS, ROADS OR OTHER HARDSCAPE AREAS. |
| | POINT OF CONNECTION- CONTRACTOR TO CONFIRM POC LOCATION, STATIC PRESSURE AND FLOWS AVAILABLE. IF LOCATION IS DIFFERENT INDICATE ON THE AS-BUILT PLANS. IF STATIC PRESSURE AVAILABLE IS UNDER 64 PSI NOTIFY LANDSCAPE ARCHITECT PRIOR TO PROCEEDING WITH THE IRRIGATION INSTALLATION. INSTALLING CONTRACTOR TO CONTACT IRRIGATION CONSULTANT PRIOR TO ANY INSTALLATION OF IRRIGATION EQUIPMENT AT POINT OF CONNECTION. SITE PRESSURES TO BE VERIFIED AND EQUIPMENT TYPE AND LOCATION TO BE DISCUSSED. |
| | WEATHER BASED SENSOR LOCATION- INSTALL WEATHER SENSOR PER PLAN LOCATION AND ON THE SIDE OF BUILDING WITH NO OVERHANG OBSTRUCTIONS. |
| | CONDUIT- FOR CONTROL VALVE WIRE RUN(S) TO CONTROLLER, SIZE PER PLAN |
| | INLINE DRIP SUPPLY AND EXHAUST HEADERS- CONTRACTOR MUST INSTALL PVC SUPPLY AND EXHAUST HEADERS ON ALL DRIP SYSTEMS PER DETAILS ON THE IRRIGATION DETAIL SHEET(S). ALL SUBSURFACE DRIP MUST TERMINATE IN A PVC EXHAUST HEADER. PLANS ONLY SHOW SUPPLY TAP-IN LOCATION. |
| | TREE DRIP RING- FOR PROPOSED TREES |
| | MAIN LINE- INSTALL MAIN LINE IN PLANTER AREAS WITHIN THE SITES PROPERTY BOUNDARIES AND SET BACK 2 FEET FROM ANY PATHS, ROADS OR OTHER HARDSCAPE AREAS. THE PROPOSED MAIN LINE LOCATION(S) IS DIAGRAMMATIC. |
| | MASTER CONTROL VALVE & HUNTER HC FLOW METER- INSTALLING CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND PROGRAMMING MASTER VALVE AND FLOW METER AT THE IRRIGATION CONTROLLER. CONTACT MANUFACTURER FOR ASSISTANCE WITH SET UP. |
| | EXISTING HOME WATER METER- PER CIVIL ENGINEER'S PLANS - CONTRACTOR TO VERIFY SIZE AND LOCATION |
| | CHECK VALVE- PER PLAN LOCATION, CONTRACTOR TO INSTALL AS NEEDED. |



68 LAGOON RD
BELVEDERE, CA 94920

DESIGN 05/20/22
REVIEW

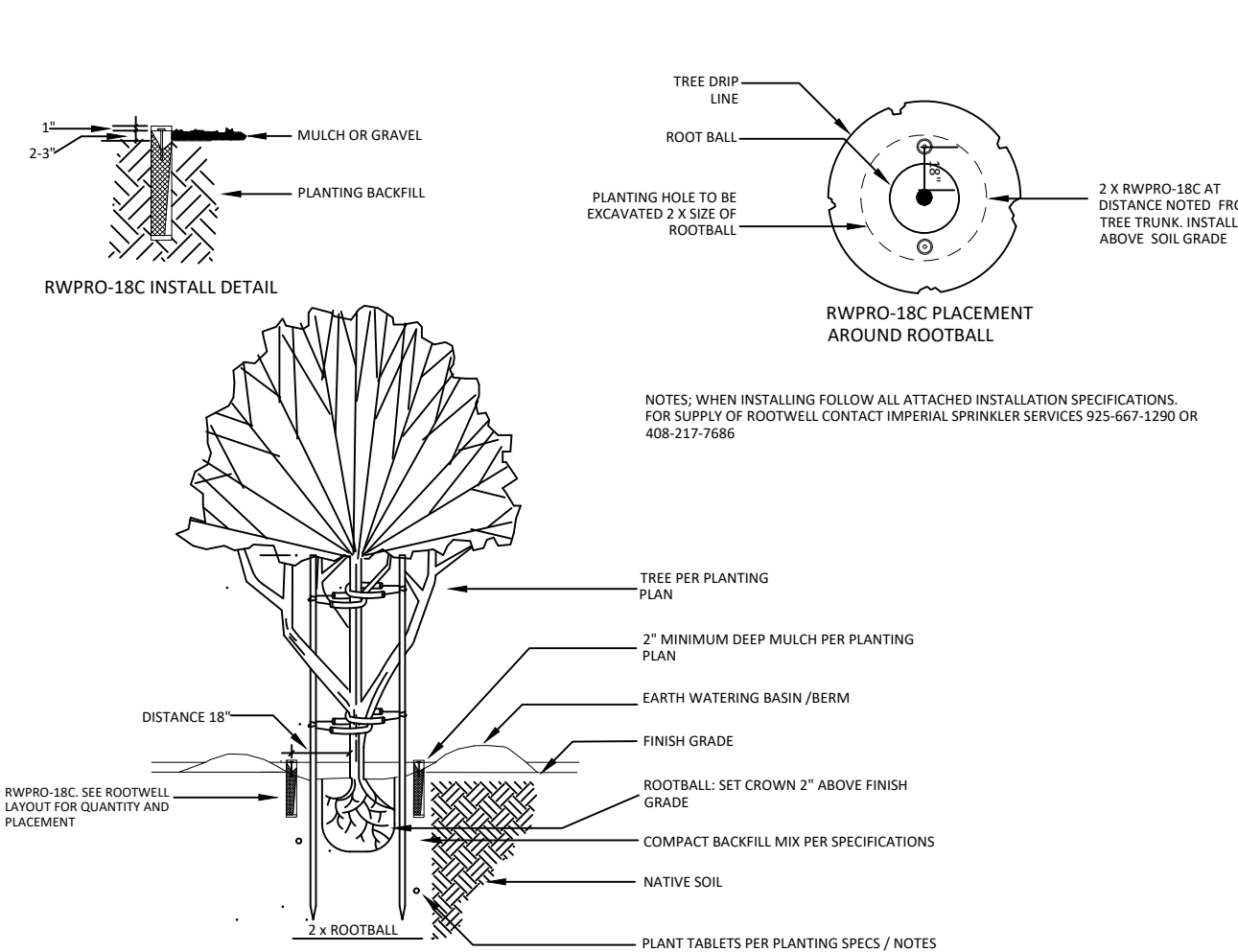
Landscape
Irrigation
Legend

NTS

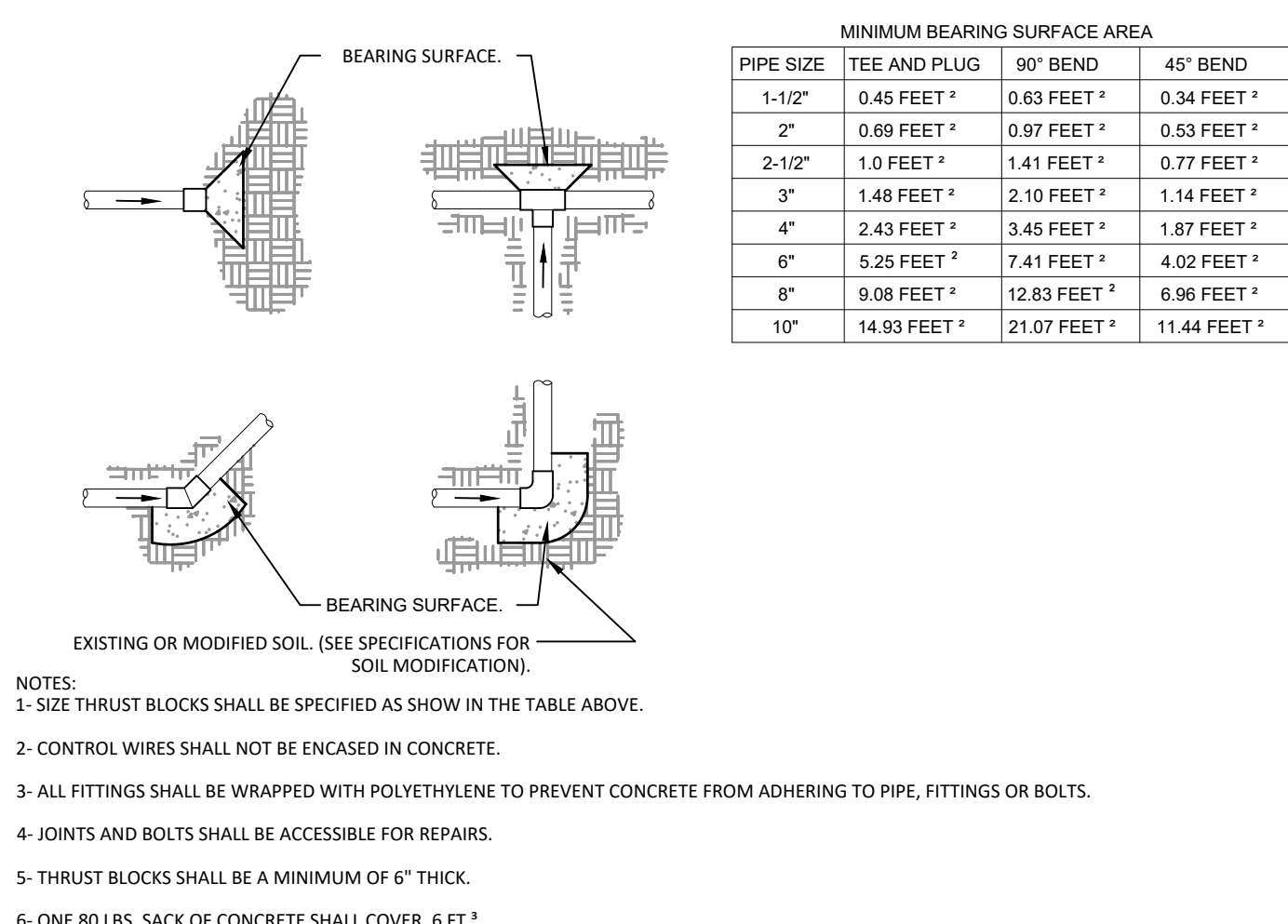
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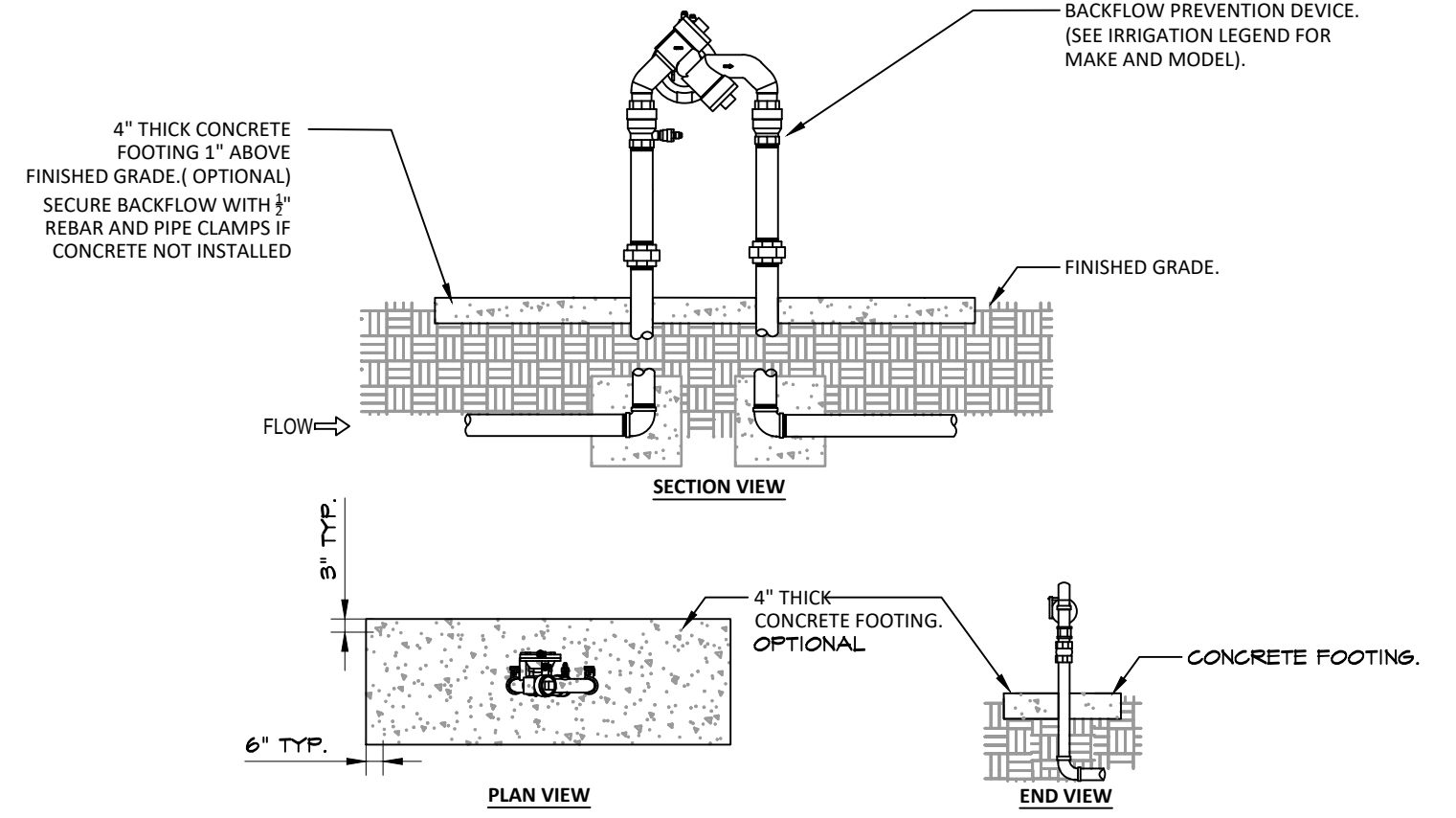
4 ROOTWELL PLACEMENT - 15 GALLON TREE
NTS



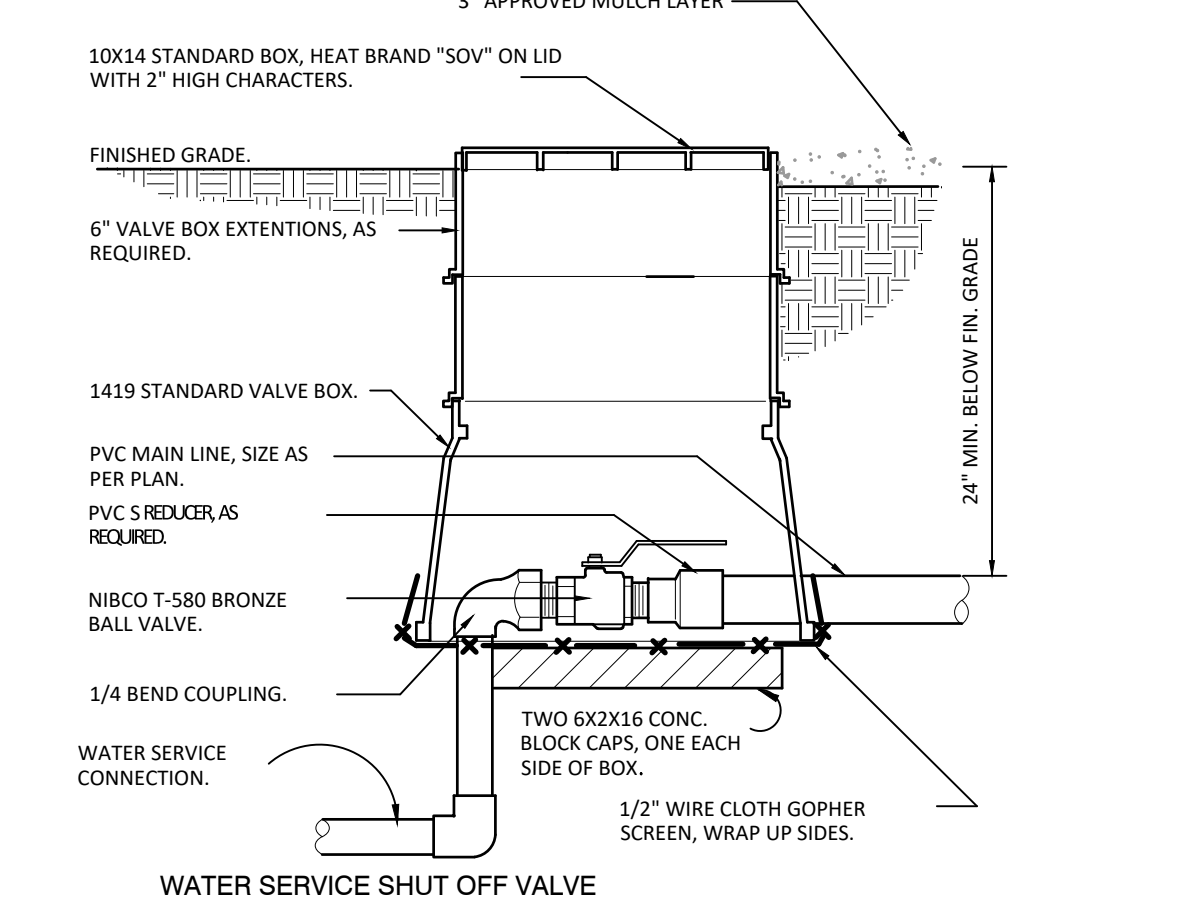
3 THRUST BLOCK (2)
NTS

MINIMUM BEARING SURFACE AREA

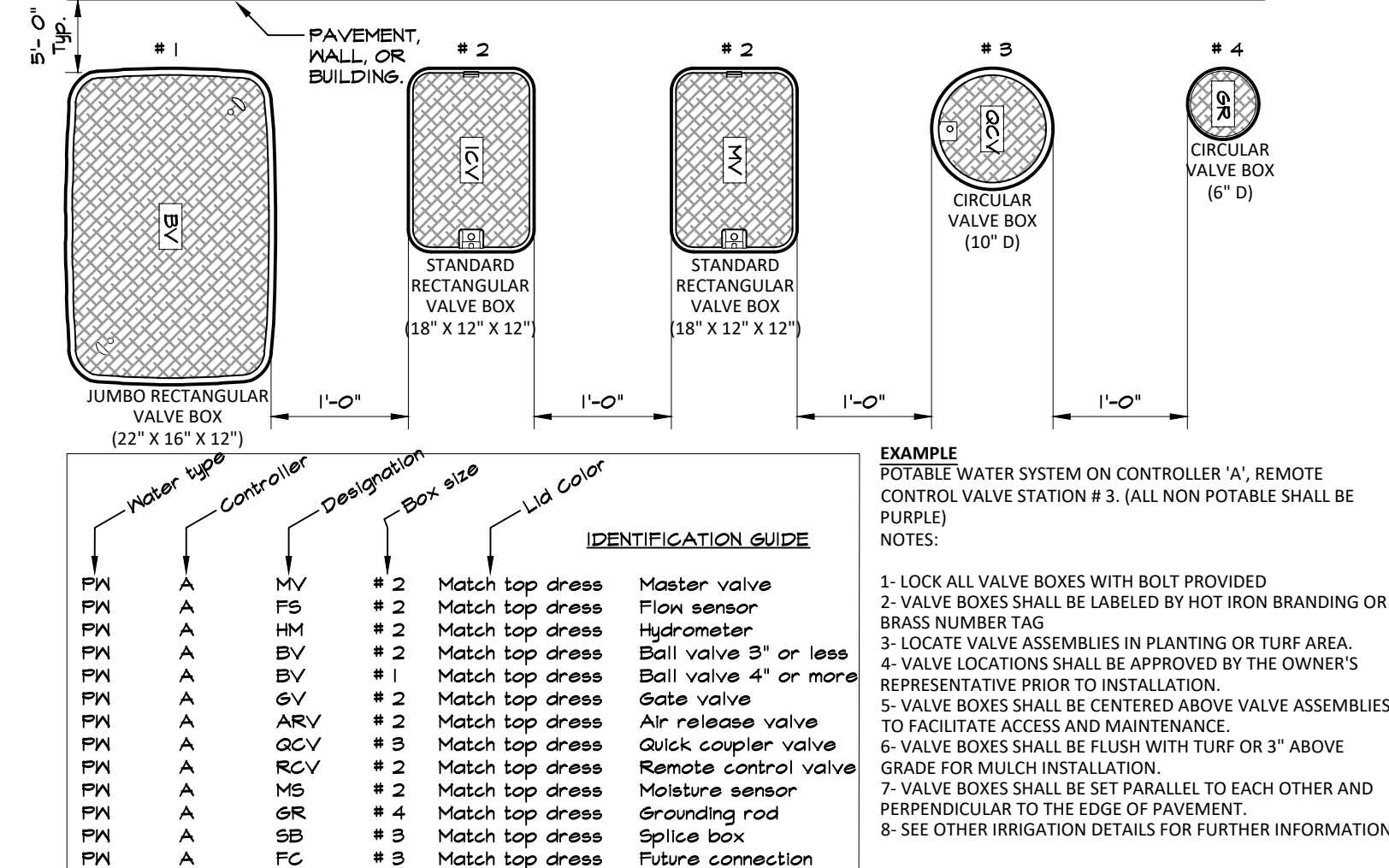
| PIPE SIZE | TEE AND PLUG | 90° BEND | 45° BEND |
|-----------|-------------------------|-------------------------|-------------------------|
| 1-1/2" | 0.45 FEET ² | 0.63 FEET ² | 0.34 FEET ² |
| 2" | 0.69 FEET ² | 0.97 FEET ² | 0.53 FEET ² |
| 2-1/2" | 1.0 FEET ² | 1.41 FEET ² | 0.77 FEET ² |
| 3" | 1.48 FEET ² | 2.10 FEET ² | 1.14 FEET ² |
| 4" | 2.43 FEET ² | 3.45 FEET ² | 1.87 FEET ² |
| 6" | 5.25 FEET ² | 7.41 FEET ² | 4.02 FEET ² |
| 8" | 9.08 FEET ² | 12.83 FEET ² | 6.96 FEET ² |
| 10" | 14.93 FEET ² | 21.07 FEET ² | 11.44 FEET ² |



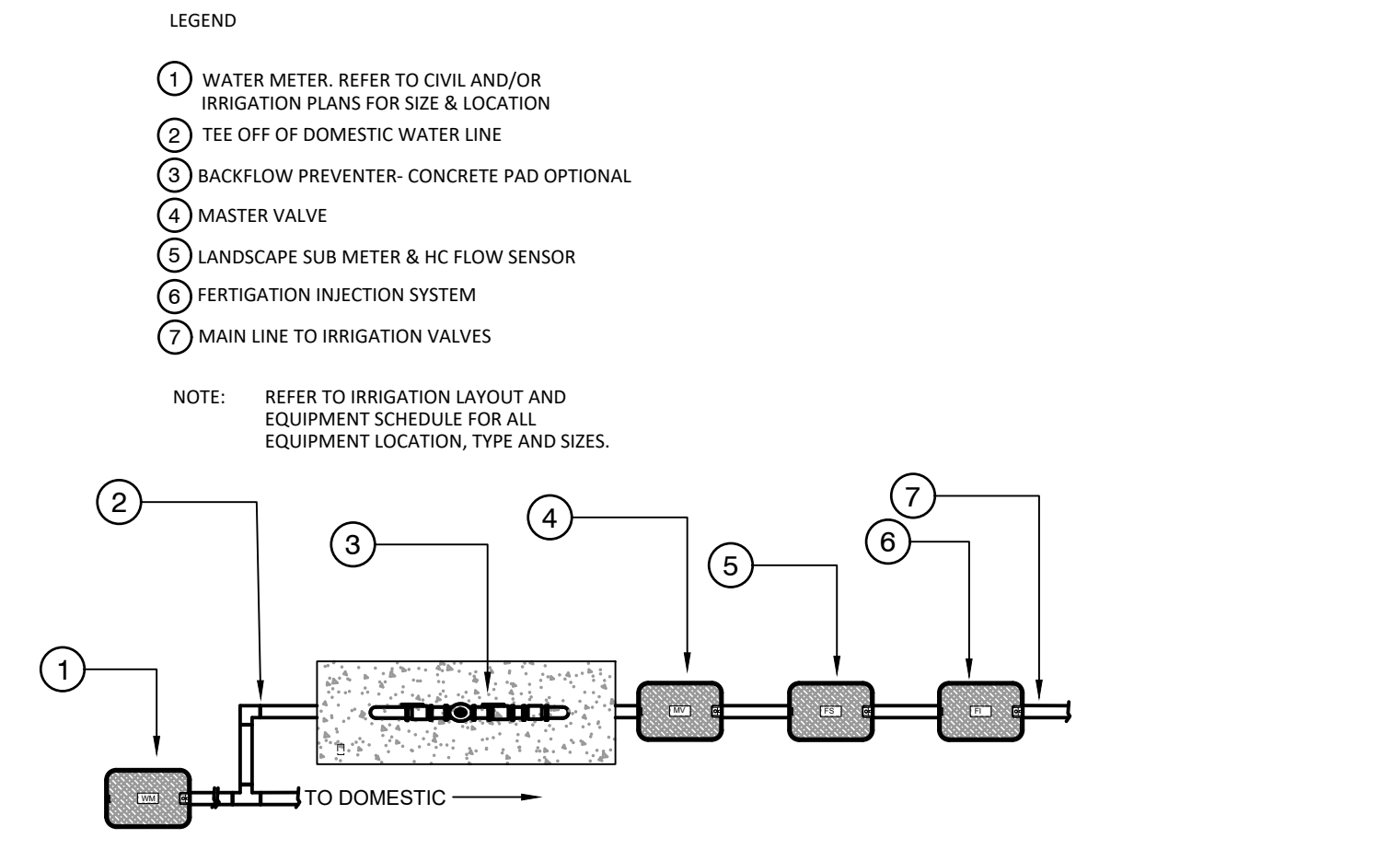
2 BACKFLOW FEBCO 825YA PREVENTER
NTS AB-IR-BAG-02



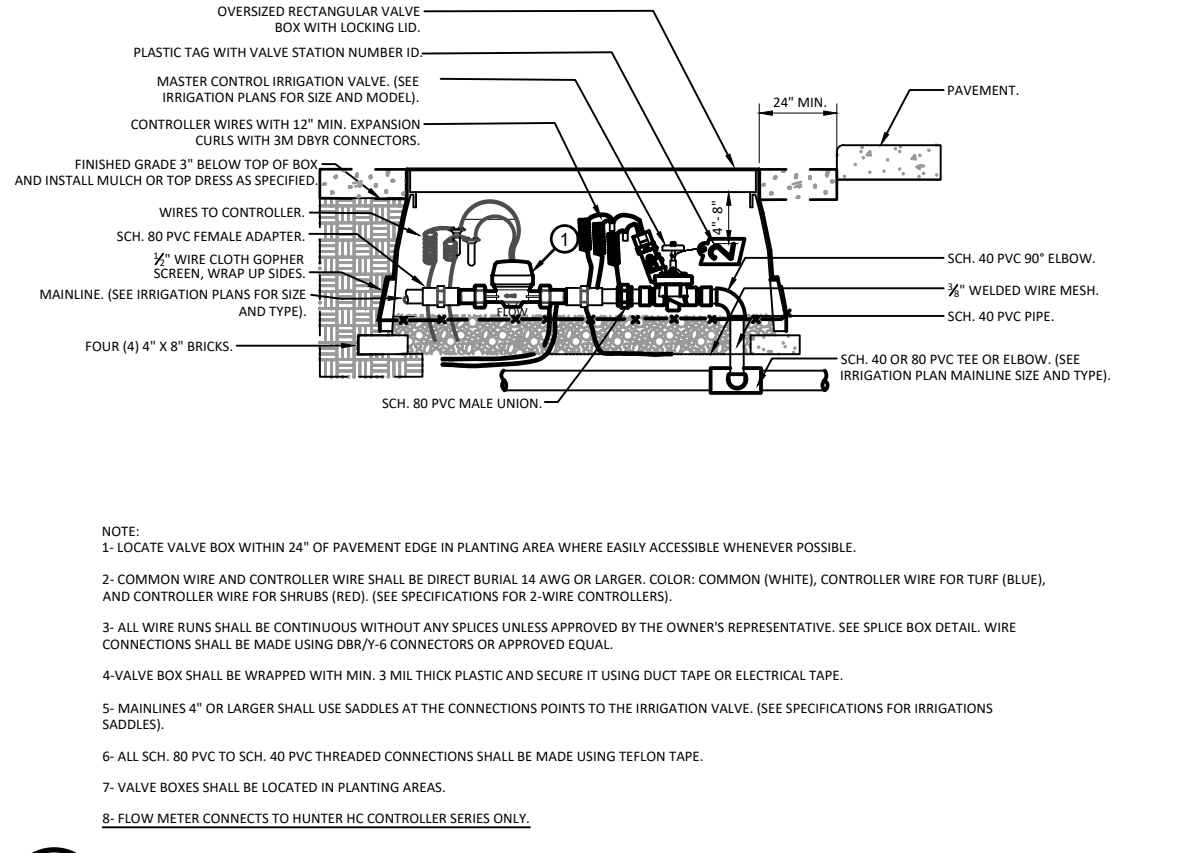
1 WATER SERVICE CONNECTION
NTS AB-IR-POG-10



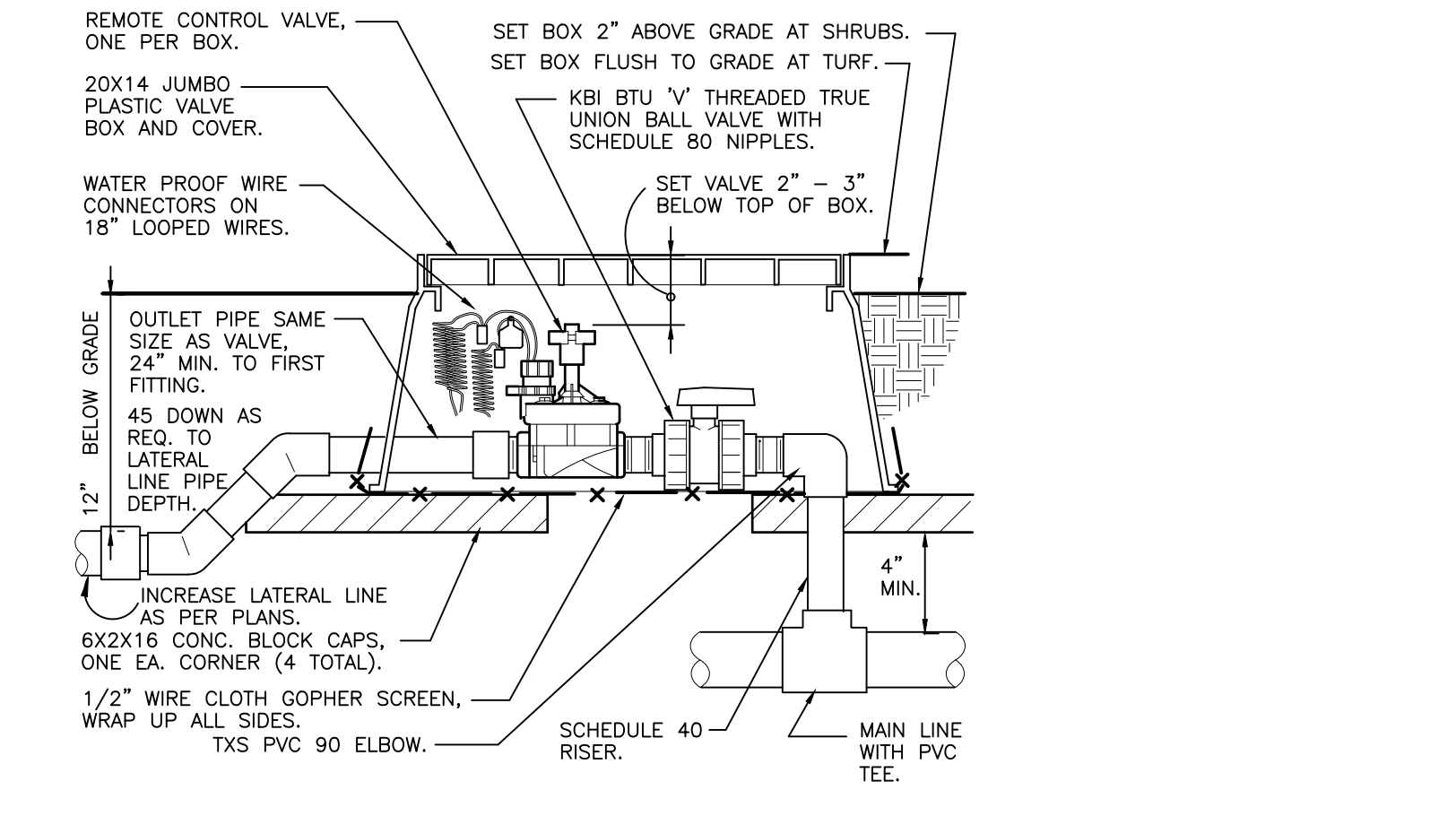
7 RESIDENTIAL VALVE BOX LAYOUT
DO NOT SCALE AB-IR-VAL-VALV-10



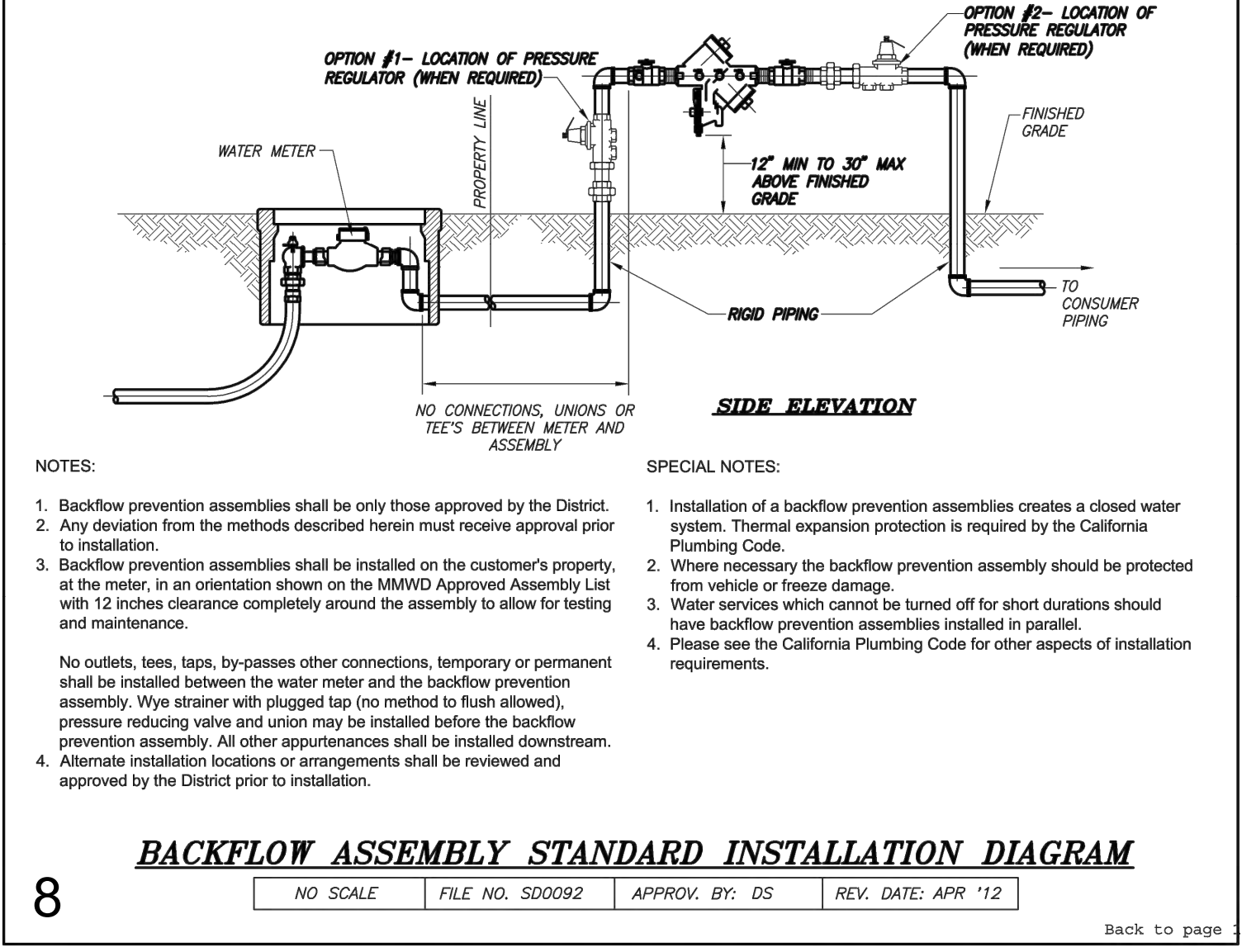
6 MMWD IRRIGATION CONNECTION LAYOUT- LWM/MV/FS
NTS



5 MASTER CONTROL VALVE & HUNTER HC FLOW METER
1" = 1'-0"



9 RCV WITH UNION S.O.V.
1/2" = 1'-0"



8 BACKFLOW ASSEMBLY STANDARD INSTALLATION DIAGRAM
NO SCALE FILE NO. SDO092 APPROV. BY: DS REV. DATE: APR '12



68 LAGOON RD
BELVEDERE, CA 94920

DESIGN 05/20/22
REVIEW

Landscape
Irrigation
Details

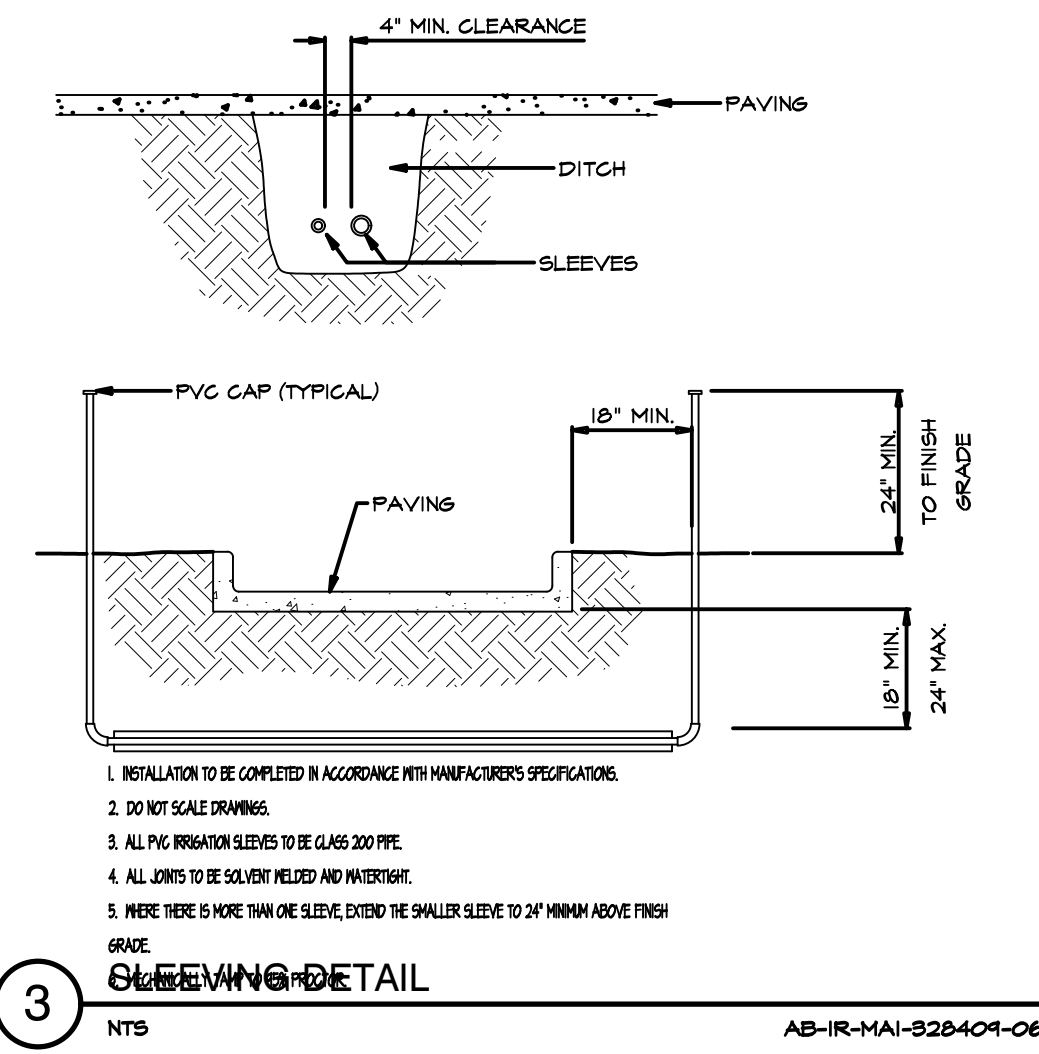
NTS

L-6.02

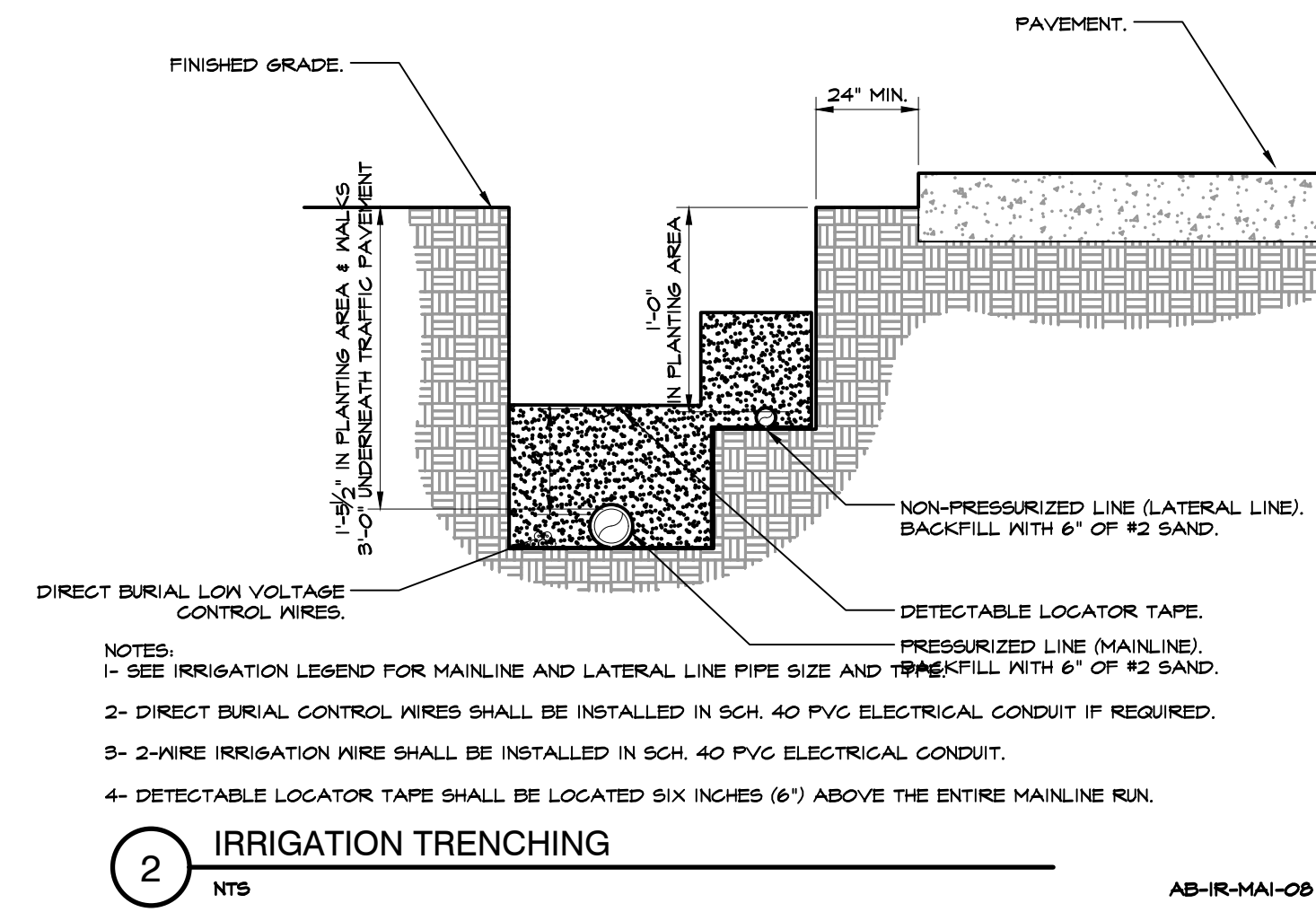


11 April, 2022

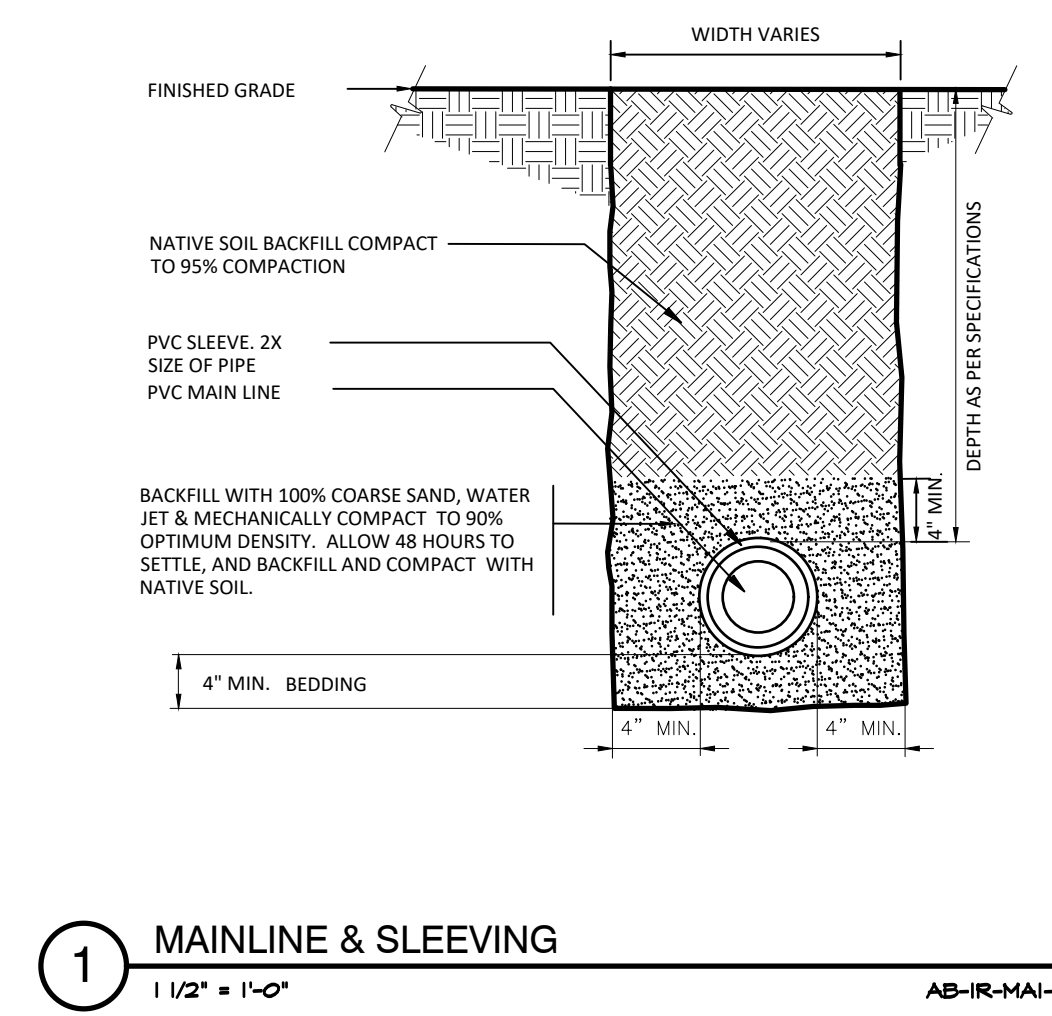
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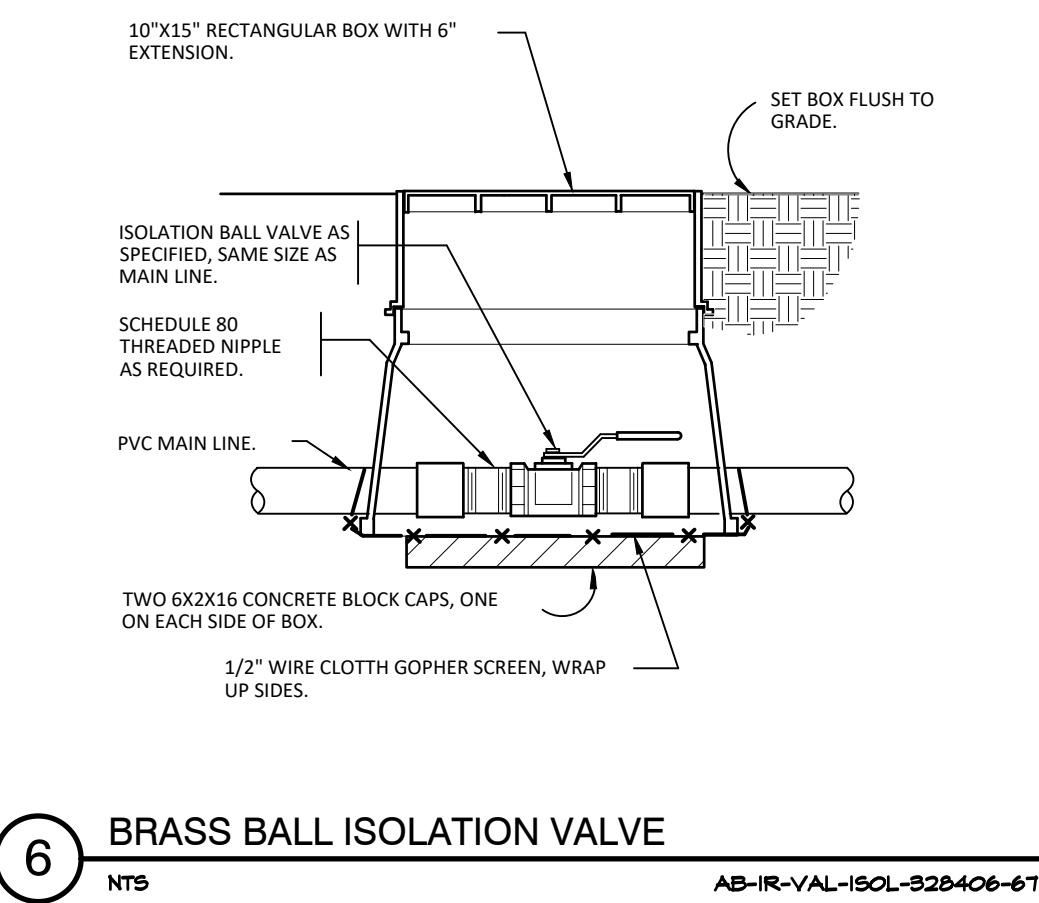
3 SLEEVING DETAIL
NTS
AB-IR-MAI-06



