

BELVEDERE PLANNING COMMISSION
REGULAR MEETING AGENDA
January 18, 2022, 6:30 PM
REMOTE MEETING

COVID-19 ADVISORY NOTICE

On March 3, 2020, Governor Newsom proclaimed a State of Emergency due to the COVID-19 pandemic that remains in effect. This meeting will be held remotely consistent with Executive Order N-29-20 and Assembly Bill 361, modifying provisions of the Brown Act to allow remote meetings at the current time. Members of the Planning Commission and staff will participate in this meeting remotely. Members of the public are encouraged to participate remotely via Zoom or telephone pursuant to the information and link below. Public comment will be accepted during the meeting. The public may also submit comments in advance of the meeting by emailing the Director of Planning and Building at: iborba@cityofbelvedere.org Please write "Public Comment" in the subject line. Comments submitted one hour prior to the commencement of the meeting will be presented to the Planning Commission and included in the public record for the meeting. Those received after this time will be added to the record and shared with Planning Commission member after the meeting.

City of Belvedere is inviting you to a scheduled Zoom meeting.

Topic: Belvedere Planning Commission Meeting

Time: January 18, 2022, 06:30 PM

Join Zoom Meeting

<https://us02web.zoom.us/j/82645994733?pwd=RjgxcVpNm9EMkR1V3VIT3RRS2Q5UT09>

Webinar ID: 826 4599 4733

Passcode: 656245

888 -788- 0099 (Toll Free)

877- 853- 5247 (Toll Free)

The City encourages that comments be submitted in advance of the meeting. However, for members of the public using the Zoom video conference function, those who wish to comment on an agenda item should write "I wish to make a public comment" in the chat section of the remote meeting platform. At the appropriate time, the Meeting Host will allow oral public comment through the remote meeting platform. Any member of the public who needs special accommodations to access the public meeting should email the **Director of Planning and Building**, iborba@cityofbelvedere.org who will use her best efforts to provide assistance.

HEARING PROCEDURE:

The Planning Commission will follow the following procedure for all listed public hearing items:

- 1) The Chair will ask for presentation of the staff report;
- 2) The Commissioner will have the opportunity to question staff in order to clarify any specific points;
- 3) The applicant and project representative will be allowed to make a presentation, not to exceed 10 minutes for large, or 5 minutes for small, projects, as total for the applicant's design team;
- 4) The public hearing will be opened;
- 5) Members of the audience in favor or against the proposal will be allowed to speak, for a maximum of 3 minutes per speaker;
- 6) The applicant will be given an opportunity to respond to comments made by the audience, for a maximum of 5 minutes total for the applicant's design team;
- 7) The public hearing will be closed; and
- 8) Discussion of the proposal will return to the Commission with formal action taken to approve, conditionally approve, deny or continue review of the application.

A. CALL TO ORDER OF REGULAR MEETING

B. OPEN FORUM

This is an opportunity for any citizen to briefly address the Planning Commission on any matter that does not appear on this agenda. Upon being recognized by the Chair, please state your name, and limit your oral statement to no more than three minutes. Matters that appear to warrant a more-lengthy presentation or Commission consideration will be agendaized for further discussion at a later meeting.

C. REPORTS

The Reports agenda item consists of any oral reports from standing Planning Commission committees (if any), an individual member of the Planning Commission, and staff.

D. CONSENT CALENDAR

The Consent Calendar consists of items that the Planning Commission considers to be non-controversial. Unless any item is specifically removed by any member of the Planning Commission, staff, or audience, the Consent Calendar will be adopted by one motion. Items removed will be considered in the sequence as they appear below. If any member of the audience wished to have an item removed, follow the remote meeting procedures referenced above, state your name in the “chat” section of the remote meeting platform, and indicate the item. If you do not have access to the Zoom meeting platform, please email the Director of Planning and Building, Irene Borba at iborba@cityofbelvedere.org and indicate that you would like to remove a consent calendar item and identify the item. After removing the item, the City will call for comment at the appropriate time.

1. Draft **Minutes of the December 15, 2021**, special meeting of the Planning Commission.
2. Design Review application for a remodel located at **150 San Rafael Avenue**. The project consists of an interior remodel, including adding a garage to the existing structure. The project also includes new windows and painting of the exterior. Property Owner: Karen Behnke and Howard Luria; Project Architect: Cedric Barringer, Barringer Architecture. *Staff recommends that the Commission approve the proposed project.* No recusals.

E. PUBLIC HEARINGS

3. Design Review application for a remodel and addition to the existing residence located at **70 San Rafael Avenue**. The project consists of a first-floor addition, a remodel, new doors and windows as well as a landscape renovation. Property Owner: Jeffrey and Katherine MA/Revocable Trust; Project Applicant: Michael Heckmann. *Staff recommends that the Commission approve the proposed project.* Recused: Vice Chair Carapiet.

F. OTHER SCHEDULED ITEMS

4. Election of Chair & Vice Chair

APPEALS: The Belvedere Municipal Code provides that the applicant or any interested person may appeal the action of the Planning Commission on any application. The appeal must be in writing and submitted with a fee of \$1026.00 (applicant) or \$776.00 (non-applicant) not later than ten (10) calendar days following the date of the Planning Commission action. Appeals received by City staff via mail after the tenth day will not be accepted. Please note that if you challenge in court any of the matters described above, you may be limited to raising only those issues you or someone else raised at the public hearing described above, or in written correspondence delivered to the Planning Commission at, or prior to, the above-referenced public hearing. [Government Code Section 65009)b)(2)].

NOTICE: WHERE TO VIEW AGENDA MATERIALS

Staff reports and other writings distributed to the Planning Commission are available for public inspection at the following locations:

Online at www.cityofbelvedere.org

Belvedere City Hall, 450 San Rafael Ave, Belvedere (Writings distributed to the Planning Commission after the posting date of this agenda are available for public inspection at this location only);

Belvedere-Tiburon Library, 1501 Tiburon Boulevard, Tiburon.

To request automatic mailing of agenda materials, please contact the City Clerk at (415) 435-3838.

NOTICE: AMERICANS WITH DISABILITIES ACT

The following accommodations will be provided, upon request, to persons with a disability; agendas and/or agenda packet materials in alternate formats and special assistance needed to attend or participate in this meeting. Please make your request at the Office of the Planning Department or by calling (415) 435-3838. Whenever possible, please make your request four working days in advance of the meeting.

Items will not necessarily be heard in the above order, not, because of possible changes or extenuating conditions, be hear. For additional information, please contact City Hall, 450 San Rafael Ave, Belvedere CA 94920. (415) 435-3838.

**City of Belvedere
Regular Planning Commission
Meeting**

January 18, 2022

Conflict of Interest Statement

Planning Commission Member:

If you live within 500-feet of any property involved in any matter coming before the Commission at this meeting, please immediately let staff know and be prepared to disqualify yourself from participating in any Planning Commission consideration regarding the matter(s). *After publicly announcing your disqualification, you should step down from the dais and retire to the City offices where you cannot be seen or heard from the Council Chambers. If you wish to say something as a private citizen, you may do so during the time public comments are solicited from the audience. Before leaving the Chambers, let staff know if this is your intention so they can summon you at the appropriate time to make your statement. When the matter is concluded, a staff member will let you know it's time to come back in and proceed on to the next agenda item.* Disqualification is automatic if you reside within 500 feet of the property that is the subject of the matter being considered by the Planning Commission.

70 San Rafael Avenue
Carapiet

150 San Rafael Avenue
None

BELVEDERE PLANNING COMMISSION

MINUTES

SPECIAL MEETING

MEETING HELD VIA ZOOM

DECEMBER 15, 2021, 6:30 P.M.

A. CALL TO ORDER OF THE REGULAR MEETING

Chair Peter Mark called the regular meeting to order at 6:30 p.m. The meeting was held via Zoom video conference. Commissioners present via Zoom: Peter Mark, Ashley Johnson, Nena Hart, Larry Stoehr, Marsha Lasky, Pat Carapiet and Claire Slaymaker. Commissioners Absent: None. Staff present: Director of Planning and Building Irene Borba, Senior Planner Rebecca Markwick, and Permit Technician Nancy Miller.

B. OPEN FORUM

This is an opportunity for any citizen to briefly address the Planning Commission on any matter that does not appear on this agenda. Upon being recognized by the Chair, please state your name, address, and limit your oral statement to no more than three minutes. Matters that appear to warrant a more-lengthy presentation or Commission consideration will be agendized for further discussion at a later meeting.

No one wished to speak.

C. REPORTS

There were no reports.

CONSENT CALENDAR

The Consent Calendar consists of items that the Planning Commission considers to be non-controversial. Unless any item is specifically removed by any member of the Planning Commission, staff, or audience, the Consent Calendar will be adopted by one motion. Items removed will be considered in the sequence as they appear below. If any member of the audience wishes to have an item removed, follow the remote meeting procedures referenced above, state your name in the “chat” section of the remote meeting platform, and indicate the item. If you do not have access to the Zoom meeting platform, please email the Director of Planning and Building, Irene Borba at iborba@cityofbelvedere.org and indicate that you would like to remove a consent calendar item and identify the item. After removing the item, the City will call for comment at the appropriate time.

Commissioner Johnson requested that Item 2 (**288 Beach Road**) be removed from the Consent Calendar.

MOTION: To approve the Consent Calendar for Item 1 as agendized below:

MOVED BY: Pat Carapiet, seconded by Nena Hart

VOTE: AYES: Peter Mark, Ashley Johnson, Larry Stoehr, Nena Hart, Marsha Lasky, Claire Slaymaker, Pat Carapiet.
 NOES: None
 ABSTAIN: None
 RECUSED: Pat Carapiet (regarding Item for 44 San Rafael Avenue)
 ABSENT: None.

1. Draft **Minutes of the November 16, 2021**, regular meeting of the Planning Commission.

D. PUBLIC HEARINGS

2. Design Review and Revocable License applications for outdoor improvements located at **288 Beach Road**. The project consists of an outdoor kitchen, steps and fencing replacement and a new deck located on the City Tide Lot. Owner: Ellis Pate-Cornell Trust Et Al; Applicant: Integrated

Design Studio. Staff recommends that the Commission adopt the draft Resolution of approval. *No recusals.*

Senior Planner Rebecca Markwick presented the staff report.

David Gross, Heritage Landscapes, described the request as a garden rehabilitation and creation of a safe access stairway to a deck near the water below. The new steps are to replace the existing dilapidated steps.

He introduced Michael Erskine, the landscape architect, who further described the project.

Michael Erskine, Integrated Design Studio, presented the project. He stated that the overall plan is as Mr. Gross described. The uphill portion of the project will be renovation of existing garden and irrigation, adding a small patio and BBQ area. The proposal is to replace the existing path down to the water with a safer curving route of timber tie stairs. The existing stairs may remain to function as erosion control. The small deck near the water will provide a seating area and kayak storage rack beneath. A full engineered erosion control plan will be provided at the permit stage. New plantings will infill existing plants to screen the improvements and supplement the erosion control.

Commissioners asked for clarification regarding several items: The applicant and staff responded.

The Commissioners asked if the final landscape plan would clarify which trees are slated to be removed and what plantings will be installed: Applicants replied it will show those details and erosion control plans.

Will the new barbeque be too close to the existing trees: Applicant replied that this will not be an issue.

How would condition c) apply considering the MMWD regulations: Staff responded that the bond will be collected per the condition and new irrigation would be postponed until allowed. Applicant replied that there are alternative methods to manually water plantings, such as using gel packs.

Would the proposed deck be over water or on dry land: Applicants replied that the deck is intended to be over dry land above the high-water mark.

Is the deck considered a 'structure' relative to the consideration of the language in the Administrative Policy 11.8.2: Staff replied that policy prohibits new docks or piers on the tide lot, but small similar structures have been approved on that tide lot with a Revocable License issued by the City Council, if it does not impede public access or transverse over the property. Examples of what has been approved were provided to the Commissioners.

Would the deck be required to be publicly accessible: Staff replied that public access is required to everything that is located in the public area, as is usually required in other Revocable Licenses.

Would proposed lighting be allowed on the public land: Staff replied that there does not seem to be anything to prohibit that request.

Open public hearing.

No one wished to speak.

Close public hearing.

Commissioner Lasky stated that the proposed lighting is the minimum needed for safety on the steps. The timber ties are appropriate and would be a great improvement and the deck is an improvement to what is currently an unsightly area. The public will also benefit. She supports the project.

Commissioner Johnson agrees that the overall design aesthetics are fine. She is concerned that a private structure is proposed for private use on public land and what are the implications and potential precedents and if this is in conflict with the Administrative Policy for the public property. There are nearby public

lanes that may provide access to the beach in that area. She would like clarification that the deck is not over water.

Commissioner Hart understands the desire of the applicant to clean up and improve the site. She has studied the Administrative Policy and this application seems to be in conflict with the provisions for no new structures. There is a new fence proposed that seems to continue down into the public area which she would not support. The outdoor kitchen is proposed to be located in the 10 foot setback. That should be relocated out of the setback. She can support the design of the steps.

Commissioner Stoehr stated that he was not fully versed on the Administrative Policy. He agrees that we should not encourage such new structures on the public land known as, "The Strip". His main concern is the effect on erosion control in light of the current restrictions on installing new landscaping. He could support the upper part of the project, preferably moving the outdoor kitchen out of the setback.

Commissioner Slaymaker would support the kitchen if moved out of the setback. She has no issues with the stairs and landscaping but has concerns about the deck.

Chair Mark asked if there is any concern for an outdoor kitchen of less than 4 feet in height being in a setback.

Ms. Markwick stated that such outdoor kitchens of less than 4 feet in height is in conformance with the municipal code and are frequently approved in setbacks.

Vice-Chair Carapiet is unable to find for the deck on the public land, based on the requirements for no new structures on "The Strip" per the Administrative Policy. She can support the kitchen and related improvements at the property.

Chair Mark stated he has no issue with the improvements at the upper area on the applicants' property, including the outdoor kitchen as located. He observed that by prohibiting the improvements on the public space, which is per the policy is to be accessible to all, this applicant would be precluded from using this area without these safety improvements. To prevent safe and secure access across this area the applicant would have less access than the public coming down via a lane farther up the road. The deck structure, if allowed in this space, should be pulled back from the mean high tide line with a sufficient buffer so as to not be a dock. This is consistent and less intrusive than several existing Revocable Licenses already issued. He believes this is an appropriate use of public space and the improvements to the hillside will improve public access and enjoyment. He can make the findings for the project.

Commissioner Lasky stated that any improvements like this on public land would not likely be paid for by the public or the City, and such improvements do benefit the public, would be paid for by the private homeowner or otherwise not be made.

Director Borba stated that the item could be continued to allow staff to do further research into "The Strip" and the use of "The Strip", and to provide additional information on other improvements that have already been allowed in "The Strip." It would also allow for the City Attorney to give a legal opinion.

In further discussion a majority of Commissioners indicated that the outdoor kitchen location could be approved as proposed, but could not support the deck.

Open public hearing.

The applicant was asked, and agreed to, a continuance, to further study the concerns about the fencing, the kitchen location, and to work on the other concerns expressed at the meeting

Close public hearing.

Commissioner Johnson added that the owner should not be precluded from having access stairs and lighting and a possible landing.

Belvedere Planning Commission Minutes

December 15, 2021

Page 4

MOTION: To continue the applications for **288 Beach Road** to a future Planning Commission meeting.

MOVED BY: Pat Carapiet, seconded by Claire Slaymaker.

VOTE: AYES: Marsha Lasky, Larry Stoehr, Claire Slaymaker, Nena Hart,
Ashley Johnson, Peter Mark, Pat Carapiet.

. NOES: None.

ABSTAIN: None.

RECUSED: None.

ABSENT: None.

Meeting was adjourned at 7:31 PM.

PASSED AND APPROVED at a regular meeting of the Belvedere Planning Commission on January 18, 2022, by the following vote:

VOTE: AYES:

NOES:

ABSTAIN:

RECUSED:

ABSENT:

APPROVED: _____

Peter Mark, Planning Commission Chair

ATTEST: _____

Beth Haener, City Clerk

Behnke/Luria Residence

150 San Rafael Avenue, Belvedere, CA 94920



1 TARA HILL ROAD
TIBURON, CA 94920
tel.: 415.971.7871
www.BarringerArchitecture.com

Behnke-Luria Residence

150 San Rafael Ave.
Belvedere, CA
94920

APN #: 060-031-21



DESIGN CONSULTANT
MILES BERGER, A.I.A.
14 RACCOON LANE
TIBURON, CALIFORNIA 94920
MILES@MB-AIA.COM

Date & Issue

Planning Submittal
October 1, 2021

1 Planning Rev'd. Submittal
November 12, 2021

2 Planning Submittal, Rev.2
November 29, 2021

3 Planning Submittal, Rev.3
December 29, 2021

File:
Job #:
Drawn By:
DO NOT SCALE DRAWINGS
Scale: As Noted

Title Sheet

A0.0

EFFECTIVE CODES

2019 California Residential Code
2019 California Green Building Standards Code
2019 California Building Code
2019 California Mechanical Code
2019 California Plumbing Code
2019 California Electrical Code
2019 California Energy Code
2019 California Fire Code
City of Belvedere Municipal Code

DEFERRED SUBMITTALS

the following are to be deferred submittals, to be submitted by the subcontractor after design has been completed:

- Fire Sprinkler Design, layout, and Specs
- HVAC Ducting

SITE DATA TABLE

APN No. **060-031-21**

	ALLOWED	EXISTING	PROPOSED
			(Net Change)
Lot Size	7,500 Sq.Ft.	9,450 Sq.Ft.	9,450 Sq.Ft.
Effective Lot Size (subtract easements & water-covered areas)		8,542 Sq.Ft.	8,542 Sq.Ft.
Zoning		R-1 L	R-1 L
Occupancy, Use		R-3, Single Family Residential	R-3, Single Family Residential
Wildfire Urban Interface (WUI) Zone?		NO	NO
Flood Zone?		YES	YES
Seismic Design Category		ASCE/SEI 7-16 Risk Category II Soil Class: D - Default	ASCE/SEI 7-16 Risk Category II Soil Class: D - Default
Construction Type		V - B	V - B
FLOOR AREA BY LEVEL:			
Basement Area		---	---
First Floor (Conditioned)		3,417 sq.ft.	3,274 sq.ft. (- 143 sq.ft.)
Second Floor (conditioned)		603 sq.ft.	603 sq.ft. (No Change)
Accessory Dwelling Unit (ADU)		---	---
Garage (or Carport/Storage Areas)		473 sq.ft.	506 sq.ft. (+ 33 sq.ft.)
Subtotal <u>Actual</u> Floor Area		4,493 sq.ft.	4,383 sq.ft. (- 110 sq.ft.)
Belvedere Area Exemptions & Additions			
Floor Areas over 15' Ceiling (additive)	N / A	939 sq.ft.	939 sq.ft. (No Change)
Garage Exemption	N / A	N / A	N / A
ADU Exemption	up to 800 sq.ft.	N / A	N / A
TOTAL FLOOR AREA RATIO (F.A.R.)	4,000 sq.ft.	5,432 sq.ft.	5,322 sq.ft. (- 110 sq.ft.)
LOT COVERAGE			
	40% of Effective Lot size		
House Structure Footprint		3,417 sq.ft.	3,274 sq.ft. (- 143 sq.ft.)
Garage/Carport/Storage		473 sq.ft.	506 sq.ft. (+ 33 sq.ft.)
Decks (half of area above 3')		0 sq.ft.	0 sq.ft.
Trellis/ Other Covered Structures		30 sq.ft.	30 sq.ft. (No Change.)
TOTAL LOT COVERAGE	3,417 sq.ft. [40%]	3,920 sq.ft. [45.9%]	3,810 sq.ft. (-110 sq.ft.) [44.6%]
Front Yard Setback	5' - 0"	9' - 3"	9' - 3"
North Side Yard Setback (First Story)	5' - 0"	---	---
North Side Yard Setback (Second Story)	10' - 0"	8' - 2" (Existing)	8' - 2" (Existing)
South Side Yard Setback (first Story)	5' - 0"	4' - 9" (Existing)	4' - 9" (Existing)
South Side Yard Setback (first Story)	10' - 0"	4' - 9" (Existing)	4' - 9" (Existing)
Rear Yard Setback	15' (from Bulkhead, if abutting water)	26' - 6"	26' - 6"
Average Slope of lot	---	1.0%	1.0%
Building Height (Above Existing Grade)	29' - 0"	18' - 3"	18' - 3"
On-Site Parking	2 Spaces	4 Spaces	6 Spaces (2 Covered)
Cut (including Footing/Piers/Foundations)		---	2 cu.yds
Fill		---	---
Import / Off-Haul		---	2 cu.yds Offhaul

PROJECT DESCRIPTION

Interior renovation to an existing Single Family Residence. Reconfiguration of interior spaces, retaining all (E) steel structural system. Exterior changes limited to include all new dual glazed windows throughout to meet code and new paint finish on (E) stucco which is in excellent condition. Slightly altered wall at entry. Restoring original garage space to a 2 car garage.

No Variances being requested, as all existing non-Conformities remain unchanged.

As part of this project, this structure will be fully upgraded with a NFPA-13D Standard Fire-Suppression system.

PROJECT DIRECTORY

Owner

Karen Behnke & Howard Luria
5895 West Dry Creek Road
Healdsburg, CA 95448
tel: (415) 235-5498

Architect of Record

Barringer Architecture
1 Tara Hill Road
Tiburon, CA 94920
(415) 971-7871
E-mail:
cedric@barringerarchitecture.com

Design Consultant

Miles Berger, A.I.A.
14 Raccoon Lane
Tiburon, CA 94920
Tel: (415) 435-4663
E-mail: miles@mb.aia.com

Title-24 Consultant

T.B.D.

Special Inspector

T.B.D.

Structural Engineer

T.B.D.

General Contractor

T.B.D.

SHEET INDEX

Project Information

- A0.0 Title
- A0.1 Notes & Abbreviations
- A0.2 Planning Diagrams
- A0.3 Context Images
- A0.4 Renderings
- A0.5 Materials Board
- A0.6 Demolition Calculations

Architectural

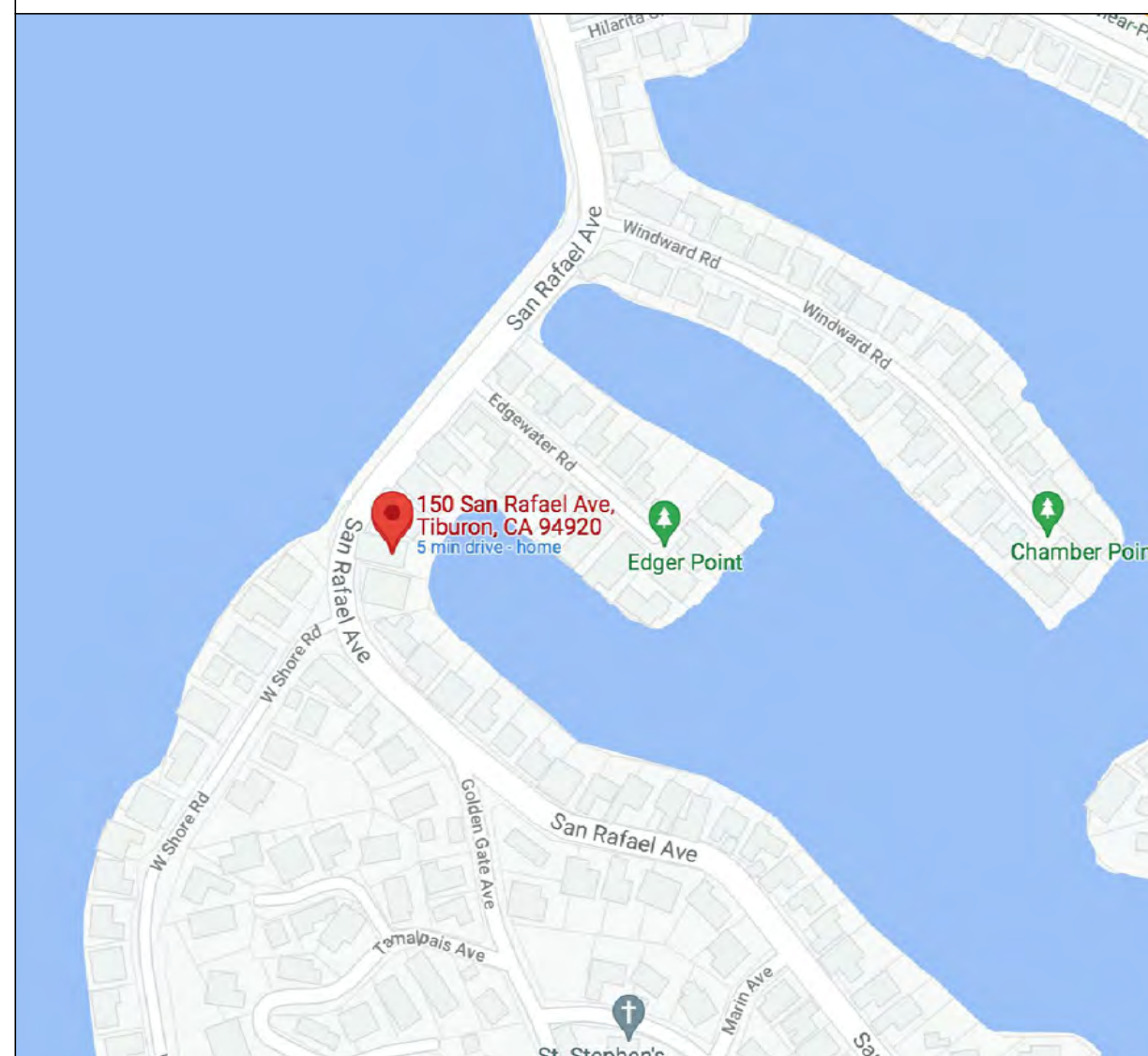
- A1.1 (N) Site Plan
- A2.1e Existing Lower Floor Plan
- A2.2e Existing Upper Floor Plan
- A2.3e Existing Roof Plan
- A2.1d Demo Lower Floor Plan
- A2.2d Demo Upper Floor Plan
- A2.1 Ground Fir. Proposed Plan
- A2.2 Upper Floor Proposed Plan
- A2.3 Proposed Roof Plan/ Storypole Plan
- A3.1 (E) & (N) East Elevations
- A3.2 (E) & (N) South Elevations
- A3.3 (E) & (N) West Elevations
- A3.4 (E) & (N) North Elevations
- A3.5 Transverse Building Section 1
- A3.6 Transverse Building Section 2
- A3.7 Longitudinal Building Section 1
- A3.8 Longitudinal Building Section 2
- A4.1 Glazed Door & Window Schedules
- A4.2 Glazed Door & Window Elevations
- A4.3 Door Schedule

Structural

Landscape/ Civil

- L1.2 Preliminary Grading and Drainage plan
- L1.3 Vegetation Management Plan
- L1.4 Landscape Lighting Plan

VICINITY MAP



Behnke- Luria Residence

150 San Rafael Ave.
Belvedere, CA
94920

APN #: 060-031-21



DESIGN CONSULTANT
MILES BERGER, A.I.A.
1434 ACCOON LANE
TIBURON, CALIFORNIA 94920
4 1 5 . 4 3 5 . 1 2 3 3 7

MILES@MBAIA.COM

Date & Issue

Planning Submittal
October 1, 2021

File: _____
Job #: _____
Drawn By: _____
DO NOT SCALE DRAWINGS
Scale: _____ As Noted

Notes and Abbreviations

A0.1

CONTRACTOR NOTES

- The contractor will visit the site and be fully cognizant of all existing conditions prior to submitting any propositions or bids.
- Contractor shall be responsible for the safekeeping of all existing utilities, amenities and site improvements during construction, whether or not shown on drawings or uncovered during work.
- Contractor shall provide positive drainage away from residence.
- The contractor shall at all times, keep the construction site free from accumulation of waste materials or rubbish caused by contractor's operations.
- At the completion of the work, contractor shall clean all surfaces and leave the work "broom clean". All carpets are to be vacuumed clean.
- Trench backfill within public right-of-way shall conform to city or county standards.
- Contractor shall provide for traffic control as required.
- Contractor shall provide and utilize facilities necessary to control dust.
- If any asbestos or known materials containing asbestos are discovered, the contractor will be responsible to coordinate with the owner, as required for the removal of these conditions, prior to the beginning of this project. If the contractor participates in any portion of the removal process in his coordination with the owner, then the contractor will provide the owner with a written statement releasing the owner of any future liability from the contractor, his employees and any subcontractors hired by the contractor related to this work.
- These drawings and specifications do not represent an assessment of the presence or an assessment of the absence of any toxic or hazardous materials on this project site. The owners are solely responsible for such assessment and should be consulted for any questions, therein. The contractor will resolve the applicable regulations and procedures with the owner at the time of discovery.
- All work will be performed in accordance with all applicable codes, laws, ordinances and regulations, which relate to this project, including but not limited to: 2019 California Residential Code
2019 California Green Building Standards Code
2019 California Building Code
2019 California Mechanical Code
2019 California Plumbing Code
2019 California Electrical Code
2019 California Energy Code
2019 California Fire Code
- It is the responsibility of the contractor to notify the Architect at once upon discovery of any conflicts or discrepancies between the aforementioned and the drawings and specifications of this project.
- The contractor will coordinate and be responsible for all work by subcontractors and their compliance with all these general conditions. The contractor will identify any conflicts between the work of the subcontractors, as directed by these drawings, during the layout of the affected trades. The contractor will review these conditions with the architect for design conformance before beginning any installation.
- The contractor will field verify all existing and proposed dimensions and conditions. It is the responsibility of the contractor to notify the architect at once upon discovery of any conflicts or discrepancies between the aforementioned and the drawings and specifications. Contractor shall follow dimensions and is not to scale drawings. If dimensions are required but not shown the contractor shall notify the architect.
- Any changes, alternatives or modifications to these drawings and specifications must be approved in writing from the architect and owner, and only proceed when such written approval clearly states the agreed cost or credit of the change, alternative or modification to this project.
- The intent of these drawings and specifications is to include all items necessary for a complete job. The contractor will provide all materials, labor and expertise necessary to achieve a complete job as shown in these drawings and specifications or not shown, but intended.
- The contractor is fully responsible for construction means, methods, techniques, sequences and procedures for the work shown on these drawings and specifications. It is the contractors responsibility to enact the aforementioned in compliance with generally accepted standards of practice for the construction industry for the type of work shown on these drawings and specifications.
- The architect reserves the right of review for all materials and products, for which no specific brand name or manufacturer is identified in these drawings and specifications. The contractor shall verify with the architect the need for shop drawings or samples of materials and products, which were not identified, as well as any material, products or equipment substitutions proposed in place of those items identified in these drawings and specifications.
- It is the contractors responsibility to verify and coordinate all utility type connections, utility company's requirements and include any related costs associated with this responsibility in their proposal or bid. The contractor is responsible for writing letters regarding operative agreements for this project between the contractor and the local fire department, the local water agency, the local natural or propane gas providers, TV provider, the owner's security service provider and any unnamed utility type service provider. The contractor will provide copies of any such agreements to the architect and owner, if required or requested.
- The contractor is fully responsible to enact the appropriate safety precautions required to maintain a safe working environment. The contractor will also indemnify and hold harmless the owner, the architect, their consultants, and their employees from and against any claims for damages, including any injury claims by the contractor, his employees, his subcontractors or anyone he allows on the construction site, which result from the contractor's performance of the work shown on these drawings and specifications.
- The contractor will carry the appropriate workman's compensation and liability insurance as required by the local government agency having jurisdiction for this issue, as well as comply with the generally accepted industry standards of practice for a project of his scope. It will be the responsibility of the contractor to verify with the owner if owner will be required to carry fire insurance or other types of insurance for the duration of the project, and assist the owner in identifying the amount of coverage required.
- Where intended, all new work shall align and be of the same material finish and quality.
- The sealant, caulking and flashing locations shown on these drawings are not intended to cover all conditions requiring these products. It is the responsibility of the Contractor to identify all conditions requiring these products, to review conditions not identified in the drawings with the Owner's Agent for design conformance and to provide and warrant a complete waterproof installation.
- All connectors and fasteners are intended to be concealed, unless otherwise noted. Where such devices cannot be concealed, as intended, notify the Owner's Agent for review of design conformance.

DEMOLITION NOTES

- The demolition work shown on this drawing is not the complete demolition required to accommodate the new work. The intent of this drawing is to generally show the scope of work expected of the Contractor. The contractor will be responsible to coordinate any additional work required, but not shown, in order to accommodate any new work.
- All the dimensions shown or not shown, but required, must be verified in the field by the Contractor. The information shown on these drawings was derived by the architect without any surveying or engineering type equipment. Anyone relying on this information, should be reminded, that they do so at their own risk.
- Where necessary, the Contractor will coordinate the capping and patching of all existing plumbing fixtures and related equipment, shown to be removed, with the existing system to remain. The Contractor will verify the work required to install and patch the new plumbing fixtures and related equipment, as shown on the new work plans, into the remaining existing system. The Contractor will review with the Designer in the field any conditions, which will conflict with this intent.
- Where necessary the Contractor will coordinate the patching of the mechanical system and related devices, shown to be removed, with the existing system to remain. The Contractor will verify the work required to install any new mechanical system and related equipment, as shown on the new work plans, into the remaining existing system (where required). The Contractor will review with the Designer in the field any conditions, which will conflict with this intent.
- Where necessary the Contractor will coordinate the capping and patching of all existing electrical fixtures and related equipment, shown to be removed, with the existing system to remain (where required). The Contractor will verify the work required to install and patch the new electrical fixtures and related equipment, as shown on the new work plans, into the remaining existing system. The Contractor will review with the Owner's Representative in the field any conditions, which will conflict with this intent.
- Where necessary the Contractor will protect existing wood and carpeted floors with at least one layer of heavy craft paper and one layer of Masonite.
- The Contractor is solely responsible for all shoring and protection of excavation cuts and holes, as required by CAL-OSHA and the local authorities. The Contractor is solely responsible for obtaining any additional permits, engineering, and construction documents related to this work, whether or not they are required, from the local authorities.
- Comply with applicable Local, State and Federal Codes and Regulations pertaining to safety of persons, property and environmental protection.
- Provide and maintain barricades, lighting, and guardrails as required by applicable codes and regulations to protect occupants of building and workers.
- Erect and maintain dustproof partitions as required to prevent spread of dust, fumes, and smoke, etc. to other parts of the building. On completion, remove partitions and repair damaged surfaces to match adjacent surfaces.
- If demolition is performed in excess of that required, restore effected areas at no cost to the owner.
- Remove from site daily and legally dispose of refuse, debris, rubbish, and other materials resulting from demolition operations.
- Remove designated partitions, components, building equipment, and fixtures as required for new work.
- Remove abandoned HVAC equipment, including duct work.
- Remove abandoned electrical, telephone and data cabling and devices, unless otherwise noted.
- Remove existing floor finishes and prepare subfloor as required for new floor finishes.
- Remove (E) Slab only in designated areas, see Demolition Plan A2.1

CODE REQUIREMENTS

- Smoke Alarms shall be installed in the following locations per CRC R314:
- In each Sleeping Room
- Outside Each sleeping area in the immediate vicinity of the Bedrooms
- On Each Additional Story of the dwelling
- To meet CALGreen Standards, and per CA Civil Code 1101, Plumbing Fixtures shall meet the following standards:
- Toilets: max 1.28 Gal/Flush maximum
- Showerheads: 1.8 Gal/Min. maximum
- Lavatory Faucets: 1.2 Gal/Min. maximum
- Kitchen Faucets: 1.8 Gal/Min maximum (can temporarily increase to 2.2 Gal/Min. if default is 1.8 Gal./Min.)
- Maintain 2" clearance between stainless steel flues and all combustible materials. Install chimney supports, mounting flange, insulation stop, fire stop, and chimney cap per manufactures specifications. Cap shall include spark arresting mesh not to exceed 1/2".
- Provide approved non-removable backflow prevention devices on hose bibs.
- Provide fire and draft stops as required by code.

GENERAL NOTES

- Comply all with codes, laws, ordinances, rules, and regulations of public authorities governing the work.
- Obtain and pay for permits and inspections required by public authorities governing the work.
- Review documents, verify dimensions and field conditions and confirm that work is buildable as shown. Report any conflicts or omissions to the architect for clarification prior to performing any work in question.
- Submit requests for substitutions, revisions, or changes to architect for review prior to purchase, fabrication or installation.
- Coordinate work with the owner, including scheduling time and locations for deliveries, building access, use of building services and facilities, and use of elevators. Minimize disturbance of building functions and occupants.
- Owner will provide work noted "by others" or "NIC" under separate contract. Include schedule requirements in construction progress schedule and coordinate to assure orderly sequence of installation
- Coordinate telecommunications, data and security system installations.
- Maintain exits, exit lighting, fire protective devices, and alarms in conformance with codes and ordinances.
- Protect area of work and adjacent areas from damage.
- Maintain work areas secure and lockable during construction. Coordinate with tenant and landlord to ensure security.
- Do not scale drawings. Written dimensions govern. In case of conflict, consult the architect.
- Maintain dimensions marked "clear". Allow for thickness of finishes.
- Coordinate and provide backing for millwork and items attached or mounted to walls or ceilings.
- Where existing access panels conflict with construction, relocate panels to align with and fit within new construction.
- Undercut doors to clear top of floor finishes by 1/4 inch, unless otherwise noted.
- If the Contractor finds fault, disagrees, objects or would like to change the scope of these conditions and his stated responsibilities as outlined in these General Notes, then the Contractor must resolve such changes with the Owner in writing before signing a contract. Failure to do so will constitute an understanding of these General Notes and their acceptance by the Contractor.

ASHRAE 62.2 COMPLIANCE NOTES

- Whole Building Ventilation Fan must be continuously operated.
- All Bathroom fans are Min. 20 CFM each.
- Kitchen Hood Ventilation Fan has 5 Air changes Per hour and must be ducted to the outside.
- HVAC Filter is MERV 6 Minimum, 1" Thick w/ Max 0.1" W.C. pressure drop
- Dryer must be vented to the Exterior
- Buildings with Gravity Appliances, Water Heaters, Furnaces, and Gas Fireplaces within the conditioned Envelope must provide make up air if the combined exhaust Rate of the two largest fans (Including Dryers and Kitchen Hoods) Exceeds 1.5 CFM/1000 Sq.Ft.
- Provide Instructions on the Proper Operation of all appliances to Owners, and Labels on all appliances are to be retained to be removed by the Owners.
- All Exhaust Fans should meet the Requirements as defined on plans.

ABBREVIATIONS (Where Not Otherwise Noted)

ABBRVS.	Abbreviations	ENCL.	Enclosure	O.C.	On Center
ABV.	Above	E.P.	Electrical Panel	O.D.	Outside Diameter
ACOUS.	Acoustic(al)	EQ.	Equal		or Overflow Drain
A.D.	Area Drain	EQUIP.	Equipment	O.H.	Opposite Hand
ADJ.	Adjacent	EXPO.	Exposed		(Mirror Image)
AFF	Above Finish Floor	EXP.	Expansion	OPNG.	Opening
		EXT.	Exterior	OPP.	Opposite
AGGR.	Aggregate				
AL.	(AL) Aluminum	F.D.	Floor Drain	PL.	Plate
A.P.	Access Panel	FDN.	Foundation	PLAS.	Plaster
A.P.N.	Assessor's Parcel Number	FF.	Finish Face	PLWD.	Plywood
		FIN.	Finish	PNL.	Panel
APPROX.	Approximate	FL.	Floor	PT.	Point
ARCH.	Architect	FLASH.	Flashing	PR.	Pair
ASPH.	Asphalt	FLOUR.	Flourescent	PTD.	Painted
		F.O.	Face of	PTN.	Partition
		F.O.C.	Face of Concrete	P.T.	Pressure Treated
BD.	Board	F.O.F.	Face of Finish		
BKG.	Backing	F.O.S.	Face of Stud	R.	Riser or Radius
BLDG.	Building	FS	Face of Stud	REINF.	Reinforcing
BLKG.	Blocking	FRG.	Fireproof (FRG) Framing	R.D.	Roof Drain
BM.	Beam	F.PRF.	Foot/Foot	REQ.	Required
B.O.	Bottom of	FRG.	Foot/Foot	RESIL.	Resilient
B.U.R.	Built-up Roofing	FT.	Footing	R.O.	Rough Opening
		FURR.	Furring	RDWD.	Redwood
		FUT.	Future	RWL	Rainwater Leader
CAB.	Cabinet			S.	South
C.B.	Catch Basin	GA.	Gauge	S.C.	(SC) Solid Core
CEM.	Cement	GALV.	Galvanized	SCHED.	Schedule
CER.	Ceramic	G.B.	Grab Bar	SH.	Shelf
C.I.	Cast Iron	GDRL.	Guardrail	SHR.	Shower
C.J.	Control Joint	GL.	(GL) Grid Line	SHT.	Sheet
CL.	Centerline	GLS.	Glass	SIM.	Similar
CLG.	Ceiling	GFCI	Ground Fault Circuit Interrupt	SPEC.	Specification
CLKG.	Caulking	GND.	Ground	SQ.	Square
CLO.	Closet	GR.	Grade	S.S.	Stainless Steel
CLR.	Clear	GYP.	Gypsum	S.S.D.	See Structural Drawings
C.M.U.	Concrete Masonry Unit	GWB	Gypsum Wall-board	STD.	Standard
CNTR.	Counter	G.I.	Galvanized Iron	STL.	Steel
C.O.	Clean Out	H.B.	Hose Bib	STOR.	Storage
COL.	Column	H.C. (HC)	Hollow Core	STRL.	Structural
CONC.	Concrete	HDWD.	Hardwood	S.V.	Sheet Vinyl
CONT.	Continuous	HDWR.	Hardware	SYM.	Symmetrical
CSWK.	Casework	HDRL.	Handrail		
C.R.	Cold Rolled	H.M. (HM)	Hollow Metal	T.	Tread
C.T.	Ceramic Tile	HORIZ.	Horizontal	T.B.	Towel Bar
CTR.	Center	H.P.	High Point	TEL.	Telephone
CTSK.	Countersunk	HR.	Hour	TEMP.	Tempered
		HT.	Height	T&G	Tounge & Groove
		I.D.	Inside Diameter	TH.	Threshold
		INFO.	Information	THK.	Thick
		INSUL.	Insulation	T.O.	Top of
		INT.	Interior	T.O.W.	Top of Wall
				T.P.D.	Toilet Paper Dispenser
(E)	Existing	JT.	Joint	T.V.	Television
E.	East	KIT.	Kitchen	T.S.	Tube Steel
EA.	Each			TYP.	Typical
E.B.	Expansion Bolt	LAM.	Laminate	UNF.	Unfinished
E.J.	Expansion Joint	LAV.	Lavatory	U.O.N.	Unless Otherwise Noted
EL.	Elevation	L.P.	Low Point		
ELEC.	Electrical	LT.	Light	VEN.	Veneer
ELEV.	Elevator			VERT.	Vertical
		MAX.	Maximum	VEST.	Vestibule
		M.C.	Medicine Cabinet	V.A.	Vinyl Tile
		MECH.	Mechanical	V.I.F.	Verify in Field
		MEMB.	Membrane		
		MET.	Metal	W.	West
		MFR.	Manufacturer	W/	With
		MNFR.	Manufacturer	WD.	(WD)Wood
		MIN.	Minimum	W.O.	Where Occurs
		MISC.	Miscellaneous	W/O	Without
		MUL.	Mullion	WP.	Waterproofing
				WR.	Water Resistant
		(N)	New	WT.	Weight
		N.	North		
		N.I.C.	Not in Contract		
		NOM.	Nominal		
		N.T.S.	Not to Scale		

**Behnke-
Luria
Residence**

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Belvedere, CA
94920

APN #: 060-031-21



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Date & Issue

Planning Submittal
October 1, 2021

Planning Rev'd. Submittal
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Planning Submittal, Rev.2
November 29, 2021

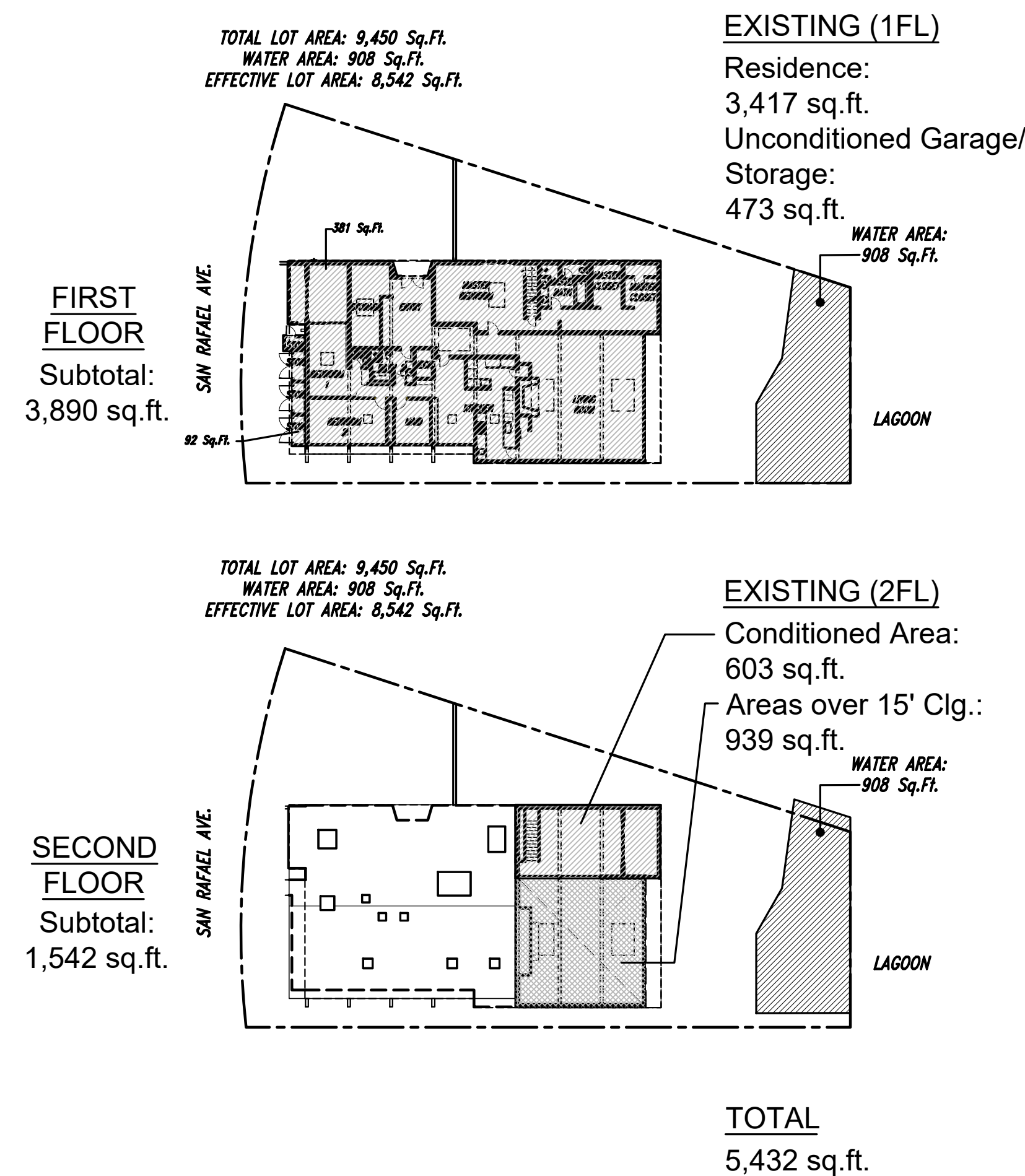
File:
Job #:
Drawn By:
DO NOT SCALE DRAWINGS
Scale: As Noted

Planning Diagrams

A0.2

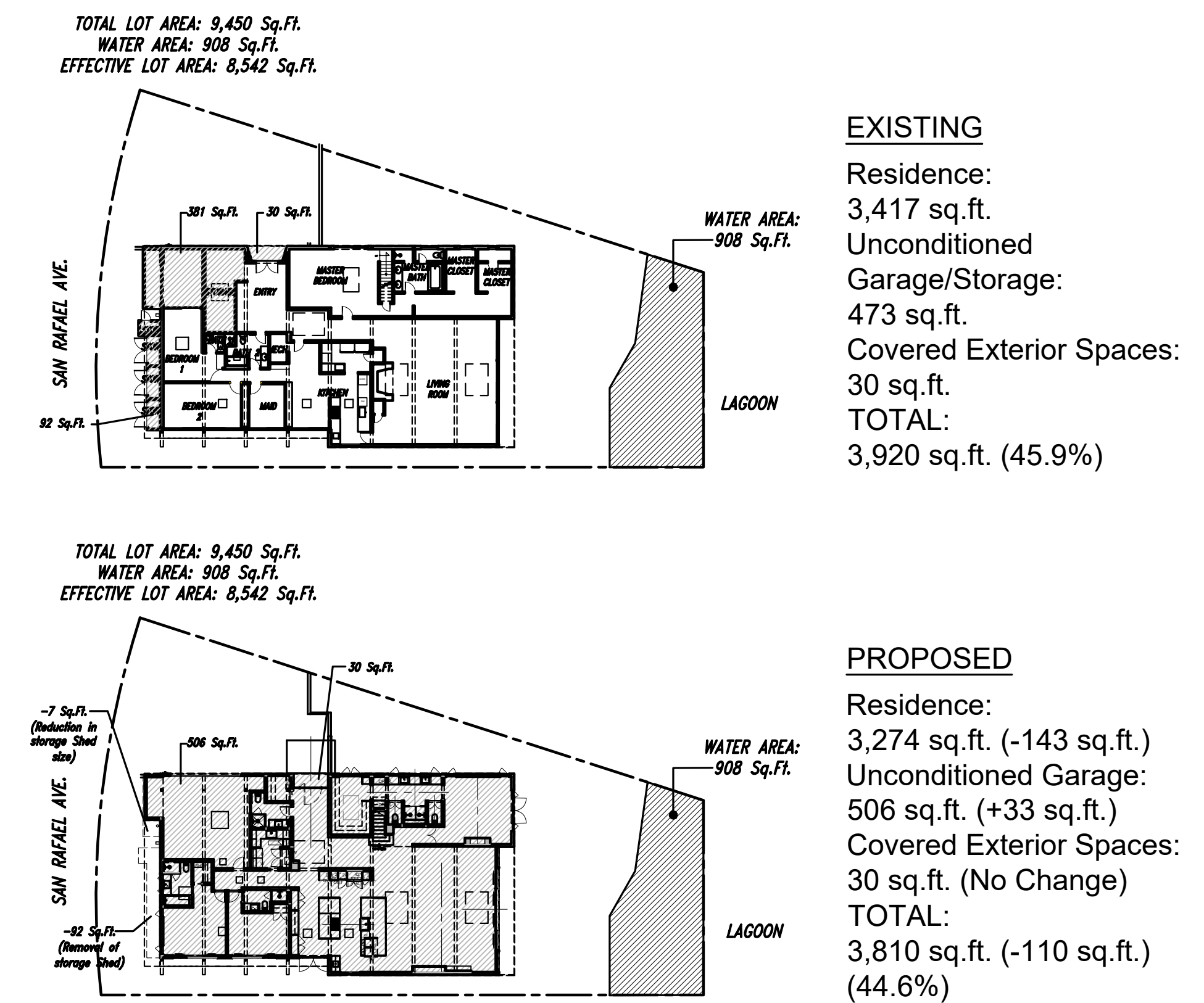
FLOOR AREA RATIO (F.A.R.) DIAGRAM
Not to Scale

ALLOWABLE 4,000 sq.ft. (for lots over 7,500 sq.ft.)



LOT COVERAGE DIAGRAM
Not to Scale

ALLOWABLE 40% of lot Size (over 7500sf Lot):
3,417 sq.ft.



2
A0.2 F.A.R. DIAGRAM
SCALE: N.T.S.

1
A0.2 LOT COVERAGE DIAGRAM
SCALE: N.T.S.

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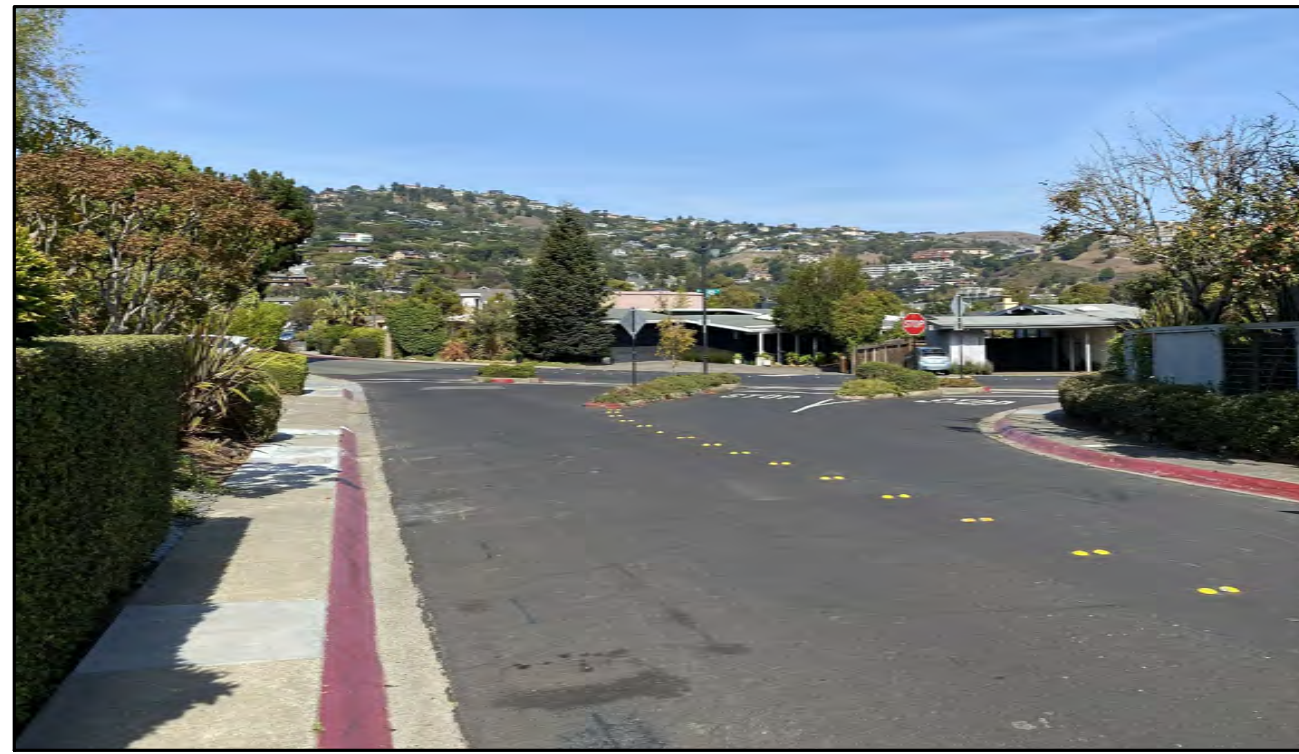
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Context Images

A0.3



1. Streetscape image, looking North-East, with neighboring 160 San Rafael Ave. and 170 San Rafael Ave. Visible.



2. Streetscape image, looking East with neighboring 160 San Rafael Ave. visible at Right of image



3. Front Facade image, looking East, with neighboring 160 San Rafael Ave. and 150 San Rafael Ave. Visible.



4. Front Facade of 150 San Rafael Ave.



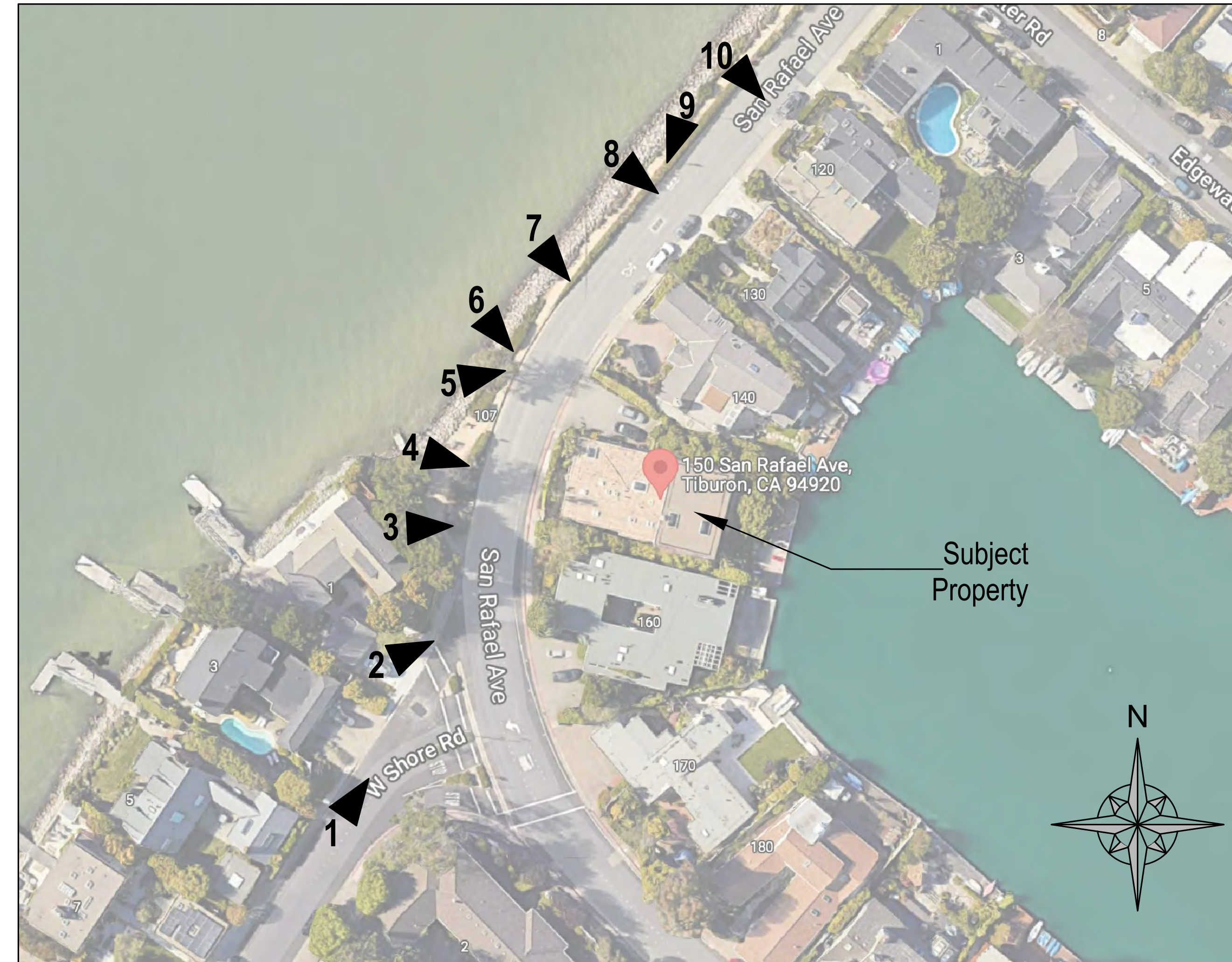
5. Streetscape image looking North-East towards Subject property, showing existing screening shrubbery, with neighboring 140 San Rafael Ave. Visible.



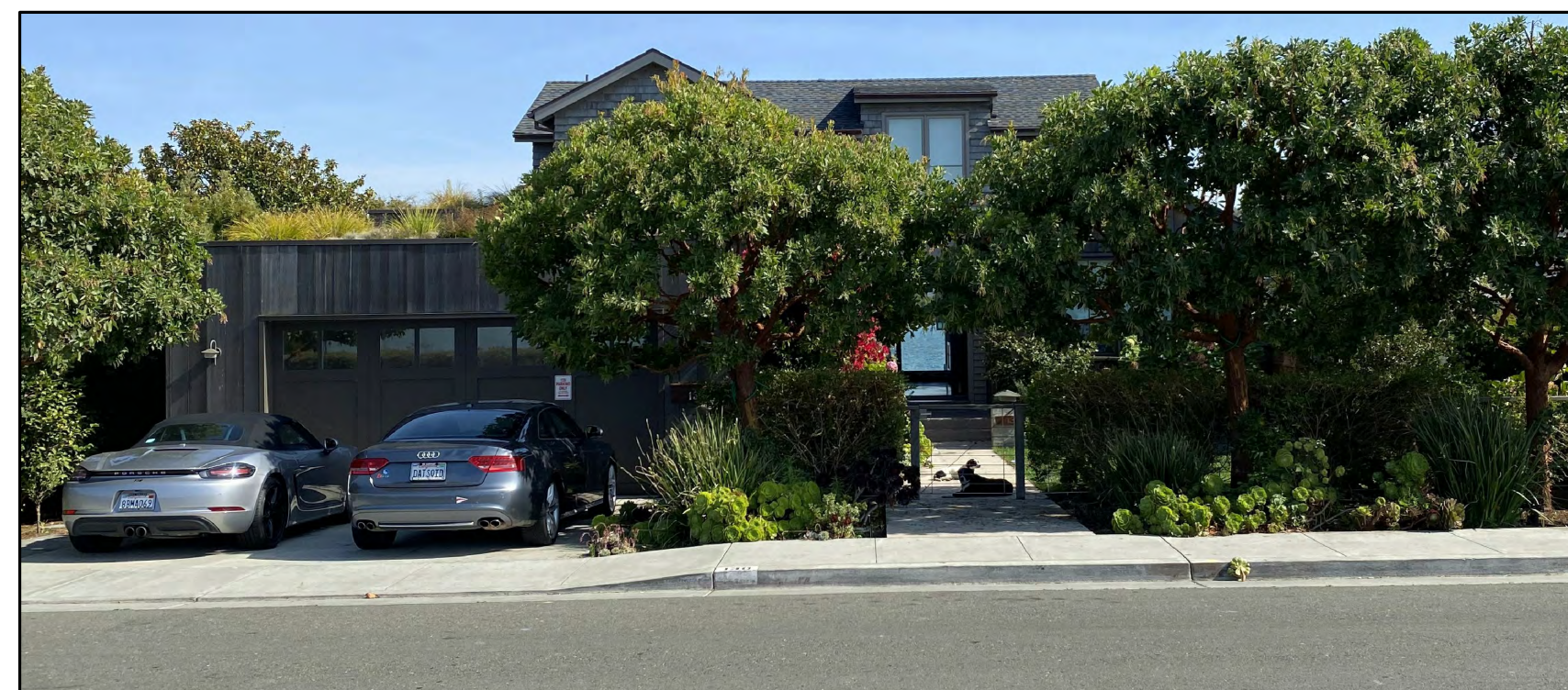
6. Streetscape image looking side yard at North property line, showing Neighboring 140 San Rafael Ave. at Left of image



7. Streetscape image looking South-East towards 140 San Rafael Ave. showing Subject property 150 San Rafael Ave. at Right of image



Satellite Image showing neighborhood context.



8. Streetscape image looking South-East towards 130 San Rafael Ave.



9. Streetscape image looking South-West towards 140 San Rafael Ave. showing Subject property 150 San Rafael Ave. at Right of image



10. Streetscape image looking South-East towards 120 San Rafael Ave.



Photo 1: Existing Conditions Front Facade from opposite side of San Rafael Ave. Showing 2-Story portion to the East, and the Driveway in the foreground.

NOTE: due to timing constraints, these renderings were not modified from the initial submittal. We feel, however, that they still exhibit the majority of the design intent of the project. Note that the Lantern, front canopy, and Roof Deck as rendered are NOT part of this project's scope.



Rendering 1 (same view as Photo 1): Proposed Front Facade from opposite side of San Rafael Ave. Showing 2-Story portion to the East, new Entry Canopy covering the front door, the new linear rock wall, the new proposed Garage door, and the Driveway in the foreground.



Photo 2: Existing Conditions Front Facade from outside edge of driveway. Showing Existing Entry Recess, Showing 2-Story portion to the rear Yard side of the lot, and the Driveway in the foreground.

NOTE: due to timing constraints, these renderings were not modified from the initial submittal. We feel, however, that they still exhibit the majority of the design intent of the project. Note that the Lantern, front canopy, and Roof Deck as rendered are NOT part of this project's scope.



Rendering 2: (Same view as Photo 2) Proposed Front Facade from outside edge of driveway. Showing new Entry Recess with Steel canopy, the new linear stone wall, and the new Garage door to the right of the image. The Taller 2-story mass remains in view behind, with the proposed roof deck and "lantern" feature in the area above the Entry.

Behnke- Luria Residence

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Belvedere, CA
94920

APN #: 060-031-21



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2 Planning Submittal, Rev.2

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Renderings

A0.4

1. ROOF

2. PRIMARY STUCCO



The existing stucco will be patched as needed and painted in a warm light gray color. Benjamin Moore's Classic Gray is a close Sample

3. ACCENT STONE



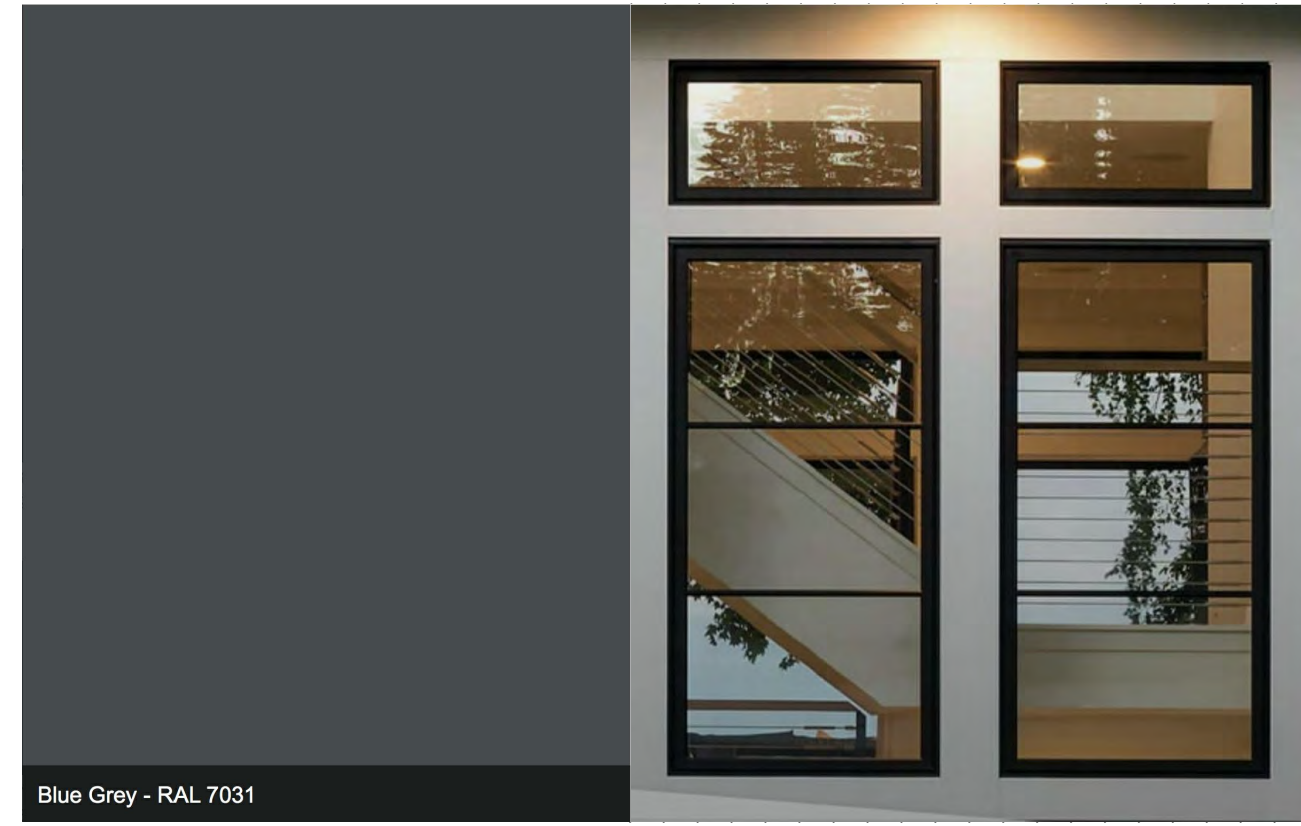
A natural Linear stone tile in a mixture of Medium Gray, light beige, and light Brown tones will adorn the Exterior landscape entrance wall and Entrance Hall

4. VISIBLE STEEL MEMBERS



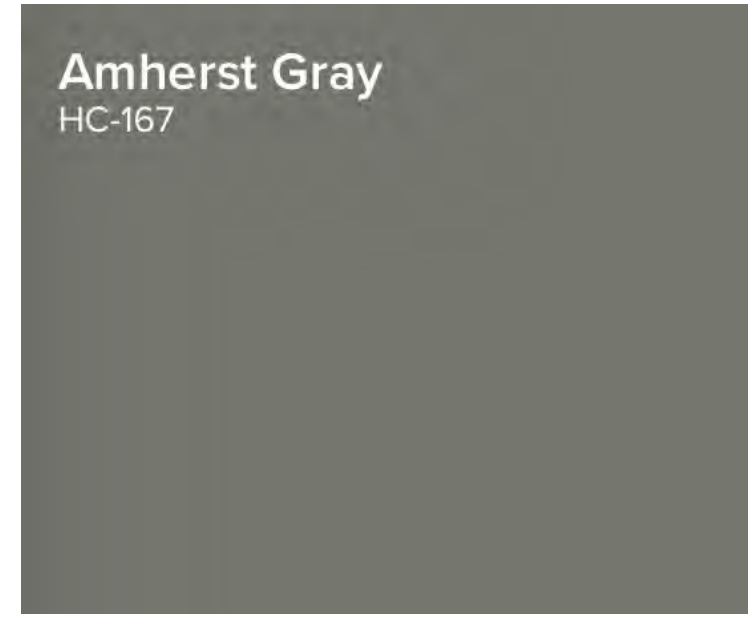
Steel Members (both inside and outside the house), will be Powdercoated in a Dark-Grey Color, intended to be a few shades darker than the windows.. Railings and Guardrails (where installed) will also be painted this color.

