

Tiburon Fire Protection District



Occupancy: **Mallard Pointe**
Occupancy ID: **4725**
Address: **1 Mallard RD**
BELVEDERE CA 94920

Inspection Type: **PLAN REVIEW - PLANNING AND BUILDING**

Inspection Date: **2/16/2022** By: Lantier, Michael (127)

Time In: **14:53** Time Out: **16:01**

Authorized Date: **02/16/2022** By: Lantier, Michael (127)

Form: 2022 All Inclusive
Plan Review Template

Inspection Description:

Based on the currently adopted 2019 California Building and Fire Codes and Ordinance #129 along with current Tiburon Fire Protection District standards

Inspection Topics:

Planning Division Review

Automatic Residential Fire Sprinkler System Is Required per NFPA 13D

An automatic residential fire sprinkler system is required to be installed in all new residences including garages conforming to NFPA Std. 13D and as modified by the Fire Marshal. Plans and hydraulic calculations shall be submitted to the Fire Marshal for review prior to installation. Contact the Marin Municipal Water District should an upgrade for the domestic water meter be needed and all hydraulic inquiries. Additional sizing may be required due to available pressures and fire flow. The above requirement may be waived provided the new and existing remodel and addition does not exceed 50% of the total existing floor area.

Status: REQUIRED FOR THIS PROJECT

Notes: Submit for each duplex and signal family residence in this project to Tiburon Fire as a Deferred Submittal.

Automatic Residential Fire Sprinkler System Is Required per NFPA 13R

An automatic fire sprinkler system is required to be installed conforming to NFPA Std. 13R. Plans and hydraulic calculations shall be submitted to the Fire Marshal for review prior to installation. Contact the Marin Municipal Water District should an upgrade for the domestic water meter be needed. Additional sizing may be required due to available pressures and fire flow.

Status: REQUIRED FOR THIS PROJECT

Notes: Submit plans for Apartment Building to Tiburon Fire as a Deferred Submittal. If fourth floor is approved for rooftop deck., TFD shall require a standpipe and floor control valves per CFC requirements.

System Supervision Required.

All automatic fire sprinkler and fire alarm systems, flow switches, and control valves shall be monitored by an approved UL Central Station company, zoned and enunciated as required by the Tiburon Fire Protection District.

Status: REQUIRED FOR THIS PROJECT

Notes: The Apartment complex shall be supervised in accordance to CFC 903.4.

Fire Hydrants Required. (1500 GPM)

Fire hydrants capable of supplying 1,500 gallons per minute minimum will be required to be installed so that spacing between hydrants does not exceed 300 feet. The fire hydrant(s) shall be spotted by the Fire Marshal and contain at least one 4 and one half inch and one 2 and one half inch outlets. Installation shall conform to the specifications of the Marin Municipal Water District

Status: REQUIRED FOR THIS PROJECT

Notes: A hydrant shall be installed on Mallard Road at the circle for use by TFD. Based on psi, the hydrant shall be a Clow 865 if over 90psi static or a Jones 3770 if under 90 psi static. Red cloud on Plan Set

Roadway and Driveway Minimum Clearance. (Commercial)

Roadways and driveways shall have a minimum clearance of not less than 20ft. horizontal by 14ft. vertical clearance. No object shall encroach into this horizontal and vertical plane.

Status: CORRECTION NEEDED

Notes: The dimensions of Mallard Road do not meet 20 feet unobstructed. Red cloud on MP Set "1 Mallard Fire Lane 2-16-22" page TM-3.

Fire Lane(s) Required.

'No parking fire lane' curbs and signs shall be installed in accordance with TFPD and CA Vehicle Code standards, as required by the Fire Marshal.

Status: REQUIRED FOR THIS PROJECT

Notes: Add this language to the rolled curbs on Mallard Road or a series of approved fire lane signage shall be required. TFD Fire Lane signage templated added to "1 Mallard Road Fire lane" Plan Set.

Knox Key Access Required.

'Knox' key access shall be installed at the premises conforming to TFPD standards.

Status: REQUIRED FOR THIS PROJECT

Notes: All fire equipment rooms, gates, utility rooms, elevator machine rooms and doors shall required a Knox Key Vault for the Apartment complex.

Vegetation Management Plan - Fuels Management Plan Required.

An irrigated greenbelt Vegetation Management Plan (VMP) Fuels Management Plan conforming to the standards of the Tiburon Fire Protection District shall be prepared and implemented at the site. The VMP-Fuels Management Plan shall conform to Marin County Fire Prevention Officer's Standard #220 and Fire Safe Marin principles. The plan shall be incorporated into the landscape plan for the project and submitted to the Fire Marshal for review prior to implementation. The plan shall be implemented prior to building final.

Status: REQUIRED FOR THIS PROJECT

Notes: Landscape Plan shall be converted to approved VMP and submitted to TFD as a Deferred submittal.

Permit Application and Fees Required.

Permit application and associated fees shall be submitted with plan submittal package.

Status: REQUIRED FOR THIS PROJECT

Notes: For All Fire District deferred submittals, our application and fees associated shall be paid before permit is issued.

Other Information.

See Below.

Status: REQUIRED FOR THIS PROJECT

Notes: Upon demolition phase of this project, The Tiburon Fire District shall have at least a week of trainings upon all structures deemed to be removed.

Roof access shall be dedicated for firefighter access due to PV array. Red clouded on plans.

Additional Time Spent on Inspection:

Category	Start Date / Time	End Date / Time
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Notes: No Additional time recorded

Total Additional Time: 0 minutes

Inspection Time: 68 minutes

Total Time: 68 minutes

Summary:

Overall Result: PLAN REVIEW DEFICIENT

Plan(s) submitted did not meet TFD requirements to be approved. See notes with the Review and re-send to plansubmittal@tiburonfire.org. Per ordinance #129, a fee of \$75.50 (1/2 the original fee of \$151 per hour) is required.

Inspector Notes:

Closing Notes:

Thank you for your commitment to fire and life safety. If you have any questions, please feel free to email Deputy Fire Marshal Mike Lantier at mlantier@tiburonfire.org or visit our website : <https://www.tiburonfire.org/tiburon-fire-standards/>

Inspector:

Name: Lantier, Michael
Rank: Fire Marshal

NOTICE:
ALL ROADS ARE
FIRE LANES

PARK IN MARKED
STALLS ONLY

CVC 22500.1
BELVEDERE
POLICE PHONE:
415-435-3838

VEHICLES IN RED NO PARKING
ZONES SHALL BE TOWED AWAY

2"

1 1/4"

1"

1"

3/4"

Contact Information

MALLARD POINTE 1951 LLC

Bruce Dorfman
39 Forrest Street, Suite 202, Mill Valley, CA 94941
PH 415-381-3001

SUTTON SUZUKI ARCHITECTS

Ron Sutton
39 Forrest Street, Suite 101, Mill Valley, CA 94941
PH 415-383-3139

FRANCIS GOUGH ARCHITECT INC

Francis Gough
27 Mountain View Avenue, Mill Valley, CA 94941
PH 415-613-5823

BKF ENGINEERS

Christopher Mills
1646 N. California Blvd, Suite 400, Walnut Creek, CA 94596
PH 925-940-2207

THE GUZZARDO PARTNERSHIP INC.