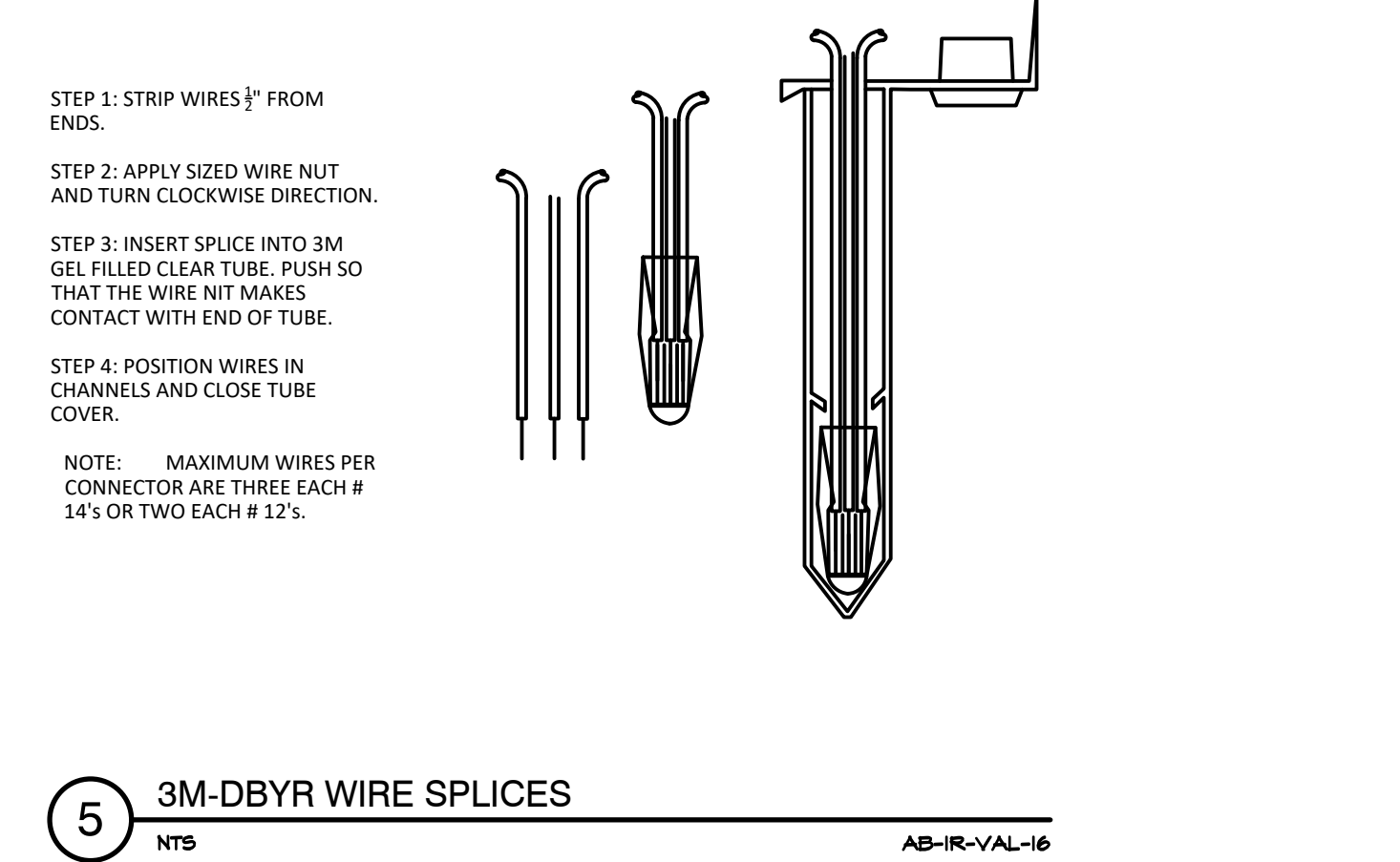
2 IRRIGATION TRENCHING
NTS
AB-IR-MAI-06



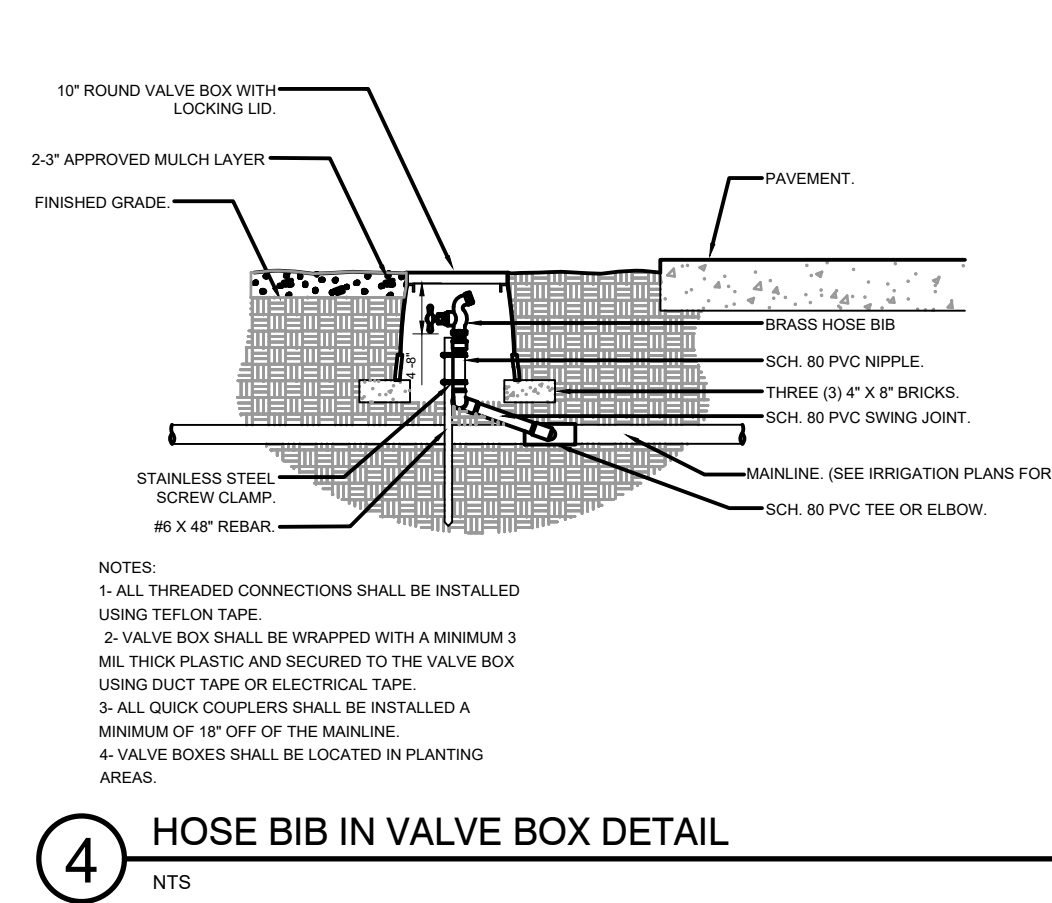
1 MAINLINE & SLEEVING
1/2" = 1'-0"
AB-IR-MAI-07



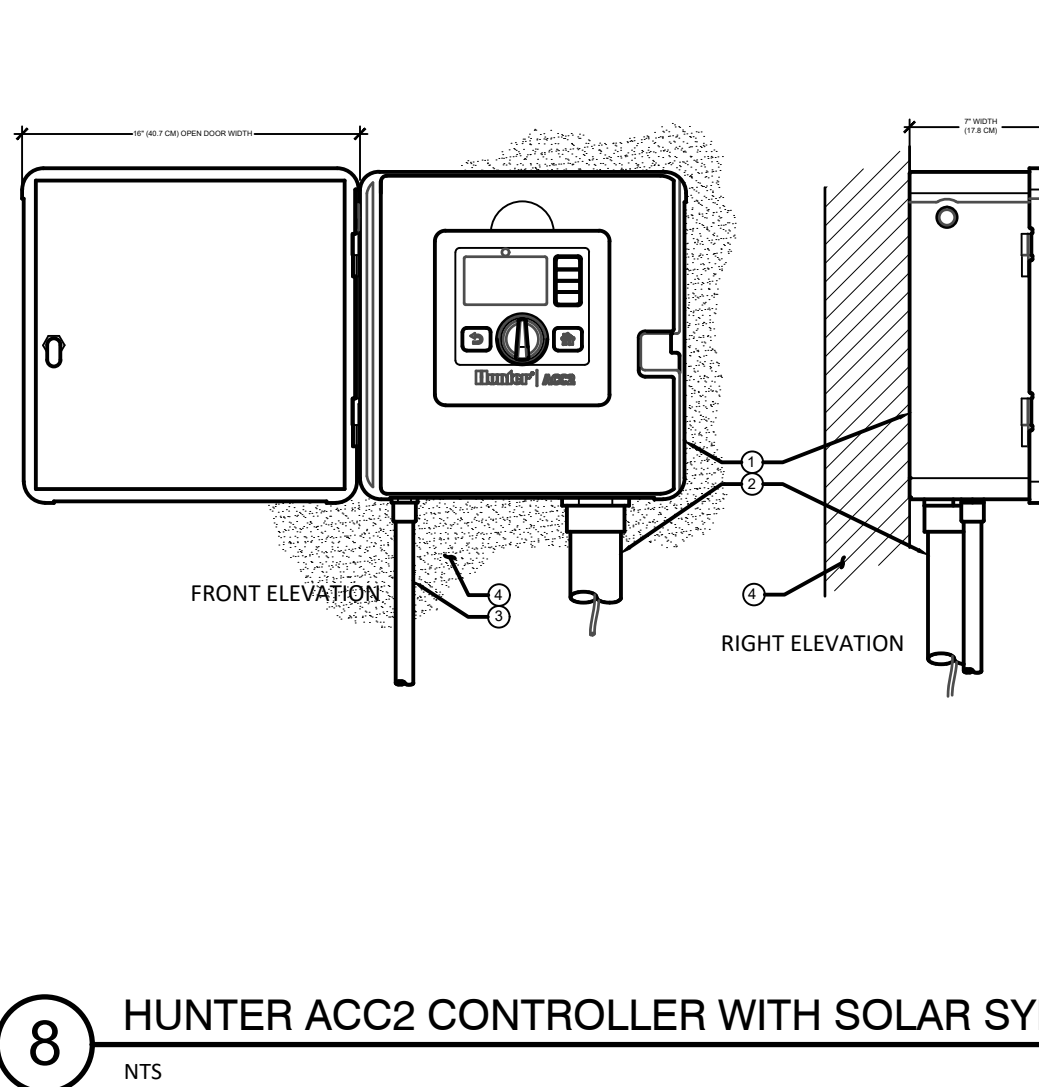
6 BRASS BALL ISOLATION VALVE
NTS
AB-IR-VAL-06



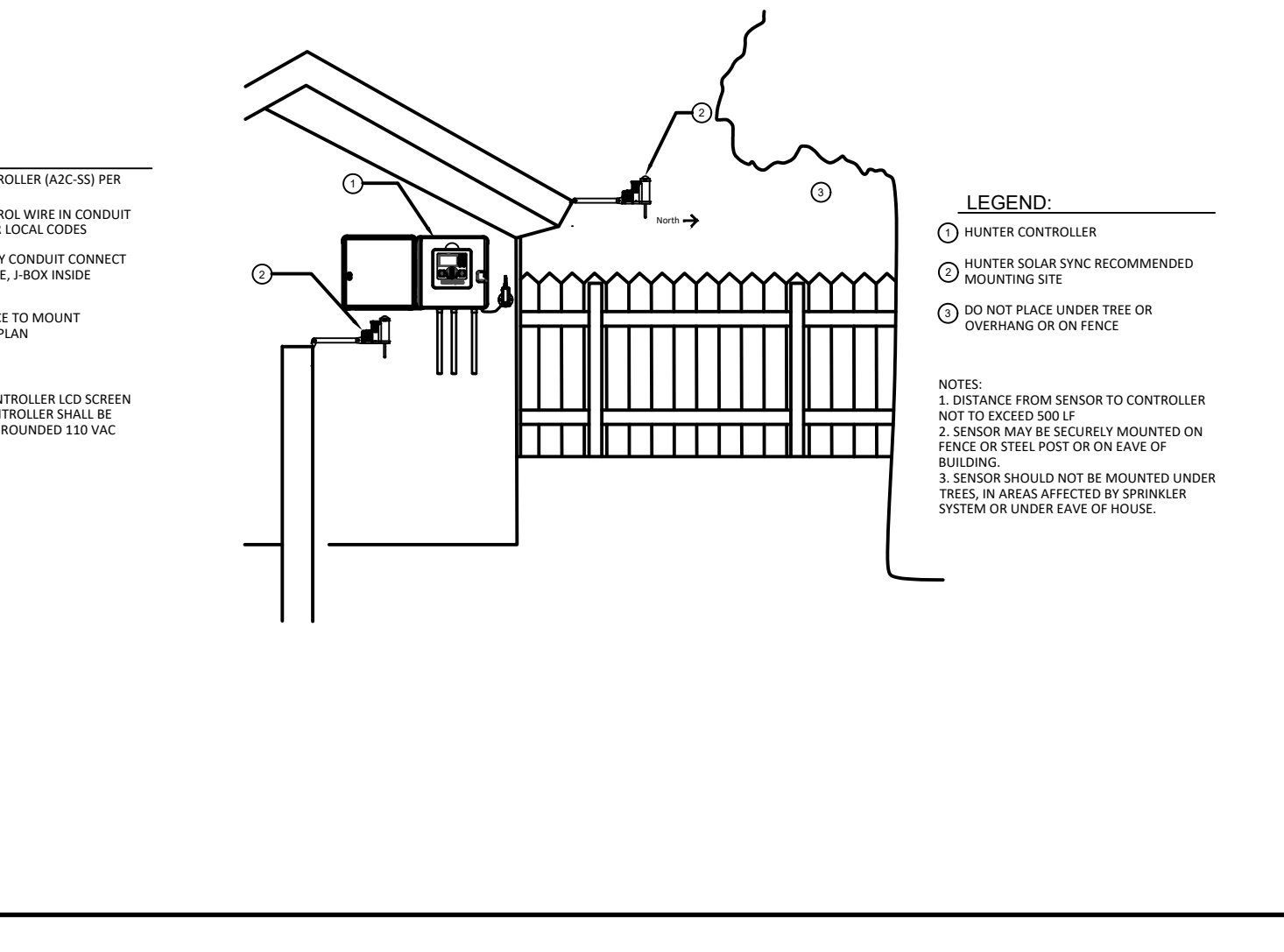
5 3M-DBYR WIRE SPLICES
NTS
AB-IR-VAL-16



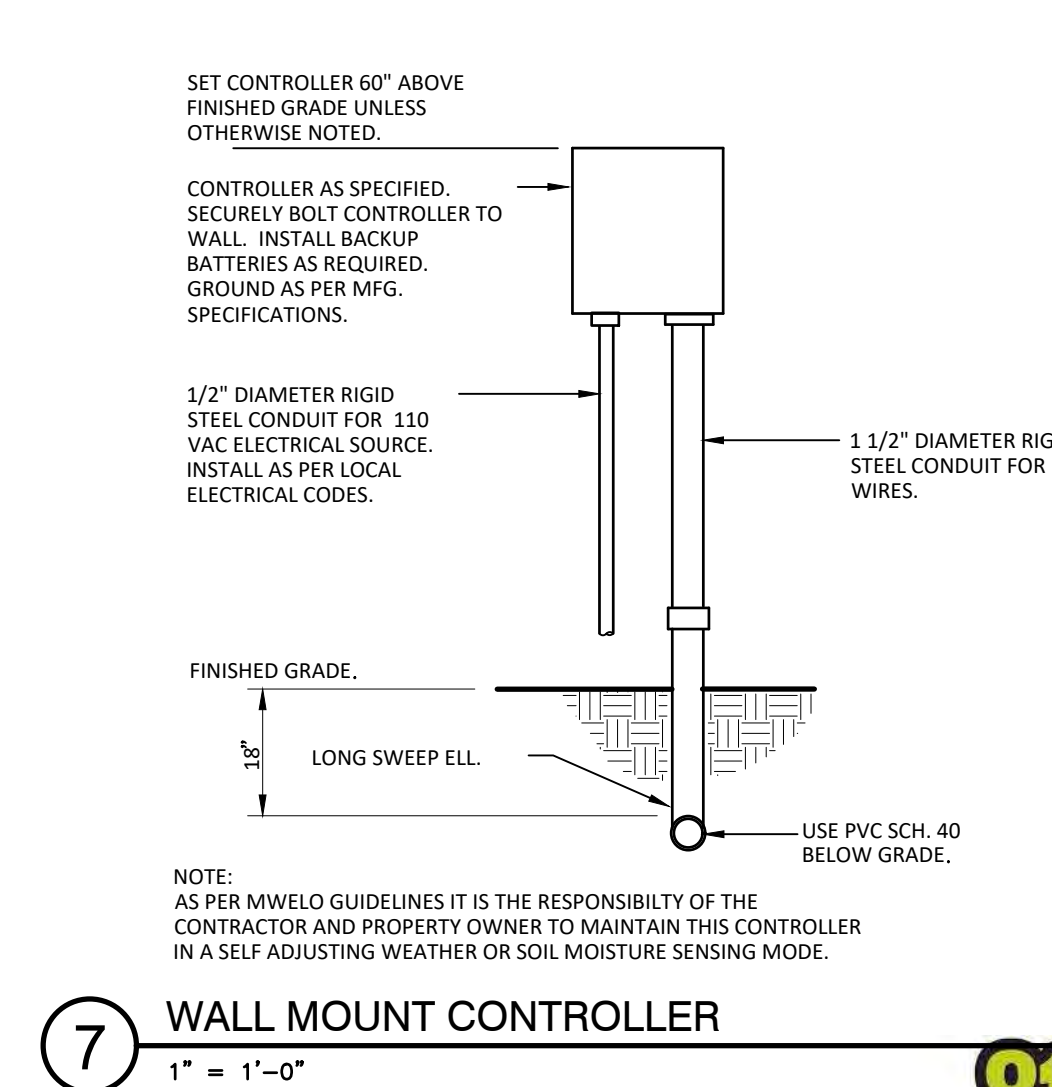
4 HOSE BIB IN VALVE BOX DETAIL
NTS



8 HUNTER ACC2 CONTROLLER WITH SOLAR SYNC
NTS



7 WALL MOUNT CONTROLLER
1" = 1'-0"



7 WALL MOUNT CONTROLLER
1" = 1'-0"



68 LAGOON RD
BELVEDERE, CA 94920

DESIGN 05/20/22
REVIEW

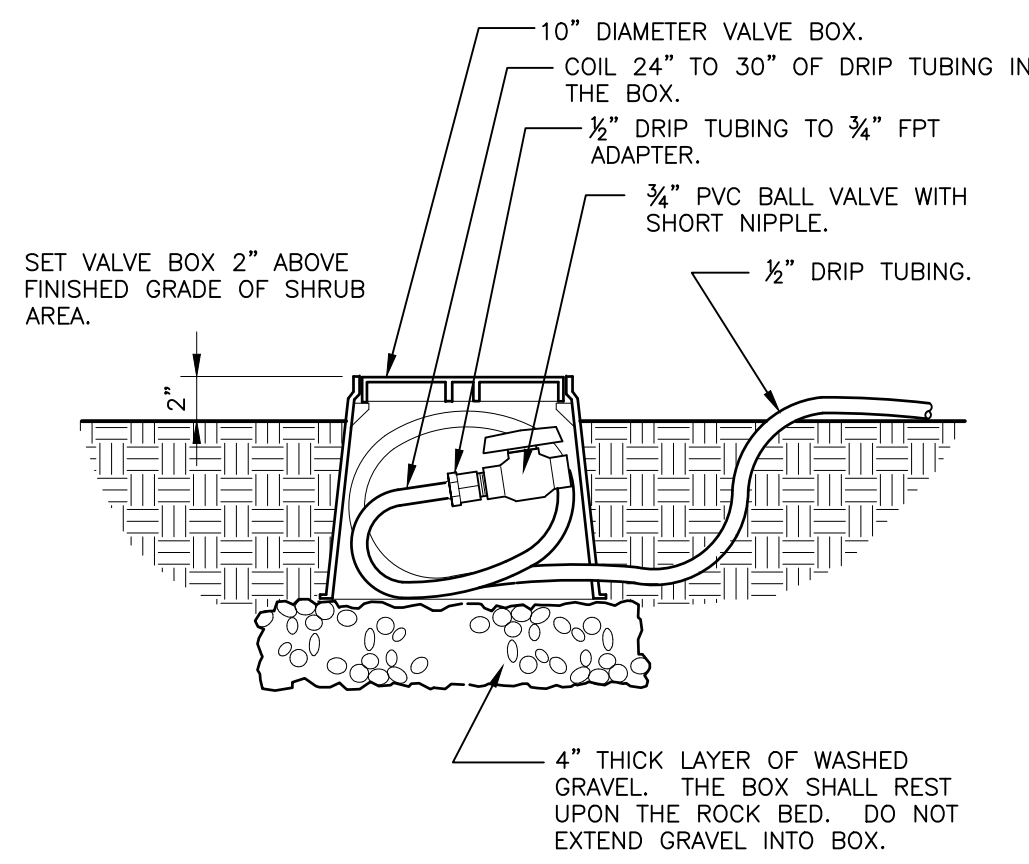
Landscape
Irrigation
Details

NTS
L-6.03

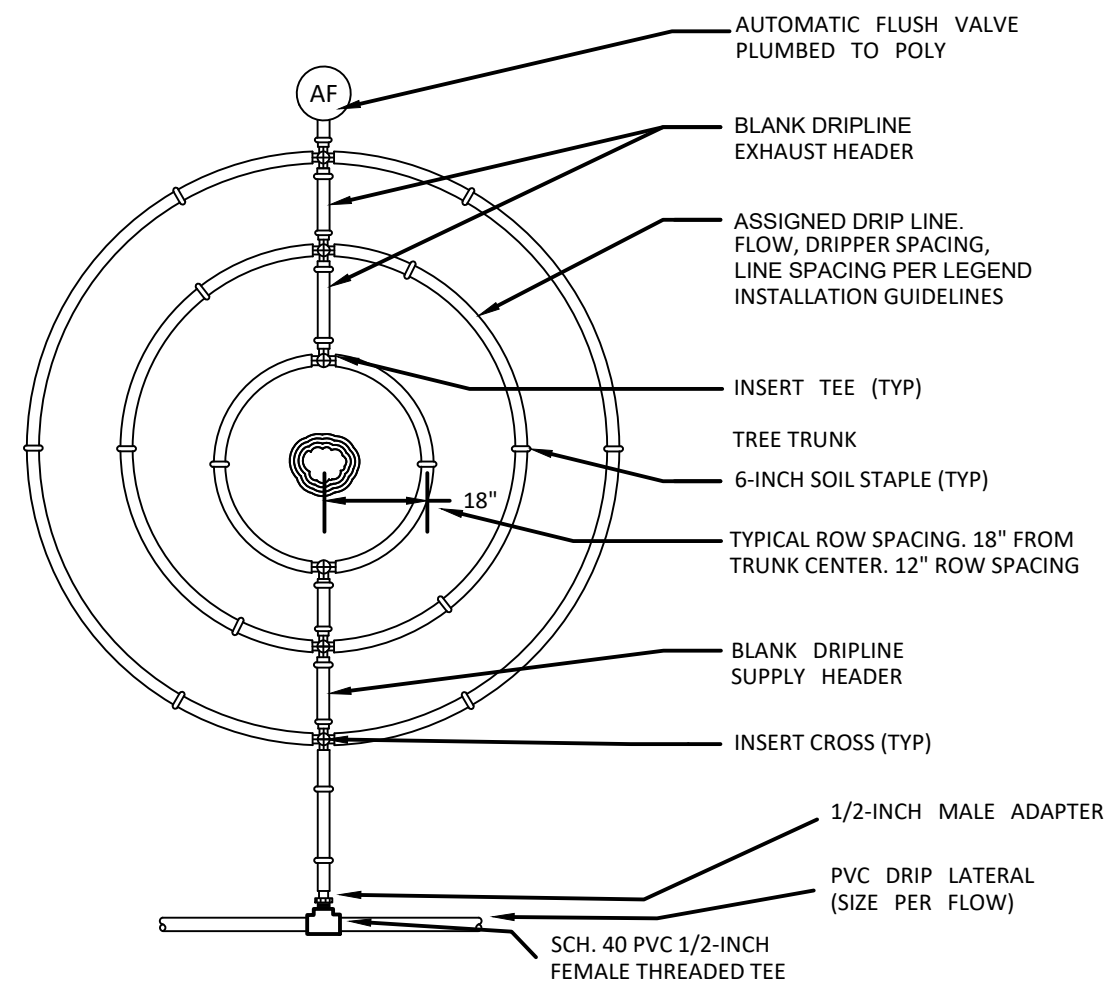


11 April, 2022

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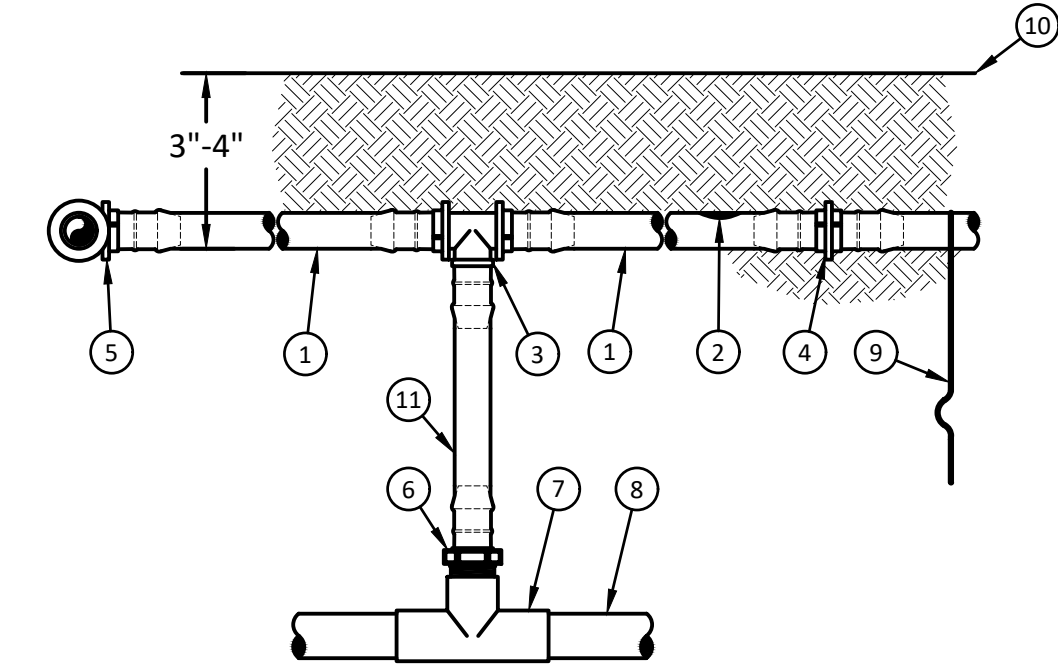


3 DRIP FLUSH VALVE
1 1/2" = 1'-0"



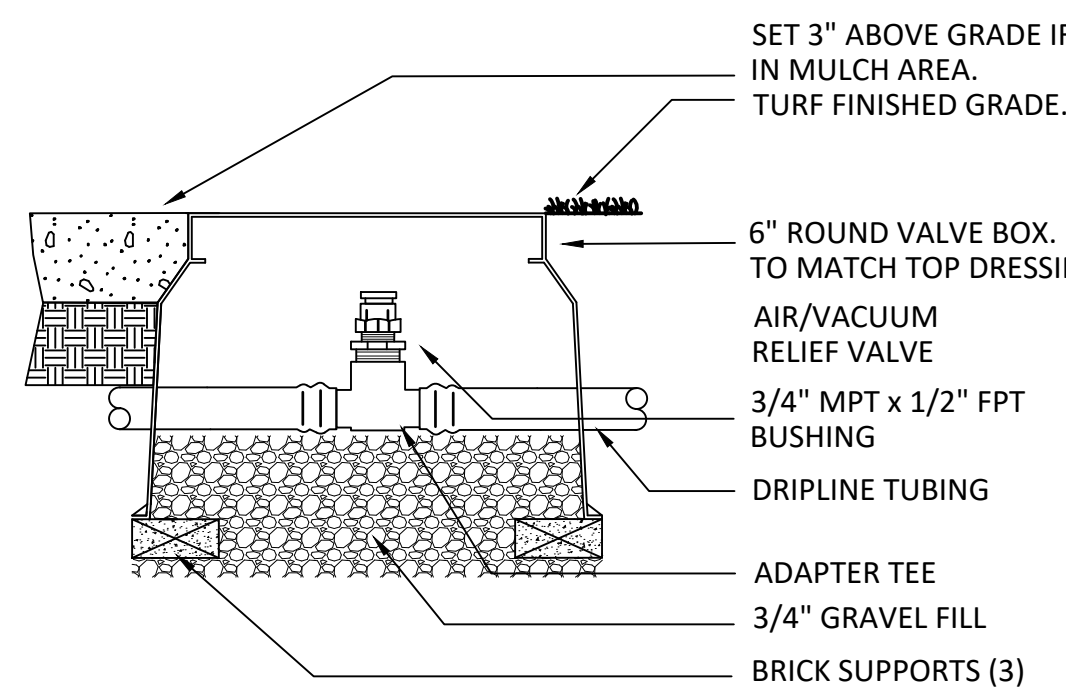
2 DRIP LINE TREE RING DETAIL
1" = 1"

NOTES TO INSTALLER:
 1. INSTALL FIRST DRIP LINE LOOP 18-INCHES FROM CENTER OF TREE TRUNK. INSTALL EACH ADDITIONAL LOOP 12" APART.
 2. INSTALL DRIP LINE ON SURFACE TO MAXIMUM OF 6-INCHES BELOW GRADE. STAPLE IN PLACE PER MANUFACTURER'S RECOMMENDATIONS, BACKFILL AND SPREAD SURFACE TREATMENT AS DIRECTED BY OTHERS.
 3. INSTALL DRIP LINE IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION GUIDELINES.
 4. DRIP RINGS MUST BE 0.9 GPH 12" O.C. EMITTER SPACING
 5. TOTAL FLOW OF:
 2 DRIP RINGS IS 6 GPH (1.44"/H)
 3 DRIP RINGS IS 18 GPH (1.44"/H)
 4 DRIP RINGS IS 24 GPH (1.44"/H)



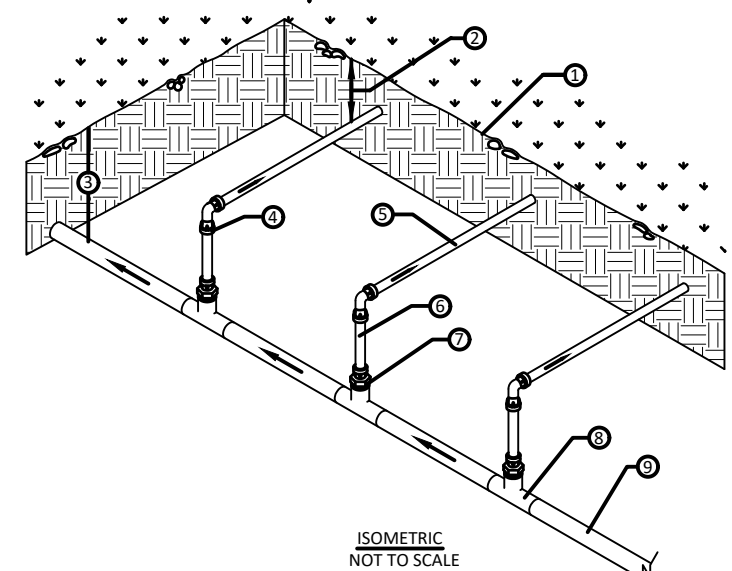
NOTES:
 1. PLACE TIE DOWN STAKES EVERY TWO FEET IN SAND, THREE FEET IN LOAM, AND FOUR FEET IN CLAY.
 2. AT FITTINGS WHERE THERE IS A CHANGE OF DIRECTION SUCH AS TEES OR ELBOWS, USE TIE-DOWN STAKES ON EACH LEG OF THE CHANGE OF DIRECTION.

1 PVC SUPPLY LINE TO DRIP LINE TRANSITION DETAIL
NTS



NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 4. CONTRACTOR'S NOTE: CONSULT MANUFACTURER FOR INSTALLATION RECOMMENDATIONS

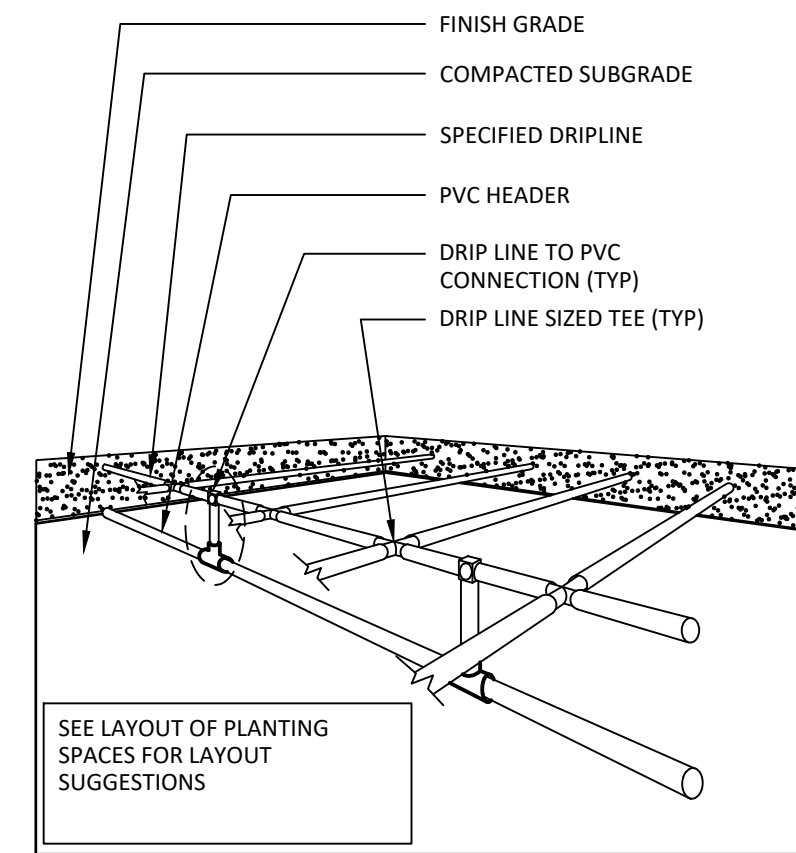
7 DRIP AIR RELIEF VALVE
1" = 1'-0"



NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 4. CONTRACTOR'S NOTE: CONSULT MANUFACTURER FOR INSTALLATION RECOMMENDATIONS

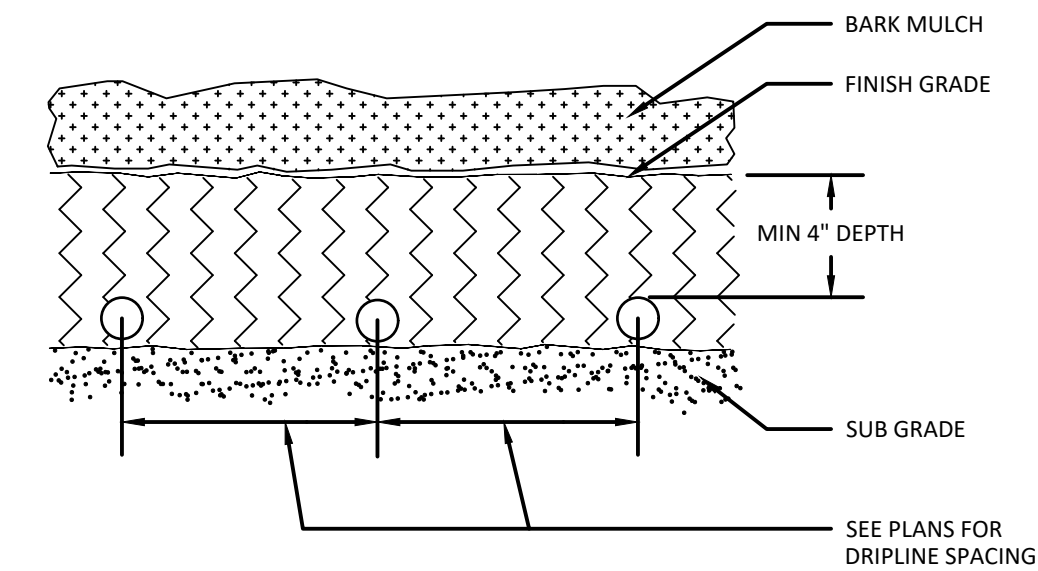
6 DRIP END FEED HEADER
NTS

- FINISH GRADE.
- DEPTH OF TUBING PER SPECIFICATIONS
- DEPTH OF PVC SUPPLY MANIFOLD PER - 12"
- TORO LOC-EZE TEE.
- DRIPLINE LATERAL
- POLY TUBING, LENGTH AS NECESSARY.
- TORO LOC-EZE X 1/2" MTP ADAPTER (FAM16).
- PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.



NOTE:
 1. SEE PLANS AND LEGEND FOR ALL DIMENSIONS AND DRIPLINE SPACING.
 2. RATIO OF DRIP LINES TO START CONNECTIONS IS SHOWN AT 2:1, BUT MAY VARY PER HYDRAULIC DEMAND ON START CONNECTIONS. SEE PLANS AND LEGEND.

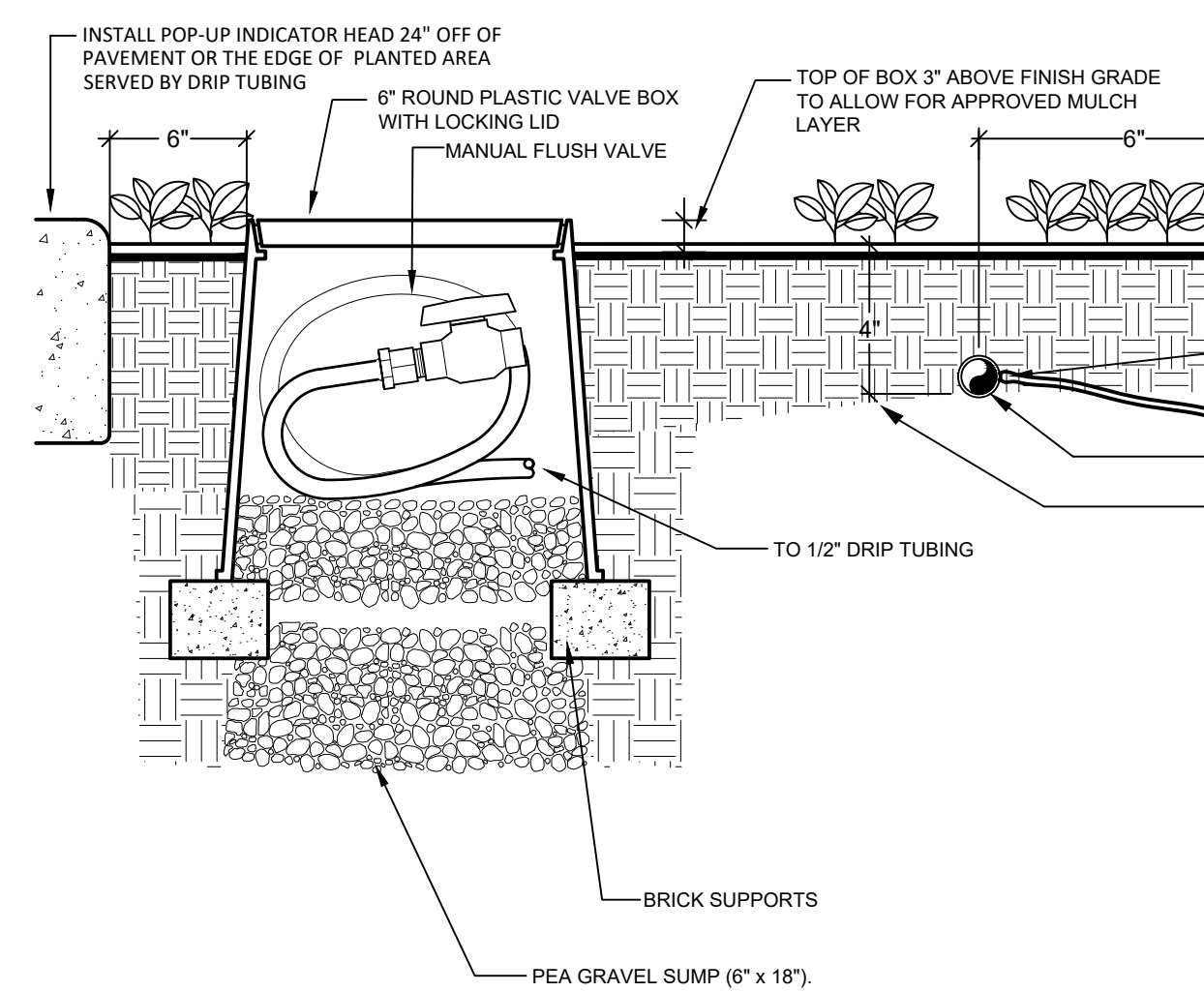
5 SUB SURFACE HEADER INSTALLATION
NTS



4 DRIP LINE GRID BELOW GRADE
NTS

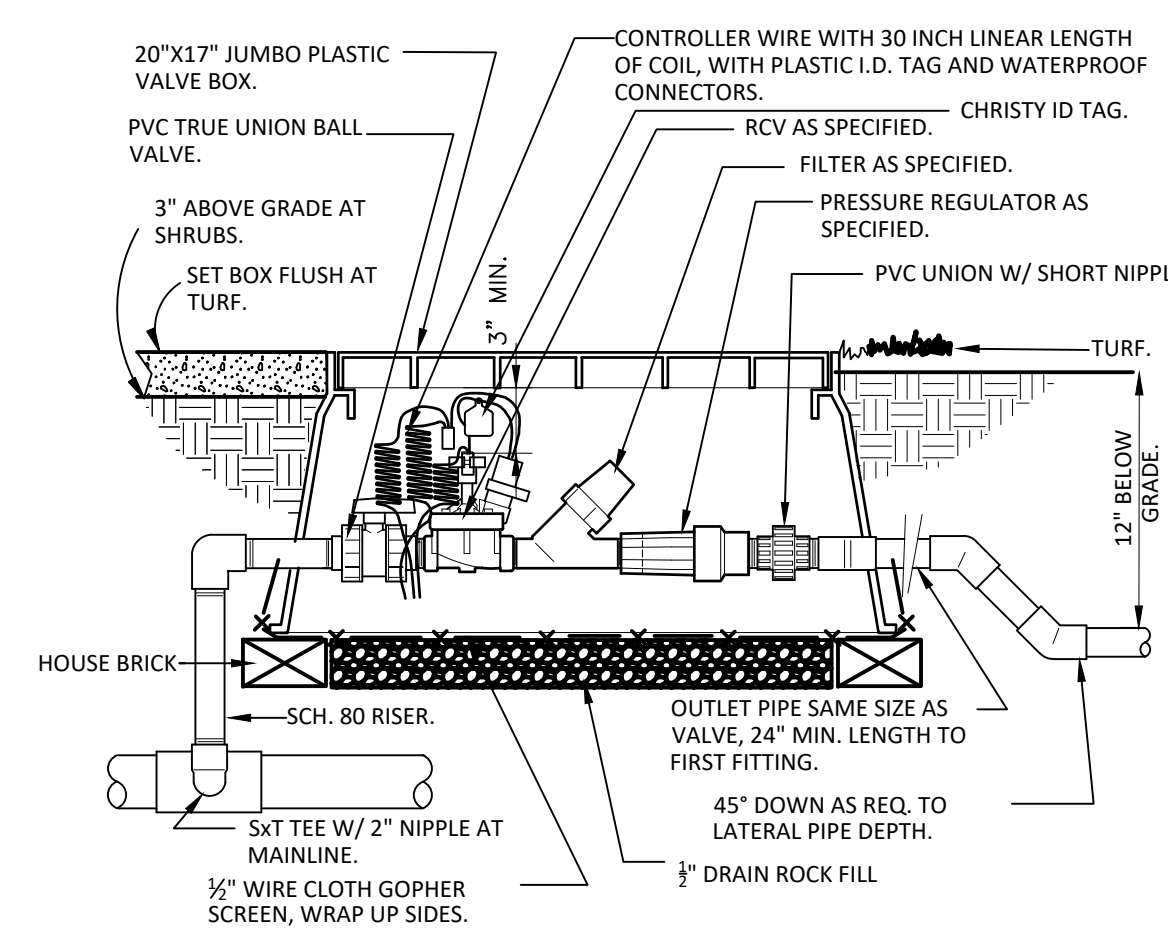
- FINISH GRADE.
- DEPTH OF TUBING PER SPECIFICATIONS.
- DEPTH OF PVC SUPPLY MANIFOLD -12"
- TORO LOC-EZE TEE.
- DRIPLINE LATERAL.
- POLY TUBING LENGTH AS NECESSARY.
- TORO LOC-EZE X 1/2" MTP ADAPTER (FAM16).
- PVC TEE (SxSxT) WITH 1/2" FPT OUTLET.
- PVC SUPPLY MANIFOLD FROM DRIP ZONE KIT.

NOTES:
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
 2. DO NOT SCALE DRAWINGS.
 3. ALL DIMENSIONS ARE CONSIDERED TRUE AND REFLECT MANUFACTURER'S SPECIFICATIONS.
 4. CONTRACTOR'S NOTE: CONSULT MANUFACTURER FOR INSTALLATION RECOMMENDATIONS

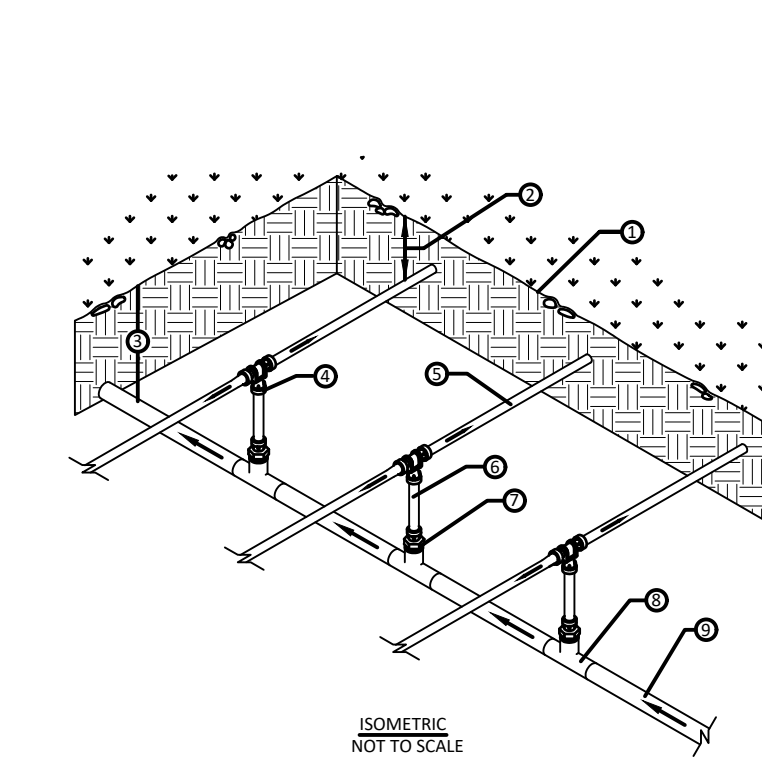


NOTE: INSTALL INDICATOR HEAD 24" MAX FROM THE EDGE OF PAVING OR THE PLANTER EDGE. INSTALL YELLOW COLORED INDICATOR CAP ON XERI POP HEAD. FOR RECYCLED WATER USE A PURPLE IRRIGATION CAP.

10 RAIN BIRD XERI POP XP 600X DRIP INDICATOR OFF OF DRIP LINE
1" = 1"



9 1" DRIP VALVE AND FILTER
1 1/2" = 1'-0"



8 CENTER FEED DRIP HEADER
NTS



Know what's below.
Call before you dig.



68 LAGOON RD
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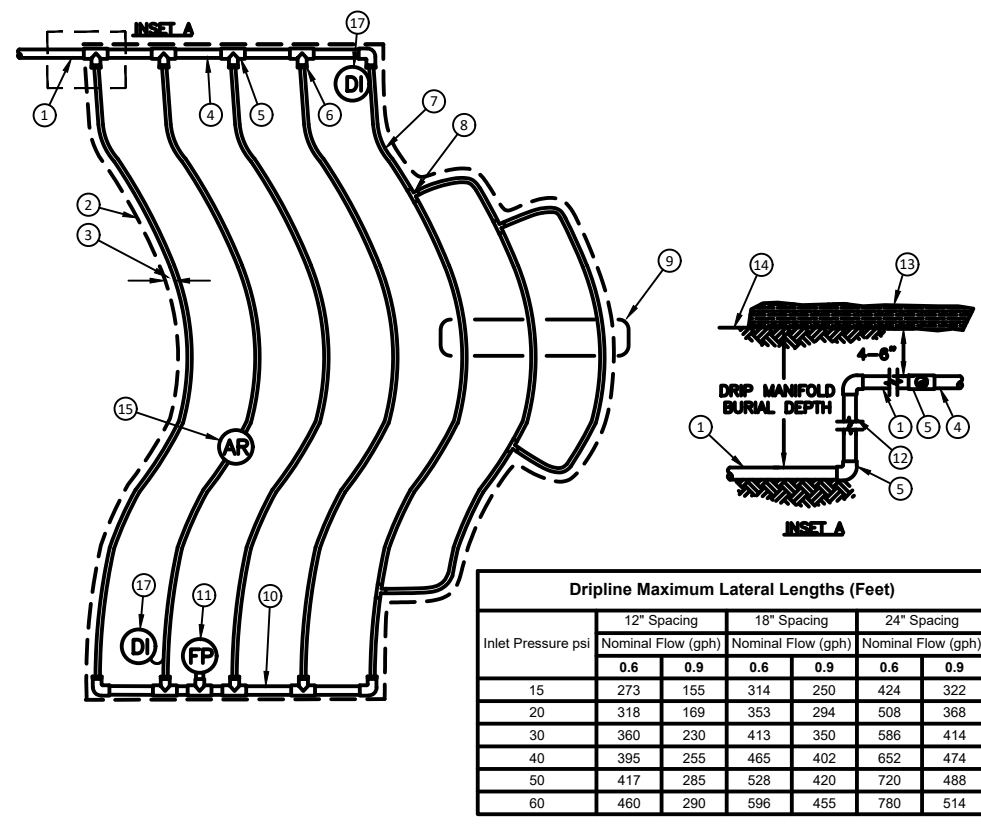
DESIGN 05/20/22
REVIEW

Landscape
Irrigation
Details

L-6.04

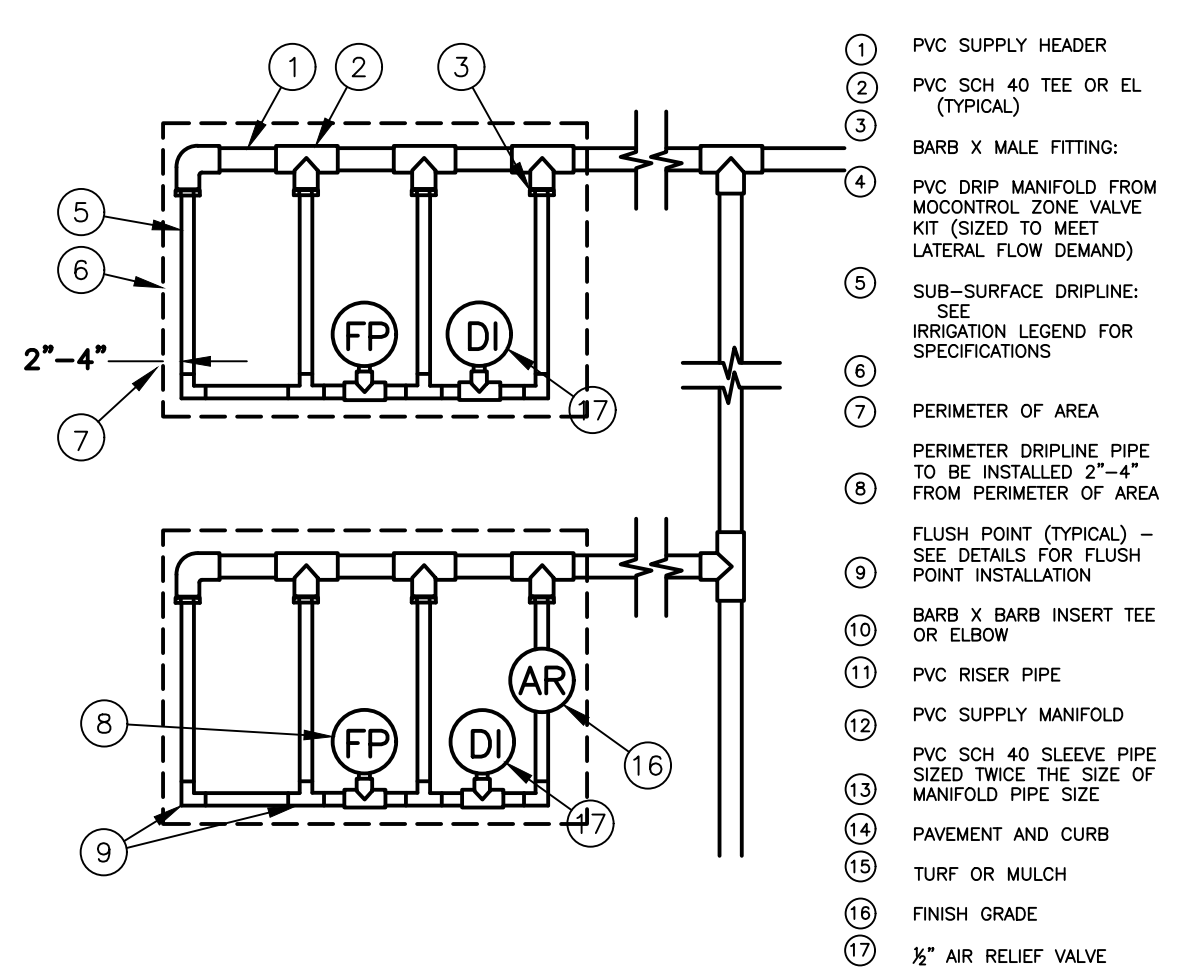
11 April, 2022

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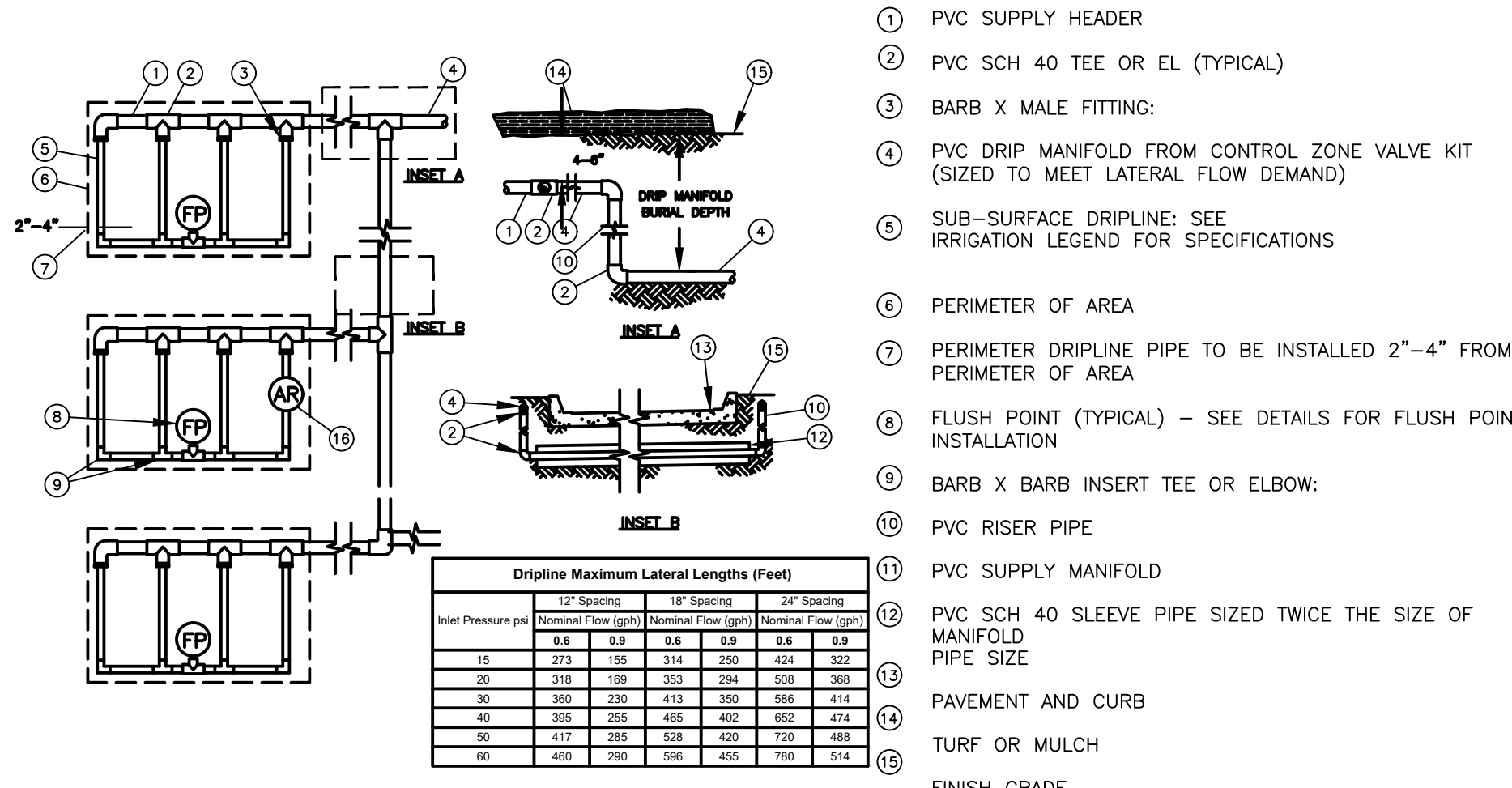


- NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 3. INSTALL AIR RELIEF VALVE AT HIGH POINTS IN DRIP LATERAL.
 4. WHEN USING BARBED INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.
- 3 DRIP LAYOUT IN ODD SHAPED PLANTER**
 NTS
 AB-IR-DRI-DRI-04

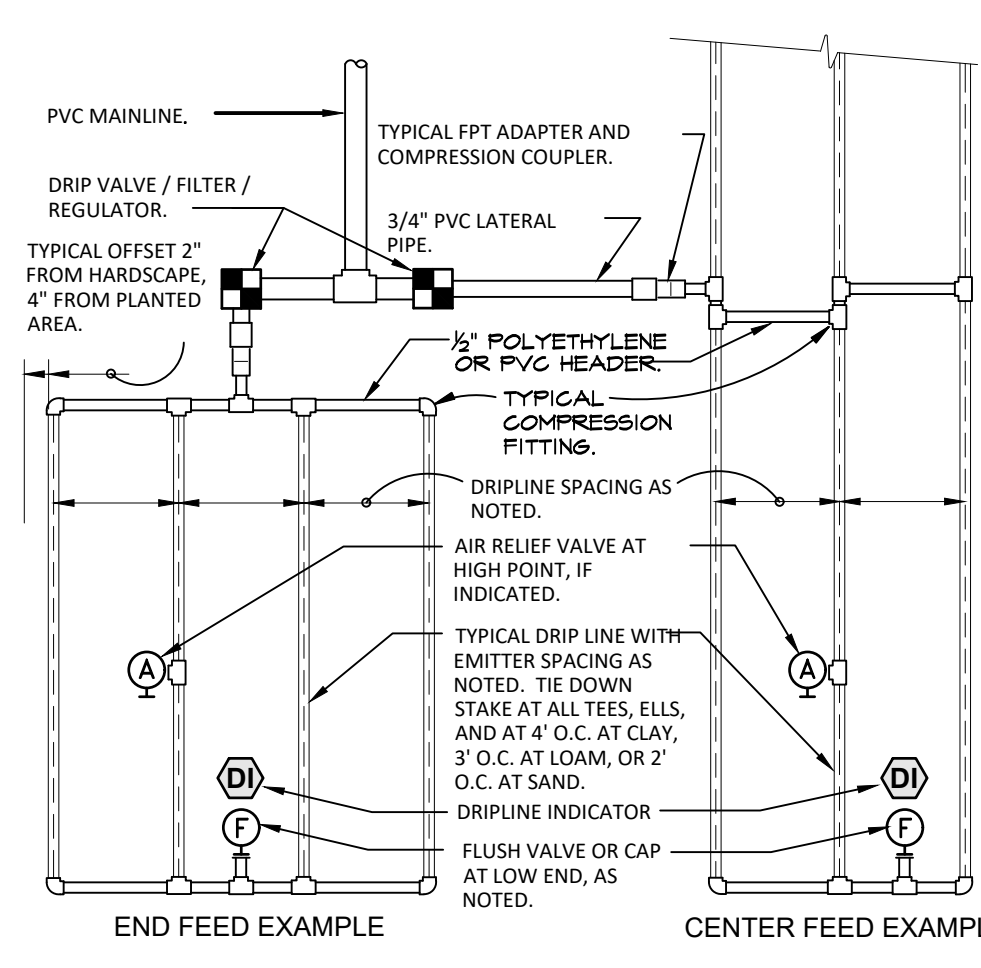
- 1 PVC SUPPLY PIPE FROM CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- 2 PERIMETER OF AREA
- 3 PERIMETER DRIPLINE PIPE TO BE INSTALLED 2"-4" FROM PERIMETER OF AREA
- 4 PVC SUPPLY MANIFOLD
- 5 PVC SCH 40 TEE OR EL (TYPICAL)
- 6 BARB X MALE FITTING
- 7 SUB-SURFACE DRIPLINE: SEE IRRIGATION LEGEND FOR SPECIFICATIONS
- 8 BARB X BARB INSERT TEE
- 9 PVC FLUSH HEADER
- 10 FLUSH POINT: SEE DETAILS FOR FLUSH POINT INSTALLATION
- 11 PVC RISER PIPE
- 12 TURF OR MULCH
- 13 FINISH GRADE
- 14 1/2" AIR RELIEF VALVE: RAIN BIRD MODEL: SEE DETAILS FOR AIR RELIEF INSTALLATION
- 15 DRIP INDICATOR



- 2 DRIP HEADER DETAIL**
 NTS
 AB-IR-DRI-DRI-05

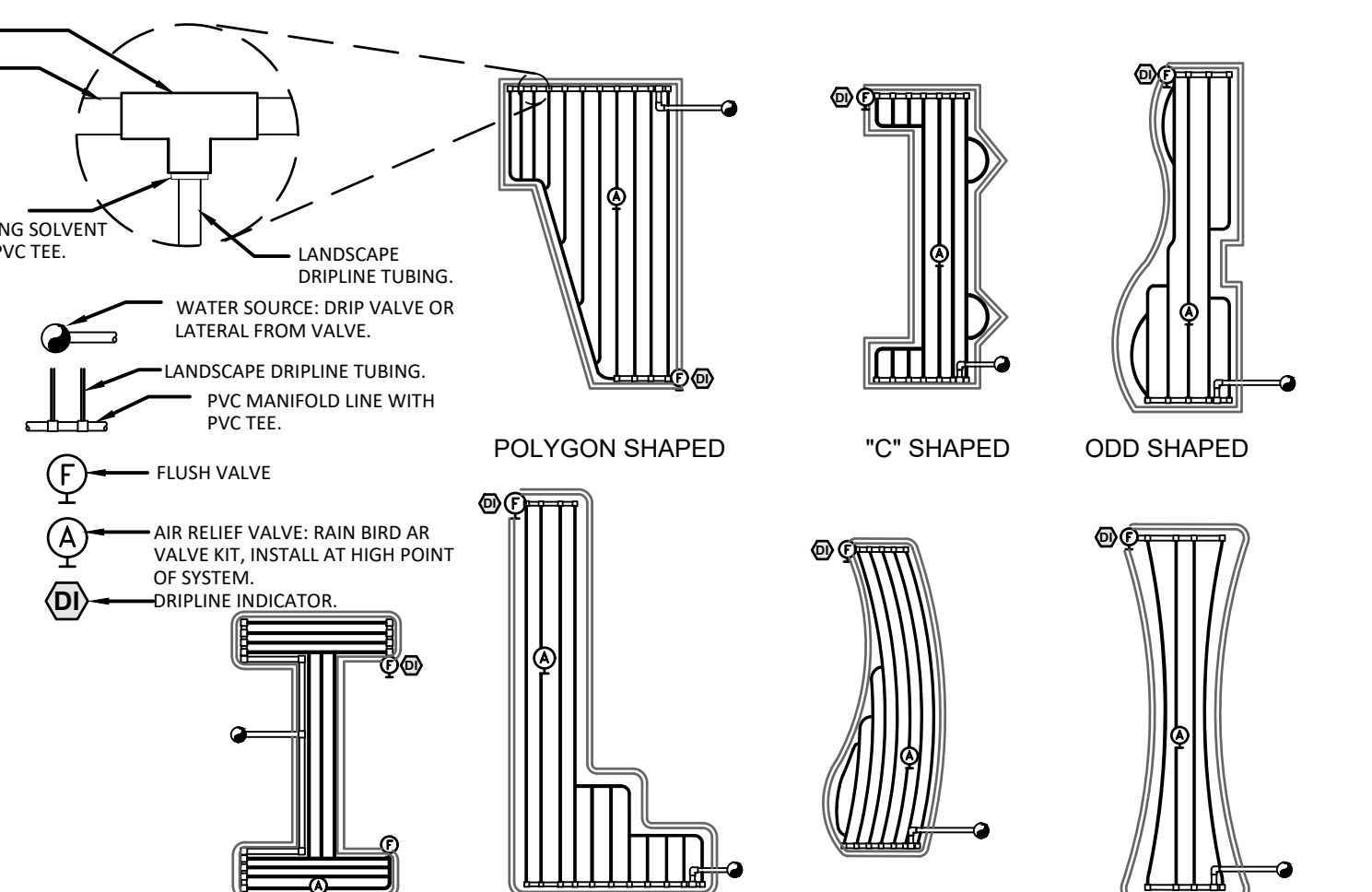


- 1 DRIP IRRIGATION IN PLANTER LAYOUT**
 NTS
 AB-IR-DRI-DRI-06

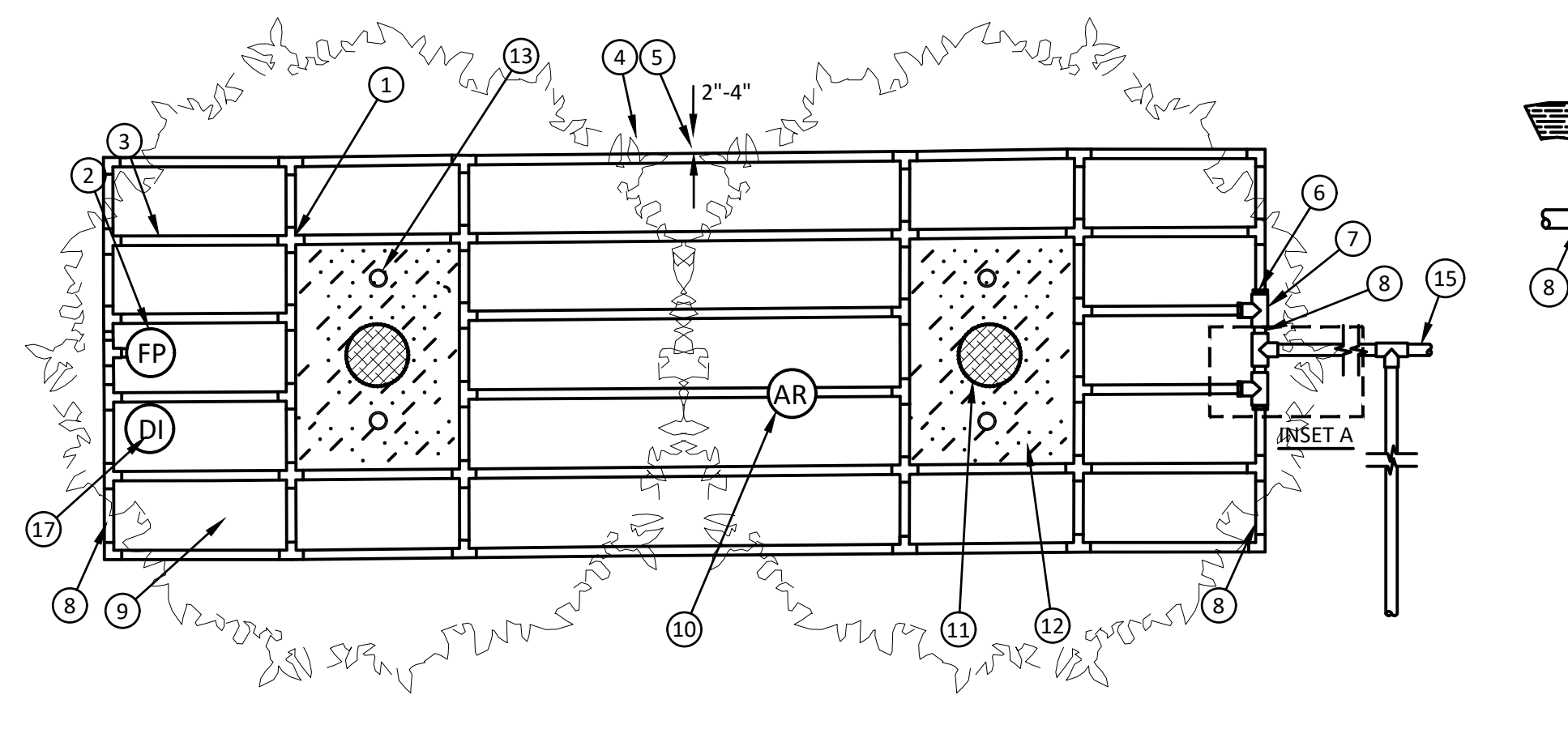


- 5 TYPICAL DRIPLINE REQUIREMENTS**
 NTS

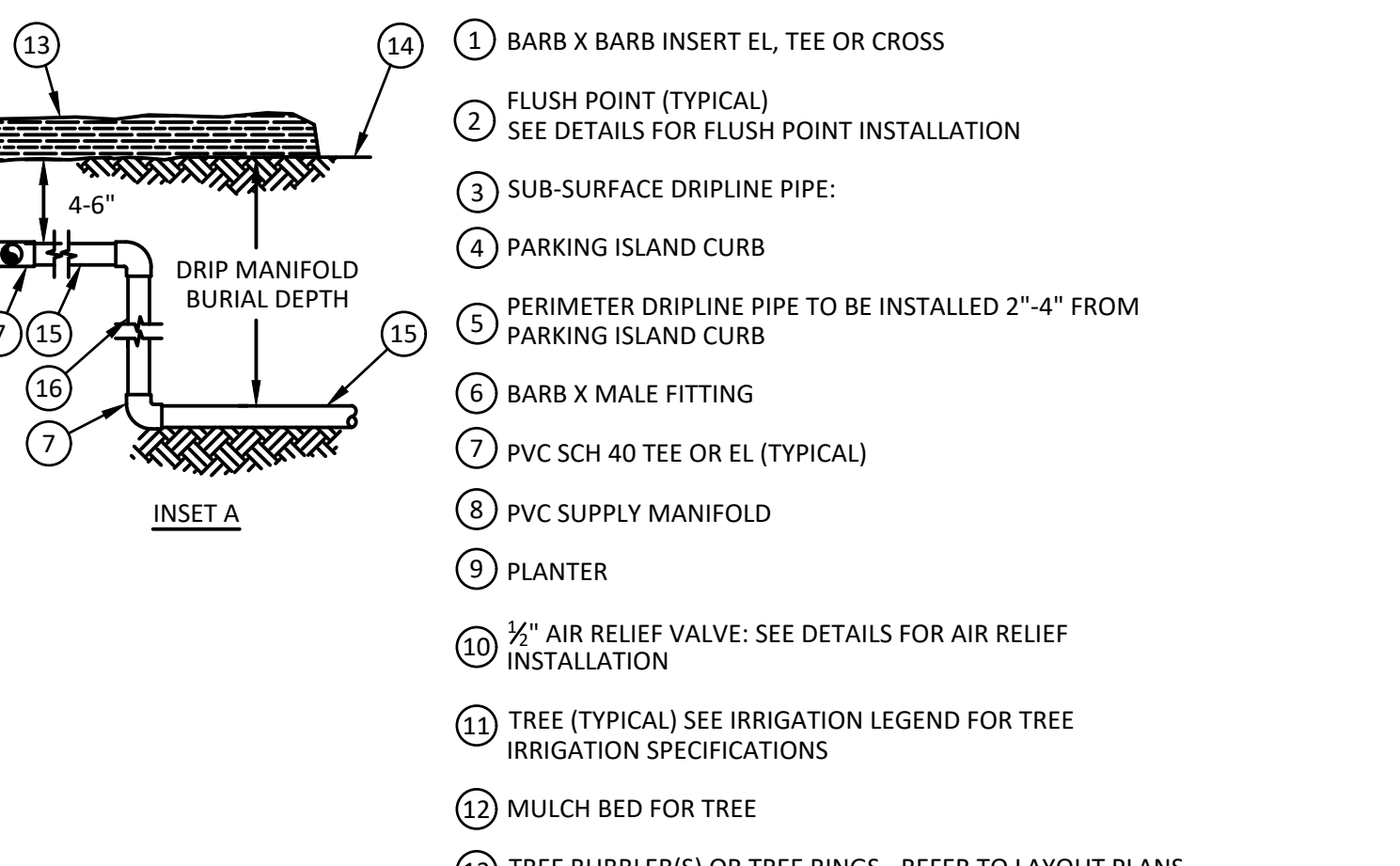
| EMITTER FLOW RATE GPH | 12" SPACING | | 18" SPACING | | 24" SPACING | |
|-----------------------|-------------|-----|-------------|-----|-------------|-----|
| | 0.6 | 0.9 | 0.6 | 0.9 | 0.6 | 0.9 |
| 10 | 125 | 96 | 175 | 135 | 218 | 171 |
| 20 | 249 | 191 | 350 | 271 | 442 | 340 |
| 30 | 307 | 236 | 434 | 333 | 550 | 422 |
| 40 | 350 | 268 | 495 | 380 | 627 | 471 |
| 50 | 385 | 296 | 545 | 413 | 692 | 514 |
| 60 | 425 | 326 | 600 | 455 | 750 | 561 |



- 4 STAGGERED DRIPLINE EMITTER PATTERN**
 NTS
 AB-IR-DRI-DRI-14



- NOTES:
 1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION.
 2. LENGTH OF LONGEST DRIPLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 3. INSTALL AIR RELIEF VALVE AT HIGH POINTS IN DRIP ZONE.
 4. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.
- 6 DRIP LINE LAYOUT AROUND TREE**
 1" = 1'-0"



- 1 DRIP IRRIGATION IN PLANTER LAYOUT**
 NTS
 AB-IR-DRI-DRI-06



- 4 STAGGERED DRIPLINE EMITTER PATTERN**
 NTS
 AB-IR-DRI-DRI-14



68 LAGOON RD
 BELVEDERE, CA 94920

DESIGN 05/20/22
 REVIEW

Landscape Irrigation Details

NTS
L-6.05



11 April, 2022

To: Mayor and City Council

From: Brian Van Son, Building Official

Reviewed By: Robert Zadnik, City Manager
Irene Borba, Director of Planning & Building
Amy Ackerman, City Attorney

Subject: Appeal of Construction Time Limit (CTL) Penalties Assessed to 1 Belvedere Avenue under Building Permit #2017-269.

Recommended Motion/Item Description

- 1) Open and conduct a public hearing for the appeal of Construction Time Limit penalties assessed to the property owners of 1 Belvedere Ave.
- 2) Conclude public hearing and affirm the appeal and assessed penalties.

Background/Timeline

On March 26, 2012, an application for Design Review was submitted to the Planning Dept. for the demolition, remodel, and addition of a single-family dwelling. The project was reviewed by City staff and brought before the Planning Commission on November 20, 2012, with the condition of a final landscape plan be submitted for review by the Planning Director and the Planning Commission Chair. The landscape plans were submitted on March 24, 2014. The plans were reviewed and subsequently approved on April 15, 2014. On May 19, 2015 the project was approved for a Design Review extension. Throughout the next months, revisions to the plans were submitted for review and approved, culminating with the submittal of the landscape plans on March 24, 2017. In that time, the property was sold to the current property owners and additional project revisions were submitted.

On June 5, 2017, a revised application for Design Review was submitted to the Planning Dept. for the demolition of an existing 8,894 square foot residence, demolition and reconstruction of an existing garage, and subsequent landscape improvements throughout the property, with a proposed project valuation of \$4,000,000. Based on the date of the original Design Review Application, the project was governed by the Belvedere Municipal Code CTL ordinance in effect at that time. This Code established fees at: \$400/day for the first 60 days for the unfinished project; \$600/day for days 61-120; and \$800/day for every day after 120 days until a maximum penalty of \$200,000 is reached (**Attachment 1**). The application was reviewed by staff through the Design Review process and brought to the May 16, 2017 Planning Commission Meeting. The project was heard

and approved at that Planning Commission Meeting, with an added Condition of Approval stating that the final landscape/lighting plan was to be reviewed and approved by the Planning Commission. The final landscape plans were presented and approved at the August 15, 2017 Planning Commission Meeting. Following that approval, numerous appeals were received by staff. The appeals and the landscape plans were brought in front of the Belvedere City Council on September 11, 2017, where the Council upheld the Planning Commission's approval of the project.

A Building Permit Application and related construction documentation were subsequently submitted on December 5, 2017. The initial submittal consisted of the demolition and reconstruction of the single-family dwelling (SFD) and garage, along with subsequent site and landscape improvements; these items were assigned Building Permit # 2017-269. The project was routed to the applicable departments and outside jurisdictional authorities for review of local and state code compliance. Once deemed complete, the building permit application was approved and set for permit issuance. Prior to the issuance of the building permit, a Pre-Construction Meeting was attended by representatives from the Building Dept., Planning Dept., Dept. of Public Works, Tiburon Fire Protection Dist., Police Dept., the property owner, and the contractor. The building permit was issued on June 14, 2018, which (per Belvedere Municipal Code (BMC) section 20.04.035; table C1) established an eighteen-month (18) timeline for project completion. This permit issue date established a CTL sunset date of December 14, 2019.

Following the issuance of the building permit, construction commenced and regular inspections were conducted to verify compliance with applicable codes and the approved plans. As the project progressed, numerous Design Review Exemptions were submitted for alterations to the approved plans. These included:

- A driveway and site stair relocation - approved on November 8, 2017
- A change of previously approved trees - approved on March 19, 2018
- A modification of the design and colors for the Belvedere Ave. guardrail - approved on August 8, 2018
- The omission of a site stairway - approved on December 18, 2018
- The replacement of the living roof for solar P.V. installation - approved on November 18, 2019, and
- The addition of a garage door and glazing to the carport.

The CTL sunset date was reached without the project being finalized. The following business day, December 17, 2019, the Building Dept. sent the 30-day CTL notification letter (grace period letter) to the property owner, notifying the property owners that the project was to be completed by January 14, 2020 or fines would begin to be assessed (**Attachment 2**). The project was not finalized on that date and fines began to accrue pursuant to BMC section 20.04.035.

On March 31, 2020, the County of Marin issued a pandemic-related health order revision, in addition to the State Health Order enacted on March 4, 2020. This Order restricted all construction activity within the County unless such activity was necessary to safely secure a job site or to ensure the existing habitability of an occupied residence. This Order was in effect for a total of 34 days.

Effective September 28, 2020, the State Legislature passed AB 1561, providing a “uniform statewide entitlement extension”. This statute required municipalities to grant a maximum of an eighteen (18) month extension to some “housing entitlements”. It was preliminarily determined by staff and the City Attorney that the project at 1 Belvedere Ave. complied with parameters set forth in the Assembly Bill and that the project would receive the automatic 18-month extension. Following further review and analysis of the bill, it was determined that construction projects, for which CTL timeline had expired prior to the start of the COVID Pandemic, would not qualify for the COVID CTL relief, as established by AB 1561. Once this determination was made, the property owner was sent an official City letter notifying them of the City’s decision. This letter was sent on August 17, 2021 (**Attachment 3**).

Construction on the project continued as the CTL fines were accruing. As the project neared completion, the Building Dept. conducted numerous pre-final inspections in an attempt to provide clear and concise instructions to the contractor and property owner on how to obtain a final approval for the permitted project. On May 18, 2022, the Building Dept. conducted a final inspection and the project was deemed safe and complete, in the context of Building Dept. authority and requirements.

Following the Building Dept. finalization of the building permit, only minor landscape aspects of the permit remained to be completed. This included the planting of trees, bushes, and various plants, the installation of the irrigation system, and the placement of ground cover. It was not until June 1, 2022, that this work was completed, inspected by the Planning Dept., and approved, ultimately ending the CTL timeline. Per this date, the project was in the CTL penalty phase for 741 days, however, the project reached the maximum fine allotted by Code after only 295 days.

Once the project was finalized, a CTL penalty letter was sent to the property owner on June 7, 2022, notifying them of the imposed CTL penalties (**Attachment 4**). The property owners subsequently submitted their appeal of the penalties on June 17, 2022, in compliance with BMC section 20.04.035:F:1 (**Attachment 5**).

On August 18, 2022 the CTL Penalty Appeals Meeting was held where the contractor outlined factors and reasoning for the length of the project and grounds of the appeal. Following the conclusion of the meeting, it was determined by the CTL Appeals Committee that the recommendation to uphold the fine would be presented to City Council.

Applicant’s Reasons for Appeal

In the appeal letter and meeting referenced above, the property owners, contractor, and their attorney provided numerous reasons as to why they believe the project penalties should be fully waved or decreased. Those reasons consist of:

1) Reasons for delay beyond the control of the Applicant, including;

- A) Unforeseen geologic issues requiring foundation elements be redesigned and engineered and the design and implementation of temporary hillside stabilization (115 days of delay in total);
- B) Effects on construction due to the 2017 Tubbs Fire (60 days of delay);
- C) Project stoppage from Marin County Health Services Order on March 31, 2020 (34 days of work stoppage);
- D) Weather delays;
- E) COVID-19 pandemic.

2) The governing BMC code section is unjust and misguided.

3) A CTL extension was applied for prior to the issuance of the building permit, but was subsequently withdrawn by the contractor.

Appeal Analysis by City Staff

1) Reasons for delay beyond the control of the Applicant:

1A) Unforeseen geologic issues requiring foundation elements be redesigned and engineered, as well as, the design and implementation of temporary hillside stabilization, totaling 115 days of delay

The project did require additional geotechnical investigation and engineering to provide a safe working environment and finished product that satisfied the required safety elements for the property owners, Fire Dept., and the community. It is not unreasonable to approve the application of this additional time to the project, as this change in engineering could not have been reasonably anticipated by the contractor, nor the project engineers. However, applying this time would have no effect on the overall penalty assessed to the project. The project was in the penalty phase for 741 days and reached the maximum CTL penalty after 295 days.

1B) Effects on construction due to the 2017 Tubbs Fire (North Bay Fires)

Large significant fires in Napa and Sonoma County ignited on October 8 and 9, 2017. These fires burned thousands of acres of land and destroyed over 7,800 properties before being contained on October 31, 2017. Belvedere City Council responded to this crisis by approving ordinance No. 2018-2, providing eight (8) weeks of CTL relief for construction projects with an open building permit during October/November 2017. The building permit for 1 Belvedere Ave. (BP# 2017-269) was issued on June 14, 2018. It is unreasonable to apply relief to a project that had yet to receive an active building permit or commence construction.

1C) Project stoppage from Marin County Health Services Order on March 31, 2020

Like all open construction projects in Marin County, the 1 Belvedere Ave. project was paused by the County Health Services Order enacted on March 31, 2020. The Order paused all non-essential construction projects for 34 days. In response, Belvedere City Council held a duly noticed meeting on April 13, 2020 and passed an urgency ordinance to provide relief for construction projects. The intent of the ordinance was to provide CTL relief for the 34 days of inactivity with an additional 30 days awarded for the remobilization of the construction crews. Had the project been completed in the timeframe originally provided, the pandemic stoppages would have had no impact on the project.

1D) Weather Delays

In the supporting appeal documentation, the contractor stated that 12 working days were lost throughout the project due to adverse weather limiting access to the site and stopping normal construction activities. Currently, California is in an ongoing drought that began 5-7 years ago. It is difficult to justify relief for rainy days totaling less than two (2) weeks. BMC section 20.04.035 address delays due to inclement weather; however, having 12 days of work disrupted over four (4) years, an average of three (3) days per year, does not constitute inclement weather.

1E) COVID

The project had been ongoing for almost two years prior to the worldwide outbreak of COVID-19. The project was already three (3) months past the CTL expiration date, inclusive of the 30-day grace period. Had the project complied with the original requirement of being completed by 6/28/19, the COVID pandemic would have had no bearing on the project. The project had surpassed the CTL sunset date prior to the onset of the pandemic.

2) The governing BMC code section is unjust and misguided:

The appellant asserts that the governing municipal code (BMC 20.04.035) is misguided and unjust. This Code has been in the municipal code for over twenty (20) years. Throughout that time, the Code has been amended numerous times, with multiple reviews from the City Attorney for each amendment. Numerous jurisdictions in California, not to mention, Marin County, have similar ordinances addressing timelines for the completion of construction projects. At no point during the Design Review or Building Permit process was this concern brought to the attention of the City. The Code section was in effect at the time of Design Review application, Building Permit application, Building Permit issuance, and throughout the construction process. The applicants and contractor were both aware of the timeframes established for construction projects at the time of permit issuance.

3) A CTL extension was applied for prior to the issuance of the building permit, but was subsequently withdrawn by the contractor:

Staff received an application for a Construction Time Limit Extension prior to the issuance of the building permit. However, once the applicants were informed that the building permit could not be issued until the CTL Extension Committee had met and made a determination, the applicants decided to withdraw the CTL Extension application and pull the building permit. As set forth by the governing CTL Code, the CTL timeline begins on the date of the issuance of the building permit.

CTL Timeline Penalty Analysis

CTL Timeline w/o AB 1561 Extension:

Building permit issuance – 06/14/18 + 18-month CTL – 12/14/19 + 2-month North Bay Fire CTL Extension – 02/14/20 + 64-day COVID CTL Extension – 04/18/20 + 30-day grace period – 05/18/20 + 1st 60 days @ \$400/day – (\$24,000) – 07/18/20 + 2nd 60 days @ \$600/day – 09/18/20 (\$24,000 + \$36,000 = \$60,000) – next 175 days @ \$800/day – 03/12/21 (\$140,000 + \$60,000 = \$200,000). Maximum penalty of \$200,000 reached on March 12, 2021. Project was finalized on June 1, 2022.

Conclusion

The ultimate goal of the CTL Code is to discourage large-scale construction projects from continuing for years at a time, consistently disrupting the surrounding neighborhood and monopolizing the City's roadways for private improvements. The 1 Belvedere Ave. project took nearly four years to complete. Even with the application of the CTL extensions to the project, the maximum penalty was reached. Applying the extensions is inconsequential to the overall total fine amount for the project. The maximum penalty was reached due to the overall length of the project of four and a half years.

Recommendation

Staff recommends that the City Council:

- 1) Open and conduct a public hearing for the appeal of Construction Time Limit penalties assessed to the property owners of 1 Belvedere Ave.
- 2) Conclude public hearing and affirm the appeal and assessed penalties.

Attachments

- 1) BMC Municipal Code section 20.04.035
- 2) 30-day Grace Period Letter
- 3) AB 1561/CTL Letter
- 4) CTL Penalty Letter
- 5) CTL Penalty Appeal Letter
- 6) Resolution

CITY OF BELVEDERE

ORDINANCE NO. 2002-1

AN ORDINANCE OF THE CITY OF BELVEDERE AMENDING
SECTION 20.04.035 OF THE BELVEDERE MUNICIPAL CODE
CONCERNING TIME LIMITS ON CONSTRUCTION

THE CITY OF BELVEDERE DOES HEREBY ORDAIN AS FOLLOWS:

SECTION 1. Finding. The City Council finds that adoption of this ordinance does not require review under the California Environmental Quality Act (CEQA) because it is not a project (CEQA guidelines section 15378), and it there is no possibility that the ordinance may have a significant effect on the environment (CEQA guidelines section 15061.b)

SECTION 2. Amendment. Section 20.04.035 of the Belvedere Municipal Code is hereby amended to read as follows:

"20.04.035 Time limits for construction.

A. Purposes. The City Council finds that:

1. A continuous stream of large numbers of construction projects on private properties within the City of Belvedere for many years past has resulted in substantial and continuing adverse impacts on the City and its residents from construction activities;

2. Among those adverse impacts are long-term noise disturbances to neighbors of the construction projects, loss of already inadequate on-street parking due to the presence of large numbers of construction vehicles, and frequent closures of the City's narrow streets for construction deliveries and staging, which closures hinder and/or eliminate local and emergency access for varying periods of time;

3. The City has seen numerous individual projects designed and built on a very large scale so that construction has often continued for many years, thus prolonging the adverse impacts created by those projects;

4. It is in the interests of the health, safety, and welfare of the citizens of Belvedere to place a reasonable time limit on the duration of each construction project, so as to balance the needs of the owner of the project with those of his neighbors and the community generally in the safe and peaceful enjoyment of their properties;

5. The time limits adopted in this section allow an adequate and reasonable amount of time for the kinds of construction projects undertaken in the City; and

6. Because of the large monetary value of many of the construction projects in the City, substantial penalties should be imposed upon persons who violate the time limits imposed pursuant to this chapter, so as to encourage compliance with such time limits and achieve the purposes of this section.

B. Construction Time Limit Required. As part of any application for design review, the applicant shall file a reasonable estimate of the cost of the proposed construction, and based thereon, a construction time limit shall be established for the project in accordance with the guidelines set forth in subsection B of this section. Compliance with such time limit shall become a condition of design review approval. The time for completion of the construction shall also be indicated on the building permit. Within twelve months following the original approval of design review for the construction, the applicant may apply for an extension of the established time limit as provided in subsection D of this section, provided that no construction activity has yet commenced on the project.

C. Time Limit Guidelines. Except where a longer time period is approved pursuant to subsection D of this section, the maximum time for completion of new construction shall not exceed the following:

1. For new construction, the demonstrable value of which is estimated to be less than or equal to five hundred thousand dollars: twelve months from the commencement of work following the issuance of the building permit;

2. For new construction, the demonstrable value of which is estimated to be more than five hundred thousand dollars: eighteen months from the commencement of work following the issuance of the building permit;

3. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at less than or equal to one hundred thousand dollars: six months from the commencement of work following the issuance of the building permit;

4. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at less than or equal to five hundred thousand dollars: twelve months from the commencement of work following the issuance of the building permit;

5. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at more than five hundred thousand dollars: eighteen months from the commencement of work following the issuance of the building permit.

D. Extension of Construction Time Limit.

1. Within twelve months following the original approval of design review for the construction, and provided that no construction activity has yet commenced on the project, the applicant may apply for an extension of the established construction time limit, not to exceed an additional six months.

2. An application for an extension of the construction time limit shall be accompanied by complete working drawings for the construction, a written explanation of the reasons for the requested extension, and a fee, as established by city council resolution.

3. Within 10 working days of receipt of a complete application for extension, said application shall be reviewed by a committee consisting of the city's building official, the city planner, and the city engineer, meeting together with the project contractor, architect, and, at the applicant's option, the applicant and/or any other representatives of the applicant. At the completion of such review, the committee shall make a recommendation to the planning commission whether to approve the requested extension.

4. The committee's recommendation shall be placed on the next available planning commission agenda and noticed as an amendment to the applicant's existing design review approval. Any modification by the planning commission of the original construction time limit shall not extend the existing expiration date of the design review approval.

E. Effect of Failure to Comply With Timeline. 1. Upon failure of the applicant to complete construction by the established time limit, the building official shall issue a compliance order setting a date not more than thirty days from the date of such order, within which time the applicant shall complete the construction, and advising that the following penalties shall be imposed if the applicant fails to comply with said order:

a. For the initial 60 days that the project remains incomplete beyond the compliance order deadline: a penalty of Four Hundred Dollars (\$400) per day;

b. For the next 60 days (i.e. the 61st through the 120th day) beyond the compliance order deadline during which the project remains incomplete: an additional penalty of Six Hundred Dollars (\$600) per day; and

c. For any additional days (i.e. the 121st and subsequent days) beyond the compliance order deadline during which the project remains incomplete: an additional penalty of Eight Hundred Dollars (\$800) per day, up to an overall maximum penalty of One Hundred Thousand Dollars (\$100,000).

2. New construction shall be deemed completed for purposes of this section upon the issuance by the city of an occupancy permit. A remodel shall be deemed completed for purposes of this section upon final building inspection approval.

3. The applicant shall be notified in writing of the amount of any penalty imposed pursuant to this section. Notice shall be served as provided in section 1.14.040 of this Code. Service shall be deemed complete upon mailing or posting as required in that section.

4. A penalty imposed pursuant to this section may be appealed to the city council on the ground that the applicant was unable to comply with the construction time limit for reasons beyond the control of the applicant and/or his or her representatives. For purposes of this section, "reasons beyond the control of the applicant and/or his or her representatives" shall include, but not be limited to, labor stoppages, acts of war or terrorism, and natural disasters. For purposes of this section, "reasons beyond the control of the applicant and/or his or her representatives" shall not include delays caused by the winter rainy season, the use of custom and/or imported materials; the use of highly specialized subcontractors; significant, numerous, and/or late design changes, access difficulties associated with the site, or by failure of materials suppliers to provide said materials in a timely manner.

5. An appeal shall be filed in writing with the city clerk within ten (10) calendar days from the date of service of the notice of the penalty, with payment of an appeal fee as established by city council resolution. The city council shall hold a hearing on the appeal and shall affirm or modify the penalty.

6. Any penalty finally imposed pursuant to this section shall constitute a lien on the applicant's property, to be imposed, recorded and satisfied as provided in sections 1.14.160 through 1.14.190 of this Code."

SECTION 3. Effective Date. This Ordinance shall take effect and be in force thirty (30) days after the date of its passage and within fifteen (15) days following its passage, the same shall be posted in two (2) public places within the City of Belvedere showing the names of the members voting for and against the same.

INTRODUCED AT A PUBLIC HEARING on December 10, 2001, and adopted at a regular meeting of the Belvedere City Council of the City of Belvedere, held on January 7, 2002, by the following vote:

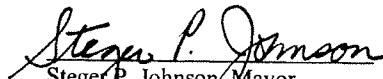
AYES: Berg, Pearson, Sams, Wiley, and Mayor Johnson

NOES: None


ABSTAIN: None

ABSENT: None

APPROVED:


Steger P. Johnson, Mayor

ATTEST:


Edmund H. San Diego, City Clerk

FILE COPY



CITY of BELVEDERE

450 San Rafael Avenue • Belvedere CA 94920

December 17, 2019

POSTED ON JOB SITE

Susan C Kelly Revocable Trust
3100 Maplewood Rd
Woodland MN 55391-2644

Subject: Compliance Order
1 Belvedere Avenue — Assessor's Parcel Number 060-141-08

Dear Susan C Kelley Rev Trust:

The purpose of this letter is to inform you our records show that Construction Permits No 2017-269 issued to you or your contractor on 12/5/17 for a residential remodel at your property were supposed to be finalized no later than December 14, 2019.

The City Council adopted the construction timeline ordinance in 1999 and revised it several times in response to numerous complaints from residents about noise, dust and traffic congestion from construction projects that had continued for years. A copy of the applicable Belvedere Municipal Code Section, 20.04.035, is enclosed.

By this Compliance Order I am notifying you that prescriptive fines will begin January 14, 2020, if the project has not been finalized by then. Fines are assessed at the rate of \$600 per day for the initial 60 days the project remains incomplete beyond the deadline; \$900 per day for the next 60 days (the 61st through the 120th day) beyond the deadline; and \$1,200 for any additional days up to an overall maximum penalty of the lesser of 10% of the project valuation or \$300,000. This is the only notice you will receive that fines will begin on that date.

If you incur a penalty, you will be served with a notice of the amount to pay. Such a penalty may be appealed to the City Council, but only if you are unable to comply for reasons beyond your control as set forth in Subsection 20.04.035E4 of the enclosed ordinance. Appeals must be filed with the City Clerk, in writing, within ten calendar days from the date the notice of fine is mailed by the City. For more on the appeal process, please refer to the enclosure.

If you have any questions about this Compliance Order, you may contact me at (415) 435-3838 between 9 a.m. and 4:30 p.m. Monday through Thursday.

Sincerely,

Brian Van Son CBO
Building Official

Enclosure: Section 20.04.035, BMC – OLD CODE
Proof of Service
Copy of Permits

Cc: Jungsten Construction
495 Miller Avenue
Mill Valley CA 94941



CITY OF BELVEDERE

450 San Rafael Avenue λ Belvedere, CA 94920
Tel: 415 / 435-3838 λ Fax: 415 / 435-0430 www.cityofbelvedere.org

CONSTRUCTION TIME LIMIT (CTL) CLARIFICATION FOR CONSTRUCTION PROJECTS IMPOSED WITH A CTL AND ASSEMBLY BILL 1561

KELLY SUSAN C REVOC TRUST
SUSAN C KELLY/TR/
3100 MAPLEWOOD RD
WOODLAND MN 553912644

Hello Building Permit Holder,

Recently, there has been uncertainty regarding the Construction Time Limit (CTL) for construction projects and the impact of Assembly Bill 1561 on project timelines. This letter is intended to clarify and answer any questions you may have regarding your project's construction timeline.

As you are aware, the City of Belvedere imposes a time limit for all construction projects meeting the criteria set forth in Belvedere Municipal Code (BMC) section 20.04.035, found here; <https://ca-belvedere2.civicplus.com/DocumentCenter/View/451/2004?bidId=>. Pursuant to this code section, any construction project subject to Design Review, should the proposed cost of construction be greater than \$50,000, a six (6), twelve (12), or eighteen (18) month timeline for project completion was assessed to the Building Permit. The amount of time assessed to the project is dependent on the proposed project valuation, with a six-month timeline being implemented for a project valued at \$50,000-\$100,000, a twelve-month timeline for a project valued at \$100,001-\$500,000, and an eighteen-month timeline for projects valued greater than \$500,001.

In response to the ongoing COVID-19 pandemic, the State of California approved/passed Assembly Bill 1561, found here: https://leginfo.legislature.ca.gov/faces/billTextClient.xhtml?bill_id=201920200AB1561, that provided an additional eighteen (18) months to certain timelines for construction projects affected by the pandemic.

The Assembly Bill does not extend timelines for all building permits and/or Planning Dept. entitlements that were active during the pandemic. There are specific criteria that must be met for the extension to be applied to your project. The extension is valid for construction projects with unexpired time limits as of March 4, 2020. These timelines must also expire prior to December 31, 2021.

If a project timeline expired prior to the March 4, 2020 date, that project will not be provided the AB 1561 extension. Due to your CTL timeline expiring prior to March 4, 2020, your project at 1 Belvedere Ave., BP # 2017-269, will not be awarded the CTL relief provided by AB 1561, and will be evaluated in accordance with BMC 20.04.035. Because the project was required to have been completed prior to the

start of the pandemic date in AB 1561 (March 4, 2020), and penalties were already accruing prior to the Statewide shutdown, it does not qualify for the extension.

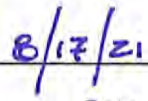
Please note that you may appeal any project penalties imposed pursuant to pursuant to BMC section 20.04.035.

Should there be any questions, or if further clarification is needed, please do not hesitate to contact Building Official Brian Van Son at bvanson@cityofbelvedere.org or 415-435-8918.

Sincerely,



Brian Van Son, CBO



Date

FILE COPY



CITY of BELVEDERE

450 San Rafael Avenue • Belvedere CA 94920-2399

June 7, 2022

VIA CERTIFIED MAIL

POSTED AT JOB SITE

Kelly, Susan C Revoc Trust
3100 MAPLEWOOD RD
WOODLAND MN 553912644

Re.: Notice of Penalty for Exceeding Construction Time Limit
Address, AP#060-141-08

Dear Susan C Kelly Revoc Trust:

As you are aware, your construction project failed to comply with our timeline for construction projects. Pursuant to Section 20.04.035 of the Belvedere Municipal Code, "Time limits for construction," a fine has been imposed of \$400 per day for the initial 60 days, a fine of \$600 per day for the subsequent 60 days (i.e. the 61st through the 120th day), and a fine of \$800 per day for the subsequent 60 days (i.e. the 121st and thereafter), up to an overall maximum penalty of the lesser of 10% of the project valuation or \$200,000.

**THE AMOUNT NOW DUE IS TWO HUNDRED THOUSAND DOLLARS
(\$200,000.00). YOUR PAYMENT IS DUE WITHIN SIXTY (60)
CALENDAR DAYS OF THE DATE OF THIS LETTER.**

If you believe you were unable to comply for reasons beyond your control, as set forth in Subsection 20.04.035E4, you may appeal to the City Council. Your appeal must be filed in writing with the City Clerk by June 17, 2022. There is no form to fill out, however, please state in your letter the specific grounds for your appeal and enclose a check or money order for the appeal-processing fee of \$400.00. For more information on the appeal process, please refer to Section 20.04.035 and Chapter 1.14 of the Belvedere Municipal Code (copies enclosed).

Please do not hesitate to contact us if you have any questions.

Sincerely,

A handwritten signature in blue ink, appearing to read "Brian Van Son".

Brian Van Son, CBO
Building Official

Enclosures: Section 20.04.035, BMC
Chapt. 1.14, BMC
Proof of Service



1111 Broadway, 24th Floor
Oakland, CA 94607-4036

T: 510.834.6600
F: 510.834.1928

www.wendel.com
amorrisson@wendel.com

RECEIVED

June 17, 2022

JUN 17 2022

City of Belvedere

HAND DELIVERED

City Clerk
City of Belvedere
450 San Rafael Avenue
Belvedere, CA 94920-2399

**Re: Appeal of Notice of Penalty for Construction Time Limits
1 Belvedere Avenue (APN 060-141-08)**

Dear Madam Clerk:

Wendel Rosen LLP represents Susan Kelley as the Trustee of the Susan C. Kelley Revocable Trust ("Client") in connection with the entitlement and remodel/construction of her residence at 1 Belvedere Avenue in Belvedere, California ("Project"). We are in receipt of the Notice of Penalty Exceeding Construction Time Limit issued by the City dated June 7, 2022 and sent to our Client via certified mail.

Pursuant to Belvedere Municipal Code ("BMC") section 20.04.035 (F)(1), this appeal is timely filed within ten (10) calendar days from the date of service, which was June 7, 2022.

The basis for the appeal is as follows.

The Project was issued a Building Permit on June 14, 2018 and commenced on June 18, 2018, pursuant to Construction Permits No. 2017-269, with demolition and removal of an existing residence that lasted 25 (twenty-five) days. Excavation and construction of the Project began on August 14, 2018.

Prior to issuance of the Construction Permits, on April 10, 2018, our Client, by and through her contractor, Jungsten Construction, submitted a request to add an additional 6 months to the Project's construction permit ("Jungsten Extension Request"). A copy of the Jungsten Extension Request is attached as Attachment "1". The request for an extension was withdrawn by our Client, however, based upon representations by Building Division staff that the request would likely delay the construction start given that the application for an extension would take months to process and was likely not to be granted in any event. Instead, our Client proceeded to commence construction in June of 2018 in an effort to meet the City's 18-month construction timeline as set forth in BMC section 20.04.035 (D)(5).

The City's policy relative to completion of complex residential construction projects within 18 months is misguided. Belvedere is topographically and geologically challenging and many construction projects, as we understand it, do not come close to meeting the 18-month schedule required by the City's Time Limit for Construction ordinance ("Ordinance"). Our Client's project is a perfect example of how conditions and circumstances encountered in the field, during construction, could not be anticipated prior to issuance of the building permit.¹ For example, during excavation for the foundation, the Project encountered geologic issues which resulted in the following:

- evaluation and redesign of foundation elements resulting in a 49 (forty-nine) calendar day delay;
- additional shoring resulting in a 27 (twenty-seven) calendar day delay; and
- further re-evaluation, design, and shoring required by geotechnical and structural engineers for support of Belvedere Ave which resulted in a 39 (thirty-nine) calendar day delay.

These geologic issues form the basis for an extension pursuant to BMC section 24.04.035 (D) (7) (a), (b) and (c).

In addition to the reasons set forth above and in the Jungsten Extension Request, we also request the City consider the fact that, on March 4, 2020, Governor Gavin Newsom issued a proclamation of a State of Emergency due to the COVID-19 pandemic. Such proclamation remains in effect. Following issuance of the proclamation on March 19, 2020, all non-essential construction activities within the state were suspended for a 60-day period of time. Even after construction-related activities were allowed to resume on May 17, 2020, the Project continued to suffer from a lack of laborers, contractors and sub-contractors needing to quarantine and impacts associated with the well-known supply chain issues, all of which were outside of our Client's control and which impacted the ability of the Project to complete within the 18-month timeframe.

Additional factors to be considered in the appeal which were completely beyond the control of the Project were 4 (four) days' worth of Bay Area Air Quality Management District Air Quality Index unhealthy work days due to fires in the fall of 2019 in which workers were not permitted to work due to the unhealthy air quality conditions. Additionally, the Project also suffered from an additional estimated 60 (sixty) calendar days delay resulting from PG&E as a direct result of fires in the fall of 2019. These are factors to be considered pursuant to BMC section 20.04.035 (F) (4) (b) (f).

¹ Although the Ordinance provides for a mid-construction request for a 6 month extension of time to complete at BMC section 20.04.035 9D) (5), our Client opted not to make such a request given the Building Division staff's response to the initial Jungsten Extension Request, which was that such a request was likely not to be granted.

Brian Van Son
June 17, 2022
Page 3

WENDEL ROSEN LLP

It is unconscionable that the City would propose to extract \$200,000 from property owners constructing a residence that will most certainly, upon completion, provide property tax income for the City. While the Ordinance is well-intentioned in that it seeks to ensure a timely completion of residential construction projects, both the timeframes required by the Ordinance, as well as the amount of the penalty, are unreasonable and, frankly, usurious.

Enclosed herewith please find a check made payable to the City of Belvedere in the amount of \$400.00. We look forward to the opportunity to meet with the appeals committee to discuss our request to eliminate the proposed penalty.

Very truly yours,

WENDEL ROSEN LLP



Amara L. Morrison

ALM/lmj

cc: Nancy Miller PlanningSecretary@cityofbelvedere.org
Brian Van Son bvanson@cityofbelvedere.org
Client
Jeff Jungsten

Encl: Check for \$400 Appeal Fee

Brian Van Son
June 17, 2022
Page 4

WENDEL ROSEN LLP

ATTACHMENT 1



495 Miller Avenue
Mill Valley, CA 94941
License #: 549463

Tel 415.381.3162
Fax 415.381.3165
www.jungsten.com

4/10/18

Project address: 1 Belvedere ave

Re: extension of permit construction time limit.

To whom it may concern:

We are requesting an additional 6 months on our permit for the following reasons:

- 1) There is an extreme demand on the construction industry and a shortage of labor and materials due to the recent fire storms in the North Bay and in the southern half of the state. With over 6000 homes destroyed in the North Bay alone the demand for contractors, subcontractors, craft persons, suppliers, and materials has impacted the entire construction industry, and will continue to do so for the next several years.**
- 2) The timeline needed to procure subcontractor quotes and contracts has increased due to the extreme conditions created by the North Bay fires which has created the need to extend all timelines in the construction industry. Before the fires requests for subcontractor quotes were typically turned around in 2 weeks, now the process takes 6 to 8 weeks.**
- 3) The 1 Belvedere structure site has steep topographical challenges that can only be handled by a certain level of contractor and these contractors are very busy. The timeline to organize this select group of tradespersons has grown exponentially due to the increasing demands from the North Bay fire reconstruction and is a real consideration for this request to allow more time in our construction schedule.**
- 4) Responding to the needs of the neighborhood and the fire department, we are building a fire truck parking area on Belvedere Ave at the top of the site. This complex construction is a large part of the site work and will require that the only access to the house construction site be restricted or closed for a long period of time. This alone will impact and extend the project schedule by 3 months.**
- 5) Due to the limited access of the site and no accommodation for additional access points to the site the ability to staff the project with multiple tradespersons is hampered. This is true for many properties in Belvedere, thus the timeline to construct complex residential construction should be looked at in tandem with the scale of the project and the site conditions. This along with the weekend and holiday work schedule restrictions limits productivity by 20%. However we do understand this consideration for the neighborhood and the importance to keep a good balance between work hours and quiet time.**
- 6) This outlook on trades and timelines is expected to get worse as the reconstruction in the North Bay gets into high gear over the next 5 years. This is all compounded with the increase in fees this year (35%) for going beyond the 18 month build time allotted in the permit. We are requesting an additional 6 months on the permit for 1 Belvedere due to the factors above.**

CITY OF BELVEDERE

RESOLUTION NO. 2022-XX

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF BELVEDERE
AFFIRMING CONSTRUCTION TIME LIMIT SUBCOMMITTEE
PENALTY RECOMMENDATION FOR 1 BELVEDERE AVE.**

WHEREAS, Susan C. Kelly Revocable Trust are the owners of real property located at 1 Belvedere Ave. in Belvedere; and

WHEREAS, in 2017 the Planning Commission approved a construction project for 1 Belvedere Ave. with an 18 month Construction Time Limit (“CTL”), which expired December 14, 2019; and

WHEREAS, on January 8, 2019, the City Council approved an 8-week CTL Extension based on construction-related delays from the effects of the Santa Rosa fire; and

WHEREAS, on April 13, 2020, the City Council approved CTL relief based on construction-related delays from the effects of the COVID-19 pandemic; and

WHEREAS, the applicant appealed the CTL penalty that was heard by the CTL Appeal Committee on October 10, 2022; and

WHEREAS, the CTL Appeal Committee recommended that the \$200,000 CTL penalty be upheld because the time lost due to construction delays did not effectively address the length of time needed to complete the project; and

WHEREAS, Belvedere Municipal Code section 20.04.035(F)(4) provides that the City Council may affirm, reduce, or remove a CTL penalty if the time limit was exceeded for reasons beyond the applicant’s control which include, but are not limited to, factors such as unusual obstacles of the site topography, limited site access, and neighborhood considerations; and

WHEREAS, on October 10, 2022 the City Council held a duly noticed public hearing regarding the CTL penalty and voted to affirm the CTL Appeal Committee’s recommendation to uphold the CTL penalty of \$200,000.