5. GLAZED DOORS AND WINDOWS



Doors and Window Frames will be a Dark Grey, Contrasting slightly with the color of the steel beams. An approximate sample is shown here. Window divisions will be kept as minimal as the Manufacturer allows.

6. FASCIA BOARDS

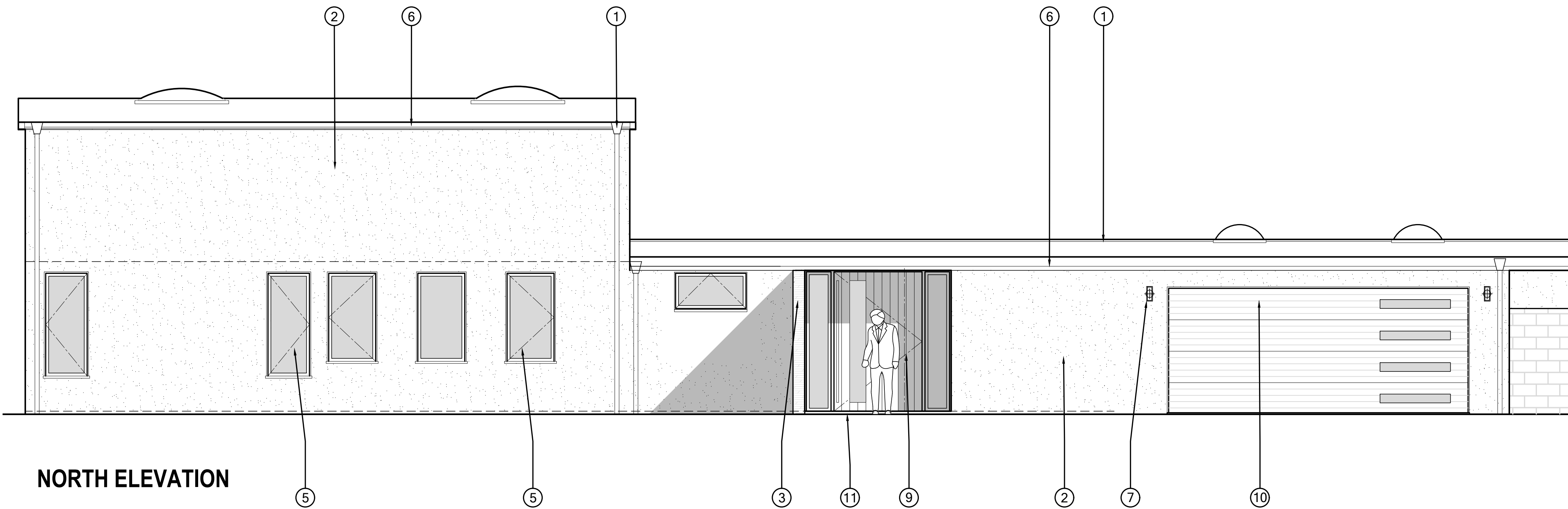


Fascia Boards on all sides of the house will be a Medium Gray similar to Benjamin Moore's "Amherst Gray" shown here. Gutters and Downspouts will be pinto to match.

7. LIGHT FIXTURES



Light Fixtures will be simple Cube Fixture in a Matte Black color



NORTH ELEVATION

9. FRONT DOOR



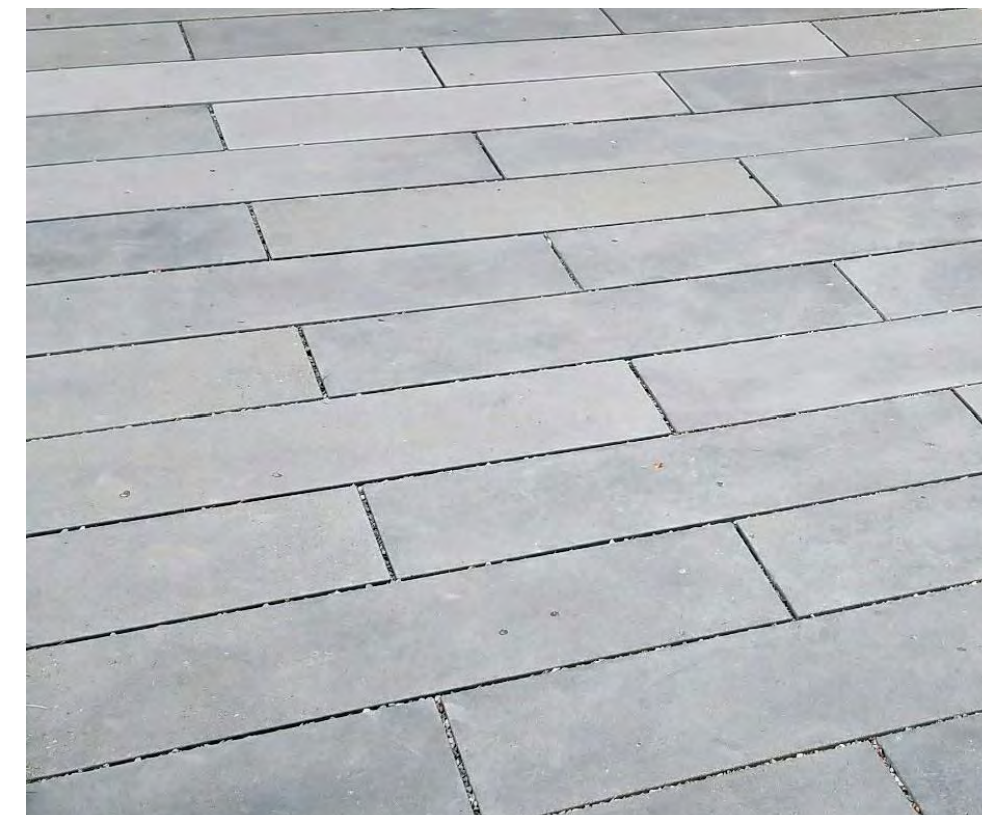
The front door will be a Plank-style Wooden door, with flanking sidelites (like the image to the Left). It will be Framed in metal (Dark Gray to match the other windows)

10. GARAGE DOOR



Garage door will be a natural stained Cedar, exuding warmth. Note: there may be some small frosted glazed panels in small portions of the door.

11. EXTERIOR PAVERS AT ENTRY



CALCULATIONS

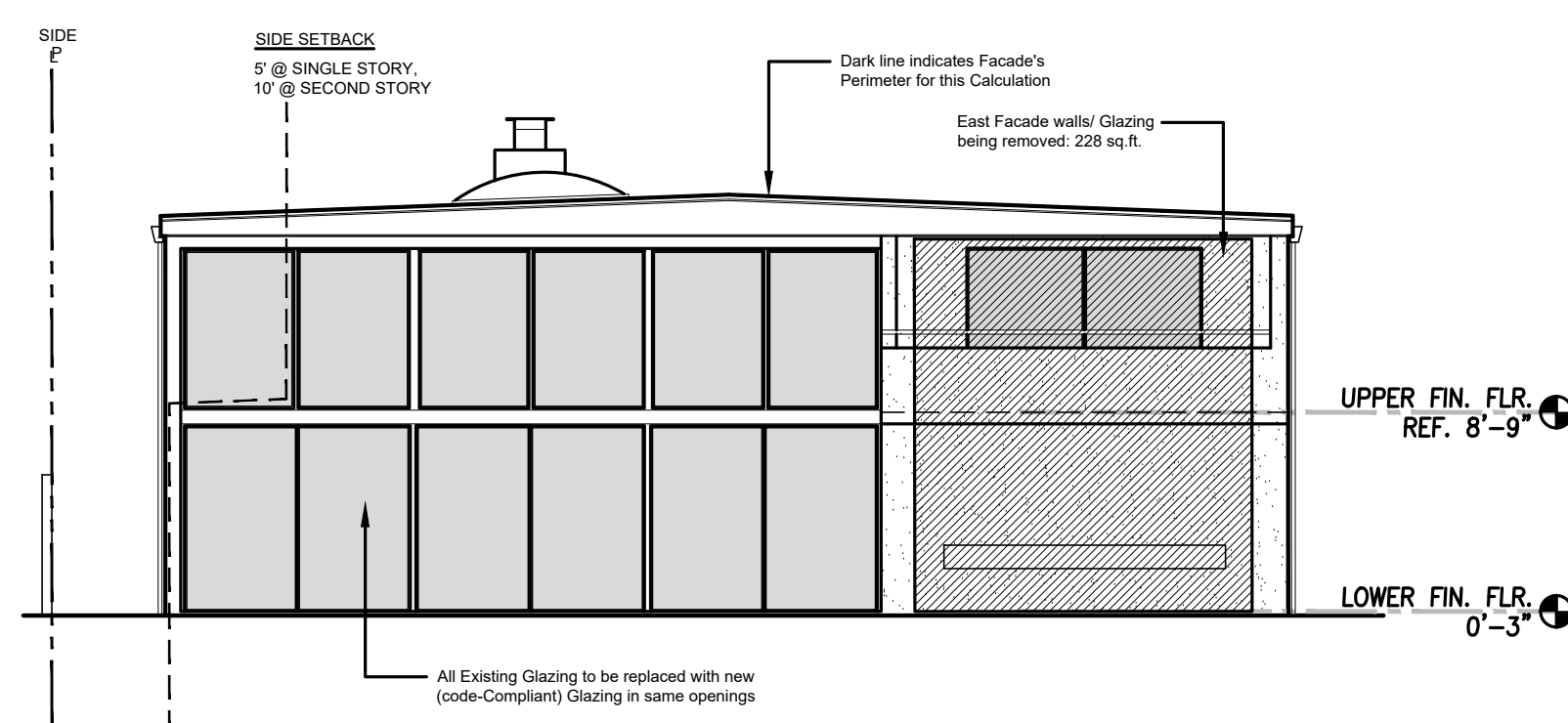
WEST ELEV. AREA: 838 sq.ft.
 SOUTH ELEV. AREA: 1,162 sq.ft.
 EAST ELEV. AREA: 838 sq.ft.
 NORTH ELEV. AREA: 1,162 sq.ft.
TOTAL AREA OF ALL ELEVATIONS: 4,000 sq.ft.

WEST ELEV. DEMO AREA: 228 sq.ft.
 SOUTH ELEV. DEMO AREA: 257 sq.ft.
 EAST ELEV. DEMO AREA: 365 sq.ft.
 NORTH ELEV. DEMO AREA: 397 sq.ft.
TOTAL AREA OF DEMO ALL ELEVATIONS: 1,247 sq.ft.

TOTAL PERCENTAGE OF EXTERIOR WALLS BEING
 DEMOLISHED (1,247 sq.ft. / 4,000 sq.ft.)
 = 31.2 %

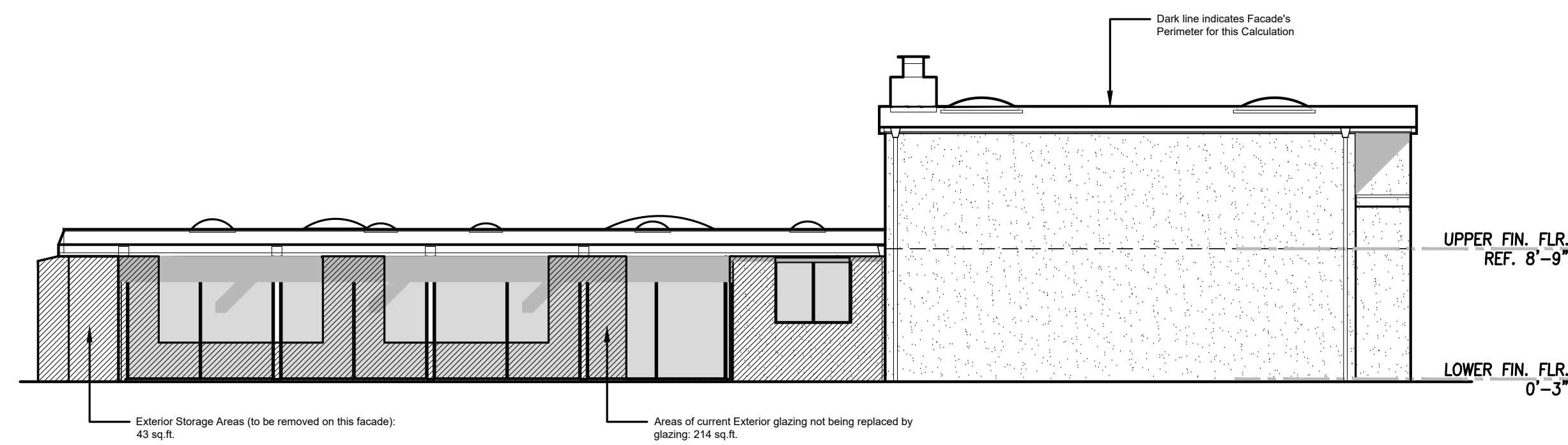
EAST ELEVATION

TOTAL AREA: 838 sq.ft.
 TOTAL DEMOLITION AREA: 228 sq.ft.



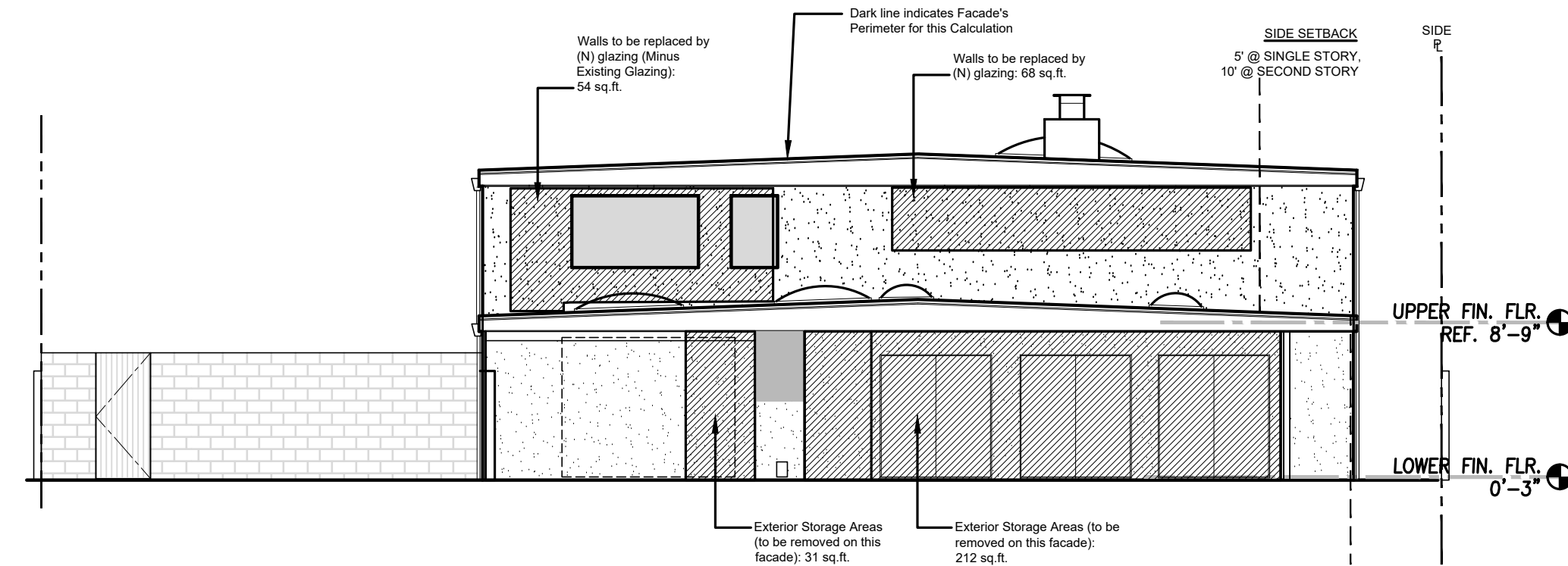
SOUTH ELEVATION

TOTAL AREA: 1,162 sq.ft.
 TOTAL DEMOLITION AREA: (43 + 214) = 257 sq.ft.



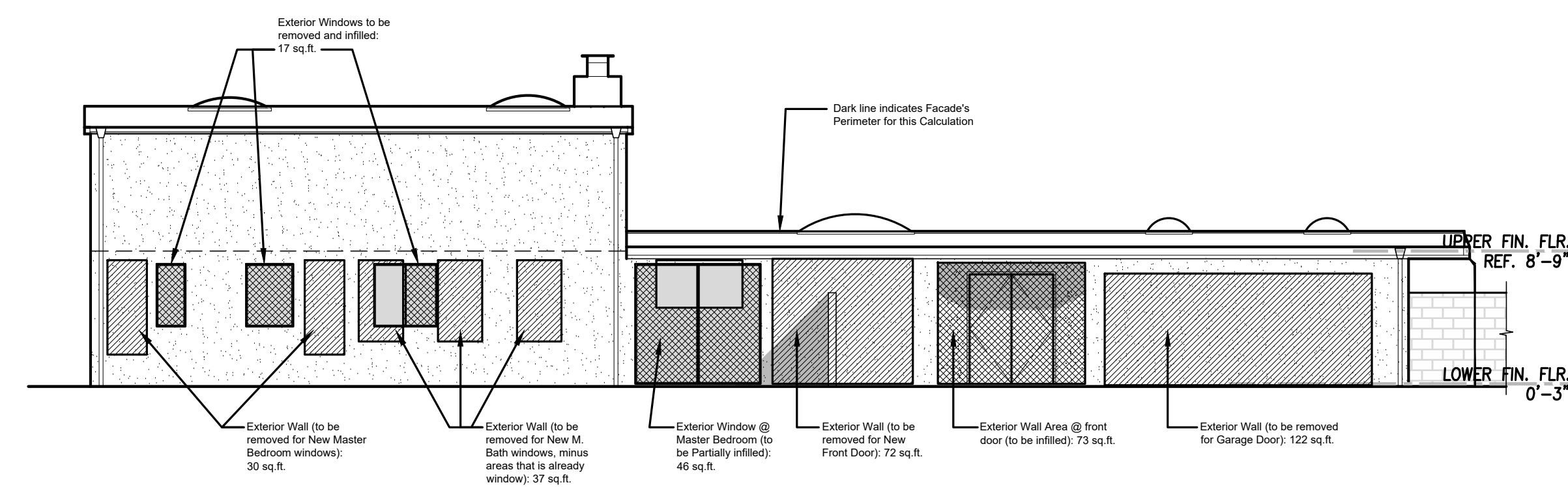
WEST ELEVATION

TOTAL AREA: 838 sq.ft.
 TOTAL DEMOLITION AREA: (54 + 68 + 31 + 212) = 365 sq.ft.



SOUTH ELEVATION

TOTAL AREA: 1,162 sq.ft.
 TOTAL DEMOLITION AREA: (17 + 30 + 37 + 46 + 72 + 73 + 122) = 397 sq.ft.



1
 A0.6 DEMOLITION DIAGRAMS, PER ELEVATION
 SCALE: 1/8"=1'-0"

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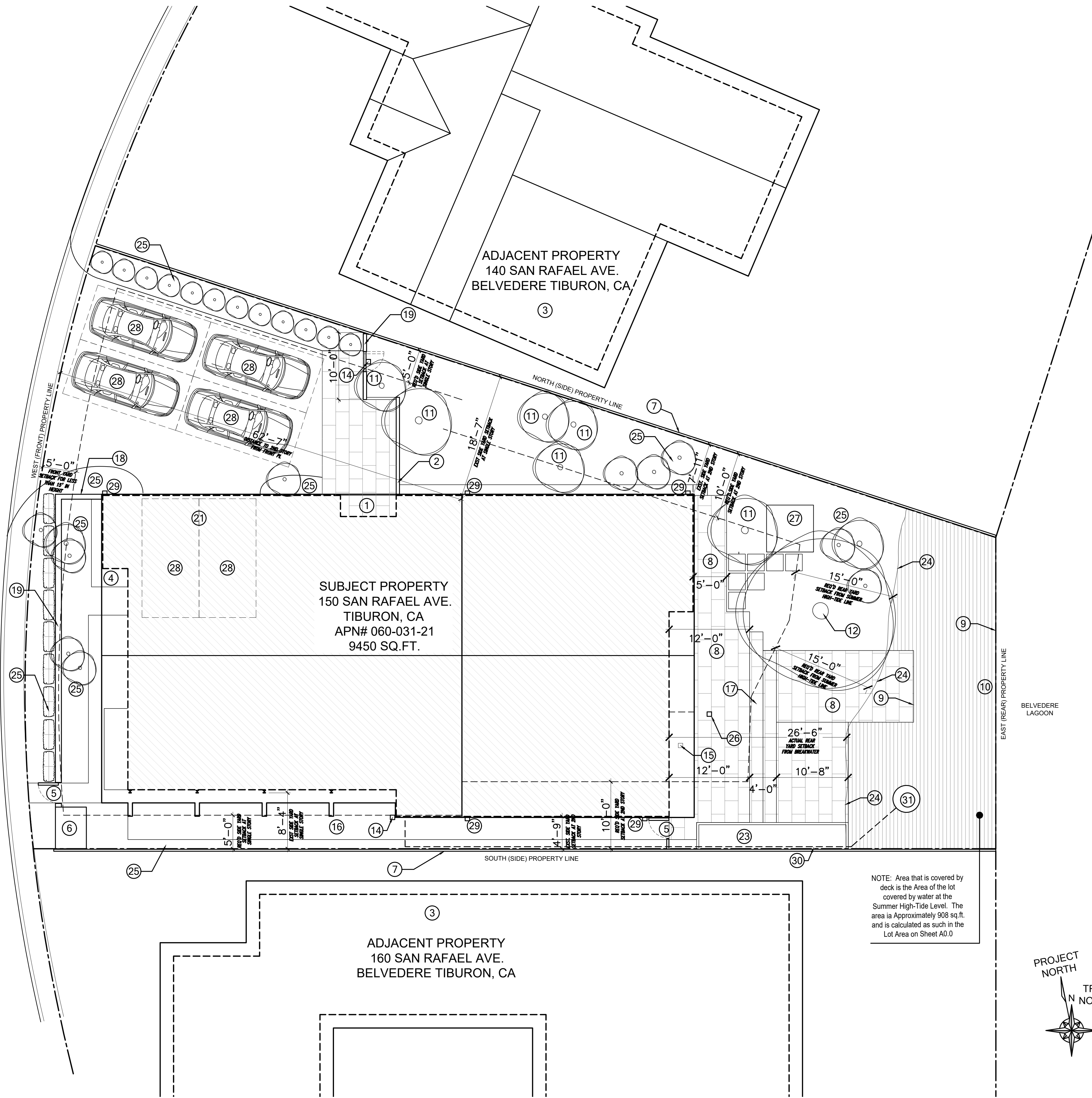
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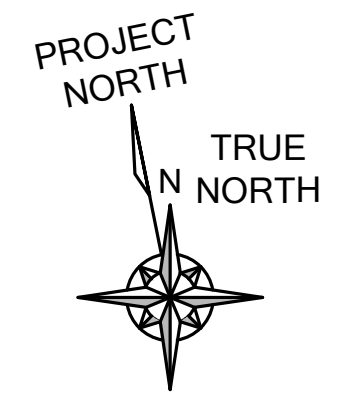
Demolition
 Calculations

A0.6

SAN RAFAEL AVE.



NOTE: Area that is covered by deck is the Area of the lot covered by water at the Summer High-Tide Level. The area is Approximately 908 sq.ft. and is calculated as such in the Lot Area on Sheet A0.0



SHEET NOTES

- ① ENTRY - NEW WALKING SURFACE, NEW AWNING ABOVE
- ② NEW ENTRY WALL IN LINEAR STONE MATERIAL
- ③ EXISTING NEIGHBORING STRUCTURE
- ④ EXISTING STORAGE SHED
- ⑤ EXISTING GATE
- ⑥ EXISTING GARBAGE SHED
- ⑦ EXISTING FENCING TO REMAIN
- ⑧ EXISTING CONCRETE PATIO, TO BE TOPPED WITH NEW PAVERS. WHERE APPLICABLE, SLOPE FROM STRUCTURE MIN. 1/4" PER 1'-0" FOR 10'
- ⑨ EDGE OF EXISTING WOOD DECK
- ⑩ EXISTING SCULPTURE
- ⑪ EXISTING LARGE TREE TO REMAIN
- ⑫ EXISTING FRUIT TREES TO REMAIN
- ⑬ EXISTING CONCRETE WALKWAY
- ⑭ EXISTING DRAIN FOR SIDE YARD TO REMAIN
- ⑮ EXISTING DRAIN FOR REAR PATIO, RELOCATED
- ⑯ GRAVEL AND STEPPING STONE WALKWAY
- ⑰ THREE CONCRETE RISERS 7.25" TALL, TREADS @ 2'-0"
- ⑱ EXISTING PTD. CMU SITE WALL
- ⑲ EXISTING CMU FENCE AND GATE TO (PARTIALLY) REMAIN. TO BE REFACED IN VERTICAL STAINED WOOD.
- ⑳ ROOF OVERHANG ABOVE
- ㉑ NEW HEADER WILL PICK UP POST REMOVED FOR GARAGE DOOR, SEE PROP'D PLAN A2.1
- ㉒ EXISTING PLANTER WALL 2x4 16" TALL
- ㉓ WOOD PLANTER WALL 16" TALL
- ㉔ ESTIMATED EDGE OF BREAKWATER BELOW
- ㉕ EXISTING PLANTING TO REMAIN
- ㉖ NEW DRAIN LOCATION FOR REAR YARD. TIE INTO EXISTING DRAIN LINE
- ㉗ NEW PREFABRICATED (ABOVE-GROUND) SPA
- ㉘ PARKING SPACE
- ㉙ EXISTING DOWNSPOUT, TIED INTO EXST. SUBSURFACE DRAINAGE SYSTEM
- ㉚ EXISTING 3/4" NAT. GAS LINE FROM EXST'G KITCHEN. VERIFY FOR FLOW AND CODE COMPLIANCE
- ㉛ NEW GAS FIRE-PIT. APPROX. LOCATION SHOWN. 80k BTU. SPECIFICATION T.B.D.

NOTE RE: SITE PLAN SITE DIMENSIONS:
 THE PROPERTY LINE LOCATION IS TAKEN FROM ARCHITECTURAL DRAWINGS BY KURTZMANN AND KODAMA 1980, AND STRUCTURE LOCATION IS TAKEN FROM ARCHITECTURAL DRAWINGS BY WALKER AND MOODY ARCHITECS, 1975. THE DIMENSIONS ARE ESTIMATES AND GENERAL SIE MEASUREMENTS ONLY AND DO NOT REFLECT A RECORDED SURVEY.

1 SITE PLAN - PROPOSED
 A1.1 SCALE: 1/8"=1'-0"



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Proposed Site Plan

A1.1

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Planning Submittal
October 1, 2021

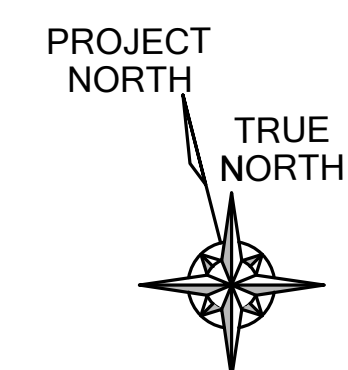
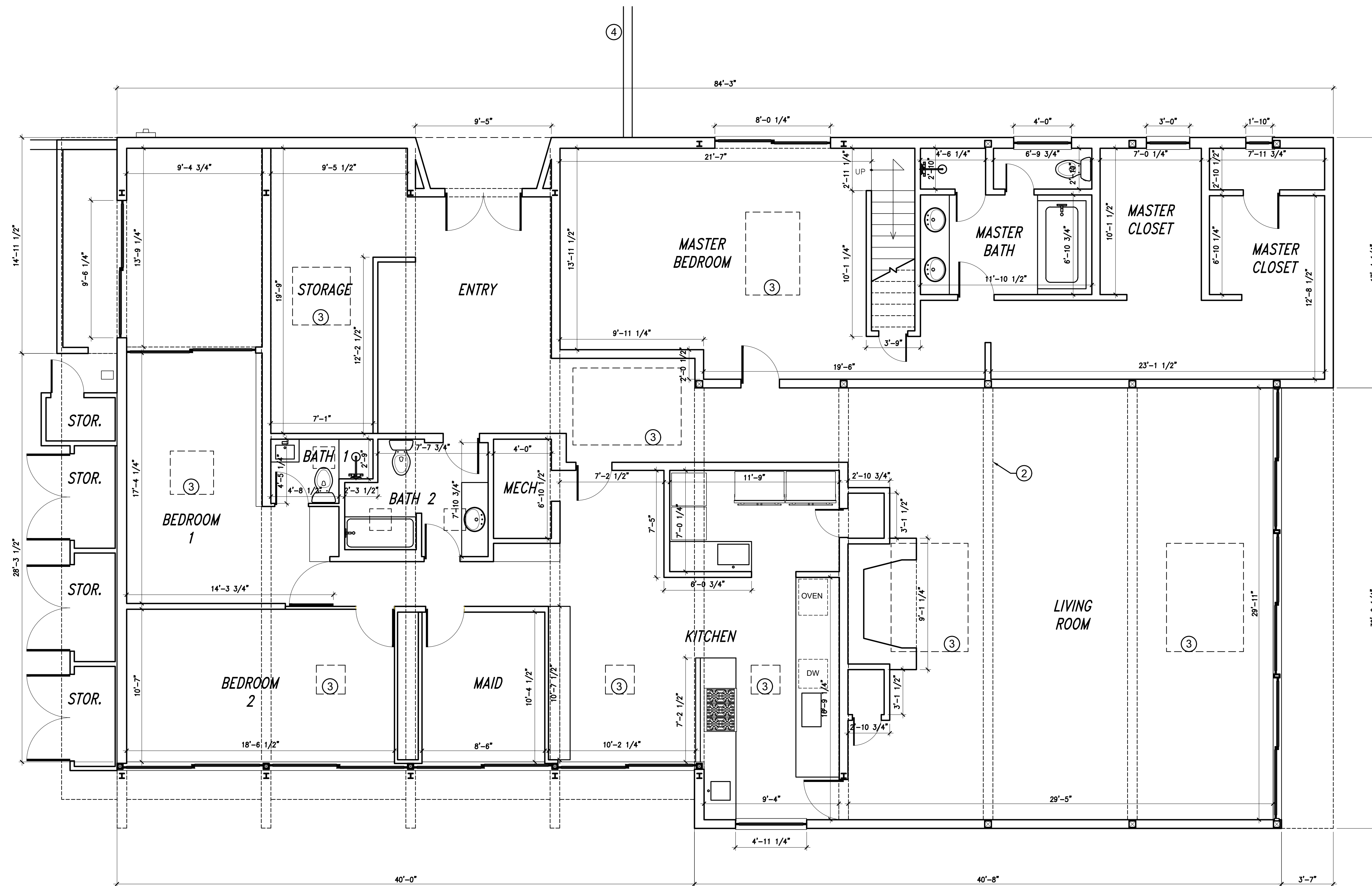
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Existing First
Floor Plan

A2.1e

SHEET NOTES

- ① ALL WALLS ARE INDICATED TO THE BEST OF ARCHITECT'S ABILITY
- ② DASHED LINES INDICATE EXISTING STEEL STRUCTURAL FRAME ABOVE
- ③ EXISTING SKYLIGHT ABOVE
- ④ EXISTING CMU PRIVACY WALL TO BE PARTIALLY REMOVED. SEE PROP'D FLOOR PLAN.



1 FIRST FLOOR PLAN - EXISTING
A2.1e SCALE: 1/4"=1'-0"

Behnke-Luria Residence

150 San Rafael Ave.
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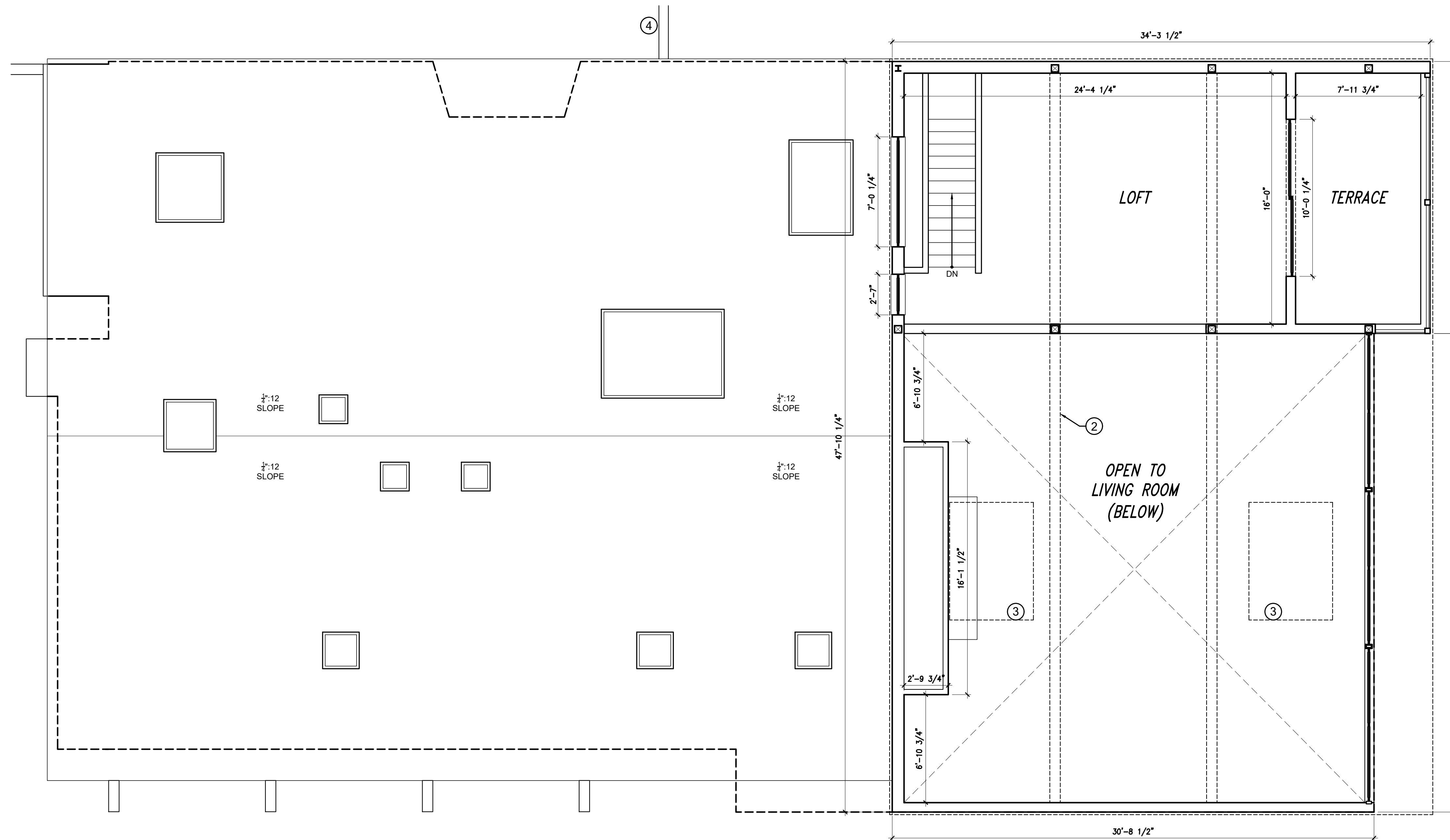
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Existing
Loft Plan

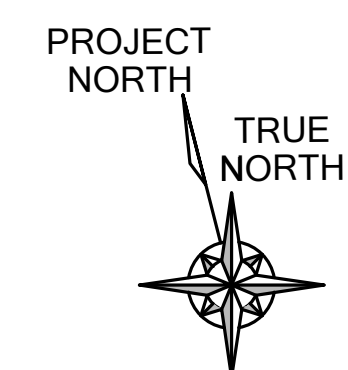
A2.2e

SHEET NOTES

- ① ALL WALLS ARE INDICATED TO THE BEST OF ARCHITECT'S ABILITY
- ② DASHED LINES INDICATE EXISTING STEEL STRUCTURAL FRAME ABOVE
- ③ EXISTING SKYLIGHT ABOVE
- ④ EXISTING CMU PRIVACY WALL TO BE PARTIALLY REMOVED. SEE PROP'D FLOOR PLAN.



1 SECOND FLOOR PLAN - EXISTING
A2.2e SCALE: 1/4"=1'-0"



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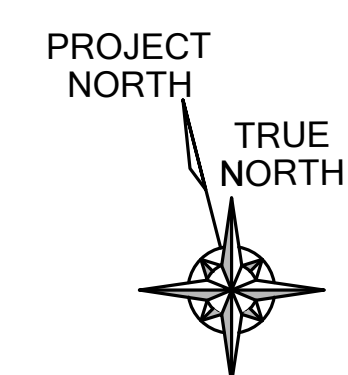
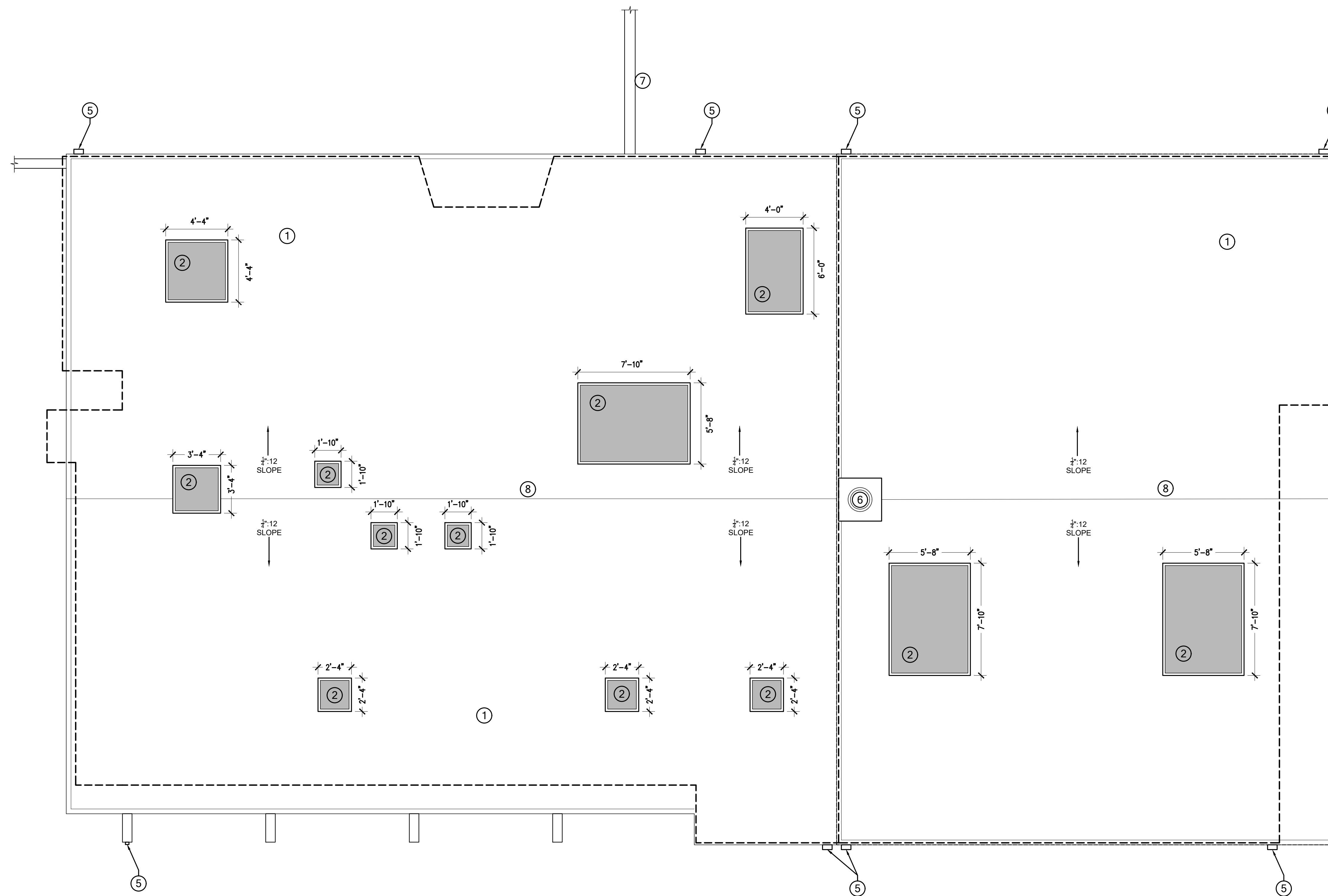
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Existing
Roof Plan

A2.3e

SHEET NOTES

- ① EXISTING BUILT-UP ROOF OVER SPRAY FOAM INSULATION (UNDETERMINED DEPTH). ROOF TO REMAIN EXCEPT IN AREAS WHERE CONSTRUCTION-RELATED DAMAGE OR CHANGES OCCUR
- ② EXISTING DOMED SKYLIGHT TO REMAIN
- ③ EXISTING DOMED SKYLIGHT TO BE REMOVED. CUT-IN STEEL DECKING TO REMAIN UNCHANGED.
- ④ EXISTING DOMED SKYLIGHT TO BE REMOVED. CUT-IN STEEL DECKING TO BE INFILLED AND PREPPED FOR NEW DECKING ABOVE.
- ⑤ EXISTING SCUPPER AND DOWNSPOUT TO REMAIN
- ⑥ EXISTING FLUE AND CHIMNEY TO BE REMOVED
- ⑦ EXISTING CMU PRIVACY WALL TO BE PARTIALLY REMOVED. SEE PROP'D FLOOR PLAN.
- ⑧ EXISTING RIDGE



1 ROOF PLAN - EXISTING
A2.3e SCALE: 1/4"=1'-0"

**Behnke-
Luria
Residence**

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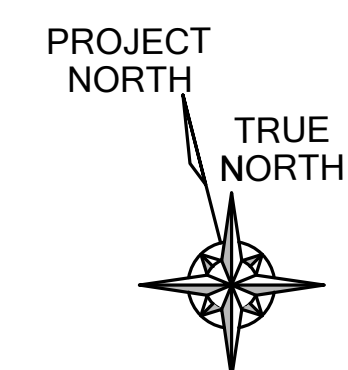
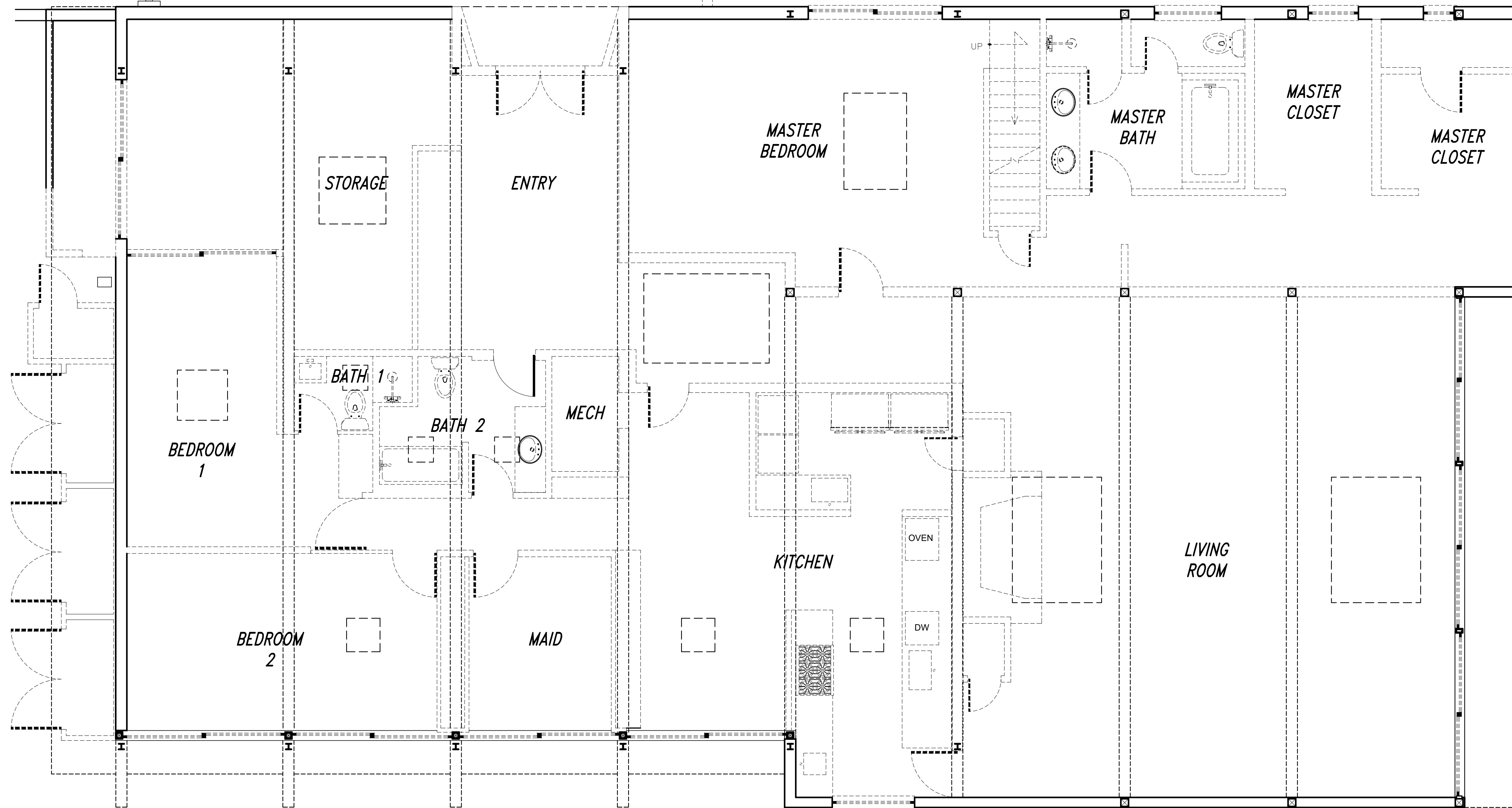
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**First Floor
Demolition Plan**

A2.1d

SHEET NOTES

① SEE DEMOLITION NOTES ON SHEET A0.2



LEGEND	
	Existing Wall
	New Wall
	Demo. Wall

1 FIRST FLOOR DEMOLITION PLAN
A2.1d SCALE: 1/4"=1'-0"

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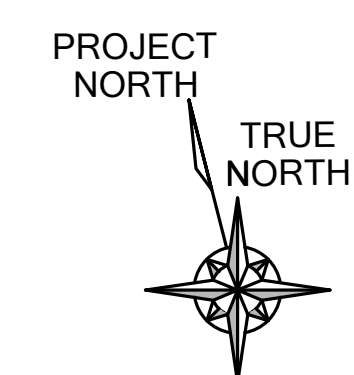
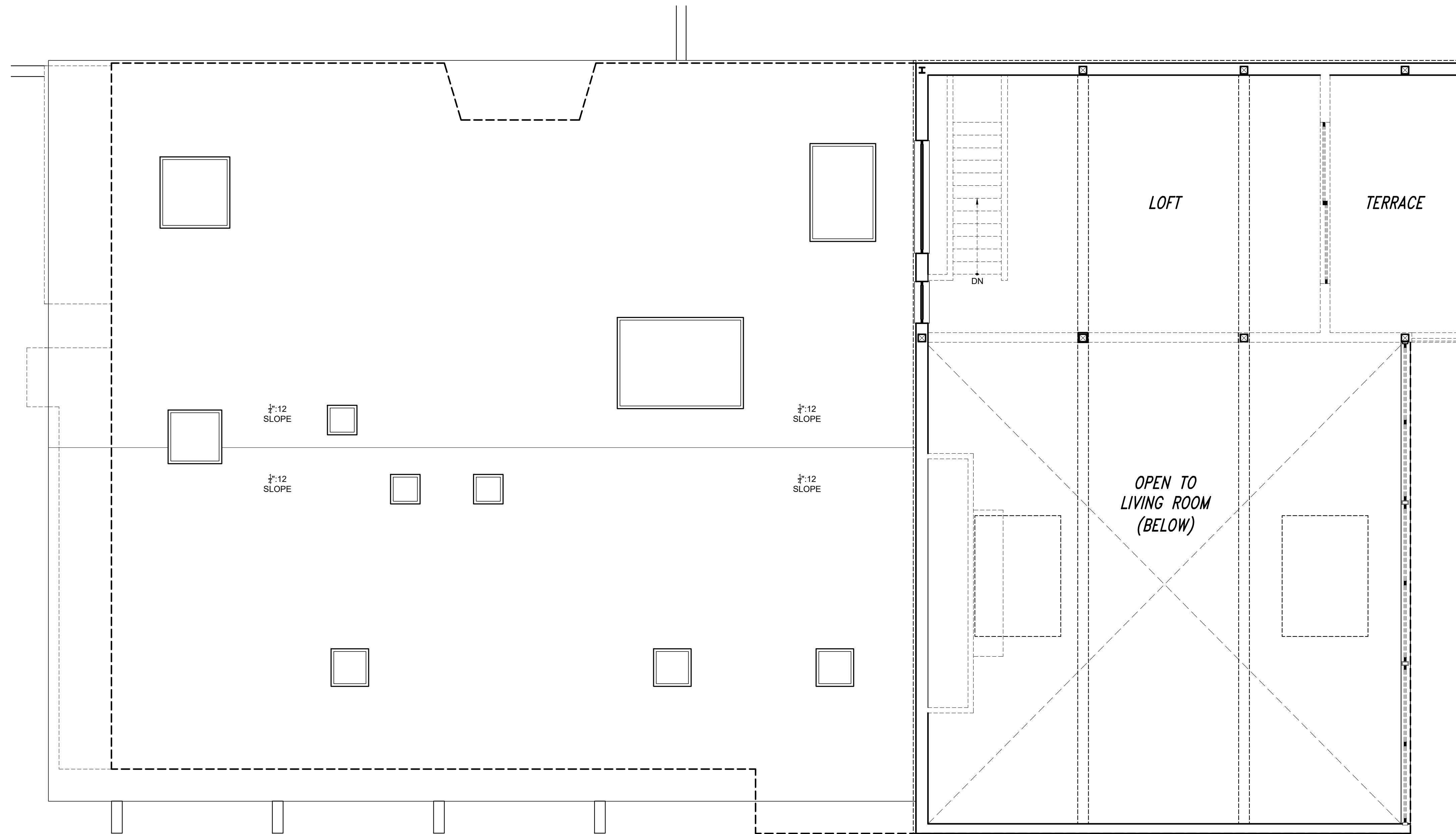
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**Second Floor
Demolition Plan**

A2.2d

SHEET NOTES

① SEE DEMOLITION NOTES ON SHEET A0.2



LEGEND	
	Existing Wall
	New Wall
	Demo. Wall

1 SECOND FLOOR DEMOLITION PLAN
A2.2d SCALE: 1/4"=1'-0"

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Planning Submittal, Rev.3 December 29, 2021

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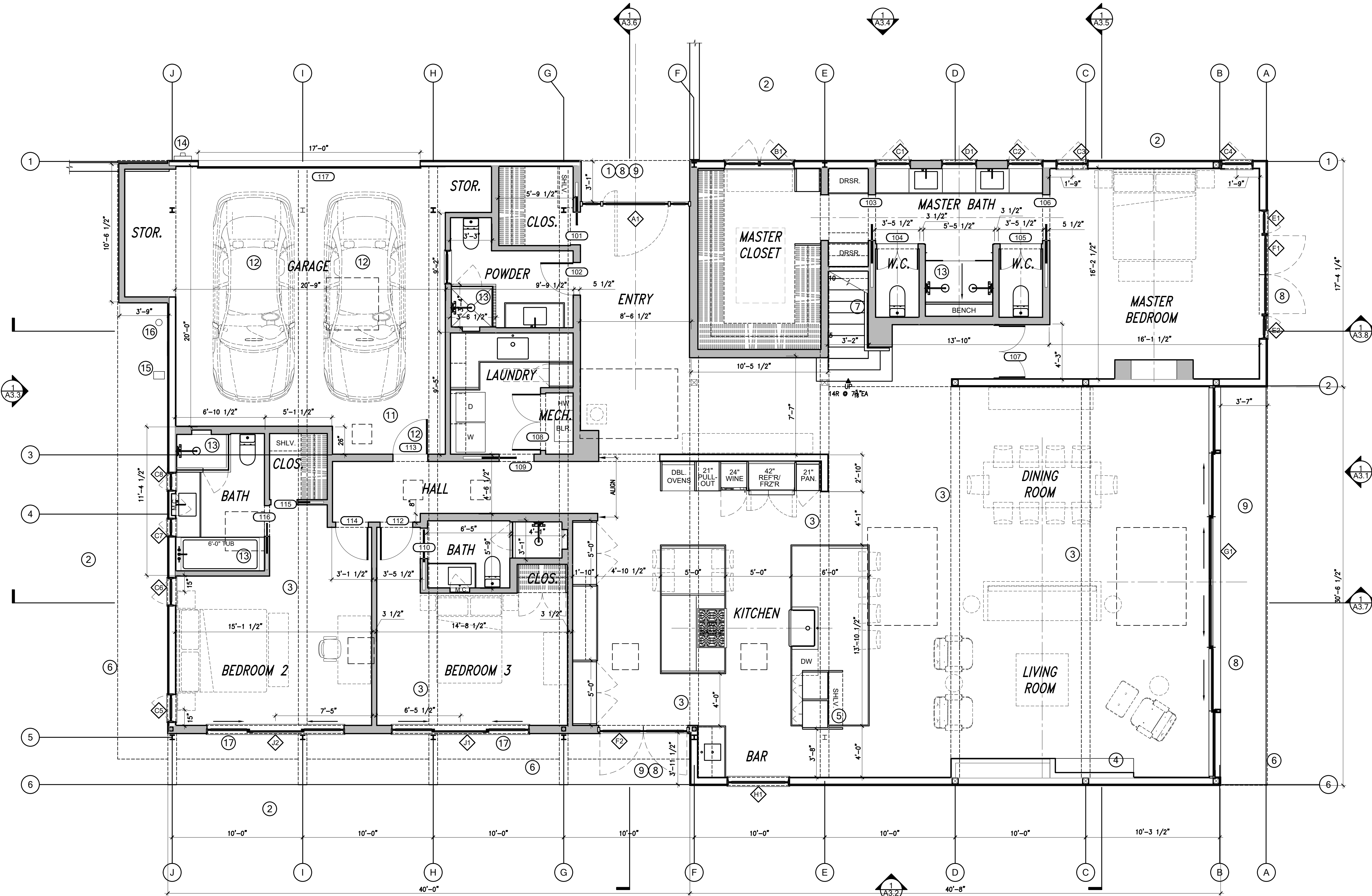
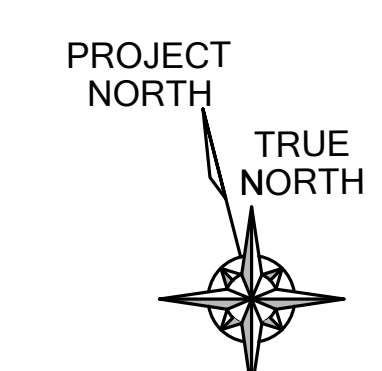
Proposed First Floor Plan

A2.1

SHEET NOTES

- ① COVERED ENTRY PORCH. SLOPE CONC. MIN. 1/4" AWAY FROM RESIDENCE
- ② EXISTING PLANTERS AND PLANTING TO REMAIN, SEE SITE PLAN
- ③ EXST. EXPOSED STEEL BEAMS TO REMAIN
- ④ NEW FULLY-SEALED EPA-CERTIFIED PHASE-2 GAS FIREPLACE
- ⑤ BUILT-IN SHELVING
- ⑥ OUTLINE OF ROOF EAVE ABOVE
- ⑦ NEW HANDRAIL
- ⑧ REQUIRED LANDING PER CRC 311.3
- ⑨ CONC. PATIO. SLOPE CONC. MIN. 1/4" AWAY FROM RESIDENCE FOR MIN. 10'
- ⑩ LEGAL 8'-6" x 18' REQUIRED PARKING SPACE
- ⑪ ALL GARAGE WALLS AND CEILINGS TO HAVE MIN. 1/2" TYPE-X G.W.B. AT ALL WALLS AND CEILINGS SEPARATING CONDITIONED SPACE PER CRC 302.6.
- ⑫ DOOR FROM GARAGE TO BE MINIMUM 20-MINUTE FIRE-RATED SELF-CLOSING, OR AUTOMATIC CLOSING AND SELF-LATCHING, PER CRC 302.5.1
- ⑬ PROVIDE NON-ABSORBENT SURFACE TO A MINIMUM HEIGHT OF 72" ABOVE WALKING SURFACE AT BATHTUB AND SHOWER SPACES PER CRC R307.2
- ⑭ NEW ELECTRICAL PANEL AND UPGRADED 200-AMP SERVICE. SEE A6 SHEETS FOR ELECTRICAL LAYOUT AND NOTES.
- ⑮ EXISTING GAS METER
- ⑯ NEW SEWER CLEAN-OUT
- ⑰ NEW EGRESS WINDOW

LEGEND	
	Existing Wall
	New Wall
	Demo. Wall



1 FIRST FLOOR PLAN - PROPOSED
A2.1 SCALE: 1/4"=1'-0"

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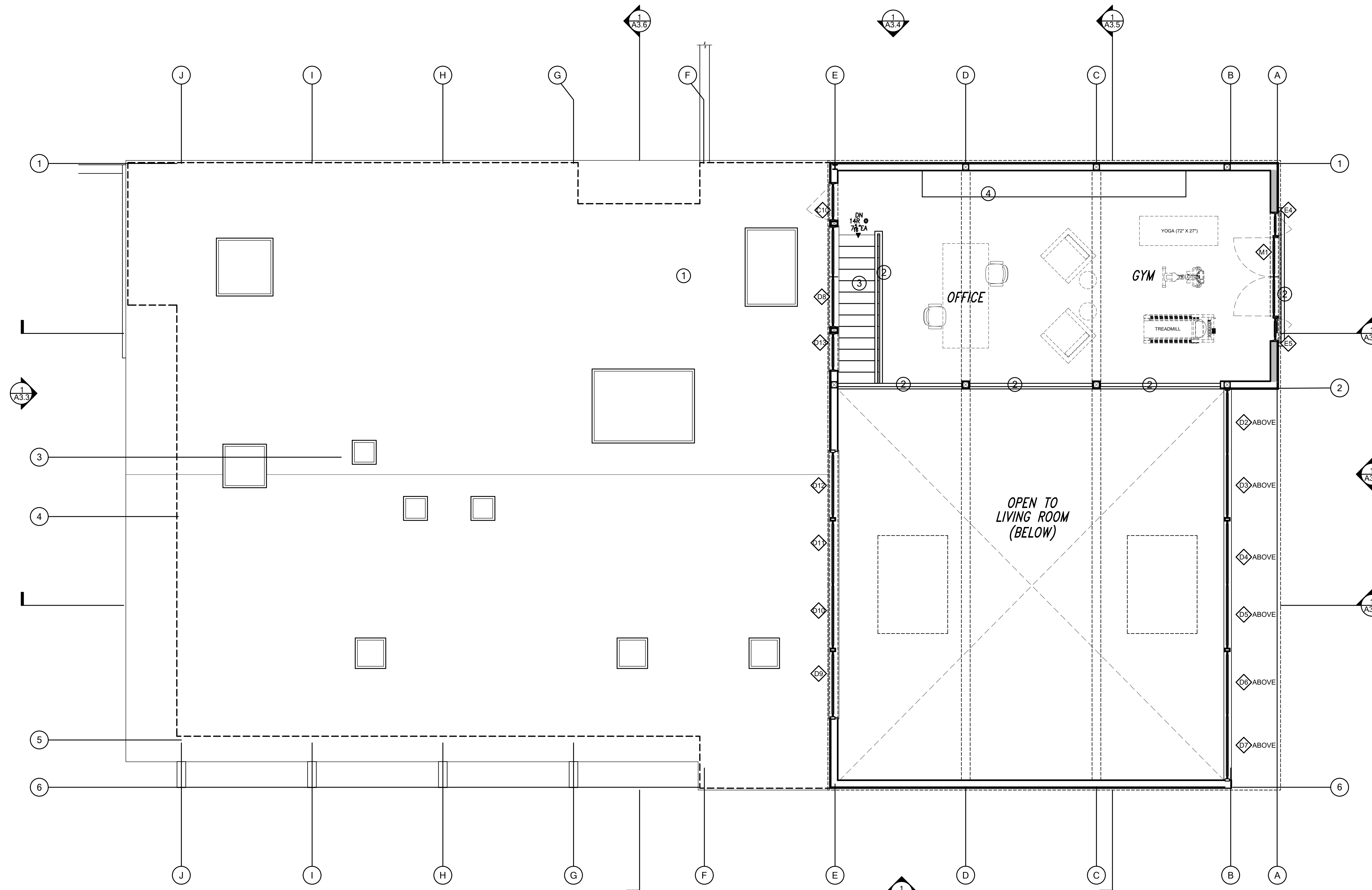
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**Proposed
2nd Floor Plan**

A2.2

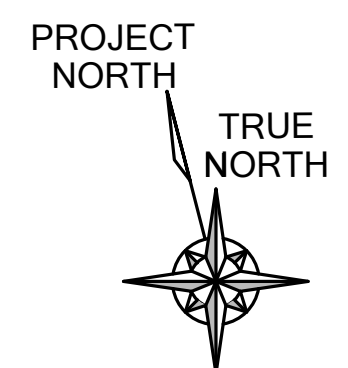
SHEET NOTES

- 1 SEE ROOF PLAN FOR ROOF-RELATED NOTES
- 2 NEW 42" H PAINTED METAL GUARDRAIL
- 3 NEW HANDRAIL (34-38" ABOVE STAIR NOSING)
- 4 BUILT IN SHELVING UNITS



1 SECOND FLOOR PLAN - PROPOSED
A2.2 SCALE: 1/4"=1'-0"

LEGEND	
	Existing Wall
	New Wall
	Demo. Wall



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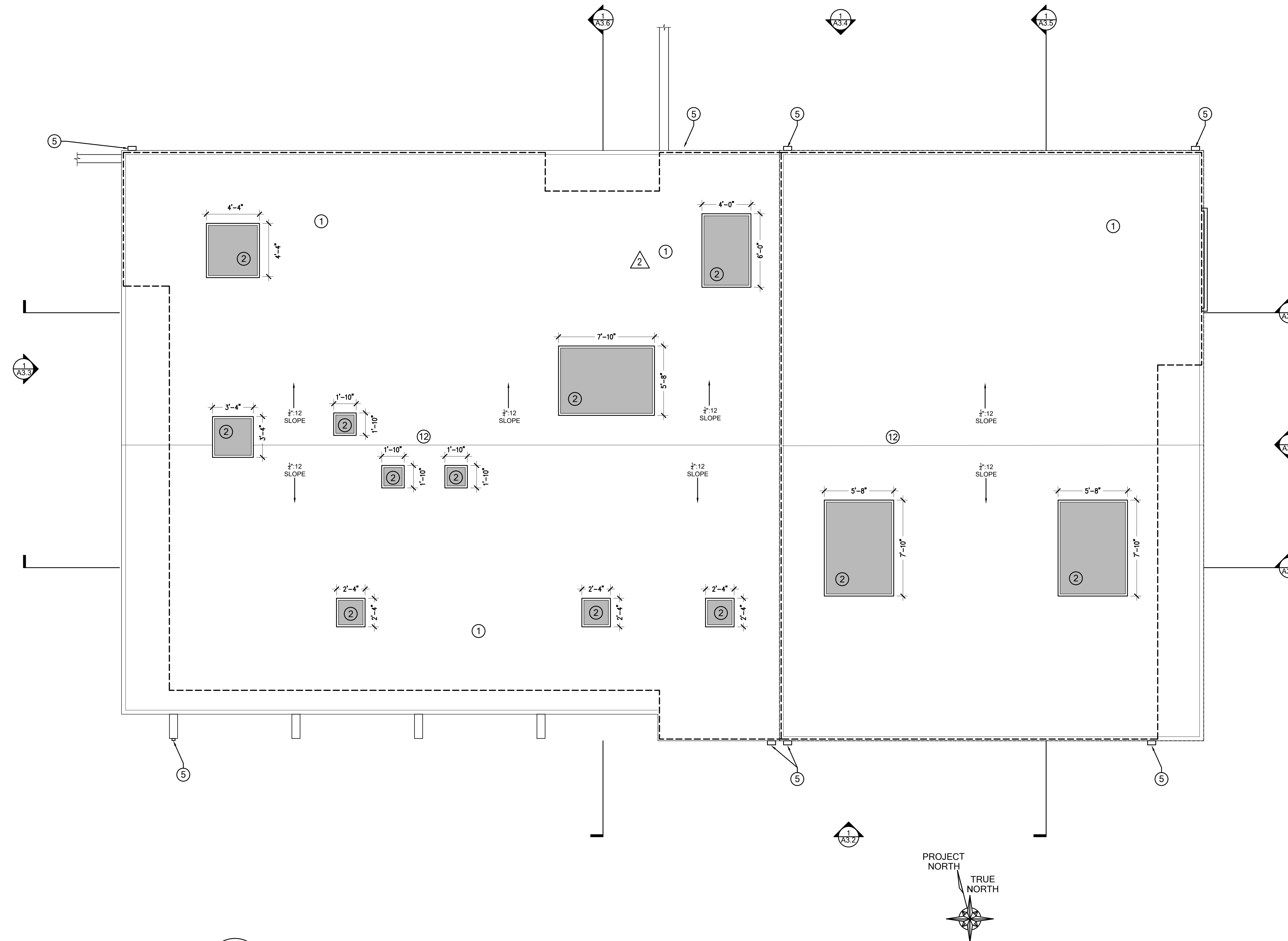
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**Proposed
Roof Plan**

A2.3

SHEET NOTES

- ① EXISTING BUILT-UP ROOF OVER SPRAY FOAM INSULATION (UNDETERMINED DEPTH). ROOF TO REMAIN EXCEPT IN AREAS WHERE CONSTRUCTION-RELATED DAMAGE OR CHANGES OCCUR
- ② EXISTING DOMED SKYLIGHT TO REMAIN
- ③ NOT USED
- ④ NOT USED
- ⑤ EXISTING SCUPPER AND DOWNSPOUT TO REMAIN
- ⑥ NEW RAISED PLANTER
- ⑦ NOT USED
- ⑧ NOT USED
- ⑨ NOT USED
- ⑩ NEW LINEAR STONE WRAPPED "PILLAR"
- ⑪ NOT USED
- ⑫ EXISTING RIDGE TO REMAIN