Paul T. Lettieri
Landscape Architects Land Planners
181 Greenwich Street, San Francisco CA 94111
PH 415-433-4672

Construction Types

LAGOON HOMES

TYPE V

6 units

LAGOON DUPLEXES

TYPE V

10 units

APARTMENT BUILDING

TYPE V-A

23 units

MALLARD POINTE



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TM-4	GRADING, DRAINAGE, & UTILITIES
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A2	PROPOSED SITE / UPPER FLOOR PLAN
A3	PROPOSED SITE / ROOF PLAN
A4	PROPOSED SITE / LOT COVERAGE
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A11	BUILDING 4 PLANS / LIGHTING
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MF2	FIRST FLOOR PLAN
MF3	SECOND FLOOR PLAN
MF4	ROOF PLAN
MF5	COLOR ELEVATIONS - COMMUNITY ROAD ELEVATION
MF6	COMMUNITY ROAD ELEVATIONS AND TYPICAL DETAILS
MF7	MALLARD ROAD ELEVATIONS
MF8	BUILDING SECTIONS
MF9	UNIT PLANS AND MATRIX
MF10	PROPOSED FINISHES, WINDOW SCHEDULE, AND EXTERIOR LIGHTING
MF11	PROPOSED AND EXISTING STREET VIEWS
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE SECTIONS AND MATERIAL IMAGERY
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L3.0	PLANT LIST IMAGERY
L3.1	PLANT LIST IMAGERY
L3.2	PLANT LIST IMAGERY
S1	SIGNAGE
S2	SIGNAGE
S3	SIGNAGE
S4	SIGNAGE

**TIBURON FIRE DISTRICT
PLANS NOT APPROVED
CORRECTION NEEDED**

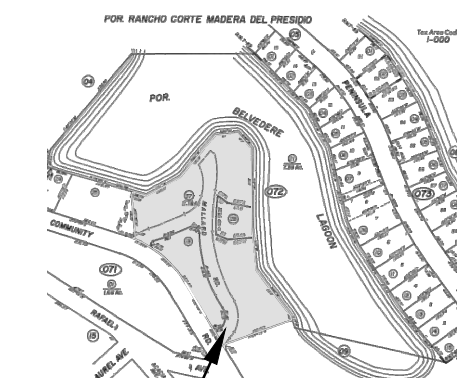
Vicinity Map



Not To Scale

Assessor's Parcel Map

A.P.No. 06-072-27,-28 and-18



Project Site

January 17, 2022

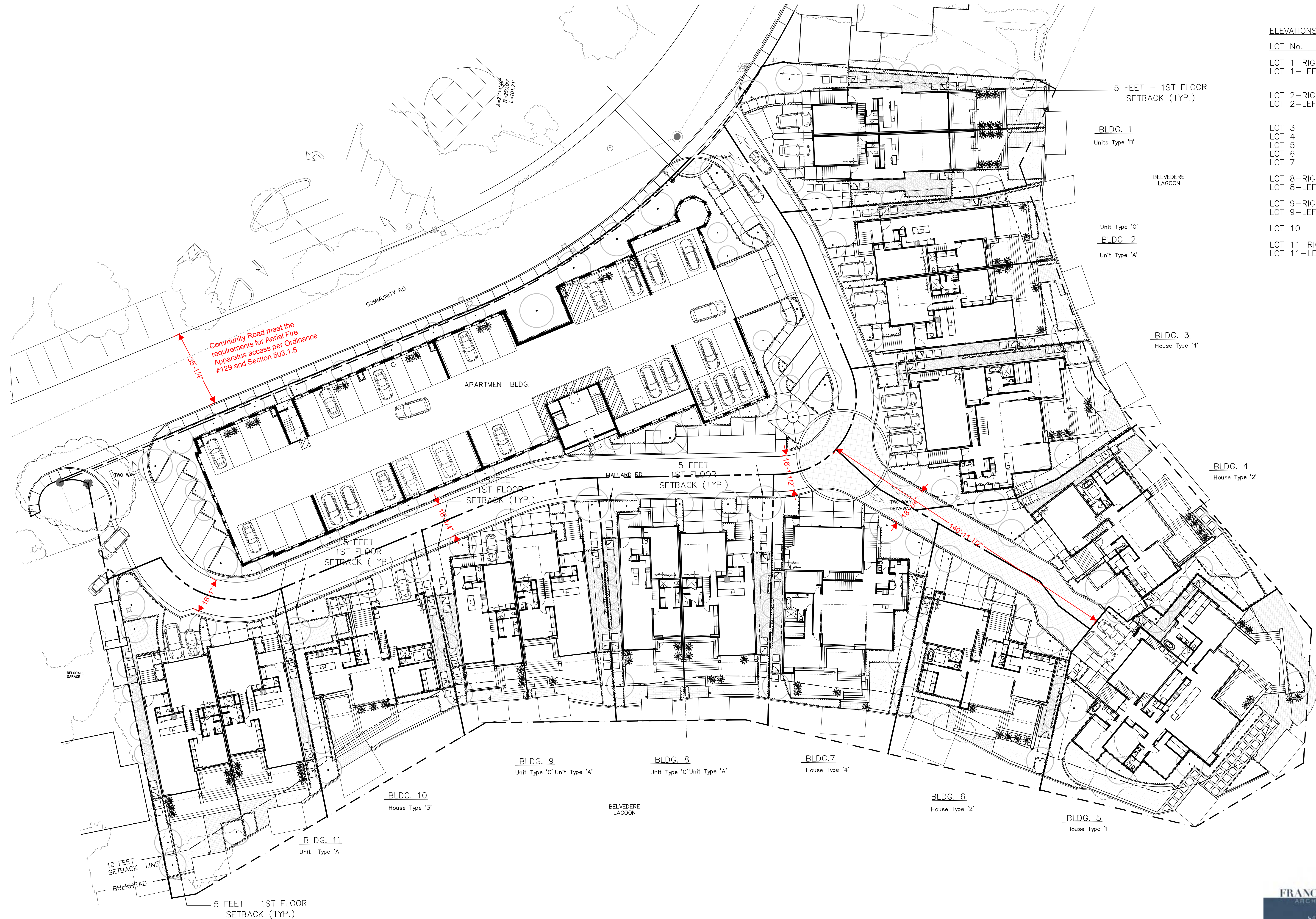


MALLARD POINTE

Belvedere, California

**MALLARD POINTE
1951 LLC**
Project Sponsor

LOT No.	ELEVATIONS	
	@ENTRY	@LAGOON
LOT 1-RIGHT	7'-0"	5'-0"
LOT 1-LEFT	7'-0"	5'-0"
LOT 2-RIGHT	5'-6"	4'-6"
LOT 2-LEFT	5'-6"	4'-6"
LOT 3	5'-6"	4'-6"
LOT 4	5'-0"	4'-6"
LOT 5	5'-6"	4'-6"
LOT 6	5'-0"	4'-6"
LOT 7	5'-6"	4'-6"
LOT 8-RIGHT	5'-6"	4'-6"
LOT 8-LEFT	5'-6"	4'-6"
LOT 9-RIGHT	5'-6"	5'-0"
LOT 9-LEFT	5'-6"	5'-6"
LOT 10	6'-6"	5'-6"
LOT 11-RIGHT	7'-6"	5'-6"
LOT 11-LEFT	7'-6"	5'-6"