WHEREAS, the City Council’s decision is excepted from the California Environmental Quality Act (“CEQA”) as the CTL penalty reduction does not constitute a “project” subject to CEQA analysis.

NOW, THEREFORE, BE IT RESOLVED that:

1. Pursuant to Belvedere Municipal Code section 20.04.035(F), and based on substantial evidence in the record and based on the findings set forth above incorporated herein, the City Council of the City of Belvedere affirms and adopts the recommendation of the CTL Appeal Committee to uphold the CTL penalty of \$200,000.
2. The property owner shall hold the City of Belvedere and its officers, employees, volunteers, and any similarly situated persons, harmless in the event of any legal action, claim, or dispute related to or arising from this Resolution, shall cooperate with the City in the defense of any such action with counsel selected by the City in its sole discretion, and shall fully indemnify the City for any award of damages and/or attorneys’ fees and associated costs that may result.

PASSED AND ADOPTED at a regular meeting of the Belvedere City Council on October 10, 2022, by the following vote:

AYES:

NOES:

RECUSED:

APPROVED: _____
Sally Wilkinson, Mayor

ATTEST: _____
Acting City Clerk

Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication in whole or part is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

GENERAL IRRIGATION NOTES

EQUIPMENT

1. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN SHRUB OR GROUND COVER AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS 2" ABOVE FINISH GRADE.
2. ALL POP-UP TYPE SPRINKLER HEADS INSTALLED IN TURF AREAS SHALL BE INSTALLED SO THAT THE TOP OF THE SPRINKLER HEAD IS FLUSH WITH ADJACENT SIDEWALK OR CURB.
3. ALL SPRINKLER HEADS SHALL BE SET PERPENDICULAR TO FINISH GRADE OF THE AREA TO BE IRRIGATED UNLESS OTHERWISE DESIGNATED ON THE PLANS.
4. ALL SPRINKLERS SHALL BE INSTALLED WITH A 'CHECK VALVE' TO PREVENT DRAINAGE FROM SPRINKLER HEAD WHEN THE SPRINKLER IS OFF. DRAINAGE OF IRRIGATION WATER THROUGH SPRINKLER HEADS WILL NOT BE ALLOWED.
5. THE SPRINKLER SYSTEM DESIGN IS BASED ON THE MINIMUM EQUIPMENT OPERATING PRESSURE OF 64 PSI AND THE MAXIMUM FLOW OF 10.10 GPM AS SHOWN ON THE IRRIGATION DRAWINGS AT THE METER OR POINT OF CONNECTION. THE IRRIGATION CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE IRRIGATION POINT OF CONNECTION TO THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT PRESSURE DIFFERENCES ARE NOT REPORTED PRIOR TO THE START OF CONSTRUCTION, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
6. 120 VOLT ELECTRICAL POWER OUTLET AT THE AUTOMATIC CONTROLLER LOCATION SHALL BE PROVIDED BY OTHERS. IT SHALL BE THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO MAKE THE FINAL HOOK-UP FROM THE ELECTRICAL OUTLET TO THE AUTOMATIC CONTROLLER.
7. ALL MASTER VALVES/FLOW SENSORS MUST BE SET UP PRIOR TO IRRIGATION CONTROLLER CERTIFICATION.
8. THIS DESIGN IS DIAGRAMMATIC. ALL PIPING, VALVES, ETC. SHOWN WITHIN PAVED AREAS IS FOR DESIGN CLARIFICATION ONLY AND SHALL BE INSTALLED IN PLANTING AREAS. AVOID ANY CONFLICTS BETWEEN THE SPRINKLER SYSTEM, PLANTING AND ARCHITECTURAL FEATURES.
9. THE IRRIGATION CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRINKLER HEADS FOR OPTIMUM PERFORMANCE AND TO PREVENT OVER-SPRAY ONTO WALKS, ROADWAYS AND/OR BUILDINGS AS MUCH AS POSSIBLE. THIS SHALL INCLUDE SELECTING THE BEST DEGREE OF ARC TO FIT THE EXISTING SITE CONDITIONS AND TO THROTTLE THE FLOW CONTROL AT EACH VALVE TO OBTAIN THE OPTIMUM OPERATING PRESSURE FOR EACH SYSTEM.
10. DO NOT WILLFULLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT OBSTRUCTIONS, GRADE DIFFERENCES OR DIFFERENCES IN THE AREA DIMENSIONS EXIST THAT MIGHT NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. SUCH OBSTRUCTIONS OR DIFFERENCES SHOULD BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THAT THIS NOTIFICATION IS NOT PERFORMED, THE IRRIGATION CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY.
11. INSTALL ALL DRIP FLUSH VALVES AND DRIP INDICATORS AT HIGHEST POINT IN DRIP SYSTEM TO AVOID LOW HEAD DRAINAGE.
12. INSTALL ALL PIPE MATERIALS AND EQUIPMENT AS SHOWN IN THE DETAILS. USE TEFLON TAPE OR TEFLON PIPE DOPE ON ALL PVC MALE PIPE THREADS ON ALL SPRINKLER SWING JOINT AND VALVE ASSEMBLIES.
13. IT IS THE RESPONSIBILITY OF THE IRRIGATION CONTRACTOR TO FAMILIARIZE SELF WITH ALL GRADE DIFFERENCES, LOCATION OF WALLS, RETAINING WALLS, ETC. HE SHALL COORDINATE HIS WORK WITH THE GENERAL CONTRACTOR AND OTHER SUB-CONTRACTORS FOR THE LOCATION AND THE INSTALLATION OF PIPE SLEEVES THROUGH WALLS, UNDER ROADWAYS, PAVING, STRUCTURES, ETC.
14. IN ADDITION TO THE CONTROL WIRE SLEEVES SHOWN ON THE DRAWINGS, THE IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF CONTROL WIRE SLEEVES OF SUFFICIENT SIZE UNDER ALL OTHER PAVED AREAS.
15. CONTRACTOR SHALL PROGRAM IRRIGATION CONTROLLER TO OPERATE AS FOLLOWS POST-CONSTRUCTION: SPRAY VALVES SHALL ONLY BE TURNED ON BETWEEN THE HOURS OF 08:00 P.M. AND 6:00 A.M. BUBBLER AND DRIP VALVES CAN OPERATE AT ANY TIME.

SYSTEM PERFORMANCE VERIFICATION

1. PRE SOD/SEED INSTALLATION - CONTRACTOR TO HIRE AN IRRIGATION AUDITOR TO CONDUCT A CATCH CAN TEST OF ALL ROTOR ZONES OF SPORTSFIELD/PARK AREAS. TEST RESULTS TO BE NOTED AND RECORDED AT EACH CATCH CAN. BASED ON IRRIGATION AUDITORS REPORT, ADJUSTMENTS TO HEAD LAYOUT OR NOZZLING MUST BE MADE PRIOR TO THE INSTALLATION OF SOD OR SEED. ALL FINDINGS MUST BE SENT TO THE LANDSCAPE ARCHITECT.
2. PER MWEL0, IRRIGATION HEADS MUST BE PLACED SO THAT HARDSCAPED AREAS DRAIN TOWARD LANDSCAPED AREAS, AND WITH NO OVERSPRAY. OTHERWISE A SETBACK FROM HARDSCAPE OF 24" MINIMUM IS REQUIRED.
3. ALL LANDSCAPE AUDITS SHALL BE CONDUCTED BY A THIRD PARTY CERTIFIED LANDSCAPE IRRIGATION AUDITOR.
4. THE PROJECT APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE RESPONSIBLE LOCAL AGENCY PER MWEL0 REQUIREMENTS.

SUBMITTALS

- A. SEE THE CONTRACT GENERAL CONDITIONS FOR POLICY AND PROCEDURES RELATED TO SUBMITTALS.
 - B. PRODUCT DATA
1. SUBMIT A MINIMUM OF (3) COMPLETE LISTS OF ALL IRRIGATION EQUIPMENT TO BE USED, MANUFACTURER'S BROCHURES, MAINTENANCE MANUALS, WARRANTIES AND OPERATING INSTRUCTIONS, WITHIN 15 DAYS AFTER THE NOTICE TO PROCEED.
 - A. THIS SUBMISSION MAY BE DONE DIGITALLY AND ALL DOCUMENTS SHALL BE SUBMITTED IN ONE PDF DOCUMENT.
 2. THE SUBMITTALS SHALL BE PACKAGED AND PRESENTED IN AN ORGANIZED MANNER, IN THE QUANTITY DESCRIBED IN DIVISION 1 OF THE SPECIFICATIONS. PROVIDE A TABLE OF CONTENTS OF ALL SUBMITTED ITEMS.
 3. CLEARLY IDENTIFY ON EACH SUBMITTED SHEET BY UNDERLINING OR HIGHLIGHTING (ON EACH COPY) THE SPECIFIC PRODUCT BEING SUBMITTED FOR APPROVAL. FAILURE TO CLEARLY IDENTIFY THE SPECIFIC PRODUCT BEING SUBMITTED WILL RESULT IN A REJECTION FOR THE ENTIRE SUBMITTAL. NO SUBSTITUTIONS OF MATERIAL OR PROCEDURES SHALL BE MADE CONCERNING THESE DOCUMENTS WITHOUT THE WRITTEN CONSENT OF AN ACCEPTED EQUIVALENT BY THE OWNER'S REPRESENTATIVE.
 4. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT PRIOR APPROVAL OF THE OWNER'S REPRESENTATIVE, MAY BE REJECTED BY THE OWNER'S REPRESENTATIVE AND THE CONTRACTOR SHALL BE REQUIRED TO REMOVE SUCH MATERIALS FROM THE SITE AT THEIR OWN EXPENSE.

AS BUILT RECORD SET OF DRAWINGS

- A. IMMEDIATELY UPON THE INSTALLATION OF ANY BURIED PIPE OR EQUIPMENT, THE CONTRACTOR SHALL INDICATE ON THE PROGRESS RECORD DRAWINGS THE LOCATIONS OF SAID PIPE OR EQUIPMENT. THE PROGRESS RECORD DRAWINGS SHALL BE MADE AVAILABLE AT ANY TIME FOR REVIEW BY THE OWNER'S REPRESENTATIVE.
 - B. BEFORE FINAL ACCEPTANCE OF WORK, THE CONTRACTOR SHALL PROVIDE AN AS BUILT RECORD SET OF DRAWINGS SHOWING THE IRRIGATION SYSTEM WORK AS BUILT. THE DRAWINGS SHALL BE TRANSMITTED TO THE OWNER'S REPRESENTATIVE IN PAPER FORMAT AND AS A PDF FILE OF EACH DOCUMENT ON COMPACT DISK OR FLASH DRIVE. THE DRAWINGS SHALL INCLUDE ALL INFORMATION SHOWN ON THE ORIGINAL CONTRACT DOCUMENT AND REVISED TO REFLECT ALL CHANGES IN THE WORK. THE DRAWINGS SHALL INCLUDE THE FOLLOWING ADDITIONAL INFORMATION
1. ALL VALVES SHALL BE NUMBERED BY STATION AND CORRESPONDING NUMBERS SHALL BE SHOWN ON THE AS BUILT RECORD SET OF DRAWINGS.
 2. ALL MAIN LINE PIPE OR IRRIGATION EQUIPMENT INCLUDING SLEEVES, VALVES, CONTROLLERS, IRRIGATION WIRE RUNS WHICH DEVIATE FROM THE MAINLINE LOCATION, BACKFLOW PREVENTERS, REMOTE CONTROL VALVES, GROUNDING RODS, SHUT-OFF VALVES, RAIN SENSORS, WIRE SPLICE LOCATIONS, AND QUICK COUPLING VALVES SHALL BE LOCATED BY TWO (2) MEASURED DIMENSIONS, TO THE NEAREST ONE-HALF FOOT. DIMENSIONS SHALL BE GIVEN FROM PERMANENT OBJECTS SUCH AS BUILDINGS, SIDEWALKS, CURBS, WALLS, STRUCTURES AND DRIVEWAYS. ALL CHANGES IN DIRECTION AND DEPTH OF MAIN LINE PIPE SHALL BE NOTED EXACTLY AS INSTALLED. DIMENSIONS FOR PIPES SHALL BE SHOWN AT NO GREATER THAN A 50 FT. MAXIMUM INTERVAL.
 3. AS BUILT RECORD SET OF DRAWINGS SHALL BE SIGNED AND DATED BY THE CONTRACTOR ATTESTING TO AND CERTIFYING THE ACCURACY OF THE AS BUILT RECORD SET OF DRAWINGS. AS BUILT RECORD SET OF DRAWINGS SHALL HAVE "AS BUILT RECORD SET OF DRAWINGS", COMPANY NAME, ADDRESS, PHONE NUMBER AND THE NAME OF THE PERSON WHO CREATED THE DRAWING AND THE CONTACT NAME (IF DIFFERENT).
- C. THE OWNER SHALL MAKE THE ORIGINAL CONTRACT DRAWING FILES AVAILABLE TO THE CONTRACTOR.

CONTROLLER CHARTS:

- A. PROVIDE ONE CONTROLLER CHART FOR EACH AUTOMATIC CONTROLLER INSTALLED.
1. ON THE INSIDE SURFACE OF THE COVER OF EACH AUTOMATIC CONTROLLER, PREPARE AND MOUNT A COLOR-CODED CHART SHOWING THE VALVES, MAIN LINE, AND SYSTEMS SERVICED BY THAT PARTICULAR CONTROLLER. ALL VALVES SHALL BE NUMBERED TO MATCH THE OPERATION SCHEDULE AND THE DRAWINGS. ONLY THOSE AREAS CONTROLLED BY THAT CONTROLLER SHALL BE SHOWN. THIS CHART SHALL BE A PLOT PLAN, ENTIRE OR PARTIAL, SHOWING BUILDING, WALKS, ROADS AND WALLS. THE PLAN, REDUCED AS NECESSARY AND LEGIBLE IN ALL DETAILS, SHALL BE MADE TO A SIZE THAT WILL FIT INTO THE CONTROLLER COVER. THIS PRINT SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE AND SHALL BE PROTECTED IN LAMINATED IN A PLASTIC COVER AND BE SECURED TO THE INSIDE BACK OF THE CONTROLLER CABINET DOOR.
 2. THE CONTROLLER CHART SHALL BE COMPLETED AND APPROVED PRIOR TO ACCEPTANCE OF THE WORK.

IRRIGATION/WATERING RESPONSIBILITY

1. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR TO OPERATE THE IRRIGATION SYSTEM IN AN EFFICIENT MANNER AND TO MINIMIZE WATER WASTE. IT IS THE MAINTENANCE CONTRACTOR'S RESPONSIBILITY TO ADJUST THE SYSTEM TO APPLY WATER IN ACCORDANCE WITH PLANT REQUIREMENTS BASED ON WEATHER, SOIL, AND SITE CONDITIONS. THE IRRIGATION PROGRAM SHALL BE SCHEDULED TO MINIMIZE WATER WASTE THROUGH RUNOFF, EXCESSIVE IRRIGATION RUN TIMES, UTILIZE CYCLE SOAK SCHEDULING WHEN APPLICABLE. IT IS THE RESPONSIBILITY OF THE MAINTENANCE CONTRACTOR TO OPERATE THE IRRIGATION SYSTEM BASED ON LOCAL MUNICIPAL GUIDELINES.

IRRIGATION ACTIVATION

1. ACTIVATE IRRIGATION SYSTEM IN SPRING (OR WHEN WEATHER PERMITS). CHARGE MAINLINE IN FEBRUARY OR MARCH TO CHECK FOR LEAKS AND/OR MALFUNCTIONING VALVES.
2. TURN ON BACKFLOW PREVENTERS, OPEN GATE VALVES AND ACTIVATE BOOSTER PUMPS IF INSTALLED.
3. THE IRRIGATION CONTROLLER TO RUN MODE AND VERIFY THAT ALL PROGRAMS ARE ACTIVATED AND SET UP TO BE RUN IN SELF ADJUSTED MODE.
4. VERIFICATION AND ADJUSTMENTS. THIS INCLUDES TURNING ON EACH ZONE, MONITORING FOR LEAKS OR MALFUNCTIONING PARTS, CUTTING GRASS AWAY FROM SPRINKLER HEADS AND ADJUSTING SPRINKLERS FOR PROPER ARC AND MAXIMUM EFFICIENCY.
5. VERIFY THAT DRIP IRRIGATION IS FUNCTIONAL AND THAT DISTRIBUTION TUBING HAS NOT BEEN CUT OR BROKEN DURING NON OPERATIONAL PERIOD.
6. SERVICE, CLEAN AND ADJUST AND WEATHER SENSOR SYSTEM. THIS IS CRITICAL FOR ALL SELF ADJUSTING CONTROLLERS.
7. IF APPLICABLE SERVICE IRRIGATION BOOSTER PUMP, THIS NEED TO BE COMPLETED BY THE MANUFACTURERS CERTIFIED TECHNICIAN.
8. IRRIGATION MONITORING/LANDSCAPE WATERING
9. CHECK THE ET/WEATHER BASED SELF ADJUSTING SYSTEM PROGRAMMING, FLOW SENSOR AND MASTER VALVE OPERATION AND PROGRAMMING; ADJUST AS REQUIRED TO ENSURE PROPER OPERATION.
 10. ALL BACKFLOW PREVENTION DEVICES ARE TO BE MAINTAINED AS PER LOCAL CITY OR COUNTY CODES.
11. ALL TURF AREAS SHALL BE MONITORED TO DETERMINE THE NEED FOR SUPPLEMENTAL IRRIGATION. FREQUENCY AND DURATION OF EACH WATERING WILL BE DEPENDENT ON LOCAL WEATHER CONDITIONS. TO DETERMINE THE NEED FOR WATERING, LANDSCAPE MAINTENANCE CONTRACTOR SHALL USE A SOIL PROBE TO EXAMINE THE FIRST 6-12" OF THE SOIL PROFILE. IF THE SOIL IS COOL, DAMP AND HOLDS ITS SHAPE, WATERING IS NOT NECESSARY. PLANT MATERIAL ROOTS SHOULD BE ENCOURAGED TO ROOT AS DEEP AS POSSIBLE, THIS IS ACCOMPLISHED BY DEEP ROOT WATERING, LONGER IRRIGATION RUN TIMES AND UTILIZING CYCLE SOAK METHOD. FREQUENT SHALLOW IRRIGATION SCHEDULING IS INEFFECTIVE AND WILL ONLY PROMOTE SHALLOW ROOTING AND REQUIRE EXCESSIVE WATER WASTE.
12. GROUND COVER AND SHRUB BEDS SHALL BE WATERED USING AN AUTOMATIC IRRIGATION SYSTEM. THE ENTIRE GROUND COVER/SHRUB BED SHALL BE SOAKED TO A DEPTH TO MAXIMIZE HEALTHY PLANT ROOT GROWTH. IRRIGATION RUN TIME TO BE BASED ON IRRIGATION DEVICE PRECIPITATION RATE (NOT FLOW RATE) AND PLANT MATERIAL IRRIGATION DEMAND. (USE WUCOLS REFERENCE FOR PLANT WATERING NEEDS). IN THE EVENT OF ESTABLISHING PLANTS, OR COMPROMISED SOIL PROFILE, WATERING FREQUENCIES MAY BE ADJUSTED.
13. ESTABLISH TIME SETTINGS AND INTERVALS OF IRRIGATION WATER APPLICATION FOR EACH VALVE OF ALL IRRIGATION ZONES. MAKE ADJUSTMENTS WHEN NECESSARY TO CORRESPOND TO VARIABLE WATERING REQUIREMENTS. CHECK FOR COVERAGE AND PLUGGED EMISSION/NOZZLE DEVICES. CLEAN DEVICES AND ADJUST DEVICES WHILE MAINTAINING THE SYSTEM IN PROPER WORKING ORDER.
14. ALL AUTOMATIC CONTROLLERS WILL BE PROGRAMMED TO APPLY WATER DURING HOURS AS PERMITTED BY LOCAL TOWN, CITY OR COUNTY ORDINANCES.

IRRIGATION SYSTEM REPAIR

1. CLEANING AND ADJUSTING THE SPRINKLERS HEADS ARE THE MAINTENANCE CONTRACTOR'S RESPONSIBILITY. REPAIR AND/OR REPLACEMENT OF ANY VANDALIZED OR MALFUNCTIONING COMPONENT BEYOND MAINTENANCE CONTRACTOR'S CONTROL IS THE RESPONSIBILITY OF THE OWNER/AGENT. ANY DAMAGE CAUSED BY MAINTENANCE CONTRACTOR WILL BE REPAIRED BY MAINTENANCE CONTRACTOR AT NO COST TO THE OWNER/AGENT.
2. ALL IRRIGATION REPAIRED OR REPLACED MUST BE IN ACCORDANCE WITH THE ORIGINAL IRRIGATION DESIGN, LOCAL CITY OR COUNTY GUIDELINES AND MUST PROVIDE THE MAXIMUM EFFICIENCY AS POSSIBLE SO AS NOT TO WASTE WATER.
3. ALL DRIP SYSTEMS ARE TO BE MANUALLY FLUSHED A MINIMUM ONE TIME PER YEAR AND FILTERS TO BE CLEANED ON A REGULAR BASIS.
4. ALL DAMAGED AND REPAIRED PIPE MUST BE FLUSHED OF ALL DEBRIS. MAINTENANCE CONTRACTOR TO GUARANTEE FULL OPERATIONAL AND EFFICIENT PERFORMANCE OF REPAIRED SYSTEMS.
5. REPAIRS TO BACKFLOW PREVENTION DEVICES MUST BE CONDUCTED BY A TRAINED CERTIFIED BACKFLOW TECHNICIAN.
6. OIT IS RECOMMENDED THAT ALL IRRIGATION MAINTENANCE AND REPAIR BE PERFORMED BY CALIFORNIA LICENSED AND/OR CERTIFIED CONTRACTOR. NOT MAINTAINING IRRIGATION SYSTEMS IN AN EFFICIENT MANNER WILL RESULT IN PLANT AND LANDSCAPE DEGRADATION AND ADDITIONAL MAINTENANCE COSTS.
7. IRRIGATION SYSTEM WINTERIZATION
8. WHERE APPLICABLE, SHUT OFF AND DRAIN IRRIGATION SYSTEM(S) AT THE END OF THE IRRIGATION SEASON. TURN OFF ALL MAIN SUPPLY VALVES, OPEN ALL MANUAL DRAIN VALVES, AND BLEED VALVES ON BACKFLOW PREVENTION DEVICES. PERFORM WINTERIZATION PRIOR TO NOVEMBER 1ST.
9. IRRIGATION START UP
10. FLUSH ALL DRIP LINES AT FLUSH POINTS.
11. REMOVE AND CLEAN ALL FILTERS AND REPLACE ANY DAMAGED FILTERS.
12. CHECK THAT ALL WEATHERS SENSORS ARE FUNCTIONING AND REPLACE BATTERIES AS NEEDED.



68 LAGOON RD
BELVEDERE, CA 94920

DESIGN REVIEW 05/20/22

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Landscape Irrigation Notes

NTS

L-6.06



Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication in whole or part is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.

- Irrigation/Watering Responsibility**
 - It is the responsibility of the Maintenance Contractor to operate the irrigation system in an efficient manner and to minimize water waste. It is the Maintenance Contractor's responsibility to adjust the system to apply water in accordance with plant requirements based on weather, soil, and site conditions. The irrigation program shall be scheduled to minimize water waste through runoff, excessive irrigation run times, utilize CYCLE SOAK scheduling when applicable. It is the responsibility of the Maintenance Contractor to operate the irrigation system based on local municipal guidelines.
- Irrigation Activation**
 - Activate irrigation system in spring (or when weather permits). Charge mainline in February or March to check for leaks and/or malfunctioning valves.
 - Turn on backflow preventers, open gate valves and activate booster pumps if installed.
 - Set the irrigation controller to RUN MODE and verify that all programs are activated and set up to be run in Self Adjusted mode.
 - Site verification and adjustments. This includes turning on each zone, monitoring for leaks or malfunctioning parts, cutting grass away from sprinkler heads and adjusting sprinklers for proper arc and maximum efficiency.
 - Verify that drip irrigation is functional and that distribution tubing has not been cut or broken during non operational period.
 - Service, clean and adjust and weather sensor system. This is critical for ALL self adjusting controllers.
 - If applicable service irrigation booster pump, this need to be completed by the manufacturers certified technician.
- Irrigation Monitoring/Landscape Watering**
 - Check the ET/Weather Based self adjusting system programming. Flow Sensor and Master Valve operation and programming; adjust as required to ensure proper operation.
 - ALL Backflow Prevention Devices are to be maintained as per local city or county codes.
 - All turf areas shall be monitored to determine the need for supplemental irrigation. Frequency and duration of each watering will be dependent on local weather conditions. To determine the need for watering, Landscape Maintenance Contractor shall use a soil probe to examine the first 6-12" of the soil profile. If the soil is cool, damp and holds its shape, watering is not necessary. Plant material roots should be encouraged to root as deep as possible, this is accomplished by deep root watering, longer irrigation run times and utilizing CYLCE SOAK method. Frequent shallow irrigation scheduling is ineffective and will only promote shallow rooting and require excessive water waste.
 - Groundcover and shrub beds shall be watered using an automatic irrigation system. The entire groundcover/shrub bed shall be soaked to a depth to maximize healthy plant root growth. Irrigation run time to be based on irrigation device precipitation rate (not flow rate) and plant material irrigation demand. (Use WUCOLS reference for plant watering needs). In the event of establishing plants, or compromised soil profile, watering frequencies may be adjusted.
 - Establish time settings and intervals of irrigation water application for each valve of all irrigation zones. Make adjustments when necessary to correspond to variable watering requirements. Check for coverage and plugged emission/nozzle devices. Clean devices and adjust devices while maintaining the system in proper working order.
 - ALL automatic controllers will be programmed to apply water during hours as permitted by local town, city or county ordinances.
- Irrigation System Repair**
 - Cleaning and adjusting the sprinklers heads are the Maintenance Contractor's responsibility. Repair and/or replacement of any vandalized or malfunctioning component beyond Maintenance Contractor's control is the responsibility of the Owner/Agent. Any damage caused by Maintenance Contractor will be repaired by Maintenance Contractor at no cost to the Owner/Agent.
 - All irrigation repaired or replaced MUST be in accordance with the original irrigation design, local city or county guidelines and must provide the maximum efficiency as possible so as NOT to waste water.
 - ALL Drip systems are to be manually flushed a minimum one time per year and filters to be cleaned on a regular basis.
 - All damaged and repaired pipe MUST be flushed of all debris. Maintenance Contractor to guarantee full operational and efficient performance of repaired systems.
 - Repairs to Backflow Prevention Devices must be conducted by a trained certified backflow technician.
 - It is recommended that ALL irrigation maintenance and repair be performed by California Licensed and/or Certified contractor. Not maintaining irrigation systems in an efficient manner will result in plant and landscape degradation and additional maintenance costs.
- Irrigation System Winterization**
 - Where applicable, shut off and drain irrigation system(s) at the end of the irrigation season. Turn off all main supply valves, open all manual drain valves, and bleed valves on backflow prevention devices. Perform winterization prior to November 1st.
- Irrigation Start up**
 - Flush all drip lines at flush points.
 - Remove and clean all filters and replace any damaged filters.
 - Check that all weather sensors are functioning and replace batteries as needed.

| GPM | GPH | GPH | GPM | DEVICES / 1" VALVE | FLOW GPM |
|------|-----|-----|------|--------------------|----------|
| 0.25 | 15 | 0.5 | 0.01 | 1700 | 14.2 |
| 0.5 | 30 | 1 | 0.02 | 850 | 14.2 |
| 1 | 60 | 5 | 0.08 | 180 | 15.0 |
| 2 | 120 | 7 | 0.12 | 100 | 11.7 |
| 4 | 240 | 10 | 0.17 | 90 | 15.0 |
| 6 | 360 | 12 | 0.2 | 75 | 15.0 |
| 8 | 480 | 18 | 0.3 | 50 | 15.0 |
| 10 | 600 | 24 | 0.4 | 37 | 14.8 |
| | | 30 | 0.5 | 30 | 15.0 |
| | | 60 | 1 | 15 | 15.0 |

1" VALVE BASED ON 15 GPM MAX

| GPH | GPM | SPACING | SQUARE FOOTAGE | FLOW GPM | PRECIP RATE |
|------|--------|---------|----------------|----------|-------------|
| 0.27 | 0.0045 | 12x12 | 100 | 0.44 | 0.42 |
| 0.27 | 0.0045 | 12x18 | 100 | 0.29 | 0.28 |
| 0.27 | 0.0045 | 12x24 | 100 | 0.22 | 0.21 |
| 0.27 | 0.0045 | 18x18 | 100 | 0.19 | 0.19 |
| 0.27 | 0.0045 | 18x24 | 100 | 0.13 | 0.14 |
| 0.27 | 0.0045 | 24x24 | 100 | 0.11 | 0.1 |
| 0.4 | 0.066 | 12x12 | 100 | 0.65 | 0.64 |
| 0.4 | 0.066 | 12x18 | 100 | 0.43 | 0.43 |
| 0.4 | 0.066 | 12x24 | 100 | 0.33 | 0.32 |
| 0.4 | 0.066 | 18x18 | 100 | 0.29 | 0.29 |
| 0.4 | 0.066 | 18x24 | 100 | 0.20 | 0.21 |
| 0.4 | 0.066 | 24x24 | 100 | 0.16 | 0.16 |
| 0.6 | 0.01 | 12x12 | 100 | 0.99 | 0.96 |
| 0.6 | 0.01 | 12x18 | 100 | 0.66 | 0.64 |
| 0.6 | 0.01 | 12x24 | 100 | 0.50 | 0.48 |
| 0.6 | 0.01 | 18x18 | 100 | 0.44 | 0.43 |
| 0.6 | 0.01 | 18x24 | 100 | 0.33 | 0.32 |
| 0.6 | 0.01 | 24x24 | 100 | 0.25 | 0.24 |
| 0.9 | 0.015 | 12x12 | 100 | 1.48 | 1.44 |
| 0.9 | 0.015 | 12x18 | 100 | 0.99 | 0.96 |
| 0.9 | 0.015 | 12x24 | 100 | 0.75 | 0.72 |
| 0.9 | 0.015 | 18x18 | 100 | 0.66 | 0.64 |
| 0.9 | 0.015 | 18x24 | 100 | 0.50 | 0.48 |
| 0.9 | 0.015 | 24x24 | 100 | 0.38 | 0.36 |

INLINE FORMULA
PR= 231.1 x Emitter Flow / Emitter Spacing x Row Spacing

| GPH | GPM | Wr | Cr | # Devices | WA | Precip Rate |
|-----|-------|-----|----|-----------|-------|-------------|
| 1 | 0.017 | 1 | 1 | 1 | 3.1 | 0.51 |
| 2 | 0.033 | 1.5 | 1 | 1 | 7.1 | 0.45 |
| 5 | 0.083 | 2 | 1 | 1 | 12.6 | 0.64 |
| 7 | 0.117 | 2.5 | 1 | 1 | 19.6 | 0.57 |
| 10 | 0.167 | 3 | 1 | 1 | 28.3 | 0.57 |
| 12 | 0.2 | 3.5 | 1 | 1 | 38.5 | 0.50 |
| 18 | 0.3 | 4 | 1 | 1 | 50.2 | 0.58 |
| 24 | 0.4 | 4.5 | 1 | 1 | 63.6 | 0.61 |
| 30 | 0.5 | 5 | 1 | 1 | 78.5 | 0.61 |
| 60 | 1 | 7 | 1 | 1 | 153.9 | 0.63 |

| SOIL TYPE | Cr (FT) | SOIL TYPE | Cr (FT) | LEGEND |
|-------------|---------|------------|---------|-----------------------|
| CLAY | 1.0 | LOAM | 0.7 | Cr Soil Coefficient |
| CLAY LOAM | 1.0 | LOAMY SAND | 0.4 | TWr Total Wetted Area |
| COURSE SAND | 0.2 | SANDY LOAM | 0.6 | WA Wetted Area |
| FINE SAND | 0.3 | SILT LOAM | 0.9 | |

| SOIL TYPE | BASIC INFILTRATION RATE |
|------------|-------------------------|
| SANDY | Less than 1.5"/hr |
| SANDY LOAM | .75 - 1.25"/hr |
| LOAM | .75"/hr |
| CLAY LOAM | .40"/hr |
| CLAY | .20"/hr |

| RADIUS | CIRCUMF | TOTAL LF | FLOW RATE | TOTAL FLOW | PRECIP RATE | TOTAL FLOW/RING COUNT |
|--------|----------|----------|-----------|------------|-------------|----------------------------|
| 18" | 3.14"DIA | 9.42 | 0.6 GPH | 5 GPH | 0.96"/HR | 3 RINGS@ .6 GPH = 29 GPH |
| 30" | 3.14"DIA | 15.7 | 0.6 GPH | 9 GPH | 0.96"/HR | 4 RINGS@ .6 GPH = 47 GPH |
| 48" | 3.14"DIA | 25.12 | 0.6 GPH | 15 GPH | 0.96"/HR | |
| 60" | 3.14"DIA | 31.4 | 0.6 GPH | 18 GPH | 0.96"/HR | |
| 18" | 3.14"DIA | 9.42 | 0.9 GPH | 7.5 GPH | 1.44"/HR | 3 RINGS@ .9 GPH = 42.5 GPH |
| 30" | 3.14"DIA | 15.7 | 0.9 GPH | 13 GPH | 1.44"/HR | 4 RINGS@ .9 GPH = 69.5 GPH |
| 48" | 3.14"DIA | 25.12 | 0.9 GPH | 22 GPH | 1.44"/HR | |
| 60" | 3.14"DIA | 31.4 | 0.9 GPH | 27 GPH | 1.44"/HR | |

Formula A 96.25 x GPH / 60 / Wetted Area * Cr
Formula B 1.605 x GPH / Wetted Area * Cr

IRRIGATION MAINTENANCE



Maximum Applied Water Allowance

Enter Zip Code **94920** 26.33 Residential? **Yes**

Enter Project Information

| | |
|---------------------|--------------------|
| Project Name: | 68 Lagoon Road |
| Address: | 68 Lagoon Road |
| Meter Number: | 76828129 |
| Location/Sheet No.: | South East / L6.00 |
| Date: | 4/11/2022 |

Maximum Applied Water Allowance (MAWA)

Landscape Area: **2,444** sqft

Special Landscape Area: **41** sqft

MAWA = **30** units

Estimated Total Water Use (ETWU)

Low water use plant **2,162** sqft

Moderate water use plant **227** sqft

High water use plant **55** sqft

| Efficiency Factor | | 0.85 |
|--|------------------------------|------|
| % of Total Landscape Irrigated with Drip | Irrigation Efficiency Factor | |
| 0-33% | select | 0.75 |
| 34-66% | select | 0.80 |
| 67-100% | select | 0.85 |

ETWU = **22** units

| ETWU | Gallons: | 16,456 | Units: | 22 | AF: | 0.05 |
|-----------------|----------|---------|----------|---------|---------|---------|
| Baseline Period | Jan/Feb | Mar/Apr | May/June | Jul/Aug | Sep/Oct | Nov/Dec |
| Baseline Units | 0 | 2 | 6 | 8 | 5 | 1 |

1 unit or CCF (hundred cubic feet) = 748 gallons; 1 AF = 435.6 units
For more information please contact 415.945.1497 or see our website at MarinWater.org

MWELO CALCULATIONS

PRECIPITATION RATES & SOIL INTAKE RATES

ESTABLISHED PLANT IRRIGATION SCHEDULE

| CLIENT: | | 68 Lagoon Road | | July Eto: | | 4.80 | | Site Annual Eto: | | 26.33 | | | | | | | | | | | | | | | | |
|-------------------|------------|----------------|----------------|-----------------|--------------------|--------------|--------------|----------------------|----------------------------|---------------------------|-----------------------|--------|-----------------------|------------------|-----------|----------------------|----------|-----------|---------------------------|------------------|--|--|------|--|--|--|
| | | | | | | | | Avg Plant Factor Et: | | 0.3 | | | | | | | | | | | | | | | | |
| | | | | | | | | | | % Site Irrigation Effici: | | 0.81 | | | | | | | | | | | | | | |
| Controller | Hunter A2C | | | ET SOURCE | | | | | Wifi & Rain & Soil Sensors | | Irr Water Requirement | | Soil Type | | CLAY LOAM | | 0.4 | | % Site Irrigation Effici: | | | | 0.81 | | | |
| Zone # | Program | Plant Type | Plant Factor | ET Plant Factor | Plant Factor x Eto | Root Depth " | Shade Factor | Density Factor | Irrigation Type | Inches Precip Rate | % Dist Unif | Inches | Total Period Run Time | Valve Cycle Time | Cycles | Totals Days Per July | Zone GPM | Total GPM | Total Run Days/Yr | Total Gallons/Yr | | | | | | |
| 1 | A | Shrub | Low | 0.2 | 1.0 | 12 | 0.5 | 1 | Inline Drip | 0.38 | 0.9 | 0.22 | 11 | 11 | 1 | 8 | 2.28 | 24 | 51 | 1,219.20 | | | | | | |
| 2 | A | Shrub | Medium | 0.5 | 2.4 | 12 | 0.5 | 1 | Inline Drip | 0.38 | 0.9 | 0.56 | 18 | 18 | 1 | 12 | 1.00 | 18 | 51 | 891.23 | | | | | | |
| 3 | A | Shrub | Low | 0.2 | 1.0 | 12 | 1 | 1 | Inline Drip | 0.38 | 0.9 | 0.22 | 21 | 21 | 1 | 8 | 0.52 | 11 | 51 | 556.13 | | | | | | |
| 4 | A | Shrub | Low | 0.2 | 1.0 | 12 | 1 | 1 | Inline Drip | 0.38 | 0.9 | 0.22 | 21 | 21 | 1 | 8 | 0.46 | 10 | 51 | 491.96 | | | | | | |
| 5 | A | Shrub | Low | 0.2 | 1.0 | 12 | 1 | 1 | Inline Drip | 0.38 | 0.9 | 0.22 | 21 | 21 | 1 | 8 | 3.08 | 65 | 51 | 3,293.98 | | | | | | |
| 6 | A | Shrub | Medium | 0.5 | 2.4 | 12 | 1 | 1 | Inline Drip | 0.38 | 0.9 | 0.56 | 35 | 35 | 1 | 12 | 0.81 | 28 | 51 | 1,443.79 | | | | | | |
| 7 | A | Shrub | Medium | 0.5 | 2.4 | 12 | 1 | 1 | Inline Drip | 0.38 | 0.9 | 0.56 | 35 | 35 | 1 | 12 | 0.97 | 34 | 51 | 1,728.98 | | | | | | |
| 8 | A | Shrub | Low | 0.2 | 1.0 | 12 | 1 | 1 | Inline Drip | 0.38 | 0.9 | 0.22 | 21 | 21 | 1 | 8 | 2.95 | 62 | 51 | 3,154.95 | | | | | | |
| 9 | B | Groundcover | Low | 0.2 | 1.0 | 6 | 1 | 1 | Inline Drip | 2.57 | 0.9 | 0.22 | 2 | 2 | 1 | 12 | 3.69 | 8 | 51 | 389.01 | | | | | | |
| 10 | B | Groundcover | Low | 0.2 | 1.0 | 6 | 1 | 1 | Inline Drip | 2.57 | 0.9 | 0.22 | 2 | 2 | 1 | 12 | 7.69 | 16 | 51 | 810.69 | | | | | | |
| 11 | B | Groundcover | Low | 0.2 | 1.0 | 6 | 1 | 1 | Inline Drip | 2.57 | 0.9 | 0.22 | 2 | 2 | 1 | 12 | 4.03 | 8 | 51 | 424.85 | | | | | | |
| 12 | B | Groundcover | Low | 0.2 | 1.0 | 6 | 1 | 1 | Inline Drip | 2.57 | 0.9 | 0.22 | 2 | 2 | 1 | 12 | 10.10 | 21 | 51 | 1,064.76 | | | | | | |
| 13 | C | Tree | Low | 0.2 | 1.0 | 18 | 1 | 0.5 | Tree Rings | 1.6 | 0.9 | 0.22 | 2 | 2 | 1 | 12 | 0.71 | 1 | 51 | 60.11 | | | | | | |
| 14 | C | Tree | Medium | 0.5 | 2.4 | 18 | 0.5 | 0.5 | Tree Rings | 1.6 | 0.9 | 0.56 | 2 | 2 | 1 | 12 | 0.71 | 1 | 51 | 75.14 | | | | | | |
| 15 | C | Tree | Low | 0.2 | 1.0 | 18 | 0.5 | 0.5 | Tree Rings | 1.6 | 0.9 | 0.22 | 1 | 1 | 1 | 12 | 0.71 | 1 | 51 | 30.06 | | | | | | |
| 16 | D | Veg Garden | High Water Use | 0.8 | 3.8 | 6 | 0.5 | 1 | Inline Drip | 2.5 | 0.75 | 1.07 | 5 | 8 | 2 | 12 | 2.48 | 13 | 51 | 645.04 | | | | | | |
| Average Site % DU | | | | | | | | | | 0.89 | | 200 | Total Run Time | | | | | | | | | | | | | |

Estimated Total Water Use: Gallons **16,331.14**

IRRIGATION SCHEDULE



68 LAGOON RD
BELVEDERE, CA 94920

DESIGN 05/20/22
REVIEW

Landscape
Irrigation
Calculations

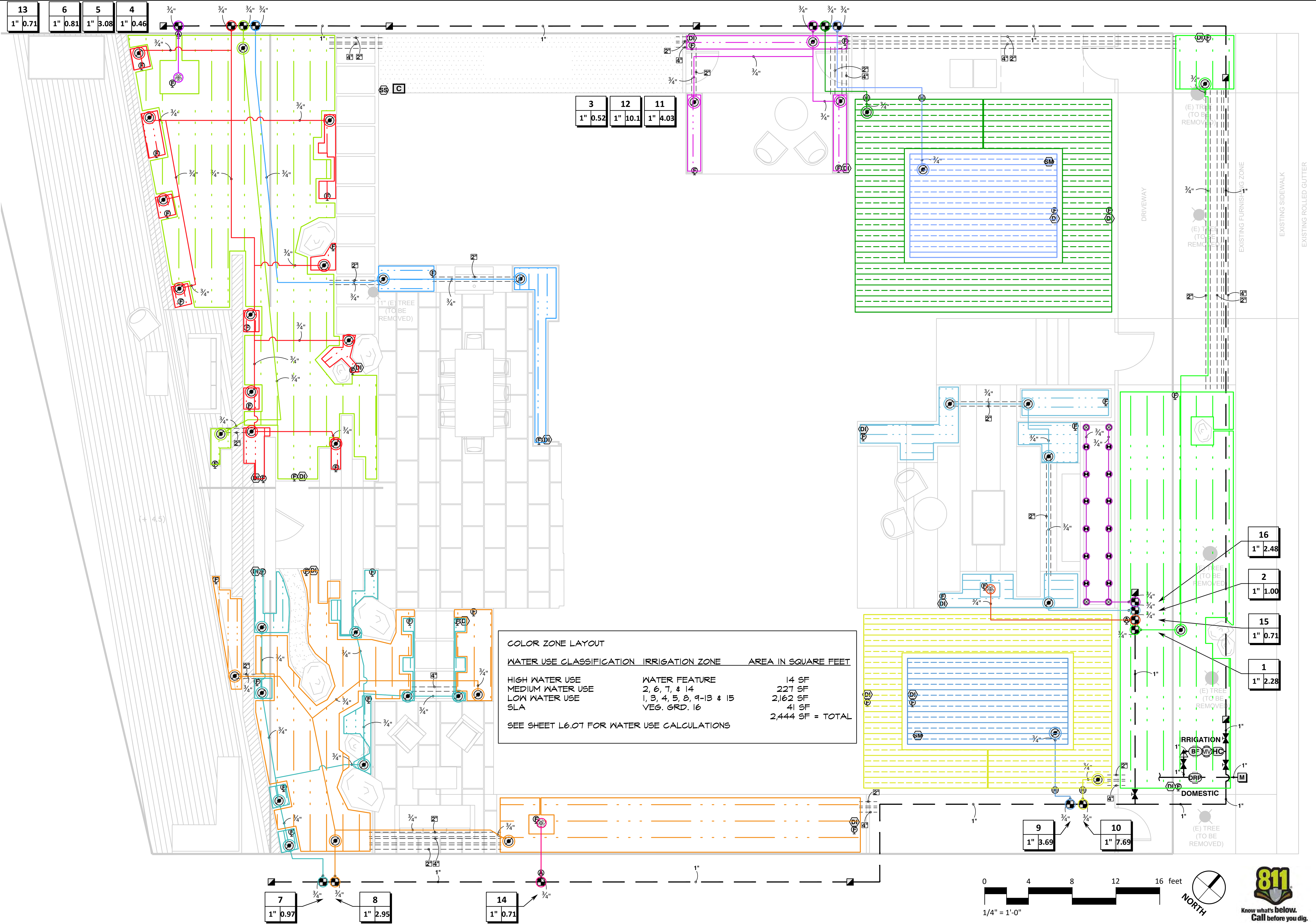


NTS

L-6.07

11 April, 2022

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COLOR ZONE LAYOUT

| WATER USE CLASSIFICATION | IRRIGATION ZONE | AREA IN SQUARE FEET |
|--------------------------|--------------------------|-------------------------|
| HIGH WATER USE | WATER FEATURE | 14 SF |
| MEDIUM WATER USE | 2, 6, 7, & 14 | 227 SF |
| LOW WATER USE | 1, 3, 4, 5, 8, 9-13 & 15 | 2,162 SF |
| SLA | VEG. GRD. 16 | 41 SF |
| | | 2,444 SF = TOTAL |

SEE SHEET L6.07 FOR WATER USE CALCULATIONS

| | | | |
|---------|---------|---------|---------|
| 13 | 6 | 5 | 4 |
| 1" 0.71 | 1" 0.81 | 1" 3.08 | 1" 0.46 |

| | | |
|---------|---------|---------|
| 3 | 12 | 11 |
| 1" 0.52 | 1" 10.1 | 1" 4.03 |

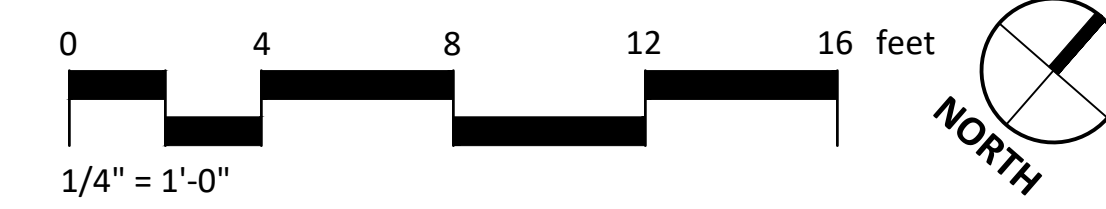
| | | | |
|---------|---------|---------|---------|
| 16 | 2 | 15 | 1 |
| 1" 2.48 | 1" 1.00 | 1" 0.71 | 1" 2.28 |

| | |
|---------|---------|
| 7 | 8 |
| 1" 0.97 | 1" 2.95 |

| |
|---------|
| 14 |
| 1" 0.71 |

| |
|---------|
| 9 |
| 1" 3.69 |

| |
|---------|
| 10 |
| 1" 7.69 |



68 LAGOON RD
BELVEDERE, CA 94920

DESIGN 05/20/22
REVIEW

Landscape
Hydrozone
Plan

1/4" = 1'-0"

L-6.08

11 April, 2022

LIGHTING SCHEDULE

| SYMBOL | FIXTURE TYPE | MANUFACTURER | COLOR/FINISH | SPECIFICATION | NOTES |
|--------|--------------|--------------------------|-------------------------|---|------------------------------|
| ☞ | WALL LIGHT | LUCIFER LIGHTING COMPANY | MATTE OIL-RUBBED BRONZE | ISL1 - 2 - MB - 27 | OR EQUAL IF APPROVED BY L.A. |
| ☞ | STEP LIGHT | LUCIFER LIGHTING COMPANY | MATTE OIL-RUBBED BRONZE | ISL1 - 2 - MB - 27 | OR EQUAL IF APPROVED BY L.A. |
| ☞ | DOWN LIGHT | TECH LIGHTING | BRONZE | 700OPIT-12-Z-LED930 | OR EQUAL IF APPROVED BY L.A. |
| ☞ | PATH LIGHT | FOREVER BRIGHT | GUN METAL | SPJ - SQ100 - 1 - GM - 2W - 125 - 2700K - 9-15V | OR EQUAL IF APPROVED BY L.A. |

LIGHTING NOTES

- LIGHTING SYMBOLS ARE APPROXIMATE LOCATIONS. CONTRACTOR TO PLACE ALL LIGHTING FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR TO PROVIDE MIN. 2'-6" CHASE ON ALL STAKE MOUNTED LIGHTS.
- CONTRACTOR TO ASSUME ONE POST-SUNSET LIGHT FOCUSING SESSION WITH LANDSCAPE ARCHITECT TO COORDINATE LOCATIONS AND FOCUSING.
- ALL TRENCHING WITHIN DRILINES OF EXISTING TREES SHALL BE DONE BY HAND. CONTRACTOR RESPONSIBLE FOR ANY DAMAGE CAUSED TO TREE HEALTH AS A RESULT OF MECHANICAL EQUIPMENT BEING OPERATED OR STORED WITHIN THE ROOT ZONE OF EXISTING TREES.
- CONTRACTOR TO INSTALL (4) 300 WATT COMPATIBLE DIMMABLE CONTROLLERS. MODEL: LZD-300-M, OR SIMILAR

LIGHTING SPECIFICATIONS

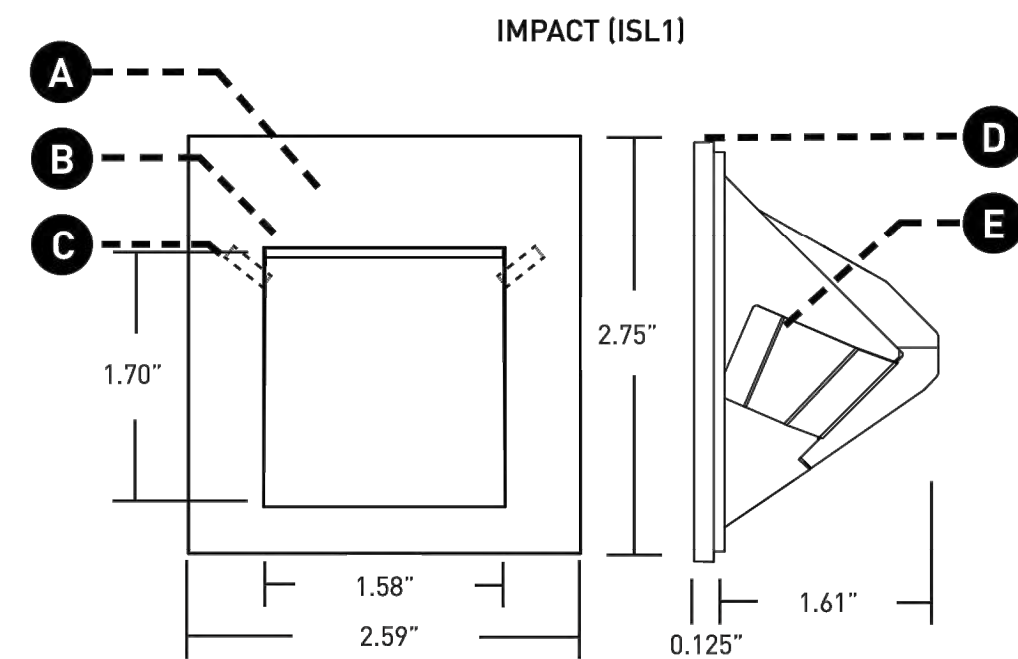
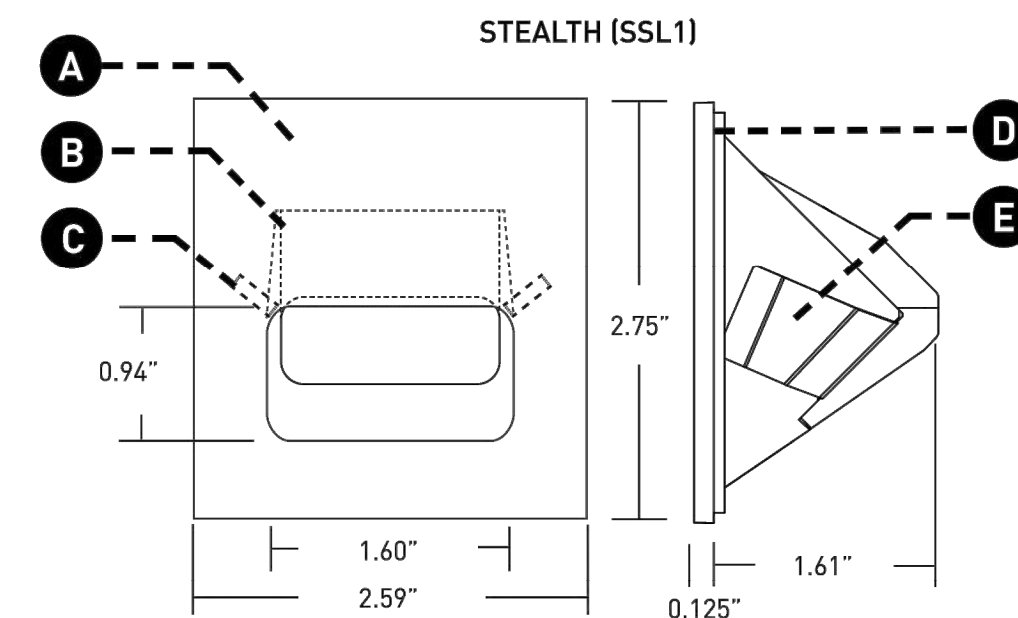
PATHLIGHTS
STEALTH AND IMPACT®

Low glare path lights lead the way through the out of doors, as built-ins or from freestanding bollards.