1 ROOF PLAN - PROPOSED
A2.3 SCALE: 1/4"=1'-0"

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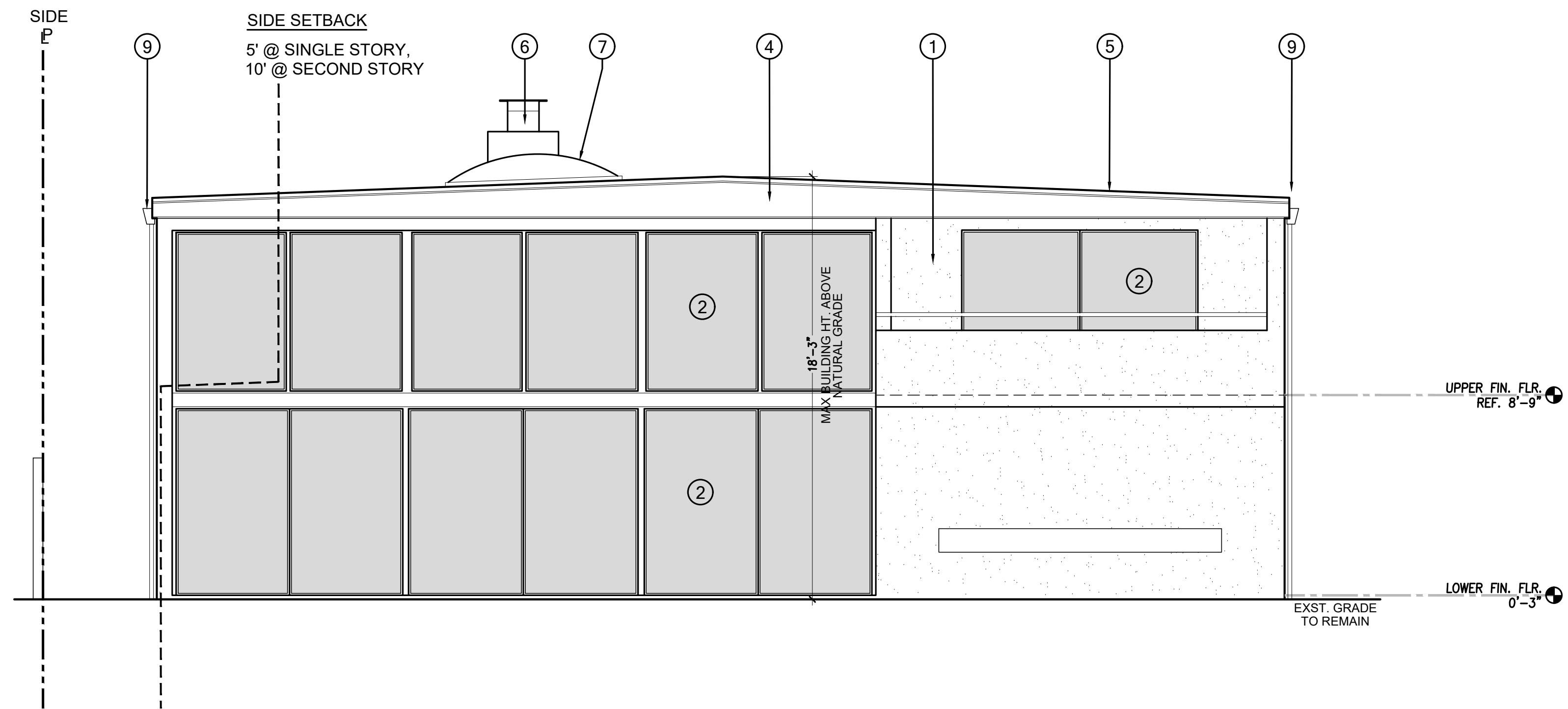
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3 Planning Submittal, Rev.3
December 29, 2021

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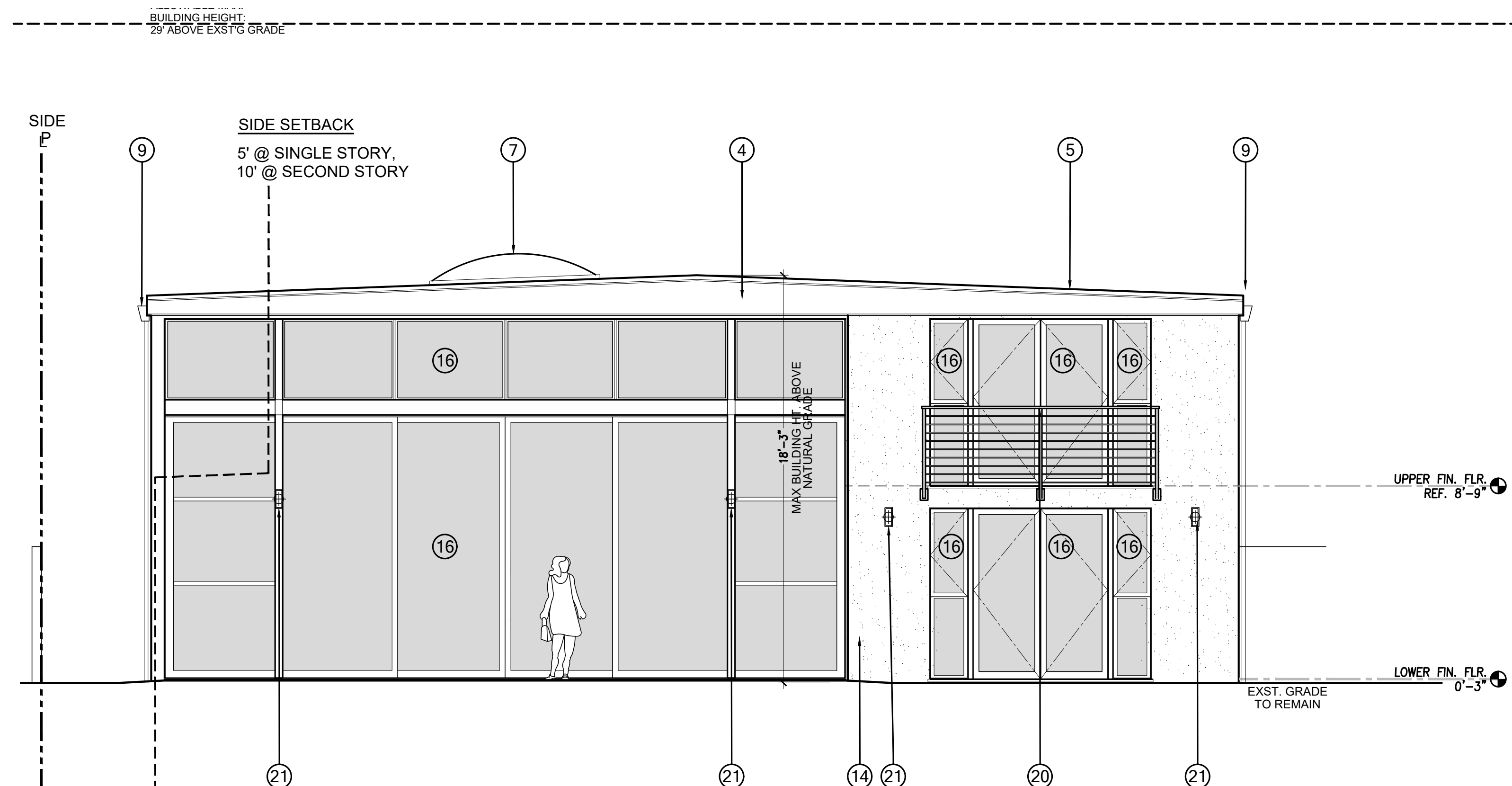
Elevations
A3.1

SHEET NOTES

- ① EXISTING STUCCO SIDING
- ② EXISTING SINGLE-PANE ALUM. WINDOWS/ DOORS
- ③ EXISTING PAINTED WOOD FASCIA
- ④ EXISTING PAINTED STEEL FASCIA
- ⑤ EXISTING BUILT-UP ROOF OVER FOAM INSULATION (DEPTH VARIES)
- ⑥ EXISTING MASONRY CHIMNEY, TO BE REMOVED
- ⑦ EXISTING SKYLIGHT TO REMAIN
- ⑧ NOT USED
- ⑨ EXISTING PTD. GSM GUTTER AND DOWNSPOUT TO REMAIN
- ⑩ EXISTING CMU PRIVACY WALL TO REMAIN
- ⑪ EXISTING PAINTED WOOD DOOR
- ⑫ NEW LINEAR STONE-WRAPPED WALL
- ⑬ NEW STAINED WOOD DOOR
- ⑭ STUCCO. PATCHED AS NEEDED AND PTD.
- ⑮ NOT USED
- ⑯ NEW DUAL-PANE ALUMINUM WINDOW/DOOR SYSTEM
- ⑰ NOT USED
- ⑱ NOT USED
- ⑲ NOT USED
- ⑳ NEW PAINTED STEEL RAILING
- ㉑ NEW SHIELDED DOWNLIGHT FIXTURE



2 EAST (REAR, LAGOON-FACING) ELEVATION - EXISTING
A3.1 SCALE: 1/4"=1'-0"



1 EAST (REAR, LAGOON-FACING) ELEVATION - PROPOSED
A3.1 SCALE: 1/4"=1'-0"

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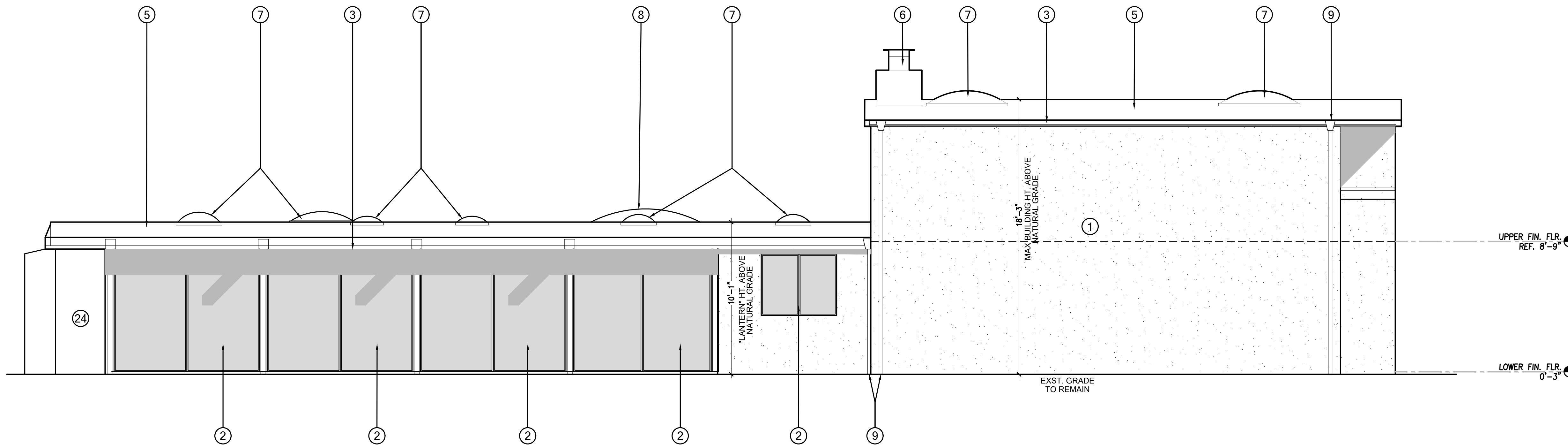
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Elevations

A3.2

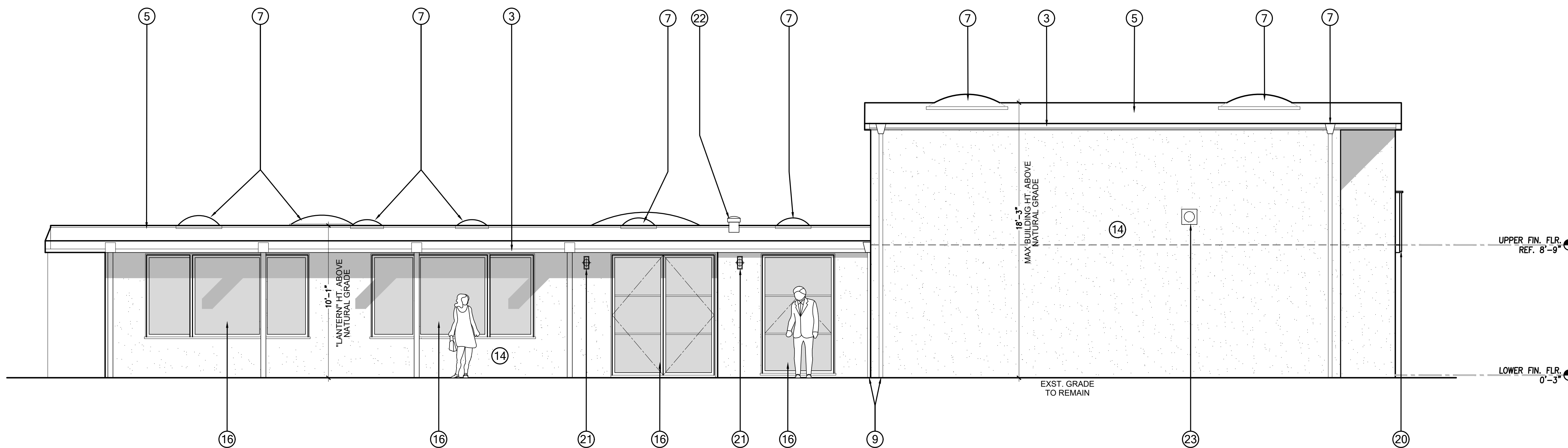
SHEET NOTES

- 1 EXISTING STUCCO SIDING
- 2 EXISTING SINGLE-PANE ALUM. WINDOWS/ DOORS
- 3 EXISTING PAINTED WOOD FASCIA
- 4 EXISTING PAINTED STEEL FASCIA
- 5 EXISTING BUILT-UP ROOF OVER FOAM INSULATION (DEPTH VARIES)
- 6 EXISTING MASONRY CHIMNEY, TO BE REMOVED
- 7 EXISTING SKYLIGHT TO REMAIN
- 8 NOT USED
- 9 EXISTING PTD. GSM GUTTER AND DOWNSPOUT TO REMAIN
- 10 EXISTING CMU PRIVACY WALL TO REMAIN
- 11 EXISTING PAINTED WOOD DOOR
- 12 NEW LINEAR STONE-WRAPPED WALL
- 13 NEW STAINED WOOD DOOR
- 14 STUCCO. PATCHED AS NEEDED AND PTD.
- 15 NOT USED
- 16 NEW DUAL-PANE ALUMINUM WINDOW/DOOR SYSTEM
- 17 NOT USED
- 18 NOT USED
- 19 NOT USED
- 20 NEW PAINTED STEEL RAILING
- 21 NEW SHIELDED DOWNLIGHT FIXTURE
- 22 NEW KITCHEN VENTILATION OUTLET
- 23 NEW GAS FIREPLACE OUTLET
- 24 EXISTING WOOD STORAGE SHEDS BEYOND (TO BE DEMOLISHED, SEE DEMO PLAN)



2 SOUTH ELEVATION - EXISTING
A3.2 SCALE: 1/4"=1'-0"

ALLOWABLE MAX.
BUILDING HEIGHT:
20' ABOVE EXIST'G GRADE



1 SOUTH ELEVATION - PROPOSED
A3.2 SCALE: 1/4"=1'-0"

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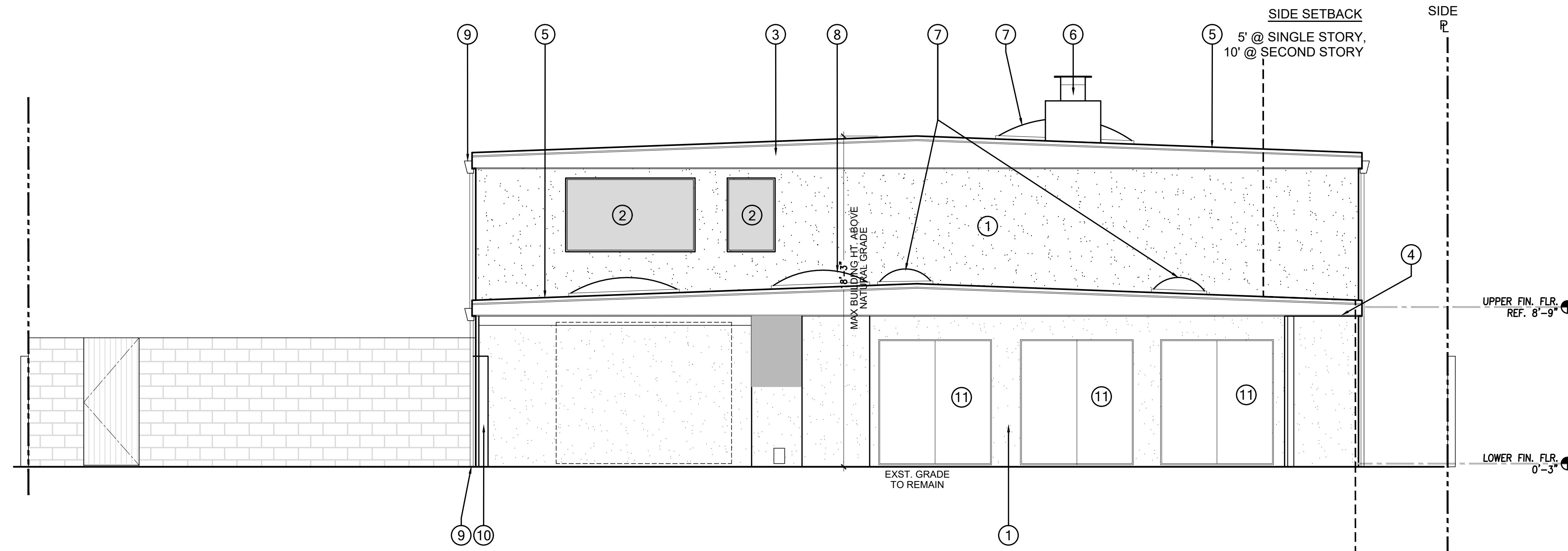
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Elevations
A3.3

SHEET NOTES

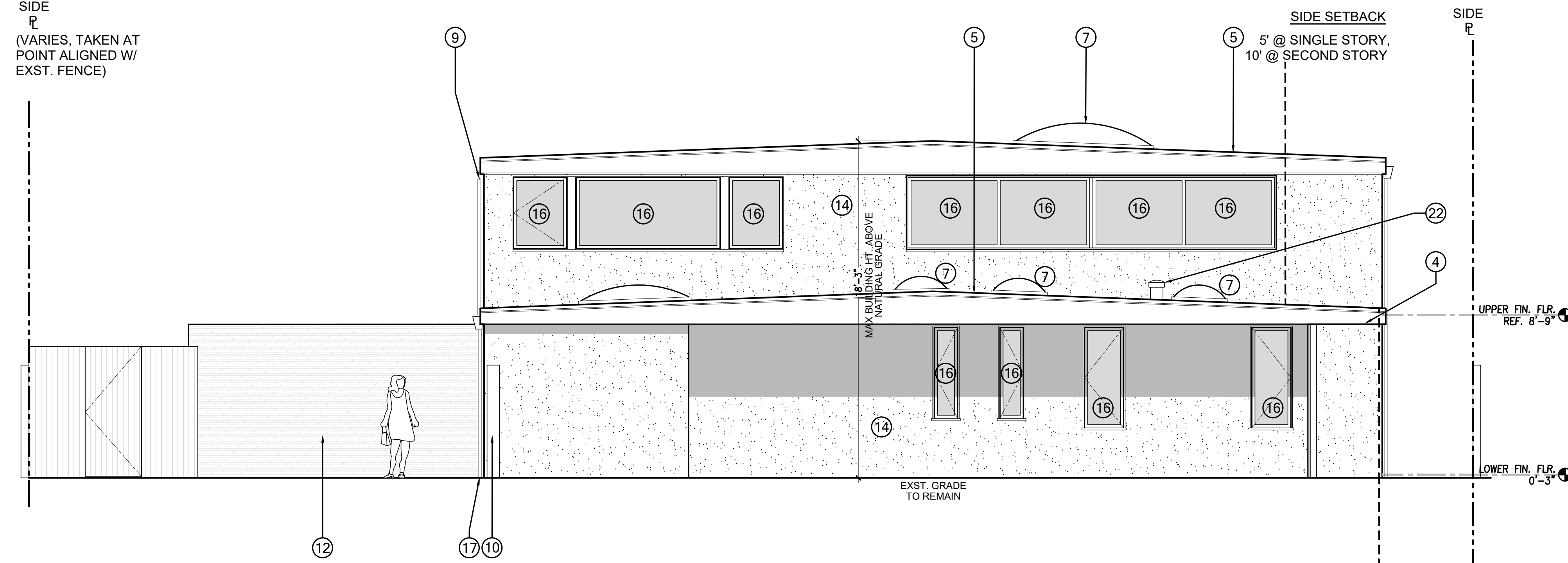
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- 11 EXISTING PAINTED WOOD DOOR
- 12 NEW LINEAR STONE-WRAPPED WALL
- 13 NEW STAINED WOOD DOOR
- 14 STUCCO. PATCHED AS NEEDED AND PTD.
- 15 NOT USED
- 16 NEW DUAL-PANE ALUMINUM WINDOW/DOOR SYSTEM
- 17 NOT USED
- 18 NOT USED
- 19 NOT USED
- 20 NEW PAINTED STEEL RAILING
- 21 NEW SHIELDED DOWNLIGHT FIXTURE
- 22 NEW KITCHEN VENTILATION OUTLET



2 WEST ELEVATION - EXISTING
A3.3 SCALE: 1/4"=1'-0"

ALLOWABLE MAX. BUILDING HEIGHT: 29' ABOVE EXIST. GRADE

SIDE R (VARIES, TAKEN AT POINT ALIGNED W/ EXST. FENCE)



1 WEST ELEVATION - PROPOSED
A3.3 SCALE: 1/4"=1'-0"

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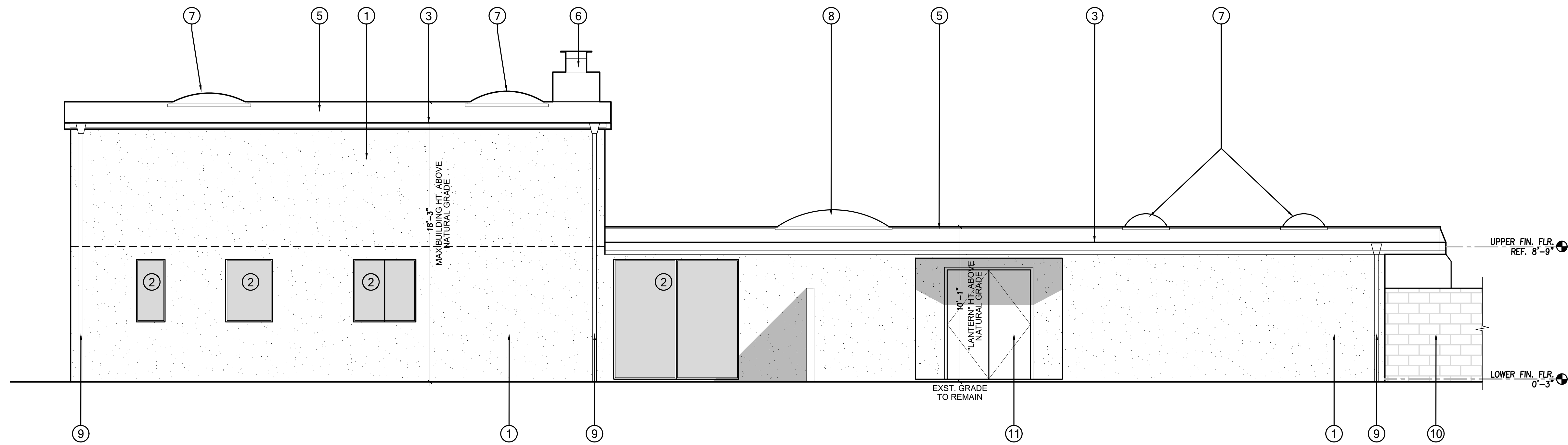
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Elevations

A3.4

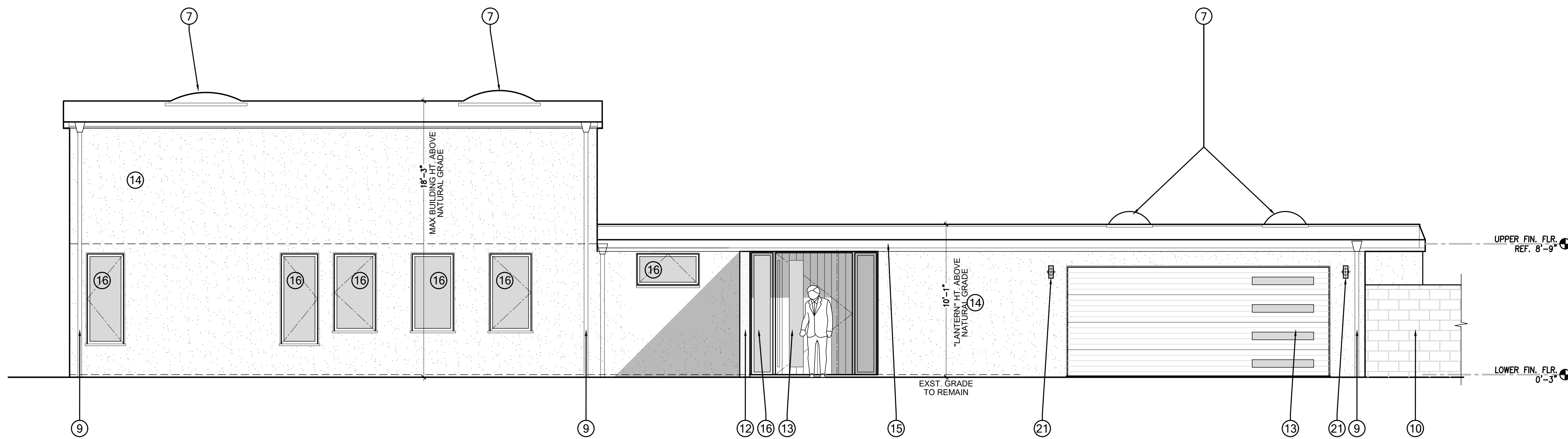
SHEET NOTES

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- ② EXISTING SINGLE-PANE ALUM. WINDOWS/ DOORS
- ③ EXISTING PAINTED WOOD FASCIA
- ④ EXISTING PAINTED STEEL FASCIA
- ⑤ EXISTING BUILT-UP ROOF OVER FOAM INSULATION (DEPTH VARIES)
- ⑥ EXISTING MASONRY CHIMNEY, TO BE REMOVED
- ⑦ EXISTING SKYLIGHT TO REMAIN
- ⑧ NOT USED
- ⑨ EXISTING PTD. GSM GUTTER AND DOWNSPOUT TO REMAIN
- ⑩ EXISTING CMU PRIVACY WALL TO REMAIN
- ⑪ EXISTING PAINTED WOOD DOOR
- ⑫ NEW LINEAR STONE-WRAPPED WALL
- ⑬ NEW STAINED WOOD DOOR
- ⑭ STUCCO. PATCHED AS NEEDED AND PTD.
- ⑮ NOT USED
- ⑯ NEW DUAL-PANE ALUMINUM WINDOW/DOOR SYSTEM
- ⑰ NOT USED
- ⑱ NOT USED
- ⑲ NOT USED
- ⑳ NEW PAINTED STEEL RAILING
- ㉑ NEW SHIELDED DOWNLIGHT FIXTURE



2 NORTH ELEVATION - EXISTING
A3.4 SCALE: 1/4"=1'-0"

ALLOWABLE MAX. BUILDING HEIGHT 29' ABOVE EXST' GRADE



1 NORTH ELEVATION - PROPOSED
A3.4 SCALE: 1/4"=1'-0"

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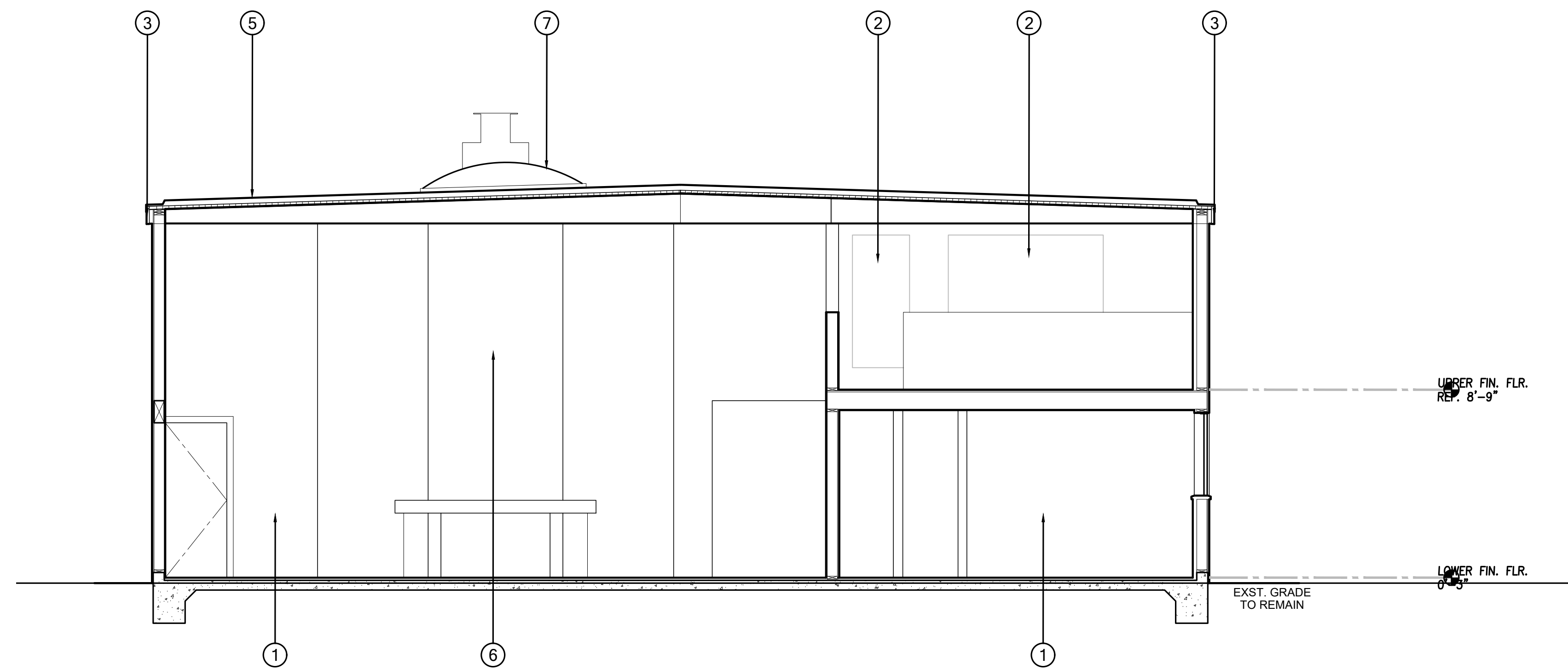
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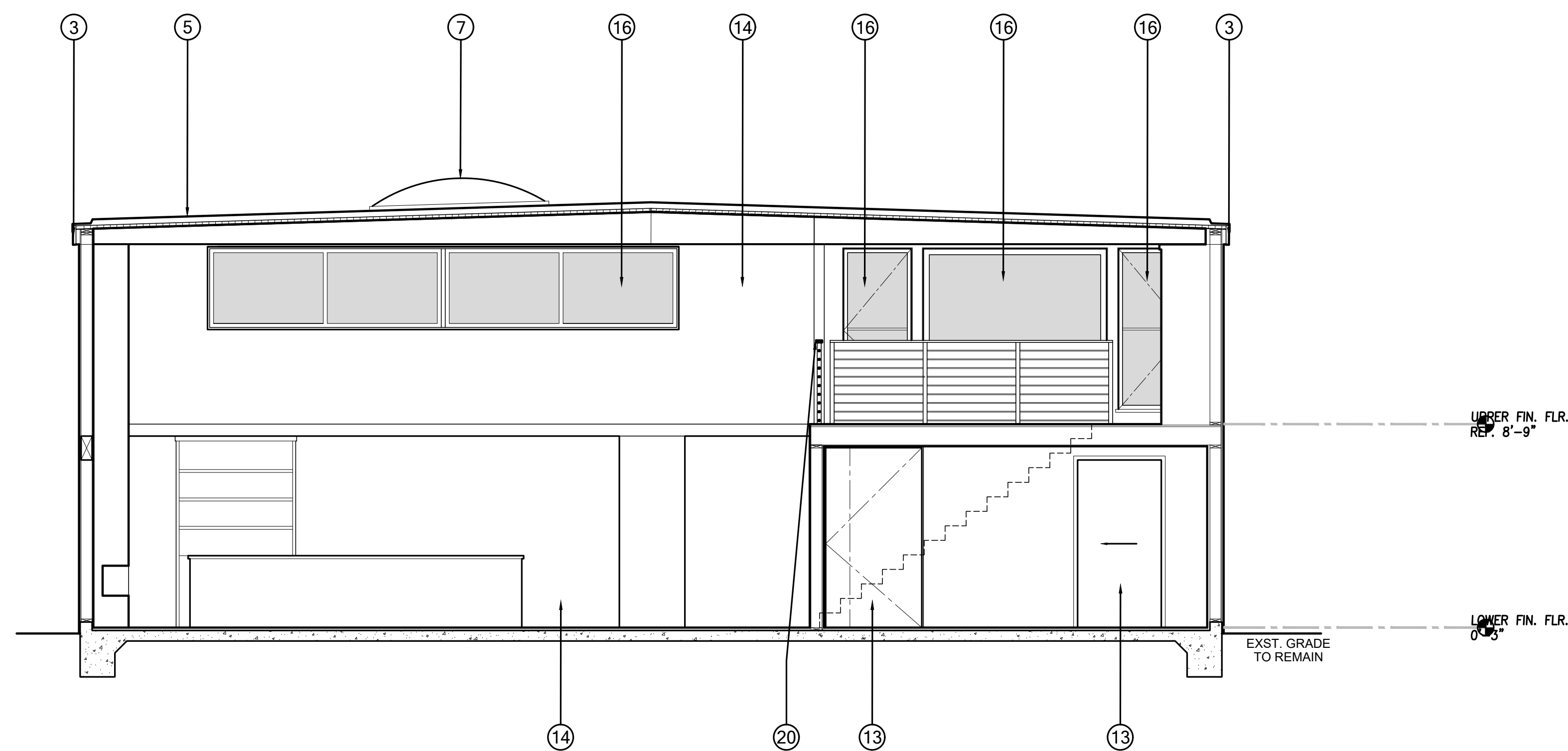
A3.5

SHEET NOTES

- ① EXISTING INTERIOR PLASTER FINISH
- ② EXISTING SINGLE-PANE ALUM. WINDOWS/ DOORS
- ③ EXISTING PAINTED WOOD FASCIA
- ④ EXISTING PAINTED STEEL FASCIA
- ⑤ EXISTING BUILT-UP ROOF OVER FOAM INSULATION (DEPTH VARIES)
- ⑥ EXISTING MASONRY CHIMNEY, TO BE REMOVED
- ⑦ EXISTING SKYLIGHT TO REMAIN
- ⑧ EXISTING SKYLIGHT TO BE REMOVED, BUT OPENING IN STEEL DECKING TO REMAIN
- ⑨ EXISTING PTD. GSM GUTTER AND DOWNSPOUT TO REMAIN
- ⑩ EXISTING CMU PRIVACY WALL TO REMAIN
- ⑪ EXISTING PAINTED WOOD DOOR
- ⑫ NEW LINEAR STONE-WRAPPED WALL
- ⑬ NEW STAINED WOOD DOOR
- ⑭ NEW INTERIOR FINISH
- ⑮ NOT USED
- ⑯ NEW DUAL-PANE ALUMINUM WINDOW/DOOR SYSTEM
- ⑰ NOT USED
- ⑱ NOT USED
- ⑲ NOT USED
- ⑳ NEW PAINTED STEEL RAILING
- ㉑ NEW SHIELDED DOWNLIGHT FIXTURE



2 TRANSVERSE SECTION - EXISTING
A3.5 SCALE: 1/4"=1'-0"



1 TRANSVERSE SECTION - PROPOSED
A3.5 SCALE: 1/4"=1'-0"

Behnke-Luria Residence

150 San Rafael Ave.
Belvedere, CA
94920

APN #: 060-031-21

DESIGN CONSULTANT
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Date & Issue

Planning Submittal
October 1, 2021

2 Planning Submittal, Rev.2
November 29, 2021

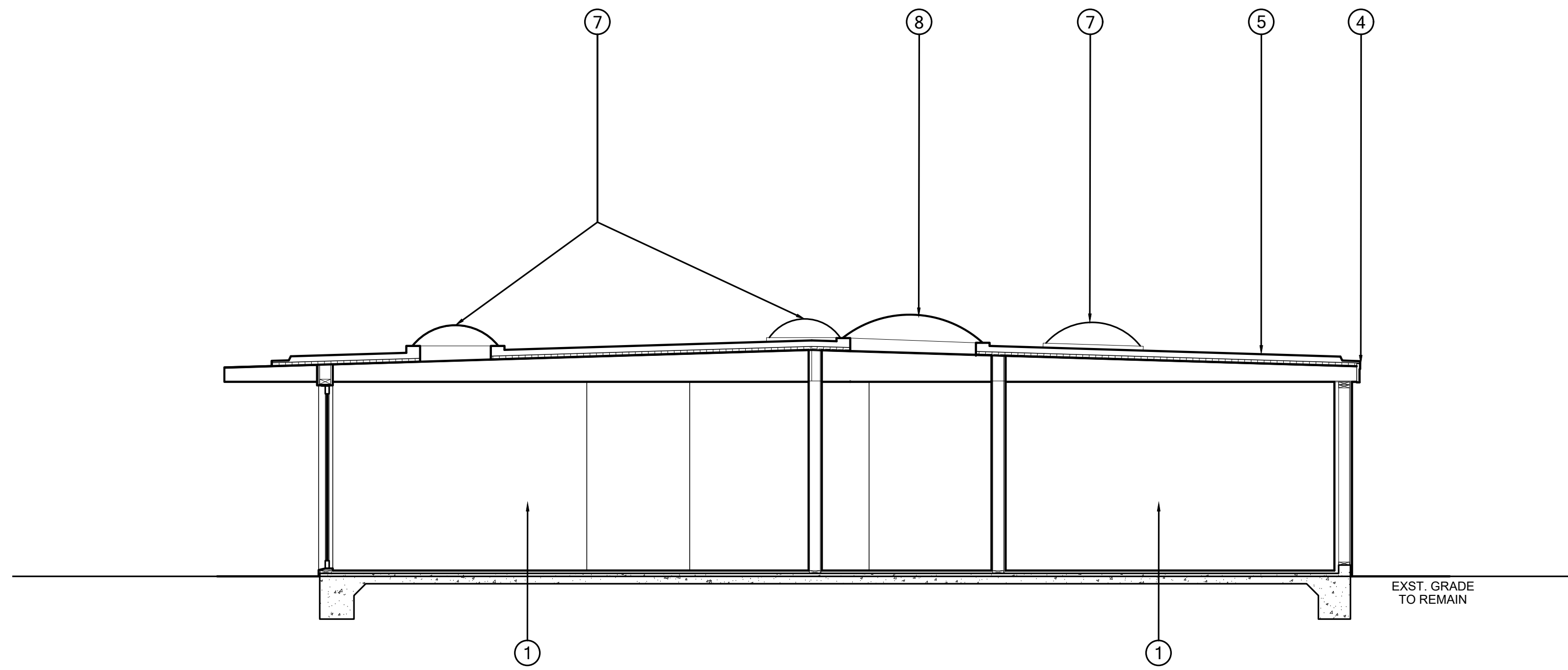
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Job #:
Drawn By:
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Sections

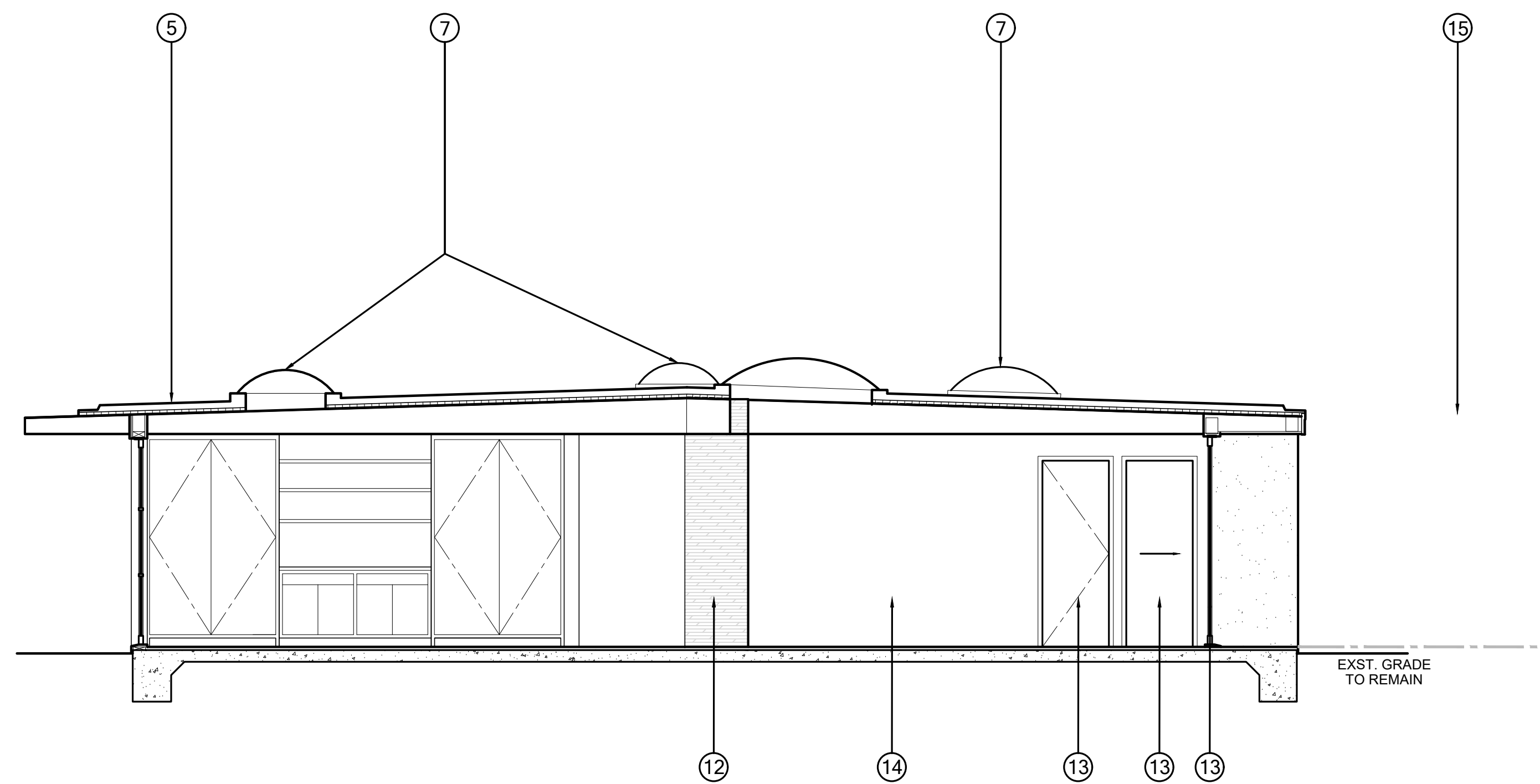
A3.6

SHEET NOTES

- ① EXISTING INTERIOR PLASTER FINISH
- ② EXISTING SINGLE-PANE ALUM. WINDOWS/ DOORS
- ③ EXISTING PAINTED WOOD FASCIA
- ④ EXISTING PAINTED STEEL FASCIA
- ⑤ EXISTING BUILT-UP ROOF OVER FOAM INSULATION (DEPTH VARIES)
- ⑥ EXISTING MASONRY CHIMNEY, TO BE REMOVED
- ⑦ EXISTING SKYLIGHT TO REMAIN
- ⑧ EXISTING SKYLIGHT TO BE REMOVED, BUT OPENING IN STEEL DECKING TO REMAIN
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- ⑰ NOT USED
- ⑱ NOT USED
- ⑲ NOT USED
- ⑳ NEW PAINTED STEEL RAILING
- ㉑ NEW SHIELDED DOWNLIGHT FIXTURE



2 TRANSVERSE SECTION 2- EXISTING
A3.6 SCALE: 1/4"=1'-0"



1 TRANSVERSE SECTION 2 - PROPOSED
A3.6 SCALE: 1/4"=1'-0"

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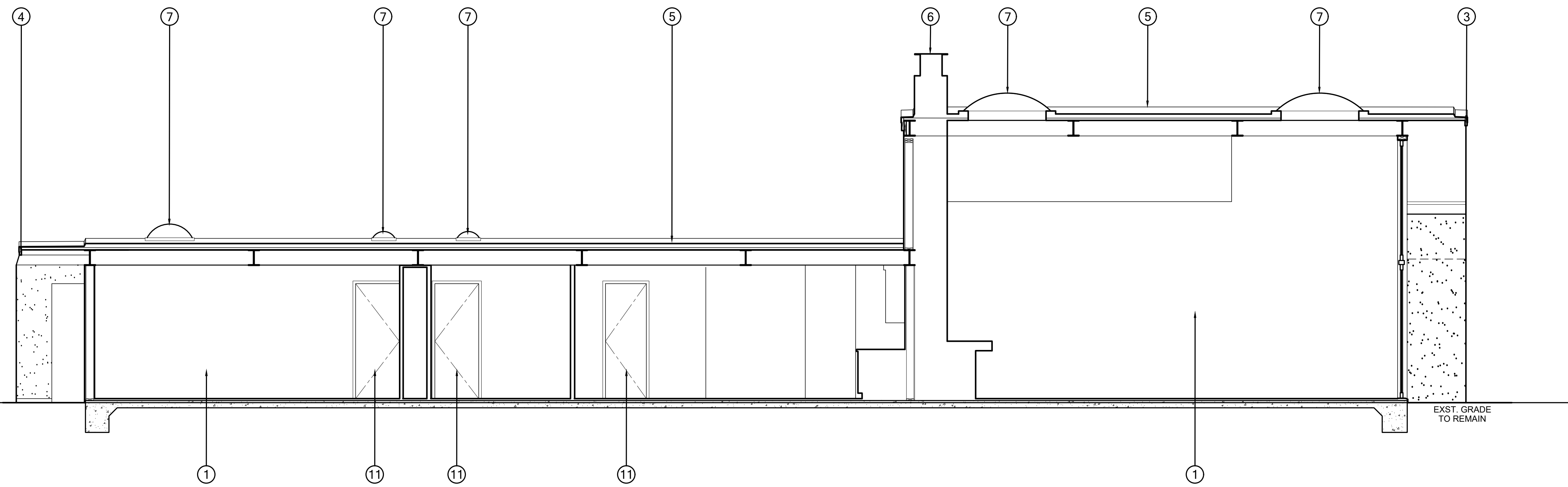
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Sections

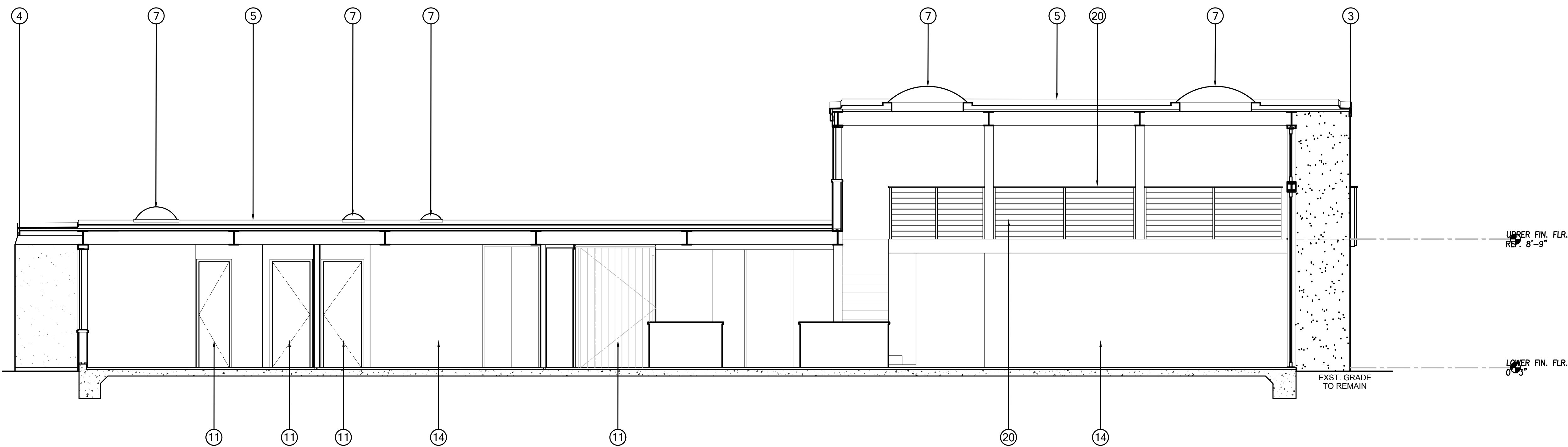
A3.7

SHEET NOTES

- ① EXISTING INTERIOR PLASTER FINISH
- ② EXISTING SINGLE-PANE ALUM. WINDOWS/ DOORS
- ③ EXISTING PAINTED WOOD FASCIA
- ④ EXISTING PAINTED STEEL FASCIA
- ⑤ EXISTING BUILT-UP ROOF OVER FOAM INSULATION (DEPTH VARIES)
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- ⑮ NOT USED
- ⑯ NEW DUAL-PANE ALUMINUM WINDOW/DOOR SYSTEM
- ⑰ NOT USED
- ⑱ NOT USED
- ⑲ NOT USED
- ⑳ NEW PAINTED STEEL RAILING
- ㉑ NEW SHIELDED DOWNLIGHT FIXTURE



2 LONGITUDINAL SECTION 1 - EXISTING
A3.7 SCALE: 1/4"=1'-0"



1 LONGITUDINAL SECTION 1 - PROPOSED
A3.7 SCALE: 1/4"=1'-0"

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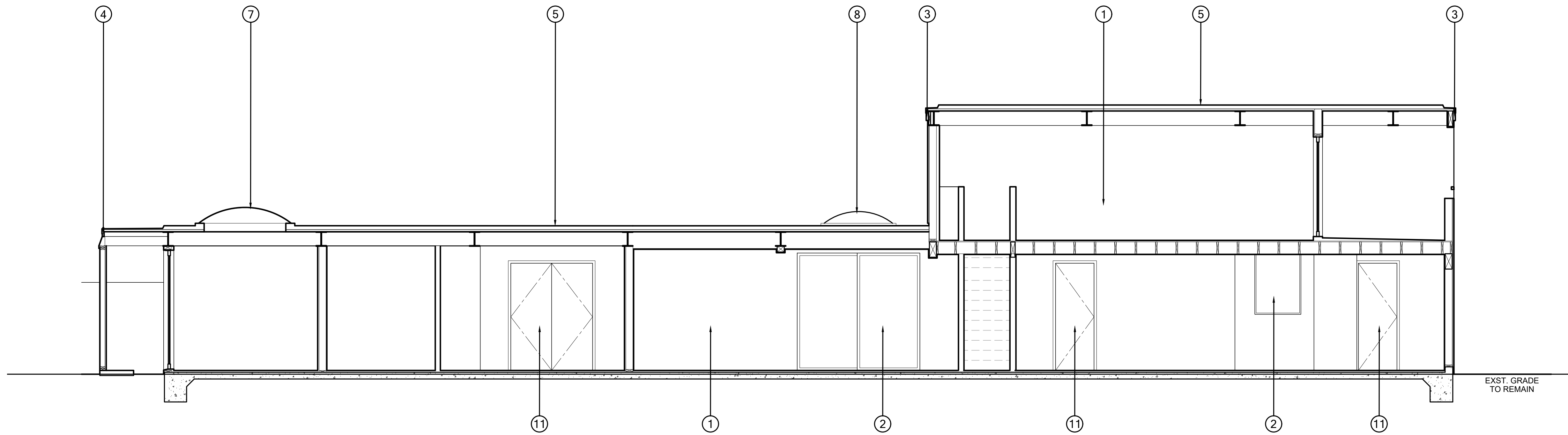
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Job #:
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Sections

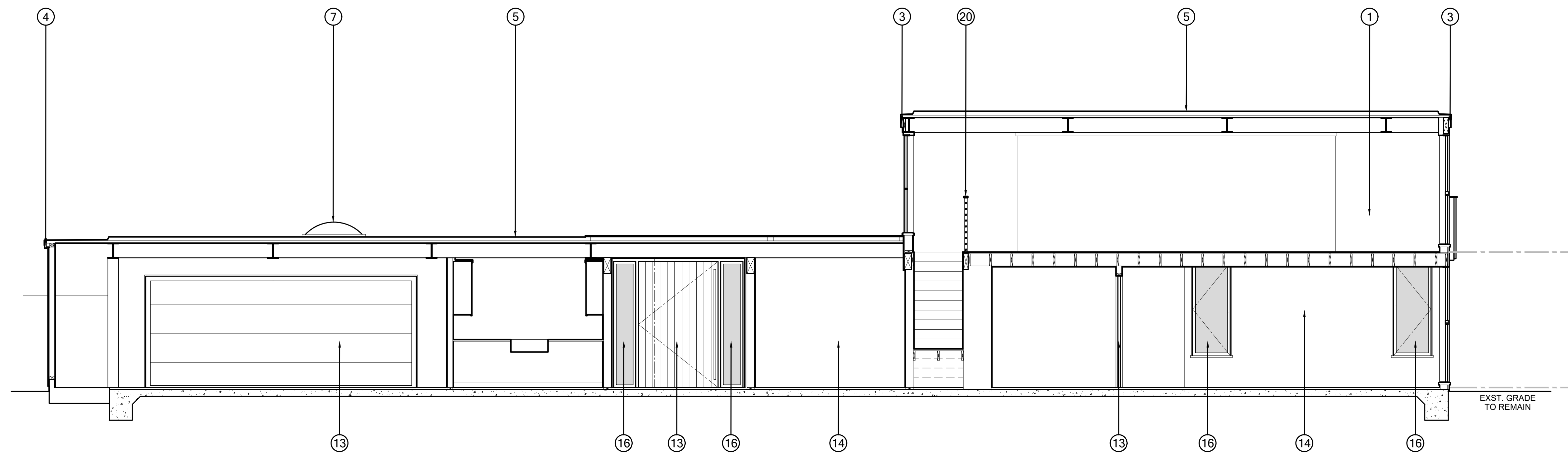
A3.8

SHEET NOTES

- ① EXISTING INTERIOR PLASTER FINISH
- ② EXISTING SINGLE-PANE ALUM. WINDOWS/ DOORS
- ③ EXISTING PAINTED WOOD FASCIA
- ④ EXISTING PAINTED STEEL FASCIA
- ⑤ EXISTING BUILT-UP ROOF OVER FOAM INSULATION (DEPTH VARIES)
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- ⑰ NOT USED
- ⑱ NOT USED
- ⑲ NOT USED
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- ㉑ NEW SHIELDED DOWNLIGHT FIXTURE



2 LONGITUDINAL SECTION 2 - EXISTING
A3.8 SCALE: 1/4"=1'-0"



1 LONGITUDINAL SECTION 2 - PROPOSED
A3.8 SCALE: 1/4"=1'-0"

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Planning Submittal
October 1, 2021

1 Planning Rev'd Submittal
November 12, 2021

2 Planning Submittal, Rev.2
November 29, 2021

3 Planning Submittal, Rev.3
December 29, 2021

File:
Job #:
Drawn By:
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Schedules

A4.1

GLAZED DOOR AND WINDOW SCHEDULE

LINE	NO.	LOCATION	TYPE	DESCRIPTION	(FINISHED) DIM.			MANUF.	MODEL	EXTERIOR FRAME COLOR	INTERIOR FRAME COLOR	COMMENTS
					Height	Width	Sill (A.F.F.)					
01	A1	ENTRANCE	A	FRONT PIVOT DOOR W/ SIDELITES	8' - 0"	8' - 3 1/2"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	48" W. OAK PLANK DOOR (2.1/4" THICKNESS). TEMPERED GLAZING
02	B1	M. CLOSET	B	AWNING WINDOW	2' - 0"	4' - 0"	5' - 10"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
03	C1	M. BATHROOM	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 0"	2' - 4"	2' - 10"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
04	D1	M. BATHROOM	D	FIXED WINDOW	5' - 0"	2' - 4"	2' - 10"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
05	C2	M. BATHROOM	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 0"	2' - 4"	2' - 0"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
06	C3	M. BEDROOM	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 10"	2' - 4"	2' - 0"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
07	C4	M. BEDROOM	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 10"	2' - 4"	2' - 0"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
08	E1	M. BEDROOM	E	OUTSWING CASEMENT OVER FIXED WINDOW	7' - 10"	1' - 10"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING @ LOWER FIXED PANEL
09	F1	M. BEDROOM	F	OUTSWING FRENCH DOOR	7' - 10"	6' - 0"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING. NO DIVIDED LITES
10	E2	M. BEDROOM	E	OUTSWING CASEMENT OVER FIXED WINDOW	7' - 10"	1' - 10"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING @ LOWER FIXED PANEL
11	G1	LIVING ROOM	G	6-PANEL, 3-TRACK BIPARTING SLIDER XXXXXX	11' - 6 1/2"	29' - 11"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
12	H1	BAR	H	3-LITE WINDOW W/ CENTER AWNING	7' - 6"	4' - 8"	0' - 4"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
13	F2	KITCHEN	F	OUTSWING FRENCH DOOR	7' - 10"	6' - 10"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING. 3 DIVIDED LITES
14	J1	BEDROOM 3	J	OXO SLIDING WINDOW	5' - 4"	10' - 0"	2' - 6"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	EGRESS WINDOW.
15	J2	BEDROOM 2	J	OXO SLIDING WINDOW	5' - 4"	10' - 0"	2' - 6"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	EGRESS WINDOW.
16	C5	BEDROOM 2	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 4"	2' - 1"	2' - 6"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
17	C6	BEDROOM 2	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 4"	2' - 1"	2' - 6"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
18	C7	BEDROOM BATH	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 5 1/2"	1' - 3"	2' - 4 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
19	C8	BEDROOM BATH	C	SINGLE OUTSWING CASEMENT WINDOW	5' - 5 1/2"	1' - 3"	2' - 4 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
20	E4	LOFT	E	OUTSWING CASEMENT OVER FIXED WINDOW	7' - 10"	1' - 10"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
21	M1	LOFT	M	INSWING FRENCH DOOR	7' - 10"	6' - 0"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
22	E5	LOFT	E	OUTSWING CASEMENT OVER FIXED WINDOW	7' - 10"	1' - 10"	---	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
23	D2	ABOVE LIVING	D	FIXED PICTURE WINDOW	3' - 7"	4' - 10 1/2"	12' - 3 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
24	D3	ABOVE LIVING	D	FIXED PICTURE WINDOW	3' - 7"	4' - 10 1/2"	12' - 3 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
25	D4	ABOVE LIVING	D	FIXED PICTURE WINDOW	3' - 7"	4' - 10 1/2"	12' - 3 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
26	D5	ABOVE LIVING	D	FIXED PICTURE WINDOW	3' - 7"	4' - 10 1/2"	12' - 3 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
27	D6	ABOVE LIVING	D	FIXED PICTURE WINDOW	3' - 7"	4' - 10 1/2"	12' - 3 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
28	D7	ABOVE LIVING	D	FIXED PICTURE WINDOW	3' - 7"	4' - 10 1/2"	12' - 3 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	
29	D9	ABOVE KITCHEN	D	FIXED PICTURE WINDOW	4' - 4"	5' - 0"	11' - 8 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	SILL HT. TO ALIGN W/ SILL OF WEST-FACING LOFT UNITS
30	D10	ABOVE KITCHEN	D	FIXED PICTURE WINDOW	4' - 4"	5' - 0"	11' - 8 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	SILL HT. TO ALIGN W/ SILL OF WEST-FACING LOFT UNITS
31	D11	ABOVE KITCHEN	D	FIXED PICTURE WINDOW	4' - 4"	5' - 0"	11' - 8 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	SILL HT. TO ALIGN W/ SILL OF WEST-FACING LOFT UNITS
32	D12	ABOVE KITCHEN	D	FIXED PICTURE WINDOW	4' - 4"	5' - 0"	11' - 8 1/2"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	SILL HT. TO ALIGN W/ SILL OF WEST-FACING LOFT UNITS
33	D13	LOFT	D	FIXED PICTURE WINDOW	4' - 4"	2' - 10"	3' - 6"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
34	D8	LOFT	D	FIXED PICTURE WINDOW	4' - 4"	7' - 8"	3' - 6"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING
35	C10	LOFT	C	SINGLE OUTSWING CASEMENT WINDOW	4' - 4"	2' - 10"	3' - 6"	T.B.D.		STEEL GRAY PWDR.COAT	MATCH EXT.	TEMPERED GLAZING

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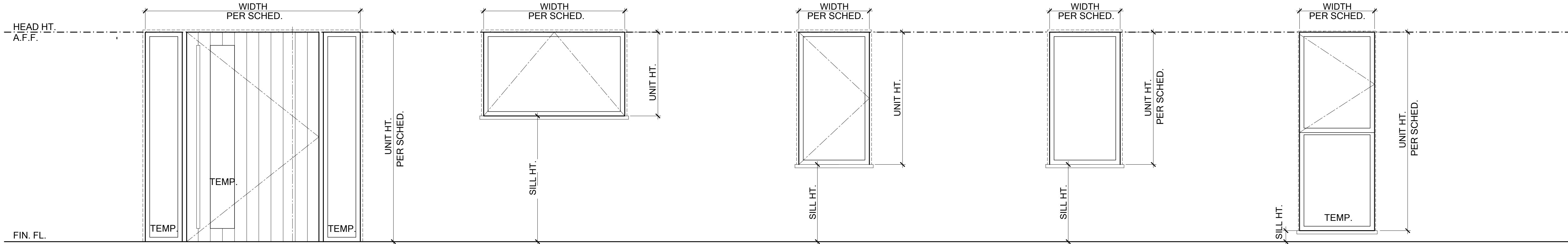
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DO NOT SCALE DRAWINGS
Scale: As Noted

Schedules

A4.2



SCALE: 1/2" per 1'-0"

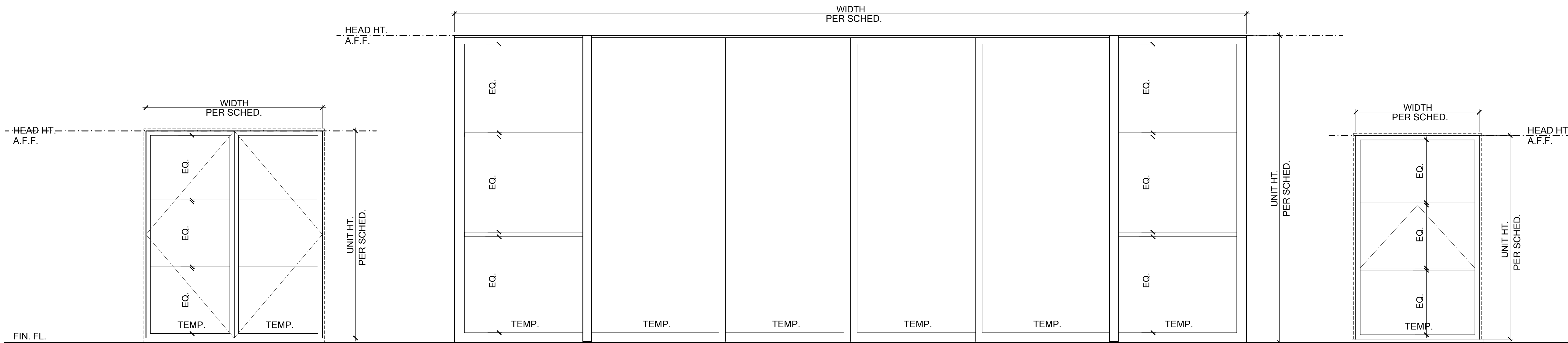
TYPE A
FRONT PIVOT DOOR W/ SIDELITES

TYPE B
AWNING WINDOW

TYPE C
SINGLE OUTSWING CASEMENT WINDOW

TYPE D
FIXED PICTURE WINDOW

TYPE E
OUTSWING CASEMENT OVER FIXED WINDOW

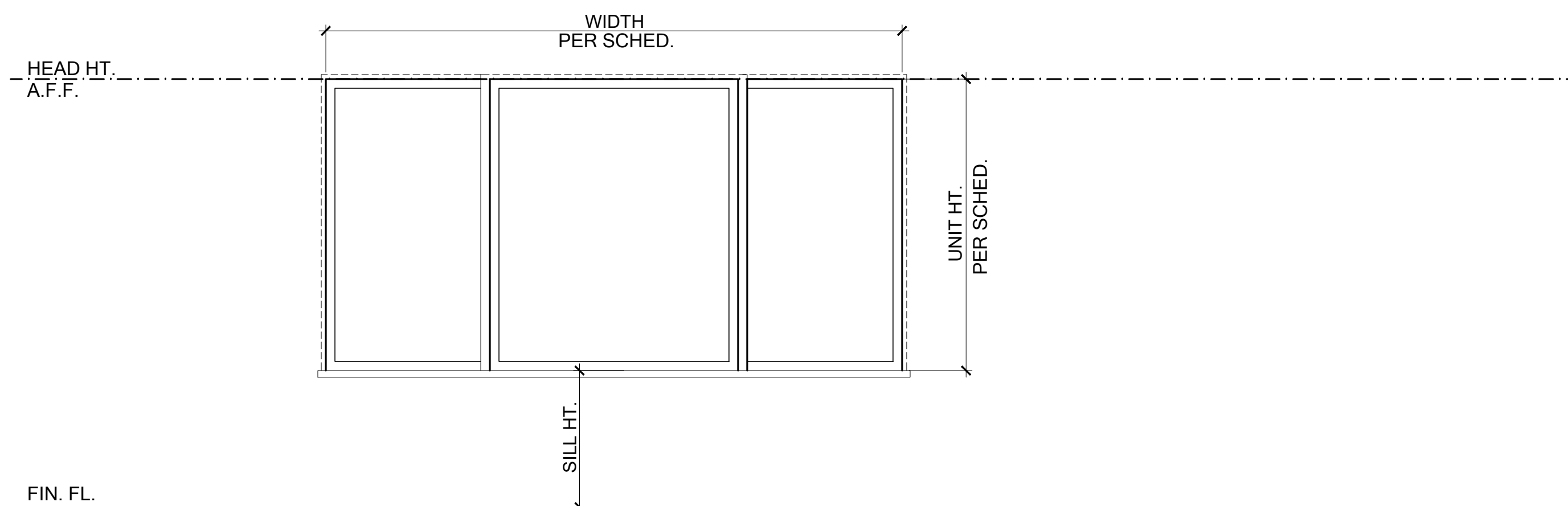


SCALE: 1/2" per 1'-0"