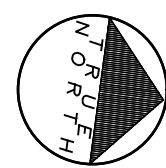
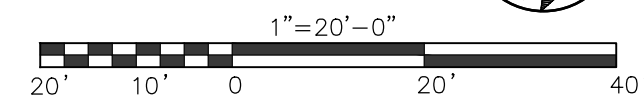
Site Plan-Main Floor

MALLARD POINTE

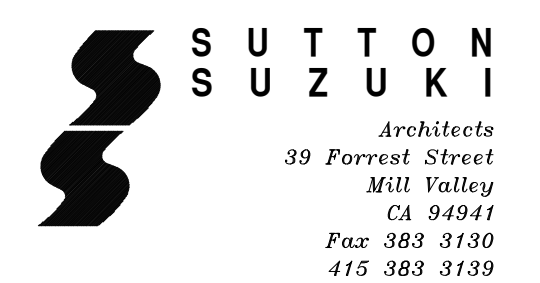
Belvedere, California

January 17, 2022

Graphic Scale



MALLARD POINTE
1951 LLC
Project Sponsor

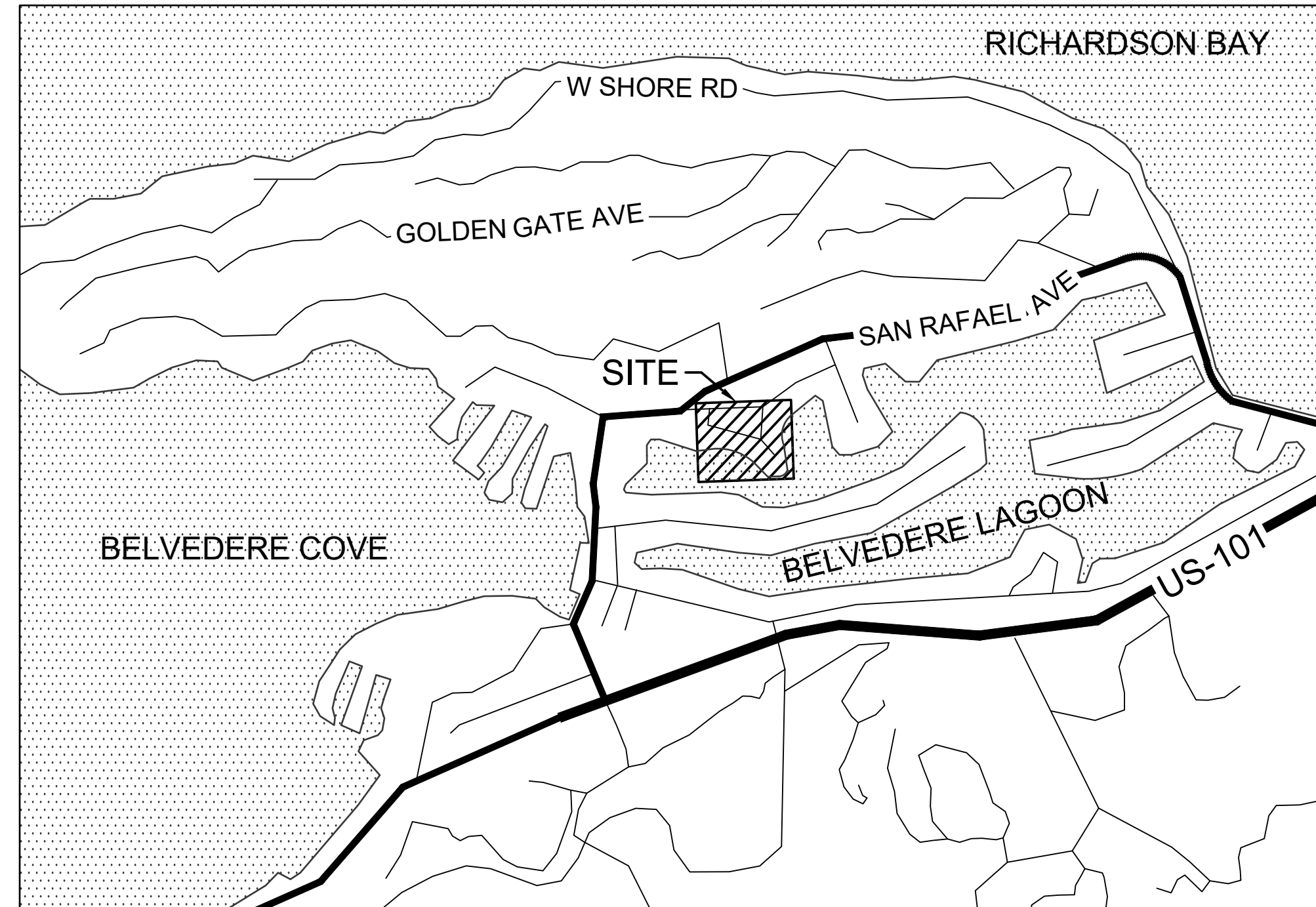


A1

TENTATIVE MAP MALLARD POINTE CITY OF BELVEDERE, MARIN COUNTY, CALIFORNIA

PROJECT SUMMARY

- | | |
|--|--|
| 1. OWNER/SUBDIVIDER | MALLARD POINTE 1951 LLC
CONTACT: BRUCE DORFMAN
39 FORREST STREET, SUITE 202
MILL VALLEY, CA 94941
PHONE NUMBER: 415-823-3001 |
| 2. ENGINEER | BKF ENGINEERS
1646 N. CALIFORNIA BLVD., SUITE 400
WALNUT CREEK, CA 94596
925-940-2200
CONTACT: CHRIS MILLS |
| 3. UTILITIES:
WATER SUPPLY:
FIRE PROTECTION:
SEWAGE DISPOSAL:
STORM DRAIN:
GAS:
ELECTRIC:
TELEPHONE:
CABLE TELEVISION: | MARIN MUNICIPAL WATER DISTRICT
TIBURON FIRE PROTECTION DISTRICT
SANITATION DISTRICT NO.5
CITY OF BELVEDERE
PACIFIC GAS & ELECTRIC
PACIFIC GAS & ELECTRIC
AT&T
COMCAST |
| 4. PROJECT ADDRESS & ASSESSOR
PARCEL NUMBERS | 1 MALLARD RD, APN 060-072-27
9 MALLARD RD, APN 060-072-28
17 MALLARD RD, APN 060-072-18 |



VICINITY MAP
NTS

SHEET INDEX

SHEET	TITLE
TM-1	TITLE SHEET
TM-2	EXISTING CONDITIONS
TM-3	LOTING AND LAYOUT PLAN
TM-4	GRADING, DRAINAGE, & UTILITIES
TM-5	EROSION CONTROL PLAN