ORDERING INFORMATION AND DRAWINGS - FIXTURE

| FIXTURE | RATING | FLANGE FINISH | LUMEN PACKAGE | CCT |
|---|---|--|--|--|
| SSL1 Stealth Stepight ISL1 Impact Stepight | 1 Dry / Damp (Non-Locking) 2 Wet (Locking) | POWDER COAT FINISH WH White BK Black AG Aged Brass AB Architectural Bronze CF Custom Finish* <small>*Small Factory</small> | STEALTH & IMPACT BUL02B 80+ CRI, 200 Source Lumens SSL1 Delivered Lumens - 33 ISL1 Delivered Lumens - 43 | 27 2700K 30 3000K 35 3500K 40 4000K CC Custom Color (gels) Color Temp. _____ K <small>*Custom gels assigned unique suffix upon receipt of order. Contact Product Support for guidance.</small> |
| | | NATURAL FINISH IG Industrial Gray SS Brushed Stainless Steel BR Brushed Bronze NB Natural Bronze | | |
| | | PLATED FINISH CH Chrome* <small>*Increased lead time</small> PB Polished Oil-Rubbed Bronze* <small>*Increased lead time, not available for wet location</small> MB Matte Oil-Rubbed Bronze* <small>*Increased lead time, not available for wet location</small> | | |

- LED**
Regressed LED with slot aperture for glare-free, energy-efficient path and step lighting; suitable for dry / damp or wet applications. 3.4W DC LED (dimming by power supply).
 - EFFECTS DEVICES**
Provided with sealed polycarbonate linear diffusion lens; consult factory for availability of color gels, which may achieve custom color temperatures.
 - LOCKING**
Discreetly hidden tamper-resistant set screws. Included with IP65 Wet location luminaire.
 - GASKET**
Foam gasket provided. Required for IP65 wet location applications only.
 - RETENTION**
Torsion spring clips secure fixture into back box, mounting plate, or appropriately sized cut-out.
- Available with Bollard mounting, please visit WEBSITE for additional information.
- Double Impact ISL2 pathlight available, please visit WEBSITE for additional information.



LUCIFER® LIGHTING COMPANY | luciferlighting.com | ©2022 Lucifer® Lighting Company | [PH] +1-210-227-7329 | pg. 1
As part of its policy of continuous research and product development, the company reserves the right to change or withdraw specifications without prior notice. | [FAX] +1-210-227-4967



Model: **SPJ-SQ100-1**
Finish: PVD Graphite

Forever Bright

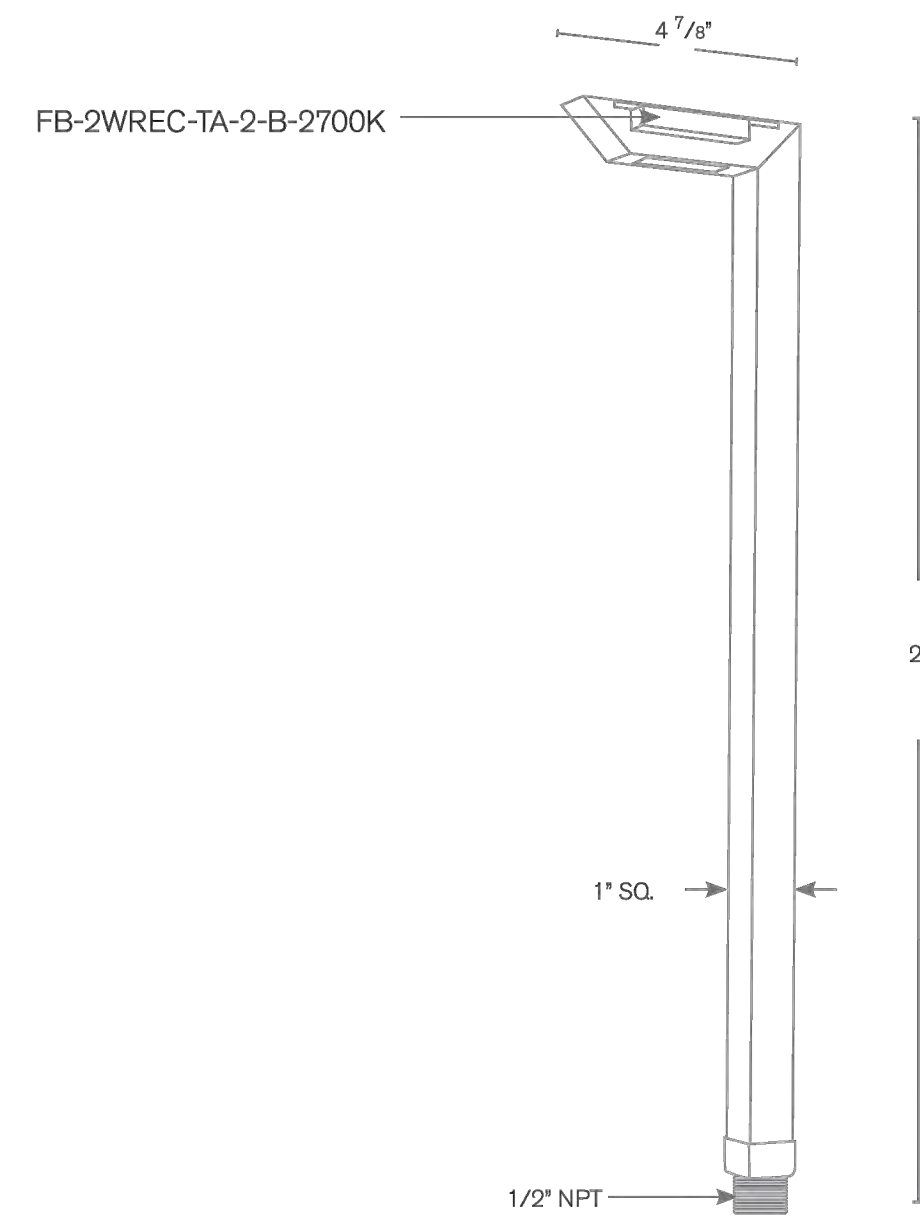
SPECIFICATION FEATURES

- Finish:** Our naturally etched finishes will withstand the test of time. All finishes are individually treated insuring consistency. Our meticulous application results in a fixture that truly becomes "a one of a kind".
- Electrical:** Available in 9-15V
- Labels:** ETL Standard Wet Label
C-ETL

Contemporary Path Light

DESCRIPTION

- Model#:** SPJ-SQ100-1
- Material:** Solid Brass
- Electrical:** 9-15V
- Engine:** FB-2WREC-TA-2-B-2700K
- Lumens:** 125
- Color Temp:** 2700K
- Mounting:** 1/2" NPT.
- LED:** Nichia



ORDERING INFORMATION

| Model# | Finishes | Wattage | Lumens | Color Temp. | Electrical |
|-------------|-------------|---------|--------|-------------------------|------------|
| SPJ-SQ100-1 | GM GUNMETAL | 2W | 125 | 2700K | 9-15V |
| | | 2W | 125 | 2700K 4000K 6500K | 9-15V |

V = Verde B = Black
M = Moss R = Rusty
AG = Aged Brass PVPD = PVD Polished
MBR = Matte Bronze PVDS = PVD Satin
RC = Raw Copper PVDG = PVD Graphite
GM = Gun Metal

WWW.SPJLIGHTING.COM

PITCH 12 WALL SCONCE



An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch 12 Wall Sconce features a die-cast metal body housing powerful LED light sources that create visual appeal as light cascades down along a wall.

- Outstanding protection against the elements:**
- Powder coat finishes
 - Stainless Steel mounting hardware
 - Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

| | |
|-----------------------|---|
| DELIVERED LUMENS | 611 |
| WATTS | 17.4 |
| VOLTAGE | 120V or 277V |
| DIMMING | ELV |
| LIGHT DISTRIBUTION | Symmetric |
| MOUNTING OPTIONS | Downlight |
| CCT | 3000K |
| CRI | 90 |
| COLOR BINNING | 3 Step |
| BUG RATING | B1-UO-GO |
| DARK SKY | Compliant |
| WET LISTED | IP65 |
| GENERAL LISTING | ETL |
| CALIFORNIA TITLE 24 | Can be used to comply with CEC 2019 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required. |
| START TEMP | -30°C |
| FIELD SERVICEABLE LED | No |
| CONSTRUCTION | Aluminum |
| HARDWARE | Stainless Steel |
| FINISH | Powder Coat |
| LED LIFETIME | L70: >60,000 Hours |
| WARRANTY* | 5 Years |

*Visit techlighting.com for specific warranty limitations and details.

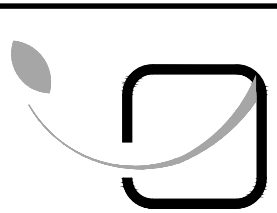


ORDERING INFORMATION

| PRODUCT | LENGTH | FINISH | LAMP |
|---------|---------|----------|-------------------------|
| 7000WPT | 12 1/2" | B BLACK | -LED930 |
| | | Z BRONZE | -LED930-277 |
| | | I SILVER | LED 90 CRI, 3000K, 120V |
| | | | LED 90 CRI, 3000K, 277V |

techlighting.com

UPDATED 6/14/22



BOXLEAF DESIGN
LANDSCAPE ARCHITECTURE
2250 BROADWAY
SUITE 200
BERKELEY, CA 94704
BOXLEAFDESIGN.COM

68 LAGOON RD
BELVEDERE, CA 94920

DESIGN 05/20/22
REVIEW

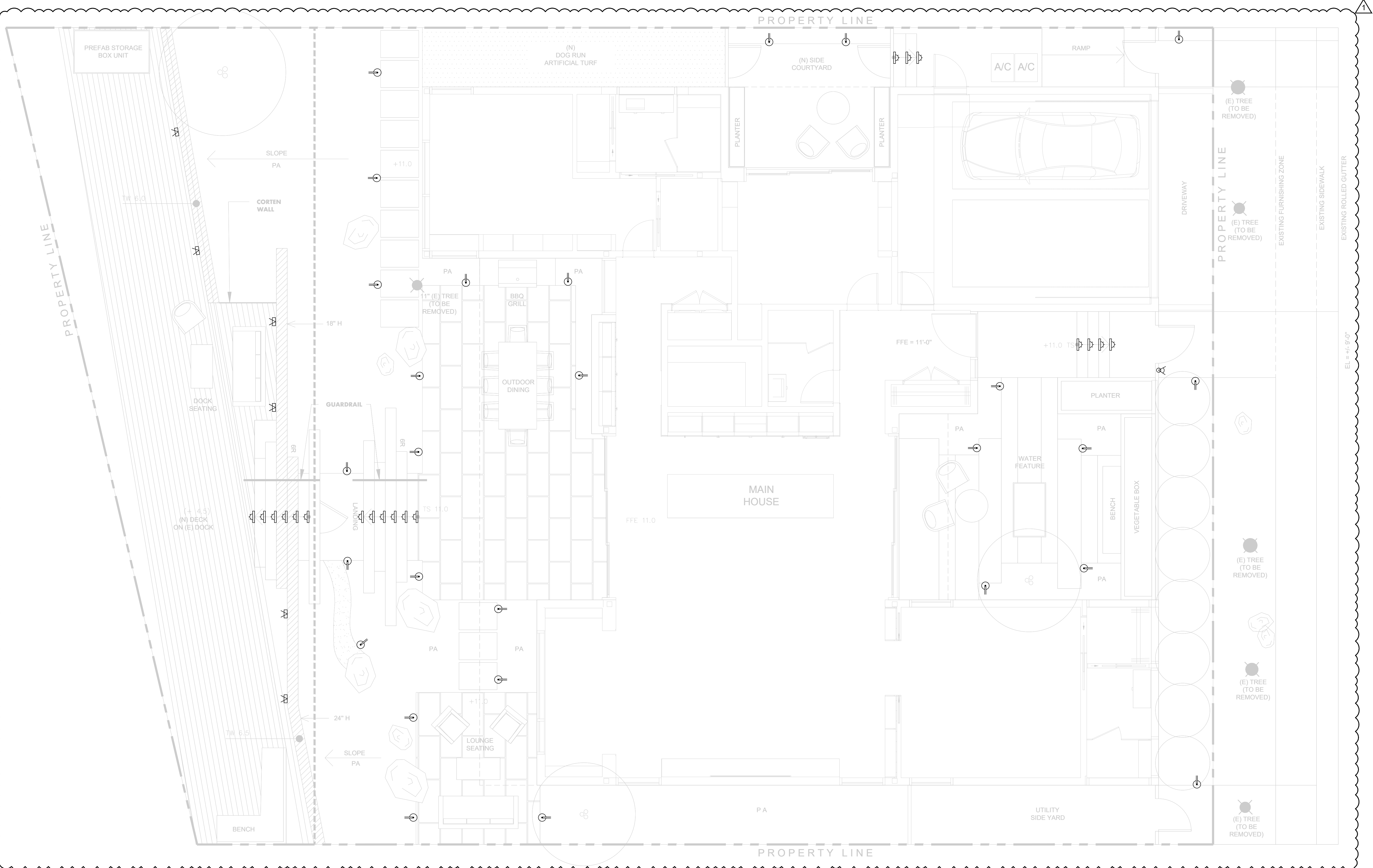
08.12.22 DR SET REV 1

LANDSCAPE
LIGHTING
SCHEDULE &
SPECS

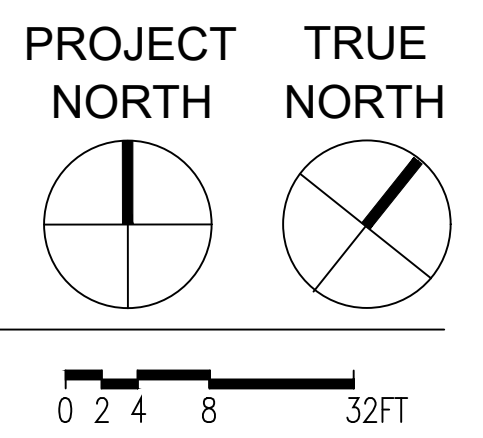
1/4" = 1'-0"

L7.00

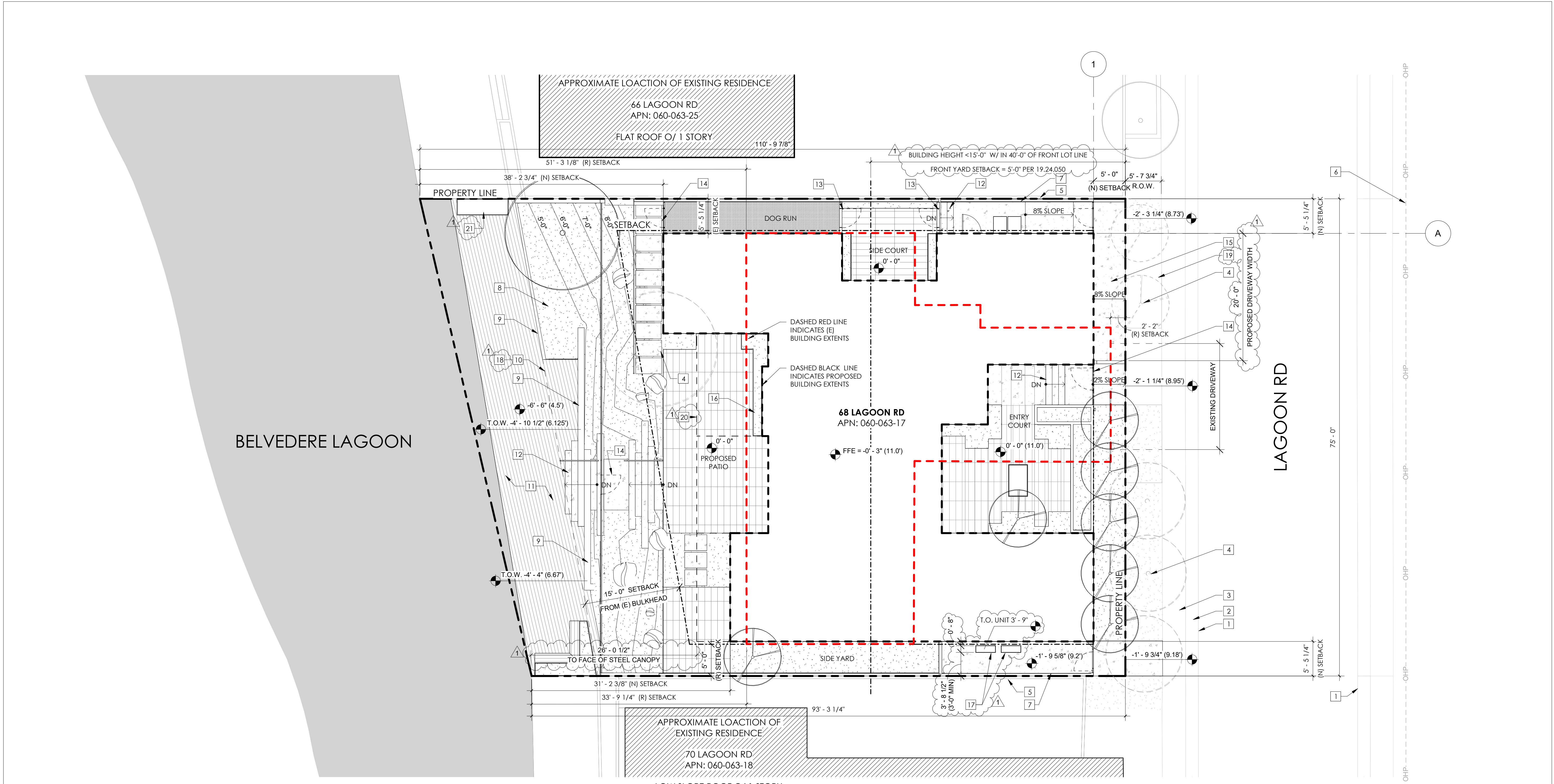
20 MAY, 2022



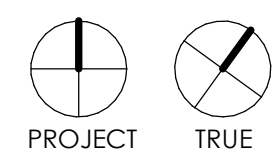
1 LIGHTING PLAN
SCALE: 1/4" = 1'-0"



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1 PROPOSED SITE PLAN
1/8" = 1'-0"



SITE PLAN GENERAL NOTES

- FOR REQUIRED PARKING SPACES, SEE FLOOR PLAN SHEET DR 2.1

SITEPLAN KEYNOTES

| NO. | NOTE | NO. | NOTE |
|-----|--|-----|---|
| 1 | (E) EDGE OF STREET PAVEMENT | 16 | STEEL PLANTER PER LANDSCAPE |
| 2 | (E) ROLLED GUTTER | 17 | HEAT PUMP / AC UNITS, DAIKIN FIT OR SIMILAR. UNITS TO BE INSTALLED NOT CLOSER THAN 3- FEET TO PROPERTY LINE AND NOT TO EXCEED 4- FEET ABOVE GRADE. UNIT OPERATIONAL NOISE OUTPUT NOT TO EXCEED 55 DECIBELS. |
| 3 | (E) SIDEWALK | 18 | HIGH WATER LINE OCCURS AT FACE OF BULKHEAD. HIGH WATER ELEVATION IS 4'-0" ABOVE NAVD88 ZERO ELEVATION. |
| 4 | (E) TREES AND PLANTING TO BE REMOVED AND REPLACED | 19 | (N) CONCRETE DRIVEWAY IN PUBLIC R.O.W. CONCRETE FINISH TO MATCH ADJACENT PAVING AT R.O.W. |
| 5 | (E) NEIGHBOR FENCE TO BE RELOCATED/REBUILT AT PROPERTY LINE. | 20 | EXTENT OF STEEL CANOPY ABOVE |
| 6 | (E) OVERHEAD LINES | 21 | (N) 18" REMOVABLE BENCH SEATING WITH INTEGRAL STORAGE. SITE FURNISHING |
| 7 | HORIZONTAL CLAD WOOD FENCE ON CONCRETE CURB WALL, 6' MAX ABOVE EXISTING GRADE | | |
| 8 | (N) PLANTINGS IN GRADED LANDSCAPE | | |
| 9 | NEW CONCRETE SEATWALL AT BULKHEAD | | |
| 10 | FACE OF (E) BULKHEAD, TO BE REPLACED | | |
| 11 | (E) DOCK TO BE RESURFACED | | |
| 12 | EXTERIOR CONCRETE STAIR 7-3/4" MAX RISE, 10" MIN RUN, HANDRAIL @ 34-38" ABOVE NOSING, TYP. | | |
| 13 | HORIZONTAL-CLAD WOOD FENCE AND GATE | | |
| 14 | STEEL SITE GATE | | |
| 15 | (N) CONCRETE DRIVEWAY | | |

SITEPLAN LEGEND

| | | | |
|--|---------------------------|--|------------------------|
| | PROPERTY LINE | | (N) DECIDUOUS TREE |
| | SETBACK LINE | | (E) TREE TO BE REMOVED |
| | PROPOSED BUILDING EXTENTS | | WOOD DECK |
| | EXISTING BUILDING EXTENTS | | LANDSCAPE PAVER |
| | WOOD FENCE | | |
| | PLANTING AREA | | |
| | CONCRETE | | |
| | LANDSCAPE PAVER | | |

DR SET 5.20.22
1 DR SET-REV 1 8.15.22

PROPOSED SITE PLAN

As indicated

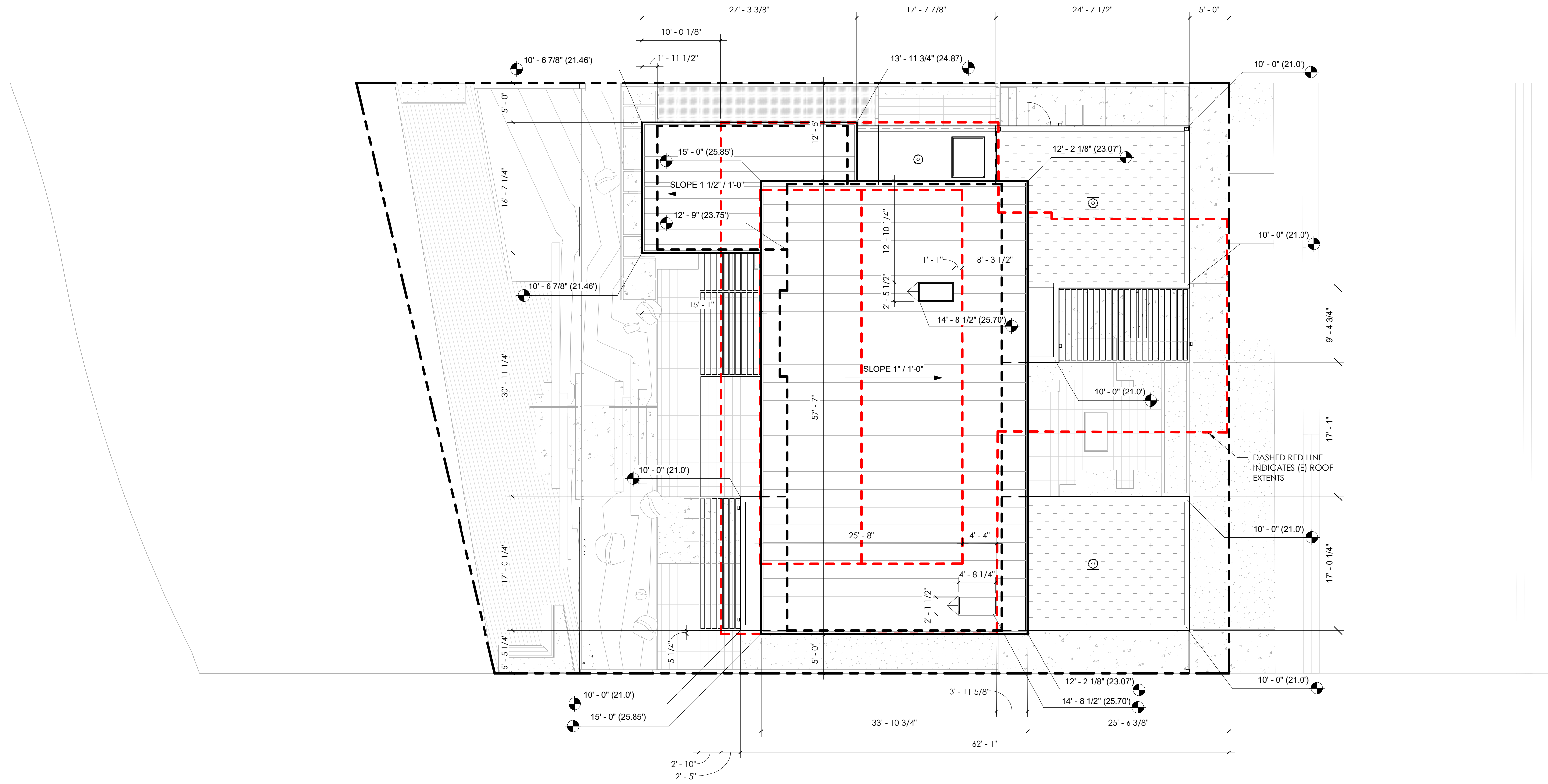
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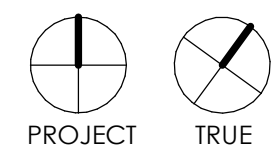
SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

68 LAGOON RD
BELVEDERE, CA 94920

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1 PROPOSED STORY POLE PLAN
1/8" = 1'-0"



STOREY POLE PLAN GENERAL NOTES

1. FOR REQUIRED PARKING SPACES, SEE FLOOR PLAN SHEET DR 2.1

STOREY POLE PLAN KEYNOTES

STOREY POLE PLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- PROPOSED BUILDING FOOTPRINT
- EXISTING BUILDING ROOF OUTLINE
- WOOD FENCE
- PLANTING AREA
- CONCRETE
- LANDSCAPE PAVER

DR SET 5.20.22

PROPOSED
STORY POLE
PLAN

As indicated

A1.1

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③ SITE PHOTO - STREET VIEW FROM SOUTH EAST
12" = 1'-0"



② SITE PHOTO - STREET VIEW FROM EAST
12" = 1'-0"



① SITE PHOTO - STREET VIEW FROM NORTH EAST
12" = 1'-0"



⑥ SITE PHOTO- SIDE YARD NORTH
12" = 1'-0"



⑤ SITE PHOTO - REAR YARD FROM DOCK
12" = 1'-0"



④ SITE PHOTO - SIDE YARD SOUTH
12" = 1'-0"



⑦ SITE PHOTO - REAR YARD FROM LAGOON
12" = 1'-0"

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sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

68 LAGOON RD
BELVEDERE, CA 94920

DESIGN REVIEW 5/20/22

SITE PHOTOS

12" = 1'-0"

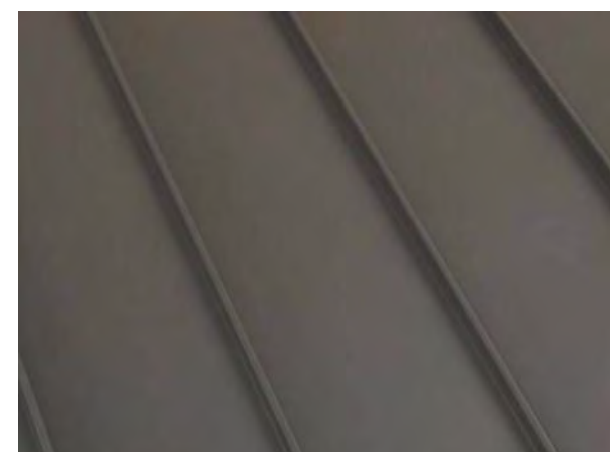
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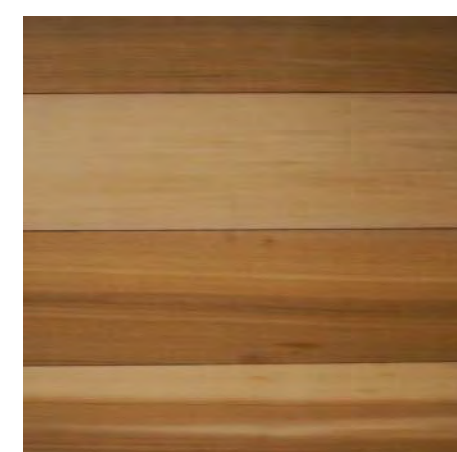
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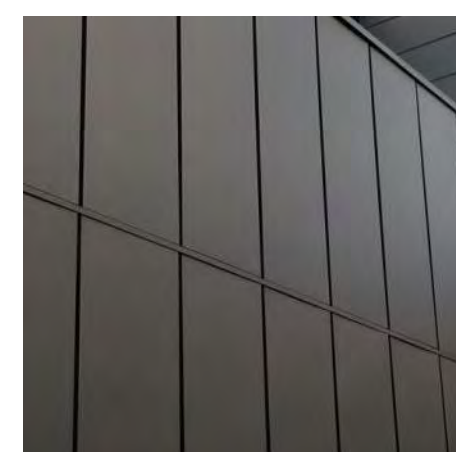
EXTERIOR MATERIAL KEY



1 ROOF MATERIAL:
STANDING SEAM METAL ROOFING
DARK BRONZE



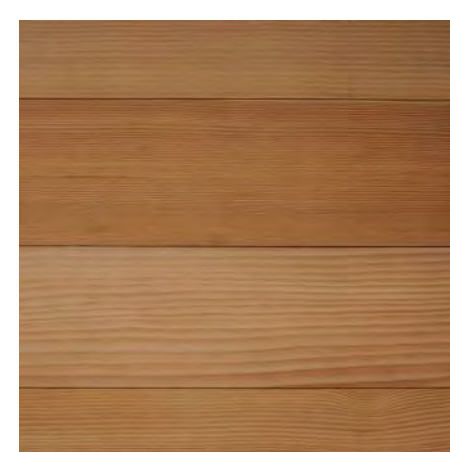
2 SIDING & SOFFIT MATERIAL:
WESTERN RED CEDAR
VERTICAL GRAIN
1X6 INSTALLED HORIZONTAL



3 SIDING MATERIAL:
ALUMINUM PANEL
DARK BRONZE



4 DOORS, WINDOWS, RAILINGS,
GATES, & TRELIS:
METAL
DARK BRONZE



5 EXPOSED RAFTERS:
DOUGLAS FIR
VERTICAL GRAIN
GLU

SUTRO ARCHITECTS

415.955.3445
sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

68 LAGOON RD
BELVEDERE, CA 94720

DR SET 5.20.22

PROPOSED
RENDERING &
MATERIALITY

1/2" = 1'-0"

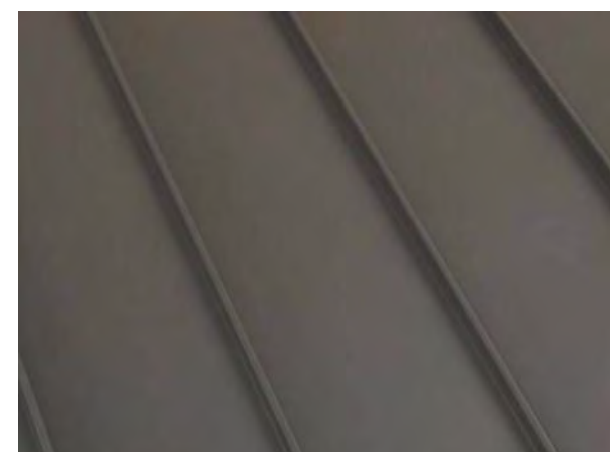
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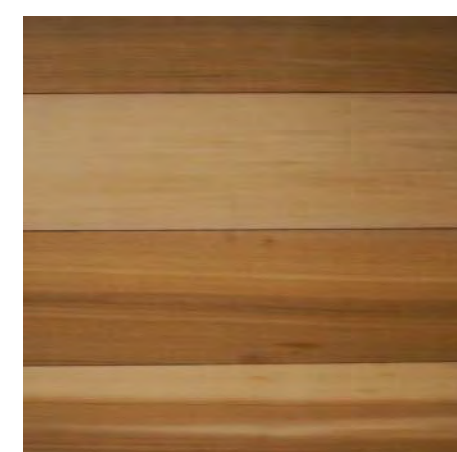
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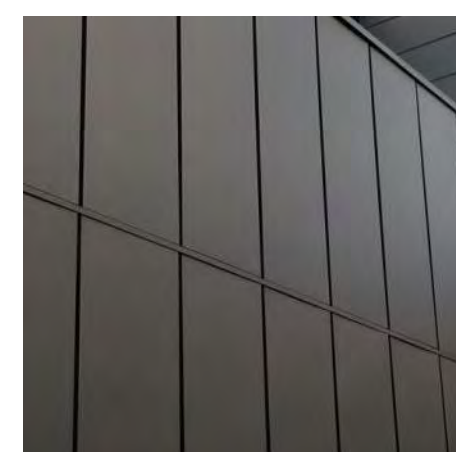
EXTERIOR MATERIAL KEY



1 ROOF MATERIAL:
STANDING SEAM METAL ROOFING
DARK BRONZE



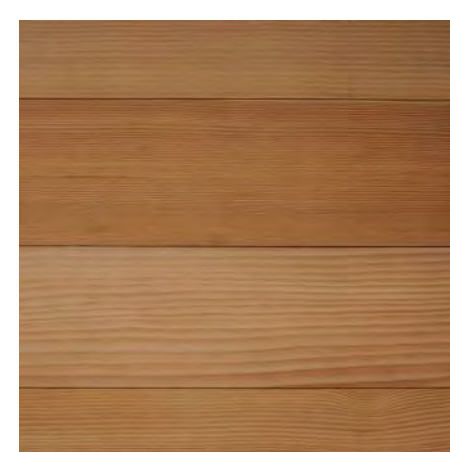
2 SIDING & SOFFIT MATERIAL:
WESTERN RED CEDAR
VERTICAL GRAIN
1X6 INSTALLED HORIZONTAL



3 SIDING MATERIAL:
ALUMINUM PANEL
DARK BRONZE



4 DOORS, WINDOWS, RAILINGS,
GATES, & TRELIS:
METAL
DARK BRONZE



5 EXPOSED RAFTERS:
DOUGLAS FIR
VERTICAL GRAIN
GLU

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68 LAGOON RD
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DR SET 5.20.22

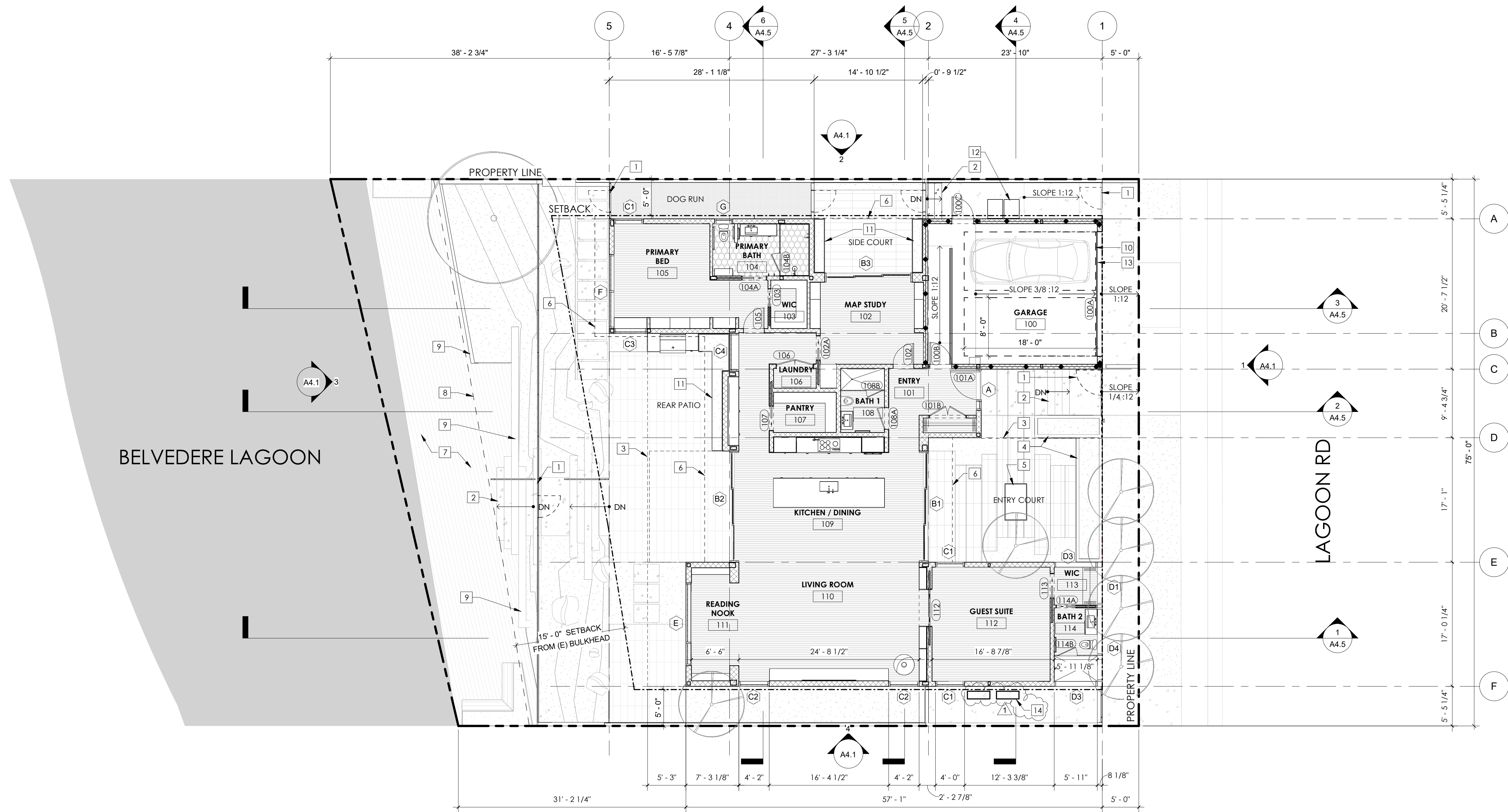
PROPOSED
RENDERING &
MATERIALITY

1/2" = 1'-0"

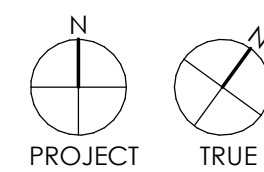
A1.6

8/15/2022 8:25:57 PM

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1 PROPOSED FLOOR PLAN
1/8" = 1'-0"



DESIGN REVIEW NOTES

- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

PLUMBING NOTES:

- DISHWASHERS SHALL BE INSTALLED WITH AN APPROVED AIR GAP PER MANUFACTURER'S INSTRUCTIONS ON THE DISCHARGE SIDE OF THE MACHINE.
- ALL HOSE BIBS SHALL BE PROTECTED WITH A LISTED NON-REMOVABLE BACKFLOW PREVENTER OR ATMOSPHERIC VACUUM BREAKER INSTALLED 6" MIN ABOVE THE HIGHEST POINT OF USAGE.
- IF A RECIRCULATING DOMESTIC HOT WATER SYSTEM IS INSTALLED, THE RECIRCULATING SECTIONS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH (R4 MIN UP TO 1 1/2" AND R6 MIN FOR 2" OR GREATER DIAMETER.)

HVAC NOTES:

- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
- VENTILATE BATHROOMS PER C.M.C. TYP. FANS TO BE ENERGY STAR PER HVI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
- RANGE HOOD FAN TO BE 100 CFM MIN.
- HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
- HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
- HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

DESIGN REVIEW KEYNOTES

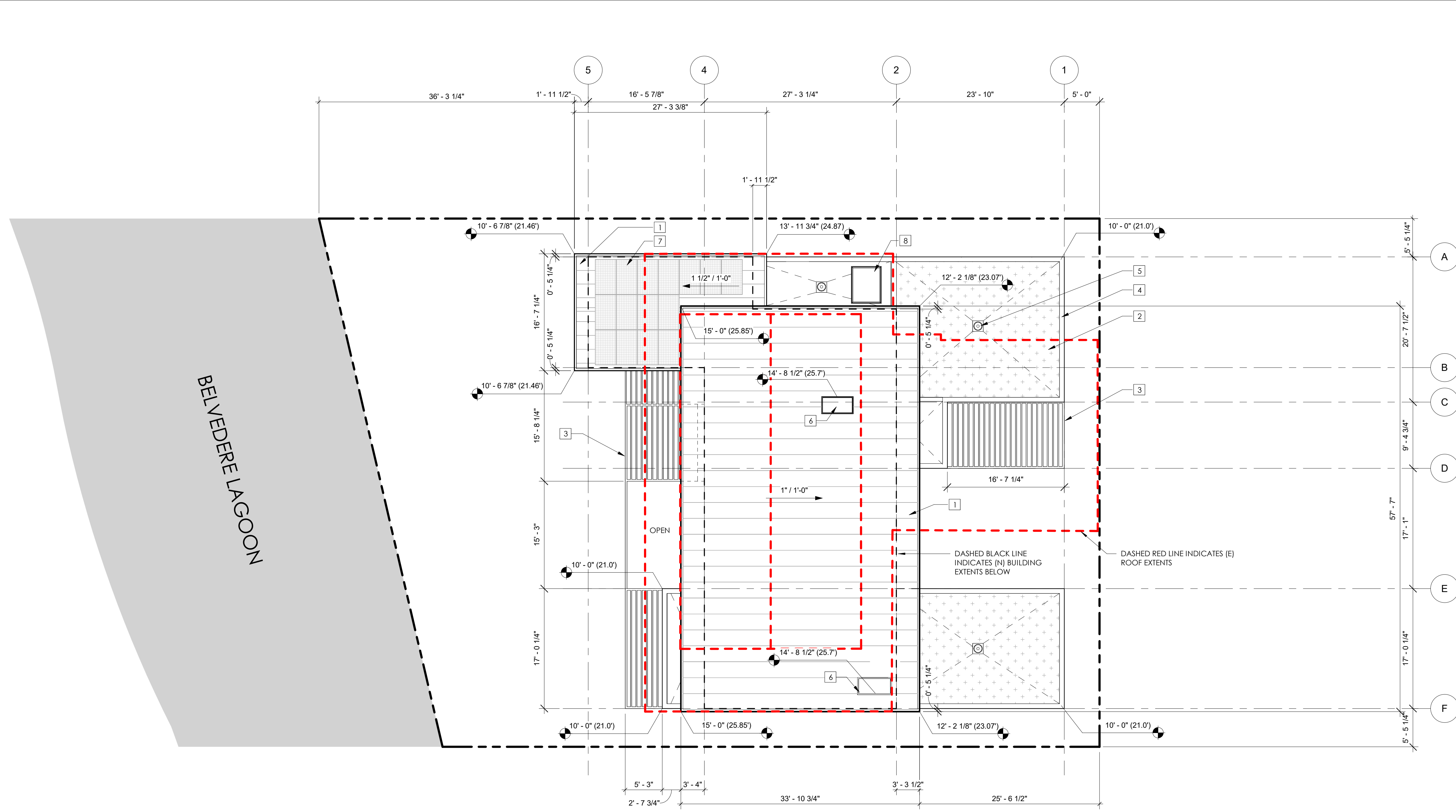
| NO. | NOTE |
|-----|--|
| 1 | STEEL ENTRY GATE |
| 2 | EXTERIOR CONCRETE STAIR 7-3/4" MAX RISE, 10" MIN RUN, HANDRAIL @ 34-38" ABOVE NOSING, TYP. |
| 3 | CANTILEVERED STEEL CANOPY/TRELLIS ABOVE |
| 4 | PLANTERS PER LANDSCAPE, W/ HORIZONTAL WOOD CLADDING TO MATCH HOUSE. PROVIDE WATERPROOFING, IRRIGATION, AND DRAINAGE @ INTERIOR |
| 5 | WATER FEATURE, PER LANDSCAPE |
| 6 | ROOF EAVE OVERHANG ABOVE |
| 7 | (E) DOCK TO BE RESURFACED |
| 8 | FACE OF EXISTING LAGOON BULKHEAD, BELOW BULKHEAD TO BE REPLACED |
| 9 | NEW CONCRETE SEATWALL AT BULKHEAD |
| 10 | (2) OFF STREET PARKING SPACES IN ENCLOSED GARAGE |
| 11 | PLANTERS, REFER TO LANDSCAPE |
| 12 | TRASH/RECYCLE |
| 13 | METAL PANEL GARAGE DOOR, DARK BRONZE |

| NO. | NOTE |
|-----|---|
| 14 | HEAT PUMP / AC UNITS, DAIKIN FIT OR SIMILAR. UNITS TO BE INSTALLED NOT CLOSER THAN 3-FEET TO PROPERTY LINE AND NOT TO EXCEED 4-FEET ABOVE GRADE. UNIT OPERATIONAL NOISE OUTPUT NOT TO EXCEED 55 DECIBELS. |

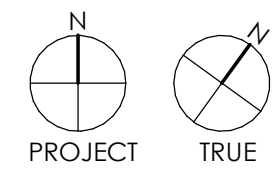
PLAN LEGEND

| | | | |
|--|-----------------|--|------------|
| | PROPERTY LINE | | WINDOW TAG |
| | SETBACK LINE | | DOOR TAG |
| | NEW WALLS | | |
| | 1-HR RATED WALL | | |
| | EGRESS ROUTE | | |
| | EGRESS ROUTE | | WOOD DECK |
| | CONCRETE | | |
| | LANDSCAPE PAVER | | |

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1 PROPOSED ROOF PLAN
1/8" = 1'-0"



DESIGN REVIEW NOTES

- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

PLUMBING NOTES:

- DISHWASHERS SHALL BE INSTALLED WITH AN APPROVED AIR GAP PER MANUFACTURER'S INSTRUCTIONS ON THE DISCHARGE SIDE OF THE MACHINE.
- ALL HOSE BIBS SHALL BE PROTECTED WITH A LISTED NON-REMOVABLE BACKFLOW PREVENTER OR ATMOSPHERIC VACUUM BREAKER INSTALLED 6" MIN ABOVE THE HIGHEST POINT OF USAGE.
- IF A RECIRCULATING DOMESTIC HOT WATER SYSTEM IS INSTALLED, THE RECIRCULATING SECTIONS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH (R4 MIN UP TO 1 1/2" AND R6 MIN FOR 2" OR GREATER DIAMETER.)