TYPE F
OUTSWING FRENCH DOOR

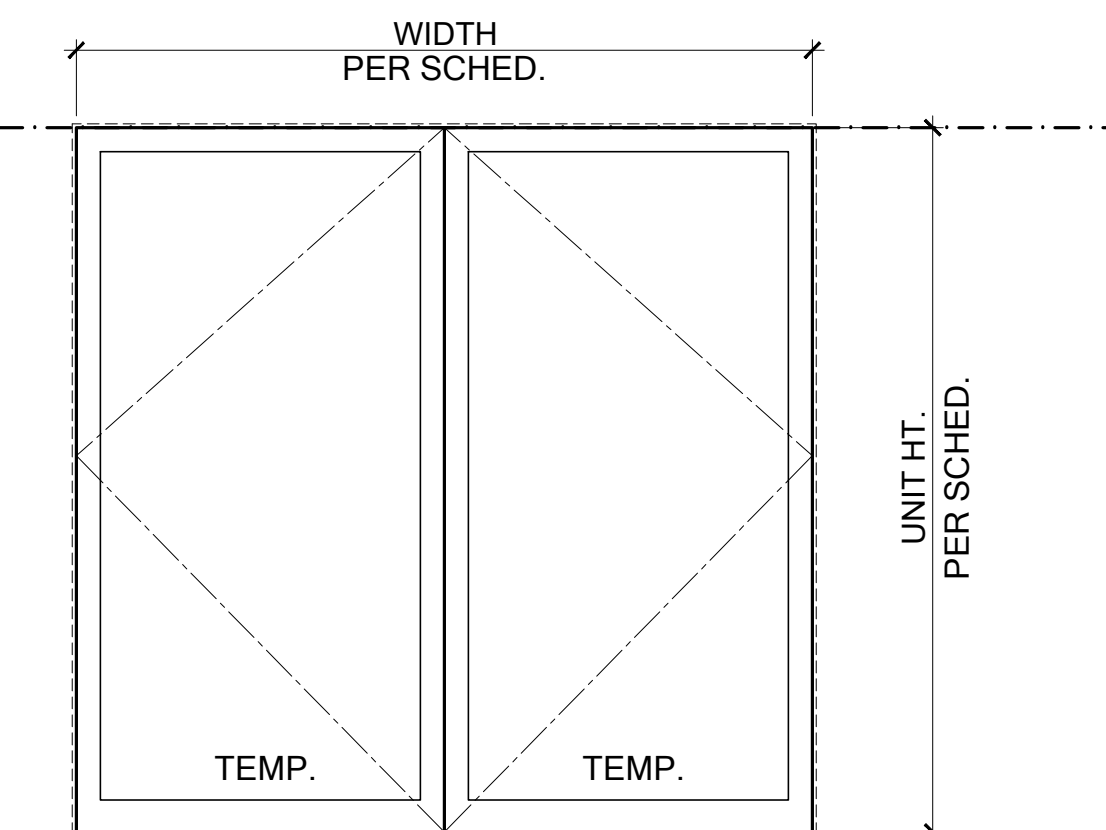
TYPE G
6-PANEL, 3-TRACK BIPARTING SLIDER XOOOXX

TYPE H
FIXED WINDOW W/ 3 DIVIDED LITES



SCALE: 1/2" per 1'-0"

TYPE J
OXO SLINGING WINDOW



TYPE M
INSWING FRENCH DOOR

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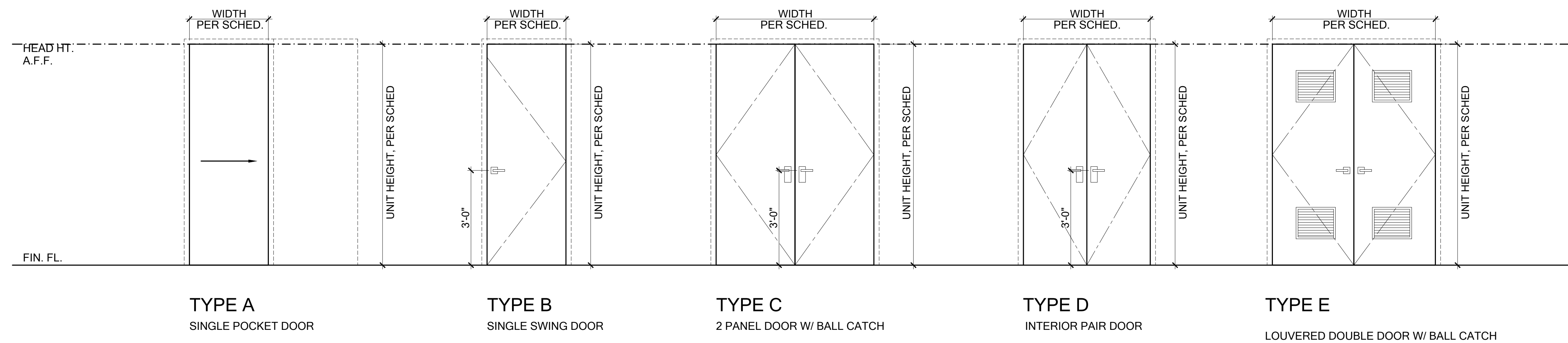
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INTERIOR DOOR SCHEDULE

NO.	LOCATION	TYPE	DESCRIPTION	(FINISHED) DIM.		MANUF.	MODEL	FINISH	HANDING	COMMENTS
				Height	Width					
101	CLOSET	A	SINGLE POCKET	7' - 0"	2' - 6"	T.B.D.	CUSTOM	STAIN GRADE	RH	
102	PODWER ROOM	B	SINGLE SWING DOOR	7' - 0"	2' - 6"	T.B.D.	CUSTOM	PAINT GRADE	RH	
103	M. CLOSET	A	SINGLE POCKET	7' - 0"	3' - 6"	T.B.D.	CUSTOM	PAINT GRADE	LH	
104	M. BATHROOM	C	2 PANEL DOOR W/ BALL CATCH	7' - 0"	3' - 2"	T.B.D.	CUSTOM	PAINT GRADE		
105	M. BATHROOM	C	2 PANEL DOOR W/ BALL CATCH	7' - 0"	3' - 2"	T.B.D.	CUSTOM	PAINT GRADE		
106	M. BATHROOM	A	SINGLE POCKET	7' - 0"	3' - 6"	T.B.D.	CUSTOM	STAIN GRADE	LH	
107	M. BEDROOM	D	INTERIOR PAIR DOOR	7' - 0"	4' - 0"	T.B.D.	CUSTOM	PAINT GRADE	LH	
108	MECH. CLOSET	E	LOUVERED DOUBLE DOOR W/ BALL CATH	7' - 0"	4' - 4"	T.B.D.	CUSTOM	PAINT GRADE		OPENS OUTWARD. LOUVERED PANEL AT TOP AND BOTTOM.
109	LAUNDRY	A	SINGLE POCKET	7' - 0"	2' - 8"	T.B.D.	CUSTOM	PAINT GRADE	LH	
110	BEDROOM BATH	A	SINGLE POCKET	7' - 0"	2' - 4"	T.B.D.	CUSTOM	PAINT GRADE	LH	
112	BEDROOM 3	B	SINGLE SWING DOOR	7' - 0"	2' - 6"	T.B.D.	CUSTOM	PAINT GRADE	RH	
113	GARAGE	B	SINGLE SWING DOOR	7' - 0"	2' - 8"	T.B.D.	CUSTOM	PAINT GRADE	RH	
114	BEDROOM 2	B	SINGLE SWING DOOR	7' - 0"	2' - 6"	T.B.D.	CUSTOM	PAINT GRADE	LH	
115	CLOSET	B	SINGLE SWING DOOR	7' - 0"	2' - 0"	T.B.D.	CUSTOM	PAINT GRADE	LH	
116	BEDROOM BATH	A	SINGLE POCKET	7' - 0"	2' - 4"	T.B.D.	CUSTOM	PAINT GRADE	LH	
117	GARAGE			7' - 1 3/4"	17' - 0"	T.B.D.	CUSTOM	PAINT GRADE		



SCALE: 1/2" per 1'-0"

GENERAL DOOR NOTES:

- ALL DOORS TO BE 1.75" SOLID-CORE DOORS, U.O.N.
- ALL DOORS TO BE RIFT CUT OAK (VERTICALLY LAID) VENEER, W/ NATURAL, LOW V.O.C. STAIN
- ALL DOORS TO HAVE 3-PAIRS OF POLISHED NICKEL MODERN HINGES (NO FINIALS OR DECORATIVE ADDS)

File:
Job #:
Drawn By:
DO NOT SCALE DRAWINGS
Scale: As Noted

Schedules

A4.3

SHEET NOTES

- ① NEW CONC. PATIO, SLOPE MIN. 1/4" PER 1'-0" AWAY FROM RESIDENCE
- ② NEW CONC. WALKWAY
- ③ EXISTING DOWNSPOUT TO EXISTING SUBSURFACE DRAINAGE TO REMAIN
- ④ AREA DRAIN TO EXISTING SUBSURFACE DRAINAGE TO REMAIN
- ⑤ EXISTING PLANTING BEDS AND OR PERMEABLE SURFACE
- ⑥ EXISTING DRIVEWAY

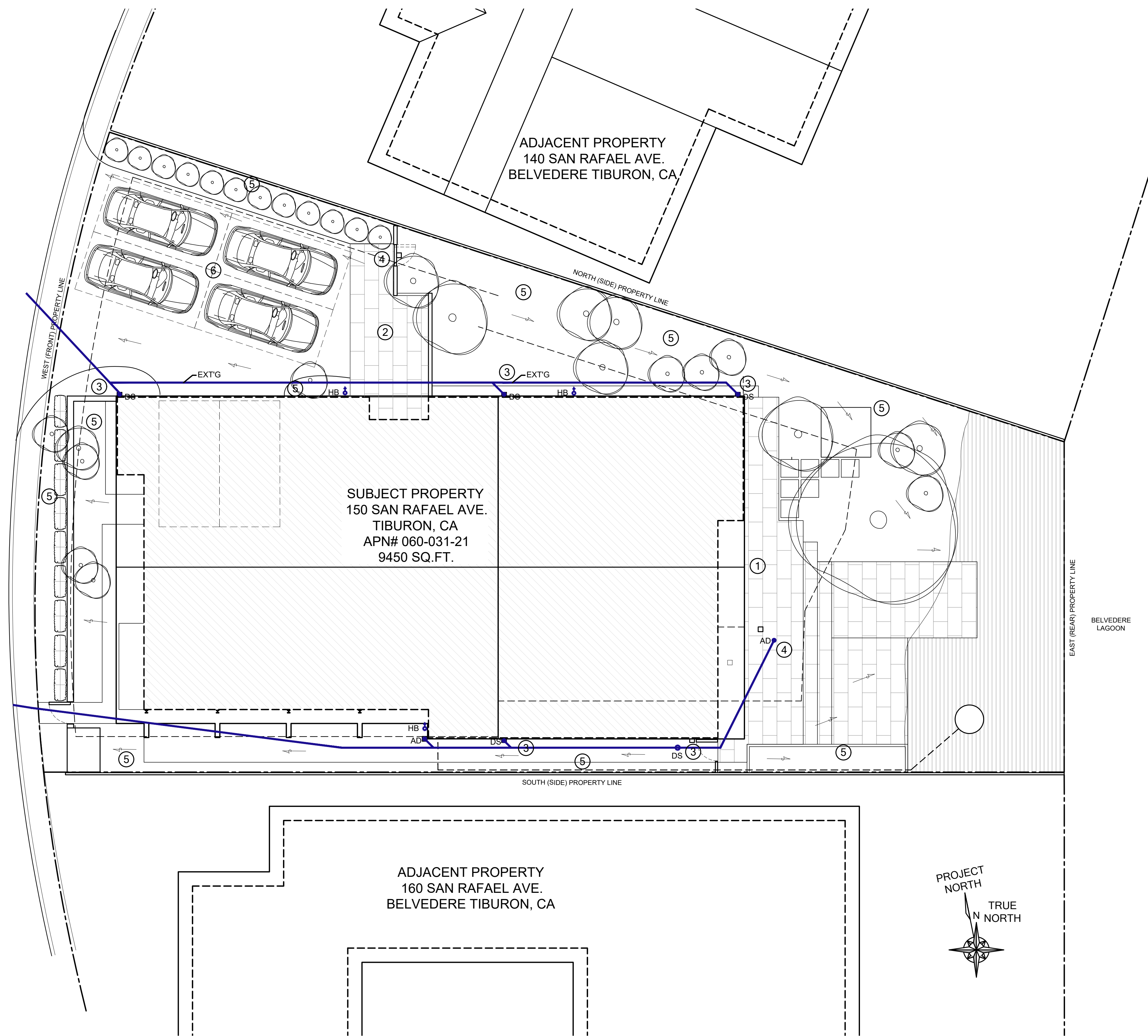
LEGEND AND ABBREVIATIONS

CO ○	CLEANOUT
HB ⚡	HOSE BIB
DS ●	(E) DOWNSPOUT, CONNECT TO SOLID DRAIN SYSTEM
—	SOLID DRAINLINE, SCH. 40 PVC, 4" DIAM. U.O.N.
- - -	PERF. PIPE, SCH. 40 PVC, 4" DIAM. U.O.N.
—+—	(E) DRAIN LINES TO BE REMOVED
98	PROPOSED CONTOUR
(98)	EXISTING CONTOUR
→	DIRECTION OF DRAINAGE FLOW
+ (TW 94.23)	EXISTING SPOT ELEVATION
+ TW 94.23	PROPOSED SPOT ELEVATION
GAS ●	GAS METER / CONNECTION

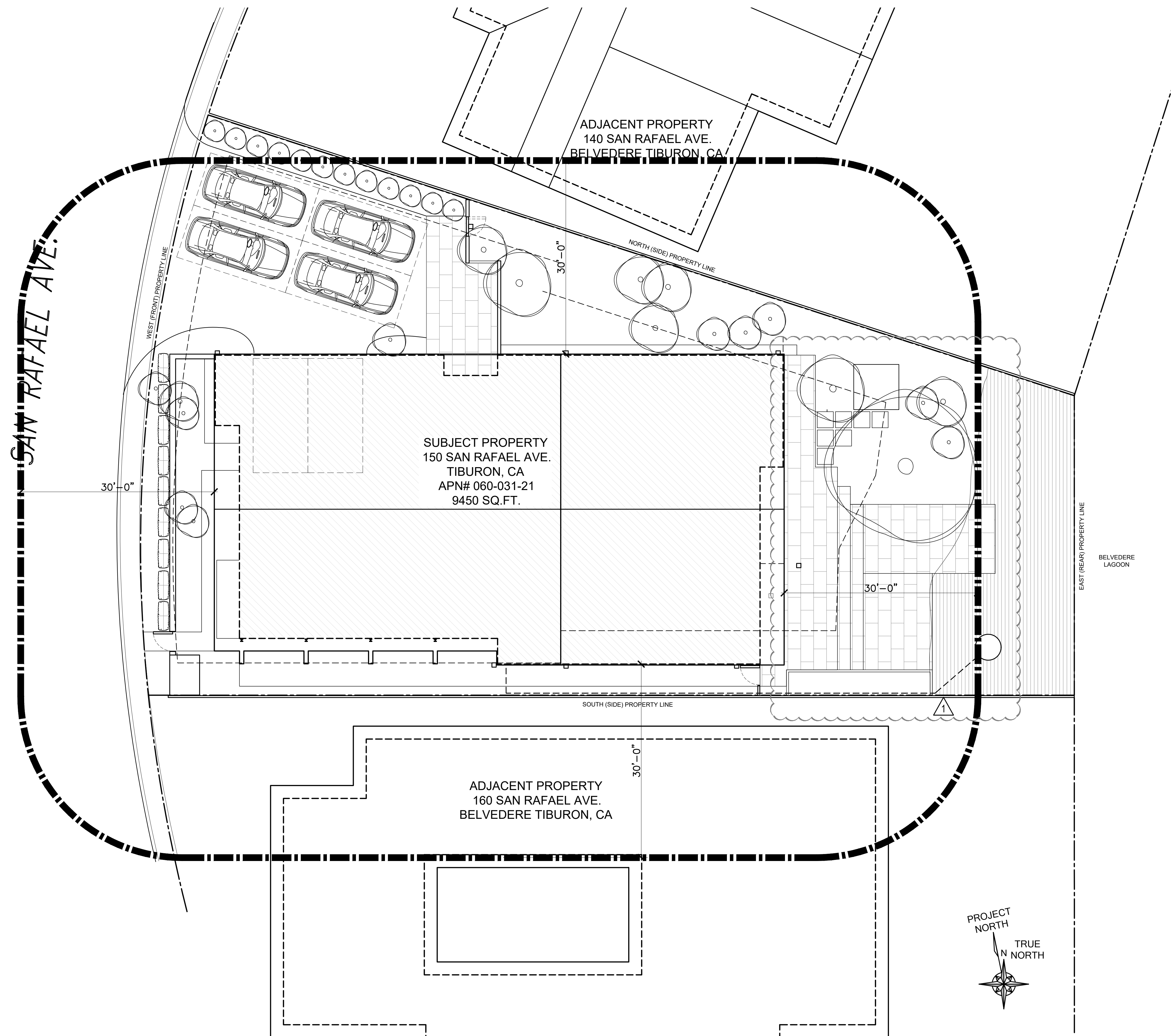
GRADING AND DRAINAGE NOTES

1. CONTRACTOR SHALL EXAMINE THE SITE OF PROPOSED WORK NOTING EXISTING CONDITIONS, GRADES AND PROPOSED WORK AS SHOWN ON PLANS.
2. VERIFY ALL EXISTING UNDERGROUND UTILITIES, DRAIN LINES, CONDUITS, ETC. PRIOR TO GRADING AND CONSTRUCTION ACTIVITY.
3. VERIFY ALL EXISTING GRADED AREAS AT EXISTING TREES. CONTOUR SLOPES IN THESE AREAS AS REQUIRED - MINIMIZE GRADING WITHIN DRIP LINE. NOTIFY LANDSCAPE ARCHITECT AND OWNER OF ANY PROBLEMS PRIOR TO GRADING IN THESE AREAS. BLEND ALL PROPOSED CONTOURS WITH EXISTING TO ENSURE A SMOOTH TRANSITION.
4. ALL CONSTRUCTION AND GRADING SHALL CONFORM TO LOCAL BUILDING CODES, ORDINANCES, AND CONDITIONS. CONTRACTOR SHALL CONSULT APPROPRIATE AGENCIES FOR CONDITIONS AFFECTING THE PROPOSED IMPROVEMENTS TO THE SITE.
5. THE OFFICE OF BARRINGER ARCHITECTURE SHALL BE NOTIFIED IN ADVANCE OF CONDITIONS THAT REQUIRE ANY CHANGES FROM THESE PLANS.
6. PROVIDE 2% MINIMUM SLOPE AT ALL PLANTER AND PAVED AREAS AROUND EXISTING STRUCTURES TO ENSURE POSITIVE DRAINAGE.
7. CONTRACTOR SHALL COORDINATE WORK WITH OTHER TRADES TO ASSURE THE INTEGRITY OF ALL WORK.
8. CONTRACTOR SHALL SECURE ALL CONSTRUCTION PERMITS REQUIRED.
9. ALL PLANTING AREAS SHALL BE COMPACTED NO MORE THAN 85% PRIOR TO PLANTING.
10. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT AND THE CONTRACTOR SHALL COORDINATE & COMPLY W/THE OWNER'S TESTING AGENCY TO TAKE THE APPROPRIATE TEST TO VERIFY COMPACTION VALUES.
11. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT & SPECIFICATIONS.

SAN RAFAEL AVE.



① GRADING AND DRAINAGE PLAN (PRELIMINARY)
L1.2 SCALE: 1/8"=1'-0"



VMP PROJECT NARRATIVE

THE PROPOSED PROJECT AT 150 SAN RAFAEL AVENUE KEEPS ALL MAJOR LANDSCAPE FEATURES AND DRAINAGE IN PLACE, WITH NO PROPOSED CHANGES. THERE ARE PROPERTY LINE PODOCARPUS SHRUBS AND OTHER SCREENING SHRUBS AT MOST OF THE SOUTH AND NORTH PROPERTY LINES. THERE ARE EXISTING FRUIT TREES NORTH OF THE HOUSE, DECORATIVE GARDENS IN BEDS ADJACENT THE LAGOON, AND DECORATIVE ROCK GARDENS ALONG THE RATHER TIGHT SOUTH SETBACK. ANY TREES DIRECTLY ADJACENT THE HOUSE THAT ARE CONSIDERED TO BE OF PYROPHYTIC SPECIES WILL BE REMOVED.

REQUIREMENTS

PER ORDINANCE 129 FOR ALL VEGETATION ON PROPERTY:

- TRIM AND MAINTAIN VEGETATION BACK FROM THE EDGE OF REQUIRED FIRE APPARATUS ACCESS ROADS AND DRIVEWAYS, PUBLIC STREETS, AND PRIVATE ROADS SO THEY DO NOT REDUCE THE WIDTH OF THE DRIVING SURFACE.
- TRIM TREES SO THEY DO NOT HANG LOWER THAN 13-FT. ABOVE ANY ROAD OR DRIVEWAY.
- ALL EXISTING PROHIBITED PLANTS LISTED IN TABLE 1 SHALL BE REMOVED FROM WITHIN FIFTY (50) FEET OF ANY STRUCTURE INCLUDING WOOD DECKS AND BALCONIES. MATURE EXISTING PINE AND FIR TREES WILL BE EVALUATED ON A CASE BY CASE BASIS.
- REMOVE PILES OF ACCUMULATED DEAD VEGETATION ON THE PROPERTY.
- MAINTAIN ANY TREE WITH LIMBS THAT OVERHANG WOOD DECKS AND/OR ROOFS FREE OF DEADWOOD.
- REMOVE THAT PORTION OF ANY TREE WHICH EXTENDS WITHIN 10 FEET OF ANY PART OF A CHIMNEY OR STOVEPIPE.
- CLEAN ANY LEAVES AND NEEDLES FROM ROOF AND GUTTERS.
- CUT AND REMOVE SMALL LOW BRANCHES ON TREES, 6 FEET FROM GROUND WHEN TREES EXCEED 18 FEET IN HEIGHT.

KEY TO PLAN

SYMBOL	DESCRIPTION
	VEGETATION MANAGEMENT ZONE (VMZ) SPECIMEN GARDEN (FUEL TYPE) A WELL-MAINTAINED ORNAMENTAL GARDEN. TREES AND SHRUBS ARE WELL SPACED OR CLUSTERED, THINNED AND FREE OF DEADWOOD.
	NO PYROPHYTIC PLANTS WITHIN 10 FT. OF HOUSE.

HAZARD ASSESSMENT MATRIX

ITEM	HAZARD ASSESSMENT
ASPECT: NW	2
SLOPE: 2%	2
FUEL 0-30: SPECIMEN GARDEN	1
FUEL 31-100: SPECIMEN GARDEN	1
TOTAL HAZARD POINTS:	6

MIN. HORIZ. CLEARANCE: 30 x 30 x 50 FT

ALL PLANTS ON SITE TO BE MAINTAINED PER MARIN COUNTY FIRE DEPARTMENT FIRE PROTECTION STANDARD 220



1 TARA HILL ROAD
TIBURON, CA 94920
tel.: 415.971.7871
www.BarringerArchitecture.com

Behnke-Luria Residence

150 San Rafael Ave.
Belvedere, CA
94920

APN #: 060-031-21

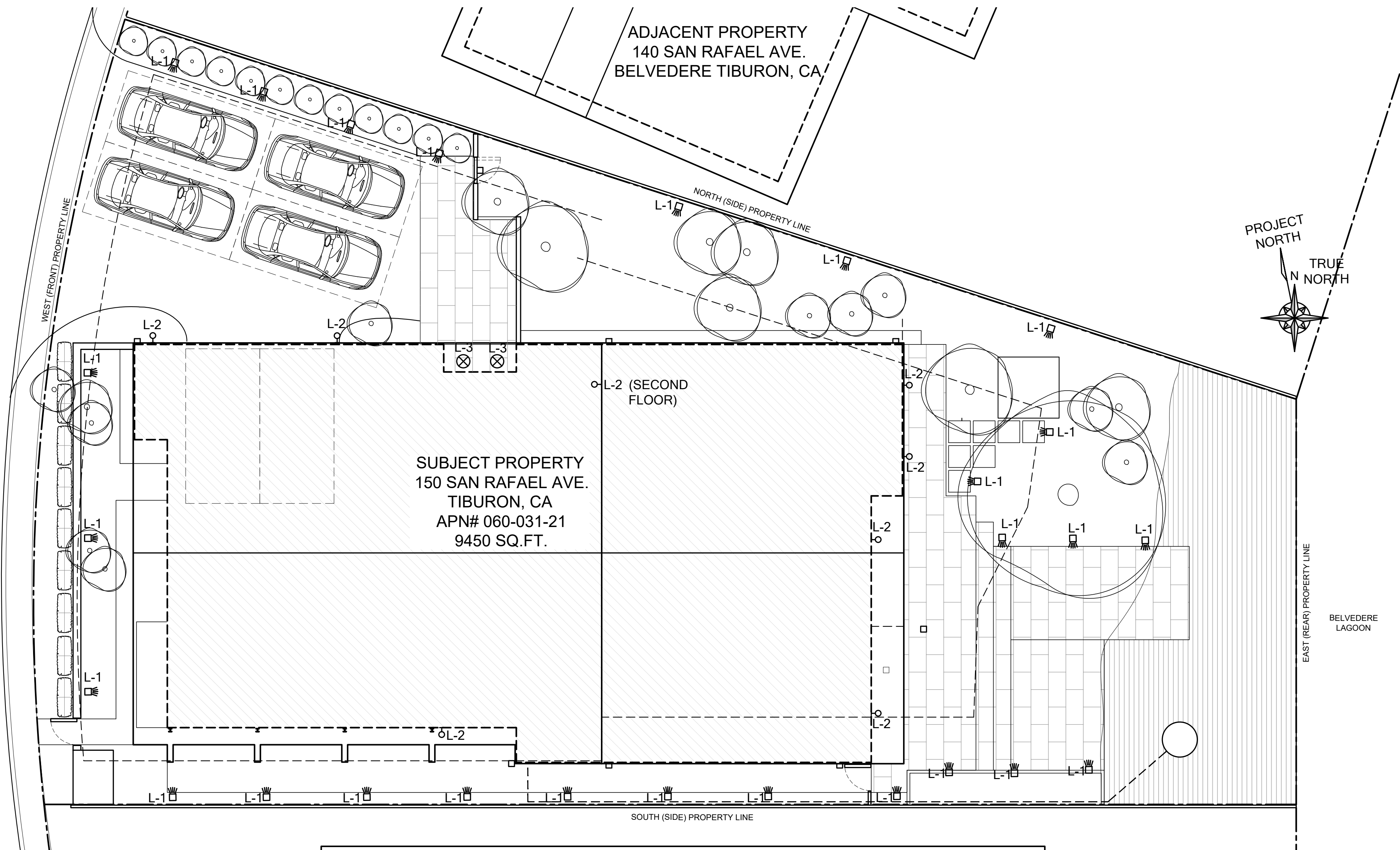
Date & Issue
Planning Submittal October 1, 2021
Planning Rev'd. Submittal November 12, 2021

1 VEGETATION MANAGEMENT PLAN (PRELIMINARY)
L1.3 SCALE: 1/8"=1'-0"

Vegetation Management Plan

L1.3

SAN RAFAEL AVE.



1 EXTERIOR LIGHTING PLAN
L1.4 SCALE: 1/8"=1'-0"

FIXTURE CUT SHEETS

L-1 LED Path Light. Fully Shielded Downlight only

Balance LED Single Path Light
 By WAC Lighting

Product Options

Finish: Black, Bronze
 Color Temperature: 2700, 3000

Details

- Protected against powerful water jets
- Factory sealed water tight fixture
- Recommended spacing for installation: Residential: 11 to 13ft; Commercial: 7 to 9ft
- Mounting stakes, 6 foot lead wire, and direct burial gal filled wire nuts included
- Works with your existing low voltage landscape system, transformer required
- Rated for 60,000 hours of life
- May be used with existing low-voltage landscape systems
- Designed in 2017
- Material: Die-Cast Aluminum
- AIA compliant
- UL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made in China

Dimensions

Fixture: Length 6.5", Width 1", Height 23.5"

Lighting

- 2700K Option: 6.5 Watt (275 Lumens) 12 Vdc Integrated LED; CRI: 90 Color Temp: 2700K
- 3000K Option: 6.5 Watt (275 Lumens) 12 Vdc Integrated LED; CRI: 90 Color Temp: 3000K

Additional Details

Product URL:
<https://www.ylighting.com/balance-single-led-12v-path-light-by-wac-lighting-WACP160013.html>

Rating: UL Listed Wet

Product ID: WACP160013

L-2 Wall-Mounted Sconce Fixture. Typical at all exterior Doors, and as noted in Elevations

Cube Architectural 6" Ultra Narrow LED Wall Sconce
 By WAC Lighting

Product Options

Finish: Black, Bronze, Graphite, White
 Option: Downlight, up and down light
 Color Temperature: 2700, 3000, 4000

Details

- Built-in ultra-narrow beam precision optics
- Shield located inside of fixture with universal input
- Can be mounted vertically or horizontally
- Designed in 2016
- Material: Die-Cast Aluminum
- Black Anodized Clear Glass
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Energy Star Qualified
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made in China

Dimensions

Downlight Option Fixture: Width 6.25", Height 6.37", Depth 5.5", Weight 24.24lbs
 Downlight Option Wall Plate: Width 6.87", Height 4.87", Depth 5.5"
 Up and down light Option Fixture: Width 6.25", Height 12.87", Depth 5.5", Weight 21.76lbs
 Up and down light Option Wall Plate: Width 6.87", Height 4.87", Depth 5.5"

Lighting

- 2700K Option: 12 Watt (128 Lumens) 120VAC Integrated LED; CRI: 85 Color Temp: 2700K; Lifetime: 60000 hours
- 2700K Option: 22 Watt (275 Lumens) 120VAC Integrated LED; CRI: 85 Color Temp: 2700K; Lifetime: 60000 hours
- 3000K Option: 12 Watt (128 Lumens) 120VAC Integrated LED; CRI: 85 Color Temp: 3000K; Lifetime: 60000 hours
- 3000K Option: 22 Watt (275 Lumens) 120VAC Integrated LED; CRI: 85 Color Temp: 3000K; Lifetime: 60000 hours
- 4000K Option: 12 Watt (128 Lumens) 120VAC Integrated LED; CRI: 85 Color Temp: 4000K; Lifetime: 60000 hours
- 4000K Option: 22 Watt (275 Lumens) 120VAC Integrated LED; CRI: 85 Color Temp: 4000K; Lifetime: 60000 hours

Additional Details

Product URL:
<https://www.ylighting.com/cube-architectural-6-inch-ultra-narrow-led-wall-sconce-by-wac-lighting-WACP230737.html>

Rating: ETL Listed Wet

Product ID: WACP230737

L-4 Decorative Pendant Fixture
 Location Note: Mounted above the Front Door landing. Fully Shielded Downlight

Ardito 2.5 in. Square Adjustable Regressed LED Trim
 By Contrast Lighting

Product Options

Finish: Brushed Chrome, Brushed Nickel, Gold Plated 24K, Matte Black, Matte White, Satin Nickel
 Material Grades: No
 Color Temperature: 2700, 3000, 4000, 4000
 Beam Spread: Flood, Narrow Flood

Details

- Ultra-thin profile
- Adjustable up to 20° adjustable tilt
- Provides high quality true color
- Clean white light without hot spots
- High-quality aluminum injected heat sink for maximum heat dissipation
- Available for recessed trim below the ceiling
- Designed in 2016
- Material: Aluminum / Steel
- UL Listed Dimmable
- UL Listed Dimmable
- Made in Canada

Dimensions

No Option Trim: Length 3.13", Width 3.13", Height 4.63", Weight 0.811lbs

Lighting

- 2700K Option: 14 Watt (975 Lumens) 120 Vdc Integrated LED; CRI: 90 Color Temp: 2700K
- 2700K Option: 14 Watt (1027 Lumens) 120 Vdc Integrated LED; CRI: 90 Color Temp: 2700K
- 3000K Option: 14 Watt (975 Lumens) 120 Vdc Integrated LED; CRI: 90 Color Temp: 3000K
- 3000K Option: 14 Watt (1027 Lumens) 120 Vdc Integrated LED; CRI: 90 Color Temp: 3000K
- 4000K Option: 14 Watt (975 Lumens) 120 Vdc Integrated LED; CRI: 90 Color Temp: 4000K
- 4000K Option: 14 Watt (1027 Lumens) 120 Vdc Integrated LED; CRI: 90 Color Temp: 4000K

Additional Details

Product URL:
<https://www.ylighting.com/ardito-2.5-inch-led-square-adjustable-regressed-trim-by-contrast-lighting-CTRFL320612.html>

Rating: UL Listed Dimmable



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Behnke-Luria Residence

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 94920

APN #: 060-031-21



Date & Issue
Planning Submittal October 1, 2021
Planning Rev'd. Submittal November 12, 2021
Planning Submittal, Rev.2 November 29, 2021

File:
 Job #:
 Drawn By:
 DO NOT SCALE DRAWINGS
 Scale: As Noted

Landscape Lighting Plan

L1.4



**CITY OF BELVEDERE PLANNING COMMISSION
STAFF REPORT**

REPORT DATE: January 11, 2022 **AGENDA ITEM: 2**
MEETING DATE: January 18, 2022 **CONSENT CALENDAR**
TO: City of Belvedere Planning Commission
FROM: Rebecca Markwick, Senior Planner
REVIEWED BY: Irene Borba, Director of Planning & Building
Amy Ackerman, City Attorney
SUBJECT: **Design Review for a remodel and renovation - to the existing Single-Family Residence Located at 150 San Rafael Avenue**

RECOMMENDATION

The applicant requests Design Review for an interior remodel and renovations at 150 San Rafael Avenue. The application is included as **Attachment 2** and project plans are included as **Attachment 3**.

Staff recommends that the Planning Commission conduct the required public hearing and take the following actions:

MOTION 1 Adopt the Resolution granting Design Review for the proposed remodel and renovation at **150 San Rafael Avenue**, (**Attachment 1**);

PROPERTY SUMMARY

Project Address: 150 San Rafael Avenue
APN: 060-031-21
Project Applicant: Cedric Barringer, Barringer Architecture
Property Owner: Karen Behnke and Howard Luria
GP Designation: Medium Density Residential SFR – 3.1 to 6.0 units/net acre
Zoning: R-1L Single Family Residential, Belvedere Lagoon
Existing Use: Single Family Residence

Site Characteristics:

The subject site is a 9,450-square-foot parcel located in the R-1L Zoning District in Belvedere Lagoon. A portion of the site extends into Belvedere Lagoon and has a net lot area of 8,542-square feet at Summer Level High tide. The lot is generally flat with a minor slope towards the lagoon. The property

is adjacent to single-family homes and Belvedere Lagoon on its rear. The site is developed with a two-story residence, with no covered parking and landscaping.

ZONING PARAMETERS

ELEMENT	PRESCRIBED	EXISTING	PROPOSED
Overall Lot Area	7,500 SF	9,450 SF	No Change
Lot Area (Excluding water)*	7,500 SF	8,542 SF	No Change
Lot Coverage (Excluding Water)	40% (3,417)	45.9% (3,920 SF)	44.6%(3,810 SF)
Total Floor Area	4,000 SF	5,432 SF	5,322 SF
Setbacks			
Front	5'	19'3"	No Change
Left Side	5' First Story 10' Second Story	4'9" First Floor 8'2" Second Story	No Change
Right Side	5' First Story 10' Second Story	4'9" 4'9"	No Change
Rear **	15'	26'6"	No Change
Building Height	29'	18'3"	No Change
Parking Spaces	2	4	6
<p>* In the R-1L Zone, lot area is defined as the total area within the lot lines, excluding any portion which is underwater at summer-level high tide. (BMC Section 19.08.300)</p> <p>** In the R-1L Zone, rear yard setbacks are measured from summer-level high tide. (BMC Section 19.48.010)</p>			

BACKGROUND/PROPERTY HISTORY

A review of City records indicates that the subject property received the following prior approvals:

- 2011 – Design Review Exemption to replace the deck and two window replacements.
- 2017 – Design Review Exemption to replace 9 skylights and one patio door at the master bedroom.
- 2021 – Design Review Exception submitted, which included the proposed project, a roof deck, more glazing at the rear, and a new entry canopy. The project was reviewed by the Planning Commission Chair, and it was determined that it needed Planning Commission review given the scope of work and that the home would look like a “new” home. The project has been modified and reduced in scope, refer to the project description below and the letter from the architect dated January 4, 2022.

PROJECT ANALYSIS

DESIGN REVIEW

Residence

The applicant requests Design Review for an interior remodel and renovation to the existing single-family dwelling.

The applications are included as **Attachment 2** and project plans are included as **Attachment 3**.

The applicant is requesting an interior remodel and minor exterior improvements to a 1955 lagoon home. There has been very minimal work done to the home since it was constructed in 1955. The new homeowners are proposing to keep the footprint of the home the same, replacing all windows and doors and painting the existing stucco Benjamin Moore, Classic Grey. The existing front entrance location is proposed to be changed to compliment the interior remodel. The home previously had a garage that was converted into living space, the new homeowners would like to covert the space back to a garage and add a new garage door.

The project includes replacing windows and doors and removing and adding windows as necessary to accommodate the interior remodel. A new window and door system is proposed at the rear to allow light and access into the master bedroom. An existing large tree is located outside of the master bedroom, which will screen the new windows. Additionally, given the location of the home on the lagoon there is no privacy impact to the surrounding homes with the addition of the windows. New railings are proposed outside the second story window, about six inches from the wall to match the lower floor and because the doors open out and the railings are required due to the building code. New exterior lighting is proposed, including path, wall mounted and decorative, recessed lights. All new lights are down lit and have covered bulbs. The home is in disrepair and is in need of a “facelift.” The homeowners are proposing to paint the residence a light grey with dark grey fascia. A new, parge wood front door, a cedar garage door is proposed.

Much of the existing landscaping is proposed to remain. The existing recessed front fence will be demolished, and a new stone wall and fence is proposed further back to accommodate the new front entry. A new fire pit and spa are proposed at the rear.

Design Review Findings

The Design Review findings, specified in the Belvedere Municipal Code, Title 20, state that all new structures and additions should be designed to avoid excessively large dwellings that are out of character with their setting or with other dwellings in the neighborhood. All buildings should be designed to relate to and fit in with others in the neighborhood and should not attract attention to themselves. To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided. Vertical and horizontal elements should be used to add architectural variety, to break up building planes, and to avoid monotony. Landscaping should soften and screen structures and maintain privacy.

In summary, staff can make the required findings for Design Review because there are no cut and fill areas, and grade changes, and the project is in harmony with the neighborhood. As noted above, the entire property has been developed with structures, hardscape, planted landscape areas, and other site improvements and the renovation and remodel will enhance all the improvements. The new entry will be balanced and harmonious with the site. The project overall relates to the natural landforms and minimize bulk and mass.

Exterior lighting will not create glare, hazard, or annoyance to neighboring property owners or passersby; the lights as proposed are downward facing lights. The colors are grey and the materials will create a clean, more modern home that will enhance the neighborhood. The proposed colors and materials will blend in well with the neighborhood.

Staff can make the required findings for Design Review as stated in the draft resolution of approval (**Attachment 1**).

ENVIRONMENTAL DETERMINATION

The project has been reviewed under the provisions of the California Environmental Quality Act (CEQA) and the CEQA Guidelines, California Code of Regulations. On **January 11, 2022**, the proposed project was determined to be categorically exempt from CEQA pursuant to *Section 15301 Existing Facilities* because the proposed project includes the construction of an addition/remodel involving negligible or no expansion of use beyond that existing. Additionally, the project is exempt under the “Common Sense” Exemption as it can be seen with certainty that there is no possibility that the activity in question may have an effect on the environment. City action is required by **March 11, 2022** or the project may be deemed approved.

CEQA provides certain exceptions where categorical exemptions may not be used. Under one such exception, a CEQA categorical exemption may not be used if the project has the potential to cause a substantial adverse effect on a CEQA Tribal Cultural Resource.

Here a categorical exemption is appropriate because there is no possibility that the project would cause a substantial adverse effect on any potential Tribal Cultural Resources that may, or may not, exist on the site. The project is proposed on previously disturbed soil, as well as on fill soil, and therefore there is not the required integrity for a CEQA resource determination. Additionally, the subject property is categorized as a Medium Sensitivity site for Tribal Cultural Resources in the Belvedere 2030 General Plan Historical Resources Map.

CORRESPONDENCE

A copy of the public hearing notice for this item was published in *The Marin Independent Journal* newspaper and mailed to all property owners within 300 feet of the subject property. At the time of writing the staff report, Staff has received 2 letters in support of the project from the adjacent neighbors.

CONSTRUCTION TIME LIMIT

Pursuant to section 20.04.035 of the Belvedere Municipal Code, the applicant is required to file an estimate of the total project cost that will establish the time limit within which construction of the proposed project will be completed pursuant to the Municipal Code. Here, the applicant has estimated that the cost of construction for this project would be greater than \$500,000 (valued at \$800,000). When applied to the above noted section of the Code, construction shall be completed eighteen (18) months from the commencement of work following the issuance of the building permit.

FEMA

The applicant has submitted an appraisal from Marin Home and Land Appraisals. The proposal shows the project cost at \$800,000 and the appraisal of the existing structure at \$2,239,083 which puts the project cost at less than 50 percent of the market value of the structure. The proposed project complies with FEMA and City Floodplain regulations, and the Zoning Ordinance.

CONCLUSION

Staff can make all the required findings for the Design Review application.

RECOMMENDATION

MOTION 1 Adopt the Resolution granting Design Review for proposed remodel and renovation at **150 San Rafael Avenue** (**Attachment 1**)

ATTACHMENTS

- Attachment 1: Draft Resolution for Design Review
- Attachment 3: Applications
- Attachment 4: Plans date stamped received January 11, 2022 by the City of Belvedere
- Attachment 5: Correspondence

**CITY OF BELVEDERE
RESOLUTION NO. 2022 -**

**A RESOLUTION OF THE CITY OF BELVEDERE PLANNING COMMISSION
GRANTING DESIGN REVIEW APPROVAL FOR A
REMODEL AND RENOVATION TO
THE RESIDENCE AT 150 SAN RAFAEL AVENUE**

WHEREAS, a proper application has been submitted for Design Review pursuant to Title 20 of the Belvedere Municipal Code for an addition, remodel and landscape changes to the existing residence at 150 San Rafael Avenue; and

WHEREAS, the project been determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Existing Facilities; and

WHEREAS, CEQA categorical exemption Section 15301 is appropriate because the proposed project involves no expansion of an existing use and allows for minor alteration of existing private structures and there is no potential that the project would cause a substantial adverse effect on any Tribal Cultural Resources that may, or may not, exist on the site because proposed project will be constructed on previous disturbed soil and therefore there is no resource integrity; and

WHEREAS, the Planning Commission held a properly noticed hearing on January 18, 2022; and

WHEREAS, the Planning Commission finds based upon the findings set forth in Exhibit A attached hereto and incorporated herein, that with the conditions listed below, the proposed project is in substantial conformance with the Design Review criteria specified in Section 20.04.005 and 20.04.110 to 20.04.120 of the Belvedere Municipal Code.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Belvedere does hereby grant approval of the Design Review application pursuant to Title 20 of the Belvedere Municipal Code for an addition and remodel to the existing residence and garage with the following conditions:

- a) The property owner shall defend and hold the City of Belvedere and its officers harmless in the event of any legal action related to or arising from the granting of this Design Review approval, shall cooperate with the City in the defense of any such action, with counsel selected by the City in its discretion, and shall indemnify the City for any award of damages and/or attorneys' fees and associated costs that may result. This approval is conditioned upon the accuracy of all facts stated in the application and supporting documents
- b) Plans submitted to the Building Department for permit issuance shall be consistent with the approved Planning Commission plans and shall conform to the drawings prepared by Cedric Barringer stamped received by the City of Belvedere on January 12, 2022.
- c) Within five (5) days of approval a Notice of Exemption shall be filed with the County of Marin County Clerk by the City of Belvedere Planning Department. A \$50.00 filing fee is required. A check shall be provided to the City of Belvedere Planning Department and made payable to the County of Marin.
- d) Prior to the issuance of a building permit a final Landscape and Lighting plan shall be submitted for review and approval by the Planning Commission Chair and the Director of Planning and Building.

ATTACHMENT 1

- e) Construction shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday, except in special circumstances after obtaining written permission from the City Manager.
- f) All requirements of the City Engineer shall be met.
- g) An **Encroachment Permit** is required from the contractor for temporary and permanent improvements, work activities, and staging or storage of equipment and materials within the public right of way, subject to approval of the Public Works Manager.
- h) An updated **Revocable License** will be required for private improvements within the public right-of-way, City-owned parcels and lanes.
- i) This project will require a **video recording** of the condition of the haul route prior to start of construction. The applicant will be responsible for any damage, beyond normal wear and tear, to the roadway or other improvements along the haul route caused by the removal or delivery of materials by truck. To ensure any damage is repaired to the satisfaction of the City, a deposit may be required. The deposit amount (estimated range from \$10,000 to \$30,000) will be determined by the City Engineer at the time of the Building Permit review and is dependent upon the duration of the project and total project valuation. If it is determined that project construction caused damage, the amount to repair said damage shall be withheld from the deposit amount, with the remaining amount to be returned to the property owner.
- j) A **Geotechnical Investigation or geotechnical review letter** is required. The geotechnical investigation/letter should address site preparation, foundation, grading and drainage recommendations. The Geotechnical Engineer of record shall review the proposed Grading & Drainage Plans for conformance with their recommendation prior to Building Permit issuance.
- k) **Topographic Survey** information shall be included either on the site plan or on a separate plan. The basis for determining elevations (assumed, NGVD, or NAVD) should also be clearly indicated. The surveyor's name and license number shall be included.
- l) The project requires a **Site Plan** showing the property line locations (referencing the survey source and mapping information), any existing easements, building setbacks, encroachments etc.
- m) The project will require a detailed **Grading Plan & Drainage Plan** showing cut and fill earth volumes. Said plans shall incorporate, as appropriate, the MCSTOPPP Guidance for Applicants: Stormwater Quality Manual for Development Project in Marin County. This can be found at the following website:
http://www.marincounty.org/depts/pw/divisions/mcstoppp/development/~/_media/Files/Departments/PW/mcstoppp/GuidanceforApplicantsv_2508.pdf
- n) Prior to issuance of a building permit and where required by City of Belvedere municipal code Section 8.36.090 D., permanent stormwater controls for new and redevelopment projects, the applicant shall develop, submit and implement an approved **Stormwater Control Plan (SCP)** that follows the appropriate template in the most recent version of the Bay Area Stormwater Management Agencies Association (BASMAA) Post Construction Manual.

- o) The project will require a **Utility Plan** (if not shown on the Site Plan) showing the existing site utilities and their alignment and locations, along with any proposed new locations or alignments for sewer, water, irrigation, gas, electrical, telephone, cable TV, etc.
- p) The project will require an **Erosion Control Plan** incorporating, as appropriate, the MCSTOPPP Minimum Erosion/Sediment Control Measures for Small Construction Projects:
http://www.marincounty.org/depts/pw/divisions/mcstoppp/development/~//media/Files/Departments/PW/mcstoppp/development/MECM_final_2009.pdf
- q) All requirements of the Fire Marshal shall be met including but not limited to the following:
 - The garage and main house shall have installed throughout an automatic fire sprinkler system conforming to NFPA Std. 13D, TFPD Policy 429.5. The system design, installation and final testing shall be approved by the District Fire Prevention Officer.
 - Approved smoke and carbon monoxide alarms shall be installed to provide protection to all sleeping areas. CFC 907.2.10
 - The vegetation on this parcel shall comply with the requirements of TFPD. CFC 304.1.2
- r) The general contractor shall submit a proposal to the City Manager, for review and approval, addressing the schedule for construction and parking locations for construction vehicles. Prior to the issuance of a building permit, the applicant shall update the Construction Management Plan to the satisfaction of the Building Official.
- s) Plans submitted to the Building Department for permit issuance shall be consistent with the approved Planning Commission plans.
- t) Design Review approvals expire twelve (12) months from the date of approval.
- u) Construction shall be completed within the Construction Time Limit established for this project.
- v) In the event unanticipated archaeological or paleontological resources are uncovered during construction, all work must be halted and an evaluation must be undertaken by a qualified archaeologist or paleontologist to identify the appropriate actions that shall be undertaken.
- w) These Conditions of Approval shall be printed on the Building Permit Construction Plan set of drawings.
- x) These restrictions shall be binding upon any successor in interest of the property.
- y) Prior to the issuance of a building permit the property owner shall demonstrate compliance with State/BAAQMD air quality requirements related to the dust generated by grading and construction.

Resolution 2022 -
150 San Rafael Avenue
January 18, 2022
Page 4

PASSED AND ADOPTED at a regular meeting of the Belvedere Planning Commission on January 18, 2022, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSED:

APPROVED: _____
Peter Mark, Planning Commission Chair

ATTEST: _____
Beth Haener, City Clerk

EXHIBIT A

Preservation of existing site conditions. To preserve the landscape in its natural state, the removal of trees, vegetation, rock, and soil should be kept to a minimum. Projects should be designed to minimize cut and fill areas, and grade changes should be minimized and kept in harmony with the general appearance of the neighboring landscape.

Landscaping will be mostly maintained and cleaned up, the renovation proposes no cut and fill areas, grade changes, and is kept in harmony with the general appearance of the neighboring landscape.

Relationship between structures and the site. There should be a balanced and harmonious relationship among the structures on the site, between the structures and the site itself, and between the structures and those on adjoining properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land-forms and step with the slope in order to minimize the building mass and bulk and to integrate the structure with the site.

The project proposal maintains a balanced and harmonious relationship between the structure and its site and adjoining properties because the project does not propose to amend the building footprint. The renovation is designed to minimize the bulk and mass. The proposed changes are designed to integrate with the existing house and the “new” garage will integrate into the existing neighborhood.

Minimizing bulk and mass.

A. All new structures and additions should be designed to avoid monumental or excessively large dwellings that are out of character with their setting or with other dwellings in the neighborhood. All buildings should be designed to relate to and fit in with others in the neighborhood and not designed to draw attention to themselves.

The new entry and is designed to avoid appearing monumental or excessively large in size, there is no expansion, only a redesign. The entry and garage have been designed so that they fits into the character of the neighborhood. The remodel will blend in with the neighborhood.

B. To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety, to break up building planes, and to avoid monotony.

The entire house and garage will be painted, there is not a large expanse of one material and there are no retaining walls proposed. The new colors, materials, windows, resurfaced wall at the front add architectural variety and will break up building walls to avoid monotony.

Materials and colors used. Building designs should incorporate materials and colors that minimize the structures visual impacts, that blends with the existing landforms and vegetative cover, that relate to and fit in with structures in the neighborhood, and that do not attract attention to the structures themselves. Soft and muted colors in the earthtone

and woodtone ranges are preferred and generally should predominate. Trim and window colors should be compatible with and complementary to the other building colors.

The existing and proposed materials, stucco, painted grey, accent stone, visible steel members, glazed doors and windows and grey fascia boards are appropriate for the residence in that they are quality materials that blend in well with the surrounding properties and match the existing dwelling. The proposed colors are muted and are compatible with the neighborhood.

Fences and screening.

A. Fences and physical screening should be located so as to be compatible with the design of the site and structures as a whole, should conceal and screen garbage areas, mechanical equipment, and structural elements from public view, should preserve privacy between adjoining dwellings, where practical, and should not significantly block views.

The existing CMU fence and gate will partially remain and be refaced in vertical stained wood.

Privacy. Building placement, and window size and placement should be selected to give consideration to the privacy of adjacent buildings.

Building placement, and window and door size and placement has been selected to consider the privacy of adjacent buildings. There is some reconfiguration of windows and doors to accommodate the renovation.

Drives, parking and circulation. Walkways, driveways, curb cuts and off-street parking should be planned and designed so as to minimize interference with smooth traffic flow, to encourage separation of pedestrian from vehicular traffic, and to be as safe and convenient as is practical. They should not be out of relationship with the design of the proposed buildings and structures on the site, and should not intrude on the privacy of, or conflict with the appearance or use of neighboring properties.

There are no changes proposed to the driveway, however a new driveway is proposed in the location where there was a previous garage. Given the location of the home on the curve of San Rafael Avenue, having a garage will increase traffic flow and the location is safe and convenient for the homeowners.

Exterior lighting, skylights, and reflectivity. Exterior lighting should not create glare, hazard, or annoyance to neighboring property owners or to passersby. Lighting should be shielded and directed downward, with location of lights coordinated with the approved landscape plan. Skylights should not have white or light opaque exterior lenses.

All new lighting will be down lit and have covered bulbs. The lighting will not create glare, hazard or annoyance to the neighboring property owners or passersby. The existing skylights will remain.

Consideration of nonconformities. The proposed work shall be viewed in relationship to any nonconformities, as defined in Title 19, and where it is determined to be feasible and reasonable, consideration should be given to conditioning the approval upon the mitigation or elimination of such nonconformities.

There are no nonconformities that are appropriate to be mitigated or eliminated with this application.

Landscape plans -- Purpose.

A. Landscape plans should be compatible with the character of the site and surrounding developed properties. Native or natural appearing vegetation, with generally rounded, natural forms, should be placed to appear as loose, informal clusters. B. Landscape plans shall include appropriate planting to soften or screen the appearance of structures as seen from off-site locations and shall include appropriate screening for architectural elements, such as building foundations, deck supports, and retaining walls, that cannot be mitigated through architectural design. C. Landscape plans should provide privacy between properties. Choice of landscape materials should take into consideration the future impact which new planting may have in significantly obstructing views from nearby dwellings.

Landscape Plans – Materials. A. Plant materials native to northern California and Marin County, and those that are drought-tolerant are encouraged. Evergreen species are encouraged for use in screen planting situations. Because of high water usage, turf areas should be minimized and narrow turn areas, such as in parking strips, should be avoided. B. Landscape plans should include a mix of fast and slow growing plant materials. Fast growing trees that have a short life span should be used only when planted with others which reach maturity at a later age. C. Landscape plans should include water conserving irrigation systems. Plant materials should be selected so that once established, much of the major site landscaping would survive solely on rainfall.

The majority of the landscaping will remain. The project proposes to upgrade the hardscape in the front, sides and rear of the house creating a more useable outdoor space including a new fire pit and spa.



APPLICATION FOR DESIGN REVIEW

CITY OF BELVEDERE • PLANNING DEPARTMENT
 450 SAN RAFAEL AVE • BELVEDERE, CA 94920-2336
 PH. 415-435-3838 • FAX 415-435-0430 • WWW.CITYOFBELVEDERE.ORG

RECEIVED

FOR STAFF USE ONLY

Date: OCT 06 2021 Rec'd. by: NSM Planning Comm. Approval
 Amount: City of Belvedere Receipt No.: _____ Design Review Exception
 Parcel No.: 060-031-21 Zone: R1L Staff Approval
 Located in Flood Zone AE VE N/A

SECTION 1 • PROJECT SUMMARY

Does this project have an active building permit? No Yes Permit No.: _____

Is this property adjacent to a City Owned Lane? No Yes

Is there an Existing Revocable License for this property? No Yes Lic # _____

Does this project have Planning Commission approval? No Yes

Address of Property: 150 SAN RAFAEL AVENUE

Record Owner of Property: KAREN BEHNKE & HOWARD LURIA

Mailing 5895 W. Dry Creek Rd. Daytime Phone: 415-235-5498

Address: Healdsburg, CA Fax: _____

95448 Email: hluria1@gmail.com

Owner's Representative: Cedric Barringer, BARRINGER ARCHITECTURE

Mailing 1 Tara Hill Rd. Daytime Phone: 415-971-7871

Address: Tiburon, CA Fax: _____

94920 Email: cedric@barringerarchitecture.com

Project Description: Major renovation of an (E) S.F. Residence

Reconfiguration of all interior spaces, while retaining all (E) steel structural system. Exterior changes include: new dual glazed windows throughout to meet code, new stucco, new front entry canopy, slightly altered wall at entry, and an addition of a roof deck west of the 2-story volume. New 2-car garage.

ZONING PARAMETERS:

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
Lot Area	<u>7,500</u>	<u>9450</u>	<u>9450</u>
Lot Coverage	<u>3,780</u>	<u>3,920</u>	<u>3,899 (-21)</u>
Total Floor Area	<u>4,000</u>	<u>5,432</u>	<u>5,222 (-110)</u>
Front Yard Setback	<u>5'</u>	<u>9'-0"</u>	<u>9'-5"</u>
Left Sideyard Setback	<u>10' (2 story)</u>	<u>7'-11"</u>	<u>7'-11 (NO CHANGE)</u>
Right Sideyard Setback	<u>10' (2 story)</u>	<u>4'-9"</u>	<u>4'-9" (NO CHANGE)</u>
Rear Yard Setback	<u>15' (abutting water)</u>	<u>48'-8"</u>	<u>48'-8" (NO CHANGE)</u>
Building Height Maximum...	<u>29'</u>	<u>18'-3"</u>	<u>18'-3" (NO CHANGE)</u>
Building Height Average...		<u>14'-2"</u>	<u>14'-2" (NO CHANGE)</u>
Parking Spaces	<u>2</u>	<u>4</u>	<u>6 (+2)</u>

SECTION 2 • ENVIRONMENTAL INFORMATION REQUIRED BY CEQA

Date Filed: October 4, 2021 (To Be Completed by Applicant)

General Information

Owner Built - K. Behnke + H. Luvia.

1. Name and address of developer or project sponsor: 5895 W. Dry Creek Rd. Healdsburg, CA
2. Address of project: 150 San Rafael Avenue
3. Name, address, and telephone number of person to be contacted concerning this project: Architect: CEDRIC BARRINGER - 1 Tara Hill Rd, Tiburon. (415) 971-7871
4. Indicate number of the permit application for the project to which this form pertains: —
5. List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state and federal agencies: None
6. Existing zoning district: R-1L
7. Proposed use of site (Project for which this form is filed): Single Family Residence
8. Year built: 1955 Original architect: Unknown. Renovated 1975 by Walker + Moody Architects.

Project Description

9. Site size. 9450 sq. ft.
10. Square footage. _____
11. Number of floors of construction. 2
12. Amount of off-street parking provided. 6 spaces (2 covered)
13. Plans attached? Y.
14. Proposed scheduling. Mid-2022 — Mid-2023

- 15. Associated projects, such as required grading or staging. Only soil removal is related to replacing cracked, uneven concrete @ rear facade.
- 16. Anticipated incremental development. N/A.
- 17. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected. 1 unit S.F.R. No change. No intent to Rent.
- 18. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities. N/A
- 19. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required. all non-conforming conditions (side yard setbacks) are existing and remain unchanged.

Are the following items applicable to the project or its effects? Discuss below all items checked yes
(attach additional sheets as necessary).

	Yes	No
20. Change in existing features of any bays, tidelands, beaches, or hills, or substantial alteration of ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Change in scenic views or vistas from existing residential areas or public lands or roads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Change in pattern, scale or character of general area of project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23. Significant amounts of solid waste or litter.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Change in dust, ash, smoke, fumes or odors in vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Change in ocean, bay, lake, stream or ground water quality or quantity, or alteration of existing drainage patterns.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Substantial change in existing noise or vibration levels in the vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Site on filled land or on slope of 10 percent or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Use of, or disposal of potentially hazardous materials, such as toxic substances, flammables or explosives.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
29. Substantial change in demand for municipal services (police, fire, water, sewage, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
30. Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
31. Relationship to a larger project or series of projects.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
32. Changes to a structure or landscape with architectural or historical value.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
33. Changes to a site with archeological or cultural value such as midden soil.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

- 34. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or Polaroid photos will be accepted. 150 San Rafael ave is a flat lagoon site, just north of west shore Road. This is an existing residence, with minimal site changes.
- 35. Describe the surrounding properties, including information on plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity. Snapshots or Polaroid photos will be accepted. Across the street is Richardson bay. Along San Rafael ave are 1- and 2-story homes of mixed architectural styles.

SECTION 3 • ESTIMATE OF TIME FOR CONSTRUCTION

For Design Review applications not requiring a building permit this section does not apply. Design Review approvals expire twelve (12) months from the date of approval unless granted a longer duration by the Planning Commission.

This Section advises you of the Time Limit Guidelines that are applied to all Design Review applications that require a building permit as prescribed by Section 20.04.035 of the Belvedere Municipal Code.

B. Construction Time Limit Required. This Chapter shall apply to any project for which a design review approval is required, any project requiring a building permit with an estimated construction value of \$50,000 or greater, and/or any landscaping project with an estimated construction value of \$50,000 or greater that is associated with a building permit. As part of any application for design review, the applicant shall file a reasonable estimate of the cost of the proposed project, and based thereon, a construction time limit shall be established for the project in accordance with the guidelines set forth in Subsection C of this Section. The maximum time for completion of project shall not exceed six months for additions and remodeling up to \$100,000 in value; 12 months for construction up to \$500,000 in value; and 18 months for construction valued at more than \$500,000. Failure to complete construction in the agreed upon time will result in fines ranging from \$600 per day to \$1200 per day with a \$300,000 maximum penalty. Application for an extension of the prescribed time limit can be made providing certain conditions are met. The maximum extension is 6 months. The time for completion of the construction shall also be indicated on the building permit.

In the space provided below please indicate the estimated project valuation.

Estimated cost of construction: \$ 800,000

Based on the above estimated project valuation, check one of the following Time Limit Guidelines that shall apply to your project:

- 1. For new construction, the demonstrable value of which is estimated to be less than \$500,000.
Construction shall be completed twelve (12) months from the commencement of work following the issuance of the building permit.
- 2. For new construction, the demonstrable value of which is estimated to be more than \$500,000.
Construction shall be completed eighteen (18) months from the commencement of work following the issuance of the building permit.
- 3. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at less than \$100,000.
Construction shall be completed six (6) months from the commencement of work following the issuance of the building permit.
- 4. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at less than \$500,000.
Construction shall be completed twelve (12) months from the commencement of work following the issuance of the building permit.
- 5. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at more than \$500,000.
Construction shall be completed eighteen (18) months from the commencement of work following the issuance of the building permit.

For those projects that do not fall under any of the above Time Limit Guidelines or that wish to exceed the time limit that was approved by the Planning Commission, the following is the "Extension of Construction Time Limit" process (BMC Section 20.04.035(D):

D. Extension of Construction Time Limit.

1. An applicant may request a construction time limit extension at the time of the design review hearing or after the issuance of a building permit. An applicant is limited to one construction time limit extension per project.

2. The Planning Commission has the authority to grant, conditionally grant, or deny a time limit extension request made at the time of a design review hearing based on the reasonable anticipation of one or more of the factors in this Subsection. The Planning Commission's decision may be appealed in writing to the City Council.

3. The extension committee has the authority to administratively grant, conditionally grant, or deny a time limit extension request made after the issuance of a building permit based on one or more of the factors in this Subsection. The extension committee shall consist of the City Building Official, the Director of Planning and Building, and the Public Works Manager, who shall meet with the project contractor, architect and, at the applicant's option, a representative or the applicant. The extension committee shall review the extension request within 10 working days of receiving a complete application. Within 10 working days of receiving the decision, the applicant may appeal the extension committee's decision to the Planning Commission and the Planning Commission's decision to the City Council. All appeals shall be scheduled within a reasonable time of the receipt of the appeal.

4. An application for a construction time limit extension shall be accompanied by complete working drawings for the construction, a written explanation of the reasons for the requested extension, any other information requested by Planning staff, and a fee as established by City Council resolution.

5. Projects with an initial 18-month construction time limit may receive a maximum 6-month extension for a total time limit of 24 months. Projects with an initial 6 or 12-month construction time limit may receive an extension, provided that such extensions do not result in a total construction time limit exceeding 18 months.

6. Landscaping Extension. When landscaping work, which was approved as part of a larger construction project, is delayed because of inclement weather, the applicant may file with the City Manager for an extension to complete the landscaping work. The request must be filed prior to, and may not exceed 30 days beyond, the final building inspection approval, issuance of an occupancy permit, or expiration of the 90-day landscaping time limit granted per Subsection C2 above, whichever occurs later. The City Manager shall grant said extension only if, in his or her opinion, such extension is warranted because of delays caused by inclement weather.

7. Construction Time Limit Extension Factors. Requests for construction time limit extensions shall be determined based on one or more of the following factors:

- a. Site topography
- b. Site access
- c. Geological issues
- d. Neighborhood considerations
- e. Other unusual factors
- f. Extreme weather events
- g. Unanticipated discovery of archeological resources
- h. Other conditions that could not have been reasonably anticipated at the time of project application

SECTION 4 • ACKNOWLEDGEMENT OF HOURLY BILLING COSTS

This Section advises you of the costs that may be involved in processing Planning-related applications and/or appeals. You are hereby requested to acknowledge this information and agree to be responsible for all expenses incurred in the processing of your application(s)/appeal(s).

As the property owner/appellant, you agree to be responsible for the payment of all costs, both direct and indirect, associated with the processing of the applications(s)/appeals(s) referenced below. Such costs may be incurred from the following source:

Hourly billing costs as of July 1, 2018, (subject to change without notice):

Director of Planning & Building	\$ 85.00
Associate Planner	\$ 59.00
City Attorney	\$ 240.00
Specialized Planning Consultant	Actual costs + 25% overhead

For all applications and appeals, an initial deposit is required at the time of submittal, with the amounts determined by City Council resolution. In addition to the initial deposit, the property owner/appellant may be required to make further deposits for anticipated work. Invoices are due and payable within 15 days. Application(s) /or appeal(s) will not be placed on an agenda until these deposits are received.

SECTION 5 • ACKNOWLEDGEMENT OF RESPONSIBILITY

This Section applies to all projects that receive design review. To avoid misunderstandings regarding changes to building plans that have received Design Review, please read and acknowledge the below information. To help your project proceed in an expeditious and harmonious manner, the City of Belvedere wishes to inform you of several basic understandings regarding your project and its approval. By you and your representative signing this document, you are acknowledging that you have read, understand, and will comply with each of the points listed.

1. Once Design Review approval has been granted, construction plans may be submitted to the City. The construction plans shall be **identical** to the plans approved for design review. (BMC §20.04.010). Deviations from the plans approved for Design Review cannot be approved except by an amendment to the Design Review approval. It is the applicants' responsibility to assure conformance, and the failure of staff to bring nonconformities to the applicants' attention shall not excuse the applicant from such compliance.
2. Comments from City staff regarding the project shall neither be deemed official nor relied upon unless they are in writing and signed by the City Manager or his designee.
3. Without the prior written approval of the City, construction on the project shall not deviate in any manner, including but not limited to form, size or color, from approved construction plans. If at any time during construction, and without such written approval, construction on the project is found by a member of City staff to deviate from the approved construction plans in any manner, an official STOP WORK ORDER will be issued by the City, and there shall be a total cessation of all work on the project.
4. If such a STOP WORK ORDER is issued, the City may initiate proceedings to impose administrative penalties or nuisance abatement proceedings and issue an order to show cause, which will compel the undersigned property owner to appear before the City Council and show cause why the work performed does not deviate from the approved plans and why such work should not be condemned as a public nuisance and abated. (Authority: Belvedere Municipal Code Chapters 1.14 and 8.12)

SECTION 6 • ADDITIONAL INFORMATION FOR APPLICANTS**Story Pole Requirement**

Preliminary Story Poles sufficient to indicate the height and shape of the proposed structure or additions shall be placed on the site **at least twenty (20) days** prior to the first meeting date at which this application will be heard. **Final Story Poles** must be placed at the site **at least ten (10) days** prior to the first meeting date and removed no later than ten (10) days following the final city action on the project application. Story poles shall be connected at their tops with colored tape or ribbon to clearly indicate ridges, eaves, and other major elements of the structure.

Limit on the Number of Administrative and Planning Commission Design Review Approvals

Pursuant to Belvedere Municipal Code Section 20.04.020(B)(1)(a), for a site or structure with no existing active Design Review approval, during any twelve-month period, an applicant may obtain up to four administrative approvals, which may be in the form of either Staff Approval, Design Review Exception, or a combination of the two. However, there is no limit to the number of times an applicant may apply for Planning Commission Design Review. Any such administrative or Planning Commission Design Review approval(s) shall be valid for a period of twelve (12) months from the date of approval, unless a building permit has been issued for the project within said twelve (12) month period, in which case the Design Review approval shall be valid as long as there is an active building permit for the project.

Once a project has been approved by Planning Staff or the Planning Commission, administrative approvals to amend the existing active Design Review approval for that project shall be limited to three such approvals at any time during the lifetime of the underlying Design Review approval, plus one such approval during the process of obtaining final inspection approval of the project. Any such administrative approval(s) granted shall NOT extend the twelve (12) month term, of the underlying Design Review approval, or the building permit construction time limit if a building permit has been issued for the project.

**STATEMENT OF PROPERTY OWNERSHIP,
CERTIFICATION OF APPLICATION, & DESIGNATION OF REPRESENTATIVE**

All property owners must complete and sign the section below which is applicable to your property.

Street address of subject property: 150 SAN RAFAEL AVENUE

Assessor's Parcel No(s). of subject property: 060-031-21

> Properties Owned by a Trust, LLC, Corporation, Partnership, or Other Entity

Please provide proof of ownership and of the signer's authority to enter into contracts regarding this property. One or more of the following documents *may* contain the necessary information.

- **For Trusts:** the Trust Document or a Certificate of Trust, including any attachments thereto; Property Deed; Certificate of Title Insurance.
- **For other entities:** Articles of Incorporation; Partnership Agreement; Property Deed; Certificate of Title Insurance; written certification of facts by an attorney.