TIBURON FIRE DISTRICT
PLANS NOT APPROVED
CORRECTION NEEDED

VERTICAL DATUM

VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

LAND USE SUMMARY

GROSS AREA OF SITE: 120,079 SQUARE FEET, 2.8 ACRES
NET AREA OF SITE: 106,354 SQUARE FEET, 2.4 ACRES

ALLOWABLE AND PROPOSED FLOOR AREA RATIO (FAR): N/A (FLOOR AREA RATIO IS NOT REQUIRED IN R2 ZONING)

GENERAL PLAN DENSITY CALCULATION: 16.25 UNITS/ACRE (EXCLUDES ADU UNITS)

ZONING DENSITY CALCULATION: N/A (ZONING DENSITY IS NOT REQUIRED IN R2 ZONING)

FLOOD ZONE: ZONE AE (ELEVATION 10 NAVD88) BASED ON FEMA FLOOD MAP 06041C0489E EFFECTIVE 3/16/16 AND MAP 06041C0527E EFFECTIVE 3/16/16.

LOT SUMMARY TABLE No. 1 - STRUCTURES

LOTS	LOT AREA (SF) ¹	NET LOT AREA (SF) ²	COVERAGE AREA (SF) ³	LOT COVERAGE (%) ³	ALLOWABLE LOT COVERAGE (%) ⁵
LOT 1	7,826	7,299	2,414	33.1	
LOT 2	7,830	7,053	3,445	48.8	
LOT 3	7,215	6,377	2,966	46.5	
LOT 4	6,871	6,028	2,176	36.1	
LOT 5	10,073	10,073	3,676	36.5	
LOT 6	6,830	6,015	2,176	36.2	50%
LOT 7	7,871	7,011	2,966	42.3	
LOT 8	8,287	7,490	3,445	46.0	
LOT 9	7,848	7,015	3,146	44.8	
LOT 10	6,840	6,148	1,970	32.0	
LOT 11	9,822	8,933	3,651	40.9	
LOT 12	32,766	26,911	16,905	62.8	40%
TOTAL	120,079	106,354	48,936	42.2	N/A

NOTES:

1. LOT AREAS REPRESENT THE TOTAL AREA WITHIN THE PROPOSED LOT LINES SHOWN.
2. NET LOT AREA THAT EXCLUDES THE PROPOSED ROADWAY (AREA BETWEEN CURBS)
3. LOT COVERAGE: AREA OF STRUCTURES **EXCLUDING** UNCOVERED DECKS ABOVE 4 FEET.
4. LOT AREA AND LOT COVERAGE ARE DEFINED IN SECTIONS 19.08.300 & 19.08.310 OF THE BELVEDERE MUNICIPAL CODE
5. ALLOWABLE LOT COVERAGE IS DEFINED IN SECTION 19.52.020 OF THE BELVEDERE MUNICIPAL CODE

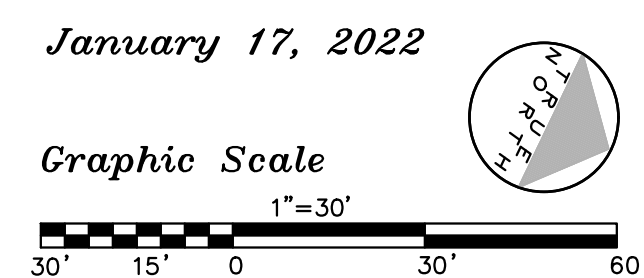
LOT SUMMARY TABLE No. 2 - TOTAL COVERAGE

LOTS	LOT AREA (SF) ¹	NET LOT AREA (SF) ²	COVERAGE AREA (SF) ³	LOT COVERAGE (%) ³	ALLOWABLE LOT COVERAGE (%) ⁵
LOT 1	7,826	7,299	2,803	38.4	
LOT 2	7,830	7,053	3,819	54.1	
LOT 3	7,215	6,377	3,191	50.0	
LOT 4	6,871	6,028	2,360	39.2	
LOT 5	10,073	10,073	3,963	39.3	
LOT 6	6,830	6,015	2,360	39.2	60%
LOT 7	7,871	7,011	3,189	45.5	
LOT 8	8,287	7,490	3,823	51.0	
LOT 9	7,848	7,015	3,330	47.5	
LOT 10	6,840	6,148	1,994	32.4	
LOT 11	9,822	8,933	3,741	41.9	
LOT 12	32,766	26,911	16,905	62.8	
TOTAL	120,079	106,354	51,478	45.1	N/A

NOTES:

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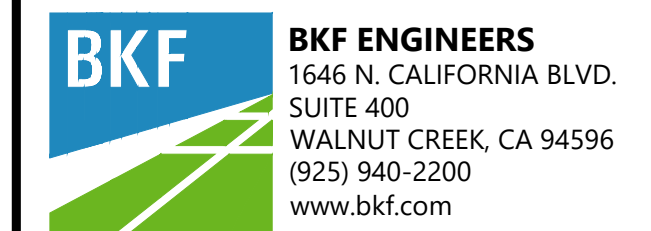
TITLE SHEET