HVAC NOTES:

- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
- VENTILATE BATHROOMS PER C.M.C. TYP. FANS TO BE ENERGY STAR PER HVI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
- RANGE HOOD FAN TO BE 100 CFM MIN.
- HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
- HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
- HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

DESIGN REVIEW KEYNOTES

| NO. | NOTE |
|-----|---|
| 1 | STANDING SEAM METAL ROOFING SYSTEM |
| 2 | PLANTED ROOF SYSTEM, REFER TO LANDSCAPE FOR PLANTING PLAN |
| 3 | CANTILEVERED STEEL CANOPY/TRELLIS |
| 4 | METAL PARAPET CAP |
| 5 | ROOF DRAIN AND OVERFLOW |
| 6 | METAL PANEL EXHAUST SHROUD |
| 7 | SOLAR PANEL SYSTEM, UNDER SEPARATE PERMIT, FINAL SPACING AND LOCATION TBD |
| 8 | SKYLIGHT |

PLAN LEGEND

| | | | |
|--|-----------------|--|------------|
| | PROPERTY LINE | | WINDOW TAG |
| | SETBACK LINE | | DOOR TAG |
| | NEW WALLS | | |
| | 1-HR RATED WALL | | |
| | EGRESS ROUTE | | |
| | EGRESS ROUTE | | WOOD DECK |
| | CONCRETE | | |
| | LANDSCAPE PAVER | | |

DR SET 5.20.22

PROPOSED ROOF PLAN

As indicated

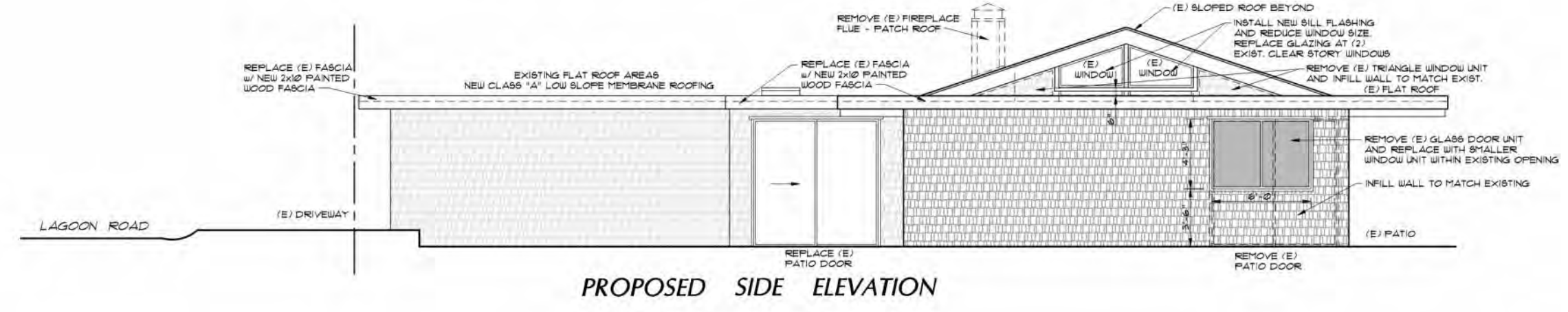
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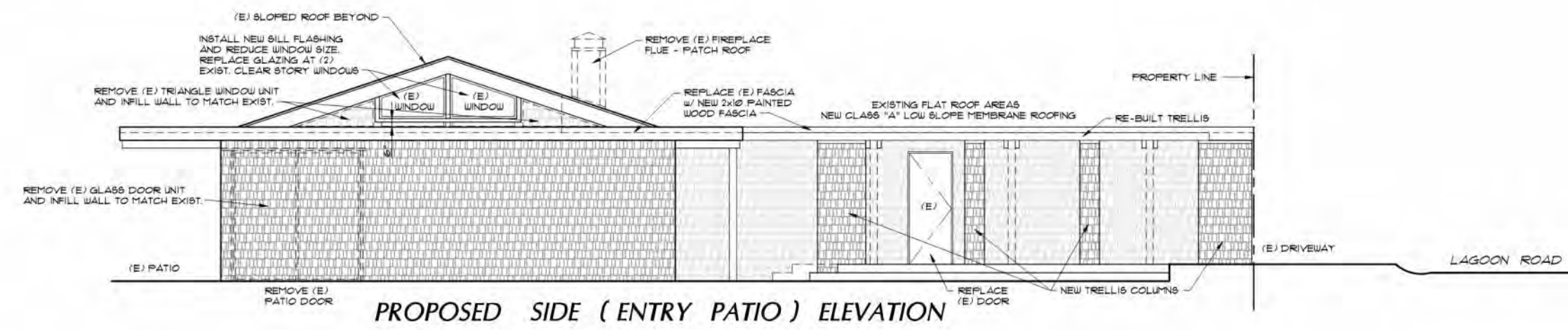
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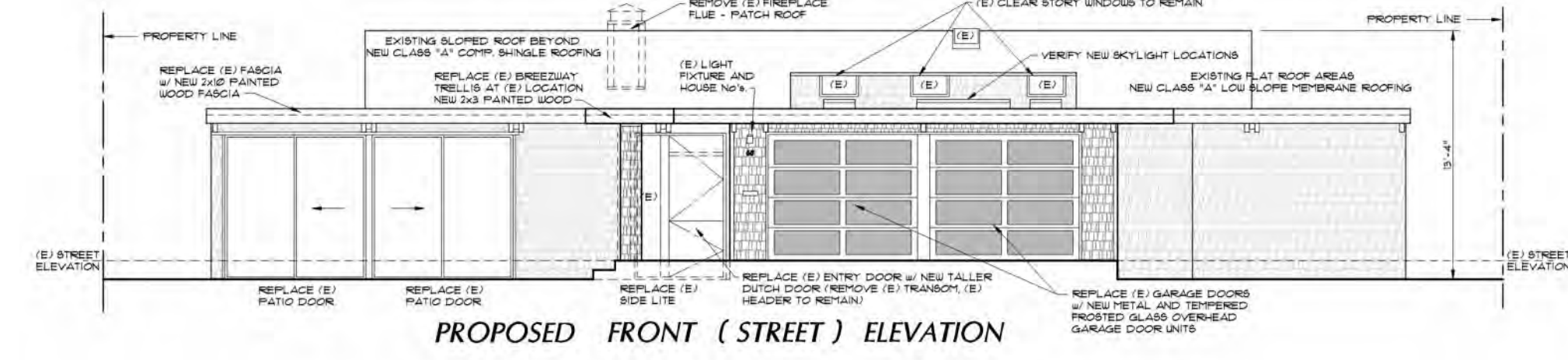
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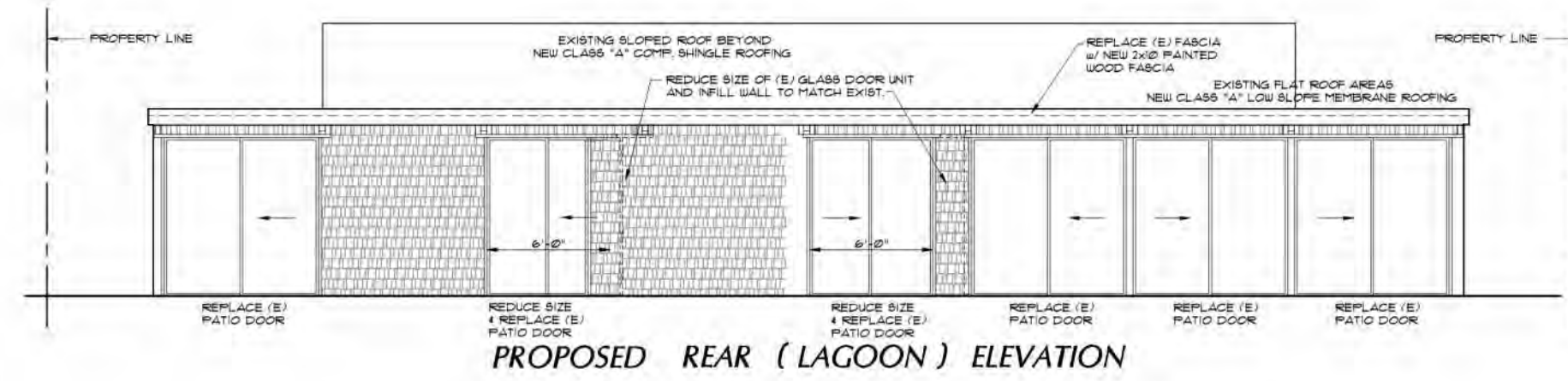
2 EXISTING ELEVATION - NORTH
1/8" = 1'-0"



4 EXISTING ELEVATION - SOUTH
1/8" = 1'-0"



1 EXISTING ELEVATION - EAST
1/8" = 1'-0"



3 EXISTING ELEVATION - WEST
1/8" = 1'-0"

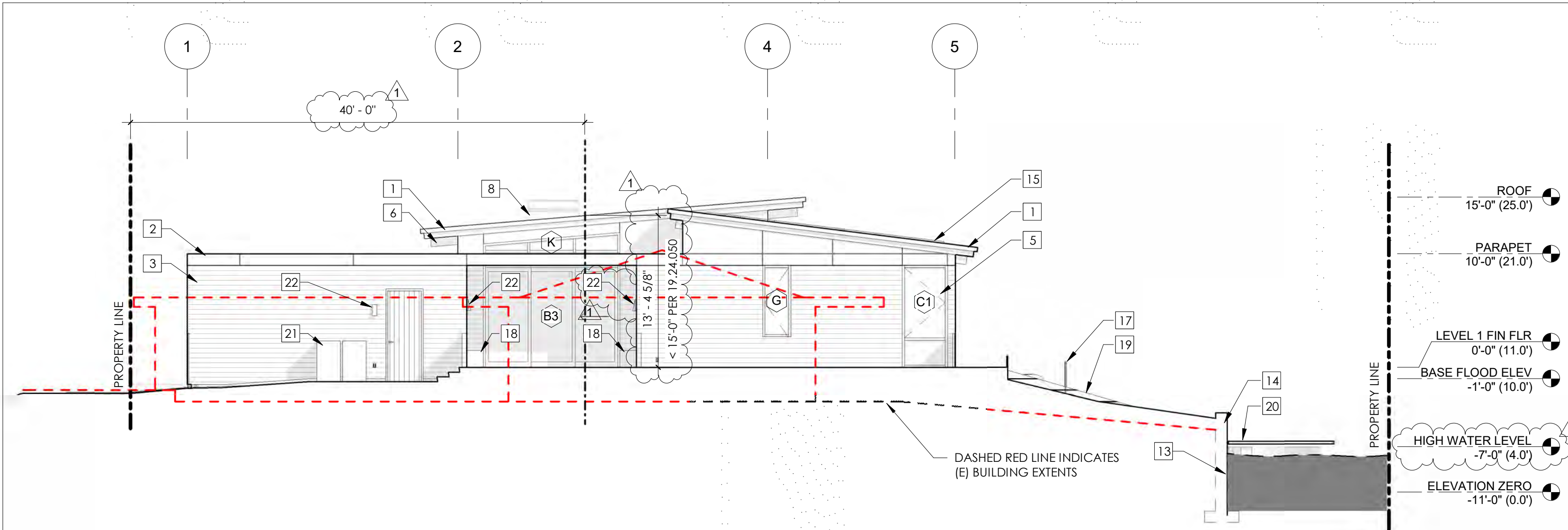
ELEVATION GENERAL NOTES

ELEVATION KEYNOTES

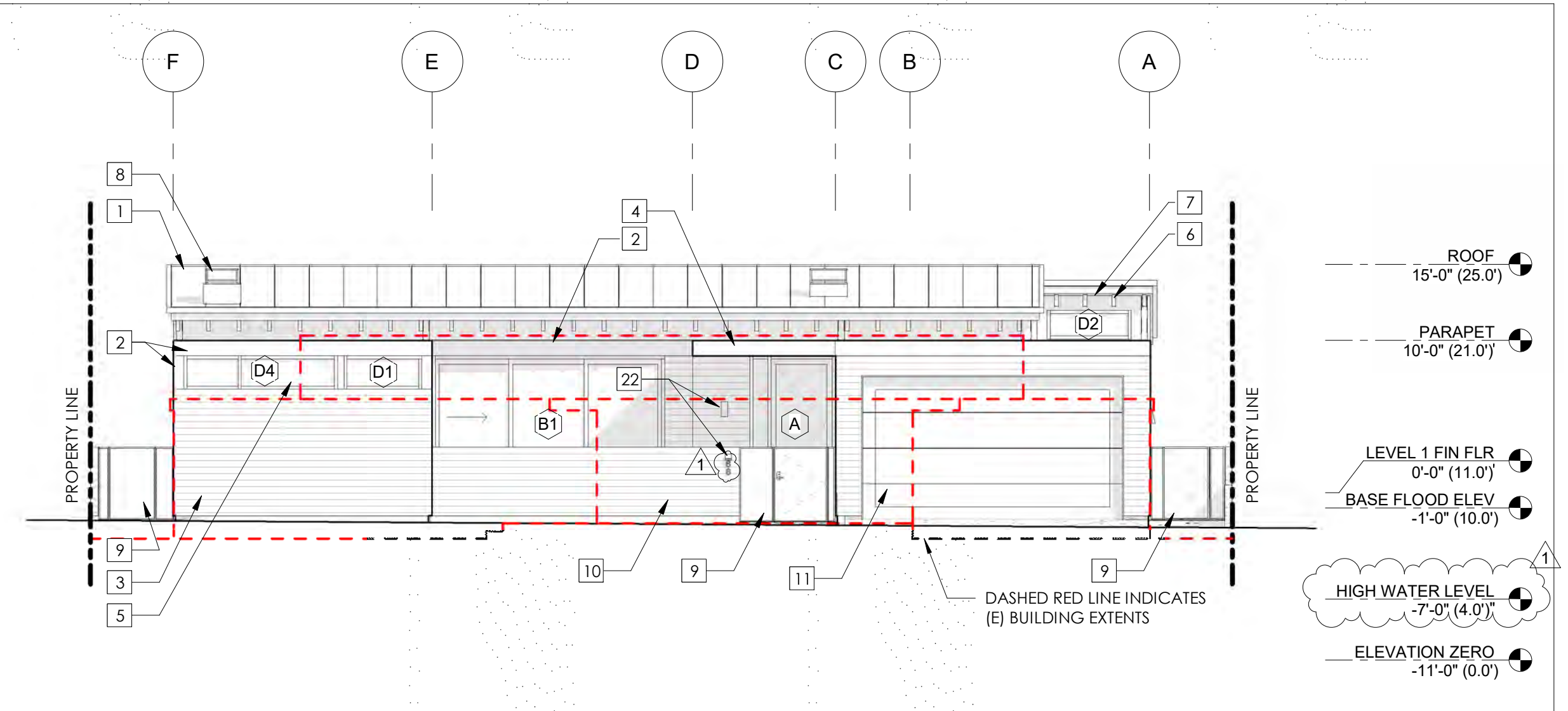
ELEVATION LEGEND

- # WINDOW TAG
- EXTENTS OF (E) BUILDING

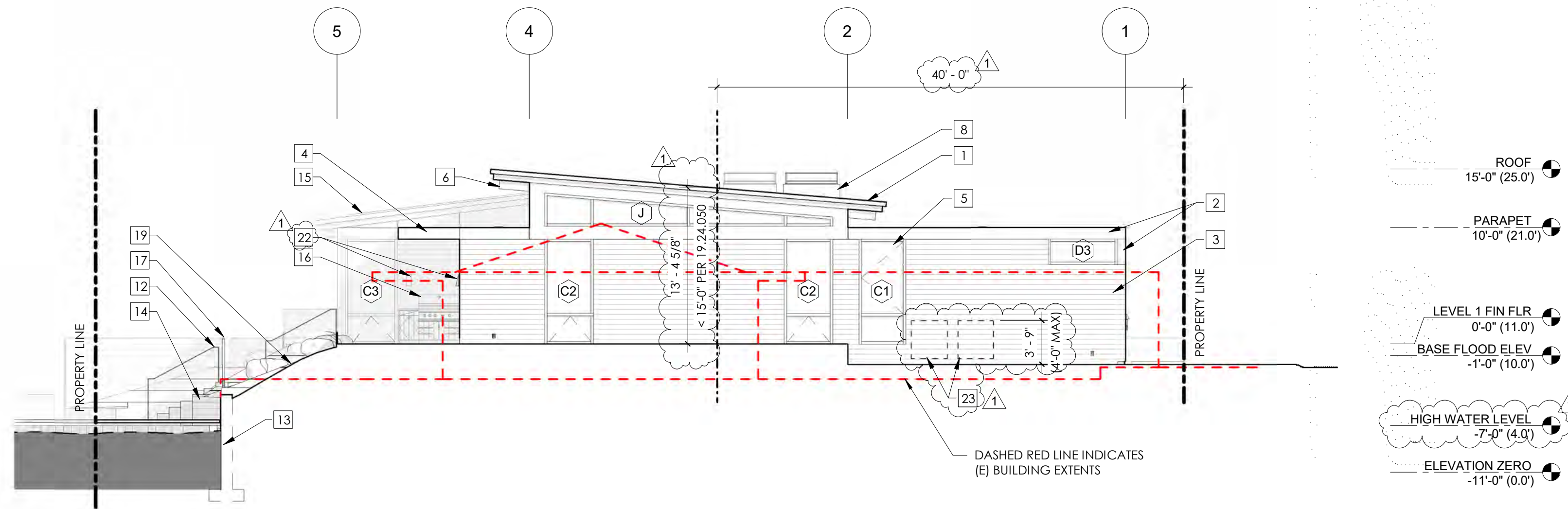
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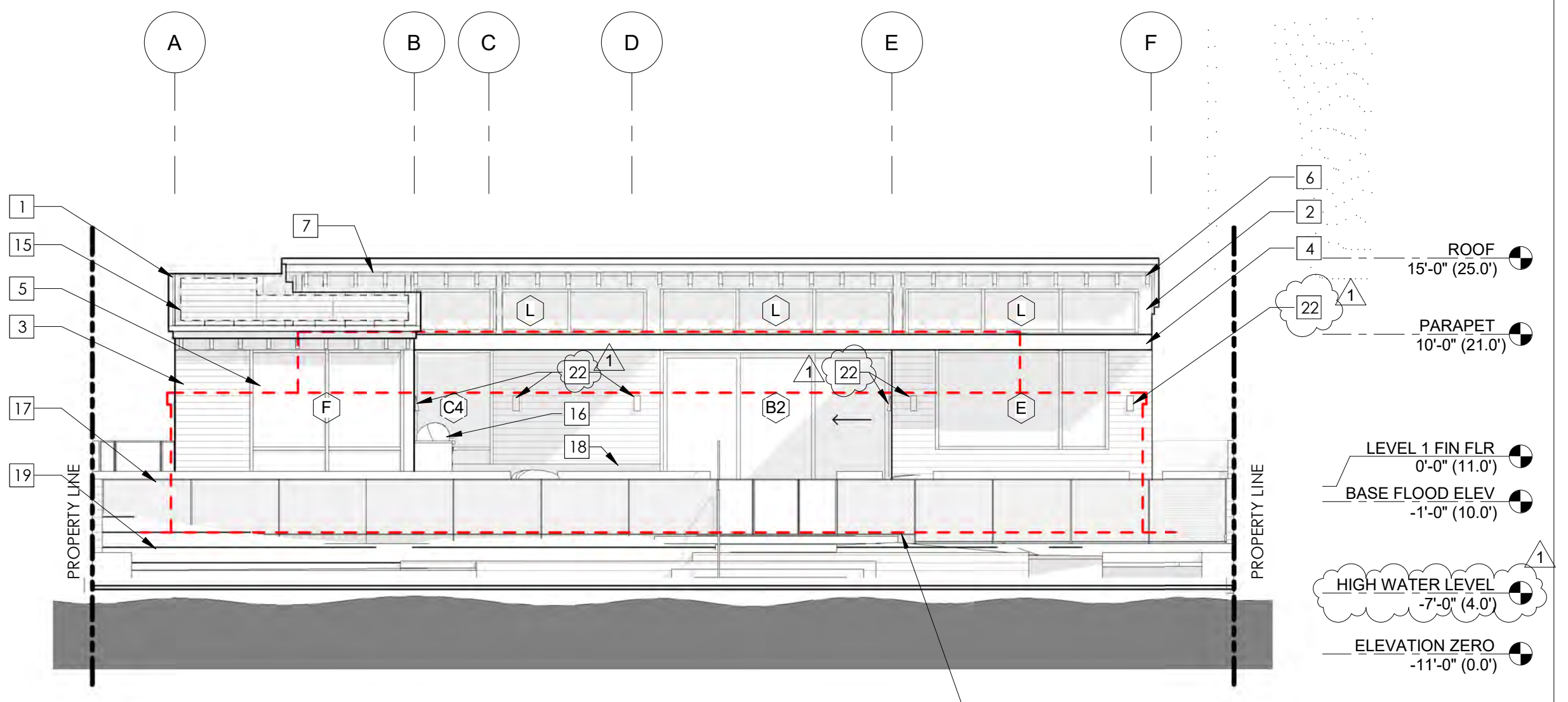
2 ELEVATION - NORTH
1/8" = 1'-0"



1 ELEVATION - EAST
1/8" = 1'-0"



4 ELEVATION - SOUTH
1/8" = 1'-0"



3 ELEVATION - WEST
1/8" = 1'-0"

ELEVATION GENERAL NOTES

ELEVATION KEYNOTES

ELEVATION LEGEND

| NO. | NOTE |
|-----|---|
| 1 | STANDING SEAM METAL ROOFING, DARK BRONZE |
| 2 | ALUMINUM PANEL SIDING, DARK BRONZE |
| 3 | 6" HORIZONTAL SHIPLAP WD SIDING, CLEAR GRADE, WESTERN RED CEDAR. |
| 4 | CANTILEVERED STEEL CANOPY/TRELLIS |
| 5 | ALUM. CLAD, WOOD WINDOWS AND DOORS, DARK BRONZE EXTERIOR |
| 6 | EXPOSED GLULAM RAFTER |
| 7 | UNDERSIDE OF ROOF/EAVE TO BE T&G, CLEAR GRADE, WESTERN RED CEDAR. |
| 8 | METAL PANEL EXHAUST SHROUD |
| 9 | STEEL SITE/ENTRY GATE, 6' MAX ABOVE EXISTING GRADE |
| 10 | HORIZONTAL CLAD WOOD FENCE ON CONCRETE CURB WALL, 6' MAX ABOVE EXISTING GRADE |
| 11 | METAL PANEL GARAGE DOOR, DARK BRONZE |
| 12 | STEEL HANDRAIL |
| 13 | FACE OF (E) BULKHEAD, TO BE REPLACED |
| 14 | NEW CONCRETE SEATWALL AT BULKHEAD |

| NO. | NOTE |
|-----|---|
| 15 | FUTURE SOLAR PANEL LOCATION |
| 16 | (N) GRILL |
| 17 | STEEL RAILING W/ STAINED WD TOP CAP AND STEEL WIRE INFILL |
| 18 | PLANTERS, REFER TO LANDSCAPE |
| 19 | PLANTINGS, SEE LANDSCAPE PLAN |
| 20 | (E) DOCK TO BE RESURFACED |
| 21 | TRASH/RECYCLE |
| 22 | EXTERIOR LIGHT SCONCE, TECHLIGHTING PITCH 12 EXTERIOR DOWNLIGHT, 3000K, DARK SKY COMPLIANT. |
| 23 | HEAT PUMP / AC UNITS, DAIKIN FIT OR SIMILAR, UNITS TO BE INSTALLED NOT CLOSER THAN 3-FEET TO PROPERTY LINE AND NOT TO EXCEED 4-FEET ABOVE GRADE |

| | |
|-----|-------------------------|
| # | WINDOW TAG |
| --- | EXTENTS OF (E) BUILDING |

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415.956.3445
suroarchitects.com
1055 Post Street, San Francisco, CA 94109

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1 DR SET-REV 1 8.15.22

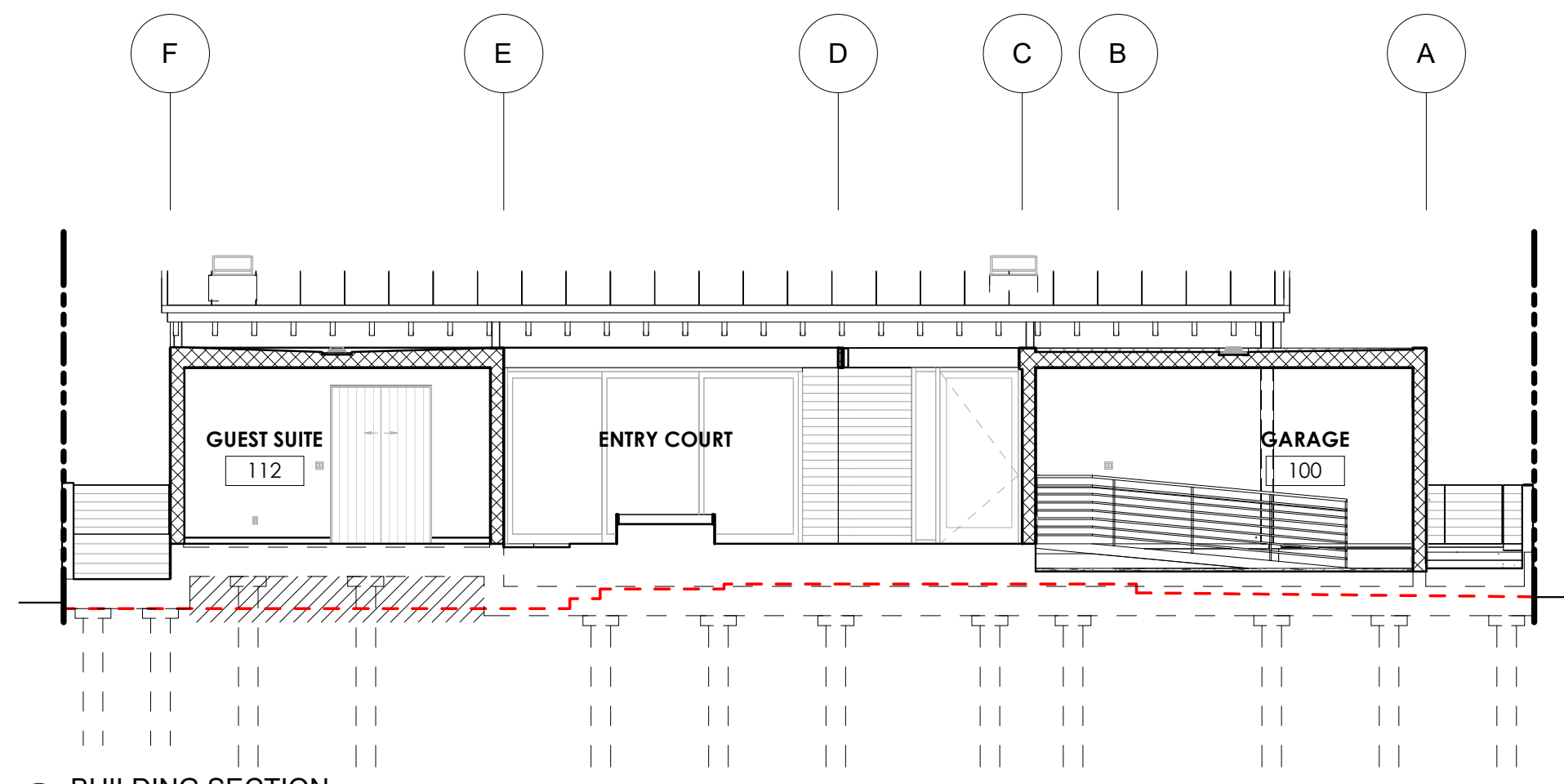
PROPOSED ELEVATIONS

As indicated

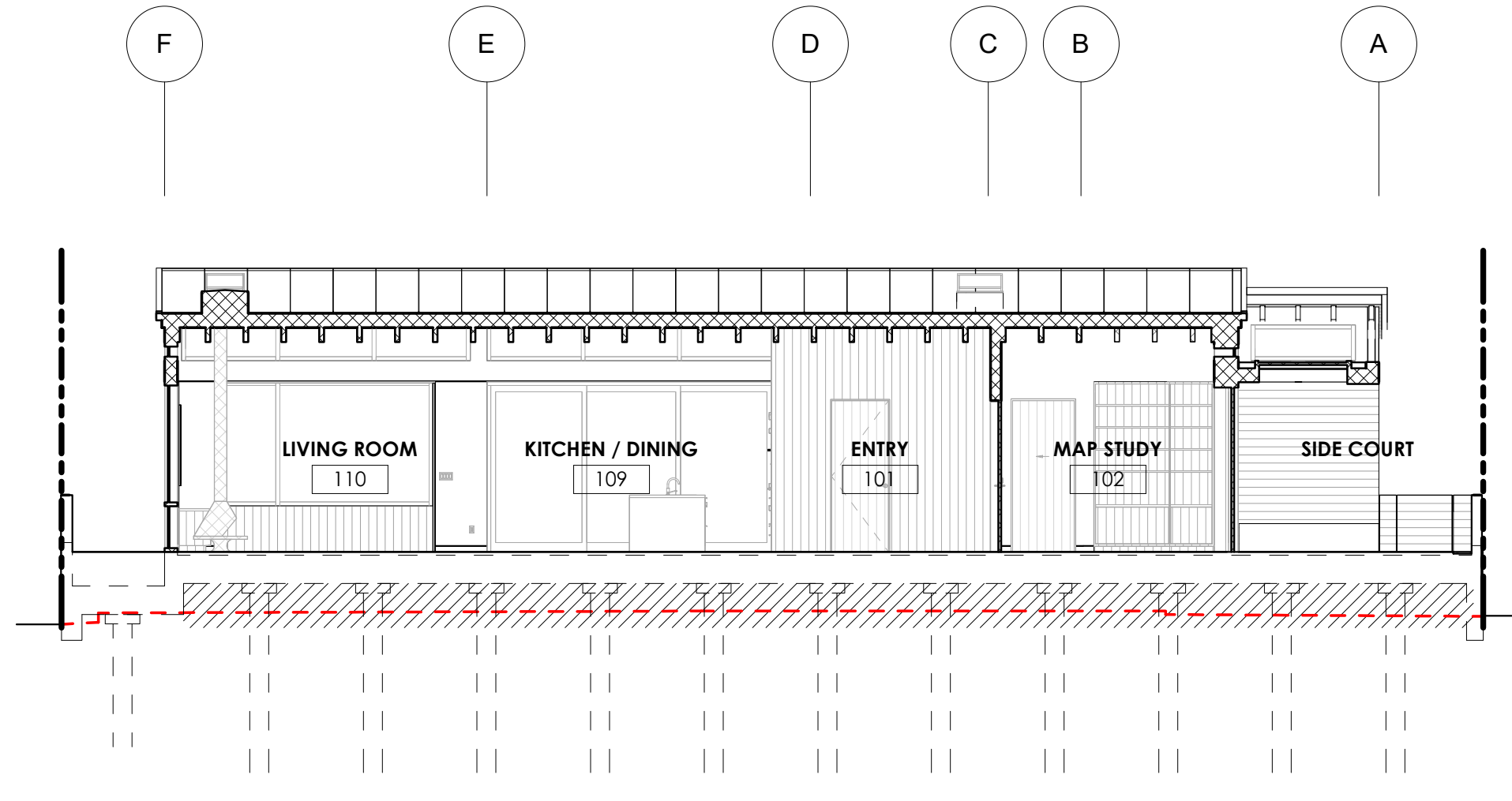
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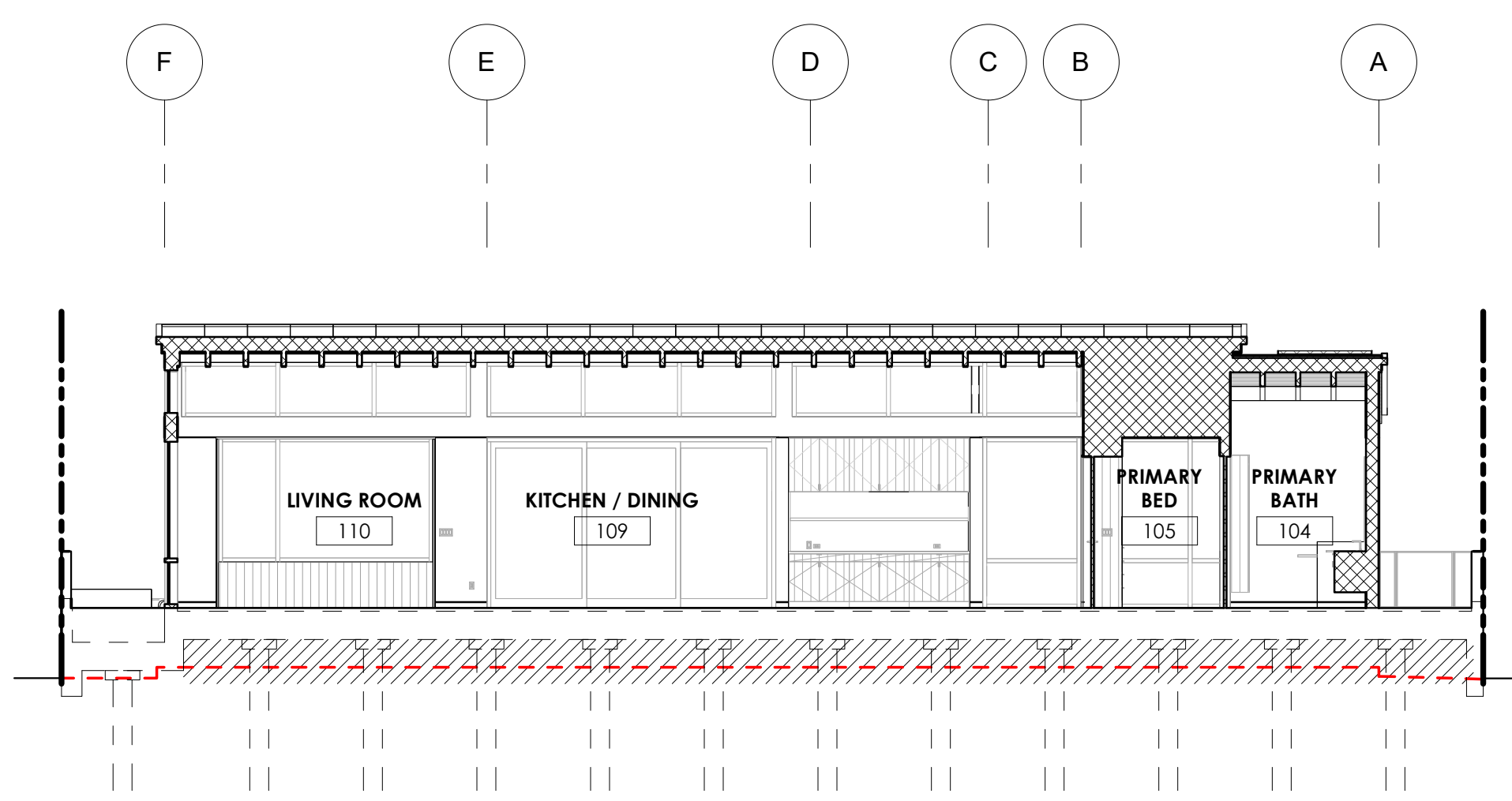
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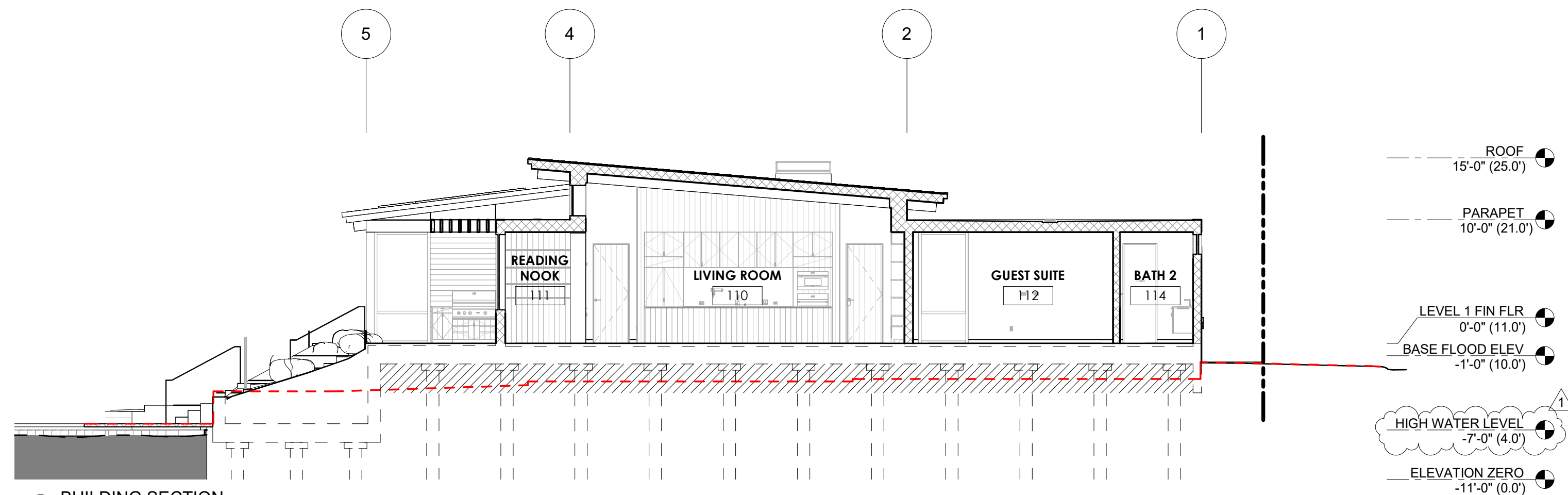
4 BUILDING SECTION
1/8" = 1'-0"



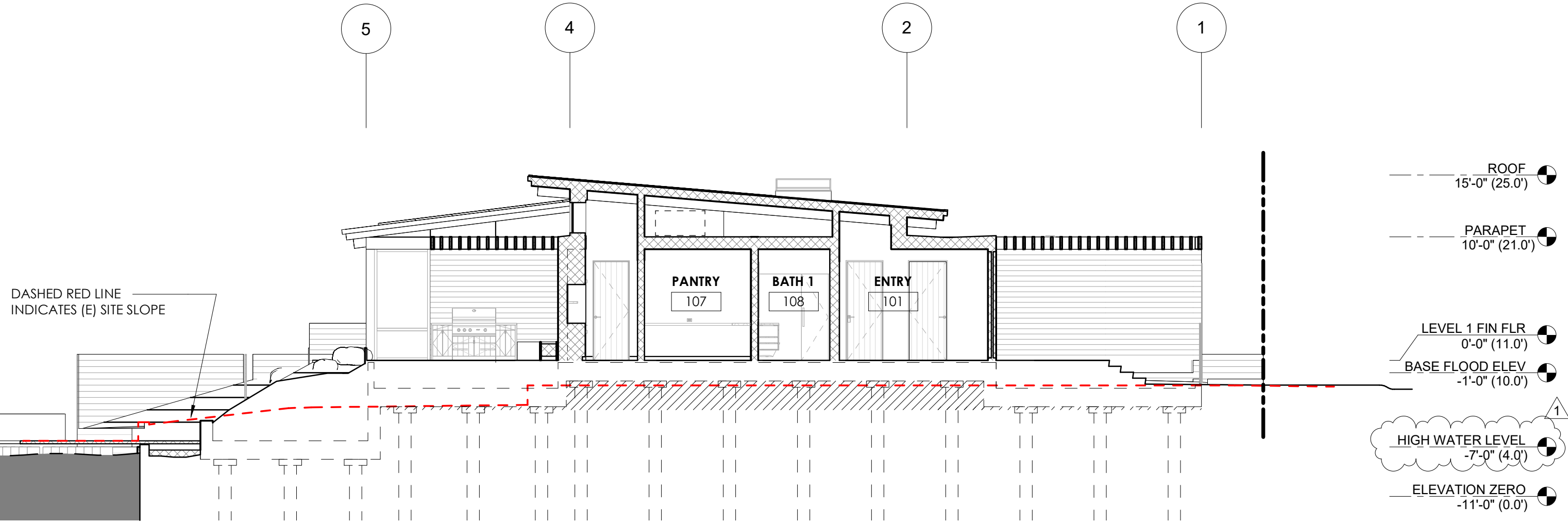
5 BUILDING SECTION
1/8" = 1'-0"



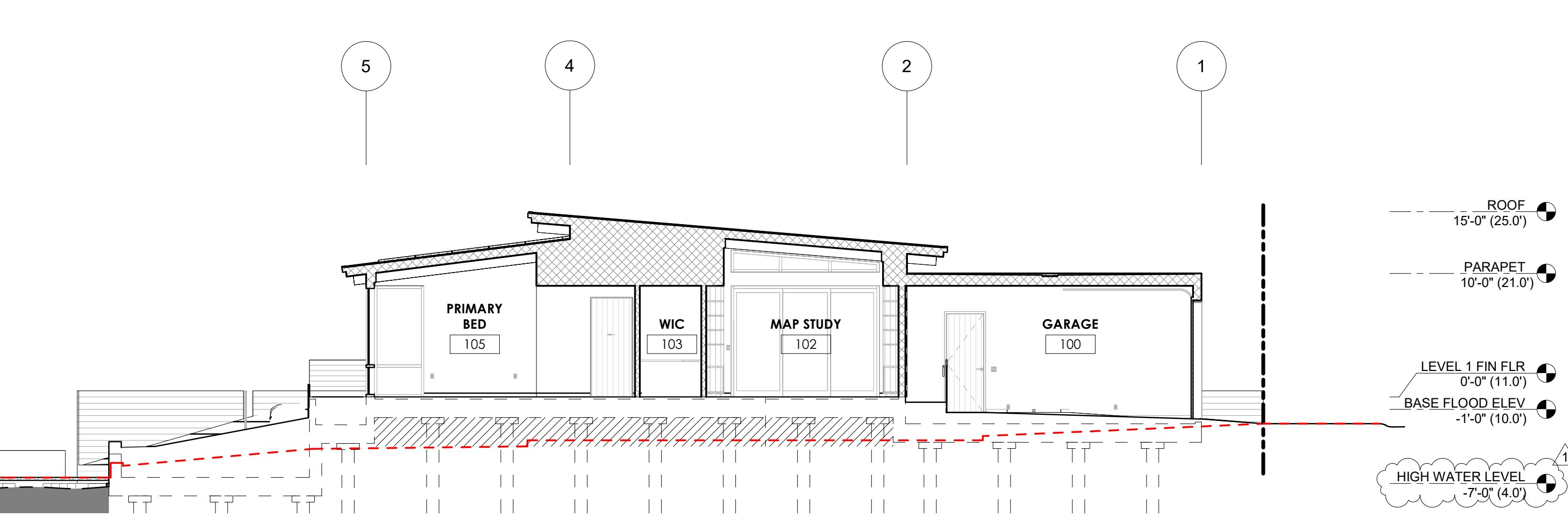
6 BUILDING SECTION
1/8" = 1'-0"



1 BUILDING SECTION
1/8" = 1'-0"



2 BUILDING SECTION
1/8" = 1'-0"



3 BUILDING SECTION
1/8" = 1'-0"

SECTION NOTES

SECTION KEYNOTES

SECTION LEGEND

- PROPERTY LINE
- LINE OF EXISTING GRADE
- APPROXIMATE LOCATION OF SLAB AND PIER FOUNDATIONS
- GEOFOAM BLOCK FILL

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sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

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BELVEDERE, CA 94920

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1 DR SET-REV 1 8.15.22

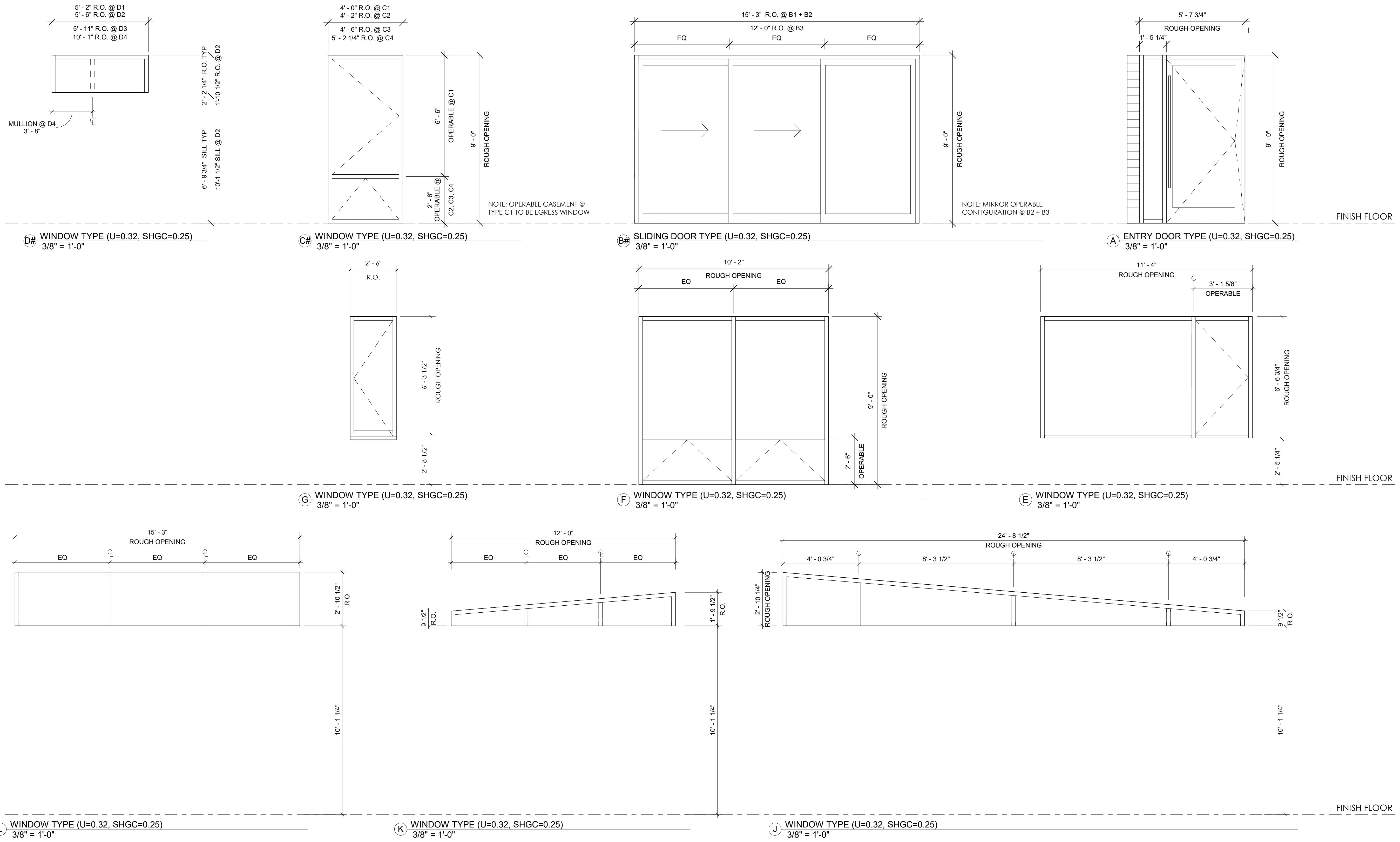
PROPOSED SECTIONS

As indicated

A4.5

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EXTERIOR DOOR & WINDOW KEY



EXTERIOR WINDOWS:
JELD WEN - ALUMINUM CLAD SERIES
CHESTNUT BRONZE EXTERIOR
VG DOUG FIR INTERIOR



EXTERIOR SLIDING DOORS:
LA CANTINA - ALUMINUM CLAD SERIES
CHESTNUT BRONZE EXTERIOR
VG DOUG FIR INTERIOR

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| DOOR SCHEDULE | | | | | | | | | | | | | | | | |
|---------------|--------------|------|-------|--------|-----------|-----------|----------|--------|----------|--------|---------|------|------|----------------|---------------|-------|
| NUMBER | ROOM | TYPE | GRADE | WIDTH | HEIGHT | THICKNESS | DOOR | | FRAME | | DETAILS | | | HARDWARE GROUP | DOOR U-FACTOR | NOTES |
| | | | | | | | MATERIAL | FINISH | MATERIAL | FINISH | HEAD | JAMB | SILL | | | |
| 100A | GARAGE | G1 | EXT | 17'-0" | 9'-4 1/2" | 0'-1 1/2" | MTL | MFR | WD | PTD | | | | | | |
| 100B | GARAGE | A1 | INT | 3'-0" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 100C | GARAGE | A1 | EXT | 3'-0" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 101A | ENTRY | E1 | EXT | 4'-0" | 8'-9 1/2" | 0'-2 1/4" | WD/AL | MFR | WD/AL | MFR | | | | | | |
| 101B | ENTRY | A2 | INT | 5'-0" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 102 | MAP STUDY | A1 | INT | 2'-10" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 102A | MAP STUDY | B1 | INT | 3'-4" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 103 | WIC | B1 | INT | 2'-6" | 8'-0" | 0'-1 3/8" | WD | | WD | PTD | | | | | | |
| 104A | PRIMARY BED | B1 | INT | 3'-4" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 104B | PRIMARY BATH | C1 | INT | 2'-8" | 8'-0" | 0'-1" | GL | | | | | | | | | |
| 105 | PRIMARY BED | A1 | INT | 2'-10" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 106 | LAUNDRY | A2 | INT | 5'-0" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 107 | PANTRY | B1 | INT | 3'-4" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 108A | BATH 1 | A1 | INT | 3'-0" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 108B | BATH 1 | C1 | INT | 2'-2" | 7'-0" | 0'-1" | GL | | | | | | | | | |
| 112 | GUEST SUITE | B2 | INT | 5'-0" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 113 | WIC | B1 | INT | 3'-4" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 114A | WIC | B1 | INT | 2'-8" | 8'-0" | 0'-1 3/4" | WD | | WD | PTD | | | | | | |
| 114B | BATH 2 | C1 | INT | 2'-8" | 7'-0" | 0'-1" | GL | | | | | | | | | |

GENERAL DOOR SCHEDULE NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO ORDERING.
- ALL GLAZING TO BE LOW-E, INSULATED, TEMPERED GLASS, AP
- INSTALL FLOOR STOPS, OR PREFERABLY WALL STOPS WHERE EVER DOORS MAY STRIKE WALLS. VERIFY SPECIFICATION, FINAL LOCATION NW/ ARCHITECT PRIOR TO INSTALLATION.
- FOR ALL POCKET DOORS, PROVIDE ADDITIONAL MATERIAL WIDTH AT NON-LEADING EDGE AND HEIGHT AS NEEDED FOR HARDWARE TO BE FULLY RECESSED. WIDTH DIMENSION CALLED OUT IS FROM JAMB TO JAMB, NOT ACTUAL LEAF SIZE.
- ALL SPACERS AND WEATHER STRIPPING TO MATCH DOOR / WINDOW PAINT COLOR. VERIFY FINAL SPEC NW/ ARCHITECT PRIOR TO FABRICATION.
- ALL DOORS TO OPEN MINIMUM OF 120 DEGREES.
- DOOR FROM GARAGE TO BE 36" WIDE 20 MIN. RATED DOOR ON SELF CLOSING HINGE

DOOR SCHEDULE ABBREVIATIONS:

| | |
|------|-----------------------|
| AL | ALUMINUM |
| ANO | ANODIZED |
| E | EXISTING |
| EXT | EXTERIOR |
| INT | INTERIOR |
| MFR | MANUFACTURER'S FINISH |
| MTL | METAL |
| N/A | NOT APPLICABLE |
| N | NEW |
| PNTD | PAINTED |
| R | REPLACE |
| WD | WOOD |

SAFETY GLAZING NOTES:

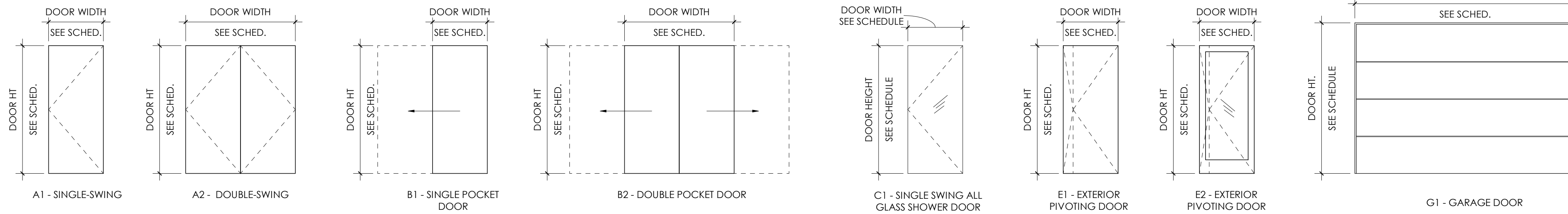
- ONE PANE OF DUAL GLAZING AT NEW WINDOWS AND DOORS WILL BE TEMPERED.
- FULL TEMPERED OR SAFETY GLAZING IS REQUIRED AND WILL BE INSTALLED IN THE FOLLOWING LOCATIONS PER SECTION 2406.4.1
 - GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOORS OTHER THAN WARDROBE DOORS.
 - GLAZING IN STORM DOORS
 - GLAZING IN ALL UNFRAMED SWINGING DOORS (SHOWER DOORS)
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATH TUBS, AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE. GLAZING THAT IS LESS THAN 60 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, FROM THE WATER'S EDGE OF A BATHTUB, HOT TUB, SPA, WHIRLPOOL, OR SWIMMING POOL.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24 INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - GLAZING IN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES
 - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

DOOR TYPE SPECIFICATIONS:

- A1-A2: SOLID-CORE, STAIN-GRADE WOOD DOOR, TRUSTILE TMP1000 OR APPROVED EQ. NOTE THAT DOOR VENEER AND FINISH TO MATCH CABINERY/MILLWORK FINISH
- B1-B2: SOLID-CORE, STAIN-GRADE WOOD DOORS, TRUSTILE TMP1000 OR APPROVED EQ. POCKET DOORS TO HAVE "POCKET STYLE" AND "TOP POCKET RAIL" OPTIONS. NOTE THAT DOOR VENEER AND FINISH TO MATCH CABINERY/MILLWORK FINISH
- C1: GLASS SHOWER DOOR AND ENCLOSURE -1/2" TEMPERED GLASS, SAPPHIRE LOW IRON OR EQUIVALENT DIAMOND FUSION COATING OR EQUIVALENT.
- D1: NOT USED
- E1-E2: STAIN-GRADE EXTERIOR WOOD PIVOT DOOR. PIVOT DOOR COMPANY OR EQ.
- F1: NOT USED
- G1: PANELIZED METAL GARAGE DOOR, CARRIAGE HOUSE DOOR OR APPROVED EQ.

HARDWARE GROUP:

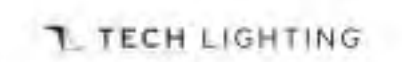
- DH 1: TBD
 DH 2: TBD
 DH 3: TBD
 DH 4: TBD
 DH 5: TBD
 DH 6: TBD
 DH 7: TBD
 DH 8: TBD



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LIGHTING SPECIFICATIONS

PITCH 12 WALL SCONCE



An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch 12 Wall Sconce features a die-cast metal body housing powerful LED light sources that create visual appeal as light cascades down along a wall.

- Outstanding protection against the elements:
- Powder coat finishes
 - Stainless Steel mounting hardware
 - Impact-resistant, UV stabilized frosted acrylic lensing

SPECIFICATIONS

| | |
|-----------------------|--|
| DELIVERED LUMENS | 870 |
| WATTS | 17.8 |
| VOLTAGE | 120V AC/277V |
| DIMMING | 8A ¹ |
| LIGHT DISTRIBUTION | Symmetric |
| MOUNTING OPTIONS | Downlight |
| CCT | 3000K |
| CR | 80 |
| COLOR RENDERING | 3 Step |
| BUG RATING | IK 100-100 |
| DARK SKY | Compliant |
| WET LISTED | IP65 |
| GENERAL LISTING | ETL |
| CALIFORNIA TITLE 24 | Can be used to comply with CEC 2019 Title 24 Part 6.16 outdoor use. Register with EEC appliance Database not required. |
| START TEMP | 50°C |
| FIELD SERVICEABLE LED | Yes |
| CONSTRUCTION | Aluminum |
| HARDWARE | Stainless Steel |
| FINISH | Powder Coat |
| LED LIFETIME | L70 - 40,000 Hours |
| WARRANTY* | 5 Years |

*Visit techlighting.com for warranty options and details.