Photocopies are acceptable. To ensure privacy, documentation will be shredded in a timely manner, or, upon request, returned to the applicant.

I, QUATEL LORITA, state under penalty of perjury under the laws of the State of California that the above-described subject property is owned by a Trust, LLC, Corporation,

Partnership, or other entity and that my signature on this application has been authorized by all necessary action required by the LLC, Corporation, Partnership, or other entity.

I hereby make application for approval of the design review requested. I have read this application and hereby certify that the statements furnished above and in the attached exhibits present the data and information required for the design review and initial environmental evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief

I agree to be responsible for all costs incurred in connection with the processing of my application and appeals, if any. And I agree to be bound by Section 5, "Acknowledgement of Responsibilities," above and representations one through four contained therein.

In the case of an application for revocable license, I agree that, upon approval by the City Council of the revocable license requested, I will promptly execute a license drafted by the City, have it notarized, and return it to the City so that it may be recorded.

I understand that the contents of this document are a Public Record. If more than one signature is required by the owner entity to make this application, please have all signers sign below.

Signed this 3rd day of OCT, 2021 at Belvedere, California.

Signature [Handwritten Signature]

Signature [Handwritten Signature]

Title(s) OWNER

Title(s) OWNER

Trustee(s) Partners: Limited or General Corporation Other _____

Name of trust, LLC, corporation, or other entity: BEHKE LURIA REVOCABLE TRUST

> Properties Owned by Individuals N/A

I, _____, state under penalty of perjury under the laws of the State of California that I am the record owner of the above-described subject property.

I hereby make application for approval of the design review requested. I have read this application and hereby certify that the statements furnished above and in the attached exhibits present the data and information required for the design review and initial environmental evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.

I agree to be responsible for all costs incurred in connection with the processing of my application and appeals, if any. And I agree to be bound by Section 5, "Acknowledgement of Responsibilities," above and representations one through four contained therein.

In the case of an application for revocable license, I agree that, upon approval by the City Council of the revocable license requested, I will promptly execute a license drafted by the City, have it notarized, and return it to the City so that it may be recorded.

I understand that the contents of this document are a Public Record.

Signed this _____ day of _____, 20____, at Belvedere, California.

Signature _____

➤ **Designation of Owner's Representative (Optional)**

CEDRIC BARRINGER

I hereby authorize BARRINGER ARCHITECTURE file on my behalf any applications, plans, papers, data, or documents necessary to obtain approvals required to complete my project and further authorize said person to appear on my behalf before the Planning Commission and/or City Council. This designation is valid until the project covered by the application(s) is completed and finalized or until the designation is rescinded in writing.

Signature of Owner: Howard Lina

Date: 10/4/21

Signature of Representative: C. C. Barringer

Date: 10/3/2021



January 4th, 2022

*Delta 3 Revisions to Design Review Application
150 San Rafael Avenue, Belvedere, CA 94920
Assessor's Parcel Number 060-031-21*

DESCRIPTION OF CHANGES

to: Rebecca Markwick, Senior Planner
City of Belvedere Planning Department

Dear Ms. Markwick,

Per your request, below is a brief summary of changes that have been made to the Application for the above-referenced project.

Description of changes (from last 11/29/2021 submittal):

In an effort to reduce the amount of new glazing facing the lagoon, and to simplify the structural additions, the Master Bedroom and Gym west-facing glazing have been reduced in width. Essentially the same window configuration remains, but as compared to the previous submittal there is about 30% less new glazing facing the lagoon. There will be approximately 3'-9" of solid wall on either side of each of the openings both at the First and Second floors, as shown in the submitted plans and Elevations.

No other changes are being incorporated into this revised proposal.

Enclosed in the submittal are the following:

- FULL drawing set, Including all the revised sheets from the previous submittal.

Please don't hesitate to reach out should you need any clarification on any of materials submitted.

Best Regards,

Cedric C. Barringer, Principal

Behnke/Luria family
150 San Rafael Ave -- Belvedere, CA 94920

Peter Mark
Patricia Carapiet
Ashley Johnson
Nena Hart
Marsha Lasky
Claire Slaymaker
Larry Stoehr

January 10, 2022

Dear Commissioners:

We wanted to introduce you to our interior remodeling project at **150 San Rafael Ave, Belvedere, CA** as we are on the agenda January 18, 2022. We are really excited to come back to the lagoon life, we know so many Belvedere people since Howard lived on the lagoon over 25 years ago and we love the community.

Key points about our project:

- We (knowingly) bought an uninhabitable interior because we fell in love with the location, the great room, and the steel beams. The project didn't intimidate us as we are highly confident in our remodeling within budget abilities.
- We have now dropped the exterior remodel requests and it is an entirely interior remodel with all new windows and doors as the current (1970's??) windows/doors are inoperable, thin, and a mess. NOTE we are just patching the stucco around the windows and doors after installation, we are NOT re-stuccoing the outside. The majority of the outside stucco is only being painted.
- After gaining initial feedback from the planning department, we have decreased the door and window sizes on the lagoon facing side master bedroom.
- Please see attached tree photos as the existing beautiful tree entirely shields these master bedroom windows.
- We have enthusiastic neighbor support in writing. Every neighbor has thanked us for wanting to clean up this house.
- We are highly confident that we can stay within the budget as we have used the same licensed contractor to build or remodel each of our family homes since the 1980's and he has always come in within budget. We are using very simple finishes.
- We have painted patches of the greige paint on the front of the house for your viewing. We also painted a white contrast strip so you can see how neutral the greige is.

Finally, and I know you probably get sob stories all of the time but we aren't a family that is just buying an "extra" home on the lagoon—this will be our family home—and it is a bit of a financial stretch for us so we can't go crazy with the budget. We are really hoping to answer all your questions and hoping for approval as we are currently living in Karen's company Press House in Healdsburg which can't continue much longer. We also have a real need to move in as soon as possible as we have a son that is emotionally disabled and we really need to organize his living situation.

Please call with any questions. Thank you and we look forward to meeting you on Jan 18th.

Sincerely,

[Howard and Karen](#); Karen Behnke Luria, 415 235 3003; Howard Luria, MD, 415 235 5498



APPRAISAL OF REAL PROPERTY

LOCATED AT

150 San Rafael Ave
Belvedere, CA 94920

Lot 19, further identified by assessor's parcel number.

FOR

Howard Luria

OPINION OF VALUE

4,900,000

AS OF

08/11/2021

TABLE OF CONTENTS

GP Residential	1
Additional Comparables 4-6	5
NARRATIVE ADDENDUM	6
MARKET CONDITIONS, CHARTS	15
Depreciation work sheet	16
Subject photos front rear street	17
Subject photos main exterior	18
Subject building detail photos page 1	19
Subject building detail photos page 2	20
Comparable Photos 1-3	21
Comparable Photos 4-6	22
Location Map	23
Subject maps	24
Site Analysis	25
Building Sketch	26
GP Residential Certifications Addendum	27
USPAP Identification	30
License	31

620217

File No.: 620217

RESIDENTIAL APPRAISAL SUMMARY REPORT

SUBJECT	Property Address: 150 San Rafael Ave	City: Belvedere	State: CA	Zip Code: 94920
	County: Marin	Legal Description: Lot 19, further identified by assessor's parcel number.		
	Assessor's Parcel #: 060-031-21			
	Tax Year: 2020	R.E. Taxes: \$ 8,790	Special Assessments: \$ none	Borrower (if applicable): not applicable

ASSIGNMENT	Current Owner of Record: Benke/Luria Trust				Occupant: <input checked="" type="checkbox"/> Owner	<input type="checkbox"/> Tenant	<input type="checkbox"/> Vacant	<input type="checkbox"/> Manufactured Housing
	Project Type: <input type="checkbox"/> PUD <input type="checkbox"/> Condominium <input type="checkbox"/> Cooperative <input checked="" type="checkbox"/> Other (describe) community lagoon				HOA: \$ 1,500	<input checked="" type="checkbox"/> per year <input type="checkbox"/> per month		
	Market Area Name: Belvedere Lagoon				Map Reference: 42034	Census Tract: 1230.00		
	The purpose of this appraisal is to develop an opinion of: <input checked="" type="checkbox"/> Market Value (as defined), or <input type="checkbox"/> other type of value (describe)							

MARKET AREA DESCRIPTION	This report reflects the following value (if not Current, see comments): <input checked="" type="checkbox"/> Current (the Inspection Date is the Effective Date)				<input type="checkbox"/> Retrospective	<input type="checkbox"/> Prospective
	Approaches developed for this appraisal: <input checked="" type="checkbox"/> Sales Comparison Approach <input type="checkbox"/> Cost Approach <input type="checkbox"/> Income Approach (See Reconciliation Comments and Scope of Work)					
	Property Rights Appraised: <input checked="" type="checkbox"/> Fee Simple <input type="checkbox"/> Leasehold <input type="checkbox"/> Leased Fee <input type="checkbox"/> Other (describe)					
	Intended Use: Market value and provide opinion of depreciated value for the building in connection with a building permit application.					

MARKET AREA DESCRIPTION	Client: Howard Luria	Address: 150 San Rafael Avenue, Belvedere, CA 94920				
	Appraiser: Mark H. Lindsay	Address: Marin Home and Land Appraisal, 617 Broadway, #653, Sonoma, CA 95476				
	Location: <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Suburban <input type="checkbox"/> Rural	Predominant Occupancy	One-Unit Housing	Present Land Use	Change in Land Use	
	Built up: <input checked="" type="checkbox"/> Over 75% <input type="checkbox"/> 25-75% <input type="checkbox"/> Under 25%	<input checked="" type="checkbox"/> Owner 73	PRICE AGE	One-Unit 65 %	<input checked="" type="checkbox"/> Not Likely	

Market Area Boundaries, Description, and Market Conditions (including support for the above characteristics and trends): The Lagoon is surrounded by level sites with views over the water with the desirable views over the wider portions and the length, some with Mt Tamalpais views. Main attraction of the lagoon are the level waterfront lots. Most homes are single level and date from the 50's to new custom quality construction. West Shore Road fronts Richardson Bay and has newer construction and many houses on leased land. All services are within walking distance. Commute to San Francisco is approximately 30 minutes. **MARKET CONDITIONS:** Sales were studied over a three year period and analyzed. Three year sale data shows 46 sales with a median sales price of \$4,051,500 and 17 days on market and selling at 99.9% of the list price. There were 17 sales in the past year analyzed in market conditions and shown in the one unit housing data. The annual median price was \$4,767,500 and selling at 100% of the list price. The annual median increase in the prior year was \$1,315.60 per day shown on the scatter chart in the market conditions. Supply is balanced with demand when the year prior to the effective date is reviewed.

SITE DESCRIPTION	Dimensions: irregular see plat map	Site Area: 9,450 sf
	Zoning Classification: R1-L	Description: Single Family Residential, Lagoon. Minimum lot size is
	Are CC&Rs applicable? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Unknown	Zoning Compliance: <input checked="" type="checkbox"/> Legal <input type="checkbox"/> Legal nonconforming (grandfathered) <input type="checkbox"/> Illegal <input type="checkbox"/> No zoning
	Highest & Best Use as improved: <input checked="" type="checkbox"/> Present use, or <input type="checkbox"/> Other use (explain)	Have the documents been reviewed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

IMPROVEMENTS	Actual Use as of Effective Date: Residential	Use as appraised in this report: Residential																																																												
	Summary of Highest & Best Use: The subject's use improved or as a vacant site is legally permitted, financially feasible, physically possible and most profitable.																																																													
	<table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th>Utilities</th> <th>Public</th> <th>Other</th> <th>Provider/Description</th> <th>Off-site Improvements</th> <th>Type</th> <th>Public</th> <th>Private</th> <th>Topography</th> <th>Level</th> </tr> <tr> <td>Electricity</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>PGE</td> <td>Street</td> <td>Asphalt</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Size</td> <td>Average</td> </tr> <tr> <td>Gas</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>PGE</td> <td>Curb/Gutter</td> <td>None, typical</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Shape</td> <td>Polygon</td> </tr> <tr> <td>Water</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>MMWD</td> <td>Sidewalk</td> <td>None, typical</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Drainage</td> <td>Appears adequate</td> </tr> <tr> <td>Sanitary Sewer</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>Sanitary district</td> <td>Street Lights</td> <td>Arc</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>View</td> <td>Lagoon/Al/VG</td> </tr> <tr> <td>Storm Sewer</td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> <td>DPW</td> <td>Alley</td> <td>None, typical</td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td></td> <td></td> </tr> </table>	Utilities	Public	Other	Provider/Description	Off-site Improvements	Type	Public	Private	Topography	Level	Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	PGE	Street	Asphalt	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	Average	Gas	<input checked="" type="checkbox"/>	<input type="checkbox"/>	PGE	Curb/Gutter	None, typical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Shape	Polygon	Water	<input checked="" type="checkbox"/>	<input type="checkbox"/>	MMWD	Sidewalk	None, typical	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Drainage	Appears adequate	Sanitary Sewer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Sanitary district	Street Lights	Arc	<input checked="" type="checkbox"/>	<input type="checkbox"/>	View	Lagoon/Al/VG	Storm Sewer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	DPW	Alley	None, typical	<input type="checkbox"/>	<input type="checkbox"/>			
	Utilities	Public	Other	Provider/Description	Off-site Improvements	Type	Public	Private	Topography	Level																																																				
Electricity	<input checked="" type="checkbox"/>	<input type="checkbox"/>	PGE	Street	Asphalt	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Size	Average																																																					
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Storm Sewer	<input checked="" type="checkbox"/>	<input type="checkbox"/>	DPW	Alley	None, typical	<input type="checkbox"/>	<input type="checkbox"/>																																																							
Other site elements: <input checked="" type="checkbox"/> Inside Lot <input type="checkbox"/> Corner Lot <input type="checkbox"/> Cul de Sac <input type="checkbox"/> Underground Utilities <input type="checkbox"/> Other (describe)																																																														



RESIDENTIAL APPRAISAL SUMMARY REPORT

620217

File No.: 620217

DESCRIPTION OF IMPROVEMENTS (continued)	Interior Description	Appliances	Attic <input checked="" type="checkbox"/> None	Amenities	Car Storage <input type="checkbox"/> None
	Floors Concrete/Cpt/Average	Refrigerator <input checked="" type="checkbox"/>	Stairs <input type="checkbox"/>	Fireplace(s) # 1	Woodstove(s) # none
	Walls Drywall/Good	Range/Oven <input checked="" type="checkbox"/>	Drop Stair <input type="checkbox"/>	Patio Concrete	Garage # of cars (4 Tot.)
	Trim/Finish Wood/Good	Disposal <input checked="" type="checkbox"/>	Scuttle <input type="checkbox"/>	Deck Trex type	Attach. _____
	Bath Floor Tile/Laminate/Good	Dishwasher <input checked="" type="checkbox"/>	Doorway <input type="checkbox"/>	Porch Front and rear	Detach. _____
	Bath Wainscot Tile/Good	Fan/Hood <input checked="" type="checkbox"/>	Floor <input type="checkbox"/>	Fence Yes	Bit-In _____
	Doors Wood/Good	Microwave <input checked="" type="checkbox"/>	Heated <input type="checkbox"/>	Pool No	Carport _____
	Washer/Dryer <input checked="" type="checkbox"/>	Finished <input type="checkbox"/>		Driveway 4	Surface asphalt

Finished area above grade contains: 9 Rooms 4 Bedrooms 3 Bath(s) 3,497 Square Feet of Gross Living Area Above Grade

Additional features: The subject has no covered parking. The driveway can hold 4 cars tandem comfortably. Entry to the contemporary styled house is via a gated vestibule and leads to the foyer with storage and 3 bedroom and 2 bath to the right. Ahead is the kitchen, pantry and utility area. To the left is the primary bedroom with an oversized bath with double vanity, stall shower and spa tub. A large walk in closet... Describe the condition of the property (including physical, functional and external obsolescence): with built in shelving, dressing table and additional closets is located to the rear. Stairs up from the primary bedroom lead to the den that occupies the second floor. There is an enclosed porch off the den. The living room occupies a 30' x 30' space with an 18 foot ceiling and a window wall to the east with sliders to the rear patio and deck. The kitchen has Corian type counters, stainless built ins, and flat panel paint grade cabinetry. Adjacent pantry and storage. The bedroom at the street side has a completely enclosed and covered patio with skylight. **QUALITY of CONSTRUCTION:** The subject is good quality construction with steel structural elements, a 30' free span in the living room and an 18' wall of glass, 4' eaves and a metal roof with foam and far and gravel portions. According the owner, the slab flooring is not structural, the vertical elements are set in footings. **CONDITION:** The subject shows good overall condition. Original construction in 1955 and an extensive remodel with structural steel in 1975 and some stud walls. Reroof 2003 and 2005. Interior walls and ceiling in good condition. Finished concrete slab floor has typical cracks but well finished and serviceable. Exterior stucco shows generally good condition. Visible portion of lower level roof is average. See narrative p2.

SALES COMPARISON APPROACH TO VALUE (if developed) The Sales Comparison Approach was not developed for this appraisal.

FEATURE	SUBJECT	COMPARABLE SALE # 1		COMPARABLE SALE # 2		COMPARABLE SALE # 3	
Address	150 San Rafael Ave Belvedere, CA 94920	68 Lagoon Rd Belvedere, CA 94920		26 Cove Rd Belvedere, CA 94920		7 Leeward Rd Belvedere, CA 94920	
Proximity to Subject		0.41 miles E		0.61 miles SE		0.39 miles SE	
Sale Price	\$	\$ 4,157,000		\$ 7,000,000		\$ 4,150,000	
Sale Price/GLA	\$/sq.ft.	\$ 2127.43 /sq.ft.		\$ 2513.46 /sq.ft.		\$ 1684.25 /sq.ft.	
Data Source(s)	Inspection	BAMLS#321056642; DOM 7		BAMLS#321059353; DOM 25		BAMLS#321016318; DOM 11	
Verification Source(s)	Assessor	Doc 21-40049		Doc 21-43338		Doc 21-26260	
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.
Sales or Financing Concessions	Arms Length, Cash None Noted	Arms Length, Cash None Noted		Arms Length, Cash None Noted		Arms Length, Cash None Noted	
Date of Sale/Time	07/02/2021 COE	06/17/2021 COE	+66,000	06/30/2021 COE	+49,000	03/29/2021 COE	+168,000
Rights Appraised	Fee Simple	Fee Simple		Fee Simple		Fee Simple	
Location	Good	Good		Good		Good	
Site	9,450 sf	7,676 sf	0	5,998 sf	0	6,660 sf	0
View	Lagoon/AI/VG	Lgn/Ptl/City/Sl. Sup	-208,000	Lagoon/Mt Tam/VG	0	Lagoon/Similar	0
Design (Style)	Contemporary	Contemporary		Contemporary		Contemporary	
Quality of Construction	Good	Good		Good		Good	
Age	66	65		73		70	
Condition	Good	Good		Superior	-2,100,000	Good	
Above Grade	Total Bdrms Baths	Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths	
Room Count	9 4 3	6 3 2		6 4 3.1		7 4 3	
Gross Living Area	3,497 sq.ft.	1,954 sq.ft.	+1,003,000	2,785 sq.ft.	+463,000	2,464 sq.ft.	+671,000
Basement & Finished Rooms Below Grade	None	None		None		None	
Functional Utility	Conforms	Conforms		Conforms		Conforms	
Heating/Cooling	Radiant	Radiant		FWA		FWA	
Energy Efficient Items	None	None		None		None	
Garage/Carport	Open Parking	2 Car Garage	-166,000	1 Car Garage	-140,000	2 Carport	-83,000
Porch/Patio/Deck	Deck, Patio	Deck, Patio		Deck		Deck, Patio	
Pool	None	None		None		None	
Dock, ADU	Dock	Dock		Dock		Dock	
Accessory dwelling unit	None	None		None		None	
Net Adjustment (Total)		<input checked="" type="checkbox"/> + <input type="checkbox"/> -	\$ 695,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ -1,728,000	<input checked="" type="checkbox"/> + <input type="checkbox"/> -	\$ 756,000
Adjusted Sale Price of Comparables			\$ 4,852,000		\$ 5,272,000		\$ 4,906,000

RESIDENTIAL APPRAISAL SUMMARY REPORT

Summary of Sales Comparison Approach **Abbreviations used in the sales grid:**

BATH COUNTS are expressed as the number of full and half baths EXAMPLE 2 full baths and 1 half bath is expressed as 2.1

COE - Close of Escrow
 Conv - Conventional financing
 Doc - document number, year-number
 DOM - Days on Market
 E - effective year
 Insp - Inspection
 Inf - Inferior
 MLS - Multiple Listing Service
 NRCC - non recurring closing costs
 Net site quality - considers site utility and privacy for a net rating, see individual sales comments in the narrative
 Res - Residential
 SI - Slightly
 Sup or Sp - Superior

VIEWES: Res - residential, Wd - wooded, City - San Francisco skyline, GGB - Golden Gate Bridge, RSR - Richmond San Rafael Bridge, BB - Bay Bridge, EB east bay, NB north bay, PTL - partial, AI - Angel Island

Comments for each sale are located in the narrative addendum

SALES COMPARISON APPROACH (continued)

Indicated Value by Sales Comparison Approach \$ 4,900,000

My research did did not reveal any prior sales or transfers of the subject property for the three years prior to the effective date of this appraisal.

Data Source(s): MLS, Realist, assessor data

1st Prior Subject Sale/Transfer	Analysis of sale/transfer history and/or any current agreement of sale/listing: One sale of the subject was noted in the prior 36 months. No active or recent listing was found in the local MLS. Exposure time is the amount of time the subject would have been reasonably offered in the market to consummate a sale as of the effective date of this report. Exposure time is dependant on the characteristics of the subject property and the market conditions as of the effective date. The opinion of exposure time is 30 days.
Date: 07/02/2021	
Price: 4,750,000	
Source(s): Realist	
2nd Prior Subject Sale/Transfer	
Date: 8/27/2012	
Price: 0	
Source(s): Realist	

TRANSFER HISTORY

COST APPROACH TO VALUE (if developed) The Cost Approach was not developed for this appraisal.

Provide adequate information for replication of the following cost figures and calculations.

Support for the opinion of site value (summary of comparable land sales or other methods for estimating site value): See last portion of the narrative addendum for the cost approach discussion and support for the opinion of site value. Construction materials have shown an average annual increase of 26.1% based on a survey of builders reported in the May 2021 NAHB/Wells Fargo Housing Market Index. 28% of the single family builders reported cost increases between 20% to 29.9%. Material availability and costs, regulatory compliance costs, and construction labor shortages are cited for the increases. The depreciation of the building is analyzed in greater detail in the attached depreciation work sheet.

COST APPROACH

ESTIMATED <input type="checkbox"/> REPRODUCTION OR <input checked="" type="checkbox"/> REPLACEMENT COST NEW	OPINION OF SITE VALUE = \$ 2,500,000		
Source of cost data: National Appraisal Estimator, local projects	DWELLING	3,497 Sq.Ft. @ \$ 900.00	= \$ 3,147,300
Quality rating from cost service: 2 Effective date of cost data: 2021		0 Sq.Ft. @ \$	= \$
Comments on Cost Approach (gross living area calculations, depreciation, etc.): See addendum re: site value by extraction. High land to value is common in this developed area. No external or functional obsolescence apparent. The National Appraisal Estimator is published by Craftsman Book and adjusted for local conditions. The variance between the replacement cost new and market value represents entrepreneurial profit after construction is complete. Depreciation is based on straight line age/life method for individual components to reflect interim remodeling and good lifetime maintenance. A separate depreciation worksheet is attached. The wooden storage sheds at the front of the building are excluded as they are not part of the main structure, temporary storage only.		Sq.Ft. @ \$	= \$
		Sq.Ft. @ \$	= \$
		Sq.Ft. @ \$	= \$
		Sq.Ft. @ \$	= \$
		storage, enclosed porches 545 sf @ \$450/sf	= \$ 245,250
	Garage/Carport	Sq.Ft. @ \$	= \$
	Total Estimate of Cost-New		= \$ 3,392,550
	Less	Physical Functional External	
	Depreciation	1,153,467	= \$(1,153,467)
	Depreciated Cost of Improvements		= \$ 2,239,083
	"As-is" Value of Site Improvements		= \$ 50,000
			= \$
			= \$
Estimated Remaining Economic Life (if required):	Years	INDICATED VALUE BY COST APPROACH	= \$ 4,789,083

RESIDENTIAL APPRAISAL SUMMARY REPORT

INCOME APPROACH TO VALUE (if developed) The Income Approach was not developed for this appraisal.

Estimated Monthly Market Rent \$ _____ X Gross Rent Multiplier _____ = \$ _____ **Indicated Value by Income Approach**

Summary of Income Approach (including support for market rent and GRM): The potential development of the income approach was discussed with the client. The income approach is weighted the least as the predominant occupancy is by owner. Given the lack of current rent for the subject and variable data quality for rentals in the market; the development of the income approach was deemed less reliable and not essential to produce a credible estimate of value.

PROJECT INFORMATION FOR PUDs (if applicable) The Subject is part of a Planned Unit Development.

Legal Name of Project: _____

Describe common elements and recreational facilities: _____

Indicated Value by: Sales Comparison Approach \$ 4,900,000 Cost Approach (if developed) \$ 4,789,083 Income Approach (if developed) \$ _____

Final Reconciliation The cost approach is favored for the primary assignment results - the value of the depreciated building:

DEPRECIATED BUILDING VALUE via the cost approach - \$2,239,083

Sales approach is favored for the valuation of the land and the improvements as it best emulates the market based response to the subject. The income approach was contemplated but not developed as the market primarily owns to occupy.

This appraisal is made "as is", subject to completion per plans and specifications on the basis of a Hypothetical Condition that the improvements have been completed, subject to the following repairs or alterations on the basis of a Hypothetical Condition that the repairs or alterations have been completed, subject to the following required inspection based on the Extraordinary Assumption that the condition or deficiency does not require alteration or repair: _____

This report is also subject to other Hypothetical Conditions and/or Extraordinary Assumptions as specified in the attached addenda.

Based on the degree of inspection of the subject property, as indicated below, defined Scope of Work, Statement of Assumptions and Limiting Conditions, and Appraiser's Certifications, my (our) Opinion of the Market Value (or other specified value type), as defined herein, of the real property that is the subject of this report is: \$ 4,900,000, as of: 08/11/2021, which is the effective date of this appraisal. If indicated above, this Opinion of Value is subject to Hypothetical Conditions and/or Extraordinary Assumptions included in this report. See attached addenda.

A true and complete copy of this report contains 31 pages, including exhibits which are considered an integral part of the report. This appraisal report may not be properly understood without reference to the information contained in the complete report.

Attached Exhibits:

<input checked="" type="checkbox"/> Scope of Work	<input checked="" type="checkbox"/> Limiting Cond./Certifications	<input checked="" type="checkbox"/> Narrative Addendum	<input checked="" type="checkbox"/> Photograph Addenda	<input checked="" type="checkbox"/> Sketch Addendum
<input checked="" type="checkbox"/> Map Addenda	<input checked="" type="checkbox"/> Additional Sales	<input checked="" type="checkbox"/> Cost Addendum	<input type="checkbox"/> Flood Addendum	<input type="checkbox"/> Manuf. House Addendum
<input type="checkbox"/> Hypothetical Conditions	<input type="checkbox"/> Extraordinary Assumptions	<input checked="" type="checkbox"/> Market Conditions, charts	<input type="checkbox"/>	<input type="checkbox"/>

Client Contact: Howard Luria Client Name: Howard Luria

E-Mail: _____ Address: 150 San Rafael Avenue, Belvedere, CA 94920

<p>APPRAISER</p>  <p>Appraiser Name: <u>Mark H. Lindsay</u></p> <p>Company: <u>Marin Home and Land Appraisal</u></p> <p>Phone: <u>(415) 272-4081</u> Fax: _____</p> <p>E-Mail: <u>mhlappraisal@yahoo.com</u></p> <p>Date of Report (Signature): <u>08/18/2021</u></p> <p>License or Certification #: <u>AR010442</u> State: <u>CA</u></p> <p>Designation: _____</p> <p>Expiration Date of License or Certification: <u>06/13/2022</u></p> <p>Inspection of Subject: <input checked="" type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None</p> <p>Date of Inspection: <u>08/11/2021</u></p>	<p>SUPERVISORY APPRAISER (if required) or CO-APPRAISER (if applicable)</p> <p>Supervisory or Co-Appraiser Name: _____</p> <p>Company: _____</p> <p>Phone: _____ Fax: _____</p> <p>E-Mail: _____</p> <p>Date of Report (Signature): _____</p> <p>License or Certification #: _____ State: _____</p> <p>Designation: _____</p> <p>Expiration Date of License or Certification: _____</p> <p>Inspection of Subject: <input type="checkbox"/> Interior & Exterior <input type="checkbox"/> Exterior Only <input type="checkbox"/> None</p> <p>Date of Inspection: _____</p>
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620217

File No.: 620217

ADDITIONAL COMPARABLE SALES

FEATURE	SUBJECT	COMPARABLE SALE # 4		COMPARABLE SALE # 5		COMPARABLE SALE # 6	
Address	150 San Rafael Ave Belvedere, CA 94920	46 Lagoon Rd Belvedere, CA 94920		27 Windward Rd Belvedere, CA 94920		120 San Rafael Ave Belvedere, CA 94920	
Proximity to Subject		0.33 miles E		0.19 miles E		0.04 miles NE	
Sale Price	\$	\$7,877,000		\$ 6,800,000		\$ 4,750,000	
Sale Price/GLA	\$/sq.ft.	\$ 1830.16/sq.ft.		\$ 1866.59/sq.ft.		\$ 1696.43/sq.ft.	
Data Source(s)	Inspection	BAMLS#321007927; DOM 5		BAMLS#22926147; DOM 0		BAMLS#22922460; DOM 32	
Verification Source(s)	Assessor	Doc 21-12634		Doc 21-52287		Doc 20-53886	
VALUE ADJUSTMENTS	DESCRIPTION	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.	DESCRIPTION	+(-) \$ Adjust.
Sales or Financing Concessions	Arms Length, Cash None Noted	Arms Length, Cash None Noted		Arms Length, Cash None Noted		Arms Length, Cash None Noted	
Date of Sale/Time	07/02/2021 COE	02/23/2021 COE	+216,000	10/28/2020 COE	+367,000	10/30/2020 COE	+364,000
Rights Appraised	Fee Simple	Fee Simple		Fee Simple		Fee Simple	
Location	Good	Good		Good		Good	
Site	9,450 sf	9,380 sf	0	8,954 sf	0	8,558 sf	0
View	Lagoon/AI/VG	Lagoon/MtTam/VG	0	Lagoon/Tam/VG	0	Wd/Lagoon/Inferior	+238,000
Design (Style)	Contemporary	Contemporary		Contemporary		Contemporary	
Quality of Construction	Good	Good		Good		Good	
Age	66	65		66		66	
Condition	Good	Superior	-2,363,000	Superior	-2,040,000	Superior	-1,425,000
Above Grade	Total Bdrms Baths	Total Bdrms Baths		Total Bdrms Baths		Total Bdrms Baths	
Room Count	9 4 3	7 5 3.2		10 4 3.1		9 4 3	
Gross Living Area	3,497 sq.ft.	4,304 sq.ft.	-525,000	3,643 sq.ft.	-95,000	2,800 sq.ft.	+453,000
Basement & Finished Rooms Below Grade	None	None		None		None	
Functional Utility	Conforms	Conforms		Conforms		Conforms	
Heating/Cooling	Radiant	FWA		FWA		FWA	
Energy Efficient Items	None	None		None		None	
Garage/Carport	Open Parking	2 Car Garage	-315,000	2 Car Garage	-272,000	1 Car Garage	-95,000
Porch/Patio/Deck	Deck, Patio	Patio		Deck, Patio		Patio	
Pool	None	None		Pool		None	
Dock, ADU	Dock	Dock		Dock		Dock	
Accessory dwelling unit	None	None		ADU	-340,000	None	
Net Adjustment (Total)		<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ -2,987,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ -2,380,000	<input type="checkbox"/> + <input checked="" type="checkbox"/> -	\$ -465,000
Adjusted Sale Price of Comparables			\$ 4,890,000		\$ 4,420,000		\$ 4,285,000

SALES COMPARISON APPROACH

Summary of Sales Comparison Approach **Abbreviations used in the sales grid:**

BATH COUNTS are expressed as the number of full and half baths EXAMPLE 2 full baths and 1 half bath is expressed as 2.1

COE - Close of Escrow

Conv - Conventional financing

Doc - document number, year-number

DOM - Days on Market

E - effective year

Insp - Inspection

Inf - Inferior

MLS - Multiple Listing Service

NRCC - non recurring closing costs

Net site quality - considers site utility and privacy for a net rating, see individual sales comments in the narrative

Res - Residential

SI - Slightly

Sup or Sp - Superior

VIEWES: Res - residential, Wd - wooded, City - San Francisco skyline, GGB - Golden Gate Bridge, RSR - Richmond San Rafael Bridge, BB - Bay Bridge, EB east bay, NB north bay, PTL - partial, AI - Angel Island

Comments for each sale are located in the narrative addendum.



NARRATIVE ADDENDUM

File No. 620217

Client	Howard Luria				
Property Address	150 San Rafael Ave				
City	Belvedere	County	Marin	State	CA
				Zip Code	94920
Client	Howard Luria				

Narrative Part 1, supplemental comments by form section**SUBJECT PROPERTY**

Assessor data identifies the same parcel, 060-031-21 that is the subject of this assignment. A plat map with the highlighted parcel is provided for further identification of the subject. Parcel maps are not survey accurate and should not be relied upon beyond basic identification of the subject.

OWNER OF RECORD

OWNER INFORMATION	
Owner Name	Behnke/ Luria Trust
Owner Name 2	

APPRAISAL ASSIGNMENT

Intended User(s): The client and intended user of this appraisal report is identified on page 1 and agrees by written engagement, to the stated scope of work, purpose of the appraisal and the definition of value attached to this appraisal report. No additional intended use or users are identified by appraiser.

Intended Use: The intended use of the appraisal is to provide current market value and specifically the depreciated value of the building only in connection with a building permit application.

Hypothetical conditions: None.

Extraordinary Assumption: None.

Date of Value: 08/11/2021

Exposure Time:

A reasonable exposure time for the subject property developed independently from the stated marketing time is **30 days**.

Prior Services:

The appraiser has performed no services, as an appraiser or in any other capacity, regarding the subject property in the three years prior to accepting this assignment.

Scope of Work:

An interior and exterior inspection was performed for this appraisal.

Definition of Value: The definition of market value used in this assignment is contained in the attached certification pages.

As part of the Scope of Work, the appraisal was developed by gathering information on the subject from Realist, Marin County Assessor online, Marin Map and the Bay Area Multiple Listing Service (MLS). Realist includes owner of record and sales of the subject within the past three years and current or past listings within the past 12 months of the date of this appraisal.

This Appraisal Report sets forth only a summary of the comparable sales and their comparability to the subject and the appraiser's conclusion. Supporting documentation is retained in the appraiser's workfile.

The most favored approach to value in this assignment is the Sales Comparison Approach as it best reflects the motivations and actions of buyers and sellers in the market by researching and verifying sales data, selecting units of comparison, analyzing and adjusting the comparables and reconciling the value indications. Major elements of comparison are:

- location
- use/zoning
- real property rights conveyed
- financing terms
- conditions of sale
- market conditions
- physical characteristics
- economic characteristics

The cost approach will be developed but is typically given less consideration due to the subjective nature of the amount of depreciation for a building and limited information relating to entrepreneurial incentive. Limited land sales also reduce the accuracy of the cost approach. The third approach to value is the income approach. This approach relies on sales of property that were leased to develop a gross income multiplier using the sales price and the lease amount. Since few residential properties sell with current market leases, this approach is given the least consideration in the assignment and is not considered essential to establish market value in this assignment.

NARRATIVE ADDENDUM

File No. 620217

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Client	Howard Luria				

In the Sales Comparison Approach, closed sales are utilized in comparison to the subject property. This would include sales outside of the subject neighborhood if deemed necessary. Adjustments were made for any significant differences between the comparables and subject. Information on the comparable sales is based on public records, Realist data, Bay Area Multiple Listing Service (MLS), building departments and observation from the street if possible. Additional verification of property data is ranges from discussions with agents familiar with the property or the transaction. When I have inspected the comparables, I disclose the fact by placing the word "inspection" after the document number in the sales grid.

All three approaches to value are referenced in this report. The comparable sales approach is developed, the cost and income approaches are referenced and discussed in the final reconciliation. The income approach is weighted the least as the predominant occupancy is by owner.

Subject Listing History:

The subject property was listed for sale 6/5/2021 for \$3,450,000. Prior listing spanned June 2015 to April 2016 at \$3,995,000. An older 2015 listing for \$4,200,000 and the oldest from 2014 was \$5,500,000.

Subject Sales History:

The subject sold on 7/2/2021 for \$4,750,000 after 13 days on market. The listing states there were 4 offers and no concessions.

COVID-19 Statement and Market Conditions

This appraisal was performed following public awareness that the novel Coronavirus-19 (COVID-19) is affecting residents of the United States. At the time of the appraisal inspection, COVID-19 was beginning to have widespread health and economic impacts. The effects of COVID-19 on the subject's real estate market may not be measurable. The analyses and the value opinion in this appraisal are based on the data available to the appraiser at the time of the assignment and apply only as of the effective date. No analyses or opinions contained in this appraisal should be construed as predictions of future market conditions or value.

SITE SECTION No additional comments.

IMPROVEMENTS - assessor.

Property Characteristics as of 08/14/2021	
Use Code	11
Use Code	Single-Resid. - Improved
Definition	
Living Units	1
Land Sq. Ft.	9,450
Construction Year	1955
Living Area Sq. Ft.	3,499
Number of Bedrooms	4
Number of Bathrooms	3
Garage Sq. Ft.	0
Deck/Patio Sq. Ft.	175
Pool Sq. Ft.	0
Unfinished Sq. Ft.	900

No "unfinished" space of 900 sf was observed. The storage and the enclosed porch first level is 545 sf and the upper level enclosed porch is 157 sf for a total of 702 sf that has less finish than the main living area. See photos. The boiler and the fireplace/planter area in the living room total 119 sf leaving a variance of 79 sf. Small variances in building sizes are typical and it is beyond the scope of this assignment to reconcile the minimal difference.

Condition of the house continued from page 1 -

The subject is slab on grade construction with footings that support the vertical members. Framing is a mix of stud walls and steel with the living room being the most prominent example of the steel frame with its 30 foot free span and 18' ceiling height. Ceilings have exposed steel I beams, corrugated metal and 9' ceilings height. Ample skylights. Floor to ceiling window and sliding door systems in most room. Bedroom floors have carpet but the hallways and the living room have highly polished, colored concrete floors. Kitchen has laminate flooring. The primary bath has tile flooring and the other baths have laminate type flooring. Most of the windows and sliders are single pane. The exposed steel beams and the corrugated metal for the roof system are faux painted on the interior and show no wear or tear.

From a design perspective, the contemporary style with tall ceilings and broad hallways presents a large well proportioned envelope where the interior walls can be reconfigured. The most attractive feature is the 18 foot window wall of the living room that floods the interior with light and captures the lagoon and Angel Island view. There are ample skylights for all the rooms. There is ample closet and storage space off the foyer. The enclosed porch on the first level has a full roof and skylight. The enclosed porch off the upper level den has windows and a slider to the den, fully finished tile floor.

The physical condition is rated good due to the extensive remodel in 1975. The work performed lowers the effective age of the building. The concrete floors show typical cracking but overall usable condition. The interior walls and ceilings show good condition. The kitchen shows older updates to the flooring and cabinetry, good overall condition. The primary bath is dated but shows good condition. The two secondary baths show more wear and tear but generally good condition. Exterior stucco walls are in good condition with minimal wear. The lower level roof shows average condition, the upper level roof was not visible. No ceiling leaks were visible in any part of the building I observed. Lifetime maintenance appears good.

NARRATIVE ADDENDUM

File No 620217

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Client	Howard Luria				

SALES COMMENTS**Data Selection and Adjustment Methodology**

The market area is defined on page 1. The competitive market segment is described in the market conditions and provides the framework for the search parameters, identification of reasonable substitutes in the sales comparable approach and analysis of the comparables presented.

Quantified adjustments are applied first utilizing standard measures. Qualitative adjustments are then applied in recognition of market reaction based on analysis of grouped data and discussion with experienced agents and that have first hand interaction with buyers and sellers in the market.

Time - comparables are adjusted from the sale date based on the amount of market change measured in the market conditions data and adjusted as a per cent per day of the sales price. The adjustment amount is rounded to the nearest 1000 and shown in the sales grid on the date of sale line.

Time Adjustment based market conditions				Dollars per day	Adjustment
Effective date	Comp	Sale Price	Sale Date	\$1,315	Amount
				Days	Dollars
8/7/2021	1	\$4,157,000	6/17/2021	50	\$65,750
8/7/2021	2	\$7,000,000	6/30/2021	37	\$48,655
8/7/2021	3	\$4,150,000	3/29/2021	128	\$168,320
8/7/2021	4	\$7,877,000	2/23/2021	164	\$215,660
8/7/2021	5	\$6,800,000	10/28/2020	279	\$366,885
8/7/2021	6	\$4,750,000	10/30/2020	277	\$364,255

Location - all sales used are from the Lagoon market, no location adjustment was supported.

Net Adjusted Sale Pair

The adjusted sale pair below shows the adjustments for main features using a sale pair that captures most of the subject's attributes and pairs with another sale to analyze adjustments. This is not a classic "matched pairs" analysis where a single variable is present, rather a ranking table to organize adjustments based on the quantitative adjustments first, then qualitative adjustments based on discussion with experienced agents.

Net Adjusted Sale Pair		68 Lagoon	46 Lagoon
Sale Price >>>>		\$4,157,000	\$7,877,000
time	see chart	\$66,000	\$216,000
view quality	-5.0%	-\$207,850	\$0
condition	0.0%	\$0	-\$2,363,100
living area sf	\$650	\$1,002,950	-\$524,550
garage/parking	-4.0%	-\$166,280	-\$315,080
Net adjusted value >>>>		\$4,851,820	\$4,890,270
	Variance after adjustments		-0.008

Site - qualities of utility and privacy are primary considerations. The variable topography of Marin County and the extremely limited amount of level sites causes the market to pay a premium for level land. Small level sites can frequently command more in the market than a larger steeply sloped site. Slope can introduce variables of utility (usable area) and amount of privacy. The interaction between the two qualities is a subtle balance the market makes acknowledging the highly desirable quality of a level site or a site with good privacy. Adjustments are applied as a per cent age of sales price based on discussion with experienced agents.

View - overall quality of the view takes into account the depth (distance away), expanse (full, partial or filtered) and the elements that compose the view. Adjustments are applied as a per cent age of sales price based on discussion with experienced agents.

Quality of Construction - is judged from assessor's building quality rating, review of the MLS data and external observation.

Effective Age - is the combined effect of condition and utility. Generally utility is equated with age as the market judges how "up to date" a structure appears in the context of a condition discussion. The market communicates primarily in terms of condition frequently asking "was it a fixer, was it in good condition, when was it remodeled"?

NARRATIVE ADDENDUM

File No. 620217

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Property Address	150 San Rafael Ave				
City	Belvedere	County	Marin	State	CA
				Zip Code	94920
Client	Howard Luria				

For example, a listing typically identifies remodeling or updating that supports the description of condition. For this reason, the main adjustment for effective age and condition is made as a single condition adjustment that is a qualitative judgment made by the market.

Condition - is rated from the review of the MLS data, external observation, discussion with the agent and when noted, prior inspections. Adjustments are extracted from market data when there are high quality adjusted sales pairs to use. Adjustments are rounded in the sales grid to the nearest 1000.

Gross Living Area adjustments are applied on a \$650 per square foot basis that contemplates the variations in bedroom count. Square footage adjustment is derived from the market segment sales data used in this report. Median allocation and depreciation are applied to the median price per square foot for an adjustment amount. The adjustment amount is rounded to the nearest 1000.

Median price per square foot	Weight .5 x .7	Adjustment in sales grid \$/sf >100sf
\$1882.10	\$658.74	\$650

The variance in bathroom count was studied but deemed inconclusive as the lower volume of sales in the past year leaves few good quality comparables to derive a credible adjustment for this feature.

Accessory units - experienced agents estimated the contributory value from "several per cent to up to 10% of the sales price" I used a mid range estimate of 5% of the sales price.

SOLAR PV - MLS and assessor data do not adequately document the ownership of systems. This is problematic as the solar asset is not part of a typical purchase if the system is leased; buyers must qualify separately for the lease of solar equipment to continue the benefits. While the majority of system installations are owned, there are still leased systems in existence. When adequate system data can be obtained, PV Value is used to calculate an estimate of contributory value and an approximate adjustment amount.

According to data published by EnergySage as of November 2020, the solar installations in California average 7.8kW which is below the national average of 10kW. Gross cost is \$2.83 per watt in 2019 as reported in July 2020. Given system size of 7.8 kilowatts (kW), an average solar PV installation would be \$22,074. The majority of systems are quoted with storage, the prevalent battery storage solution being Tesla PowerWall 2 that averages \$3500 to \$5000. This would imply a range of \$25,574 to \$27,074.

Pools have a wide range of age and quality that are not documented in the MLS data or assessment records, no adjustment is attempted.

The subject does benefit from ample storage. Review of the listings finds all the sales but Sale 6 to have reasonable amounts of storage that would be considered competitive and no adjustment is attempted. The limited storage of Sale 6 is considered in the final reconciliation.

Sale not used:

61 Peninsula Road is a recent off market sale that closed on 5/24/2021 for \$10,000,000. Review of the limited listing information states there was a second residence on the site with 2 bedrooms and 2 baths. This was also one of the largest lots on the lagoon at 13,326 sf with a generous frontage of 158' on the lagoon.

INDIVIDUAL SALES COMMENTS

All sales used are in a flood zone similar to the subject and all back to the lagoon. The subject and the sales are members of the Belvedere Lagoon Property Owners Association.

Sale 1 is 68 Lagoon Road, a recent and proximate sale. This sale occupies a similar good quality site that backs to the lagoon with good site utility and privacy. The views capture a portion of the city skyline and are adjusted as slightly superior based on discussion with experienced agents. The condition according to the listing is "fixer, original" but would be more appropriately called dated with need for updating in my opinion, similar to the subject. While the finishes do not meet today's expectations of most buyers, the building is serviceable and has plenty of useful life similar to the subject. The single level structure does not appear to be in massive decline or suffering major damage based on review of the MLS and external observation. The city's resale inspection notes a 1966 bedroom and bath additions and 1975 bathroom and fireplace addition and a 1985 kitchen remodel. An application for an interior remodel was submitted in November 2020 but no permit was issued. From the listing:

"Sought-after single level residence on Belvedere Lagoon with loads of potential. Flat lawn and patio area offer the ideal setting for entertaining family and friends. Sweeping views across the lagoon and Mount Tamalpais. Living room features original hardwood flooring. The indoor and outdoor flow is ideal with the living spaces opening to the private patio and level yard. Vacation at home with a private dock, 2 car garage. New boiler for radiant heat system. Ideal location close to Downtown Tiburon. ". The sale closed at 1.39% over the list price, all cash with no concessions.

The single most important note regarding this resale is the increase in value from 3/3/2020 at \$3,077,000 to \$4,157,000 on 6/17/2021 - a 35.1% increase in price in 16 months with no remodeling to the house. Analysis of all the competitive sales in the lagoon market shows similar strong growth illustrated by the scatter chart in the market conditions addendum. The median linear increase is used to support the time adjustments used in this appraisal. This resale is referenced as it demonstrates the strong demand for waterfront property but is not considered the sole support for the increase in the market.

Sale 2 is 26 Cove Road, a recent and proximate sale of a remodeled house. This sale occupies a similar quality site with good utility and similar privacy. The views over the lagoon capture Mount Tamalpais and appear similar quality, noted in the 2014 listing. The prior listing from 2014 also notes a remodel in the mid 1990's. The resale report from the city notes a second story addition in 1987 and a 2015 renovation and addition consistent with the superior condition shown in the recent listing and external observation. From the listing:

NARRATIVE ADDENDUM

File No. 620217

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City	Belvedere	County	Marin	State	CA
				Zip Code	94920
Client	Howard Luria				

" Stunning four bedroom and three and one bath modern farmhouse on Belvedere Lagoon. Completely remodeled in 2018. Open concept kitchen, living room, and dining room with vaulted ceilings. Sliding doors open to expansive Bluestone patio with outdoor fireplace. Wide plank hardwood floors throughout entire home. Primary bedroom with spa-like bath, private balcony with water and Mount Tamalpais views. Backyard with hot tub and large lpay waterfront deck. Amazing indoor-outdoor California lifestyle. ". The sale closed at full price, all cash with no concessions.

Sale 3 is 7 Leeward Road, a recent and proximate sale. This sale occupies a similar level site that backs to the lagoon with good utility and similar privacy, no adjustment. The view is oriented over the lagoon and toward Angel Island that is partially obscured but the view depth is similar, no adjustment warranted for the minor inferiority in my opinion. The condition is rated similar based on review of the MLS and external observation. From the listing:

" Mid Century Custom built Belvedere Lagoon home is on a desirable cul-de-sac close to the Park with easy access to the areas amenities, and the Ferry. Entering through a double door to a verdant private inner courtyard. This single level floor plan offers the ultimate indoor-outdoor Marin lifestyle. The living room has open beamed ceilings, a gas fireplace, with access to both the courtyard and the backyard. The rear yard has a deck with sitting benches, and boat dock with access to the lagoon. The kitchen has tile counters and stainless appliances. An oversized primary bedroom with a gas fireplace, walk-in closet and a wall of closets, and a private patio. The primary bathroom has double sinks and access to a private patio. Additionally there are 3 generous bedrooms. Beautiful hardwood floors throughout with the primary bedroom being carpeted. Has a 2 car covered carport plus additional storage. ". The sale closed at 10.6% over the list price all cash with no concessions.

Sale 4 is 46 Lagoon Road, a recent and proximate sale with a very similar site, similar view quality but a house in superior condition from an extensive 2016 remodel and a prior 1996 remodel. The open views over a broad portion of the lagoon to the south and a westerly view over the water toward Mount Tamalpais is rated very good, no adjustment. Similar two level structure with a dock that spans the lagoon frontage, similar to the subject. This house shows extensive remodeling over the years and shows superior condition from review of the recent MLS and external observation. From the listing:

"Vacation at home on the coveted Belvedere Lagoon. Stunning renovation in 2016 w/decorator touches and a great sense of style. Sweeping views across the water to Mount Tamalpais. Combining a contemporary design with an abundance of natural light, this stylish home is an entertainer's dream, situated on one of the best sites on the Belvedere Lagoon. This luxury waterfront home seamlessly connects the indoors to the outdoors. The landscaping and outdoor entertainment areas were designed to perfection offering a turf lawn, fire pit, multiple entertainment areas and dock. All of the main living spaces open to the sunny outdoors. The great room offers a modern kitchen, dining room and family room. Private master suite upstairs with luxurious bathroom, 2 attached garage. This magnificent residence is located in a premiere Belvedere location offering close proximity to downtown Tiburon, waterfront pathways, ferries, the Boardwalk shopping center & yacht clubs ". The sale closed at with no concessions."

The sale closed at full price, all cash with no concessions.

Sale 5 is 27 Windward Road, a recent and proximate sale on the lagoon. As an off market sale, there was limited data in the listing. This sale enjoys a similar good quality site with good utility and good privacy. The view captures Mount Tamalpais over the lagoon for a similar quality view, no adjustment. A 2012 listing provides more insight into the quality and the condition of this extensively remodeled house. The 2012 remarks appear below as the 2020 sale was "off market" and had no narrative.

" Sophisticated, elegant, sunny home, facing southwest on the widest part of the Lagoon. Beautifully remodeled and landscaped, very private, sheltered courtyard pool, expansive deck and boat dock with views of Mt. Tam. Venetian plaster surrounds window walls and cathedral skylights throughout. Spacious foyer leads to gourmet kitchen/family room and extraordinary living/dining pavilion. Perfect indoor/outdoor layout for large or intimate gatherings ". The house size in the listing conflicts with the assessor's data. Assessor states the house at 3,643 sf. The listing states 3,902 sf. The assessor's data is used for its documented source. The sale closed at full price, all cash with no concessions.

Sale 6 is 120 San Rafael Avenue. This sale is a single level but has a similar double height ceiling in the living room with expansive windows. The site is similar, no adjustment supported. The small wedge of a view of the lagoon is rated slightly inferior as it is wooded and angled toward the side of the lagoon with residences and lacks the framed view of Angel Island the subject enjoys down the length of the lagoon. There is a Mount Tamalpais view over the Richardson Bay similar to the subject in the westerly direction. Adjusted for a slightly inferior view. Superior condition based on review of the MLS and external observation and prior inspection. From the listing:

" This stylish 4 bed, 3 bath home was remodeled by architect Aleck Wilson and has incredible water views of both the lagoon & the bay as well as Mt. Tam. The dramatic architecture and magazine-worthy design details will appeal to those with a refined sense of style. The gorgeous designer kitchen has beautiful custom cabinetry and spacious entertaining island, which is open to the cozy family room that looks out onto the patio, lawn and lagoon. The dramatic living room is reminiscent of a cathedral, with double-height ceilings, stone walls and exposed timber beams. The single-level layout is ideal for those who want all of their bedrooms to be on the same floor. There is a stately master suite with a luxurious master bathroom that includes an oversized walk-in shower and double vanity sinks, as well as 3 additional bedrooms and 2 additional baths. This modern masterpiece will fulfill your every desire for the Marin outdoor lifestyle. ". The sale closed at full price with no concessions.

Experienced agents in Belvedere: Bill Bullock, Shana Rhode-Lynch, Tracy McLaughlin, Max Applegarth, Bill Smith, Dave Gilbert.

FINAL RECONCILIATION

The three approaches to value are reviewed for data quality and quantity along with a ranking of the quality of the indication of value. The sales approach is favored for its superior data quality and quantity.

The cost approach was completed but the site value estimate is limited in its quality due to the lack of land sales in the market. The lack of entrepreneurial incentive lowers the quality of the cost approach as each project and investor motivation varies widely. The income approach was contemplated but not developed as the market buys to occupy; investors typically seek more appropriate buildings for income streams.

NARRATIVE ADDENDUM

File No 620217

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City	Belvedere	County	Marin
		State	CA
		Zip Code	94920
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Approach	Weight	Explanation
Sales Comparison	Primary	best quality data and plentiful, reflects market behavior
Cost	Secondary	limited land sale data, no entrepreneurial incentive
Income	Not weighted	inferior and limited data- not developed

The contemplation of the cost and income approaches still creates a background for the overall scope of work but their development was not deemed essential in the rendering of a reliable opinion of value for the subject. The sales approach best emulates market response utilizing the most comparable sales data to identify the all significant influences to value and by bracketing the subject's features.

Comparable	Adjusted value	Weighting
1	\$4,852,000	Primary
2	\$5,272,000	Secondary
3	\$4,906,000	Primary
4	\$4,890,000	Primary
5	\$4,420,000	Secondary
6	\$4,285,000	Tertiary

The comparable sales approach is considered the most reasonable and reliable approach to value for its quantity and quality of data. The reasonable range of value is well supported by market based sales and appropriate adjustments. The cost approach is contemplated but due to the lack of vacant land sales and highly variable entrepreneurial incentive - the cost approach is given secondary consideration. Review of the majority of occupancy reveals owner/users in the subject market and the dominant motivation for ownership appears to be for occupancy, not leasing to tenants. The income approach is not considered reliable enough to support a reasonable indication of value without good support of a reliable gross rent multiplier.

Overall the sales data is considered adequate. The time adjustments are extracted from the sub market data and provide a reliable and consistent adjustment for aged transactions. Footage adjustments are derived from the same data set and consistently applied. Qualitative adjustments of view quality and condition are unavoidable. Qualitative reasoning and reasonable adjustment analysis is explored and supported in the net adjusted sales pair to apply a consistent set of adjustments.

Sale 1 is favored for its recent and low net adjustments. Sale 2 is placed in the secondary category for its highly remodeled house in superior condition. Sale 3 is favored for its similar condition and more similar sized house. Sale 4 is given primary consideration for its similar site and view quality that required no adjustments. Sale 4 also brackets the subject's house size and is used in the sale pair to explore the adjustment for condition. The net adjustments are the largest of all the sales but the indicated value is favored due to the use of this sale in the sale pair to demonstrate the impact of condition on price that was also discussed with experienced agents. Sale 5 is weighted less for its data conflicts for the house size between sources and its superior pool and accessory dwelling features. Sale 5 also appears to have been the most extensively remodeled house based on review of the resale report. Sale 6 is given the least weight for its inferior view and smaller sized house with limited storage noted from prior inspection.

The final opinion of value favors Sale 1 with good support from Sales 3 and 4. The subject's recent sale at \$4,750,000 was 37.6% over the list price. Review of the number of offers finds 4 recorded in the listing data and it is not uncommon for qualified buyers to bid property up from the listing price as good quality sites and buildings are very limited. Water front homes have continued to be highly prized not only for the recreational opportunity the lagoon affords but also the uniquely tranquil setting and good views. The resale of sale 1 is noted as strong support of the value trend in the lagoon market. Finally, the subject's steel frame building is in good condition and presents an excellent opportunity for renovation with its interior volume and ceiling heights.

Narrative Part 2 -

Prepared with software from Alamode, Total version 6.100.0 June 8, 2021

Computer Assisted Valuation tools - This assignment and its research, development, reporting and record keeping rely on a variety of software, internet technologies, digital devices and subscription services. The research and analysis are guided by the assignment conditions to render a credible opinion of value. USPAP Rule 2-2(a)(viii) states in part "the content of an appraisal report must be consistent with the intended use of the appraisal and, at a minimum: summarize the information analyzed, the appraisal methods and techniques employed, and the reasoning that supports the analyses, opinions and conclusions."

Page 1 data identifies the assignment, the subject, the market, market conditions, the site and the physical property data. Analysis of the market and the conditions relevant to the assignment are studied from on line searches of MLS and public records data. Property information for the subject and comparables is researched from the assessor and data provided by the zoning authority, applicable building departments if available, FEMA and other agencies, aerial images and mapping services. Search parameters and inputs are explained in the market conditions and illustrated on the index page that reports market conditions. Primary analysis is from sales data compiled from the MLS and Realist data. Search parameters and inputs are disclosed in the market conditions analysis. My market analysis uses Excel and its charting functions to report value trends and time adjustments numerically and graphically.

NARRATIVE ADDENDUM

File No. 620217

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City	Belvedere	County	Marin	State	CA	Zip Code	94920
Client	Howard Luria						

My property inspections use an iPhone 6 with a 29mm lens for image recording. A laser measuring device for building measurements along with steel tape for readily accessed portions of the buildings and Alamode's integrated sketching software for building sketches and area calculations. Marin Map is used for site analysis for slope, usable area and approximate measurement of usable area.

Highest and Best Use:

A summary in the support of the rationale for the opinion of the subject's highest and best use is presented here.

The subject site "as vacant" meets the tests of physical possibility, legal permissibility, financial feasibility and maximum productivity. The subject has a desirable building site and the most probable buyer would be an owner/builder. Market analysis reveals a mature, developed area with few vacant sites.

The subject "as improved" is consistent with the expectations of the majority of buyers in the market segment as analyzed in the market conditions analysis. The subject meets the following tests of physical possibility, legal permissibility, financial feasibility and maximum productivity that are consistent with the continued use as improved residential property. No other competing use was discovered.

The benefit of the subject's steel construction is freedom of design that can be exercised in the large interior volume without the need of load bearing walls. As an envelope, the subject has distinct renovation possibilities as it appears structurally sound with ample interior space. Renovation appears feasible and reasonable. Demolition is more likely to be cost prohibitive due to the structural steel and substantial footings.

The R1-L zoning allows single family residential use. The subject meets the test of a legally permissible use.

COST APPROACH

Cost data is from Craftsman Book online cost approach service called the National Appraisal Estimator and adjusted for local conditions. Depreciation is straightline age/life. When no land sales are available, the opinion of site value is developed from the extraction method that assumes depreciation disclosed in the table and reconciling the site value indications for support of the opinion of site estimate in the cost approach.

Extraction is a method of determining site value by the following steps. Each sale is estimated as new building at the same cost per square foot. An estimate of the depreciation is shown as "per cent good" to reflect the observed depreciation. The depreciated improvements are subtracted from the sales price for an indication of site value.

Address	cost psf	Building size	Estimated building cost new	per cent good	depreciated cost	Sale Price	indication of site value
68 Lagoon	\$900	1954	\$1,758,600	0.60	\$1,055,160	\$4,157,000	\$3,101,840
27 Windward	\$900	3643	\$3,278,700	0.90	\$2,950,830	\$6,800,000	\$3,849,170
120 San Rafael	\$900	2800	\$2,520,000	0.90	\$2,268,000	\$4,750,000	\$2,482,000

68 Lagoon is weighted less for the small building size. 27 Windward is given minimal consideration since this sale was in clearly superior condition based on the number of remodels in the resale report that started in 1981 with an addition, 1996 partial demolitions, remodel and alteration, 2001 accessory dwelling unit added over the garage, 2012 kitchen remodel. 120 San Rafael was also remodeled and in superior condition but it is the most proximate site with very similar orientation. The opinion of site value favors 120 San Rafael Avenue with minor consideration to 68 Lagoon and 27 Windward.

Building cost per square foot is developed from the National Appraisal Estimator published by Craftsman Book and adjusted for local conditions. Physical depreciation is based on a straightline age/life calculation. The majority of residential structures in Marin are calculated with a 75 year life due to their basic construction quality, materials and the mild climate. While many are well past 75 years of chronological age, continued maintenance, updating and remodeling extend the useful, actual and economic life of buildings.

Northern California fires in October 2017 (Tubbs) November 2018 (Camp) and September 2020 (Glass) have impacted Marin County builders and their crews as they attempt to meet demand in the rebuilding efforts to the north of Marin. CalFire estimated 7500 homes lost in the set of fires in October 2017. 2018 Camp fire consumed the Town of Paradise, 14,000 homes and 85 lives lost. 2020 saw some of the areas burned in 2017 during the Tubbs fire threatened again during the Glass fire in September and October.

"The number of qualified subcontractors is as small as it's been in a generation" is a common refrain from many building professionals. The reasons for this are complex, but the trigger event, commonly accepted, was the recession, starting in 2000, when the housing market began to collapse. Builders and developers were left high and dry and the labor force had to look elsewhere, often back in Mexico, to find work to support their families. When the economy picked up, many did not come back. There was economic growth in Mexico... immigration policies of the administration did not favor return to the U.S. The shortage of construction workers may be a cultural and regional shift as many young people move into the well paying technology sector.

INCOME APPROACH

The income approach to value was not developed for this report.

NARRATIVE ADDENDUM

File No. 620217

Client	Howard Luria		
Property Address	150 San Rafael Ave		
City	Belvedere	County	Marin
		State	CA
		Zip Code	94920
Client	Howard Luria		

Hazards

Hazards are disclosed to the extent they are explained to the appraiser by the owner.

Flood zone data per FEMA.

According to the United States Geological Survey as of 2020. The USGS states National Seismic Hazard Maps are not designed to forecast earthquakes, only to illustrate the probability of different events that might occur in a several year to several decade period. Probability of an earthquake in the San Francisco Bay area:

Within the next 30 years the probability is:

- 72% that an earthquake measuring magnitude 6.7
- 51% that an earthquake measuring magnitude 7
- 20% that an earthquake measuring magnitude 7.5

Wildfire continues to affect communities in California that are proximate to forests and grass land open space. According to Cal Fire the 2017 Tubbs Fire destroyed 4,658 homes in Santa Rosa in the county of Sonoma north of Marin county. The 2018 Camp Fire has destroyed 6,700 homes and most of the town of Paradise north of Sacramento in Yolo county.

Marin County is home to 23 communities listed on CAL FIRE's Communities at Risk list, and approximately 80% of the land area in the county is designated as having moderate to very high fire hazard severity ratings. Structures located in the WUI-where homes are intermixed with open space and wildland vegetation-are at the highest risk from wildfires due to the density of vegetation and limited access for fire fighters. A recent assessment by the MCFD revealed there are approximately 69,000 living units valued at \$59 billion within Marin County's WUI.

COVID-19

On March 19, 2020 the Governor of California has issued a stay at home order that is in place until further notice.
<https://covid19.ca.gov/stat-home-except-for-essential-needs>

On September 1, 2020 California Governor Newsom announced the "blueprint for a safer economy," a gradual process for reopening businesses in California, on August 28. A replacement for the County Monitoring List, the blueprint is a four-tier, color-coded system for business reopening based on each county's specific coronavirus (COVID-19) case rates and percentage of positive tests.

Four Tiers

Purple Tier – "Widespread": A county will be in the Purple Tier if it has seven or more new cases per 100,000 members of its population. All counties that were on the state's County Monitoring List as of August 28 are currently in the Purple Tier.

Red Tier – "Substantial": A county will be in the Red Tier if it has four to seven new cases per 100,000 members of its population and if its positivity rates are between 5% and 8%.

Orange Tier – "Moderate": A county will be in the Orange Tier if it has fewer than four new cases per 100,000 members of its population and if its positivity rate is between 2% and 4.9%.

Yellow Tier – "Minimal": A county will be in the Yellow Tier if it has less than one new case per 100,000 members of its population and if less than 2% of people in the county are testing positive for COVID-19.

Permissible Activities/Businesses Per Tier

The tier system allows businesses that have a lower risk of spreading COVID-19 to open even when the county is in the Purple or Red Tier. By contrast, higher-risk businesses are not allowed to open until the county moves to the Orange or Yellow Tier.

Whether a business is considered to be high-risk depends on whether the business can meet the following factors:

Ensure face coverings are worn at all times (for example, eating and drinking in restaurants requires temporarily removing face coverings, which increases risk)

Provide physical distance between individuals from different households

Limit the number of people per square foot

Limit time that an individual is at the business or activity

Limit time of exposure

Limit mixing of people from different households

Limit amount of physical interactions of visitors/patrons

Increase airflow (such as operating outdoors or opening windows and doors)

Limit activities that increase virus spread (like singing, shouting, and heavy breathing)

Under the blueprint, certain businesses the state ordered to close on July 13 were allowed to reopen statewide regardless of the county tier on August 31. These include hair salons and barbershops, retail, and shopping centers (at a maximum capacity of 25%).

As of November 20, 2020 the state shows a 5.2% positivity rate with 16,500 new cases per 100,000. Marin county shows 6.2%.

As of December 3, 2020 the state announces a regional stay home order signed December 6, 2020 that went into effect based

NARRATIVE ADDENDUM

File No. 620217

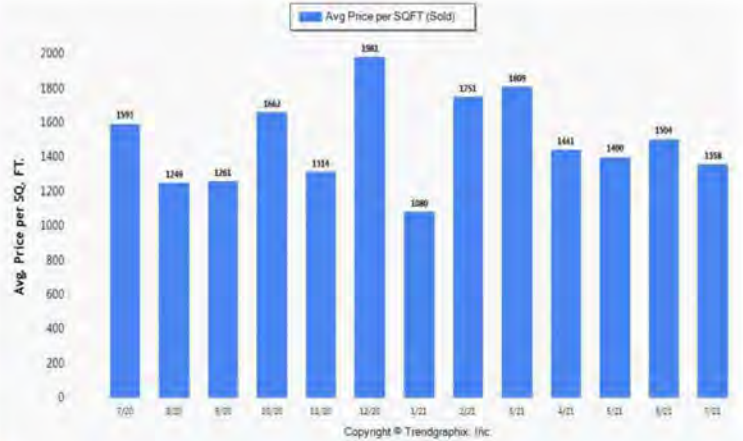
Client	Howard Luria				
Property Address	150 San Rafael Ave				
City	Belvedere	County	Marin	State	CA Zip Code 94920
Client	Howard Luria				

on intensive care unit capacity in each of the 5 regions. Marin county is grouped with Bay Area;
Alameda, Contra Costa, Marin, Monterey, Napa, San Francisco, San Mateo, Santa Clara, Santa Cruz, Solano, Sonoma

MARKET CONDITIONS, CHARTS

Client	Howard Luria						
Property Address	150 San Rafael Ave						
City	Belvedere	County	Marin	State	CA	Zip Code	94920
Client	Howard Luria						

Charts on the right are produced by Trendgraphix courtesy of BAREIS



Subject Market

Belvedere is oriented towards Richardson Bay, San Francisco Bay, the San Francisco city skyline, Alcatraz Island, Golden Gate Bridge and Angel Island with the east and north bay in the distance. There are four markets, the Lagoon, the Island, West Shore Road and Corinthian Island that is divided between Belvedere and Tiburon.