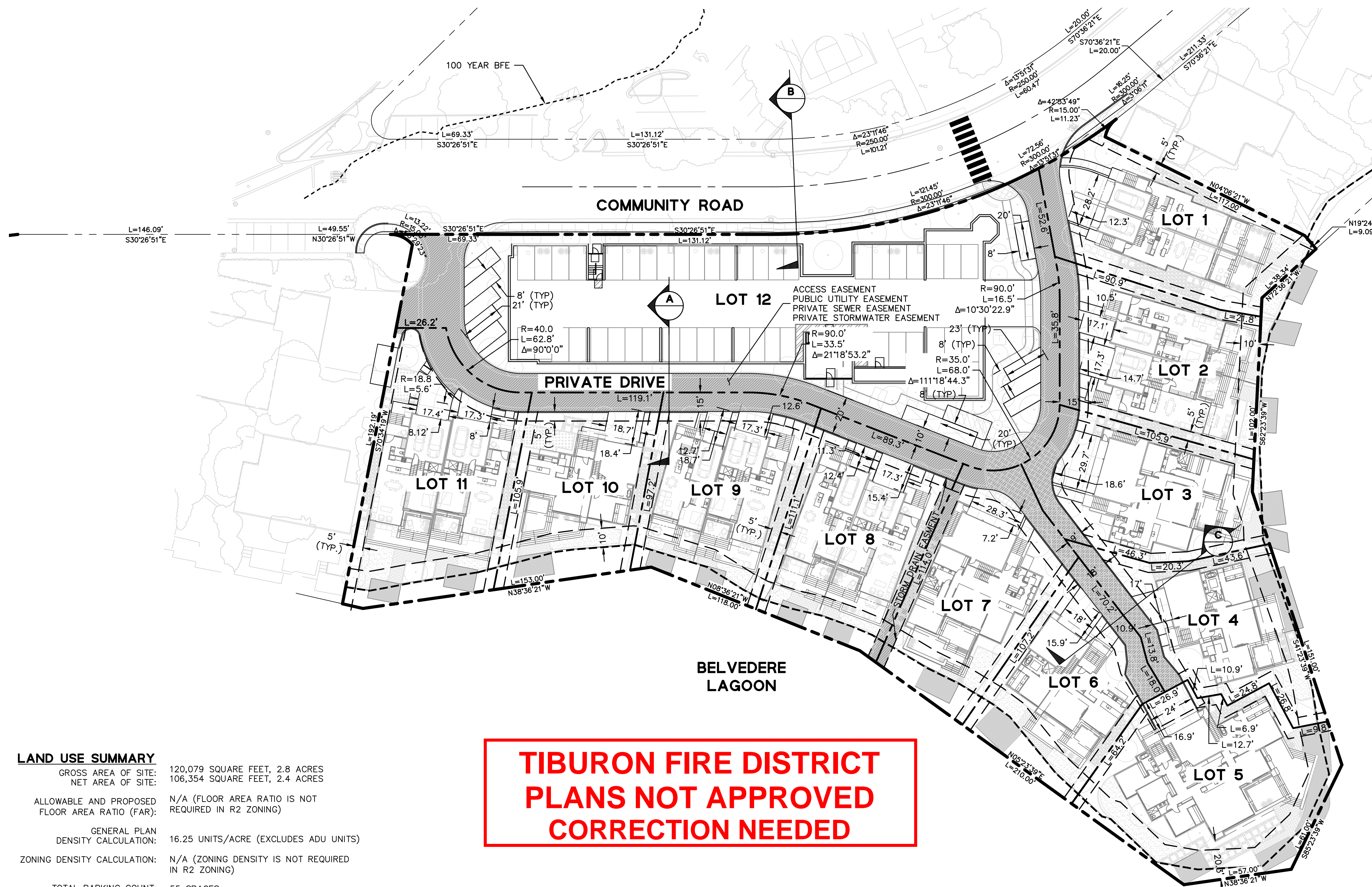
MALLARD POINTE

Belvedere, California

MALLARD POINTE
1951 LLC
Project Sponsor



TM-1



**TIBURON FIRE DISTRICT
PLANS NOT APPROVED
CORRECTION NEEDED**

LAND USE SUMMARY

GROSS AREA OF SITE: 120,079 SQUARE FEET, 2.8 ACRES
 NET AREA OF SITE: 106,354 SQUARE FEET, 2.4 ACRES

ALLOWABLE AND PROPOSED FLOOR AREA RATIO (FAR): N/A (FLOOR AREA RATIO IS NOT REQUIRED IN R2 ZONING)

GENERAL PLAN DENSITY CALCULATION: 16.25 UNITS/ACRE (EXCLUDES ADU UNITS)

ZONING DENSITY CALCULATION: N/A (ZONING DENSITY IS NOT REQUIRED IN R2 ZONING)

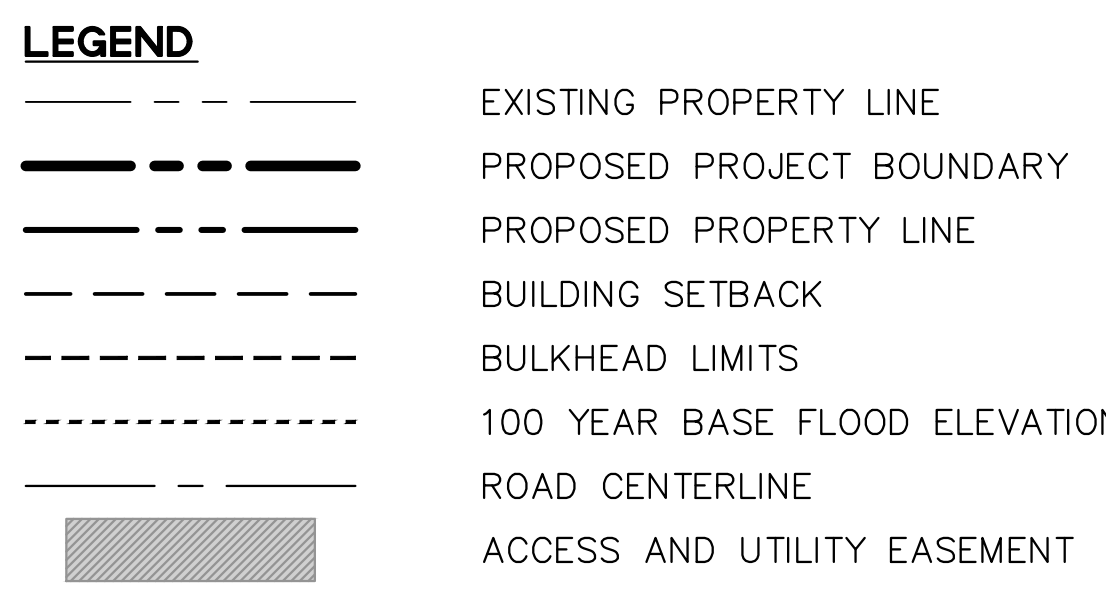
TOTAL PARKING COUNT: 55 SPACES

LOT SUMMARY TABLE No. 1 - STRUCTURES

LOTS	LOT AREA (SF) ¹	NET LOT AREA (SF) ²	COVERAGE AREA (SF) ³	LOT COVERAGE (%) ³	ALLOWABLE LOT COVERAGE (%) ³
LOT 1	7,826	7,299	2,414	33.1	50%
LOT 2	7,830	7,053	3,445	48.8	
LOT 3	7,215	6,377	2,966	46.5	
LOT 4	6,871	6,028	2,176	36.1	
LOT 5	10,073	10,073	3,676	36.5	
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TOTAL	120,079	106,354	48,936	42.2	40%