PITCH 12 shown in black

PITCH 12 shown in bronze



PITCH 12 shown in silver

ORDERING INFORMATION

| PRODUCT | LENGTH | FINISH | LAMP | LED SOURCE | LED SOURCE DIMENSIONS |
|---------|--------|--------|------|------------|-----------------------|
| 7500WWT | 12" | 8A | 8A | 122050 | 1.22x0.50x0.50" |
| | | 8A | 8A | 122050 | 1.22x0.50x0.50" |
| | | 8A | 8A | 122050 | 1.22x0.50x0.50" |

techlighting.com

LP00103 6/14/20

TYPICAL EXTERIOR SCONCE

SUTRO ARCHITECTS
415.956.3445
sutroarchitects.com
1055 Post Street, San Francisco, CA 94109

68 LAGOON RD
BELVEDERE, CA 94920

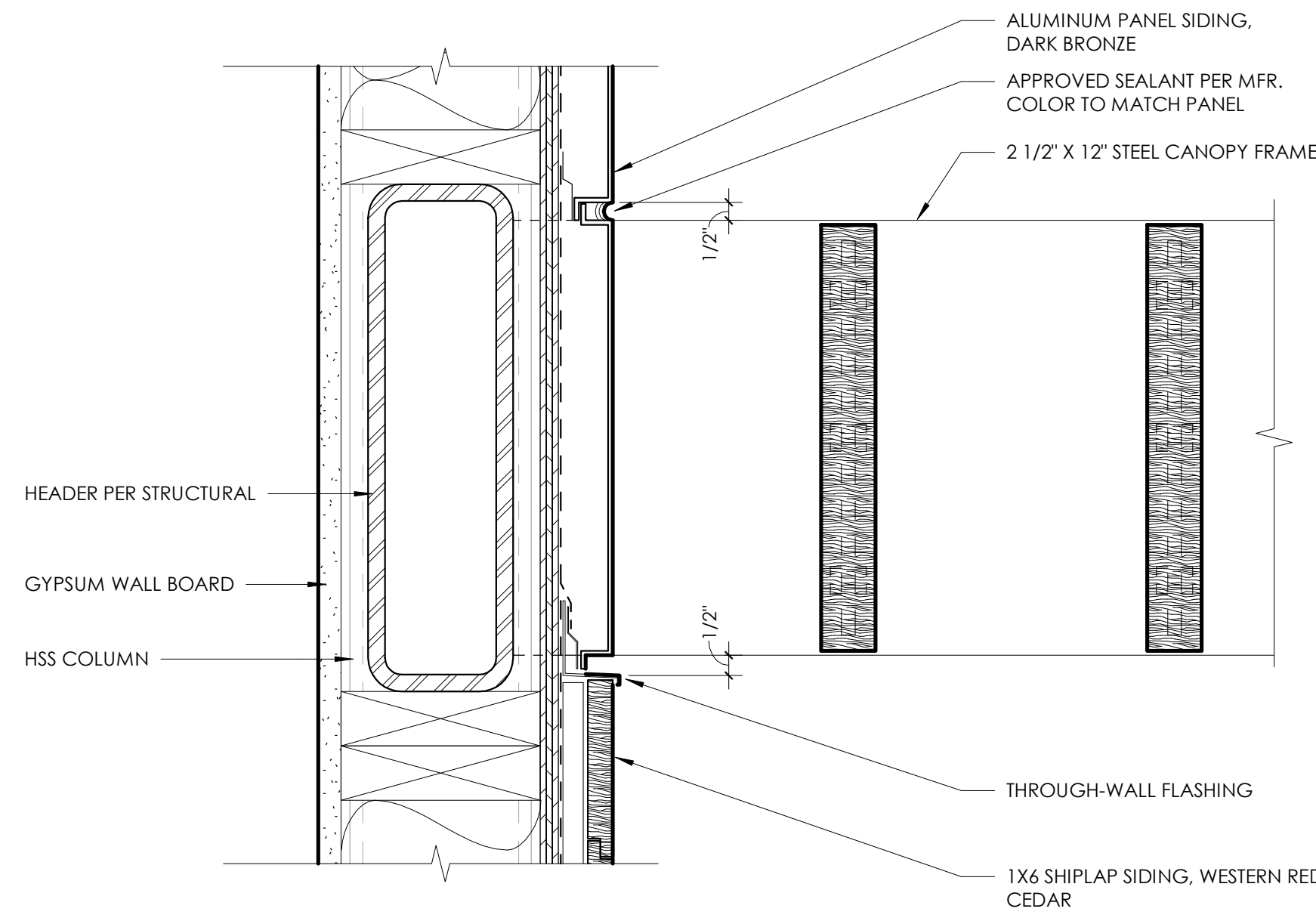
1 DR SET-REV 1 8.15.22

LIGHTING SCHEDULE

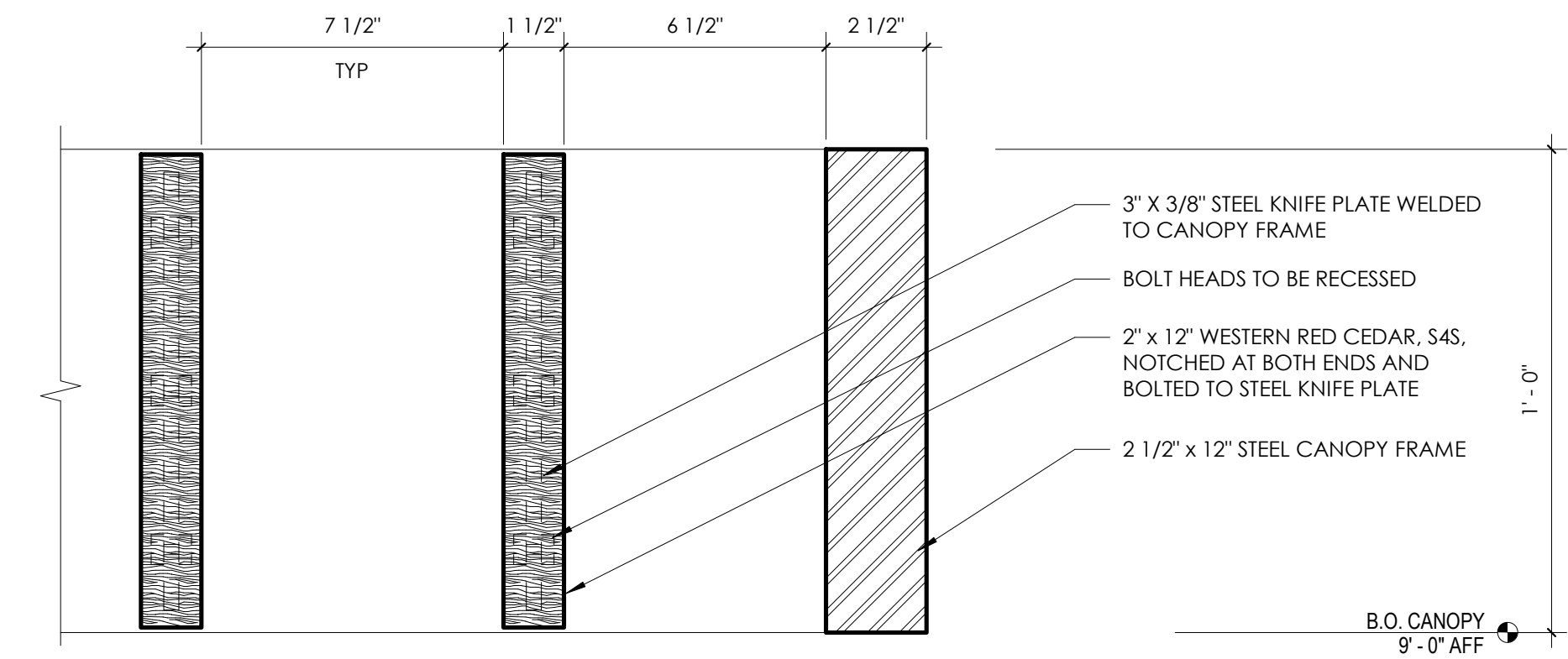
12" = 1'-0"
A6.5

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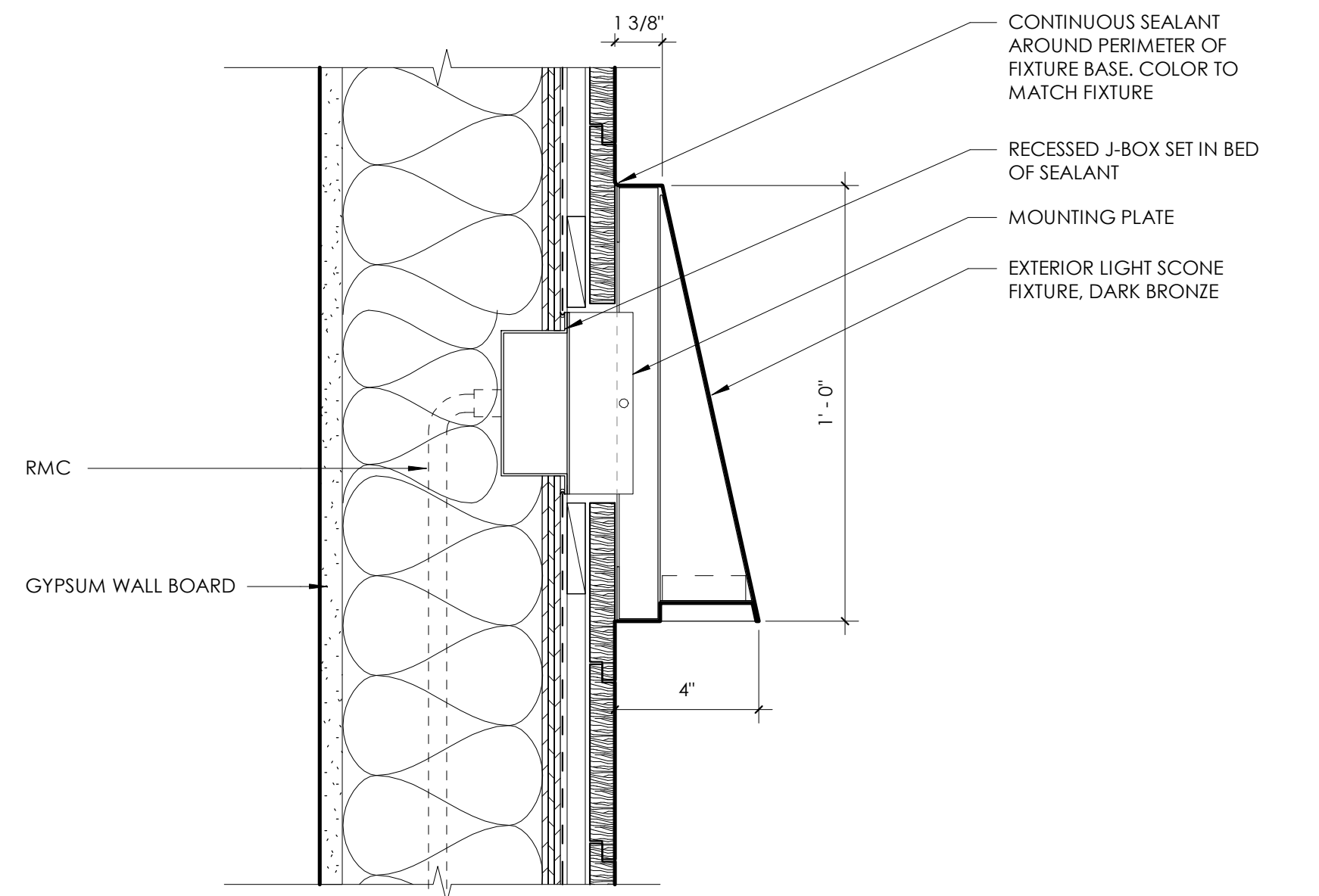
Use of these plans and specifications shall be restricted to the original site for which they were prepared and publication thereof is expressly limited to such use. Reproduction or publication by any method, in whole or part, is prohibited. Title to the plans and specifications remains with the architect without prejudice. Visual contact with these plans and specifications shall constitute prima facie evidence of the acceptance of these restrictions.



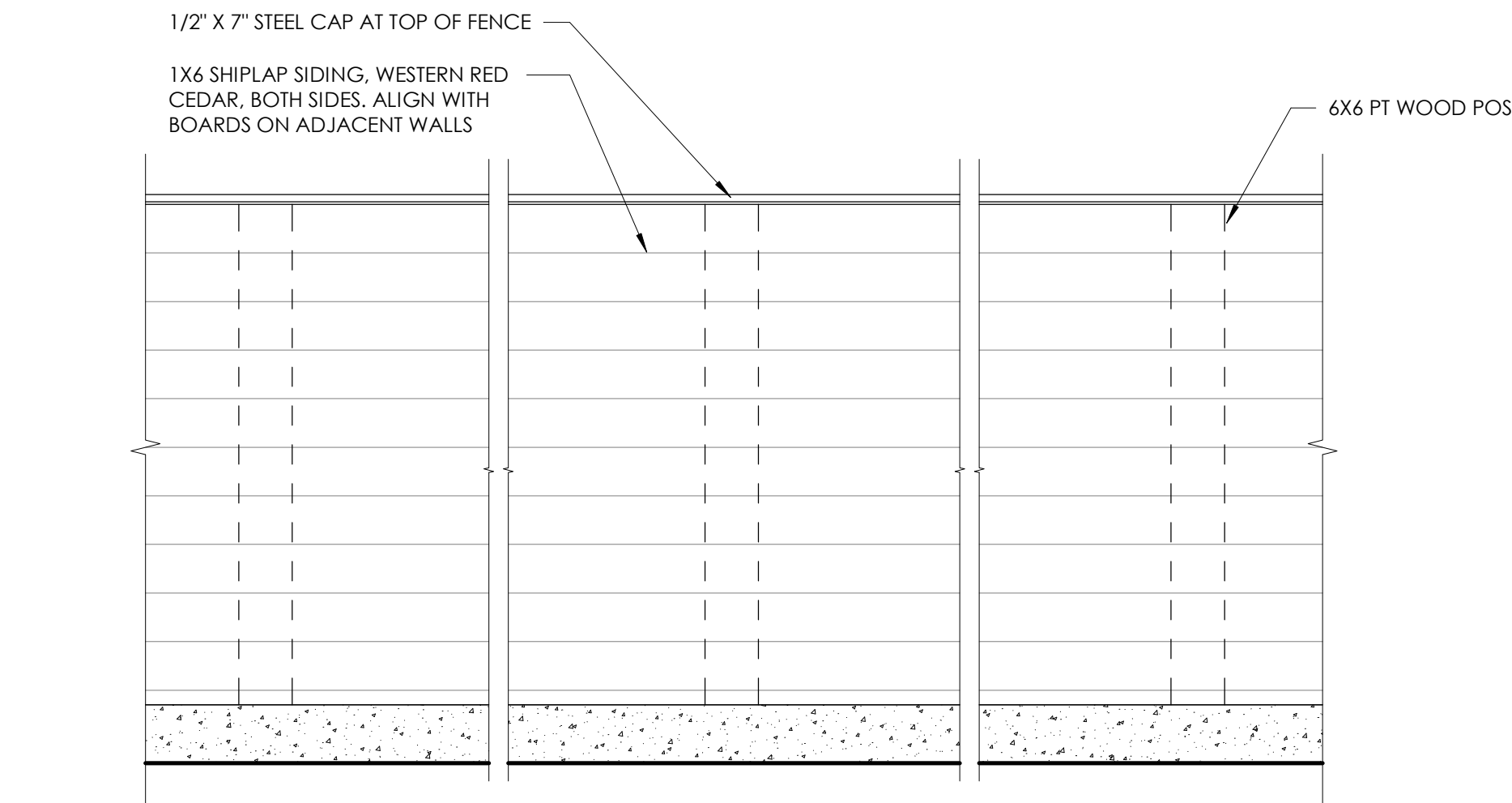
4 SITE DETAIL - STEEL CANOPY/TRELLIS AT WALL
3" = 1'-0"



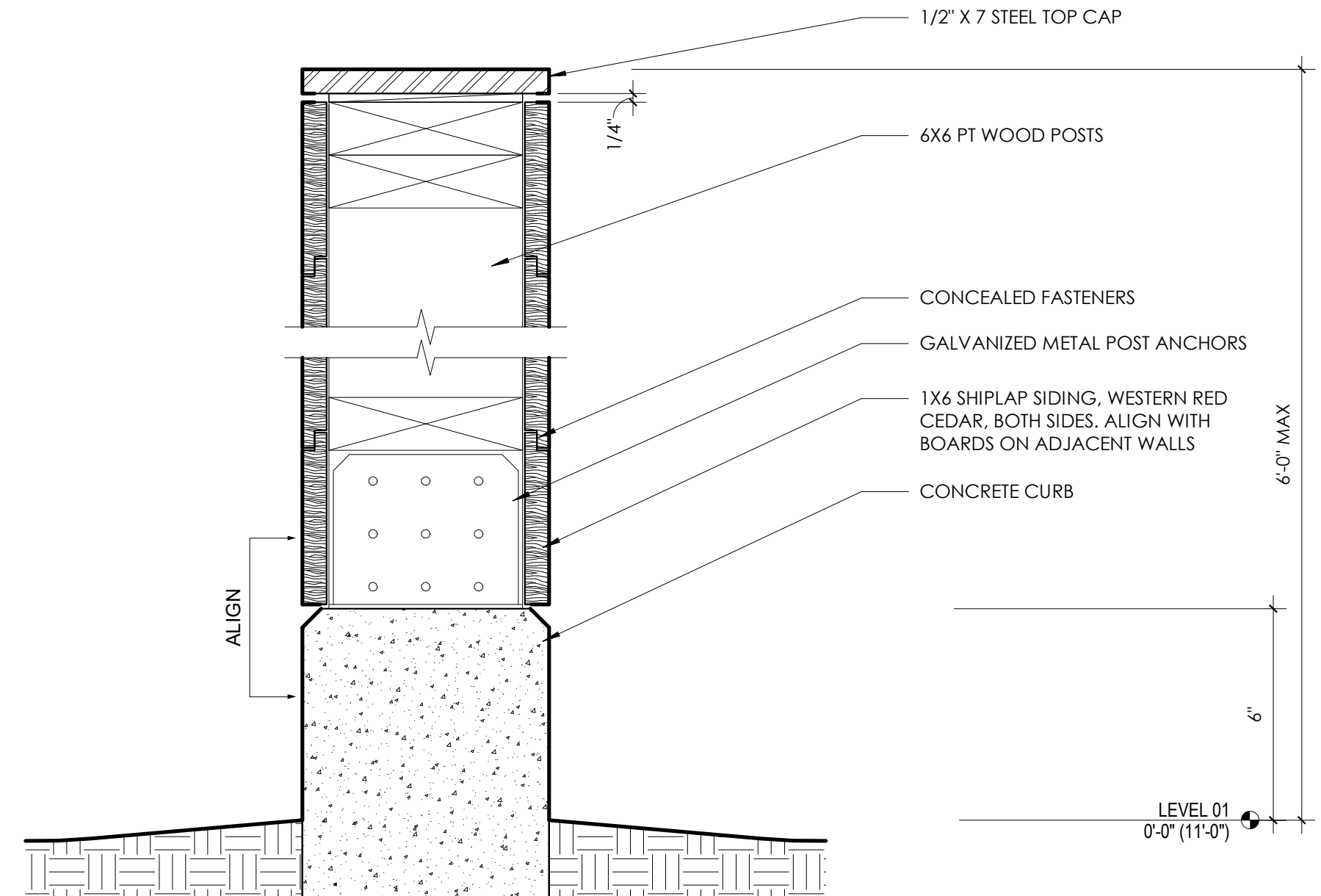
3 SITE DETAIL - STEEL CANOPY/TRELLIS T FACE
3" = 1'-0"



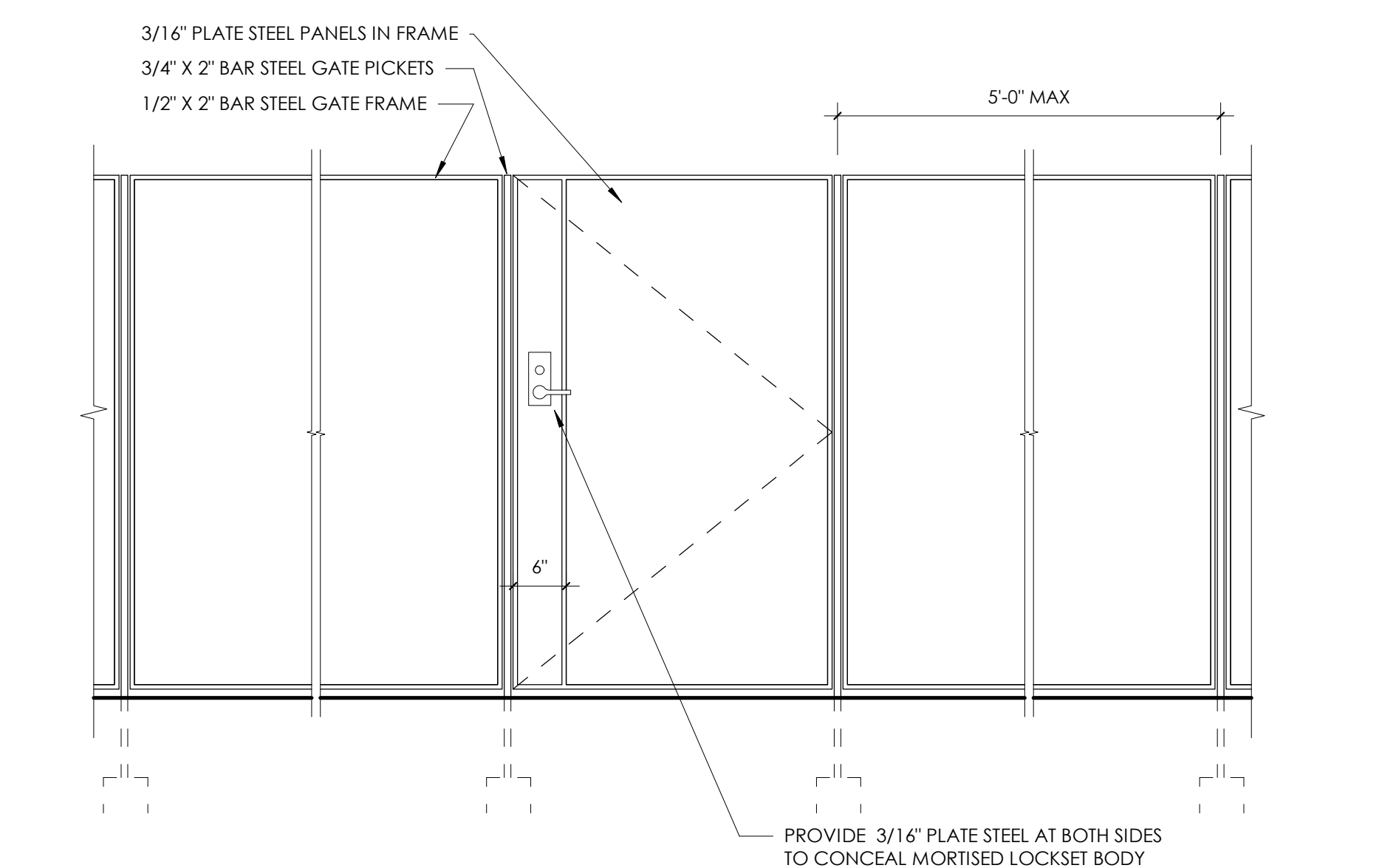
5 SITE DETAIL - EXTERIOR WALL SCONCE
3" = 1'-0"



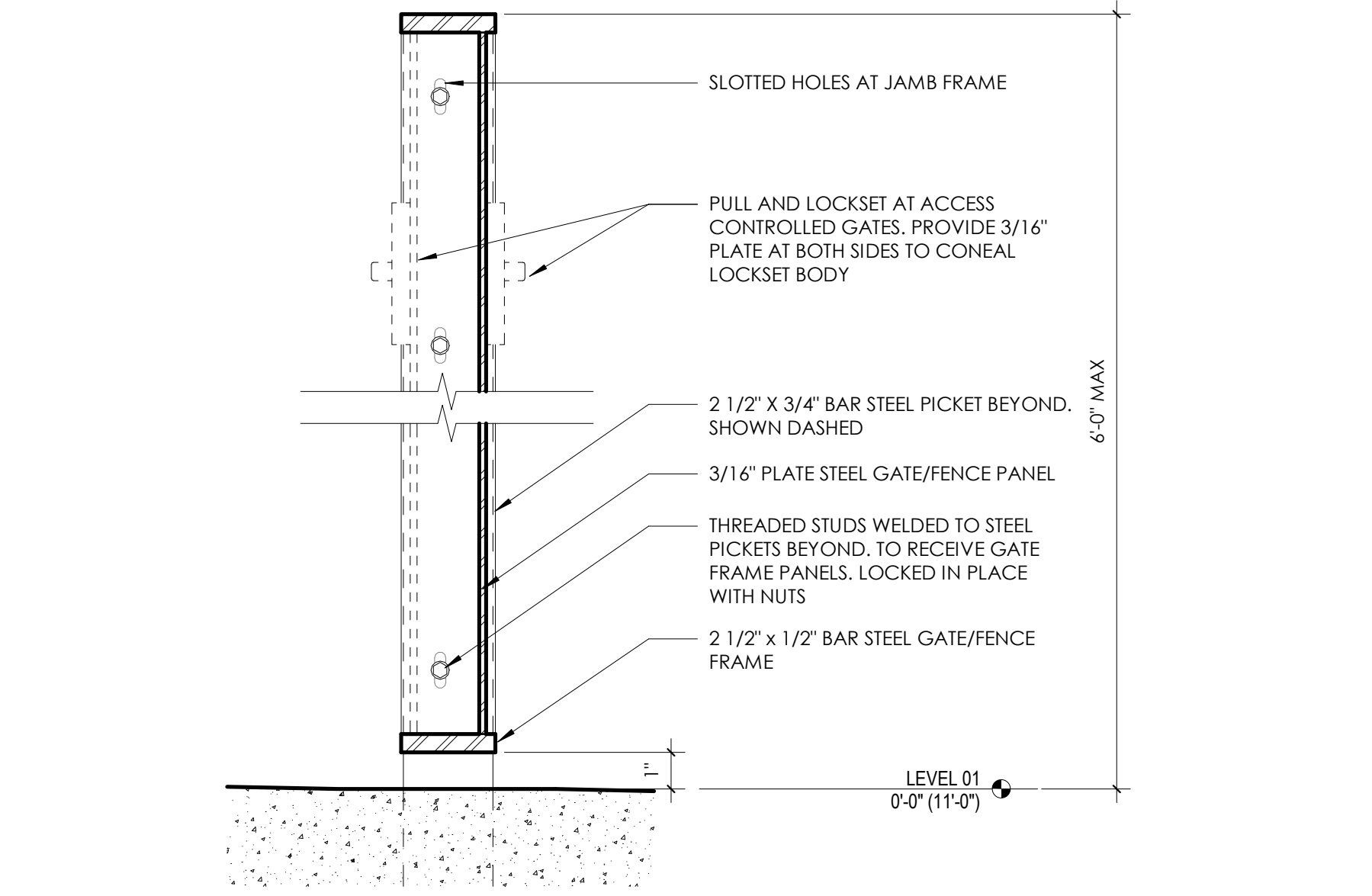
7 SITE DETAIL - WOOD GATE ELEVATION
3/4" = 1'-0"



1 SITE DETAIL - WOOD SITE FENCE
3" = 1'-0"



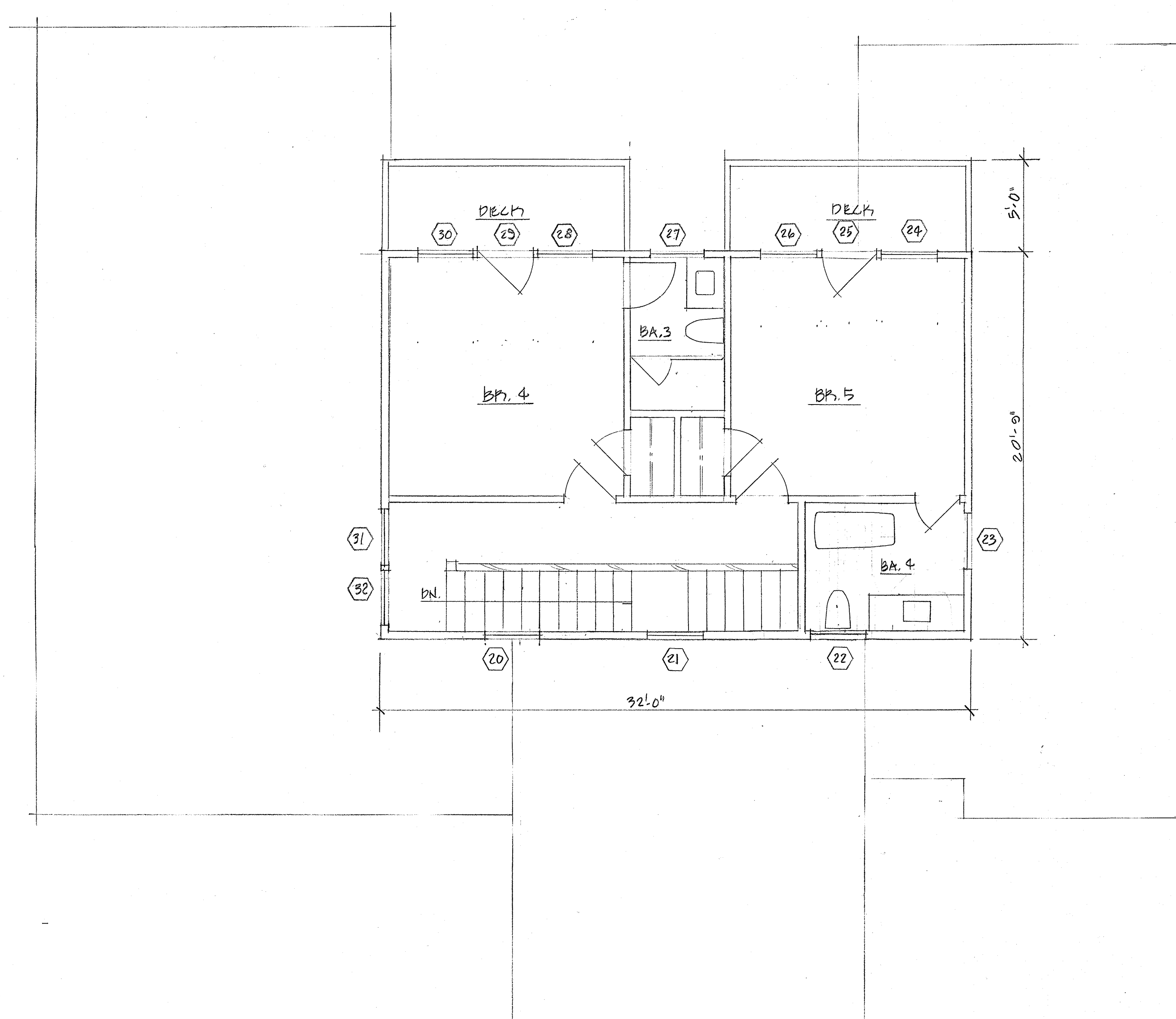
6 SITE DETAIL - STEEL GATE ELEVATION
3/4" = 1'-0"



2 SITE DETAIL - STEEL SITE FENCE
3" = 1'-0"



68



UPPER FLR. PLAN (ALL NEW ADDITION)

593 S.F.

EXTERIOR DR. & WINDOW SCHEDULE

| LOWER FLR. | | | | |
|------------|--------------------|----------------|---------------------|-----------------------|
| NO | SIZE | LOCATION | TYPE | NOTES |
| 1 | 3'-0" W x 7'-0" H | ENTRNY | S.L. RADIUS TOP DR. | S.L. PAINT GRABDE (N) |
| 2 | 6'-0" W x 6'-8" H | STUDY | PP, FP, DRS. | CLAD WD (N) |
| 3 | 2'-6" W x 6'-8" H | STUDY | S.C. DR. | S.L. PAINT GRABDE (E) |
| 4 | 5'-6" W x 3'-6" H | KITCHEN | SL | CLAD WD (N) |
| 5 | 4'-6" W x 7'-6" H | DR. | FX | CLAD WD (N) |
| 6 | 4'-6" W x 7'-6" H | DR. | FX | CLAD WD (N) |
| 7 | 4'-6" W x 7'-6" H | DR. | FX | CLAD WD (N) |
| 8 | 3'-0" W x 5'-6" H | DR. | CSMT | CLAD WD (N) |
| 9 | 3'-0" W x 7'-6" H | DR. | FP, DR. | CLAD WD (N) |
| 10 | 20'-0" W x 9'-0" H | GREAT RM. | 4 SL, FP, DRS. | CLAD WD (N) |
| 11 | 1'-10" W x 4'-0" H | BR. 1 | CSMT | CLAD WD (E) |
| 12 | 8'-0" W x 6'-8" H | BR. 1 | PP, SL, DRS. | CLAD WD (E) |
| 13 | 3'-6" W x 2'-6" H | BA 1 | SL | CLAD WD (E) |
| 14 | 8'-0" W x 6'-2" H | BA 1 | SL | CLAD WD (E) |
| 15 | 2'-6" W x 6'-8" H | BA 2 | S.L. DR. | S.L. PAINT GR. (E) |
| 16 | 4'-0" W x 2'-0" H | CLOSET | SL | CLAD WD (E) |
| 17 | 8'-0" W x 6'-8" H | BR. 2 | PP, FP, DRS. SL | CLAD WD (N) |
| 18 | 8'-0" W x 6'-8" H | BR. 3 | PP, FP, DRS. SL | CLAD WD (N) |
| 19 | 2'-6" W x 6'-8" H | GARAGE | S.C. DR. | CLAD WD (E) |
| UPPER FLR. | | | | |
| 20 | 3'-0" W x 4'-6" H | STAIRS | FX | CLAD WD (N) |
| 21 | 3'-0" W x 4'-6" H | STAIRS | FX | CLAD WD (N) |
| 22 | 3'-0" W x 4'-6" H | BA. 4 | CSMT | CLAD WD (N) |
| 23 | 3'-0" W x 3'-6" H | BA. 4 | SL | CLAD WD (N) |
| 24 | 3'-0" W x 7'-0" H | BR. 5 | SIDELIGHT | CLAD WD (N) |
| 25 | 3'-0" W x 7'-0" H | BR. 5 | FP, DR. | CLAD WD (N) |
| 26 | 3'-0" W x 7'-0" H | BR. 5 | SIDELIGHT | CLAD WD (N) |
| 27 | 3'-0" W x 1'-6" H | BA. 3 | SL | CLAD WD (N) |
| 28 | 3'-0" W x 7'-0" H | BR. 6 | SIDELIGHT | CLAD WD (N) |
| 29 | 3'-0" W x 7'-0" H | BR. 6 | FP, DR. | CLAD WD (N) |
| 30 | 3'-0" W x 7'-0" H | BR. 6 | SIDELIGHT | CLAD WD (N) |
| 31 | 3'-0" W x 3'-0" H | STAIRS LANDING | SL | CLAD WD (N) |
| 32 | 3'-0" W x 3'-0" H | STAIRS LANDING | SL | CLAD WD (N) |
| 33 | 16'-0" W x 7'-0" H | GARAGE | SECTIONAL GAR. DR. | PAINT GR. WD. |

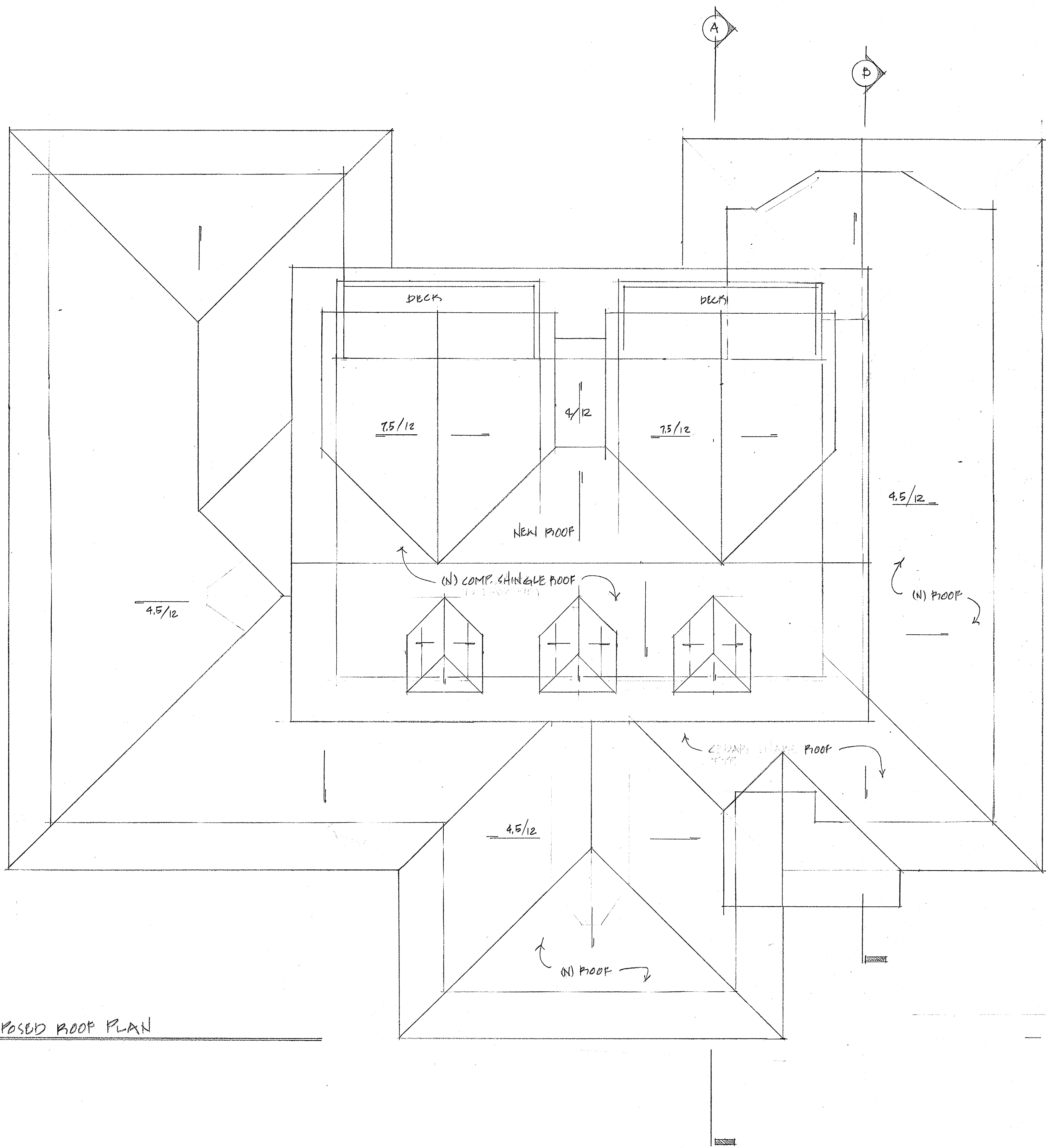
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MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A, SUITE G
 SAUSALITO, CA 94965
 415-331-0410

UPPER FLOOR PLAN
 WINDOW SCHEDULE

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELLEVUE, CA 94020
 A.P. # 060-021-37

| | |
|-------|--------------|
| Date | SEP. 22, 20 |
| Scale | 1/4" = 1'-0" |
| Drawn | |
| Job | |
| Sheet | 3 |
| Of | 13 Sheets |



PROPOSED ROOF PLAN

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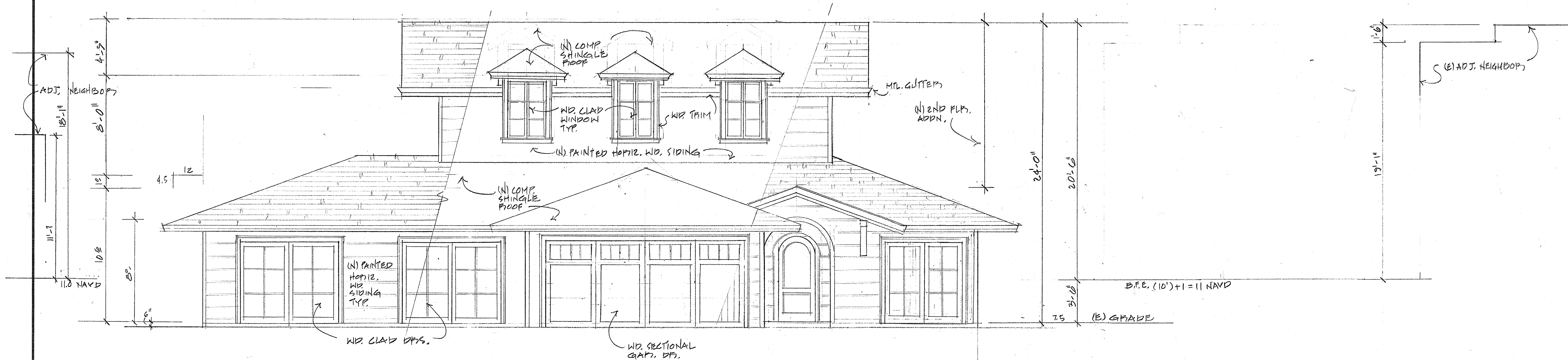
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 1 GATE 6 RD., BLDG. A., SUITE G
 SAUSALITO, CA 94965
 415-331-0410

ROOF PLAN

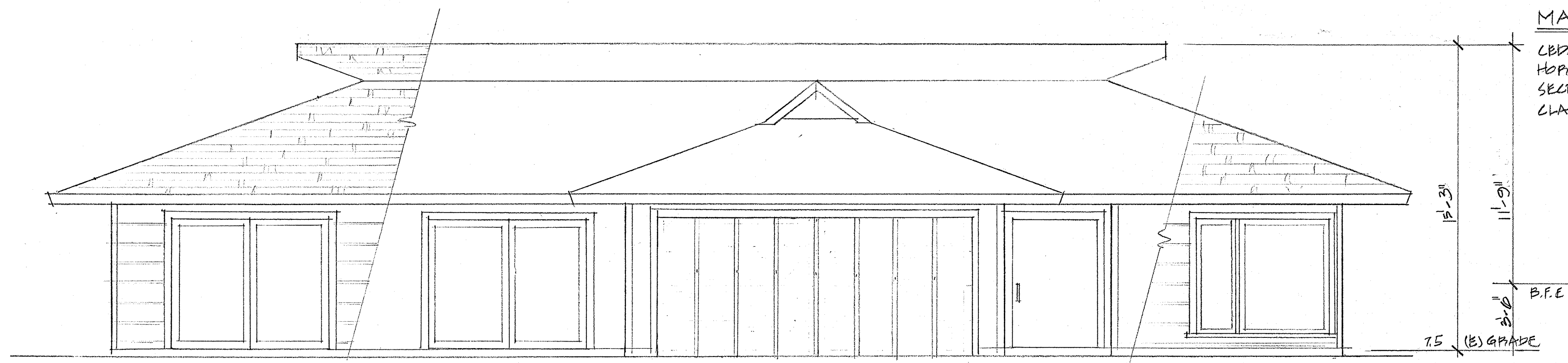
CRUZ RESIDENCE
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 BELVEDERE, CA 94920
 A.P. # 060-021-37

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PROPOSED FRONT ELEVATION



(E) FRONT ELEVATION

MATERIALS (EXISTING & PROPOSED)

| | |
|-----------------------|-----------------------------------|
| CEMENT SHAKE ROOF (E) | (N) COMP SHINGLE ROOF (DARK GRAY) |
| HORIZONTAL WD. SIDING | MEDIUM GRAY |
| SECTIONAL GAMPAGE DP. | |
| CLAD WD WINDOWS | |

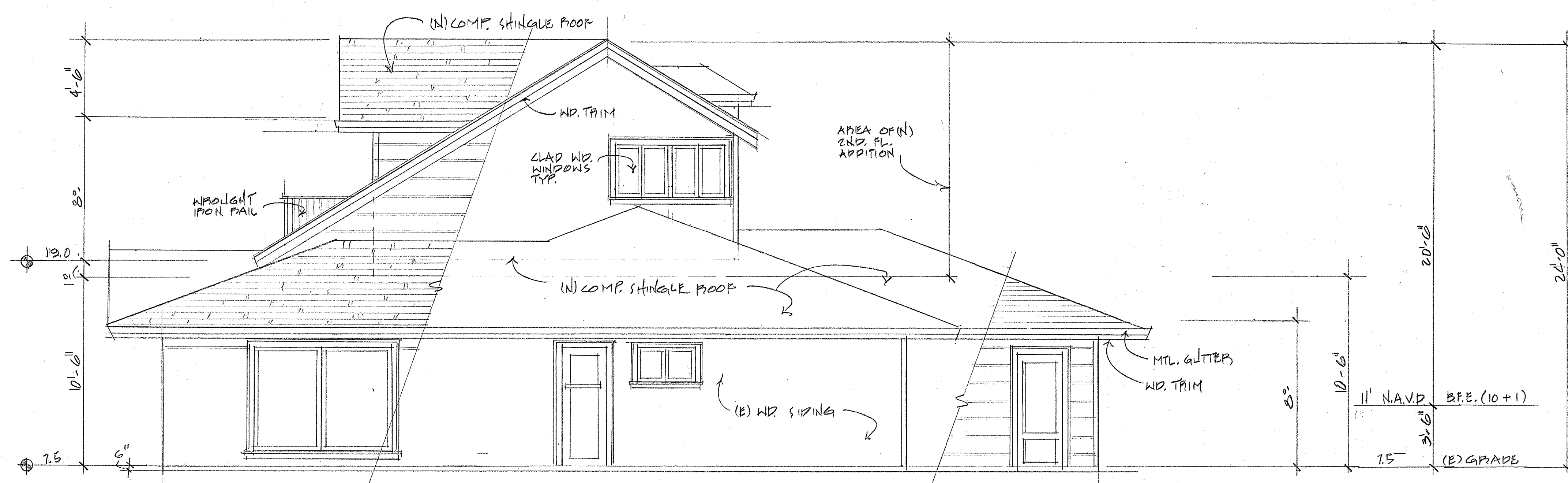
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 1 GATE 6 RD., BLDG. A., SUITE G
 SAUSALITO, CA 94965
 415-331-0410

FRONT ELEVATIONS

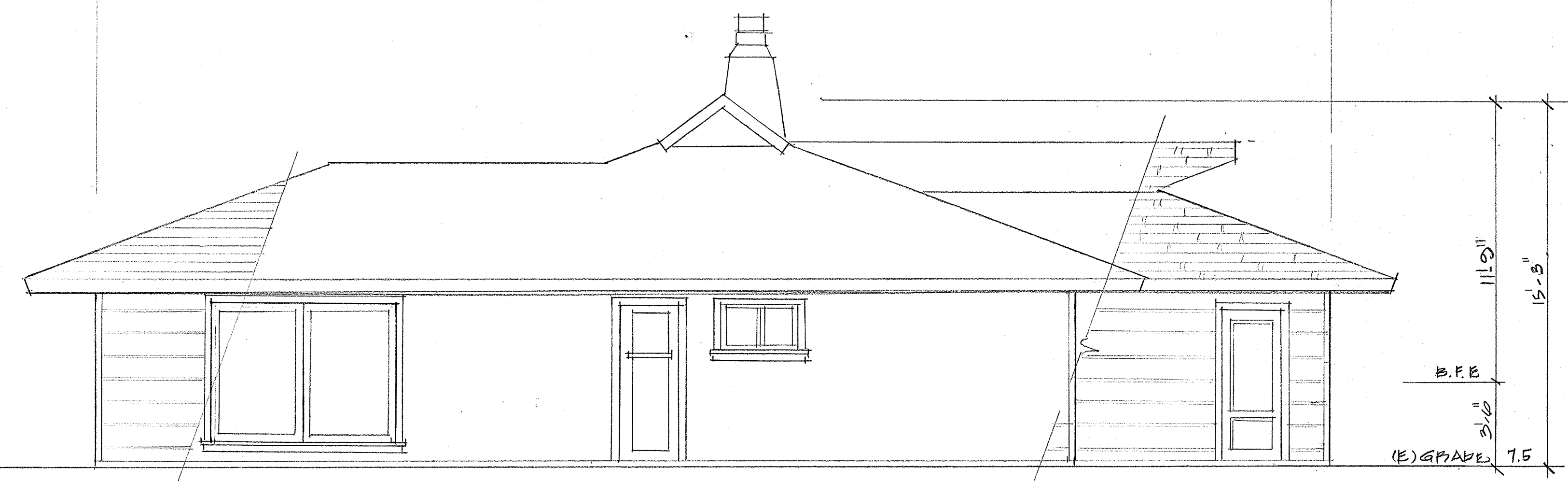
CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE CA 94920
 A.P. # 060-021-37

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| DEC. 10, 20 | |
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PROPOSED LEFT ELEVATION



(E) LEFT ELEVATION

MATERIALS (EXISTING & PROPOSED)

- CEPKO SHAKE ROOF (E) (N) COMP. SHINGLE ROOF
- HORIZONTAL WD SIDING
- SECTIONAL GAPS, DRS.
- CLAD WD. WINDOWS

MOHAMAD SADRIEH ARCHITECTS
 1 GATE RD, BLDG. A, SUITE G
 SAUSALITO, CA 94965
 415-331-0410

LEFT ELEVATION

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. # 060-021-37

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 Job
 Sheet 6
 Of 13 Sheets

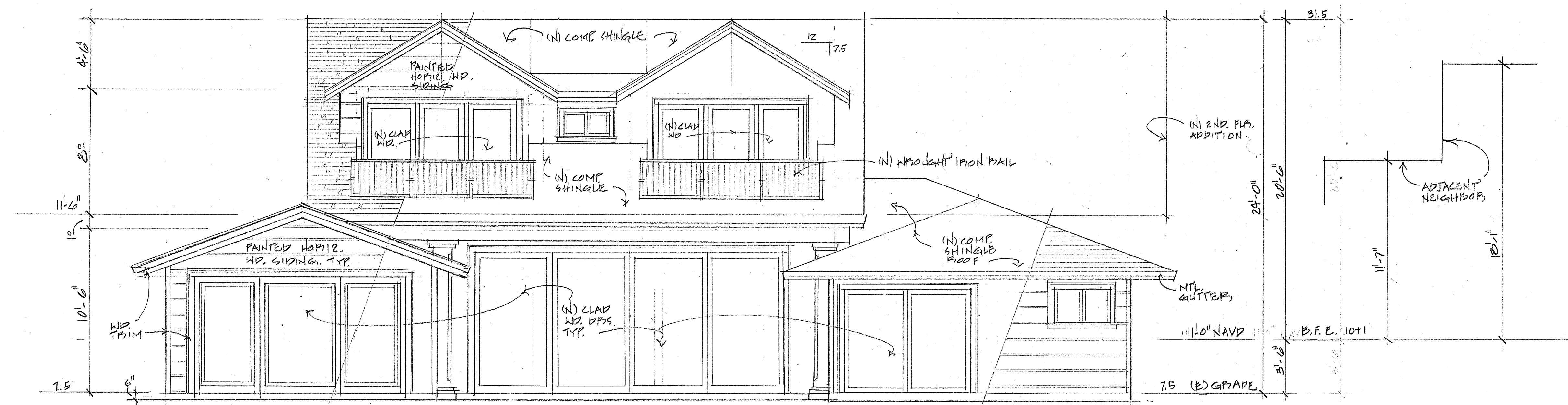
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MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A., SUITE G
 SAUSALITO, CA 94965
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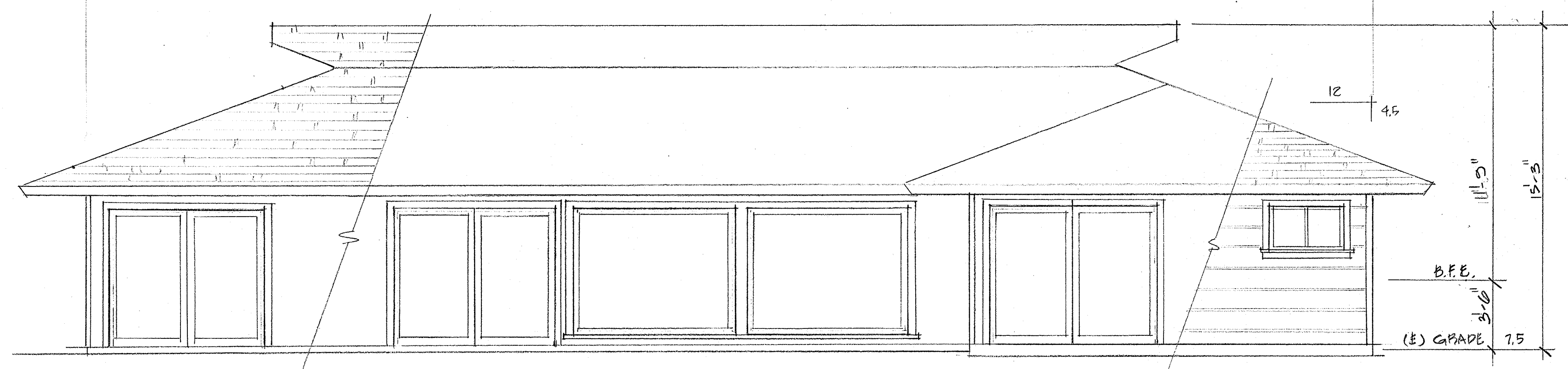
REAR ELEVATIONS

CRUZ RESIDENCE
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 BELVEDERE, CA 94920
 A.P. # 060-001-37

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| Of 13 | Sheets |



PROPOSED REAR ELEVATION



REAR ELEVATION

MATERIALS (E) & PROPOSED
 CEDAR SHAKE ROOF (E) (N) COMP. SHINGLE ROOF
 HORIZONTAL WD. SIDING
 SECTIONAL GAPPAGE DPS.
 CLAD WD. WINDOWS

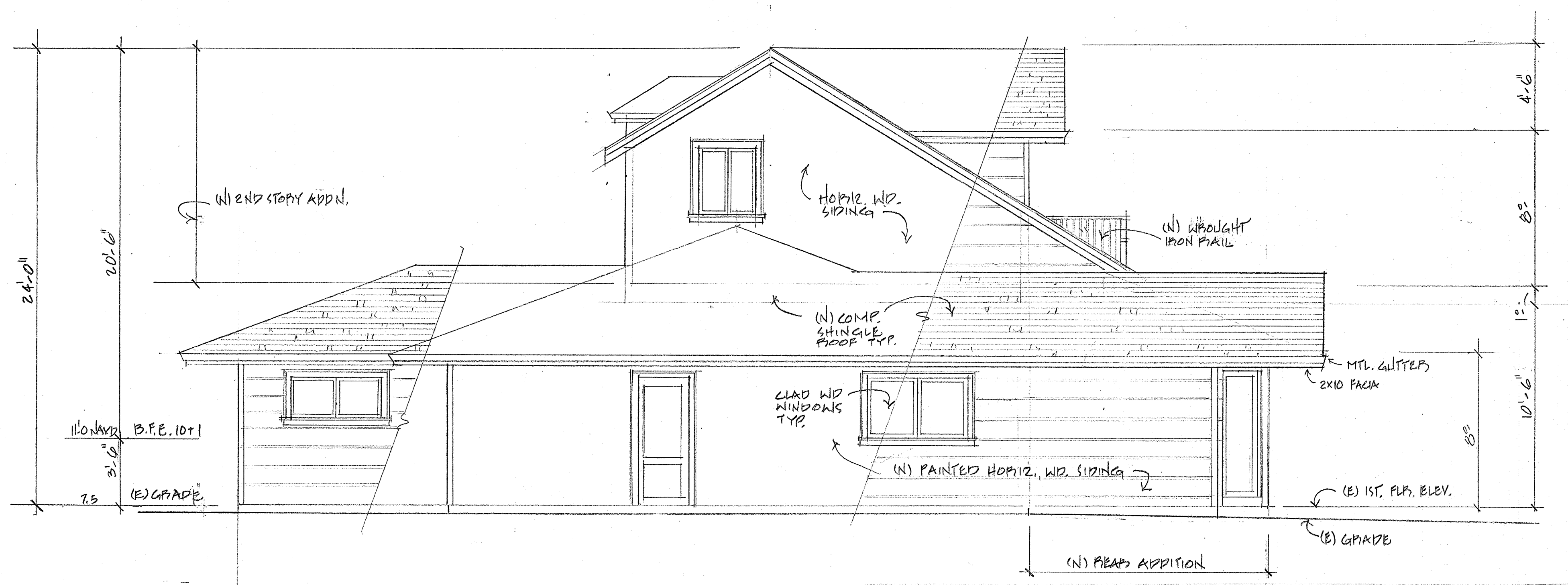
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 SAUSALITO, CA 94965
 415-331-0410