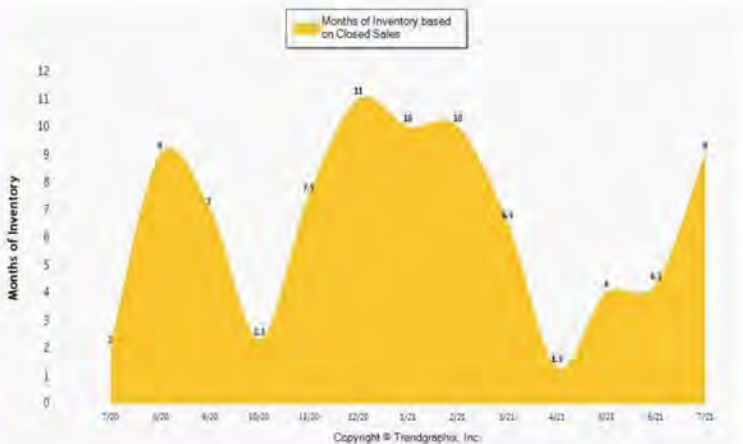
Average price per square foot

All Belvedere sales (including the Lagoon, Island, West Shore and Corinthian). Chart by Trendgraphix, Inc. courtesy of BAREIS.



Value Trend

These are the 17 sales over the past year in the subject's Lagoon market. The linear median trend shows a \$1,315.60 per day increase. Sales had median days on market of 13. Sales closed at full price with one sale closing at 37.6% over the list price which is the subject property.



Listing Inventory

This chart illustrates all Belvedere markets inventory in the prior year. Inventory rose sharply late 2020 and into early spring 2021 but sold off rapidly. April 2021 had just 1.3 months of supply. Inventory returned to more typical levels as supply and demand rebalanced into the summer of 2021. The median for the year was 7 months supply that is roughly balanced considering pandemic pauses.

Subject photos front rear street

Client	Howard Luria						
Property Address	150 San Rafael Ave						
City	Belvedere	County	Marin	State	CA	Zip Code	94920
Client	Howard Luria						

**Subject Front**

150 San Rafael Ave
 Sales Price
 Gross Living Area 3,497
 Total Rooms 9
 Total Bedrooms 4
 Total Bathrooms 3
 Location Good
 View Lagoon/AI/VG
 Site 9,450 sf
 Quality Good
 Age 66

**Subject Rear****Subject Street**

Subject photos main exterior

Client	Howard Luria						
Property Address	150 San Rafael Ave						
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Client	Howard Luria						



entry gate from driveway



front area by San Rafael Avenue



right side



left side



rear along the living room



rear patio off the living room

Subject building detail photos page 1

Client	Howard Luria				
Property Address	150 San Rafael Ave				
City	Belvedere	County	Marin	State	CA
Client	Howard Luria				



wide eaves



from den to the living room



enclosed upper porch



fireplace and planters



entry way



kitchen



kitchen



kitchen



entry bath



small bath



primary bath



primary bath spa tub

Subject building detail photos page 2

Client	Howard Luria				
Property Address	150 San Rafael Ave				
City	Belvedere	County	Marin	State	CA Zip Code 94920
Client	Howard Luria				



den and open area to l/r



I beam and ceiling detail



den looking toward stairs



lower roof



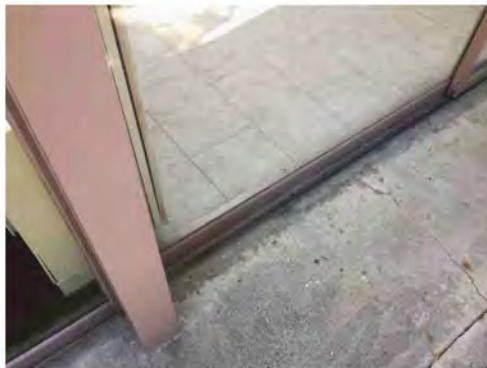
foyer, wide halls



bedroom



front bedroom with patio



inside/outside



downspouts



footing along living room



beam and window detail



interior beam and ceiling

Comparable Photo Page

Client	Howard Luria				
Property Address	150 San Rafael Ave				
City	Belvedere	County	Marin	State	CA Zip Code 94920
Client	Howard Luria				



Comparable 1

68 Lagoon Rd	
Prox. to Subject	0.41 miles E
Sales Price	4,157,000
Gross Living Area	1,954
Total Rooms	6
Total Bedrooms	3
Total Bathrooms	2
Location	Good
View	Lgn/PtiCity/SI. Sup
Site	7,676 sf
Quality	Good
Age	65



Comparable 2

26 Cove Rd	
Prox. to Subject	0.61 miles SE
Sales Price	7,000,000
Gross Living Area	2,785
Total Rooms	6
Total Bedrooms	4
Total Bathrooms	3.1
Location	Good
View	Lagoon/Mt Tam/VG
Site	5,998 sf
Quality	Good
Age	73



Comparable 3

7 Leeward Rd	
Prox. to Subject	0.39 miles SE
Sales Price	4,150,000
Gross Living Area	2,464
Total Rooms	7
Total Bedrooms	4
Total Bathrooms	3
Location	Good
View	Lagoon/Similar
Site	6,660 sf
Quality	Good
Age	70

Comparable Photo Page

Client	Howard Luria						
Property Address	150 San Rafael Ave						
City	Belvedere	County	Marin	State	CA	Zip Code	94920
Client	Howard Luria						

**Comparable 4**

46 Lagoon Rd	
Prox. to Subject	0.33 miles E
Sales Price	7,877,000
Gross Living Area	4,304
Total Rooms	7
Total Bedrooms	5
Total Bathrooms	3.2
Location	Good
View	Lagoon/MtTam/VG
Site	9,380 sf
Quality	Good
Age	65

**Comparable 5**

27 Windward Rd	
Prox. to Subject	0.19 miles E
Sales Price	6,800,000
Gross Living Area	3,643
Total Rooms	10
Total Bedrooms	4
Total Bathrooms	3.1
Location	Good
View	Lagoon/Tam/VG
Site	8954 sf
Quality	Good
Age	66

**Comparable 6**

120 San Rafael Ave	
Prox. to Subject	0.04 miles NE
Sales Price	4,750,000
Gross Living Area	2,800
Total Rooms	9
Total Bedrooms	4
Total Bathrooms	3
Location	Good
View	Wd/Lagoon/Inferior
Site	8,558 sf
Quality	Good
Age	66

Location Map

Client	Howard Luria						
Property Address	150 San Rafael Ave						
City	Belvedere	County	Marin	State	CA	Zip Code	94920
Client	Howard Luria						



Subject maps

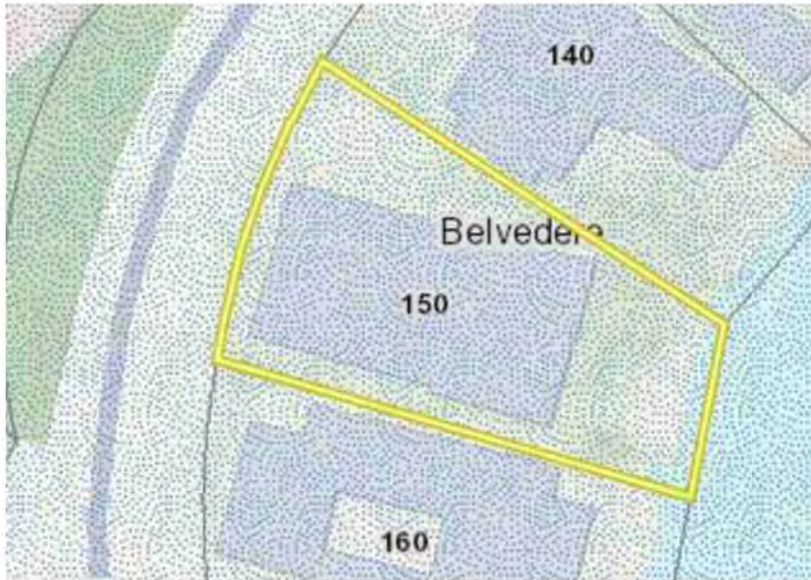
Client	Howard Luria		
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Client	Howard Luria		



Assessor's plat map

150 San Rafael Ave
 source: Marin County assessor

060-031-21



Topo Map

source: Marin Map GIS

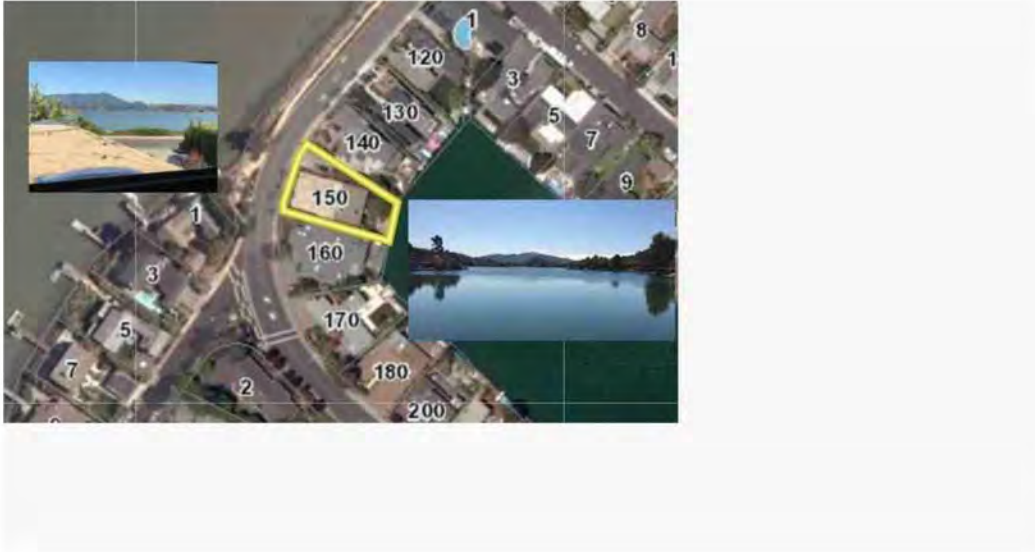
Average slope

Zoning



Aerial

source: Marin Map GIS



Main view is oriented to the east toward Angel Island over the length of the lagoon shown bottom right. Mount Tamalpais is visible from the den on the upper floor show on the upper left.

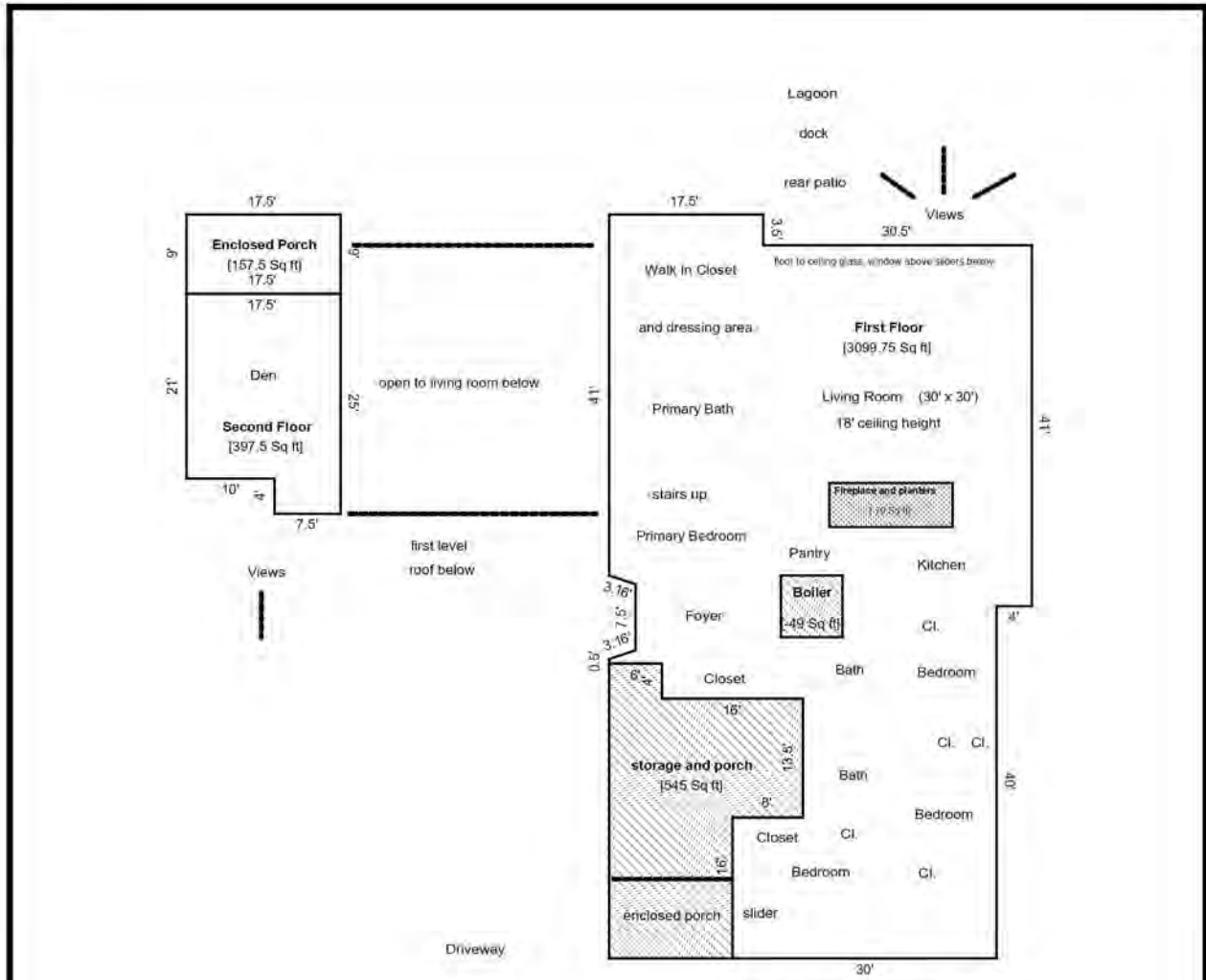


R1-L zoning

Building Sketch

Client	Howard Luria		
Property Address	150 San Rafael Ave		
City	Belvedere	County	Marin
		State	CA
Client	Howard Luria	Zip Code	94920

The appraiser is not an architect, engineer or contractor. The floor plan is only intended to aid the intended user to visualize the floor plan.



San Rafael Avenue

TOTAL Sketch by a la mode, inc.

Area Calculations Summary

Living Area	Calculation Details	
First Floor	3218.75 Sq ft	$30 \times 16 = 480$ $22 \times 13.5 = 297$ $17.5 \times 3.5 = 61.25$ $48 \times 37.5 = 1800$ $3.5 \times 4 = 14$ $14 \times 38 = 532$ $10 \times 3 = 30$ $3 \times 0.5 = 1.5$ $0.5 \times 3 \times 1 = 1.5$ $0.5 \times 1 \times 3 = 1.5$
Boiler	-49 Sq ft	$7 \times 7 = 49$
Fireplace and planters	-70 Sq ft	$14 \times 5 = 70$
Second Floor	397.5 Sq ft	$17.5 \times 21 = 367.5$ $4 \times 7.5 = 30$
Total Living Area (Rounded):	3497 Sq ft	
Non-living Area		
Enclosed Porch	157.5 Sq ft	$9 \times 17.5 = 157.5$
storage and porch	545 Sq ft	$14 \times 16 = 224$ $13.5 \times 16 = 216$ $17.5 \times 6 = 105$

620217

Assumptions & Limiting Conditions

File No.: 620217

Property Address: 150 San Rafael Ave

City: Belvedere

State: CA

Zip Code: 94920

Client: Howard Luria

Address:

Appraiser: Mark H. Lindsay

Address: 617 Broadway, #653, Sonoma, CA 95476

STATEMENT OF ASSUMPTIONS & LIMITING CONDITIONS

- The appraiser will not be responsible for matters of a legal nature that affect either the property being appraised or the title to it. The appraiser assumes that the title is good and marketable and, therefore, will not render any opinions about the title. The property is appraised on the basis

of it being under responsible ownership.

- The appraiser may have provided a sketch in the appraisal report to show approximate dimensions of the improvements, and any such sketch

is included only to assist the reader of the report in visualizing the property and understanding the appraiser's determination of its size. Unless otherwise indicated, a Land Survey was not performed.

- If so indicated, the appraiser has examined the available flood maps that are provided by the Federal Emergency Management Agency (or other

data sources) and has noted in the appraisal report whether the subject site is located in an identified Special Flood Hazard Area. Because the appraiser is not a surveyor, he or she makes no guarantees, express or implied, regarding this determination.

- The appraiser will not give testimony or appear in court because he or she made an appraisal of the property in question, unless specific arrangements to do so have been made beforehand.

- If the cost approach is included in this appraisal, the appraiser has estimated the value of the land in the cost approach at its highest and best

use, and the improvements at their contributory value. These separate valuations of the land and improvements must not be used in conjunction

with any other appraisal and are invalid if they are so used. Unless otherwise specifically indicated, the cost approach value is not an insurance

value, and should not be used as such.

- The appraiser has noted in the appraisal report any adverse conditions (including, but not limited to, needed repairs, depreciation, the presence

of hazardous wastes, toxic substances, etc.) observed during the inspection of the subject property, or that he or she became aware of during the

normal research involved in performing the appraisal. Unless otherwise stated in the appraisal report, the appraiser has no knowledge of any hidden or unapparent conditions of the property, or adverse environmental conditions (including, but not limited to, the presence of hazardous

wastes, toxic substances, etc.) that would make the property more or less valuable, and has assumed that there are no such conditions and makes no guarantees or warranties, express or implied, regarding the condition of the property. The appraiser will not be responsible for any

such conditions that do exist or for any engineering or testing that might be required to discover whether such conditions exist. Because the appraiser is not an expert in the field of environmental hazards, the appraisal report must not be considered as an environmental assessment

of

the property.

- The appraiser obtained the information, estimates, and opinions that were expressed in the appraisal report from sources that he or she considers to be reliable and believes them to be true and correct. The appraiser does not assume responsibility for the accuracy of such items

that were furnished by other parties.

- The appraiser will not disclose the contents of the appraisal report except as provided for in the Uniform Standards of Professional Appraisal Practice, and any applicable federal, state or local laws.

- If this appraisal is indicated as subject to satisfactory completion, repairs, or alterations, the appraiser has based his or her appraisal report and valuation conclusion on the assumption that completion of the improvements will be performed in a workmanlike manner.

- An appraiser's client is the party (or parties) who engage an appraiser in a specific assignment. Any other party acquiring this report from the

client does not become a party to the appraiser-client relationship. Any persons receiving this appraisal report because of disclosure requirements

applicable to the appraiser's client do not become intended users of this report unless specifically identified by the client at the time of the assignment.

- The appraiser's written consent and approval must be obtained before this appraisal report can be conveyed by anyone to the public, through advertising, public relations, news, sales, or by means of any other media, or by its inclusion in a private or public database.

- An appraisal of real property is not a 'home inspection' and should not be construed as such. As part of the valuation process, the appraiser performs a non-invasive visual inventory that is not intended to reveal defects or detrimental conditions that are not readily apparent. The presence

of such conditions or defects could adversely affect the appraiser's opinion of value. Clients with concerns about such potential negative factors

are encouraged to engage the appropriate type of expert to investigate.

620217

Definitions & Scope of Work

File No.: 620217

Property Address: 150 San Rafael Ave City: Belvedere State: CA Zip Code: 94920

Client: Howard Luria Address:

Appraiser: Mark H. Lindsay Address: 617 Broadway, #653, Sonoma, CA 95476

DEFINITION OF MARKET VALUE *:

Market value means the most probable price which a property should bring in a competitive and open market under all conditions requisite to a fair sale, the buyer and seller each acting prudently and knowledgeably, and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby:

1. Buyer and seller are typically motivated;
2. Both parties are well informed or well advised and acting in what they consider their own best interests;
3. A reasonable time is allowed for exposure in the open market;
4. Payment is made in terms of cash in U.S. dollars or in terms of financial arrangements comparable thereto; and
5. The price represents the normal consideration for the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

* This definition is from regulations published by federal regulatory agencies pursuant to Title XI of the Financial Institutions Reform, Recovery, and Enforcement Act (FIRREA) of 1989 between July 5, 1990, and August 24, 1990, by the Federal Reserve System (FRS), National Credit Union Administration (NCUA), Federal Deposit Insurance Corporation (FDIC), the Office of Thrift Supervision (OTS), and the Office of Comptroller of the Currency (OCC). This definition is also referenced in regulations jointly published by the OCC, OTS, FRS, and FDIC on June 7, 1994, and in the Interagency Appraisal and Evaluation Guidelines, dated October 27, 1994.

Additional Certifications: The definition is consistent with the predominant motivations and actions of qualified buyers and knowledgeable sellers in the market.

Exposure time: is the amount of time the subject would have been reasonably offered in the market to consummate a sale as of the effective date of this report. The opinion of exposure time is 30 days.

Prior Service: I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.

The Scope of Work is the type and extent of research and analyses performed in an appraisal assignment that is required to produce credible assignment results, given the nature of the appraisal problem, the specific requirements of the intended user(s) and the intended use of the appraisal report. Reliance upon this report, regardless of how acquired, by any party or for any use, other than those specified in this report by

the Appraiser, is prohibited. The Opinion of Value that is the conclusion of this report is credible only within the context of the Scope of Work, Effective Date, the Date of Report, the Intended User(s), the Intended Use, the stated Assumptions and Limiting Conditions, any Hypothetical Conditions and/or Extraordinary Assumptions, and the Type of Value, as defined herein. The appraiser, appraisal firm, and related parties assume no obligation, liability, or accountability, and will not be responsible for any unauthorized use of this report or its conclusions.

Certifications

Property Address: 150 San Rafael Ave City: Belvedere State: CA Zip Code: 94920

Client: Howard Luria Address:

Appraiser: Mark H. Lindsay Address: 617 Broadway, #653, Sonoma, CA 95476

APPRAISER'S CERTIFICATION

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The credibility of this report, for the stated use by the stated user(s), of the reported analyses, opinions, and conclusions are limited only by

the reported assumptions and limiting conditions, and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.

- I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.

- I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.

- My engagement in this assignment was not contingent upon developing or reporting predetermined results.

- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.

- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.

- I did not base, either partially or completely, my analysis and/or the opinion of value in the appraisal report on the race, color, religion, sex, handicap, familial status, or national origin of either the prospective owners or occupants of the subject property, or of the present owners or occupants of the properties in the vicinity of the subject property.

- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.

- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification.

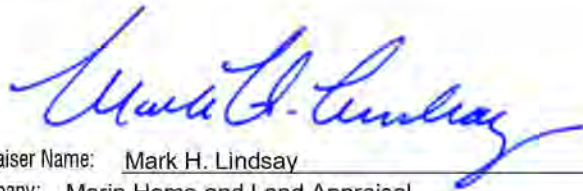
Client Contact: Howard Luria

Client Name: Howard Luria

E-Mail: Address:

APPRAISER

SUPERVISORY APPRAISER (if required)
or CO-APPRAISER (if applicable)



Appraiser Name: Mark H. Lindsay

Company: Marin Home and Land Appraisal

Phone: (415) 272-4081 Fax:

E-Mail: mhlappraisal@yahoo.com

Date Report Signed: 08/18/2021

License or Certification #: AR010442 State: CA

Designation:

Expiration Date of License or Certification: 06/13/2022

Inspection of Subject: Interior & Exterior Exterior Only None

Date of Inspection: 08/11/2021

Supervisory or Co-Appraiser Name:

Company:

Phone: Fax:

E-Mail:

Date Report Signed:

License or Certification #: State:

Designation:

Expiration Date of License or Certification:

Inspection of Subject: Interior & Exterior Exterior Only None

Date of Inspection:

SIGNATURES

Client	Howard Luria	File No.	620217
Property Address	150 San Rafael Ave		
City	Belvedere	County	Marin
		State	CA
		Zip Code	94920
Client	Howard Luria		

APPRAISAL AND REPORT IDENTIFICATION

This Report is one of the following types:

- Appraisal Report (A written report prepared under Standards Rule 2-2(a), pursuant to the Scope of Work, as disclosed elsewhere in this report.)
- Restricted Appraisal Report (A written report prepared under Standards Rule 2-2(b), pursuant to the Scope of Work, as disclosed elsewhere in this report, restricted to the stated intended use by the specified client or intended user.)

Comments on Standards Rule 2-3

I certify that, to the best of my knowledge and belief:

- The statements of fact contained in this report are true and correct.
- The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are my personal, impartial, and unbiased professional analyses, opinions, and conclusions.
- Unless otherwise indicated, I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
- Unless otherwise indicated, I have performed no services, as an appraiser or in any other capacity, regarding the property that is the subject of this report within the three-year period immediately preceding acceptance of this assignment.
- I have no bias with respect to the property that is the subject of this report or the parties involved with this assignment.
- My engagement in this assignment was not contingent upon developing or reporting predetermined results.
- My compensation for completing this assignment is not contingent upon the development or reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value opinion, the attainment of a stipulated result, or the occurrence of a subsequent event directly related to the intended use of this appraisal.
- My analyses, opinions, and conclusions were developed, and this report has been prepared, in conformity with the Uniform Standards of Professional Appraisal Practice that were in effect at the time this report was prepared.
- Unless otherwise indicated, I have made a personal inspection of the property that is the subject of this report.
- Unless otherwise indicated, no one provided significant real property appraisal assistance to the person(s) signing this certification (if there are exceptions, the name of each individual providing significant real property appraisal assistance is stated elsewhere in this report).

Reasonable Exposure Time

(USPAP defines Exposure Time as the estimated length of time that the property interest being appraised would have been offered on the market prior to the hypothetical consummation of a sale at market value on the effective date of the appraisal.)

My Opinion of Reasonable Exposure Time for the subject property at the market value stated in this report is:

30 days.

Comments on Appraisal and Report Identification

Note any USPAP-related issues requiring disclosure and any state mandated requirements:

I certify I have access to the data and information sources required to develop a credible opinion of value. I have the experience with the property type and the conditions of the assignment that are stated in the scope of work contained within the appraisal.

APPRAISER:

Signature: 

Name: Mark H. Lindsay

State Certification #: AR010442

or State License #:

State: CA Expiration Date of Certification or License: 06/13/2022

Date of Signature and Report: 08/18/2021

Effective Date of Appraisal: 08/11/2021

Inspection of Subject: None Interior and Exterior Exterior-Only

Dates of Inspection (if applicable): 08/11/2021

SUPERVISORY or CO-APPRAISER (if applicable):

Signature: _____

Name: _____

State Certification #: _____

or State License #: _____

State: _____ Expiration Date of Certification or License: _____

Date of Signature: _____

Inspection of Subject: None Interior and Exterior Exterior-Only

Date of Inspection (if applicable): _____

License

Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

Mark H. Lindsay

has successfully met the requirements for a license as a residential real estate appraiser in the State of California and is, therefore, entitled to use the title:

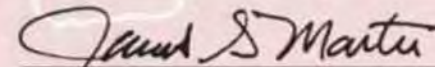
“Certified Residential Real Estate Appraiser”

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AR 010442

COPY

Effective Date: June 14, 2020
 Date Expires: June 13, 2022


 Jim Martin, Bureau Chief, BREA

3052634

THIS DOCUMENT CONTAINS A TRUE WATERMARK - HOLD UP TO LIGHT TO SEE "CHAIN LINK"



CITY OF BELVEDERE

450 San Rafael Avenue λ Belvedere, CA 94920

Tel: 415 / 435-3838 λ Fax: 415 / 435-0430

Memorandum: Floodplain and Building Department comments for Design Review application

Date: November 10, 2021

To: Rebecca Markwick, Senior Planner

From: Brian Van Son, Building Official & Floodplain Administrator

Project Location: **150 San Rafael Ave.**

Project Description: Design Review for the Interior/Exterior Remodel

The Building Department has the following comments for this project based on the information submitted or available at this time, for inclusion with the Planning Department Design Review:

Comments related to the Planning applications:

- 1) The Building Department has the following comments regarding the Design Review application 150 San Rafael Ave. The Building Department is able to approve the current drawings submitted for this planning entitlement.

Floodplain Management / Code Comments:

- 2) The subject property is located within the designated AE flood hazard zone.
- 3) The Base Flood Elevation (BFE) of the currently effective flood map for this area is 10.0' NAVD1988.
- 4) Plans commonly submitted for Design Review through the Planning Department and Planning Commission are typically not detailed enough to show full compliance with all the floodplain management requirements. Therefore only cursory review for floodplain compliance is able to be done at time of Design Review. Full review of floodplain construction compliance occurs when sufficiently complete "working drawings" and documentation are submitted as part of a complete building permit application.
- 5) Per the provided appraisal, the threshold of a Substantial Improvement determination is \$1,119,541.50. Should the cost of the proposed project be greater than this cost, the project will be deemed a Substantial Improvement and will need to be elevated in compliance with Belvedere Municipal Code 16.20.

Per the attached Floodplain Construction Cost Evaluation Sheet, the proposed cost of construction is \$1,000,575.29. With this total, the proposed project does not constitute a Substantial Improvement and will not be required to be elevated.

Additionally, all parties should be cognizant that any revisions/changes in the scope of work throughout the permitting/construction process, resulting in an increased valuation may result in the retroactive determination of a Substantial Improvement and the elevation of the structure.

- 6) The building materials below the BFE aren't specifically detailed as flood resistant materials yet; this normally comes with the Building Permit application full plans & specifications. **All** building materials that are located below the BFE, including ductwork and its insulation, must be flood resistant materials.

The complete detailing of all flood resistant materials normally comes with the Building Permit application, full plans & specifications and shall be compliant with all current codes and standards.

Building Permit submittal plans must provide complete flood venting calculations and information typically needed for working construction drawings.

Building Department / Comments related to the future submittal for the Building Permit:

- 7) Outside jurisdictional agency approval will be required prior to the issuance of the building permit: Tiburon Fire Dist., Marin Municipal Water Dist., Marin County Sanitary Dist. 5, BCDC, and possibly other jurisdictional authorities.
- 8) A GeoTechnical report will be required to be submitted as part of the Building Permit submittal.
- 9) A new or updated Revocable License, may be required for private improvements in the public right-of-way.
- 10) The submittal for the future Building Permit must detail the construction of the proposed improvements, including compliance with relevant portions of the California Residential, Green Building, and Energy Codes, along with a geotechnical investigation report and detailed full engineering design and drawings, etc.
- 11) Stairways with four (4) or more risers shall be equipped with a Code compliant handrail.
- 12) Per the attached Cost Evaluation Worksheet, the project will be assessed an 18 month Construction Time Limit (CTL) timeline for project completion.
- 13) No other Building Department issues are foreseen at this time. Full compliance with all relevant Codes, will be conducted during the thorough plan review process by all involved agencies, after submittal of application, plans and related documents for a building permit.

Please do not hesitate to contact me if there are any concerns or questions regarding my comments.

Thanks,
Brian Van Son, CBO
Building Official / Floodplain Administrator
City of Belvedere
bvanson@cityofbelvedere.org



CITY OF BELVEDERE FLOODPLAIN CONSTRUCTION COST EVALUATION WORKSHEET

The City of Belvedere Building Dept. utilizes the latest edition of the Craftsman National Building Cost Manual (CNBM) to establish an average cost, per square foot, of construction within the City. Due to the quality of construction performed in the City of Belvedere, the price per square foot number is based on the CNBM designation of Luxury Quality Class 1. Additionally, the price per square foot is also based on the size and shape of the structure and the proposed construction.

Remodel projects are discounted on a percentage basis based on the extent of the scope of work.

CNBM Average \$/sqft: 2400 sqft home	\$388.89
Local Area Multiplier	27%
Belvedere Average \$/sqft	\$493.89

Project Address: 150 San Rafael Ave.

Project Description: Complete interior & exterior residential remodel

Total Project Sq Ft: 3780 sf

<u>Types of Proposed Construction</u>	<u>Sq Ft</u>	<u>\$/sqft</u>	<u>Est. Cost</u>
New Construction:	NONE		
75% Renovation:	1,053	\$370.42	\$390,052.26
50% Renovation:	2,221	\$246.95	\$548,475.95
25% Renovation:	506	\$123.47	\$62,047.08

Total: \$1,000,575.29

Per the information provided, the proposed construction cost, as determined by the City of Belvedere Building Department Cost Evaluation Worksheet totals \$1,000,575.29

- New Construction represents new additions and/or portions of the proposed scope of work to be built from the ground up.
- 75% Renovation represents portions of the proposed scope of work containing higher than average renovation cost (kitchens/baths).
- 50% Renovation represents portions of the proposed scope of work which are simple room renovation without high cost finishes.
- 25% Renovations represent portions of the proposed scope of work which can be identified as minimal cost renovation.

City of Belvedere Building Department
450 San Rafael Ave., Belvedere, Ca 94920
Brian Van Son, CBO: bvanson@cityofbelvedere.org

BOTH neighbor support letters--150 San Rafael Ave, Belvedere

Karen Behnke <karen@juicebeauty.com>

Tue 11/23/2021 5:28 PM

To: Cedric Barringer <cedric@barringerarchitecture.com>; Miles Berger <miles@mb-aia.com>

Cc: Howard Luria <hluria1@gmail.com>

Please submit with the plans. Thanks.

SOUTH SIDE NEIGHBOR SUPPORT—160 SAN RAFAEL AVE:

From: Mhy <mhoutzager@yahoo.com>

Date: Tuesday, November 23, 2021 at 4:01 PM

To: Karen Behnke <karen@juicebeauty.com>

Cc: Howard Luria <hluria1@gmail.com>

Subject: 150 San Rafael Ave, Belvedere

Hi Karen and Howard,

Liora and I are totally fine with your plans. Hope the process goes smoothly. We look forward to hanging with you when it is all done :)

Marcel Houtzager

NORTH SIDE NEIGHBOR SUPPORT – 140 SAN RAFAEL AVE:

From: Jonathan Garfinkel <jgarfinkelpersonal@gmail.com>

Date: Monday, November 15, 2021 at 7:54 PM

To: Karen Behnke <karen@juicebeauty.com>

Cc: "kimberly.garfinkel@gmail.com" <kimberly.garfinkel@gmail.com>, Howard Luria <hluria1@gmail.com>

Subject: 150 San Rafael Ave

Thank you Karen and apologies for the delay.

We have reviewed your plans and are enthusiastically supportive.

If there's anything else you need from us please let us know.

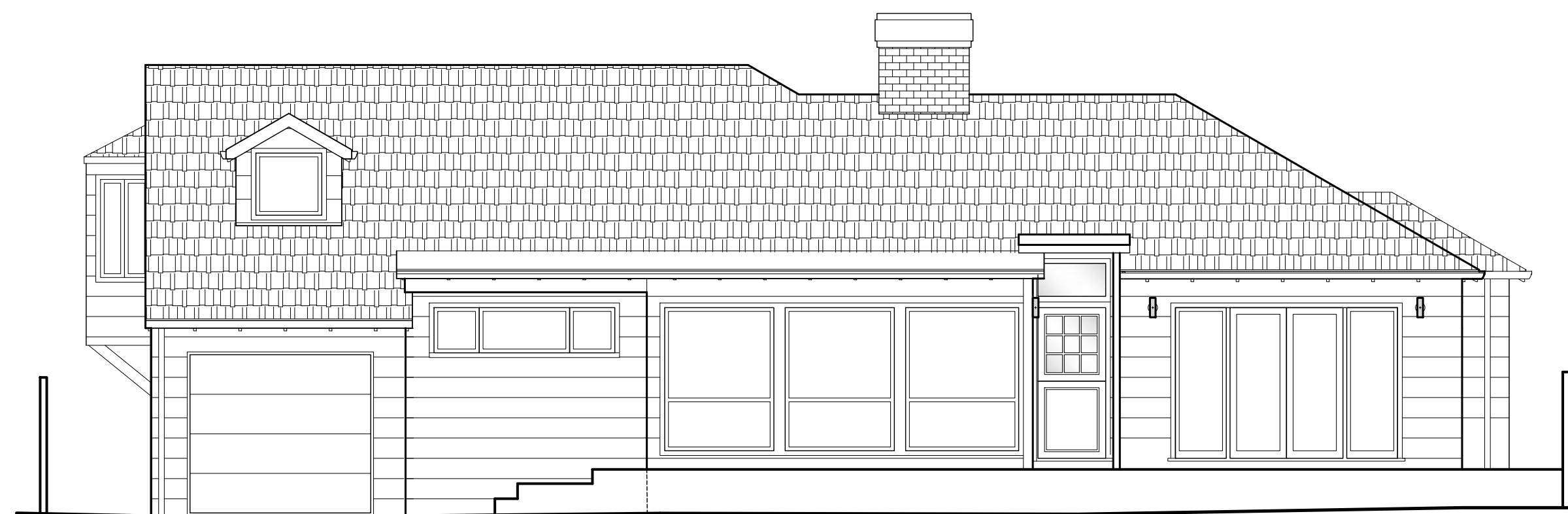
Our best,

Kim and Jonathan Garfinkel

140 San Rafael Ave

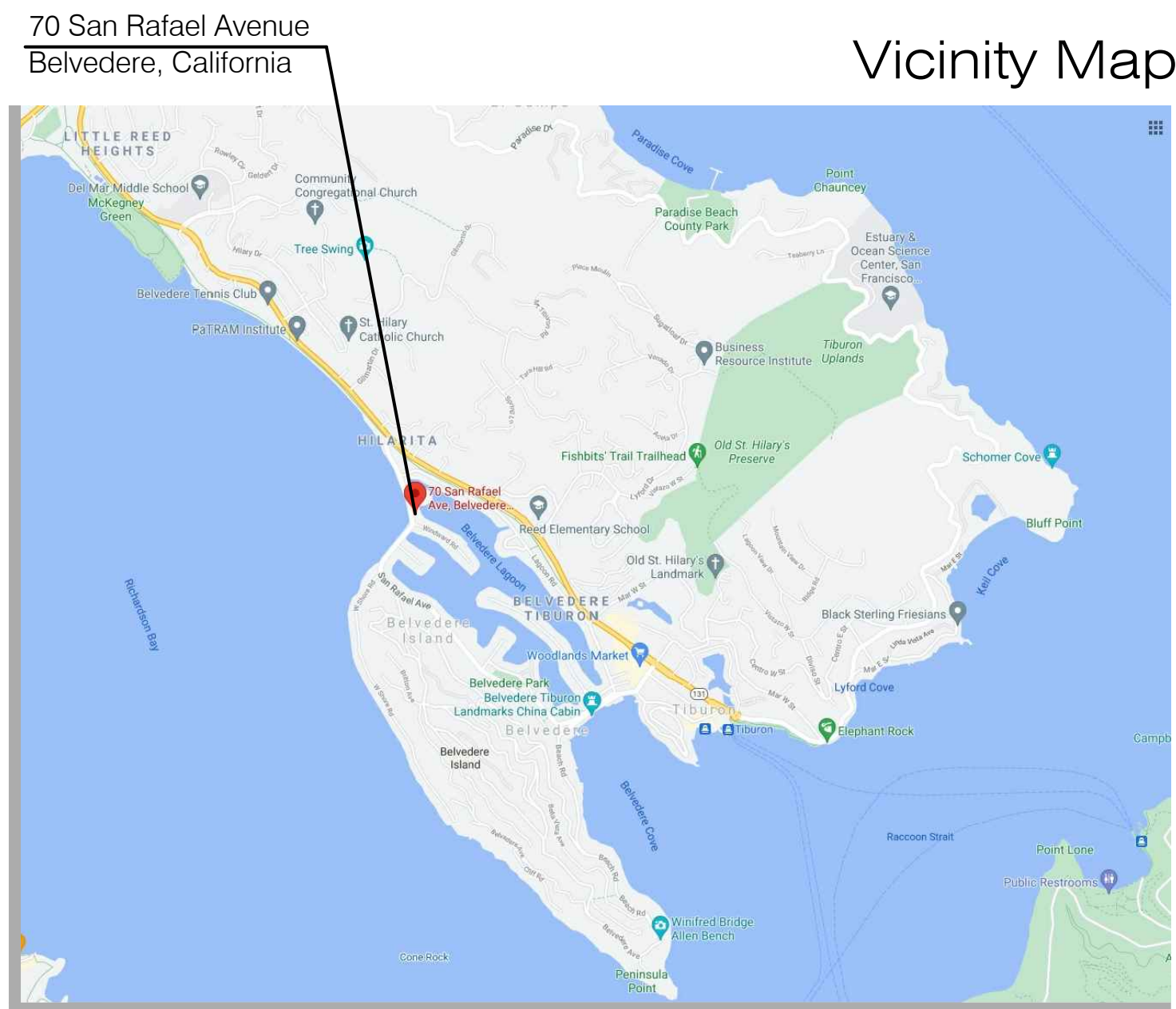
Project

THE MA RESIDENCE



70 San Rafael Avenue Belvedere, California 94920

EXISTING SITE PHOTOS



Project Directory

owners
JEFF & KATHERINE MA
 70 San Rafael Ave.
 Belvedere, California 94920

architect
MICHAEL HECKMANN AIA
 1606 Juanita Lane Suite C-6
 Tiburon, California 94920
 415-435-2446 phone
 heckmannarchitects@earthlink.net

landscape architect
IVE HAUGELAND
 1306a Bridgeway Blvd.
 Sausalito, California 94965
 415-332-1485 phone
 ive@shadesofgreenla.com

surveyor
GJ HARMINA, PLS
 1031Survey, Inc. High Definition Surveying
 1857 Rainier Circle Petaluma, CA 94954
 415-827-6370 phone

Sheet Index

- architectural**
- A0.1 COVER & DATA SHEET
 - A0.2 EXISTING PLANS & ELEVATIONS
 - A0.3 PROPOSED & EXISTING ELEVATIONS
 - A0.4 DEMOLITION EXHIBIT
 - TOPOGRAPHIC SURVEY OF RECORD
 - A1.0 PROPOSED SITE & ROOF PLAN W/STORY POLES
 - A2.0 PROPOSED LOWER LEVEL FLOOR PLAN & EXTERIOR LIGHTING
 - A2.1 PROPOSED ROOF PLAN W/ EXISTING UPPER LVL. & SCHEDULES
 - A3.0 PROPOSED WEST & EAST EXTERIOR ELEVATIONS
 - A3.1 PROPOSED NORTH & SOUTH EXTERIOR ELEVATIONS
 - A4.0 PROPOSED SITE / BUILDING SECTIONS
 - A5.0 COLOR RENDERINGS
- landscape**
- L.10 LAYOUT AND MATERIALS PLAN
 - L.1.1 PROPOSED OVERLAY OVER EXISTING CONDITIONS
 - L.3.0 PLANTING PLAN
 - L.4.0 DETAILS

Heckmann Architects

1606 Juanita Lane Suite C-6
 Tiburon California 94920
 415 435 2446
 heckmannarchitects.com

Project Info & Design Compliance

AP#: 060-011-25 ADDRESS: 70 San Rafael Avenue, Belvedere, California

- CODES:**
- | | |
|---|---|
| A. 2019 CALIFORNIA BUILDING CODE (CBC) | E. 2019 CALIFORNIA MECHANICAL CODE (CMC) |
| B. 2019 CALIFORNIA RESIDENTIAL CODE (CRC) | F. 2019 CALIFORNIA ENERGY CODE (CEC) |
| C. 2019 CALIFORNIA ELECTRICAL CODE (CEC) | G. 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) |
| D. 2019 CALIFORNIA PLUMBING CODE (CPC) | H. CITY OF BELVEDERE MUNICIPAL CODE |

PROJECT DESCRIPTION: REMODEL OF A SINGLE FAMILY RESIDENCE

ZONING: R1-L
 OCCUPANCY GROUP: R-3 (RESIDENCE), U (GARAGE)
 CONSTRUCTION TYPE: VB
 DENSITY: SINGLE FAMILY RESIDENTIAL UNIT
 WUI: NO
 FLOOD ZONE: AE

LOT AREA: 7,370 SQ. FT.
 LOT AREA AT SUMMER HIGH TIDE LEVEL: 6,824 SQ. FT.

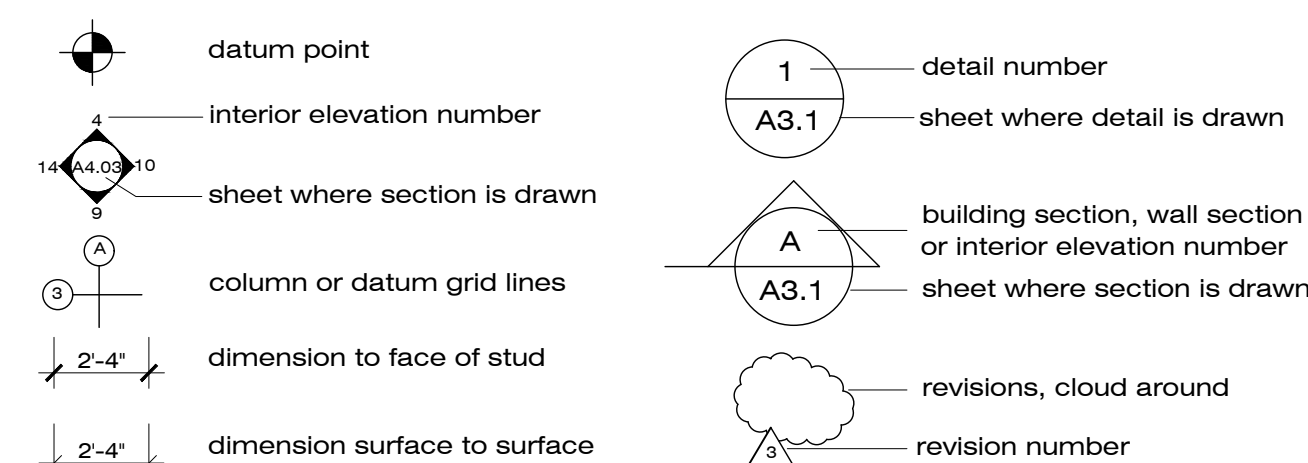
General Notes

- OWNERSHIP OF DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE PROPERTY OF MICHAEL HECKMANN A.I.A. ARCHITECT.
- THESE PLANS ARE NOT INTENDED TO SHOW THE METHOD AND MEANS OF EXECUTION OF THE WORK. THAT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE CALIFORNIA TITLE 24 BUILDING CODE & BUILDING ENERGY EFFICIENCY STANDARDS AS ADOPTED BY THE GOVERNING AGENCY. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE FULL COMPLIANCE.
- ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF INFORMATION CONTAINED IN OWNER-SUPPLIED DOCUMENTS.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO REVIEW AND FAMILIARIZE HIMSELF WITH THE CONTRACT DRAWINGS AND SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO COMMENCING WITH CONSTRUCTION. IF ANY CONFLICT EXISTS BETWEEN PORTIONS OF THE CONTRACT DOCUMENTS AND/ OR ANY EXISTING SITE CONDITIONS, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CONTACT THE ARCHITECT PRIOR TO EXECUTION.
- THESE DRAWINGS SHALL NOT BE SCALED. ALL WORK SHALL BE GOVERNED BY THE DIMENSIONS INDICATED ON THE DRAWINGS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR AND ARCHITECT. ALL DIMENSIONS RELATING TO THE EXISTING CONDITIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING THE WORK.
- ANY WASTE MATERIALS SHALL BE CONSIDERED THE PROPERTY OF THE CONTRACTOR, UNLESS CLAIMED BY THE OWNER, AND SHALL BE DISPOSED OF AWAY FROM THE JOB SITE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- DURING CONSTRUCTION THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING NOISE, ODORS, DUST, AND DEBRIS TO MINIMIZE IMPACTS ON SURROUNDING PROPERTIES AND ROADWAYS.
- ALL SPECIAL INSPECTION AGENCIES/ INDIVIDUALS AND SHOP FABRICATORS SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ANY WORK BEING PERFORMED. SUBMIT ALL DOCUMENTATION FOR APPROVAL.

Abbreviations

ad area drain	fhc fire hose cabinet	oc on center (s)
adj adjacent	fhs fire hose station	os overflow scupper
aif above finished floor	fin finish (ed)	pcpc precast concrete
al aluminum	flr floor	pl plate
alt alternate	flr floor (ing)	p.l. property line
arch architect (ural)	fncl foundation	plbs plas
b/w/n between	fof face of column	plywd plywood
bd board	tof face of finish	ptc post-tensioned concrete
bidg building	fos face of stud	r radius
blk block	fow face of wall	rd roof drain
blkg blocking	fp fireplace	r ref reference
b.s. building standard	ftg footing	refr refrigerator
cb catch basin	ga gage, gauge	reqd required
cig ceiling	gc general contract	rev rm revision (s), revised room
cl clear	gl glass, glazing	rm rough opening
cmu concrete masonry unit	gib glass block	sec section
col column	gib galvanized	shth sheathing
conc concrete	gv gypsum board drywall	sim similar
const construction	hb hose bib	spec specification (s)
contr contract (or)	hdr header	spkr speaker
d drain	hdwr hardware	sq square
dem demolish, demolition	hdwd hardwood	sst stainless steel
df drinking fountain	horz horizontal	std standard
dim dimension	hvac heating/ventilation ac	str structural
disp disposal	ac air conditioning	susp suspended
dpr damper	ins insulate (d), (tion)	scd see civil engns. drawings
dis downspout	int interior	sec see energy calculations
dwg drawing	kit kitchen	ssd see struct. engns. dwg's
dwr drawer	lam laminate (d)	t&g tongue and groove
ea each	lh left hand	tc top of curb
elev elevation	lh maximum	tel telephone
emer emergency	max maximum	ts top of finished surface
eq equal	mech mechanical	tw top of wall
equip equipment	mtl metal	tv television
exh exhaust	min minimum	typ typical
exist existing	misc miscellaneous	vert vertical
ext exterior	mtd mounted	vt vinyl tile
fau forced air unit	mtl material (s)	w/ with
fbo furnished by others	ntc not in contract	w/o without
fe fire extinguisher	nts not to scale	wc water closet
	o/ over	

Symbols



THE
 MA RESIDENCE
 70 SAN RAFAEL AVENUE
 BELVEDERE, CA 94920
 A.P. # 060-011-25

03 NOVEMBER 2021
 PLANNING SUBMITTAL

revisions

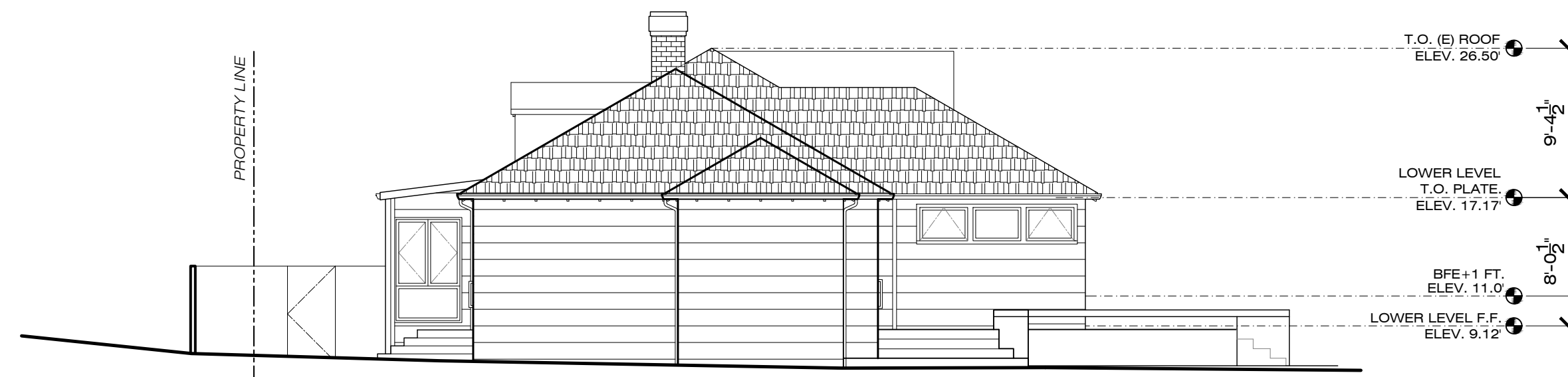
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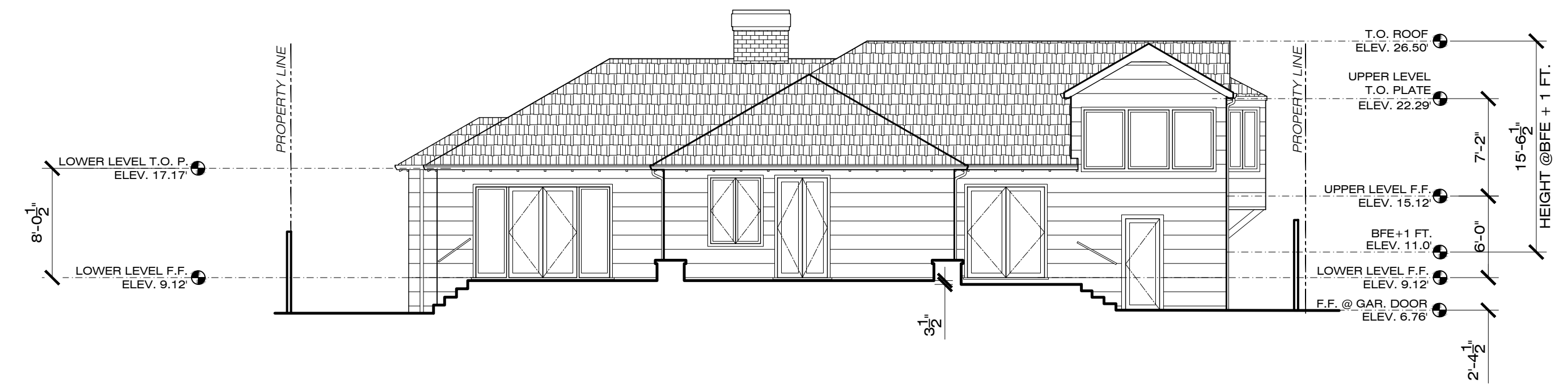
COVER SHEET
 EXISTING
 SITE PHOTOS

drawing number

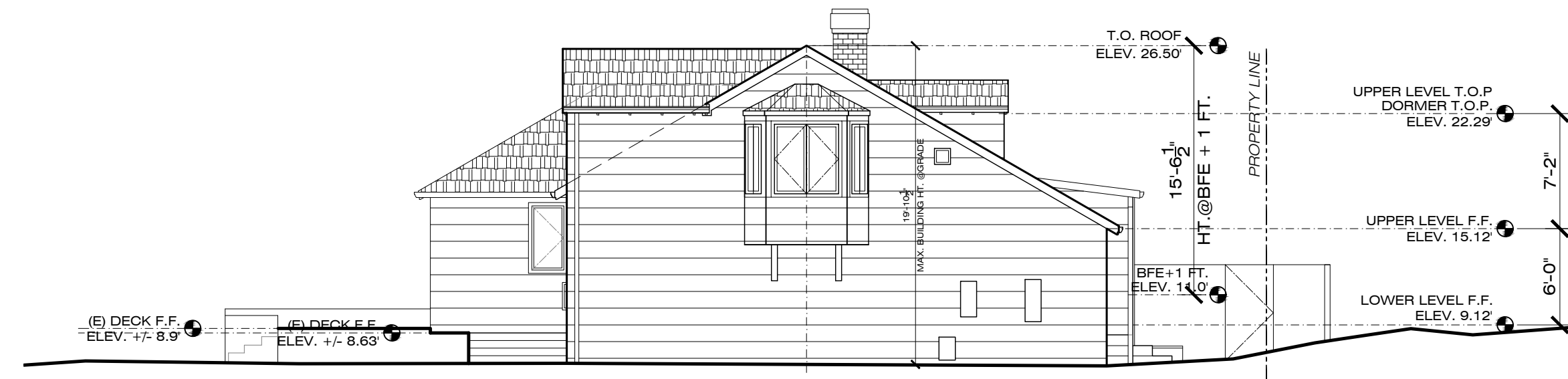
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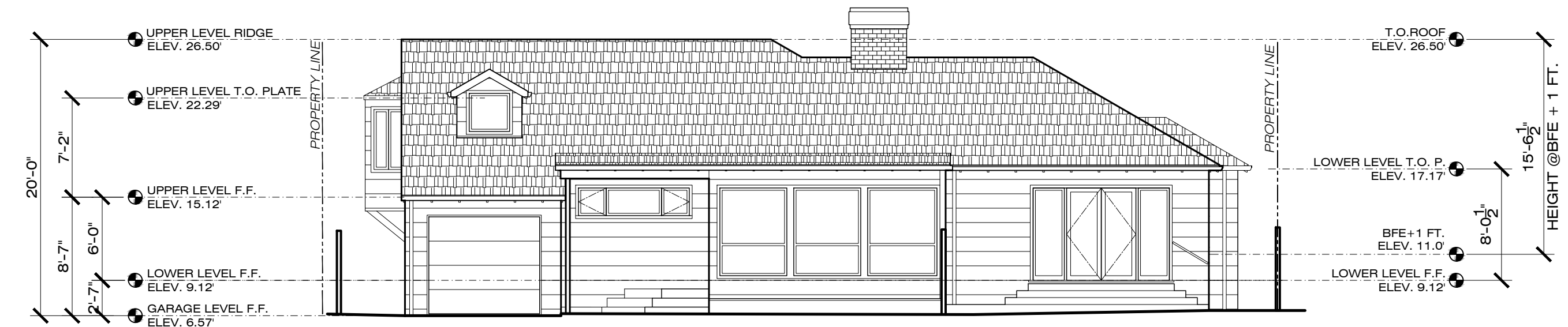
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EXISTING 1/8" = 1'-0"
096



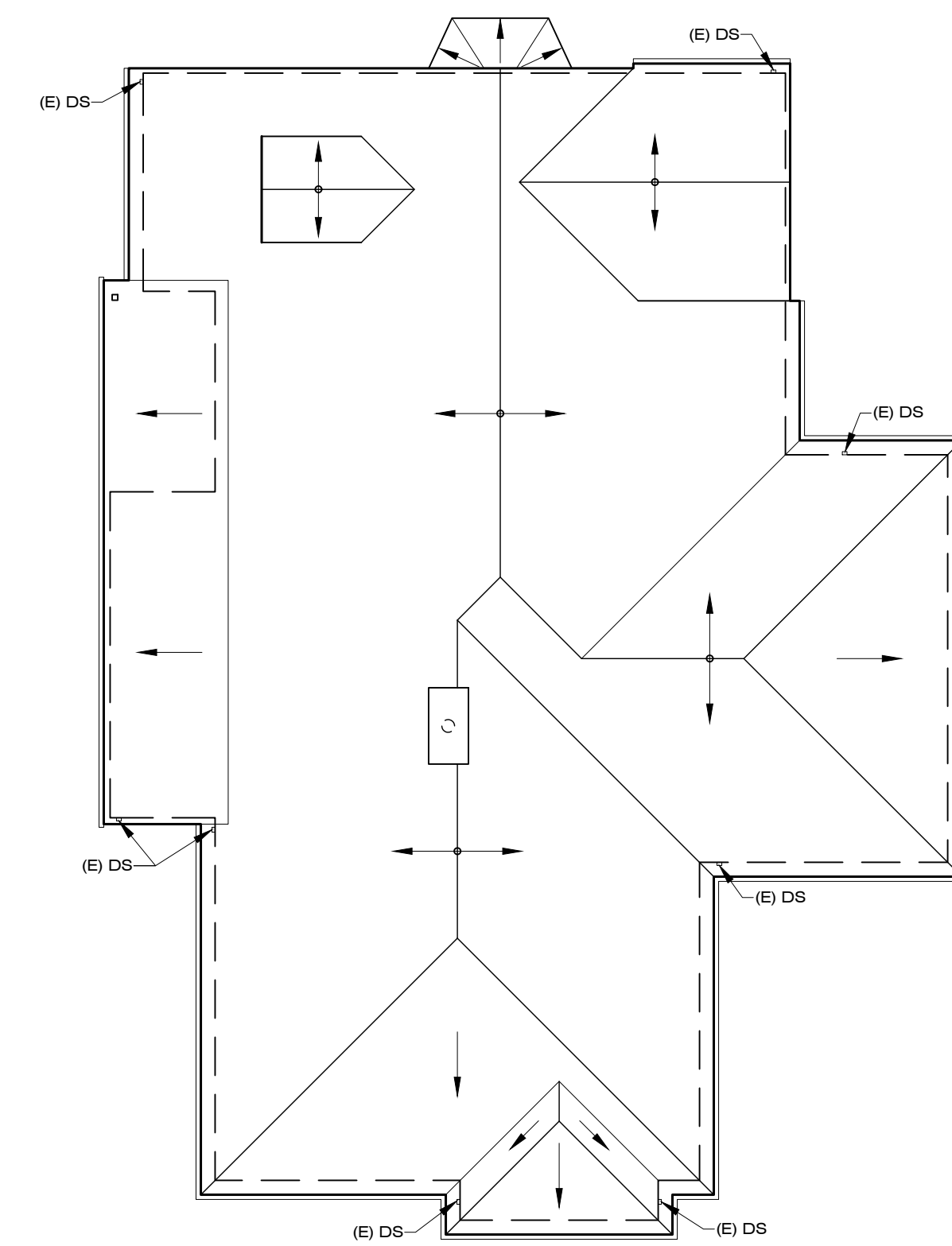
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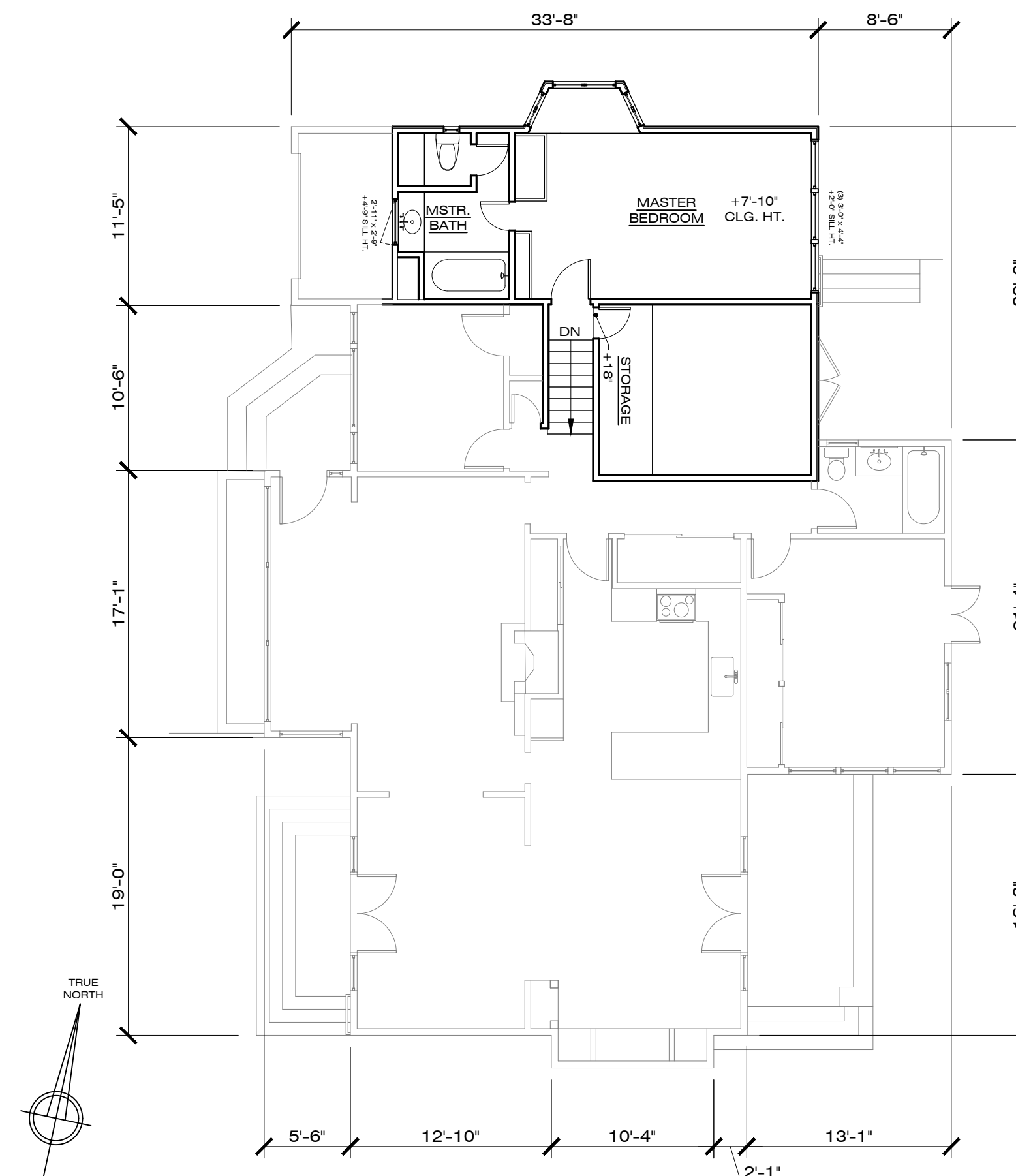
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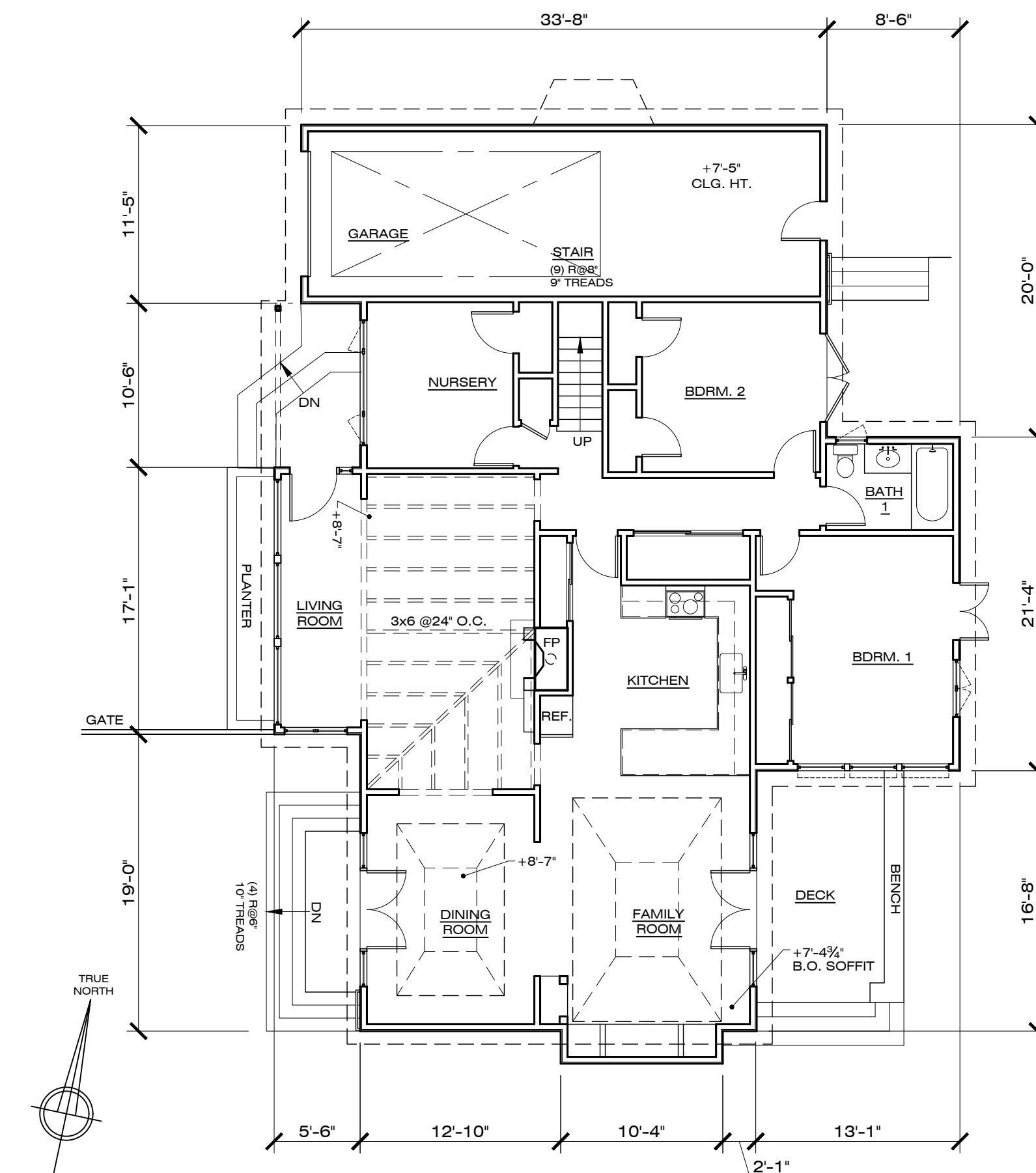
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EXISTING 1/8" = 1'-0"
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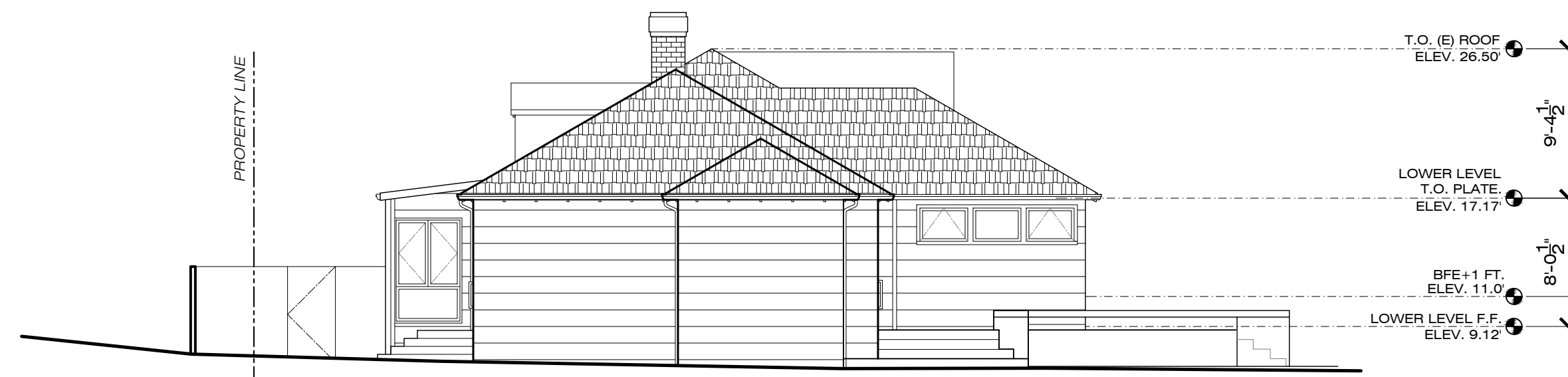
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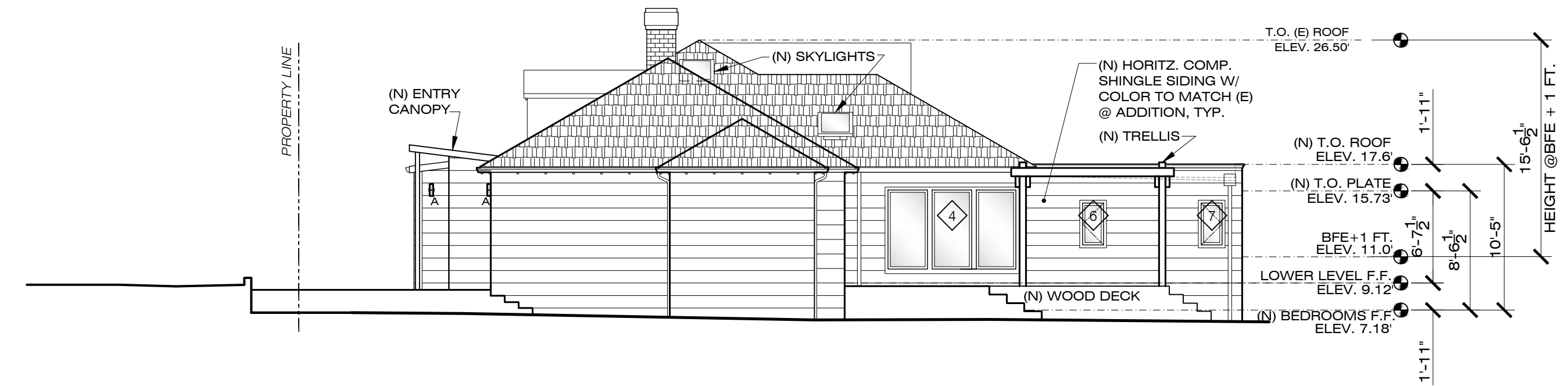
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EXISTING 1/8" = 1'-0"
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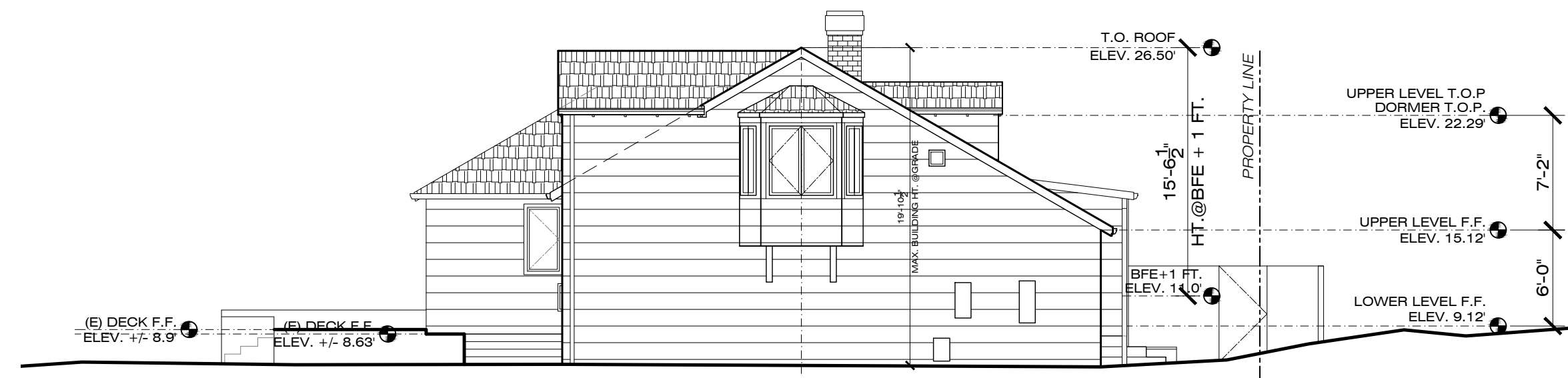
1 LOWER LEVEL FLOOR PLAN
EXISTING 1/8" = 1'-0"
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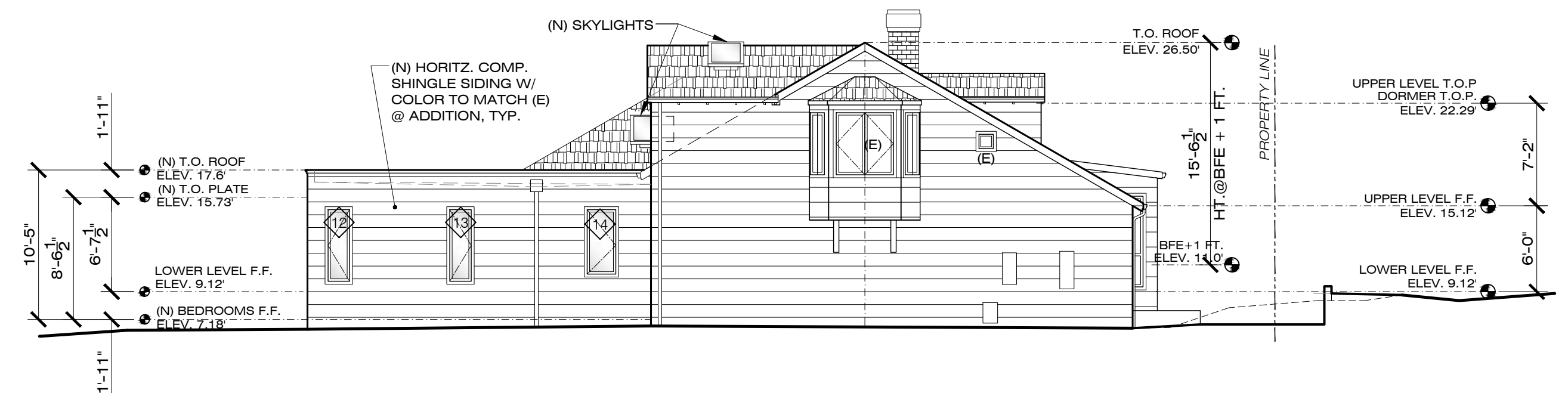
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EXISTING 1/8" = 1'-0"
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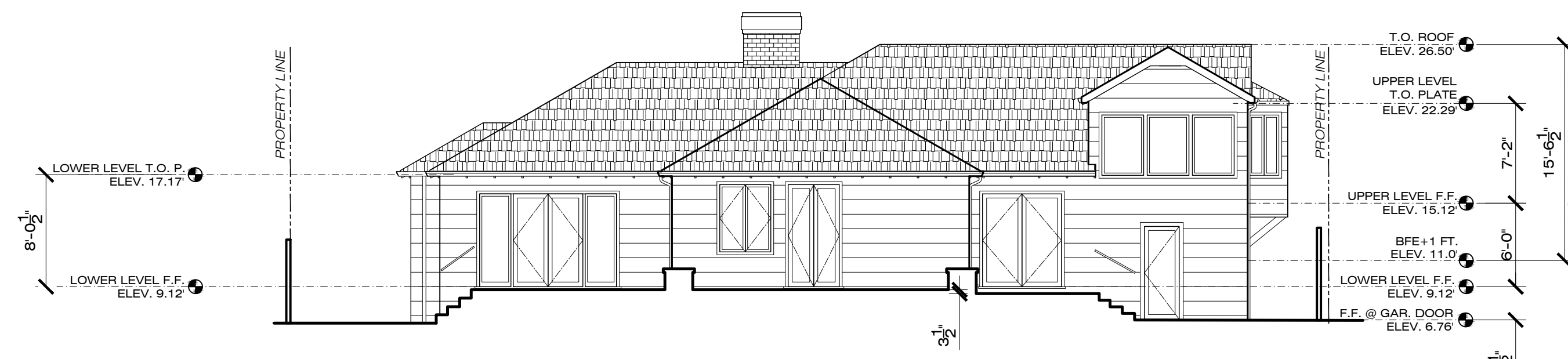
4 SOUTH ELEVATION
PROPOSED 1/8" = 1'-0"
096