LOT SUMMARY TABLE No. 2 - TOTAL COVERAGE

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LOT 12	32,766	26,911	16,905	62.8	
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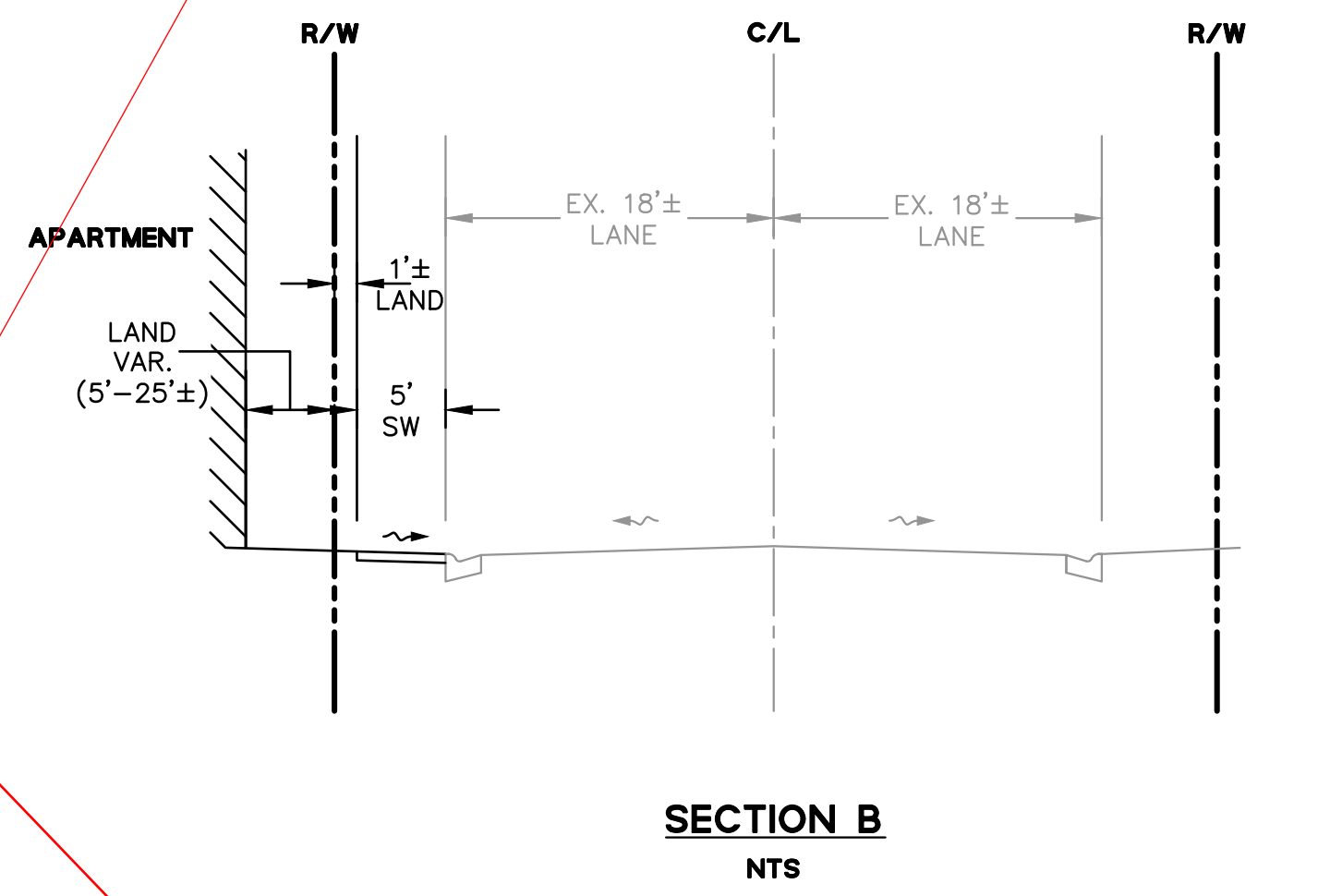
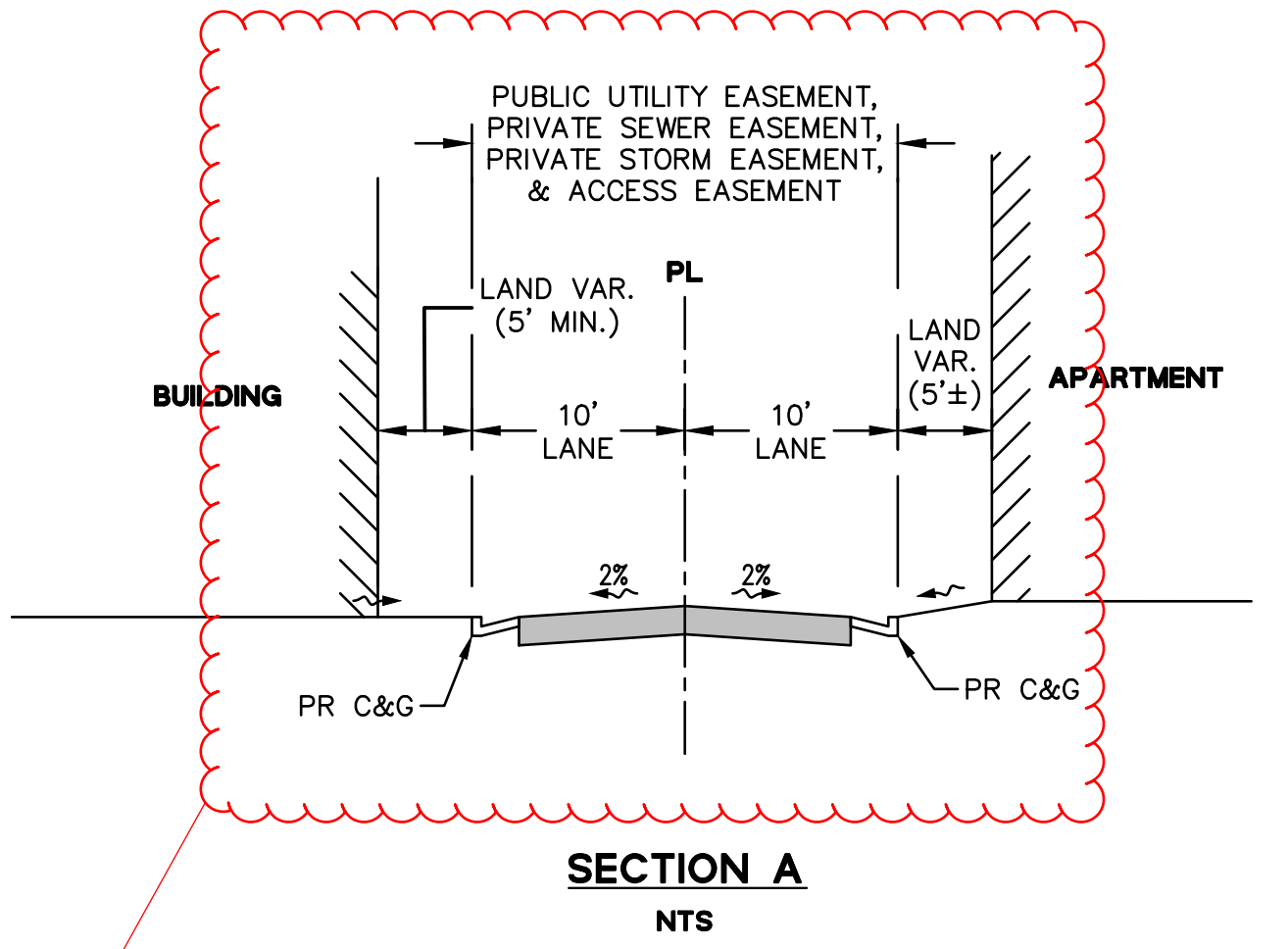