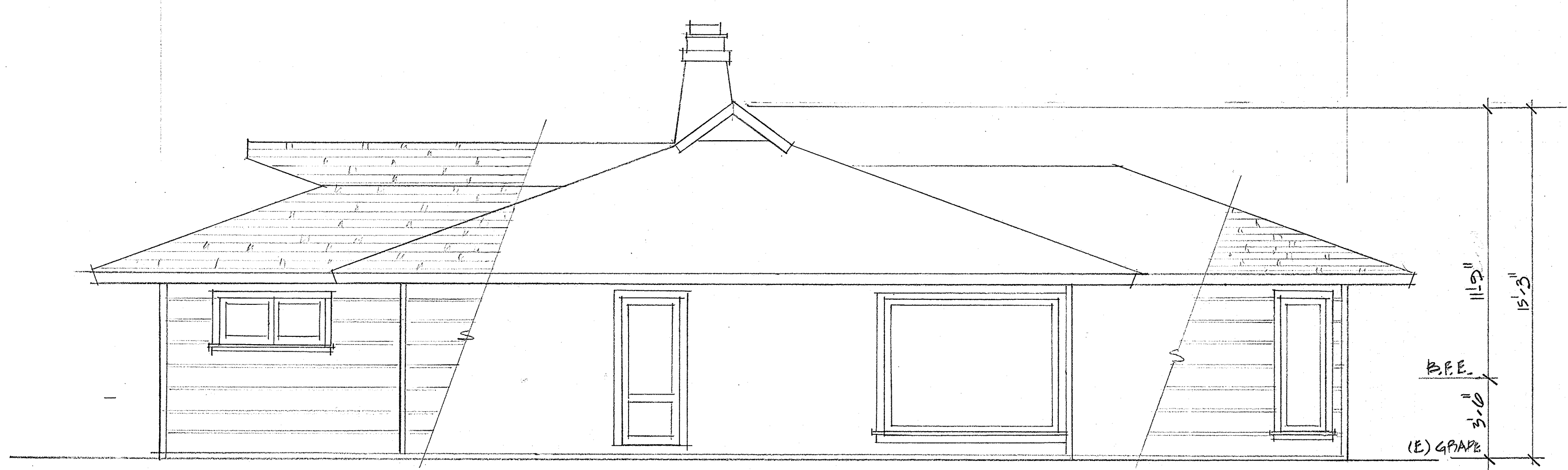
RIGHT ELEVATIONS

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. # 060-021-37

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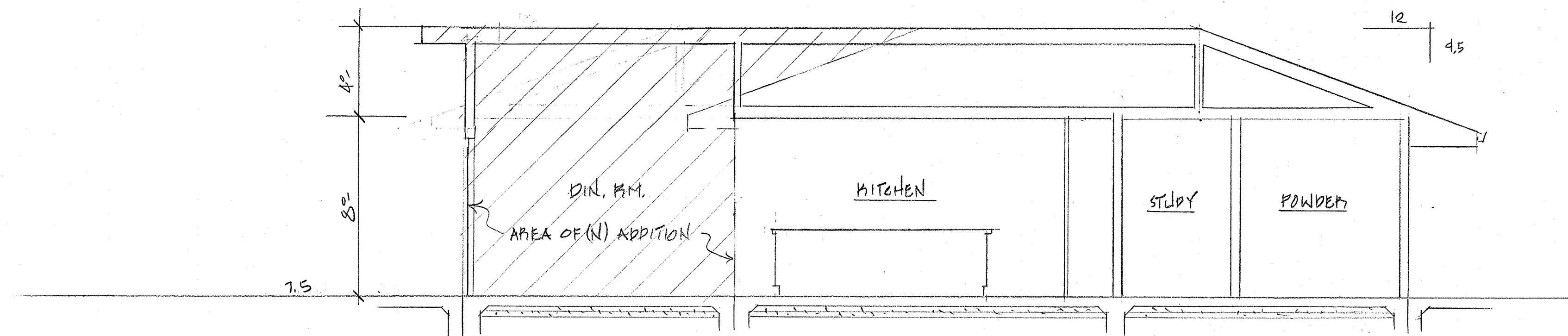
PROPOSED RIGHT ELEVATION



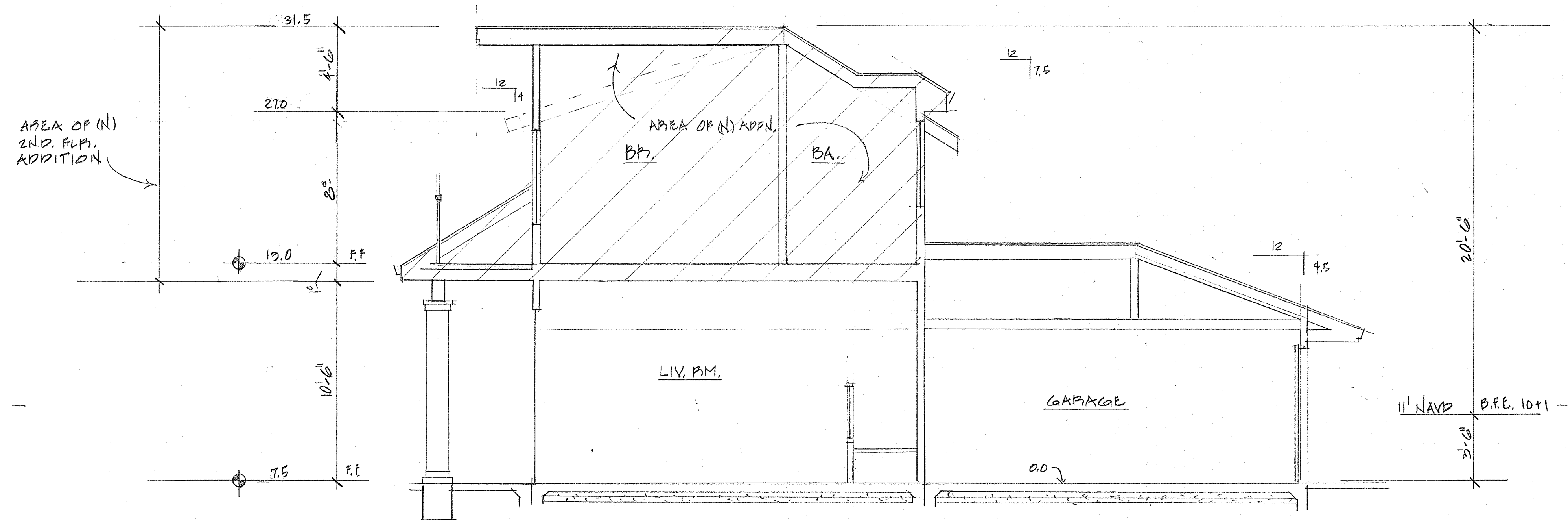
(E) RIGHT ELEVATION

MATERIALS (EXISTING & PROPOSED)
 CEDAR SHAKE ROOF (E) (N) COMP. SHINGLE ROOF
 HORIZONTAL WD. SIDING
 SECTIONAL GARAGE DR. (E)
 CLAD WD. WINDOWS (E)

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SECTION B



SECTION A

MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A., SUITE C
 SAUSALITO, CA 94965
 415-331-0410

SECTIONS

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. # 066-021-37

Date SEP. 22, '20

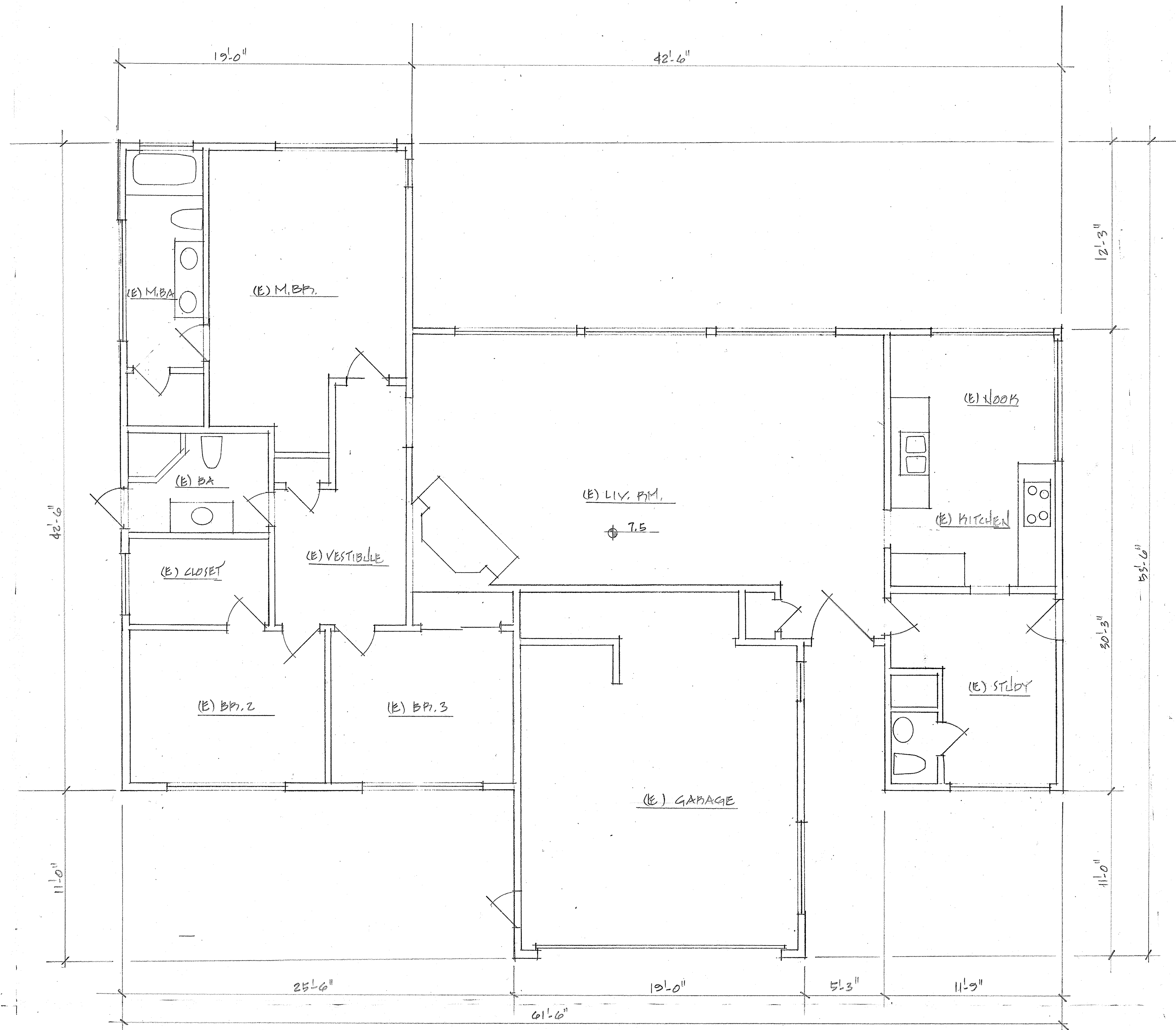
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Job

Sheet 9

Of 13 Sheets



(E) FLOOR PLAN

(E) GAR. = 399 S.F. (E) BLDG = 2256 S.F. TOTAL = 2256 S.F.

| REVISIONS | BY |
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MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A., SUITE G
 SAUSALITO, CA 94965
 415-331-0410

(E) FLOOR PLAN

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. # 060-021-57

Date SEP. 22, '20

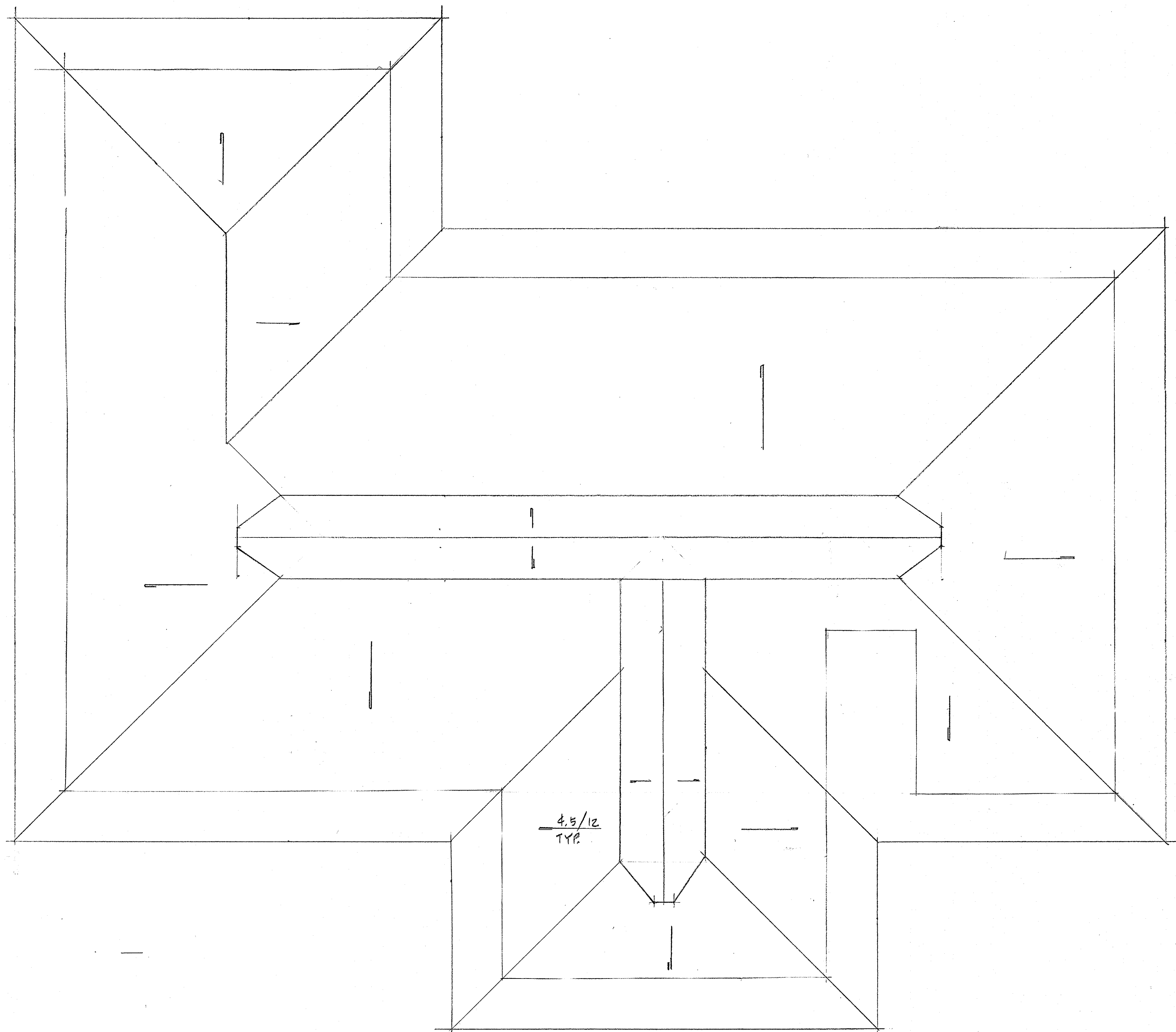
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Job

Sheet 10

Of 13 Sheets



(E) ROOF PLAN

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MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD, BLDG. A., SUITE G
 SAUSALITO, CA 94965
 415-331-0410

(E) ROOF PLAN

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. F 060-021-57

Date SEP. 22, 20

Scale 1/4" = 1'-0"

Drawn

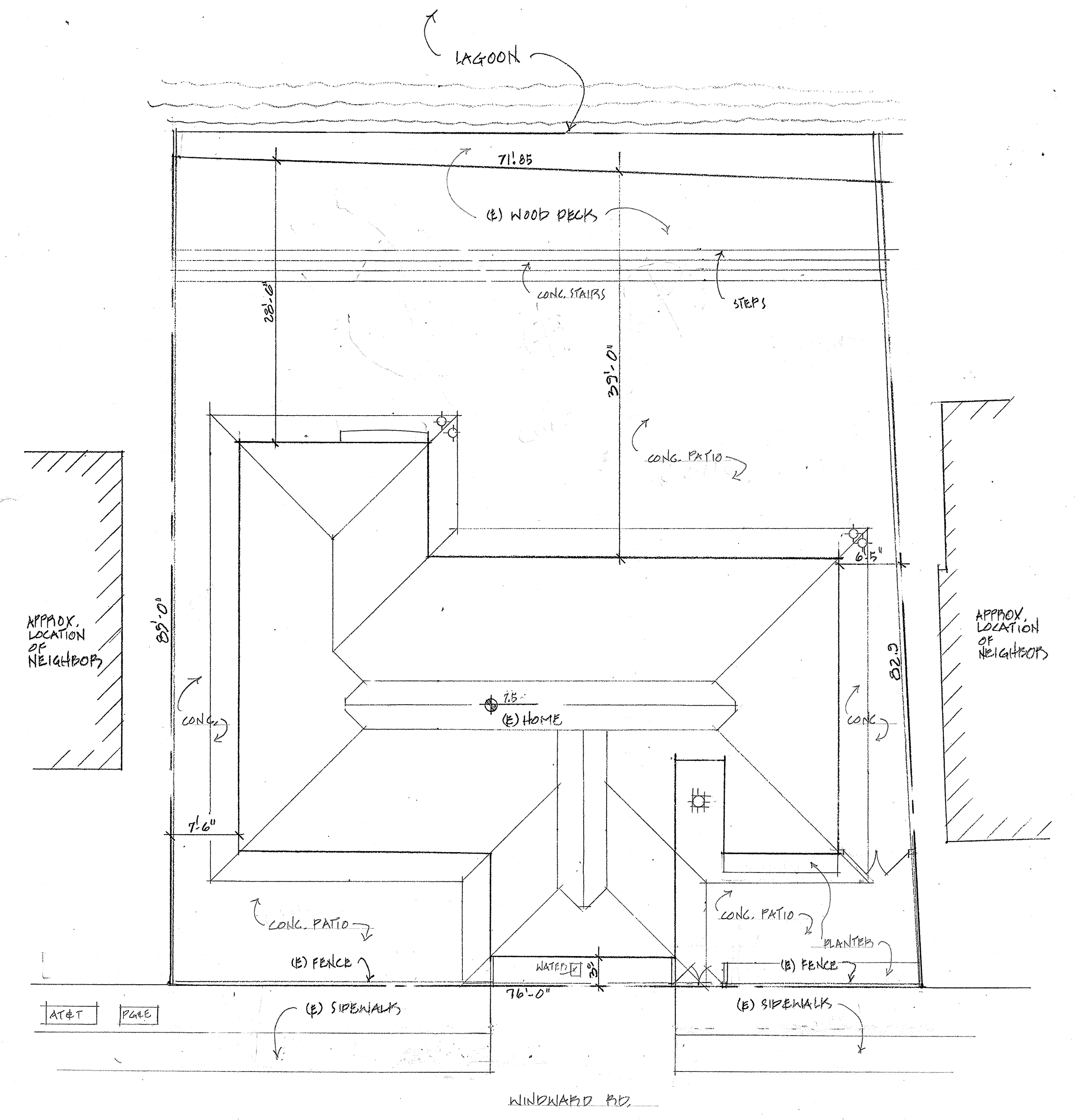
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Sheet 11

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MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A., SUITE G
 SAUSALITO, CA 94965
 415-331-0410



(E) SITE PLAN

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. # 060321-37

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| Scale | 1/8"=1'-0" |
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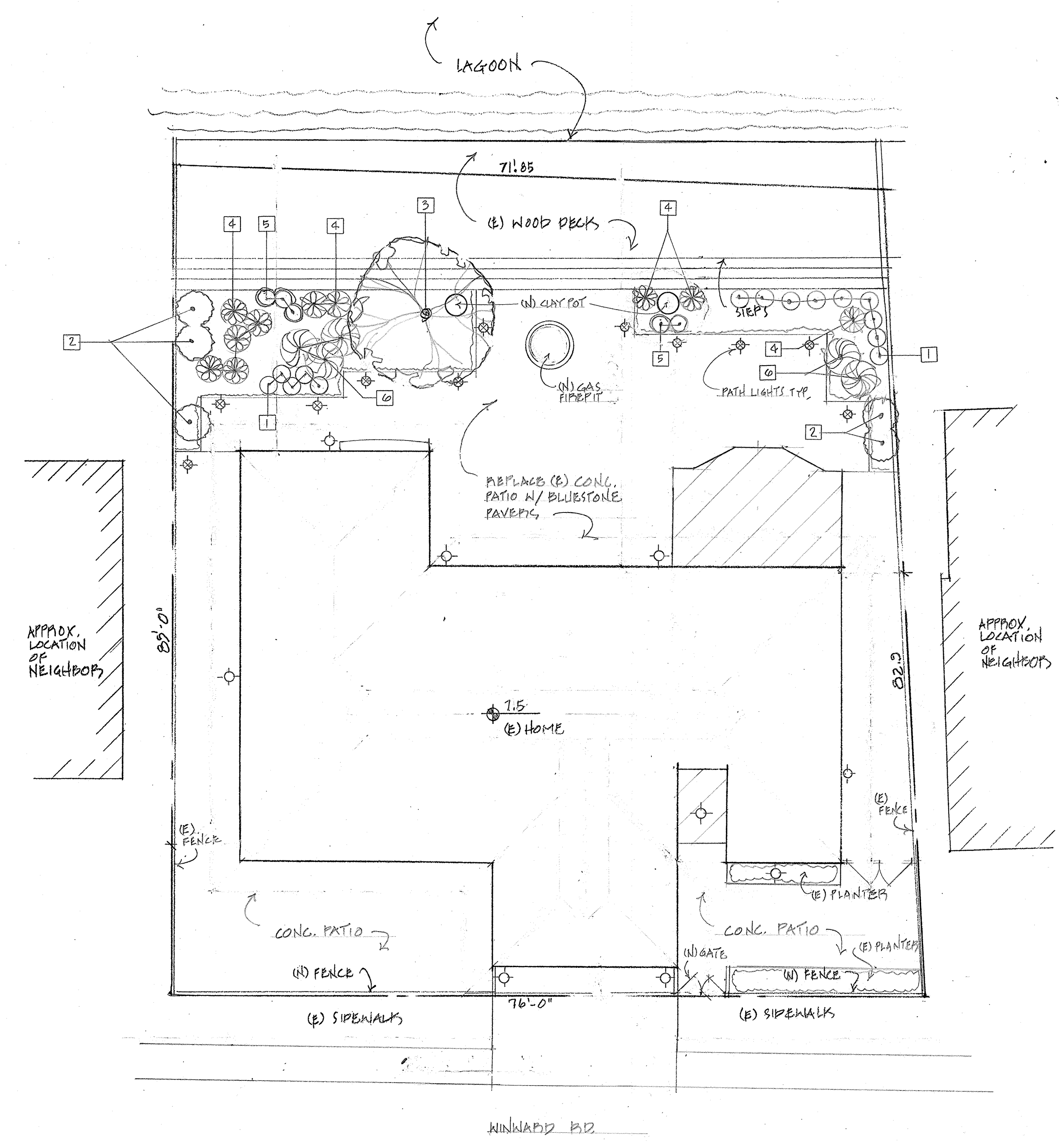
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MOHAMAD SADRIEH ARCHITECTS
 1 GATE 6 RD., BLDG. A., SUITE G
 SAUSALITO, CA 94965
 415-331-0410

LANDSCAPE SCHEDULE -- PLANTS

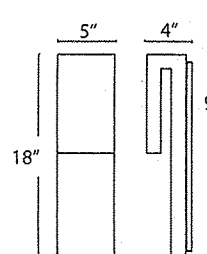
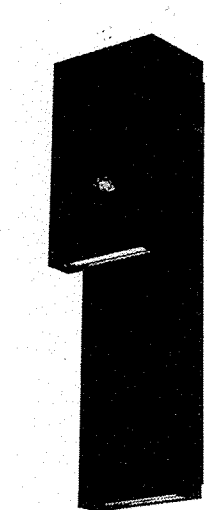
| Plant | Hardiness | Sun | Season of Interest | Height | Spread | No. of Plants | Size |
|---|-----------|------------------------------|--|----------------------------|----------------------------|---------------|----------|
| Vinca Minor 'Illumination' (periwinkle) (1) | 3-9 | Full Sun, Partial Sun, Shade | Spring (Early, Mid, Late) Summer (Early, Mid, Late) Fall Winter | 4" - 6" (10cm - 15cm) | 1' - 2' (30cm - 60cm) | 14 | 5 G |
| Hydrangea Macrophylla 'Nikko Blue' (2) | 6-9 | Partial Sun | Summer (Early, Mid, Late) | 4' - 6' (120cm - 180cm) | 4' - 6' (120cm - 180cm) | 5 | 15 G |
| Acer palmatum 'Shaina' (Japanese Maple) (3) | 5-9 | Full Sun, Partial Sun | Spring (Early, Mid, Late) Summer (Early, Mid, Late) Fall | 4' - 6' (120cm - 180cm) | 3' - 4' (90cm - 120cm) | 1 | 24 G Box |
| Salvia splendens (Scarlet Sage) (4) | 2-12 | Full Sun | Spring (Late) Summer (Early, Mid, Late) Fall | 1' - 2' (30cm - 60cm) | 1' - 2' (30cm - 60cm) | 10 | 15 G |
| Salvia nemorosa 'Blue Marvel' Sage (5) | 4-9 | Full Sun | Summer (Early, Mid, Late) | 10" - 1' (25cm - 30cm) | 10" - 1' (25cm - 30cm) | 5 | 15 G |
| Strelitzia reginae (Bird of Paradise) (6) | 10-12 | Full Sun, Partial Sun | Spring (Early, Mid, Late) Summer (Early) Fall Winter | 5' - 6' (150cm - 180cm) | 3' - 4' (90cm - 120cm) | 5 | 15 G |

- 1
- 2
- 3
- 4
- 5
- 6

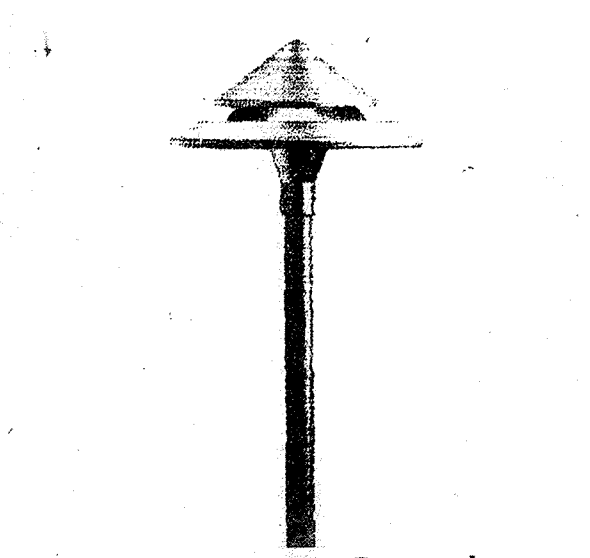


DOUBLE DOWN - model: WS-W137
 LED Exterior Sconce

MODERN FORMS



Fixture Type:
 Catalog Number:
 Project:
 Location:



Kichler 3-Watt Olde Bronze Low Voltage Hardwired LED Path Light

PRODUCT DESCRIPTION
 Patry your bet with this winning hand. The dual down light sconce delivers layered lighting from an architectural style with twin down lights emanating from different levels for a tiered effect. Designed in a unique format, this sconce makes a welcoming entry light or intriguing scene in contemporary residential and commercial indoor/outdoor settings. ADA Compliant. Dark Sky friendly.

SPECIFICATIONS
 Construction: Aluminum hardware
 Light Source: High output LED
 Finish: Black (BK), Graphite (GH)
 Standards: ETL & cETL Wet Location listed, IP65 Rated, ADA Compliant, Dark Sky friendly

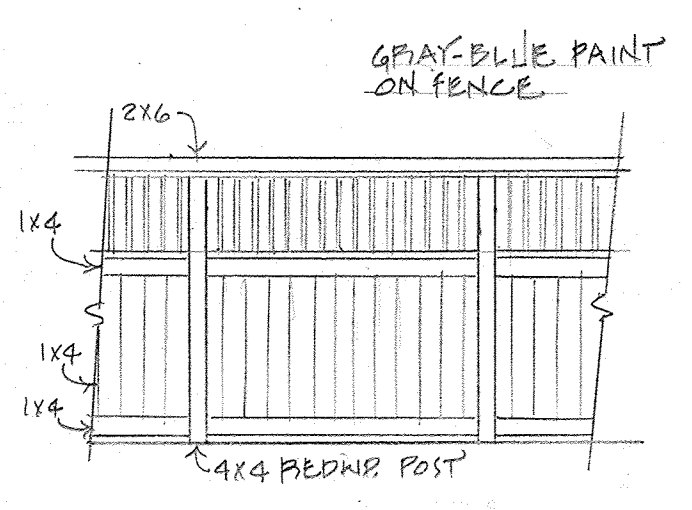
- FEATURES**
- Dark Sky friendly when mounted in downward orientation
 - Driver located inside fixture
 - Universal driver (120V-277V)
 - 50,000 hour rated life
 - Color Temp: 3000K
 - CR: 90

ORDER NUMBER

| Wattage | Voltage | LED Lumens | Delivered Lumens | Finish |
|-----------|---------|------------|------------------|--------|
| WS-W13718 | 11W | 120V-277V | 300 | 275 |

GH Graphite
 BK Black

LANDSCAPE LIGHTING



FRONT YARD FENCE 1/2"=1'-0"

EXTERIOR LIGHTS

LANDSCAPE PLAN

CRUZ RESIDENCE
 28 WINDWARD ROAD
 BELVEDERE, CA 94920
 A.P. # 060-021-57

Date DEC. 10, '20
 Scale 1/8"=1'-0"
 Drawn
 Job
 Sheet 13
 of 13 Sheets

To: Mayor and City Council

From: Robert Zadnik, City Manager

Subject: Progress report on Implementation of Construction Impacts Committee Findings and Recommendations

Recommended Motion/Item Description

1. Receive a report on Staff's progress in implementing the Construction Impacts Committee's recommended new policies and practices as directed by City Council.
2. Provide additional direction to staff as needed.

Background/Discussion

At the February 14, 2022, regular City Council meeting, Council adopted a resolution establishing a temporary committee to analyze potential construction impacts and provide recommendations to Council. This was in response to a discussion at the January 24, 2022, Council and Management Retreat where Councilmembers discussed concerns/complaints that have been voiced by residents regarding impacts from construction activity. The concerns raised generally related to dust, noise, traffic, and parking impacts from residential construction projects, utility upgrades, and Capital Improvement Projects.

The Committee met over a period of six months and began by analyzing project and road closure data trends in Building, Planning, and Public Works. The committee members divided into several subgroups that focused on developing solutions to address various categories of impacts.

The Committee presented its findings and recommendations to City Council on August 8th, 2022. During this meeting, several residents provided written or oral statements regarding the recommended changes. Council considered these comments before providing direction to staff on which policies to implement and study further.

The following outline shows the Committee's key topics and recommendations that are being considered for implementation by Council and staff. Items in red are already implemented or are underway. The remaining items may require further analysis or adoption of new ordinances and administrative policies before they can be implemented. Staff will review these items in detail on October 10th and will provide Council with estimated timelines for completion.

Summary of Committee Recommendations and Progress**1. *Review of fees associated with grading, road-impact, and road closures***

- Increase the day-long encroachment permit fee to \$260/day
- Create a new category of encroachment permit for single deliveries with a fee \$53 per delivery.
- Increase road closure fee to \$490/half day and \$990/day
- Increase “impact” fee to 0.01% of project valuation
- Impose “grading” fee of \$10/cubic yard.

Adopting new encroachment permit fees will require updating the City’s Master Schedule of Fees. Additionally, a rate study is required prior to adjusting the Road Impact Fee rate. Given the technical aspects of this endeavor, staff is recommending a third-party consultant be hired to oversee the work. Public Works is currently developing an RFP for consulting services and will consider partnering with other agencies to save costs. It may be necessary for staff to return to Council with a mid-year budget amendment to fund this work.

2. *Review of the City’s Design Review process*

- The Planning Department should apply more scrutiny to enforce Section 20.04.110 by precluding site grading, terracing of sloped lots and other plans beyond “minimal” changes to site conditions.
- The Planning Department should require estimates by cubic yard for “cut and fill” and concrete, including for landscaping plans.
- The Building Department should require precise numbers by cubic yard for “cut and fill” and concrete, including for landscaping plans, before issuing a building permit.

Following the Committee recommendations, the Planning Commission, Building Department, and Planning Department are requiring more specific estimates of cut and fill volumes prior to project approval. At the Planning Commission level, greater attention is also being given to ensuring a project conforms with the intent of Belvedere Municipal Code 20.04.110.

3. *Review of Parking*

- Modify Staging and Parking Plan policy to include potential work stoppages and/or fines associated with policy requirements, including the three-vehicle parking limit, as well as material storage and equipment storage and utilization. Establish manageable procedures for Building Department enforcement of contractor parking requirements. Broader site inspections and building department staffing would likely be required.

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- Specifically, codify the current custom into actionable policy. Current custom is a verbal warning, written warning, and finally a stop work order, although this rarely, if ever happens. New policy would be a verbal warning, a written warning, and finally an administrative citation pursuant to Chapter 1.15 of the Belvedere Municipal Code.
 - Additionally, a new or modified Ordinance may be necessary similar to the recently adopted Ordinance amending Title 9 of the Belvedere Municipal Code by adding chapter 9.80, “Parks and Community Center,” regulating the use of Belvedere parks and Community Center. This new ordinance would govern the enforcement of the modified Staging and Parking Plan
 - City should consider adding people, possibly part-time employees or in conjunction with Tiburon, to enforce parking regulations.

Staff and the City Attorney will consider the necessary code amendments needed to Belvedere Municipal Code chapter 1.15 to formalize this current practice. Staff will return to Council with options for hiring additional personnel to oversee parking and other code enforcement; however, this hiring decision may need to be deferred until the next budget planning cycle.

4. Construction Time Limit (CTL)

- Migrate to a Permit Expiration model. Permits are valid for a fixed number of months (6, 12, 18); unusually complex project permits can still be issued for 24 months at the discretion of the Planning Commission. If the work is not complete within the initially-approved time period, reactivation fees would be required. The fees and penalties necessary to reactivate a permit increase with successive reactivations.

The Building Department is preparing a multi-year analysis of past construction projects in Belvedere. A comparison will be made between actual fees collected v. fees based on a permit expiration model similar to Tiburon. This information will be presented to Council along with a red-line model ordinance for consideration this winter.

5. Communications, information, and complaints

- Improve oversight: Provide adequate Building Department personnel to oversee safety, orange tags, parking issues, mess from workers, permitting issues
- Improve Communication
 - Create and publicize a single contact point, including a phone number (unattended, with voicemail) and an email address, for all comments or complaints about construction impacts.
 - This contact point should cover matters related to Building, Planning, Public Works, parking, traffic, and other construction-

related matters. Belvedere residents often do not know which department should handle their concerns.

- City staff should monitor all communication and distribute to the appropriate department or staff.
- Data on complaints should be collected and analyzed on a periodic basis.
- For projects expected to have a duration of more than 30 days, and any long-duration encroachment or road closure permit (or other projects as determined by the Building Department), require on-site sign/poster, with a QR code that links to Planning Dept., at each worksite displaying:
 - Project/site address;
 - Permitted duration of project;
 - Permitted hours of construction - Subsection 105.7.1 of Municipal Code 16.04.030
 - Name, address, and phone number of contractor or lead agency;
 - Name, address, and phone number of the person responsible for the project or in case of emergency;
 - The email of the Belvedere building official to contact for complaints regarding the project.
- Improve community outreach, as a condition of use:
 - For municipal projects, require an agency introductory letter to all affected neighbors with contact information for primary liaison.
 - For large residential projects, require a contractor introductory letter to all affected neighbors with contact information for primary liaison.
- Improve the Building Department website
 - Revise and update
 - List current and upcoming road encroachments and closures

Fortunately, a majority of these recommendations are simple changes to forms or project conditions of approval. The recommendation for additional staffing to improve oversight must also be considered in broader annual budget discussions that will begin in March of 2023. On an interim basis, Staff will consider assigning a single point of contact for construction-related complaints. Short-term website improvements will also be considered to capture complaint data and improve ease of access to information. It is worth noting that the City intends to renovate its web platform in 2023. Capital Budget funds will be requested for this undertaking.

6. *Review of Historic Properties*

- The Historical Preservation Committee should review the gaps between the HRI list, the Landmark Society lists, and the City of Belvedere list.
- The City of Belvedere list should be adjusted as the HPC believes is appropriate.

The Historical Preservation Committee (HPC) appointed a subcommittee in July to begin this work. Following the conclusion of the Housing Element Update, the Planning Department will convene the HPC to generate a report to City Council on its findings.

The Construction Impacts Committee Draft Report contains a summary of the Committee's work, findings, and recommendations for consideration by City Council (**Attachment 1**).

ATTACHMENTS

1. Construction Impact Committee July 7th Draft Report.

**CITY OF BELVEDERE
CONSTRUCTION IMPACT COMMITTEE**

Draft report, August 3, 2022

I. Summary

A. Key data

1. Data supports observations that construction has increased in recent years.
 - a) Construction increased in 2020 and 2021 over levels seen in preceding 10 years.
 - b) Road closures and encroachments also were among the highest in the preceding 10 years.
2. Large projects (project valuations excess of \$500K) are responsible for most road closures and encroachments.
3. Length and scope are primary drivers of construction impact on a neighboring community.

B. Summary of recommendations

1. Increasing certain fees may enhance efficient use of public resources, recover for roadway damage, and bring Belvedere in line with fees charged in other Marin municipalities.
2. Enhanced enforcement of existing Design Review standards to preserve site conditions should reduce project scope and duration, and limit truck trips that add to traffic and parking congestion, and unduly impact our roadways.
3. Greater enforcement of existing rules regarding construction parking permits and limits on vehicles per project can reduce impacts.
4. We should consider revisions to the Construction Time Limit ordinance that may encourage more consistent compliance with CTL deadlines.
5. We can improve communications about building projects to enhance neighborhood awareness and expectations, and encourage reporting of complaints to help us better understand construction impacts.
6. A proposed 12-month trial period of modestly increased permitted hours for quiet work should shorten project duration without adding meaningful impacts.
7. We should examine our list of historical properties to ensure that construction projects do not unduly impact our objective of preserving historic properties.

II. Committee Background, Approach and Data Review

A. Construction Impact Committee (“CIC”) Background

1. Formation
 - a) Formed by City Council Resolution 2022-11 approved on February 14, 2022.
 - b) Charter is set forth in Exhibit A to that resolution.
2. Members
 - a) Public Members

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- (1) Andy Allen
 - (2) Jane Cooper
 - (3) Sandy Donnell
 - (4) Jeff Hadley
 - (5) Peter Mark (City Council Liaison beginning June 2022)
 - (6) Steve Stroub
 - (7) John Tantum (Chair)
 - b) City Council Liaisons
 - (1) Steve Block
 - (a) Upon Steve Block's resignation from Council, James Campbell was appointed Liaison.
 - (b) Upon Peter Mark's appointment to Council, he replaced James Campbell as Liaison in June 2022.
 - (2) Jim Lynch
 - c) Ex-Officio (at invitation of Committee Chair):
 - (1) City Manager
 - (2) Building Official
 - (3) Planning Official
 - (4) Chief of Police
3. Scope per Resolution 2022-11, Exhibit A:
- a) Gather and analyze data pertaining to construction projects (e.g., number and types of building permits, number of road closures) and citizen complaints related thereto;
 - b) Evaluate whether residents are currently experiencing greater impacts from projects than in the past because of the complexity of projects, more stringent building code requirements, or topography challenges, etc;
 - c) Evaluate whether the concentration of construction projects is contributing to negative impacts on residents;
 - d) Consider options for reducing construction impacts on Belvedere residents consistent with the City's desire to continuously improve its environment; and
 - e) Report the findings of its analysis to Council and, if applicable, make recommendations to Council on strategies that could mitigate the impacts of construction projects on residents.
4. Traffic & Safety Committee
- a) The CIC was mindful of the extensive work by the Traffic Safety Committee, and endeavored not to replicate or revisit the analysis and recommendations in that committee's 2021 report to Council.
5. Timing
- a) This is a temporary committee (approximately 6 months) scheduled to "disband after its report to Council," unless Council directs otherwise.
- B. Approach
1. The CIC began by considering all ideas about reducing construction impacts.
 - a) We then divided into groups focused on developing ideas to address distinct impacts.

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- b) We then discussed those ideas in public hearings, and refined ideas for further research and analysis in sub-groups.
- 2. Public meetings
 - a) Monthly, beginning in March, 2022
 - b) Draft report presented to Council in August.
 - c) August 2022 is the last planned meeting, with the final report to Council in August.
- C. Data Review
 - 1. A primary question we confronted was whether construction actually was increasing in Belvedere, or whether residents were experiencing more impacts because COVID caused residents to spend more time at home. Or both?
 - a) We cannot discount the effect of COVID on residents' experience of construction impacts.
 - b) But the data confirms that 2020 and 2021 were among the busiest construction periods in a decade.
 - 2. Building permits
 - a) Data supports the conclusion that construction activity was higher in 2021 than in years past.
 - (1) 2021 had the highest number of opened building permits -- 289 -- since 2013. 2021 had 9% more open permits than 2020, and 21% more than 2019.
 - b) An increase in "large projects" (over \$500k in value) may be causing greater community impact.
 - (1) In 2020 14 projects opened with valuations of more than \$500K (including 1 valued at more than \$2 million and 1 at more than \$7 million).
 - (2)
 - (3) In 2021 10 projects opened with valuations of more than \$500K (including 5 valued at more than; \$1 million and 1 valued at more than \$2 million).
 - (4) For comparison, in 2019, 7 projects opened with valuations of more than \$500, (including 1 valued at more than \$1 million).
 - 3. Road encroachments and closures are higher, with large projects responsible for most of them.
 - a) Large projects account for most road encroachments and closures
 - b) In 2019 - 2022, 11 projects accounted for:
 - (1) 470 of 605 road encroachments; and
 - (2) 48 of 61 road closures.
 - c) Large projects at "choke points" in roadways are particularly challenging.

III. Discussion and Recommendations

A. Topic 1: Fees for road encroachments, closures, "impacts," and "grading"

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1. The Committee compared Belvedere's fees to other community fees, and while "apples to apples" comparisons were not always possible, we did make the following observations.
2. Road encroachment and closure fees.
 - a) Compared with other Marin municipalities, Belvedere's fees do not appear to encourage efficient use of encroachment and closure permits.
 - b) Many Marin towns charge encroachment fees that are three to nine times higher than Belvedere.
 - (1) Belvedere's encroachment fee is \$53/day and \$105/week
 - (2) Some surrounding towns charge from \$180 to \$463 per day, and some charge a percentage of the project value, which would be much higher than \$463/day, in most instances.
 - c) Belvedere's road closure fee is \$245/half-day and \$489/day.
 - (1) Mill Valley is \$292/day
 - (2) Ross charges \$1,796/day minimum
 - (3) Most Marin towns do not allow road closures
3. "Impact" fees
 - a) Belvedere charges a "road impact fee" of 0.075% of project valuation.
 - b) Except for Sausalito which has no specific "road impact fee," every other municipality in Marin charges at least 0.1% road impact fee.
4. "Grading" fees
 - a) Unlike most municipalities in Marin, Belvedere does not charge for truck trips related to "grading" of a property.
 - (1) Ross charges \$3/cubic yard hauled in/out of town
 - (2) Mill Valley charges \$1,052 for 51-100 cubic yards, then increases the cost above 100 cubic yards (\$20/cubic yard for 51 cubic yards).
 - b) Cement trucks contain approximately 8-10 cubic yards; dump trucks approximately 10-16 cubic yards.
5. Recommendations:
 - a) To encourage more efficient use of public resources, revise fees for road encroachment and closures, impact fees, and grading. These recommendations will also , protect roads and bring fees in line with fees in surrounding municipalities.
 - (1) Increase the day-long encroachment permit fee to \$260/day (about five times higher than present, and in the middle of fees many surrounding municipalities charge).
 - (2) Create a new category of encroachment permit for single deliveries with a fee \$53 per delivery. This is equal to the current encroachment permit fee.
 - (3) Increase road closure fee to \$490/half day and \$990/day (about double existing fees).
 - (4) Increase "impact" fee to 0.01% of project valuation (in line with all other towns charging impact fees).

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- (5) Impose “grading” fee of \$10/cubic yard. This is roughly a mid-point between the Ross and Mill Valley fees, and is about \$100 per truck trip.
- (6) Implement an inflation-based annual escalator for all fixed fees.

B. Topic 2: Design Review requirement that projects “preserve existing site conditions.”

1. The Planning Code requires that projects minimize the removal of rock and soil, “cut and fill areas,” and grade changes. BMC, section 20.04.110:
To preserve the landscape in its natural state, the removal of trees, vegetation, rock, and soil should be kept to a minimum. Projects should be designed to minimize cut and fill areas, and grade changes should be minimized and kept in harmony with the general appearance of the neighboring landscape. All disturbed areas should be finished to a natural appearing configuration and planted or seeded to prevent erosion. (Ord. 90-5 § 2, 1990; Ord. 80-1 § 48, 1980.)
2. This Planning Code requirement has many benefits, including reducing the number of truck trips to haul dirt, debris, and concrete.
 - a) Fully loaded cement trucks and dump trucks can weigh up to 33 tons - roughly 16 times more than a typical passenger vehicle.
 - b) They are responsible for many road encroachments and some road closures.
 - c) They significantly add to traffic and parking congestion.
 - d) They substantially add to wear and damages to our roadways.
3. The CIC recognizes that current construction standards often require more substantial concrete foundations for structures, engineered walls, fences, etc., than in the past. Simply replacing a fence or decking can require much more steel and concrete than existing. But we can and should preclude site changes that require anything beyond minimal revisions to existing conditions.
4. Recommendations:
 - a) The Planning Department should apply more scrutiny to enforce Section 20.04.110 by precluding site grading, terracing of sloped lots and other plans beyond “minimal” changes to site conditions.
 - b) The Planning Department should require estimates by cubic yard for “cut and fill” and concrete, including for landscaping plans.
 - c) The Building Department should require precise numbers by cubic yard for “cut and fill” and concrete, including for landscaping plans, before issuing a building permit.
 - (1) Any requests to increase such amounts should be strongly disfavored.

C. Topic 3: Parking

1. Construction-related parking beyond the allowable limit has an adverse impact on neighborhoods by the loss of on-street parking, street congestion, and impairment of emergency access.

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2. Belvedere Police can and do respond to complaints regarding traffic and parking related to construction, however, if no statute or ordinance is being violated their primary concern is health and safety, and possible traffic violations.
3. Belvedere Building Department officials attempt to remind and enforce the requirements of a Permittee's Staging and Parking Plan, but the Building Department does not currently have the personnel adequately to enforce the requirements nor, as importantly, the policy guidelines for this enforcement.
4. Recommendations:
 - a) Modify Staging and Parking Plan policy to include potential work stoppages and/or fines associated with policy requirements, including the three vehicle parking limit, as well as material storage and equipment storage and utilization. Establish manageable procedure for Building Department enforcement of contractor parking requirements. Broader site inspections and building department staffing would likely be required.
 - b) Specifically, codify the current custom into actionable policy. Current custom is a verbal warning, written warning, and finally a stop work order, although this rarely, if ever happens. New policy would be a verbal warning, a written warning, and finally an administrative citation pursuant to Chapter 1.15 of the Belvedere Municipal Code.
 - c) Additionally, a new or modified Ordinance may be necessary similar to the recently adopted Ordinance amending Title 9 of the Belvedere Municipal Code by adding chapter 9.80, "Parks and Community Center," regulating the use of Belvedere parks and Community Center. This new ordinance would govern the enforcement of the modified Staging and Parking Plan
 - d) City should consider adding people, possibly part-time employees or in conjunction with Tiburon, to enforce parking regulations.
5. The CIC also discussed the possibility of establishing two-hour parking regulations for all cars other than residents' throughout the City. While this option seems to be beyond the scope of the CIC, we feel it could have a positive impact on construction-related parking. The Traffic & Safety Committee recently reviewed parking regulations and we defer to their recommendations.

D. Topic 4: Construction Time Limit

1. Belvedere's Construction Time Limit Ordinance (20.04.035) and related Administrative Policy (14.4) provides for a maximum amount of time for completion of a project without incurring a penalty. Time is based on valuation from 6 months to 18 months. A 24 month CTL can be approved by the Planning Commission prior to the issuance of a building permit. This ordinance is intended to motivate the timely completion of construction projects.
2. We may consider revisions to the CTL to more effectively encourage project owners to complete projects within the CTL.
3. Recommendations:

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- a) Migrate to a Permit Expiration model. Permits are valid for a fixed number of months (6, 12, 18); unusually complex project permits can still be issued for 24 months at the discretion of the Planning Commission. If the work is not complete within the initially-approved time period, reactivation fees would be required. The fees and penalties necessary to reactivate a permit increase with successive reactivations.
- b) Example attached.
 - (1) The goal is to improve upon the project shortening financial motivation of Construction Time Limits. A reactivation/extension charge is primarily a penalty for failure to complete the project within the allotted time, and secondarily a fee to recover the cost of providing additional building inspection services.

4. Actions

- a) Belvedere would need to modify section 16.03.020, which amends the California Building Code uniquely for Belvedere. Section 105.5 Expiration of the California Building Code would need to be modified in the BMC (16.03.020).

5. Supporting Documents

- a) Relevant City Ordinances & Policies
 - (1) 20.04.035 Time limits for construction
 - (2) Policy 14.4 Violation of the Construction Time Limit Ordinance
- b) Model Ordinance from Tiburon
 - (1) https://library.municode.com/ca/tiburon/codes/code_of_ordinances?nodeId=TITIVLAIMUS_CH13BURE
 - (2) Example
 - (a) Grace Period. In instances where the permittee has proceeded with due diligence and made substantial progress but is unable to complete the project because of unforeseen circumstances beyond the control of the permittee, one extension of up to three (3) months may be granted, without payment of additional charges or penalties.
 - (b) Extension #1 (6 Months). If the project is not completed within the extension allowed under section 1 above, a Stop Work Order may be issued on the date of expiration and work shall not recommence until the permit is reactivated and extended. A six (6) month extension may be issued by the Building Official once a reactivation/extension Charge equal to one (1) times the original project construction permit fee is paid.
 - (c) Extension #2 (6 Months). If the project is not completed within the six (6) month extension allowed under section 2 above, a Stop Work Order may be issued on the date of expiration and work shall not recommence until the permit is reactivated and extended. Reactivation and extension of

the permit for another six (6) month period shall be allowed only if a Reactivation/Extension Charge equal to three (3) times the original project construction permit fees is paid.

- (d) Extension #3 (tbd) with City Council Approval. If the project is not completed within the six (6) month extension allowed under section 3 above, a Stop Work Order shall be issued and the matter referred to the City Council for resolution. The City Council may reactivate and extend the permit for additional time based upon submission and acceptance of a completion schedule for the project and payment of five (5) times the original project construction permit fees as a Reactivation/Extension Charge. The City Council may reduce the reactivation/extension charge based on such reasons as the project's nearness to completion and/or the cause of the delay. The City Council may impose additional requirements, such as the retention of a qualified contractor for owner/builder projects or retention of a qualified construction manager for a contracted project, in order to promote swift completion.

E. Topic 5: Communications, information, and complaints

1. Improving communications regarding construction projects, and implementing a system for tracking complaints, will help us continue to monitor construction impacts going forward.
2. Recommendations:
 - a) Improve oversight: Provide adequate Building Department personnel to oversee safety, orange tags, parking issues, mess from workers, permitting issues
 - b) Improve Communication
 - (1) Create and publicize a single contact point, including a phone number (unattended, with voicemail) and an email address, for all comments or complaints about construction impacts.
 - (a) This contact point should cover matters related to Building, Planning, Public Works, parking, traffic, and other construction-related matters. Belvedere residents often do not know which department should handle their concerns.
 - (b) City staff should monitor all communication and distribute to the appropriate department or staff.
 - (c) Data on complaints should be collected and analyzed on a periodic basis.
 - (2) For projects expected to have a duration of more than 30 days, and any long-duration encroachment or road closure permit (or other projects as determined by the Building Department), require on-site sign/poster, with a QR code that links to Planning Dept., at each worksite displaying:

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- (a) Project/site address;
 - (b) Permitted duration of project;
 - (c) Permitted hours of construction - Subsection 105.7.1 of Municipal Code 16.04.030
 - (d) Name, address, and phone number of contractor or lead agency;
 - (e) Name, address, and phone number of the person responsible for the project or in case of emergency;
 - (f) The email of the Belvedere building official to contact for complaints regarding the project.
- (3) Improve community outreach, as a condition of use:
- (a) For municipal projects, require an agency introductory letter to all affected neighbors with contact information for primary liaison.
 - (b) For large residential projects, require a contractor introductory letter to all affected neighbors with contact information for primary liaison.
- (4) Improve the Building Department website
- (a) Revise and update
 - (b) List current and upcoming road encroachments and closures

F. Topic 6: Permitted work hours

1. The CIC's objective is to explore how modifying permitted work hours, for quiet work only, could reduce the duration of projects without meaningfully increasing disruptions. To illustrate, a 5% increase in productivity due to expanded quiet work hours could result in a large project being completed 4-5 weeks sooner.
2. Based on discussions with two of Belvedere's leading contractors, who participated on the CIC, there are several ways expanding permitted work hours will reduce project duration and construction impact:
 - a) Expanded hours will result in greater scheduling flexibility and increased productivity, reducing overall duration of projects.
 - b) Construction crews could be on-site before school traffic fills the streets, reducing congestion. RUSD schools start at 8:00, 8:20, and 8:30 am; Redwood and Tam start at 8:30 am.
 - c) Expanded hours would permit a construction team to optionally work four 10-hour days instead of five 8-hour days, reducing traffic congestion and preparation/disassembly time (shortening projects).
 - d) Expanded hours would enable >40-hour work weeks if the homeowner is willing to pay overtime (as they may in a CTL fine situation).
 - e) These changes closely align with other Marin cities and towns, where quiet work is generally permitted before 8:00 am and after 5:00 pm.
3. Recommendations:
 - a) For a pilot period of 12 months, extend the time when construction work is permitted to the hours of 7 am and 6 pm Monday through Friday,

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provided that from 7 am to 8 am, and from 5 pm to 6 pm, only light noise associated with preparing or disassembling the job site is permitted; for example, no heavy equipment or power tools are permitted. Delivery of construction material such as lumber and cement would be unchanged, and may be made to the work site only between the hours of 8 am to 5 pm Monday through Friday.

- b) Clarify the language in Belvedere Municipal Code section 16.04.030 (subsection 105.7.1) to accommodate these changes and to clean up ambiguities.
 - c) After the 12-month pilot period, assess the response of the community to the extended quiet hours based on complaint data.
4. To address concerns about construction-related noise between 7 and 8 am and 5 and 6 pm, the CIC recommends improved communication and complaint processes, as described under Topic 5.

G. Topic 7: Historic properties

1. The Belvedere General Plan recognizes “that the conservation of historic properties stabilizes and increases property values and strengthens the overall community.” The CIC recognizes that the preservation of historical structures, avoiding their tear-down and replacement, will significantly reduce negative construction impacts.
2. As defined by Belvedere’s Historical Preservation Committee, list of historic properties is maintained by Belvedere Planning pursuant to Title 21 of the Belvedere City Code. The list currently enumerates 21 buildings.
3. However, a more comprehensive list is the Historic Properties Data File for Marin County that is maintained by the California Office of Historic Preservation (OHP), referred to as the Historic Resources Inventory (HRI). There are 49 properties listed on the HRI that are located in Belvedere. Additionally, reports made by the Landmark Society name other structures.
4. Recommendations:
 - a) The Historical Preservation Committee should review the gaps between the HRI list, the Landmark Society lists, and the City of Belvedere list.
 - b) The City of Belvedere list should be adjusted as the HPC believes is appropriate.