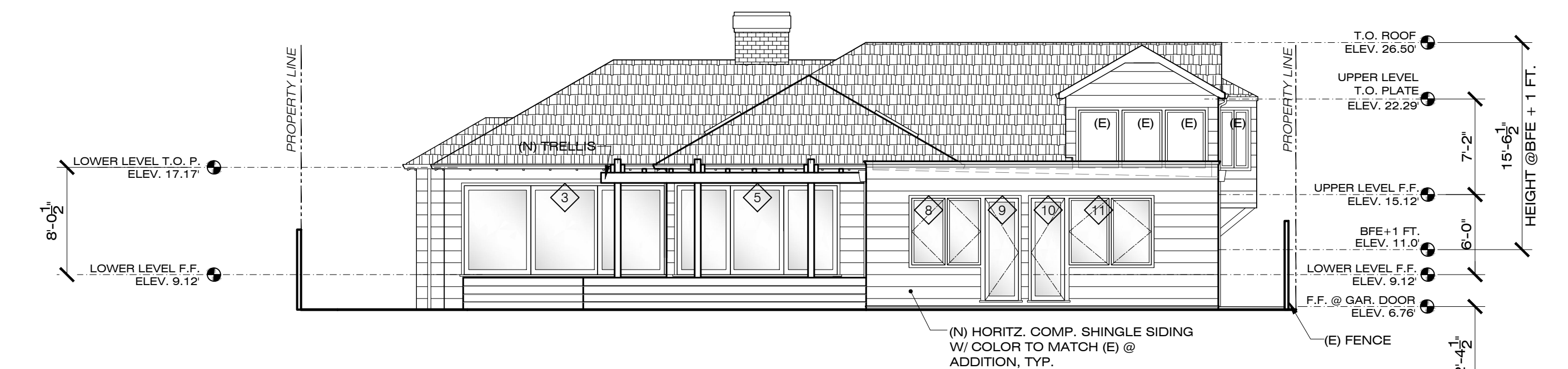
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EXISTING 1/8" = 1'-0"
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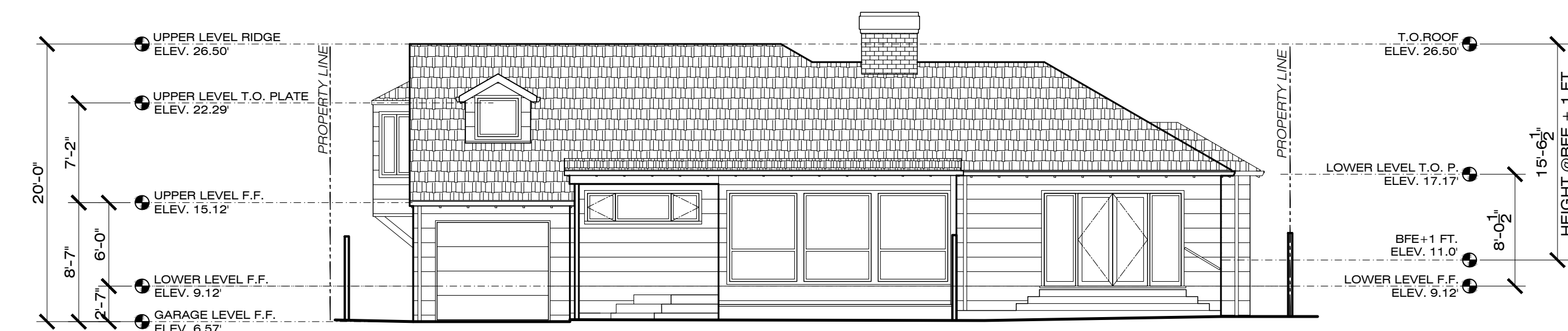
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PROPOSED 1/8" = 1'-0"
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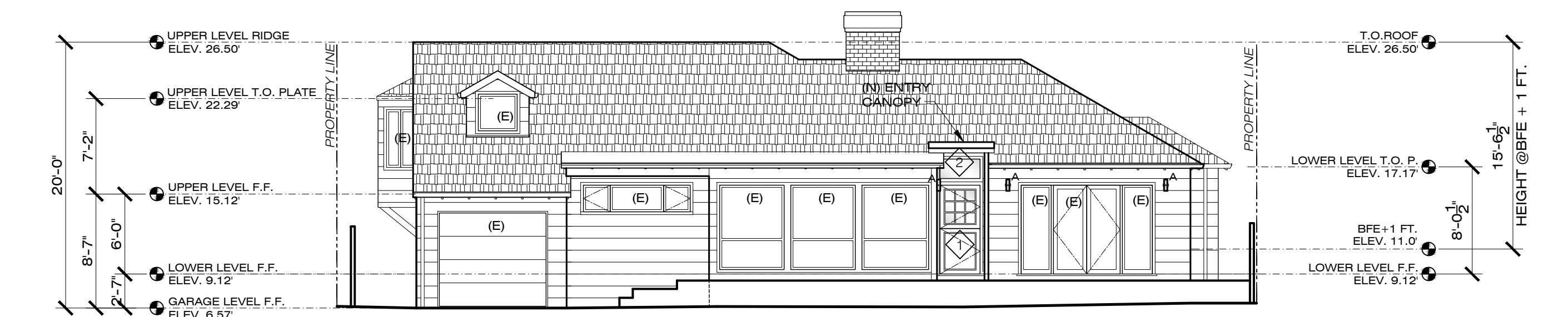
6 EAST ELEVATION
EXISTING 1/8" = 1'-0"
096



2 EAST ELEVATION
PROPOSED 1/8" = 1'-0"
096



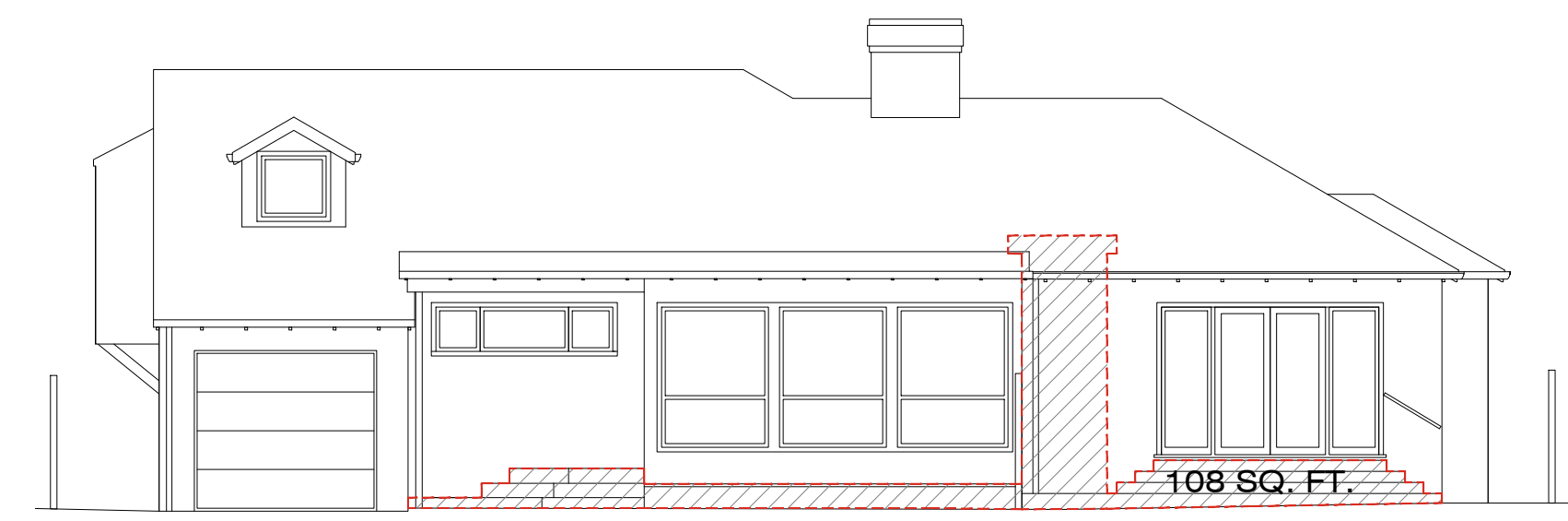
5 WEST (STREET) ELEVATION
EXISTING 1/8" = 1'-0"
096



1 WEST (STREET) ELEVATION
PROPOSED 1/8" = 1'-0"
096



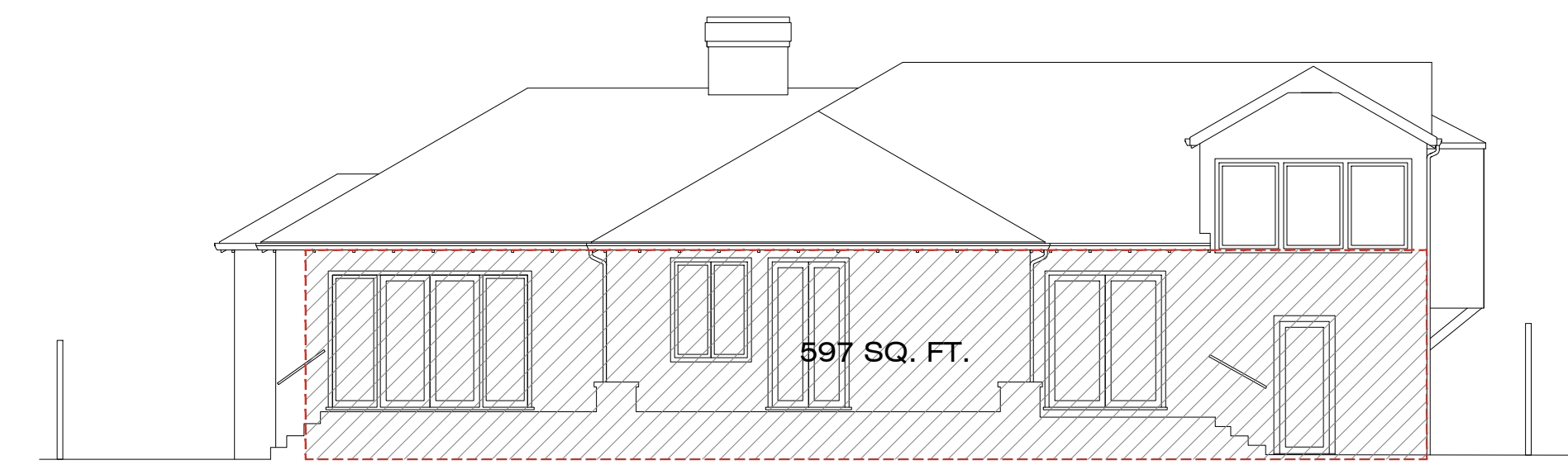
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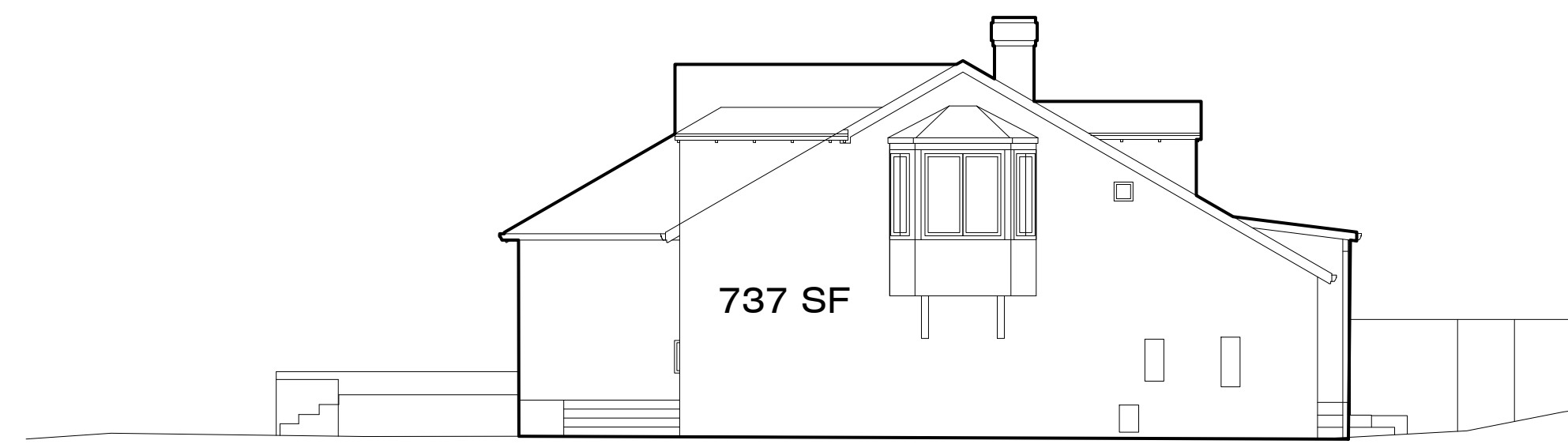
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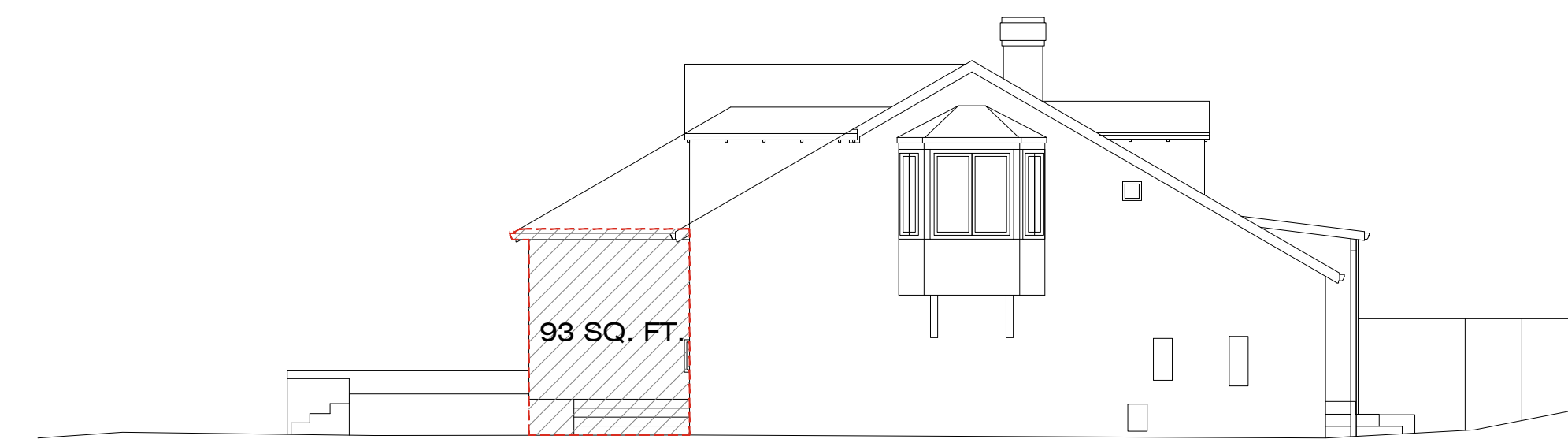
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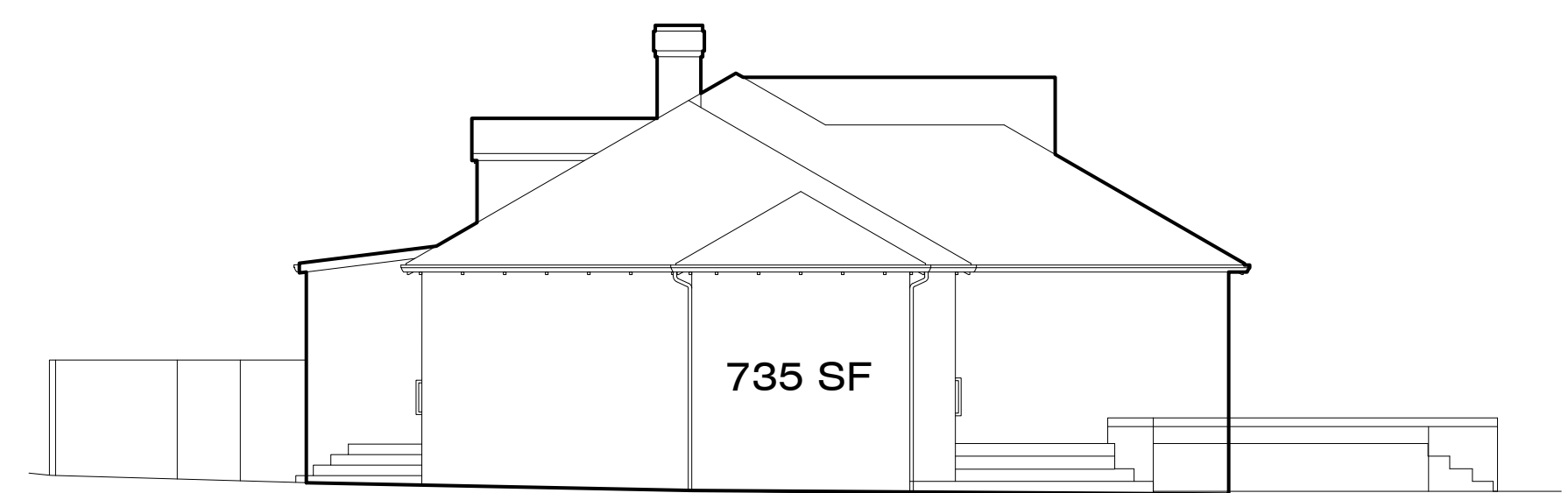
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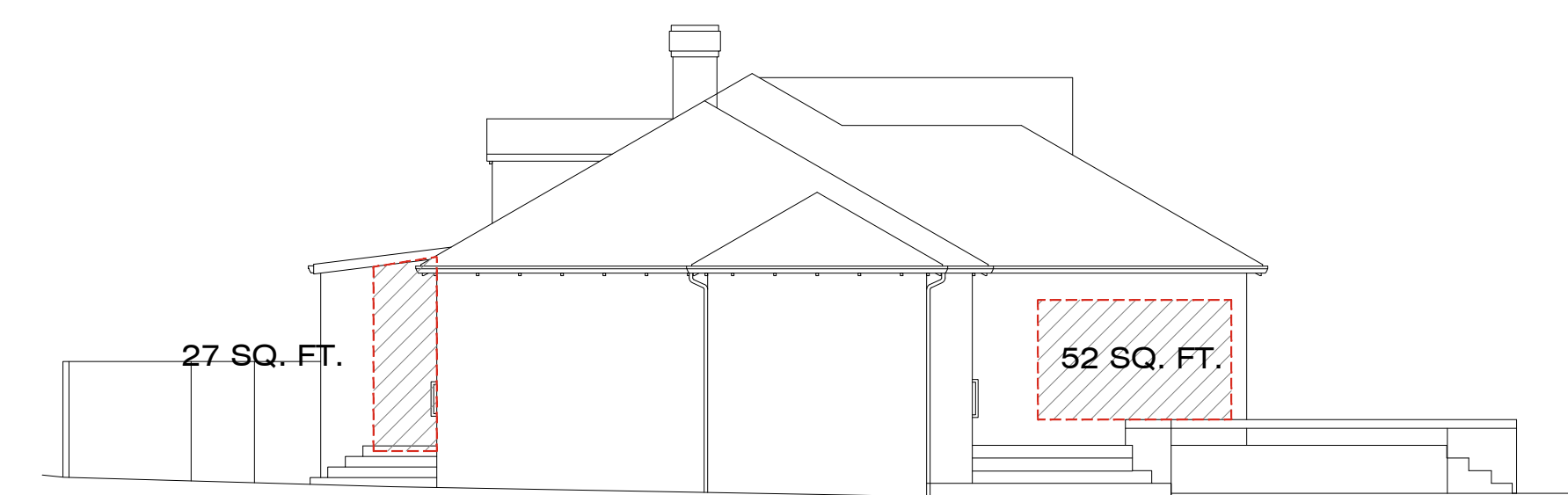
NORTH



NORTH



SOUTH

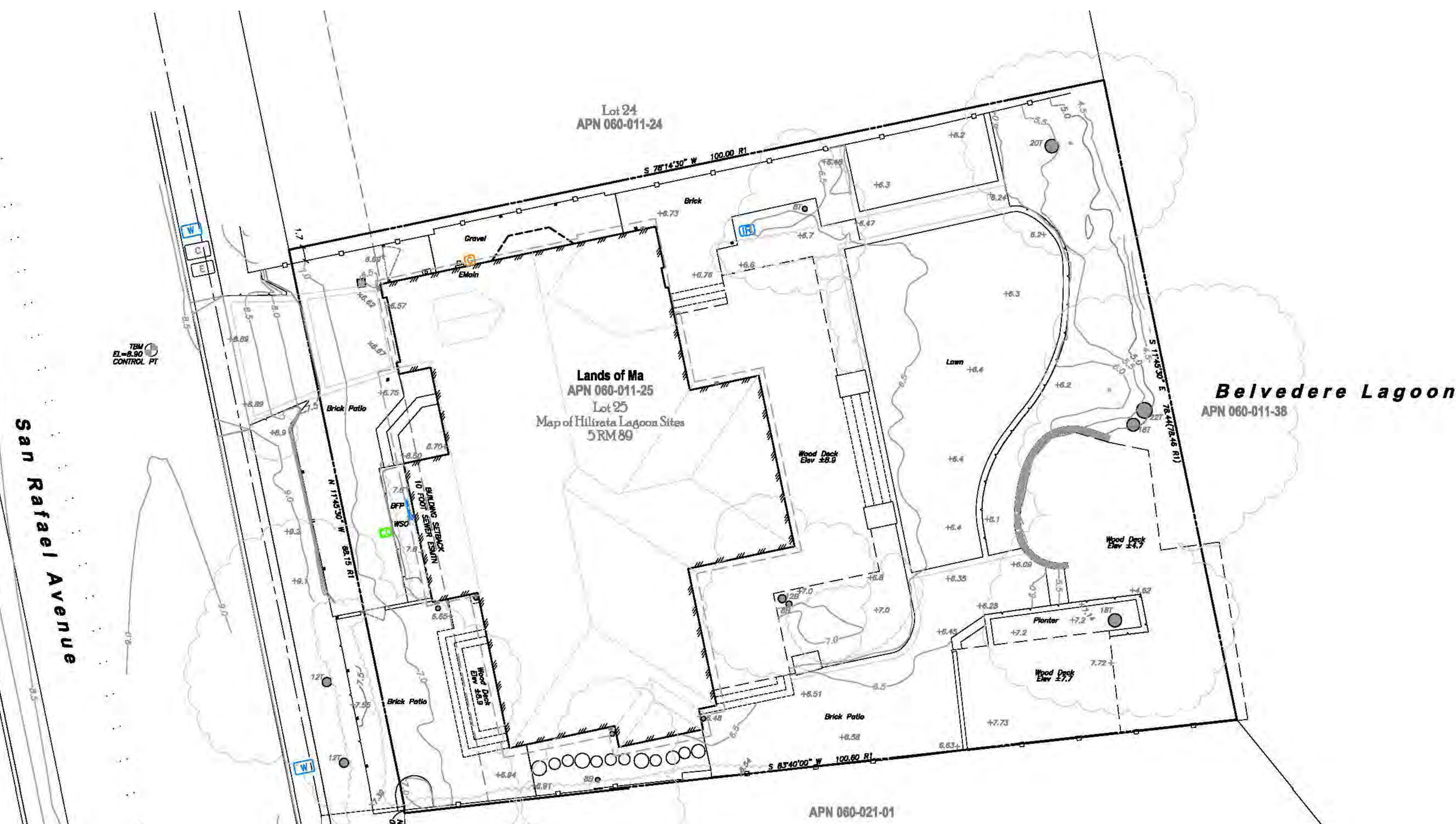
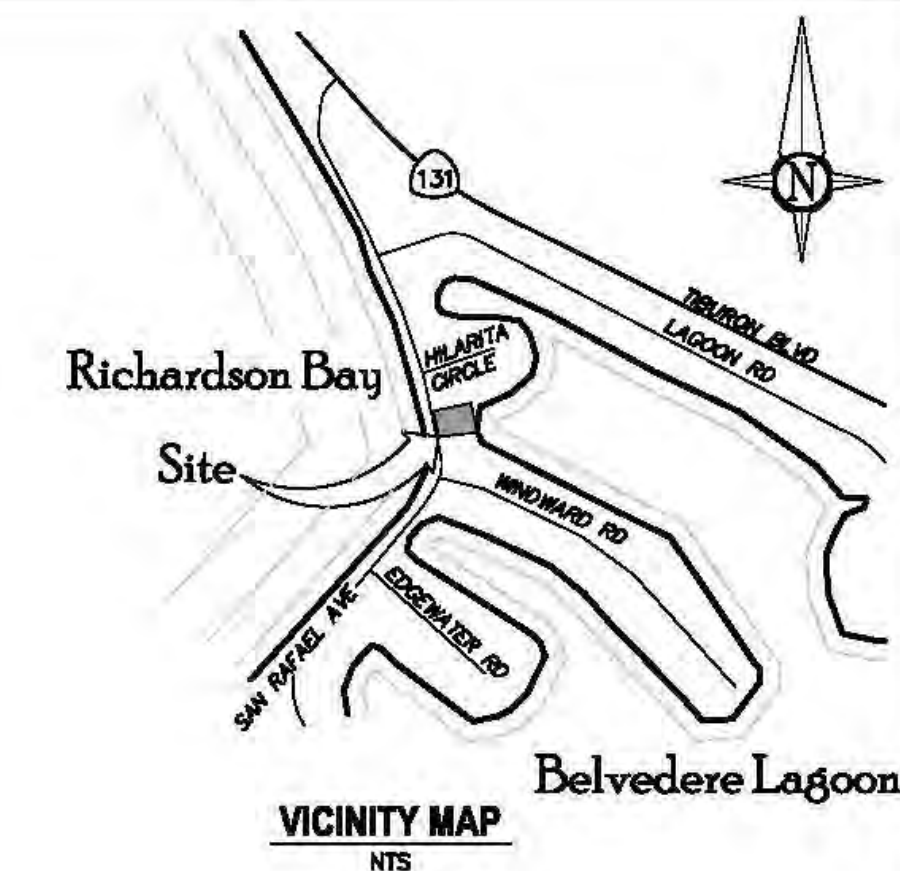


SOUTH

(E) VERTICAL SURFACE TOTAL= 3,744 SF

DEMO VERTICAL SURFACE TOTAL= 877 SF

DEMO = 23.4% OF EXISTING



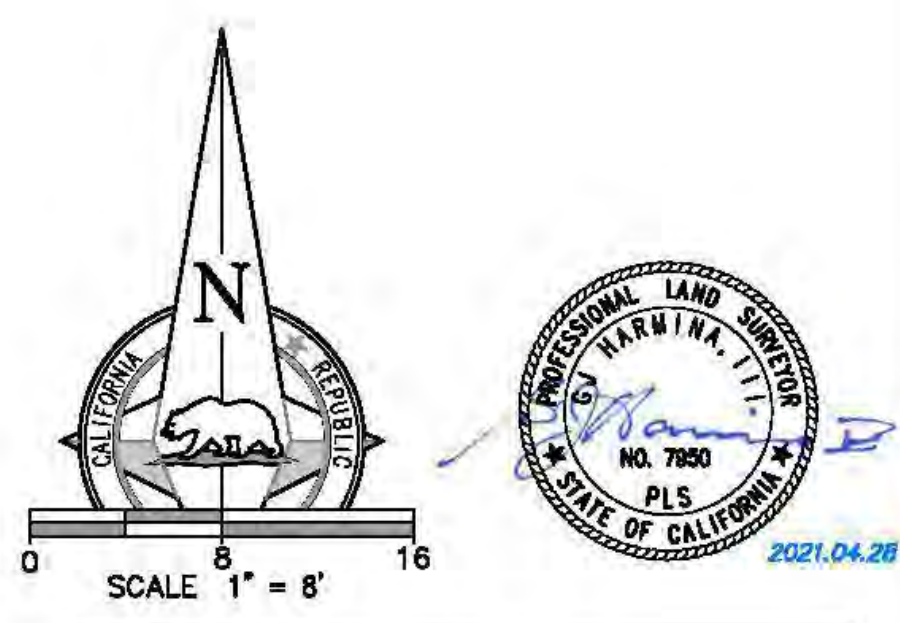
LEGEND

	BUILDING
	MAP REFERENCE LINE
	FENCE, WOOD
	RETAINING WALL, CONC
	RETAINING WALL, WOOD
	CONCRETE
	DOWNSPOUT
	DROP INLET
	ELECTRIC MAIN
	GAS METER
	TEMPORARY BENCHMARK
	TREE TO SCALE, WITH DRIFLINE, DIAMETER
	WATER METER

ABBREVIATIONS

APN	ASSESSORS PARCEL NUMBER
B	BIRCH
BFP	BACKFLOW PREVENTER
C	COMMUNICATIONS
CONC	CONCRETE
DI	DROP INLET
E	ELECTRIC
EM	ELECTRIC METER
FFT	FINISHED FLOOR AT THRESHOLD
G	GAS
MCR	MARIN COUNTY RECORDS
NTS	NOT TO SCALE
CO	SANITARY SEWER CLEAN OUT
T	TREE
TBM	TEMPORARY BENCHMARK
W	WATER
WSD	WATER SHUT OFF

- NOTES**
1. TOPOGRAPHIC INFORMATION SHOWN HERE IS BASED UPON A FIELD SURVEY PERFORMED BY 1031SURVEY, INC. IN NOVEMBER, 2020 USING TERRESTRIAL LIDAR.
 2. VERTICAL DATUM: CITY OF BELVEDERE BENCHMARK #BM45, BEING A BRASS DISK IN TOP OF CURB IN THE NORTHERNMOST PLANTER ISLAND IN CROSS WALK AT INTERSECTION OF SAN RAFAEL AVE AND WEST SHORE ROAD, ELEVATION=5.52, NAVD83; A FACTOR OF 2.67 WAS ADDED TO ACHIEVE NAVD83 DATUM.
 3. BOUNDARY IS BASED UPON THAT MAP OF HILARITA LAGOON SITES, FILED IN BOOK 5 OF MAPS, AT PAGE 88, MCR. A MATHEMATICAL DISCREPANCY WAS FOUND IN THE COMMON LINE BETWEEN LOT 24 AND LOT 25 BECAUSE OF THIS, A RECORD OF SURVEY WILL BE FILED TO IDENTIFY THIS ERROR.
 4. AN EASEMENT FOR PG&E & PT&T FOR LINE OF POLES IS RECORDED IN BOOK 422, PAGE 322, MCR THAT RUNS ALONG THE WESTERLY EDGE OF THE SUBDIVISION. SAID EASEMENT IS NOT SHOWN HEREON AS NO LINE OF POLES NOW EXIST AND POWER AND COMMUNICATIONS ARE NOW UNDERGROUND IN THE PUBLIC RIGHT OF WAY.
 5. TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL. TREES MAY EXIST ON SITE THAT HAVE MULTIPLE TRUNKS, BRANCHES THAT TOUCH THE GROUND OR HAVE GROWN IN AN IRREGULAR MANNER. TREE SPECIES ARE LABELED IF IDENTIFIABLE. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS. EXACT LOCATION OF IRREGULAR TREES SHOULD BE VERIFIED PRIOR TO DESIGN OR CONSTRUCTION.
 6. THIS LOT LIES WITHIN A SPECIAL FLOOD HAZARD AREA, ZONE AE WITH AN ELEVATION OF 10 FEET; INFORMATION WAS OBTAINED FROM FEMA FIRM, COMMUNITY NO. 06041004886, EFFECTIVE DATE 3/16/2016.
 7. THIS DOCUMENT AND THE INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF 1031SURVEY, INC. UNAUTHORIZED USE, COPYING, DISCLOSURE OR PUBLICATION BY ANY METHOD IS PROHIBITED WITHOUT THE WRITTEN APPROVAL OF 1031SURVEY, INC. 1031SURVEY, INC. ASSUMES NO RESPONSIBILITY FOR ANY UNAUTHORIZED DUPLICATION OF INFORMATION THAT MAY APPEAR ON ANOTHER PLAN OR MAP.
 8. THIS MAP IS PROVIDED IN AN ELECTRONIC FORMAT (ON COMPUTER DISK) AS A COURTESY TO THE CLIENT. THE DELIVERY OF THE ELECTRONIC FILE DOES NOT CONSTITUTE THE DELIVERY OF OUR PROFESSIONAL WORK PRODUCT. THE SIGNED PRINT DELIVERED WITH THIS ELECTRONIC FILE CONSTITUTES OUR PROFESSIONAL WORK PRODUCT, AND IN THE EVENT THE ELECTRONIC FILE IS ALTERED, THE PRINT MUST BE REFERRED TO FOR THE ORIGINAL AND CORRECT SURVEY INFORMATION. WE SHALL NOT BE RESPONSIBLE FOR ANY MODIFICATIONS MADE TO THE ELECTRONIC FILE, OR FOR ANY PRODUCTS DERIVED FROM THE ELECTRONIC FILE WHICH ARE NOT REVIEWED, SIGNED AND SEALED BY US.



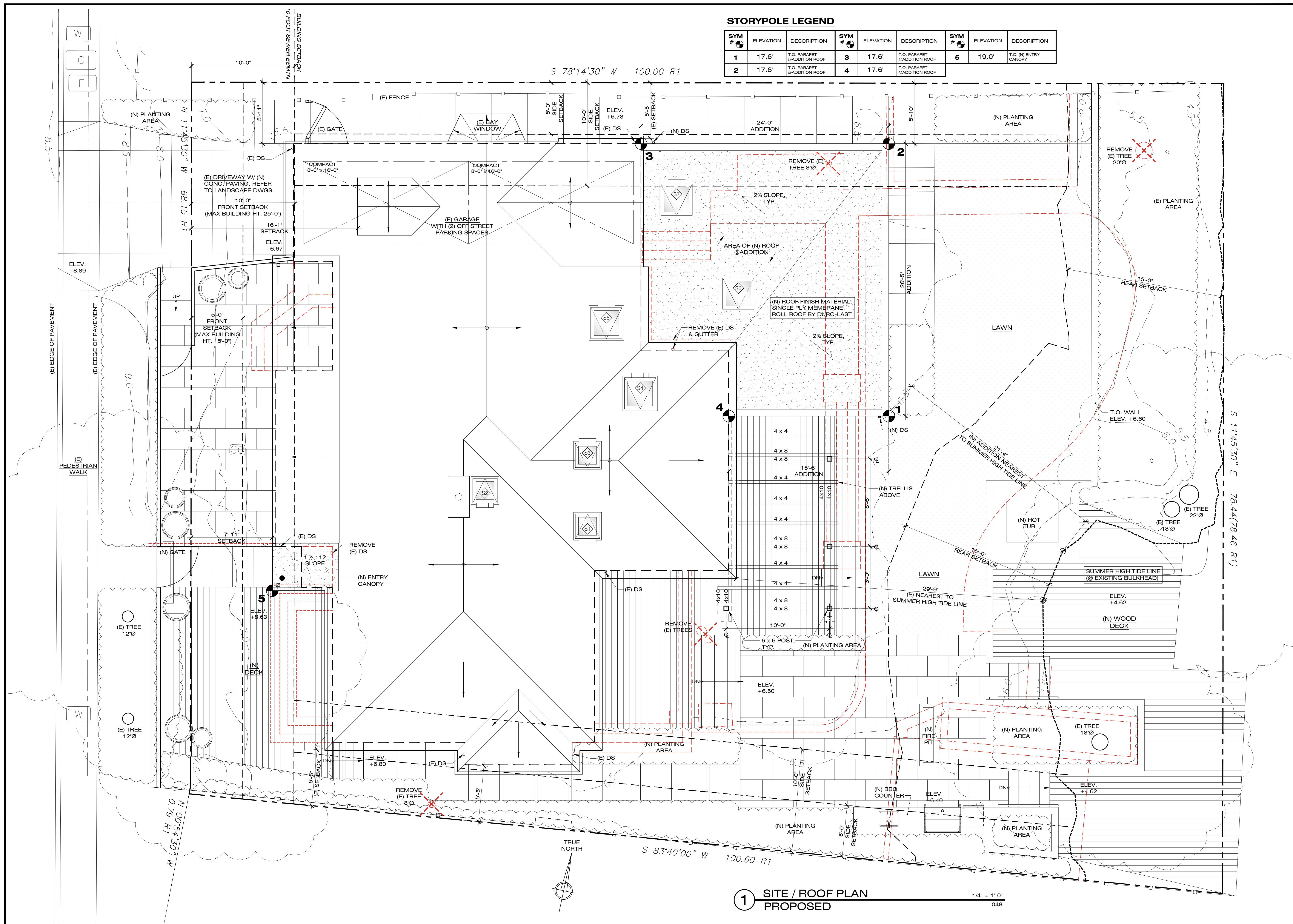
LANDS OF MA
70 SAN RAFAEL AVENUE
APN 060-011-26
BELVEDERE, MARIN COUNTY, CALIFORNIA

Topographic Map

1031Survey, Inc.
HIGH DEFINITION SURVEYING
1857 Rainier Circle, Petaluma, California 94954
415-827-6370 www.1031survey.com

STORYPOLE LEGEND

SYM #	ELEVATION	DESCRIPTION	SYM #	ELEVATION	DESCRIPTION	SYM #	ELEVATION	DESCRIPTION
1	17.6'	T.O. PARAPET @ ADDITION ROOF	3	17.6'	T.O. PARAPET @ ADDITION ROOF	5	19.0'	T.O. (N) ENTRY CANOPY
2	17.6'	T.O. PARAPET @ ADDITION ROOF	4	17.6'	T.O. PARAPET @ ADDITION ROOF			



THE
MA RESIDENCE
70 SAN RAFAEL AVENUE
BELVEDERE, CA 94920
A.P. # 060-011-25

03 NOVEMBER 2021
PLANNING SUBMITTAL

revisions

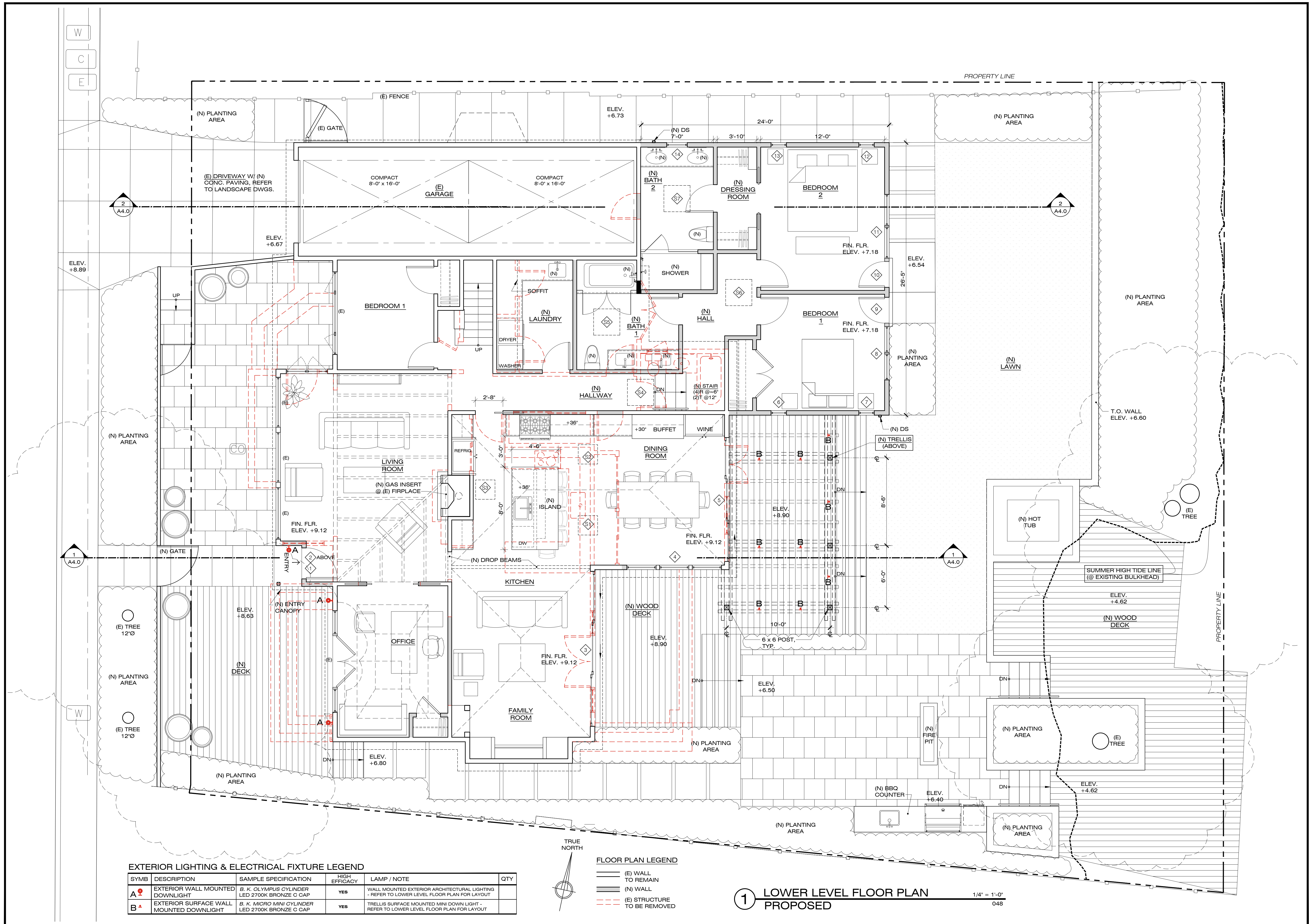
no. date / name

plot date

PROPOSED
LOWER LEVEL
FLOOR PLAN &
EXT. LIGHTING

drawing number

A2.0



EXTERIOR LIGHTING & ELECTRICAL FIXTURE LEGEND

SYMB	DESCRIPTION	SAMPLE SPECIFICATION	HIGH EFFICACY	LAMP / NOTE	QTY
A	EXTERIOR WALL MOUNTED DOWNLIGHT	B. K. OLYMPUS CYLINDER LED 2700K BRONZE C CAP	YES	WALL MOUNTED EXTERIOR ARCHITECTURAL LIGHTING - REFER TO LOWER LEVEL FLOOR PLAN FOR LAYOUT	
B	EXTERIOR SURFACE WALL MOUNTED DOWNLIGHT	B. K. MICRO MINI CYLINDER LED 2700K BRONZE C CAP	YES	TRELLIS SURFACE MOUNTED MINI DOWN LIGHT - REFER TO LOWER LEVEL FLOOR PLAN FOR LAYOUT	

FLOOR PLAN LEGEND

- (E) WALL TO REMAIN
- (N) WALL
- (E) STRUCTURE TO BE REMOVED

1 LOWER LEVEL FLOOR PLAN PROPOSED

1/4" = 1'-0"

048

**DURO-LAST
MEMBRANE ROOF
- LIGHT GREY**

DURO-LAST
THE WORLD'S BEST ROOF

PRODUCT DATA SHEET

DURO-LAST® 60-MIL MEMBRANE

Advantages:
Duro-Last® 60-Mil (DL60) membrane is an excellent choice for projects requiring a long lasting, energy efficient roofing membrane. The membrane is available in custom-fabricated sections or as roll goods. A complete line of custom-prefabricated accessories is available for the DL60 membrane.

Description:
DL60 membrane is composed of PVC film laminated to both sides of a reinforcement fabric (weft-inserted scrim).

Duro-Last membranes must not be used with Duro-Last EV membranes.

PVC Film - Proprietary thermoplastic PVC formulation of resins, plasticizers, stabilizers, biocides, flame retardants, and UV absorbers.

- PVC film above weft-inserted scrim - 28 mil

Weft-Inserted Scrim - An 18 x 14 polyester fabric construction with weft insertion, composed of 840 x 1000 denier threads, provides superior tear and puncture resistance. The polyester thread is treated to prevent wicking.

Total Thickness - 80 mil, nominal.

Weight - 0.36 lb. per square foot.

Colors - White, tan, gray and dark gray.

R-Value - 0.11 ft²·°F·hr/Btu.

Available Configurations:

Custom-fabricated Sections - DL60 is available in custom-fabricated sections, as listed within the Ordering and Estimating section on the Duro-Last website.

Roll Good - Typical Dimensions

Width	Length (max.)	Roll Area	Approx. Weight	Approx. Coverage ¹
64 inches	100 ft.	533 sq. ft.	192 lb.	483 sq. ft.
64 inches	50 ft.	267 sq. ft.	97 lb.	241 sq. ft.
32 inches	100 ft.	267 sq. ft.	97 lb.	217 sq. ft.
12 inches	100 ft.	100 sq. ft.	36 lb.	N/A
8 inches	100 ft.	67 sq. ft.	25 lb.	N/A

¹ Assuming 6-inch overlap.

Energy Efficiency:
White DL60 membrane is an excellent product for complying with California Title 24, LEED® and other energy efficiency programs requiring the use of a highly reflective roof membrane. It is an ENERGY STAR® qualified product.

Cool Roof Rating Council (CRR)C

Color	CRR ID	Solar Reflectance		Thermal Emittance		Solar Reflective Index (SRI)	
		Initial	3-yr	Initial	3-yr	Initial	3-yr
White	0610-0001	0.89	0.68	0.97	0.84	111	82
Tan	0610-0005	0.39	0.33	0.89	0.89	43	35
Gray	0610-0004	0.47	0.40	0.89	0.89	54	48
Dark Gray	0610-0006	0.26	0.25	0.88	0.89	26	25

LEED & LEED-EB Credits - White DL60 membrane alone can obtain 1 credit in either U.S. Green Building Council's LEED or LEED-EB programs. In combination with other design criteria the membrane may help attain other credits.

LEED Credit Category	Duro-Last Attribute
Sustainable Sites Credit 7.2	Solar Reflective Index (SRI) = 111
LEED-EB Credit 2.2	ENERGY STAR Qualified Thermal Emittance = 0.87

NSF/ANSI 347 PLATINUM CERTIFIED

Warranty:
The following warranties are available for projects utilizing DL60 membrane. Contact Duro-Last for warranty details.

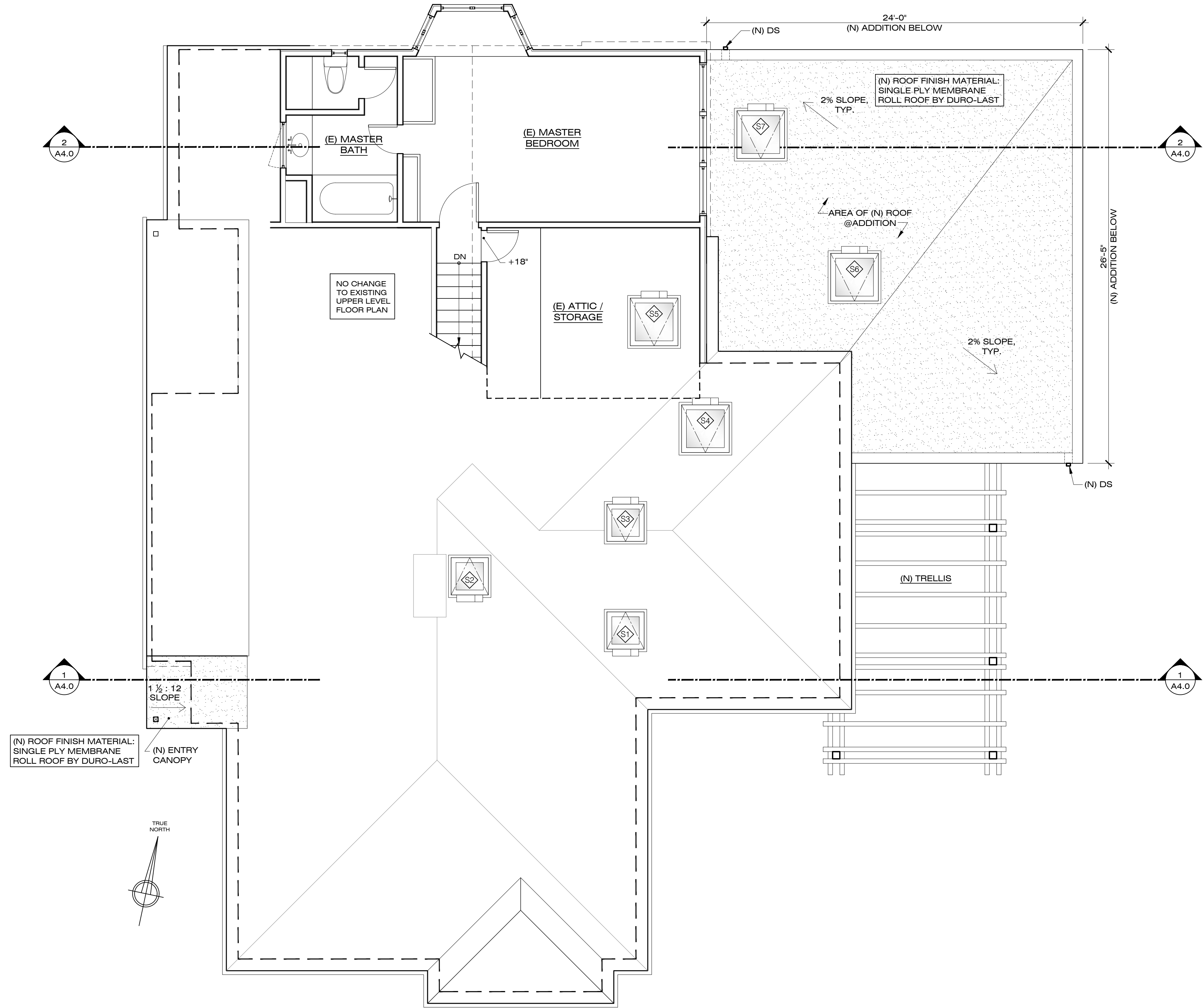
Supreme	Ultra	Basic	Residential
15-Year ND L Warranty	15-Year ND L High Wind Warranty	15-Year ND L Warranty	15-Year Residential Material Limited Warranty
20-Year ND L Warranty + 15 Years Consequential Damages And 5 Years Material	15-Year ND L High Wind Warranty	20-Year ND L Warranty	20-Year Residential Material Limited Warranty
20-Year ND L Warranty - 15 Years Consequential Damages And 5 Years Material and Labor	20-Year ND L High Wind Warranty	25-Year ND L Warranty	25-Year Residential Material Limited Warranty

Excludes consequential damage coverage.

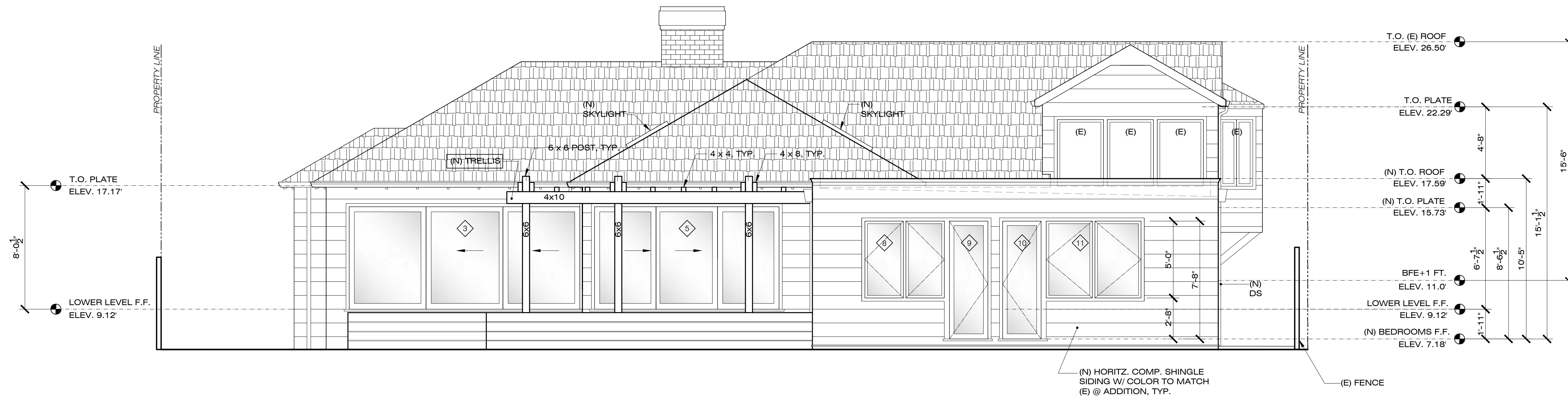
EXTERIOR GLAZED DOOR, WINDOW, & SKYLIGHT SCHEDULE

MARK	LOCATION	UNIT SIZE (NOMINAL)	DESCRIPTION/ TYPE	GLAZING	NOTES
1	GARAGE	3'-0" x 6'-80"	GLAZED DUTCH DOOR	DBL (T) (G)	KEYED ENTRY SET W/ DEADBOLT
2	ENTRY HALL	3'-0" x 1'-11"	CLERESTORY WINDOW	DBL (T) (G)	
3	FAMILY ROOM	15'-0" x 6'-8"	MULTI-SLIDE GLASS DOORS	DBL (T) (G)	
4	DINING ROOM	(3) 3'-0" x 5'-8"	PICTURE WINDOW	DBL (T) (G)	
5	DINING ROOM	12'-0" x 6'-8"	MULTI-SLIDE GLASS DOORS	DBL (T) (G)	
6	BEDROOM 1	1'-6" x 3'-0"	CASEMENT WINDOW	DBL (T) (G)	
7	BEDROOM 1	1'-6" x 3'-0"	CASEMENT WINDOW	DBL (T) (G)	
8	BEDROOM 1	(2) 2'-6" x 5'-0"	PAIR CASEMENT	DBL (T) (G)	
9	BEDROOM 1	2'-6" x 7'-8"	GLAZED IN-SWING FRENCH DOOR	DBL (T) (G)	
10	BEDROOM 2	2'-6" x 7'-8"	GLAZED IN-SWING FRENCH DOOR	DBL (T) (G)	
11	BEDROOM 2	(2) 3'-0" x 5'-0"	PAIR CASEMENT	DBL (T) (G)	
12	BEDROOM 2	1'-6" x 5'-0"	CASEMENT WINDOW	DBL (T) (G)	
13	BEDROOM 2	1'-6" x 5'-0"	CASEMENT WINDOW	DBL (T) (G)	
14	(N) BATH 2	2'-0" x 4'-6"	CASEMENT WINDOW	DBL (T) (G)	

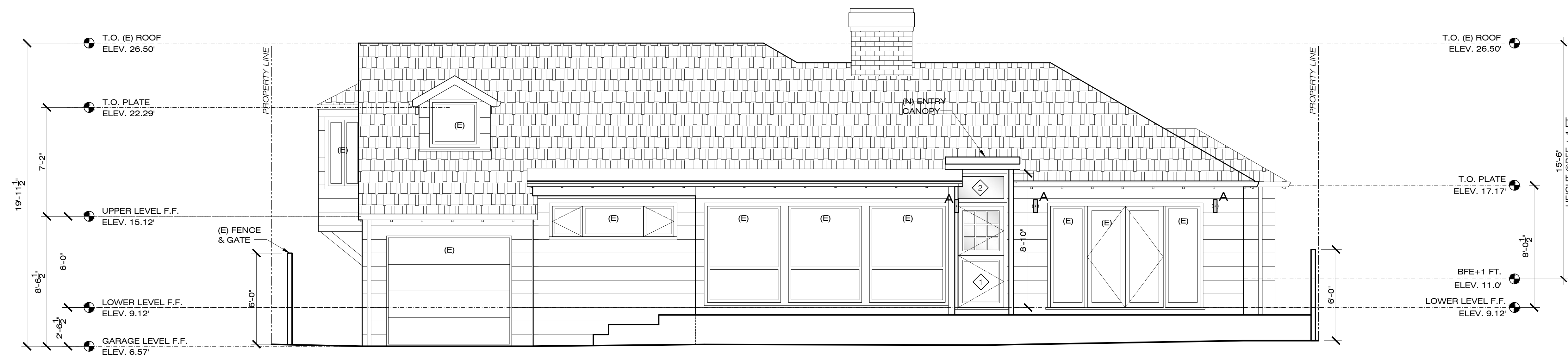
SKYLIGHTS					
S1	KITCHEN	2'-0" x 2'-0"	OPERABLE SKYLIGHT W/ SOLAR & RAIN SENSOR	DBL (T) (G)	VELUX VCS 2222
S2	KITCHEN	2'-0" x 2'-0"	OPERABLE SKYLIGHT W/ SOLAR & RAIN SENSOR	DBL (T) (G)	VELUX VCS 2222
S3	KITCHEN	2'-0" x 2'-0"	OPERABLE SKYLIGHT W/ SOLAR & RAIN SENSOR	DBL (T) (G)	VELUX VCS 2222
S4	(N) HALLWAY	2'-6" x 2'-6"	OPERABLE SKYLIGHT W/ SOLAR & RAIN SENSOR	DBL (T) (G)	VELUX VCS 3030
S5	(N) BATH 1	2'-6" x 2'-6"	OPERABLE SKYLIGHT W/ SOLAR & RAIN SENSOR	DBL (T) (G)	VELUX VCS 3030
S6	(N) HALL	2'-6" x 2'-6"	OPERABLE SKYLIGHT W/ SOLAR & RAIN SENSOR	DBL (T) (G)	VELUX VCS 3030
S7	(N) BATH 2	2'-6" x 2'-6"	OPERABLE SKYLIGHT W/ SOLAR & RAIN SENSOR	DBL (T) (G)	VELUX VCS 3030



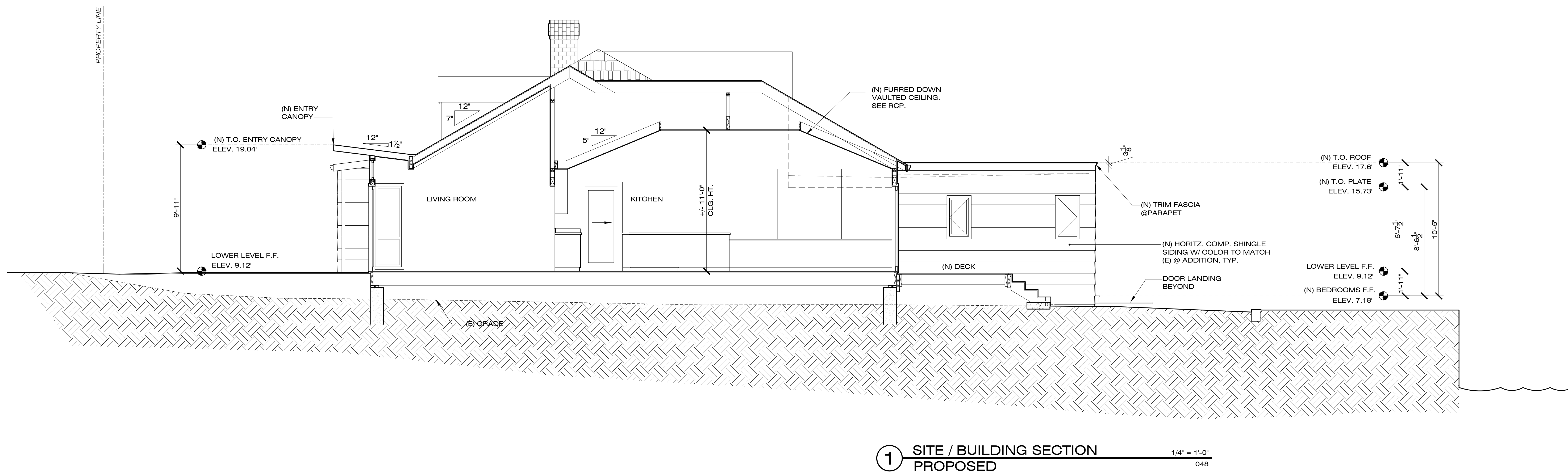
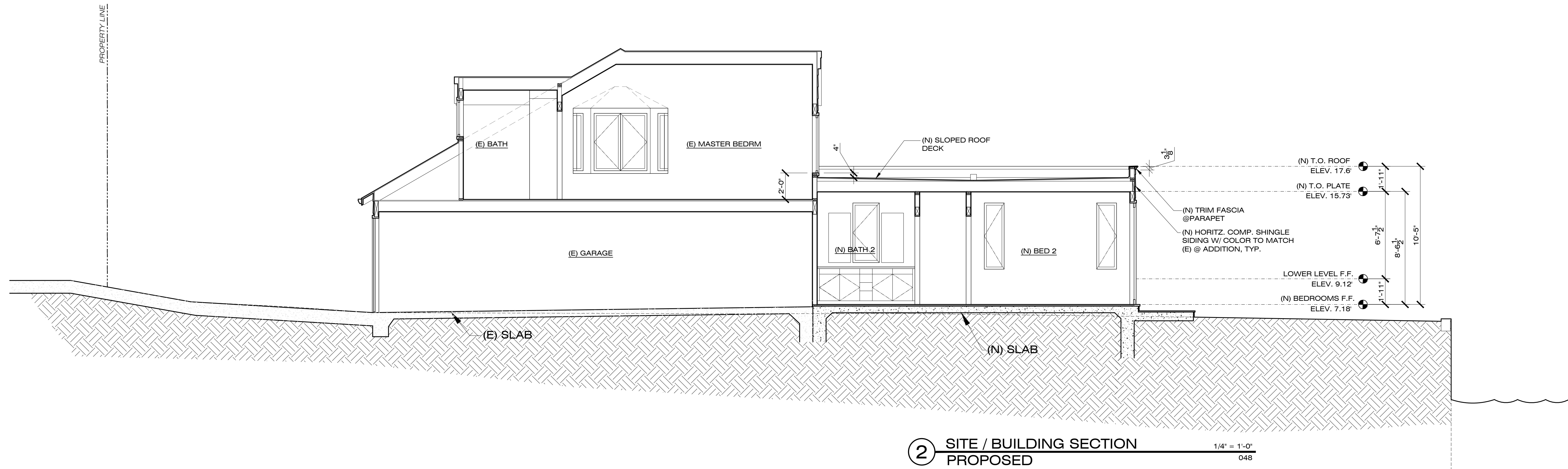
1 UPPER LEVEL FLOOR PLAN 1/4" = 1'-0" 048



2 EAST (LAGOON) ELEVATION 1/4" = 1'-0"
PROPOSED 048



1 WEST (STREET) ELEVATION 1/4" = 1'-0"
PROPOSED 048





AERIAL VIEW
FROM THE NORTHEAST



LAGOON VIEW
FROM THE NORTHEAST



AERIAL VIEW



STREET VIEW
FROM THE SOUTHEAST



**CITY OF BELVEDERE PLANNING COMMISSION
STAFF REPORT**

REPORT DATE: January 11, 2022 **AGENDA ITEM: 3**
MEETING DATE: January 18, 2022
TO: City of Belvedere Planning Commission
FROM: Rebecca Markwick, Senior Planner
REVIEWED BY: Irene Borba, Director of Planning & Building
Amy Ackerman, City Attorney

SUBJECT: **Design Review for a remodel and addition to the existing Single-Family Residence Located at 70 San Rafael Avenue**

RECOMMENDATION

The applicant requests for an interior remodel, addition and landscape improvements at 70 San Rafael Avenue. The application is included as **Attachment 2** and project plans are included as **Attachment 3**.