NOTES

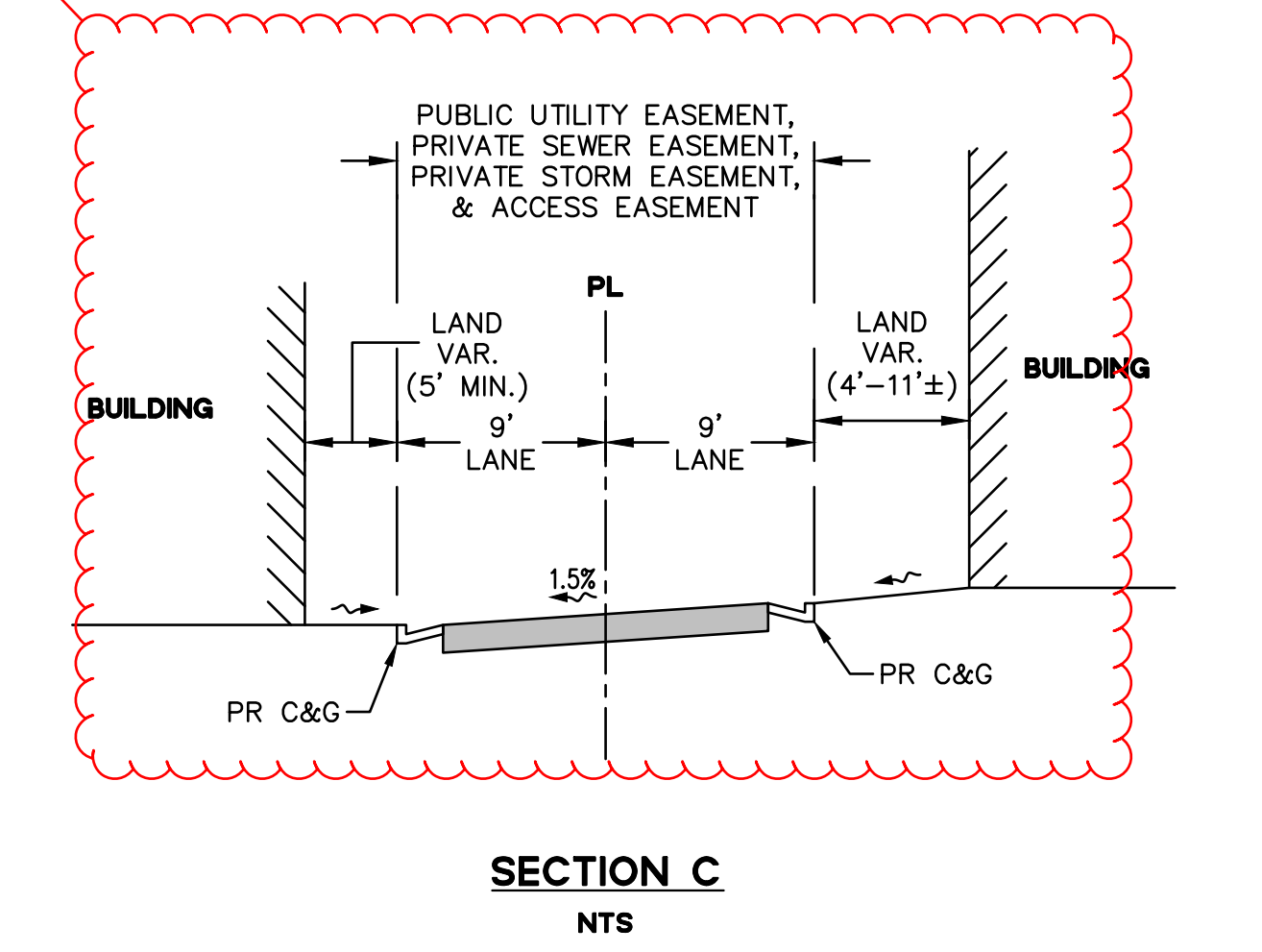
1. PROPOSED BUILDINGS ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

ABBREVIATIONS

BLDG	BUILDING	NTS	NOT TO SCALE
BFE	BASE FLOOD ELEVATION	PL	PROPOSED PROPERTY LINE
C/L	CENTERLINE	PR	PROPOSED
C&G	CURB AND GUTTER	R	RADIUS
EX.	EXISTING	R/W	RIGHT OF WAY
L	LENGTH	VAR	VARIES
LAND	LANDSCAPE		



A 20 foot fire lane is required to meet CFC 503.2.1 and 503.2.3. Currently the



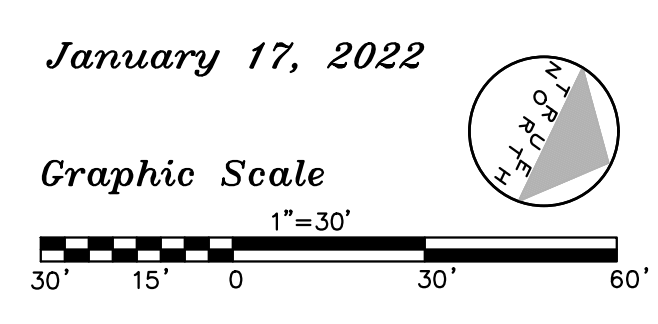
NOTES:

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LOTING AND LAYOUT PLAN



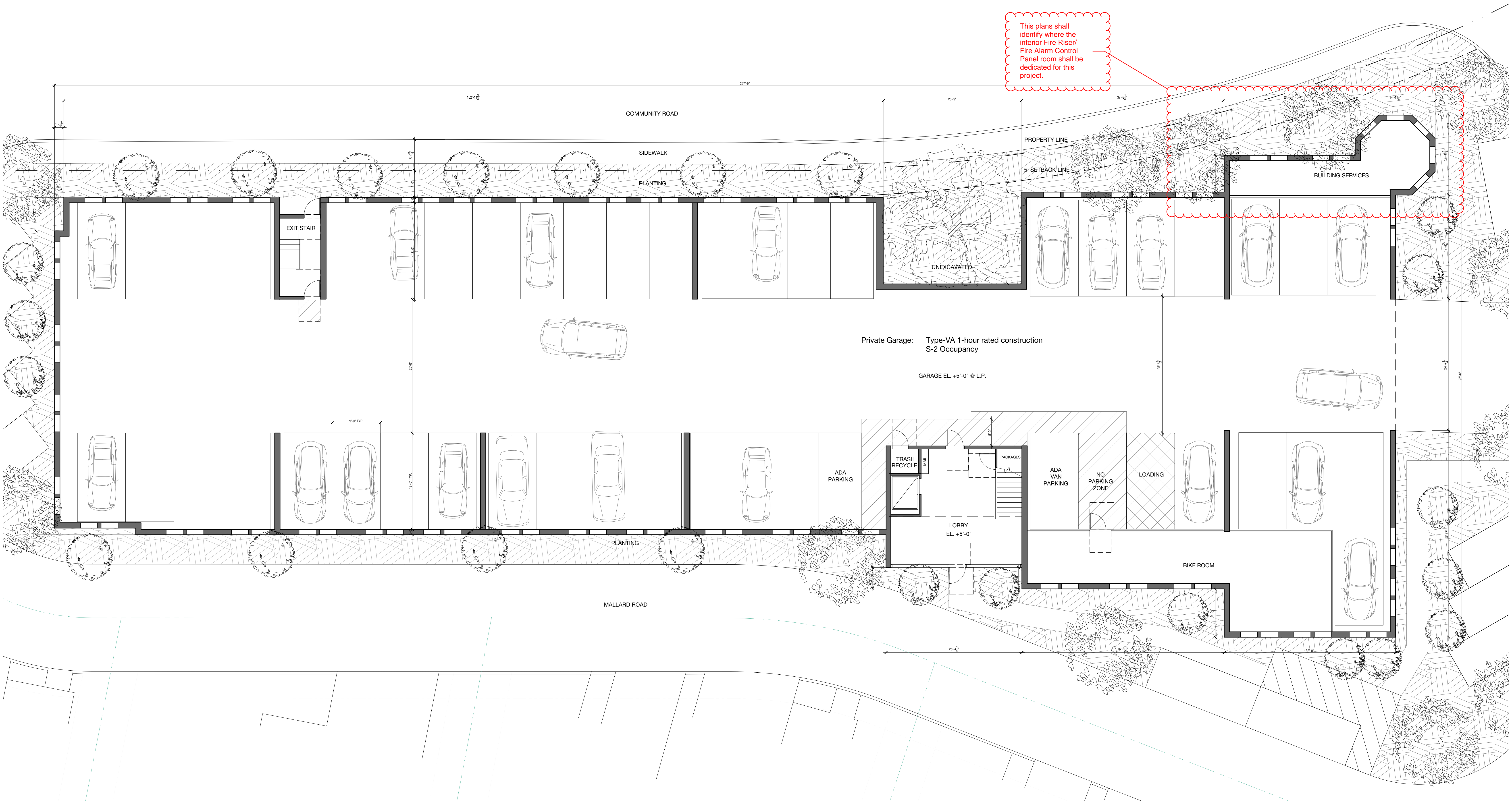
MALLARD POINTE
Belvedere, California

MALLARD POINTE
1951 LLC
Project Sponsor

BKF ENGINEERS
1646 N. CALIFORNIA BLVD.
SUITE 400
WALNUT CREEK, CA 94596
(925) 940-2200
www.bkf.com

TM-3

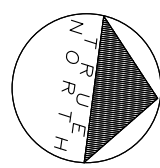
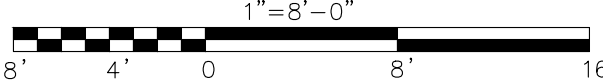
This plans shall identify where the interior Fire Riser/ Fire Alarm Control Panel room shall be dedicated for this project.



Ground Floor Plan

January 17, 2022

Graphic Scale



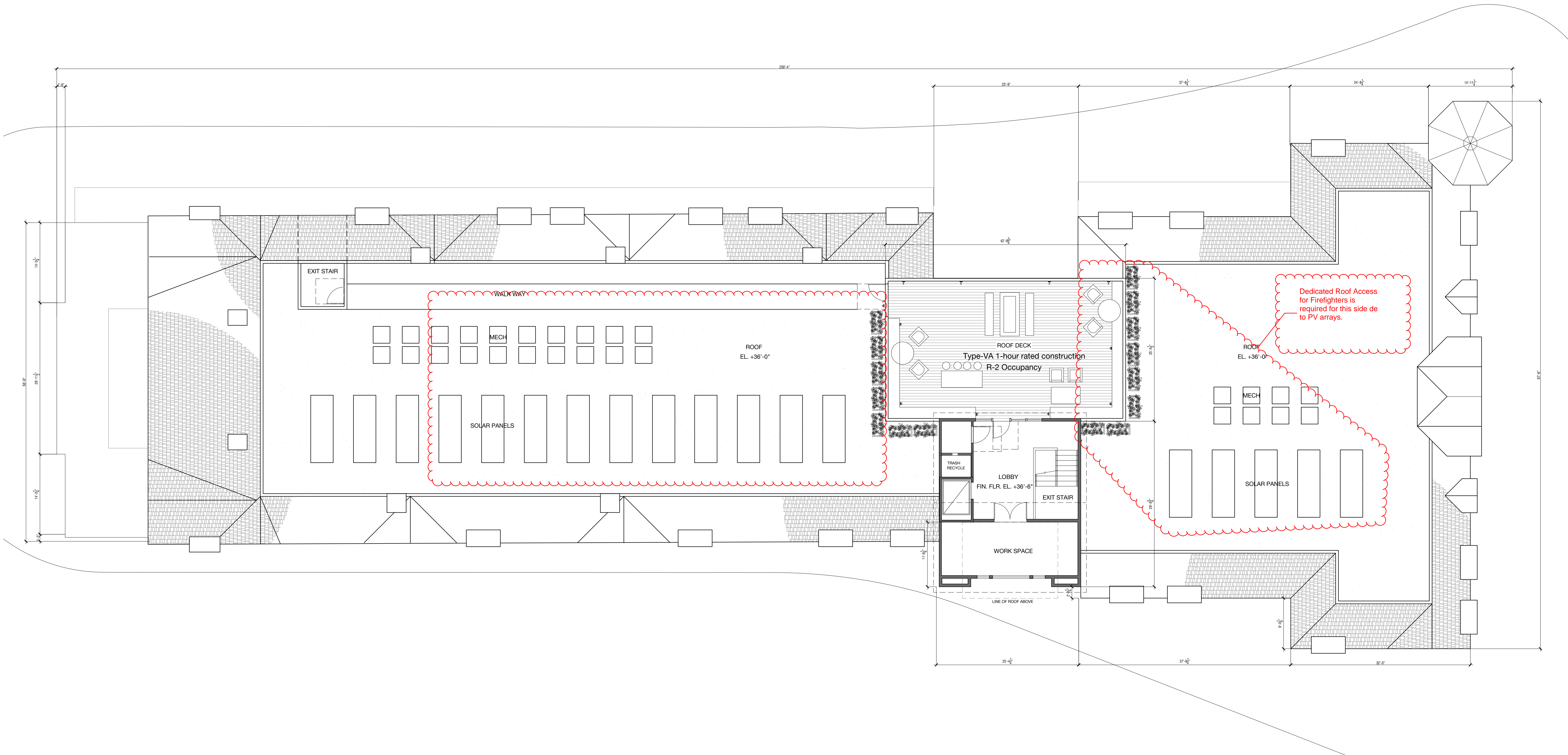
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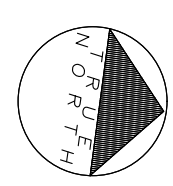
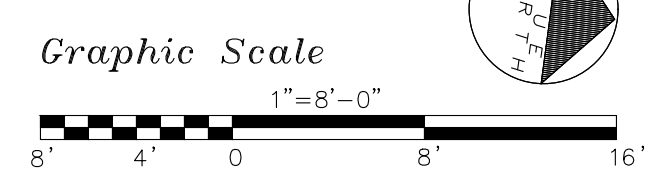


MF 1



Roof Plan

January 17, 2022



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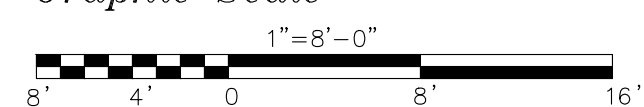




Community Road Elevation

January 17, 2022

Graphic Scale



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MF 5