Staff recommends that the Planning Commission conduct the required public hearing and take the following actions:

MOTION 1 Adopt the Resolution granting Design Review for the proposed remodel, addition and landscaping at **70 San Rafael Avenue**, (**Attachment 1**);

PROPERTY SUMMARY

Project Address: 70 San Rafael Avenue
APN: 060-011-25
Project Applicant: Michael Heckman
Property Owner: Jeffrey and Katherine Ma/Revokable Trust
GP Designation: Medium Density Residential SFR – 3.1 to 6.0 units/net acre
Zoning: R-1L Single Family Residential, Belvedere Lagoon
Existing Use: Single Family Residence

Site Characteristics:

The subject site is a 7,370-square-foot parcel located in the R-1L Zoning District in Belvedere Lagoon. A portion of the site extends into Belvedere Lagoon and has a net lot area of 6,824-square feet at Summer Level High tide. The lot is generally flat with a

minor slope towards the lagoon. The property is adjacent to single-family homes and Belvedere Lagoon on its rear. The site is developed with a two-story residence, including an attached garage, decks and landscaped areas.



ZONING PARAMETERS

ELEMENT	PRESCRIBED	EXISTING	PROPOSED
Overall Lot Area	7,500 SF	7,370 SF	No Change
Lot Area (Excluding water)*	7,500 SF	6,824 SF	No Change
Lot Coverage (Excluding Water)	40% (2,730)	29.3% (1,999 SF)	38%(2,590 SF)
Total Floor Area	50%	35.3% 2,411 SF	44% 3,002 SF
Setbacks			
Front	5'	16'1"	No Change
Left Side	5' First Story 10' Second Story	5'5" First Floor 5'5" Second Story	No Change
Right Side	5' First Story 10' Second Story	5'5" N/A	No Change
Rear **	15'	29'9"	21'4"
Building Height	26' (max from BFE+1')	22'	No Change
Parking Spaces	2	2	No Change

* In the R-1L Zone, lot area is defined as the total area within the lot lines, excluding any portion which is underwater at summer-level high tide. (BMC Section 19.08.300)

** In the R-1L Zone, rear yard setbacks are measured from summer-level high tide. (BMC Section 19.48.010)

BACKGROUND/PROPERTY HISTORY

A review of City records indicates that the subject property received the following prior approvals:

- 1981 – Design Review Exception approval for solar panels.
- 1997- Design Review approval for a kitchen remodel, deck, dining room and porch expansion.
- 2000- Design review approval to repair and replace the existing fencing and windbreak. .

PROJECT ANALYSIS

DESIGN REVIEW

Residence

The applicant requests Design Review for an interior remodel, addition and landscape changes to the existing single-family dwelling.

The applications are included as **Attachment 2** and project plans are included as **Attachment 3**.

The applicant is requesting an interior remodel and exterior addition to update a 1941 lagoon home. The existing front entrance is proposed to be changed and an entry canopy is proposed to create better flow of the home. A 591 square foot addition is proposed on the first floor at the rear on the left side of the home. The addition will have a flat roof to lessen the impact to the neighbors and the existing upper floor. An interior remodel is also proposed to accommodate a more modern floor plan. New windows and doors are proposed in the areas of the remodel and the addition. An extensive landscaping plan is proposed. At the front of the home a new fence and gate are proposed at the new entry, additionally the ground level is proposed to be raised to meet the level of the sidewalk. New plantings are also proposed in the front. At the rear of the home new landscaping and hardscape are proposed. Adjacent to the addition at the rear of the home a new trellis is proposed to accommodate outdoor entertaining. A new spa and outdoor kitchen are also proposed. There are 3 birch trees and 1 pear tree proposed to be removed to accommodate the addition and the new landscaping. The large trees at the rear of the property will remain and provide screening of the rear yard and home.

The house is proposed to be painted a muted, grey/green color. The fence is proposed in wood horizontal slats. The existing light fixtures on the home will be replaced and 36 new landscaping lights. The lights proposed are down lit.

Design Review Findings

The Design Review findings, specified in the Belvedere Municipal Code, Title 20, state that all new structures and additions should be designed to avoid excessively large dwellings that are out of character with their setting or with other dwellings in the neighborhood. All buildings should be designed to relate to and fit in with others in the neighborhood and should not attract attention to themselves. To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided. Vertical and horizontal elements should be used to add architectural variety, to break up building planes, and to avoid monotony. Landscaping should soften and screen structures and maintain privacy.

In summary, staff can make the required findings for Design Review because there are no cut and fill areas, and grade changes, and the project is in harmony with the neighborhood. As noted

above, the entire property has been developed with structures, hardscape, planted landscape areas, and other site improvements and the addition and remodel will enhance all the improvements. The new entry will be balanced and harmonious with the site. The project as a whole relates to the natural landforms and minimize bulk and mass.

Exterior lighting will not create glare, hazard, or annoyance to neighboring property owners or passersby; the lights as proposed are downward facing lights. The colors are dark grey/green and the materials on the addition will match the existing. The proposed colors and materials will blend in well with the neighborhood.

Staff is able to make the required findings for Design Review as stated in the draft resolution of approval (**Attachment 1**).

ENVIRONMENTAL DETERMINATION

The project has been reviewed under the provisions of the California Environmental Quality Act (CEQA) and the CEQA Guidelines, California Code of Regulations. On **January 11, 2022** the proposed project was determined to be categorically exempt from CEQA pursuant to *Section 15301 Existing Facilities* because the proposed project includes the construction of an addition/remodel involving negligible or no expansion of use beyond that existing. Additionally, the project is exempt under the “Common Sense” Exemption as it can be seen with certainty that there is no possibility that the activity in question may have an effect on the environment. City action is required by **March 11, 2022** or the project may be deemed approved.

CEQA provides certain exceptions where categorical exemptions may not be used. Under one such exception, a CEQA categorical exemption may not be used if the project has the potential to cause a substantial adverse effect on a CEQA Tribal Cultural Resource.

Here a categorical exemption is appropriate because there is no possibility that the project would cause a substantial adverse effect on any potential Tribal Cultural Resources that may, or may not, exist on the site. The project is proposed on previously disturbed soil, as well as on fill soil, and therefore there is not the required integrity for a CEQA resource determination. Additionally, the subject property is categorized as a Medium Sensitivity site for Tribal Cultural Resources in the Belvedere 2030 General Plan Historical Resources Map.

CORRESPONDENCE

A copy of the public hearing notice for this item was published in *The Marin Independent Journal* newspaper and mailed to all property owners within 300 feet of the subject property. At the time of writing the staff report, Staff has not received any correspondence about this project.

CONSTRUCTION TIME LIMIT

Pursuant to section 20.04.035 of the Belvedere Municipal Code, the applicant is required to file an estimate of the total project cost that will establish the time limit within which construction of the proposed project will be completed pursuant to the Municipal Code. Here, the applicant has estimated that the cost of construction for this project would be greater than \$500,000 (valued at \$505,000). When applied to the above noted section of the Code, construction shall be completed eighteen (18) months from the commencement of work following the issuance of the building permit.

FEMA

The applicant has submitted an appraisal from Kirchhoff Appraisals. The proposal shows the project cost at \$505,000 and the appraisal of the existing structure at \$1,250,000 which puts the project cost at 45 percent of the market value of the structure. The proposed project complies with FEMA and City Floodplain regulations, and the Zoning Ordinance.

CONCLUSION

Staff can make all of the required findings for the Design Review application.

RECOMMENDATION

MOTION 1 Adopt the Resolution granting Design Review for proposed addition, remodel and landscaping at **70 San Rafael Avenue (Attachment 1)**

ATTACHMENTS

- Attachment 1: Draft Resolution for Design Review
- Attachment 3: Applications
- Attachment 4: Plans date stamped received December 23, 2021 by the City of Belvedere
- Attachment 5: Correspondence

**CITY OF BELVEDERE
RESOLUTION NO. 2022 -**

**A RESOLUTION OF THE CITY OF BELVEDERE GRANTING DESIGN REVIEW
APPROVAL FOR AN ADDITION AND REMODEL TO
THE RESIDENCE AT 70 SAN RAFAEL AVENUE**

WHEREAS, a proper application has been submitted for Design Review pursuant to Title 20 of the Belvedere Municipal Code for an addition, remodel and landscape changes to the existing residence at 70 San Rafael Avenue; and

WHEREAS, the project been determined to be categorically exempt from the California Environmental Quality Act (CEQA) pursuant to Section 15301, Existing Facilities; and

WHEREAS, CEQA categorical exemption Section 15301 is appropriate because the proposed project involves no expansion of an existing use and allows for minor alteration of existing private structures and there is no potential that the project would cause a substantial adverse effect on any Tribal Cultural Resources that may, or may not, exist on the site because proposed project will be constructed on previous disturbed soil and therefore there is no resource integrity; and

WHEREAS, the Planning Commission held a properly noticed hearing on January 18, 2022; and

WHEREAS, the Planning Commission finds based upon the findings set forth in Exhibit A attached hereto and incorporated herein, that with the conditions listed below, the proposed project is in substantial conformance with the Design Review criteria specified in Section 20.04.005 and 20.04.110 to 20.04.120 of the Belvedere Municipal Code.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Belvedere does hereby grant approval of the Design Review application pursuant to Title 20 of the Belvedere Municipal Code for an addition and remodel to the existing residence and garage with the following conditions:

- a) The property owner shall defend and hold the City of Belvedere and its officers harmless in the event of any legal action related to or arising from the granting of this Design Review approval, shall cooperate with the City in the defense of any such action, with counsel selected by the City in its discretion, and shall indemnify the City for any award of damages and/or attorneys' fees and associated costs that may result. This approval is conditioned upon the accuracy of all facts stated in the application and supporting documents
- b) Plans submitted to the Building Department for permit issuance shall be consistent with the approved Planning Commission plans and shall conform to the drawings prepared by Michael Heckman stamped received by the City of Belvedere on December 23, 2021.
- c) Within five (5) days of approval a Notice of Exemption shall be filed with the County of Marin County Clerk by the City of Belvedere Planning Department. A \$50.00 filing fee is required. A check shall be provided to the City of Belvedere Planning Department and made payable to the County of Marin.
- d) Prior to the issuance of a building permit a final Landscape and Lighting plan shall be submitted for review and approval by the Planning Commission Chair and the Director of Planning and Building.

- e) Three feet from the property line a planting area shall be constructed adjacent to the proposed parking pad on the northeast side of the property.
- f) Construction shall be limited to the hours of 8:00 a.m. to 5:00 p.m., Monday through Friday, except in special circumstances after obtaining written permission from the City Manager.
- g) All requirements of the City Engineer shall be met.
- h) An **Encroachment Permit** is required from the contractor for temporary and permanent improvements, work activities, and staging or storage of equipment and materials within the public right of way, subject to approval of the Public Works Manager.
- i) An updated **Revocable License** will be required for private improvements within the public right-of-way, City-owned parcels and lanes.
- j) This project will require a **video recording** of the condition of the haul route prior to start of construction. The applicant will be responsible for any damage, beyond normal wear and tear, to the roadway or other improvements along the haul route caused by the removal or delivery of materials by truck. To ensure any damage is repaired to the satisfaction of the City, a deposit may be required. The deposit amount (estimated range from \$10,000 to \$30,000) will be determined by the City Engineer at the time of the Building Permit review and is dependent upon the duration of the project and total project valuation. If it is determined that project construction caused damage, the amount to repair said damage shall be withheld from the deposit amount, with the remaining amount to be returned to the property owner.
- k) A **Geotechnical Investigation or geotechnical review letter** is required. The geotechnical investigation/letter should address site preparation, foundation, grading and drainage recommendations. The Geotechnical Engineer of record shall review the proposed Grading & Drainage Plans for conformance with their recommendation prior to Building Permit issuance.
- l) **Topographic Survey** information shall be included either on the site plan or on a separate plan. The basis for determining elevations (assumed, NGVD, or NAVD) should also be clearly indicated. The surveyor's name and license number shall be included.
- m) The project requires a **Site Plan** showing the property line locations (referencing the survey source and mapping information), any existing easements, building setbacks, encroachments etc.
- n) The project will require a detailed **Grading Plan & Drainage Plan** showing cut and fill earth volumes. Said plans shall incorporate, as appropriate, the MCSTOPPP Guidance for Applicants: Stormwater Quality Manual for Development Project in Marin County. This can be found at the following website:
http://www.marincounty.org/depts/pw/divisions/mcstoppp/development/~/_media/Files/Departments/PW/mcstoppp/GuidanceforApplicantsv_2508.pdf
- o) Prior to issuance of a building permit and where required by City of Belvedere municipal code Section 8.36.090 D., permanent stormwater controls for new and redevelopment projects, the applicant shall develop, submit and implement an approved **Stormwater Control Plan (SCP)** that follows the appropriate template in the most recent version of the

Bay Area Stormwater Management Agencies Association (BASMAA) Post Construction Manual.

- p) The project will require a **Utility Plan** (if not shown on the Site Plan) showing the existing site utilities and their alignment and locations, along with any proposed new locations or alignments for sewer, water, irrigation, gas, electrical, telephone, cable TV, etc.
- q) The project will require an **Erosion Control Plan** incorporating, as appropriate, the MCSTOPPP Minimum Erosion/Sediment Control Measures for Small Construction Projects:
http://www.marincounty.org/depts/pw/divisions/mcstoppp/development/~media/Files/Departments/PW/mcstoppp/development/MECM_final_2009.pdf
- r) All requirements of the Fire Marshal shall be met including but not limited to the following:
- The garage and main house shall have installed throughout an automatic fire sprinkler system conforming to NFPA Std. 13D, TFPD Policy 429.5. The system design, installation and final testing shall be approved by the District Fire Prevention Officer.
 - Approved smoke and carbon monoxide alarms shall be installed to provide protection to all sleeping areas. CFC 907.2.10
 - The vegetation on this parcel shall comply with the requirements of TFPD. CFC 304.1.2
- s) The general contractor shall submit a proposal to the City Manager, for review and approval, addressing the schedule for construction and parking locations for construction vehicles. Prior to the issuance of a building permit, the applicant shall update the Construction Management Plan to the satisfaction of the Building Official.
- t) Plans submitted to the Building Department for permit issuance shall be consistent with the approved Planning Commission plans.
- u) Design Review approvals expire twelve (12) months from the date of approval.
- v) Construction shall be completed within the Construction Time Limit established for this project.
- w) In the event unanticipated archaeological or paleontological resources are uncovered during construction, all work must be halted and an evaluation must be undertaken by a qualified archaeologist or paleontologist to identify the appropriate actions that shall be undertaken.
- x) These Conditions of Approval shall be printed on the Building Permit Construction Plan set of drawings.
- y) These restrictions shall be binding upon any successor in interest of the property.
- z) Prior to the issuance of a building permit the property owner shall demonstrate compliance with State/BAAQMD air quality requirements related to the dust generated by grading and construction.

Resolution 2022
70 San Rafael Avenue
January 18, 2022
Page 4

PASSED AND ADOPTED at a regular meeting of the Belvedere Planning Commission on January 18, 2022, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

RECUSED:

APPROVED: _____
Peter Mark, Planning Commission Chair

ATTEST: _____
Beth Haener, City Clerk

EXHIBIT A

Preservation of existing site conditions. To preserve the landscape in its natural state, the removal of trees, vegetation, rock, and soil should be kept to a minimum. Projects should be designed to minimize cut and fill areas, and grade changes should be minimized and kept in harmony with the general appearance of the neighboring landscape.

Landscaping will be upgraded, new vines, shrubs, perennials, and ground covers will be planted. As designed, the renovation proposes no cut and fill areas, grade changes, and is kept in harmony with the general appearance of the neighboring landscape.

Relationship between structures and the site. There should be a balanced and harmonious relationship among the structures on the site, between the structures and the site itself, and between the structures and those on adjoining properties. All new buildings or additions constructed on sloping land should be designed to relate to the natural land-forms and step with the slope in order to minimize the building mass and bulk and to integrate the structure with the site.

The project proposal maintains a balanced and harmonious relationship between the structure and its site and adjoining properties because the proposed small change to the front entry of house has been designed to relate to and fit in with the existing house and topography of the site. The addition is designed to minimize the bulk and mass. The proposed changes are designed to integrate with the existing house and garage as well as integrating into the existing neighborhood.

Minimizing bulk and mass.

A. All new structures and additions should be designed to avoid monumental or excessively large dwellings that are out of character with their setting or with other dwellings in the neighborhood. All buildings should be designed to relate to and fit in with others in the neighborhood and not designed to draw attention to themselves.

The new entry and addition are designed to avoid appearing monumental or excessively large in size. The entry and addition have been designed so that they fits into the character of the neighborhood. The remodel will blend in with the neighborhood.

B. To avoid monotony or an impression of bulk, large expanses of any one material on a single plane should be avoided, and large single plane retaining walls should be avoided. Vertical and horizontal elements should be used to add architectural variety, to break up building planes, and to avoid monotony.

The entire house and garage will be painted, there is not a large expanse of one material and there are no retaining walls proposed. The new exterior fence and gate will add architectural variety and will break up building walls to avoid monotony.

Materials and colors used. Building designs should incorporate materials and colors that minimize the structures visual impacts, that blends with the existing landforms and vegetative cover, that relate to and fit in with structures in the neighborhood, and that do not attract attention to the structures themselves. Soft and muted colors in the earthtone and woodtone ranges are preferred and generally should predominate. Trim and window colors should be compatible with and complementary to the other building colors.

The existing materials, large wood shingles and a shake roof are appropriate for the residence in that they are quality materials that blend in well with the surrounding properties and match the existing dwelling. The proposed color is muted and is compatible with the neighborhood.

Fences and screening.

A. Fences and physical screening should be located so as to be compatible with the design of the site and structures as a whole, should conceal and screen garbage areas, mechanical equipment, and structural elements from public view, should preserve privacy between adjoining dwellings, where practical, and should not significantly block views.

A new gate and fence is proposed at the front and the remaining fencing will not be removed. The proposed fence and gate are compatible with the site and the structure and will provide an update to the existing home.

Privacy. Building placement, and window size and placement should be selected to give consideration to the privacy of adjacent buildings.

Building placement, and window and door size and placement has been selected to consider the privacy of adjacent buildings. There is some reconfiguration of windows and doors to accommodate the remodel.

Drives, parking and circulation. Walkways, driveways, curb cuts and off-street parking should be planned and designed so as to minimize interference with smooth traffic flow, to encourage separation of pedestrian from vehicular traffic, and to be as safe and convenient as is practical. They should not be out of relationship with the design of the proposed buildings and structures on the site, and should not intrude on the privacy of, or conflict with the appearance or use of neighboring properties.

There are no changes to the proposed driveway, parking and circulation.

Exterior lighting, skylights, and reflectivity. Exterior lighting should not create glare, hazard, or annoyance to neighboring property owners or to passersby. Lighting should be shielded and directed downward, with location of lights coordinated with the approved landscape plan. Skylights should not have white or light opaque exterior lenses.

All new lighting will be down lit and have covered bulbs. The lighting will not create glare, hazard or annoyance to the neighboring property owners or passersby. There are four new skylights proposed and will not have white or light opaque exterior lenses.

Consideration of nonconformities. The proposed work shall be viewed in relationship to any nonconformities, as defined in Title 19, and where it is determined to be feasible and reasonable, consideration should be given to conditioning the approval upon the mitigation or elimination of such nonconformities.

There are no nonconformities that are appropriate to be mitigated or eliminated with this application.

Landscape plans -- Purpose.

A. Landscape plans should be compatible with the character of the site and surrounding developed properties. Native or natural appearing vegetation, with generally rounded,

natural forms, should be placed to appear as loose, informal clusters. B. Landscape plans shall include appropriate planting to soften or screen the appearance of structures as seen from off-site locations and shall include appropriate screening for architectural elements, such as building foundations, deck supports, and retaining walls, that cannot be mitigated through architectural design. C. Landscape plans should provide privacy between properties. Choice of landscape materials should take into consideration the future impact which new planting may have in significantly obstructing views from nearby dwellings.

Landscape Plans – Materials. A. Plant materials native to northern California and Marin County, and those that are drought-tolerant are encouraged. Evergreen species are encouraged for use in screen planting situations. Because of high water usage, turf areas should be minimized and narrow turn areas, such as in parking strips, should be avoided. B. Landscape plans should include a mix of fast and slow growing plant materials. Fast growing trees that have a short life span should be used only when planted with others which reach maturity at a later age. C. Landscape plans should include water conserving irrigation systems. Plant materials should be selected so that once established, much of the major site landscaping would survive solely on rainfall.

The majority of the landscaping will be updated, shrubs, perennials, grasses, and vines are proposed. The proposed landscaping is drought tolerant and native. The project proposes to upgrade the hardscape in the front, sides and rear of the house creating a more useable outdoor dining and entertaining area for the homeowners.



APPLICATION FOR DESIGN REVIEW

CITY OF BELVEDERE • PLANNING DEPARTMENT
450 SAN RAFAEL AVE • BELVEDERE, CA 94920-2336
PH. 415-435-3838 • FAX 415-435-0430 • WWW.CITYOFBELVEDERE.ORG

FOR STAFF USE ONLY

Date: _____ Rec'd. by: _____ Planning Comm. Approval
Design Review Exception
Amount: _____ Receipt No.: _____ Staff Approval
Parcel No.: _____ Zone: _____
Located in Flood Zone AE VE N/A

SECTION 1 • PROJECT SUMMARY

Does this project have an active building permit? No Yes Permit No.: _____
Is this property adjacent to a City Owned Lane? No Yes
Is there an Existing Revocable License for this property? No Yes Lic # _____
Does this project have Planning Commission approval? No Yes

Address of Property: 70 SAN RAFAEL AVE.

Record Owner of Property: JEFFREY & KATHERINE MA/REVOKABLE LIVING TRUST

Mailing 70 SAN RAFAEL AVE. Daytime Phone: 949.275.1172

Address: BELVEDERE, CA 94920 Fax: _____

Email: katherine.b.ma@gmail.com

Owner's Representative: MICHAEL HECKMANN

Mailing 1606 JUANITA LANE, Daytime Phone: 415.435.2446

Address: SUITE C-G Fax: _____

BELVEDERE, CA 94920 Email: heckmannarchitects@earthlink.net

Project Description: REMODEL OF EXISTING RESIDENCE, ADDITION OF
TWO BEDROOMS & BATH AT NORTHEAST CORNER, NEW DOORS & WINDOWS,
NEW SITE IMPROVEMENTS & LANDSCAPING

ZONING PARAMETERS:

	<u>Required</u>	<u>Existing</u>	<u>Proposed</u>
Lot Area	<u>7,500</u>	<u>7,370</u>	<u>7,370</u>
Lot Coverage	<u>2,948</u>	<u>1,999</u>	<u>2,590</u>
Total Floor Area	<u>3,412</u>	<u>2,411</u>	<u>3,002</u>
Front Yard Setback	<u>5'10"</u>	<u>16'-1" / 7'-11"</u>	<u>NO CHANGE</u>
Left Sideyard Setback	<u>5'</u>	<u>5'-5"</u>	<u>NO CHANGE</u>
Right Sideyard Setback	<u>5'</u>	<u>5'-5"</u>	<u>NO CHANGE</u>
Rear Yard Setback	<u>15'</u>	<u>47'-2"</u>	<u>32'-5"</u>
Building Height Maximum...	<u>22'</u>	<u>15'-6"</u>	<u>NO CHANGE</u>
Building Height Average...	<u>N.A.</u>		
Parking Spaces	<u>2</u>	<u>2</u>	<u>2</u>

SECTION 2 • ENVIRONMENTAL INFORMATION REQUIRED BY CEQA

Date Filed: 9/8/2021 (To Be Completed by Applicant)

General Information

1. Name and address of developer or project sponsor: _____
2. Address of project: 70 SAN RAFAEL AVE.
3. Name, address, and telephone number of person to be contacted concerning this project: MICHAEL HECKMANN
1606 JUANITA LN, SUITE C-6, TIBURON CA 94920 415-435-2446
4. Indicate number of the permit application for the project to which this form pertains: _____
5. List and describe any other related permits and other public approvals required for this project, including those required by city, regional, state and federal agencies: _____
6. Existing zoning district: R1-L
7. Proposed use of site (Project for which this form is filed): SINGLE FAMILY RESIDENCE
8. Year built: 1941 Original architect: UNKNOWN

Project Description

9. Site size. 7200 S.F.
10. Square footage. 2240 S.F. FLOOR AREA
11. Number of floors of construction. ONE
12. Amount of off-street parking provided. TWO TANDEM IN GARAGE
13. Plans attached? YES
14. Proposed scheduling. START CONSTRUCTION APRIL 2022

- 15. Associated projects, such as required grading or staging. NONE

- 16. Anticipated incremental development. NONE
- 17. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected. NOT APPLICABLE
- 18. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities. NOT APPLICABLE
- 19. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required. NOT APPLICABLE

Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).

	Yes	No
20. Change in existing features of any bays, tidelands, beaches, or hills, or substantial alteration of ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Change in scenic views or vistas from existing residential areas or public lands or roads.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Change in pattern, scale or character of general area of project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23. Significant amounts of solid waste or litter.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Change in dust, ash, smoke, fumes or odors in vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Change in ocean, bay, lake, stream or ground water quality or quantity, or alteration of existing drainage patterns.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
26. Substantial change in existing noise or vibration levels in the vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Site on filled land or on slope of 10 percent or more.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
28. Use of, or disposal of potentially hazardous materials, such as toxic substances, flammables or explosives.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
29. Substantial change in demand for municipal services (police, fire, water, sewage, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
30. Substantially increase fossil fuel consumption (electricity, oil, natural gas, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
31. Relationship to a larger project or series of projects.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
32. Changes to a structure or landscape with architectural or historical value.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
33. Changes to a site with archeological or cultural value such as midden soil.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

Environmental Setting

- 34. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or Polaroid photos will be accepted. THE PROPERTY IS PREDOMINATELY LEVEL WITH ABOUT 12" SLOPE DOWN FROM FRONT TO BACK. THE SITE WAS CREATED BY FILL OVER BAY AND SAKULWS. EXISTING RESIDENCE IS SMALL SCALE, TRADITIONAL HOME.

- 35. Describe the surrounding properties, including information on plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, set-back, rear yard, etc.). Attach photographs of the vicinity. Snapshots or Polaroid photos will be accepted. THIS RESIDENTIAL PROPERTY IS FLANKED BY SINGLE-FAMILY HOMES WITH A LAGOON TO THE REAR. THE FRONT BORDERS A STREET WHICH IS ADJACENT TO RICHARDSON BAY SHORELINE.

SECTION 3 • ESTIMATE OF TIME FOR CONSTRUCTION
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For Design Review applications not requiring a building permit this section does not apply. Design Review approvals expire twelve (12) months from the date of approval unless granted a longer duration by the Planning Commission.

This Section advises you of the Time Limit Guidelines that are applied to all Design Review applications that require a building permit as prescribed by Section 20.04.035 of the Belvedere Municipal Code.

B. Construction Time Limit Required. This Chapter shall apply to any project for which a design review approval is required, any project requiring a building permit with an estimated construction value of \$50,000 or greater, and/or any landscaping project with an estimated construction value of \$50,000 or greater that is associated with a building permit. As part of any application for design review, the applicant shall file a reasonable estimate of the cost of the proposed project, and based thereon, a construction time limit shall be established for the project in accordance with the guidelines set forth in Subsection C of this Section. The maximum time for completion of project shall not exceed six months for additions and remodeling up to \$100,000 in value; 12 months for construction up to \$500,000 in value; and 18 months for construction valued at more than \$500,000. Failure to complete construction in the agreed upon time will result in fines ranging from \$600 per day to \$1200 per day with a \$300,000 maximum penalty. Application for an extension of the prescribed time limit can be made providing certain conditions are met. The maximum extension is 6 months. The time for completion of the construction shall also be indicated on the building permit.

In the space provided below please indicate the estimated project valuation.

Estimated cost of construction: \$ 507,000

Based on the above estimated project valuation, check one of the following Time Limit Guidelines that shall apply to your project:

- 1. For new construction, the demonstrable value of which is estimated to be less than \$500,000.
Construction shall be completed twelve (12) months from the commencement of work following the issuance of the building permit.
- 2. For new construction, the demonstrable value of which is estimated to be more than \$500,000.
Construction shall be completed eighteen (18) months from the commencement of work following the issuance of the building permit.
- 3. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at less than \$100,000.
Construction shall be completed six (6) months from the commencement of work following the issuance of the building permit.
- 4. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at less than \$500,000.
Construction shall be completed twelve (12) months from the commencement of work following the issuance of the building permit.
- 5. For additions, alterations, modifications and repairs, the demonstrable value of which is estimated at more than \$500,000.
Construction shall be completed eighteen (18) months from the commencement of work following the issuance of the building permit.

For those projects that do not fall under any of the above Time Limit Guidelines or that wish to exceed the time limit that was approved by the Planning Commission, the following is the “**Extension of Construction Time Limit**” process (BMC Section 20.04.035(D)):

D. Extension of Construction Time Limit.

1. An applicant may request a construction time limit extension at the time of the design review hearing or after the issuance of a building permit. An applicant is limited to one construction time limit extension per project.

2. The Planning Commission has the authority to grant, conditionally grant, or deny a time limit extension request made at the time of a design review hearing based on the reasonable anticipation of one or more of the factors in this Subsection. The Planning Commission’s decision may be appealed in writing to the City Council.

3. The extension committee has the authority to administratively grant, conditionally grant, or deny a time limit extension request made after the issuance of a building permit based on one or more of the factors in this Subsection. The extension committee shall consist of the City Building Official, the Director of Planning and Building, and the Public Works Manager, who shall meet with the project contractor, architect and, at the applicant’s option, a representative or the applicant. The extension committee shall review the extension request within 10 working days of receiving a complete application. Within 10 working days of receiving the decision, the applicant may appeal the extension committee’s decision to the Planning Commission and the Planning Commission’s decision to the City Council. All appeals shall be scheduled within a reasonable time of the receipt of the appeal.

4. An application for a construction time limit extension shall be accompanied by complete working drawings for the construction, a written explanation of the reasons for the requested extension, any other information requested by Planning staff, and a fee as established by City Council resolution.

5. Projects with an initial 18-month construction time limit may receive a maximum 6-month extension for a total time limit of 24 months. Projects with an initial 6 or 12-month construction time limit may receive an extension, provided that such extensions do not result in a total construction time limit exceeding 18 months.

6. Landscaping Extension. When landscaping work, which was approved as part of a larger construction project, is delayed because of inclement weather, the applicant may file with the City Manager for an extension to complete the landscaping work. The request must be filed prior to, and may not exceed 30 days beyond, the final building inspection approval, issuance of an occupancy permit, or expiration of the 90-day landscaping time limit granted per Subsection C2 above, whichever occurs later. The City Manager shall grant said extension only if, in his or her opinion, such extension is warranted because of delays caused by inclement weather.

7. Construction Time Limit Extension Factors. Requests for construction time limit extensions shall be determined based on one or more of the following factors:

- a. Site topography
- b. Site access
- c. Geological issues
- d. Neighborhood considerations
- e. Other unusual factors
- f. Extreme weather events
- g. Unanticipated discovery of archeological resources
- h. Other conditions that could not have been reasonably anticipated at the time of project application

SECTION 4 • ACKNOWLEDGEMENT OF HOURLY BILLING COSTS

This Section advises you of the costs that may be involved in processing Planning-related applications and/or appeals. You are hereby requested to acknowledge this information and agree to be responsible for all expenses incurred in the processing of your application(s)/appeal(s).

As the property owner/appellant, you agree to be responsible for the payment of all costs, both direct and indirect, associated with the processing of the applications(s)/appeals(s) referenced below. Such costs may be incurred from the following source:

Hourly billing costs as of July 1, 2018, (subject to change without notice):

Director of Planning & Building	\$ 85.00
Associate Planner	\$ 59.00
City Attorney	\$ 240.00
Specialized Planning Consultant	Actual costs + 25% overhead

For all applications and appeals, an initial deposit is required at the time of submittal, with the amounts determined by City Council resolution. In addition to the initial deposit, the property owner/appellant may be required to make further deposits for anticipated work. Invoices are due and payable within 15 days. Application(s) /or appeal(s) will not be placed on an agenda until these deposits are received.

SECTION 5 • ACKNOWLEDGEMENT OF RESPONSIBILITY

This Section applies to all projects that receive design review. To avoid misunderstandings regarding changes to building plans that have received Design Review, please read and acknowledge the below information. To help your project proceed in an expeditious and harmonious manner, the City of Belvedere wishes to inform you of several basic understandings regarding your project and its approval. By you and your representative signing this document, you are acknowledging that you have read, understand, and will comply with each of the points listed.

1. Once Design Review approval has been granted, construction plans may be submitted to the City. The construction plans shall be **identical** to the plans approved for design review. (BMC §20.04.010). Deviations from the plans approved for Design Review cannot be approved except by an amendment to the Design Review approval. It is the applicants' responsibility to assure conformance, and the failure of staff to bring nonconformities to the applicants' attention shall not excuse the applicant from such compliance.
2. Comments from City staff regarding the project shall neither be deemed official nor relied upon unless they are in writing and signed by the City Manager or his designee.
3. Without the prior written approval of the City, construction on the project shall not deviate in any manner, including but not limited to form, size or color, from approved construction plans. If at any time during construction, and without such written approval, construction on the project is found by a member of City staff to deviate from the approved construction plans in any manner, an official STOP WORK ORDER will be issued by the City, and there shall be a total cessation of all work on the project.
4. If such a STOP WORK ORDER is issued, the City may initiate proceedings to impose administrative penalties or nuisance abatement proceedings and issue an order to show cause, which will compel the undersigned property owner to appear before the City Council and show cause why the work performed does not deviate from the approved plans and why such work should not be condemned as a public nuisance and abated. (Authority: Belvedere Municipal Code Chapters 1.14 and 8.12)

Project Address: 70 SAN RAFAEL AVE.

SECTION 6 • ADDITIONAL INFORMATION FOR APPLICANTS

Story Pole Requirement

Preliminary Story Poles sufficient to indicate the height and shape of the proposed structure or additions shall be placed on the site **at least twenty (20) days** prior to the first meeting date at which this application will be heard. **Final Story Poles** must be placed at the site **at least ten (10) days** prior to the first meeting date and removed no later than ten (10) days following the final city action on the project application. Story poles shall be connected at their tops with colored tape or ribbon to clearly indicate ridges, eaves, and other major elements of the structure.

Limit on the Number of Administrative and Planning Commission Design Review Approvals

Pursuant to Belvedere Municipal Code Section 20.04.020(B)(1)(a), for a site or structure with no existing active Design Review approval, during any twelve-month period, an applicant may obtain up to four administrative approvals, which may be in the form of either Staff Approval, Design Review Exception, or a combination of the two. However, there is no limit to the number of times an applicant may apply for Planning Commission Design Review. **Any such administrative or Planning Commission Design Review approval(s) shall be valid for a period of twelve (12) months from the date of approval, unless a building permit has been issued for the project within said twelve (12) month period, in which case the Design Review approval shall be valid as long as there is an active building permit for the project.**

Once a project has been approved by Planning Staff or the Planning Commission, administrative approvals to amend the existing active Design Review approval for that project shall be limited to three such approvals at any time during the lifetime of the underlying Design Review approval, plus one such approval during the process of obtaining final inspection approval of the project. **Any such administrative approval(s) granted shall NOT extend the twelve (12) month term, of the underlying Design Review approval, or the building permit construction time limit if a building permit has been issued for the project.**

**STATEMENT OF PROPERTY OWNERSHIP,
CERTIFICATION OF APPLICATION, & DESIGNATION OF REPRESENTATIVE**

All property owners must complete and sign the section below which is applicable to your property.

Street address of subject property: 70 SAN RAFAEL AVE.

Assessor's Parcel No(s). of subject property: 060-011-29

➤ **Properties Owned by a Trust, LLC, Corporation, Partnership, or Other Entity**

Please provide proof of ownership and of the signer's authority to enter into contracts regarding this property. One or more of the following documents *may* contain the necessary information.

- **For Trusts:** the **Trust Document** or a **Certificate of Trust**, including any attachments thereto; **Property Deed; Certificate of Title Insurance.**
- **For other entities:** **Articles of Incorporation; Partnership Agreement; Property Deed; Certificate of Title Insurance;** written certification of facts by an attorney.

Photocopies are acceptable. To ensure privacy, documentation will be shredded in a timely manner, or, upon request, returned to the applicant.

I, Jeffrey and Katherine Ma, state under penalty of perjury under the laws of the State of California that the above-described subject property is owned by a Trust, LLC, Corporation,

Project Address: 90 SAN RAFAEL AVE.

Partnership, or other entity and that my signature on this application has been authorized by all necessary action required by the LLC, Corporation, Partnership, or other entity.

I hereby make application for approval of the design review requested. I have read this application and hereby certify that the statements furnished above and in the attached exhibits present the data and information required for the design review and initial environmental evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief

I agree to be responsible for all costs incurred in connection with the processing of my application and appeals, if any. And I agree to be bound by Section 5, "Acknowledgement of Responsibilities," above and representations one through four contained therein.

In the case of an application for revocable license, I agree that, upon approval by the City Council of the revocable license requested, I will promptly execute a license drafted by the City, have it notarized, and return it to the City so that it may be recorded.

I understand that the contents of this document are a Public Record. If more than one signature is required by the owner entity to make this application, please have all signers sign below.

Signed this 7th day of September, 2021, at Belvedere, California.

Signature [Handwritten Signature]

Signature [Handwritten Signature]

Title(s) _____

Title(s) _____

Trustee(s) Partners: Limited or General Corporation Other _____

Name of trust, LLC, corporation, or other entity: Jeffrey K. Ma and Katherine Belden Ma
Revocable Living Trust

> Properties Owned by Individuals

I, _____, state under penalty of perjury under the laws of the State of California that I am the record owner of the above-described subject property.

I hereby make application for approval of the design review requested. I have read this application and hereby certify that the statements furnished above and in the attached exhibits present the data and information required for the design review and initial environmental evaluation to the best of my ability, and that the facts, statements and information presented are true and correct to the best of my knowledge and belief.

I agree to be responsible for all costs incurred in connection with the processing of my application and appeals, if any. And I agree to be bound by Section 5, "Acknowledgement of Responsibilities," above and representations one through four contained therein.

In the case of an application for revocable license, I agree that, upon approval by the City Council of the revocable license requested, I will promptly execute a license drafted by the City, have it notarized, and return it to the City so that it may be recorded.

I understand that the contents of this document are a Public Record.

Signed this _____ day of _____, 20____, at Belvedere, California.

Signature _____

Project Address: 70 SAN RAFAEL AVE.

➤ **Designation of Owner's Representative (Optional)**

I hereby authorize MICHAEL HECKMANN to file on my behalf any applications, plans, papers, data, or documents necessary to obtain approvals required to complete my project and further authorize said person to appear on my behalf before the Planning Commission and/or City Council. This designation is valid until the project covered by the application(s) is completed and finalized or until the designation is rescinded in writing.

Signature of Owner: _____

Date: _____

Signature of Representative: 

Date: 8/11/2021

APPRAISAL OF:

The Depreciated Improvements for FEMA Compliance
Purposes located at:

70 San Rafael Ave
Belvedere, CA 94920

AT THE REQUEST OF:

Michael Heckmann Architects
1680 Tiburon Blvd
Tiburon, CA 94920

AS OF:

November 2, 2020

PREPARED BY:

David Kirchhoff
Certified Residential Appraiser AR001565
2290 Spanish Trail
Tiburon, CA 94920

K I R C H H O F F A P P R A I S A L S

Certified Residential Appraisers
2290 Spanish Trail
Tiburon, CA 94920

(415) 531-2656

E-mail: david@finehomesmarin.com

November 8, 2020

By email: heckmannarchitects@earthlink.com
Katherine.b.ma@gmail.com

Michael Heckmann
Heckmann Architects
1680 Tiburon Blvd
Tiburon, CA 94920

**RE: Appraisal of Depreciated Improvements at 70 San Rafael Ave., Belvedere, CA 94920
APN 060-011-25 for FEMA Compliance Purposes**

As requested, we have performed the necessary analysis to determine an opinion of current value of the depreciated value of the improvements for FEMA compliance purposes regarding proposed remodeling of improvements the subject property.

This is a Restricted Appraisal Report which is intended to comply with the reporting requirements set forth under Standards Rule 2-2(c) of the 2018-19 Uniform Standards of Professional Appraisal Practice for a Restricted Appraisal Report. As such, it presents somewhat limited discussions of the data, reasoning, and analyses that were used in the appraisal process to develop the appraiser's opinion of value. Supporting documentation concerning the data, reasoning, and analyses is retained in the appraiser's file. The depth of discussion contained in this report is specific to the needs of the client and for the intended use stated below. The appraiser is not responsible for unauthorized use of this report.

Client: Heckmann Architects and Owner

Purpose of the Appraisal: FEMA substantial improvement compliance purposes
for City of Belvedere Building Department

Definition of Market Value: The most probable incremental value which this single family residence and the attached garage and deck should bring in a competitive and open market under all conditions requisite to a fair sale of the entire property, the buyer and seller, each acting prudently, knowledgeably and assuming the price is not affected by undue stimulus. Implicit in this definition is the consummation of a sale as of a specified date and the passing of title from seller to buyer under conditions whereby: (1) buyer and seller are typically motivated; (2) both parties are well informed or well advised, and each acting in what he or she considers his or her own best interest; (3) a reasonable time is allowed for exposure in the open market; (4) payment is made in terms of cash in U. S. dollars or in terms of financial arrangements comparable thereto; and (5) the price represents the normal consideration for

the property sold unaffected by special or creative financing or sales concessions granted by anyone associated with the sale.

Methodology Used: As the purpose of the Appraisal is to determine the depreciated value of the replacement value new of the residence and associated attached improvements, the segregated Cost Approach and Land Extraction Approaches were used

Intended User: Restricted to client and owner use only or their designees

Real Property Appraised: Single family residence, attached deck and attached garage at 70 San Rafael Ave., Belvedere, CA 94920

Real Property Interest Appraised: Fee Simple

Effective Date of Report: November 2, 2020

Ownership History: The Current owners, Jeffrey K and Katherine B. Ma purchased the property on April 25, 2019 for \$3,140,000. The property previously had not been sold in the prior three years.

Scope of Work: The scope of this appraisal involved using two methodologies and reconciling the two methods to a final estimated value for the depreciated value of the improvements consistent with FEMA procedures.

The first method involves researching and estimating the current reproduction cost new of the single-family residence and associated attached improvements, estimating the life expectancy and effective age of these elements, and aggregating a depreciated value for the remainder life value for the FEMA substantial improvement compliance purposes.

The second approach is relevant as there was a recent open market sale which provides opportunity to use the Land Extraction Method to determine the estimated value of the depreciated improvements and to reconcile two different appraisal approaches. This method subtracts the Extracted estimated Land Value from the recent sales price after adjustments to the estimated Land Value for relevant negative or positive characteristics of the site based on market preferences. This remainder value is then the estimated depreciated value of the improvements based on sales market data instead of cost data.

The two approaches are then compared and reconciled to determine a final estimated value for the depreciated value of the improvements for FEMA calculation purposes.

Description of the Improvements: The subject is considered by the Assessor as a very good quality, two level, four bedroom two bath Lagoon home originally built in 1941. Subsequently, the home has been remodeled and updated including a complete custom kitchen remodel estimated approximately circa 1995, double pane windows and custom exterior doors, complete new electrical service and wiring, partial updating of one bathroom, skylights in the kitchen and between the family room and family room, vaulted ceilings with custom trim and lighting, a built custom media pop out in the dining room, and custom ipay decking with built-in seating and steps down to the rear yard area and boat dock adjoining and attached to the rear of the house There is also attached decking and steps down to the front brick patio off the dining room. The overall quality rating is estimated 8.5 out of a possible 10. The improvements are situated on a typical size Lagoon frontage rectangular lot with 7200 sq ft of area with northwesterly exposure at the front of the house and southeasterly exposure in the rear yard area.

The entire southeasterly boundary is Lagoon frontage. There is an attached tandem garage with additional off street driveway and public street parking.

Views from the living room include Richardson Bay and the Marin Headlands, from the rear, the views are of the Lagoon waters and partial elements from some of the homes along the Lagoon. The location has good utility as it is easily accessed, the front brick patio off the living room is fenced for privacy and the outdoor area is fenced on each side and is considered to have superior privacy along with afternoon sun, both considered by the market to be an advantageous features.

The location also has a less than average walkability score relative to the village center which is about a mile to the village center and ferries, including the commuter ferry to San Francisco. Location on San Rafael Ave. which is a principal busier street feeder street than the typical cul de sac streets is considered a location disadvantage by some of the market.

Entry is accessed by the front door opening to the living-dining area which have peaked open, wood paneled ceilings. The dining room opens to the family room and kitchen, both respectively open to the outdoor decks and patios area, the rear deck off the family room to the back yard and boat dock on the Lagoon.

The kitchen is remodeled custom quality, has a Wolf stove, Sub Zero refrigerator/freezer, granite counters and back splashes, custom cabinetry, breakfast bar, and built in microwave, skylight, and custom lighting. There are hardwood floors throughout the house.

Two of the three bedrooms are downstairs, with a master and bath upstairs. Also upstairs is a large unfinished, accessible storage area.

The home shows good maintenance inside and out, there are no signs of deferred maintenance, and there is no evidence of settlement or slippage.

The various skylights show no signs of leakage and the roof appears newer. Likewise, the hot water heater and FAU appear newer.

Estimated Depreciated Value of Existing Improvements per Segregated New Reproduction Cost Less Effective Depreciation Method

**Square footages are from appraiser measurements,*

*** Belvedere life expectancy is based on existing lived-in residences age with normal maintenance, some on historical registry*

Building Element	Sq Ft*	Est Repro Cost New per SF	Est Repro Cost New	Est Life Expect Yrs**	Effective Life Yrs	% Depreciate	Less Estimated Depreciate	Estimated Depreciated Value of Improvements
House	1964f	\$750/sf	\$1,473,000	135	30	22%	\$324,060	\$1,148,940
Garage	375sf	\$150/sf	\$56,250	135	64	47%	\$26,438	\$29,813
Deck	843sf	\$100/sf	\$84,300	50	10	20%	\$16,860	\$67,440
Storage	192sf	\$75/sf	<u>\$14,400</u>	135	70	52%	<u>\$7,488</u>	<u>\$6,912</u>
			\$1,627,950				\$374,846	\$1,253,105

Estimated Depreciated Value Extracting the Adjusted Estimated Value of the Lot
from the Recent Sales Value to Determine the Estimated Remainder Depreciated
Value of the Improvements

Apr 25, 2019 recorded sales price			\$3,140,000
Estimated typical Belvedere Lagoon Median Value lot value			\$2,000,000
<u>Adjustments:</u>	<u>%</u>		
Size	0%		0
Outdoor area privacy and sun	5%	Add \$100,000	
Walkability score	-5%	Less \$100,000	
External obsolescence from traffic	-5%	<u>Less \$100,000</u>	
	Net Adjustments	Less \$100,000	
		Less Adjusted Estimated Lot Value	(\$1,900,000)
		Extracted Value of Depreciated Improvements at time of sale	\$1,240,000

Reconciliation of Estimated Value of Depreciated Improvements

Estimated value per Segregated New Reproduction Cost Less Depreciation Method	\$1,253,100
Estimated Remainder Value after Extracted adjusted Lot Value subtracted from recent Sale Price	\$1,240,000
<i>Preferential weight is given to the Segregated Reproduction Cost Approach as in analyzes with greater particularity. The Remainder Extracted Cost Approach supports</i>	<i>\$1,250,000 (Rounded)</i>

Summary of Report Findings

Highest and Best Use:	Existing use
USPAP Departures:	None
Report Use Restriction:	The use of this report is limited to the client named herein, the Owner of the property, their representatives, and the City of Belvedere for FEMA substantial improvement compliance purposes

Opinion of Value of the Depreciated Improvements for FEMA Compliance purposes:

One Million Two Hundred and Fifty Thousand Dollars

\$1,250,000

Assumptions and Limiting Conditions:

1. This is a Restricted Appraisal Report which is intended to comply with the reporting requirements set forth under Standard Rule 2-2(c) of the Uniform Standards of Professional Appraisal Practice for a Restricted Appraisal Report. As such, it does not include discussions of the data, reasoning, and analyses that were used in the appraisal process to develop the appraiser's opinion of value. Supporting documentation concerning the data, reasoning, and analyses is retained in the appraiser's file. The information contained in this report is specific to the needs of the client and for the intended use stated in this report. The appraiser is not responsible for unauthorized use of this report.
2. No responsibility is assumed for legal or title considerations. Title to the property is assumed to be good and marketable unless otherwise stated in this report.
3. The property is appraised free and clear of any or all liens and encumbrances unless otherwise stated in this report.
4. Responsible ownership and competent property management are assumed unless otherwise stated in this report.
5. The information furnished by others is believed to be reliable. However, no warranty is given for its accuracy.
6. All engineering is assumed to be correct. Any plot plans and illustrative material in this report are included only to assist the reader in visualizing the property.
7. It is assumed that there are no hidden or unapparent conditions of the property, subsoil, or structures that render it more or less valuable. No responsibility is assumed for such conditions or for arranging for engineering studies that may be required to discover them.
8. It is assumed that there is full compliance with all applicable federal, state, and local environmental regulations and laws unless otherwise stated in this report.
9. It is assumed that all applicable zoning and use regulations and restrictions have been complied with, unless a nonconformity has been stated, defined, and considered in this appraisal report.
10. It is assumed that all required licenses, certificates of occupancy, or other legislative or administrative authority from any local, state, or national governmental, or private entity or organization have been or can be obtained or renewed for any use on which the value estimates contained in this report are based.
11. Any sketch in this report may show approximate dimensions and is included to assist the reader in visualizing the property. Maps and exhibits found in this report are provided reader reference purposes only. No guarantee as to accuracy is expressed or implied unless otherwise stated in this report. No survey has been made for the purpose of this report.
12. It is assumed that the utilization of the land and improvements is within the boundaries or property lines of the property described and that there is no encroachment or trespass unless otherwise stated in this report.

13. The appraiser is not qualified to detect hazardous waste and/or toxic materials. Any comment by the appraiser that might suggest the possibility of the presence of such substances should not be taken as confirmation of the presence of hazardous waste and/or toxic materials. Such determination would require investigation by a qualified expert in the field of environmental assessment. The presence of substances such as asbestos, urea formaldehyde foam insulation or other potentially hazardous materials may affect the value of the property. The appraiser's value estimate is predicated on the assumption that there is no such material on or in the property that would cause a loss in value unless otherwise stated in this report. No responsibility is assumed for any environmental conditions, or for any expertise or engineering knowledge required to discover them. The appraiser's descriptions and resulting comments are the result of the routine observations made during the appraisal process.
14. Unless otherwise stated in this report, the subject property is appraised without a specific compliance survey having been conducted to determine if the property is or is not in conformance with the requirements of the Americans with Disabilities Act. The presence of architectural and communications barriers that are structural in nature that would restrict access by disabled individuals may adversely affect the property's value, marketability, or utility.
15. Any proposed improvements are assumed to be completed in a good workmanlike manner in accordance with the submitted plans and specifications.
16. The distribution, if any, of the total valuation in this report between land and improvements applies only under the stated program of utilization. The separate allocations for land and buildings must not be used in conjunction with any other appraisal and are invalid if so used.
17. Possession of this report, or a copy thereof, does not carry with it the right of publication. It may not be used for any purpose by any person other than the party to whom it is addressed without the written consent of the appraiser, and in any event, only with proper written qualification and only in its entirety.
18. Neither all nor any part of the contents of this report (especially any conclusions as to value, the identity of the appraiser, or the firm with which the appraiser is connected) shall be disseminated to the public through advertising, public relations, news sales, or other media without prior written consent and approval of the appraiser.

If there are further questions or issues, please call me at you're your convenience.

Very truly yours,



David Kirchhoff
CA Certified Residential Appraiser AR001565
November 8, 2020

Certification

The undersigned do hereby certify that, except as otherwise noted in this appraisal report, to the best of our knowledge and belief:

1. The statements of facts contained in this appraisal report are true and correct.
2. The reported analyses, opinions, and conclusions are limited only by the reported assumptions and limiting conditions and are our personal, impartial, and unbiased professional analyses, opinions, and conclusions.
3. I have no present or prospective interest in the property that is the subject of this report and no personal interest with respect to the parties involved.
4. I have no bias with respect to the property that is the subject of this report or to the parties involved with this assignment.
5. My engagement in this assignment was not contingent upon developing or reporting predetermined results.
6. My compensation is not contingent upon the reporting of a predetermined value or direction in value that favors the cause of the client, the amount of the value estimate, the attainment of a stipulated result, or the occurrence of the subsequent event directly related to the intended use of this appraisal.
7. My analysis, opinions, and conclusions were developed, and this appraisal report has been prepared in conformity with the Uniform Standards of Professional Appraisal Practice (USPAP).
8. I do not authorize the out-of-text quoting from or partial reprinting of this appraisal report. Further, neither all nor any part of this appraisal report shall be disseminated to the general public by the use of media for public communication without the prior written consent of the appraisers signing this appraisal report.
9. I made a personal inspection of the property that is the subject of this report, performed the research and wrote the report.
10. This appraisal assignment was not based on a requested minimum valuation, a specific valuation, or the approval of a loan.
11. No one provided significant professional assistance to the person(s) signing this report and certification.
12. I have the background, knowledge and experience to complete the assignment competently.



David Kirchhoff
CA Certified Residential Appraiser AR001565
Date November 8, 2020

QUALIFICATIONS OF DAVID KIRCHHOFF, CRP

CA Certified Residential Appraiser AR001565
CA Licensed Broker 01118540
2290 Spanish Trail
Tiburon, California 94920
Cell 415/531-2656
e-mail: david@finehomesmarin.com

EDUCATION

M.B.A., Harvard Graduate School of Business Administration 1971
B.A., San Francisco State College 1967
A.A., Cameron State College 1965

REAL ESTATE EDUCATION

Appraisal Institute Courses:

- Real Estate Appraisal Principles
- Basic Valuation Procedures
- Residential Valuation
- Standards of Professional Practice
- Residential Case Studies and Report Writing
- Uniform Standards of Professional Appraisal Practice A & B
- Demonstration Report Writing
- Highest & Best Use and Market Analysis

Appraisal Institute Seminars:

- Applied Sales Comparison Approach; Accrued Depreciation; Cash Equivalency; Form Reporting as a Communicating Tool; U.R.A.R. Form Preparation; Feasibility - Residential Properties; Demonstration Report Writing; Small Residential Income Property Seminar; Appraising the Tough Ones; Appraisal Review; Introduction to Eminent Domain; Defects in New Construction - Defining Liability

Other Seminars:

- The California Economy-The Relocation Appraiser's Challenge,
- Coldwell Banker Relocation Services; Using the Residential Cost Handbook Seminar, Marshall & Swift; Technical Inspection of Real Estate, Beckman Company; Investment Property Analysis and Real Property Tax and Exchanging, Calif. Assoc. Realtors

College Level Real Estate Courses:

- Real Estate Economics
- Real Estate Principles
- Real Estate Appraisal
- Legal Aspects of Real Estate
- Real Estate Practice
- Real Estate Finance

REAL ESTATE EXPERIENCE

1986 to Present: Real estate broker focusing on high price point sales in Marin and San Francisco. Owner of Kirchhoff Appraisals, Residential Real Estate Appraisers focusing on complex residential appraisals in Marin, San Francisco, Napa and Sonoma Counties. Previous part owner of mortgage brokerage company with experience in residential and construction loans. Appraisal experience includes complex properties, partial interests & preparation of URAR, Condo, PUD, Land, 2-4 Unit, and Relocation Appraisals for banks, savings & loans, credit unions, mortgage companies, insurance companies, FNMA, relocation companies, attorneys, and individuals in addition to expert witness assignments including standards of care issues in Marin, Sonoma and Napa County Superior Courts, U.S. Bankruptcy Court San Francisco & Santa Rosa and property tax appeals Marin and Sonoma Counties.

PARTIAL LIST OF CLIENTS

- Bank of America
- California Federal Bank
- Home Savings
- Allied Savings Bank
- Morgan Stanley
- Greater Suburban Mortgage
- Luther Burbank Savings
- Construction Lending of America
- Coldwell Banker Relo/GE/IBM
- PNC Mortgage
- Bear Stearns Mortgage
- Prudential Relo
- First Republic
- CITIBANK
- Chase Home Mortgage
- Wells Fargo
- Westamerica Bank
- Nations Bank
- Capital Commerce Mortgage
- Countrywide Mortgage
- North American Mortgage
- Washington Mutual
- 1st Nationwide Bank
- First Nationwide Mortgage

PROFESSIONAL AFFILIATIONS

Associate Residential Member, Appraisal Institute, Chicago, Ill.
CRP Designation, Employee Relocation Council, Washington, D.C.
California Real Estate Broker, License No. 01115480

APPRAISAL LICENSE



Business, Consumer Services & Housing Agency
BUREAU OF REAL ESTATE APPRAISERS
REAL ESTATE APPRAISER LICENSE

David S. Kirchhoff

has successfully met the requirements for a license as a residential real estate appraiser in the State of California and is, therefore, entitled to use the title:

"Certified Residential Real Estate Appraiser"

This license has been issued in accordance with the provisions of the Real Estate Appraisers' Licensing and Certification Law.

BREA APPRAISER IDENTIFICATION NUMBER: AR 001565

Effective Date: November 26, 2018
Date Expires: November 25, 2020


Jim Martin, Bureau Chief, BREA

3044286

THIS DOCUMENT CONTAINS A TRUE WATERMARK - HOLD UP TO LIGHT TO SEE "CHAIN LINK"



CITY OF BELVEDERE

450 San Rafael Avenue , Belvedere, CA 94920

Tel: 415 / 435-3838 , Fax: 415 / 435-0430

Memorandum: Floodplain and Building Department comments for Design Review application

Date: January 6, 2022

To: Rebecca Markwick, Senior Planner

From: Brian Van Son, Building Official & Floodplain Administrator

Project Location: **70 San Rafael Ave.**

Project Description: Design Review for addition, interior remodel, and site improvements

The Building Department has the following comments for this project based on the information submitted or available at this time, for inclusion with the Planning Department Design Review:

Comments related to the Planning applications:

- 1) The Building Department has the following comments regarding the Design Review application 70 San Rafael Ave. The Building Department is able to approve the current drawings as submitted for this planning entitlement.

Floodplain Management / Code Comments:

- 2) The subject property is located within the designated AE flood hazard zone.
- 3) The BFE of the currently effective flood map is 10.0' NAVD1988.
- 4) The submitted appraisal appears consistent with industry standards. Per the appraisal, dated 12/15/2021, the structure's valuation (\$1,575,000) and the calculated valuation of the scope of work (\$647,367.59), the proposed project does not constitute a substantial improvement (41%), as defined by BMC 16.20.
- 5) Per the attached Substantial Improvement evaluation sheet, the City values the scope of this proposed work at \$647,367.59, conservatively.
- 6) Plans commonly submitted for Design Review through the Planning Department and Planning Commission are typically not detailed enough to show full compliance with all the floodplain management requirements. Therefore only cursory review for floodplain compliance is able to be done at time of Design Review. Full review of floodplain construction compliance occurs when sufficiently complete "working drawings" and documentation are submitted as part of a complete building permit application.

Building Department / Comments related to the future submittal for the Building Permit:

- 7) Outside jurisdictional agency approval will be required prior to the issuance of the building permit: Tiburon Fire Dist., Marin Municipal Water Dist., Marin County Sanitary Dist. 5, Reed Union School Dist.
- 8) California Title 24 Energy calculations will be required.
- 9) A GeoTechnical report and structural calculations are required for the proposed project.
- 10) Belvedere Lagoon Property Owners Association (BLPOA) approval is required for the encroachment of the dock into BLPOA land.
- 11) A new or updated Revocable License is required for private improvements in the public-right-of-way.
- 12) New roofing shall Class A rated or an equivalent assembly.
- 13) Stairways with four (4) or more risers shall require a Code compliant handrail be installed.
- 14) The proposed outdoor sink shall not discharge/drain into the Sanitary Sewer system, nor the Stormdrain system.
- 15) Proposed planting area @ Northeast corner of property encroaches into the RL area of the neighboring property.
- 16) The submittal for the future Building Permit must detail the construction of the proposed improvements, including compliance with relevant portions of the California Residential, Green Building, and Energy Codes, along with a geotechnical investigation report and detailed full engineering design and drawings, etc.
- 17) Based on the provided scope of work valuation of \$505,000, an 18-month CTL will be assessed pursuant to BMC section 20.04. The City values the scope of work at \$647,367.59, which would still constitute an 18-month CTL timeline.
- 18) No other Building Department issues are foreseen at this time. Full compliance with all relevant Codes, will be conducted during the thorough plan review process by all involved agencies, after submittal of application, plans and related documents for a building permit.

Please do not hesitate to contact me if there are any concerns or questions regarding my comments.

Thanks,
Brian Van Son, CBO
Building Official / Floodplain Administrator
City of Belvedere
bvanson@cityofbelvedere.org



CITY OF BELVEDERE FLOODPLAIN CONSTRUCTION COST EVALUATION WORKSHEET

The City of Belvedere Building Dept. utilizes the latest edition of the Craftsman National Building Cost Manual (CNBM) to establish an average cost, per square foot, of construction within the City. Due to the quality of construction performed in the City of Belvedere, the price per square foot number is based on the CNBM designation of Luxury Quality Class 1. Additionally, the price per square foot is also based on the size and shape of the structure and the proposed construction.

Remodel projects are discounted on a percentage basis based on the extent of the scope of work.

CNBM Average \$/sqft: 2400 sqft home	\$388.89
Local Area Multiplier	27%
Belvedere Average \$/sqft	\$493.89

Project Address: 70 San Rafael Ave.

Project Description: Residential remodel & addition

Total Project Sq Ft: 2131 sf

<u>Types of Proposed Construction</u>	<u>Sq Ft</u>	<u>\$/sqft</u>	<u>Est. Cost</u>
New Construction:	636	\$493.89	\$314,114.04
75% Renovation:	402	\$370.42	\$148,908.84
50% Renovation:	400	\$246.95	\$98,780.00
25% Renovation:	693	\$123.47	\$85,564.71

Total: \$647,367.59

Per the information provided, the proposed construction cost, as determined by the City of Belvedere Building Department Cost Evaluation Worksheet totals \$647,367.59

- New Construction represents new additions and/or portions of the proposed scope of work to be built from the ground up.
- 75% Renovation represents portions of the proposed scope of work containing higher than average renovation cost (kitchens/baths).
- 50% Renovation represents portions of the proposed scope of work which are simple room renovation without high cost finishes.
- 25% Renovations represent portions of the proposed scope of work which can be identified as minimal cost renovation.

City of Belvedere Building Department
450 San Rafael Ave., Belvedere, Ca 94920
Brian Van Son, CBO: bvanson@cityofbelvedere.org

EXISTING ROOF
cedar shingle



FLAT ROOF AT ADDITION
'Light Grey' by Durolast



COMPOSITE SIDING
'Amazon Green' by
Benjamin Moore 2136-30



EXTERIOR TRIM COLOR
'Cloud Nine' by
Benjamin Moore OC-119



EXTERIOR LIGHT FIXTURES
dark bronze



CONNECTICUT BLUESTONE
stone terrace paving



The Ma Residence
70 San Rafael Avenue
Belvedere, California

Architect Michael Heckmann
1606 Juanita Lane Suite C-6
Tiburon, California 94920