

Tiburon Fire Protection District



Occupancy: **Mallard Pointe**
Occupancy ID: **4725**
Address: **1 Mallard RD**
BELVEDERE CA 94920

Inspection Type: **PLAN REVIEW - PLANNING AND BUILDING**

Inspection Date: **6/20/2022** By: Lantier, Michael (127)

Time In: **14:00** Time Out: **22:10**

Authorized Date: **06/20/2022** By: Lantier, Michael (127)

Form: 2022 All Inclusive
Plan Review Template

Inspection Description:

Based on the currently adopted 2019 California Building and Fire Codes and Ordinance #129 along with current Tiburon Fire Protection District standards

Inspection Topics:

Scope of Work

Outside Agency Tracking Number

Plans Provided by Town of Tiburon (TOT), City of Belvedere (COB) or Marin County (MC):

Status: **OBSERVED**

Notes: **City of Belvedere Planning #1259 Revision 1**

Scope of Work:

Compliance with Government Code 65943- Merits of the Project:

Status: **OBSERVED**

Notes: **Build 42 new units; demo 22 units**

Planning Division Review

Automatic Residential Fire Sprinkler System Is Required per NFPA 13D

An automatic residential fire sprinkler system is required to be installed in all new residences including garages conforming to NFPA Std. 13D and as modified by the Fire Marshal. Plans and hydraulic calculations shall be submitted to the Fire Marshal for review prior to installation. Contact the Marin Municipal Water District should an upgrade for the domestic water meter be needed and all hydraulic inquiries. Additional sizing may be required due to available pressures and fire flow. The above requirement may be waived provided the new and existing remodel and addition does not exceed 50% of the total existing floor area.

Status: **REQUIRED FOR THIS PROJECT**

Notes: **Submit for each duplex and signal family residence in this project to Tiburon Fire as a Deferred Submittal.**

Automatic Residential Fire Sprinkler System Is Required per NFPA 13R

An automatic fire sprinkler system is required to be installed conforming to NFPA Std. 13R. Plans and hydraulic calculations shall be submitted to the Fire Marshal for review prior to installation. Contact the Marin Municipal Water District should an upgrade for the domestic water meter be needed. Additional sizing may be required due to available pressures and fire flow.

Status: **REQUIRED FOR THIS PROJECT**

Notes: **Submit plans for Apartment Building to Tiburon Fire as a Deferred Submittal. If fourth floor is approved for rooftop deck., TFD shall require a standpipe and floor control valves per CFC requirements.**

System Supervision Required.

All automatic fire sprinkler and fire alarm systems, flow switches, and control valves shall be monitored by an approved UL Central Station company, zoned and enunciated as required by the Tiburon Fire Protection District.

Status: **REQUIRED FOR THIS PROJECT**

Notes: **The Apartment complex shall be supervised in accordance to CFC 903.4.**

Fire Hydrants Required. (1500 GPM)

Fire hydrants capable of supplying 1,500 gallons per minute minimum will be required to be installed so that spacing between hydrants does not exceed 300 feet. The fire hydrant(s) shall be spotted by the Fire Marshal and contain at least one 4 and one half inch and one 2 and one half inch outlets. Installation shall conform to the specifications of the Marin Municipal Water District

Status: REQUIRED FOR THIS PROJECT

Notes: A hydrant shall be installed on Mallard Road at the circle for use by TFD. Based on psi, the hydrant shall be a Clow 865 if over 90psi static or a Jones 3770 if under 90 psi static. Red cloud on Plan Set

Roadway and Driveway Minimum Clearance. (Commercial)

Roadways and driveways shall have a minimum clearance of not less than 20ft. horizontal by 14ft. vertical clearance. No object shall encroach into this horizontal and vertical plane.

Status: CORRECTION NEEDED

Notes: The dimensions of Mallard Road do not meet 20 feet unobstructed. Red cloud on MP Set "1 Mallard Fire Lane 2-16-22" page TM-3.

Fire Lane(s) Required.

'No parking fire lane' curbs and signs shall be installed in accordance with TFPD and CA Vehicle Code standards, as required by the Fire Marshal.

Status: REQUIRED FOR THIS PROJECT

Notes: Add this language to the rolled curbs on Mallard Road or a series of approved fire lane signage shall be required. TFD Fire Lane signage templated added to "1 Mallard Road Fire lane" Plan Set.

Knox Key Access Required.

'Knox' key access shall be installed at the premises conforming to TFPD standards.

Status: REQUIRED FOR THIS PROJECT

Notes: All fire equipment rooms, gates, utility rooms, elevator machine rooms and doors shall required a Knox Key Vault for the Apartment complex.

Vegetation Management Plan - Fuels Management Plan Required.

An irrigated greenbelt Vegetation Management Plan (VMP) Fuels Management Plan conforming to the standards of the Tiburon Fire Protection District shall be prepared and implemented at the site. The VMP-Fuels Management Plan shall conform to Marin County Fire Prevention Officer's Standard #220 and Fire Safe Marin principles. The plan shall be incorporated into the landscape plan for the project and submitted to the Fire Marshal for review prior to implementation. The plan shall be implemented prior to building final.

Status: REQUIRED FOR THIS PROJECT

Notes: Landscape Plan shall be converted to approved VMP and submitted to TFD as a Deferred submittal.

Permit Application and Fees Required.

Permit application and associated fees shall be submitted with plan submittal package.

Status: REQUIRED FOR THIS PROJECT

Notes: For All Fire District deferred submittals, our application and fees associated shall be paid before permit is issued.

Other Information.

See Below.

Status: REQUIRED FOR THIS PROJECT

Notes: Upon demolition phase of this project, The Tiburon Fire District shall have at least a week of trainings upon all structures deemed to be removed.

Roof access shall be dedicated for firefighter access due to PV array. Red clouded on plans.

Residential Fire Sprinklers NFPA 13D Deferred Submittal Review

Automatic Residential Fire Sprinkler System Is Required per NFPA 13D

An automatic residential fire sprinkler system is required to be installed in all new residences including garages conforming to NFPA Standard 13D and as modified by the Fire Marshal. Plans and hydraulic calculations shall be submitted to the Fire Marshal for review prior to installation. Contact the Marin Municipal Water District should an upgrade of the domestic meter size be necessary. Additional sizing may be required due to available pressures and fire flow. The above requirement may be waived provided the new and existing remodel and addition does not exceed 50% of the total existing floor area.

Status: REQUIRED FOR THIS PROJECT

Notes: Submit for each duplex and signal family residence in this project to Tiburon Fire as a Deferred Submittal.

Residential Fire Sprinklers NFPA 13R Deferred Submittal Review

Automatic Residential Fire Sprinkler System Is Required per NFPA 13R

An automatic fire sprinkler system is required to be installed conforming to NFPA Std. 13R. Plans and hydraulic calculations shall be submitted to the Fire Marshal for review prior to installation. Contact MMWD for domestic meter service. Additional sizing may be required due to available pressures and fire flow.

Status: REQUIRED FOR THIS PROJECT

Notes: Submit plans for Apartment Building to Tiburon Fire as a Deferred Submittal. If fourth floor is approved for rooftop deck., TFD shall require a standpipe and floor control valves per CFC requirements.

System Supervision Required.

All automatic fire sprinkler and fire alarm systems, flow switches, and control valves shall be monitored by an approved UL Central Station company, zoned and enunciated as required by the TFPD.

Status: REQUIRED FOR THIS PROJECT

Notes: The Apartment complex shall be supervised in accordance to CFC 903.4.

Other Comments and/or Conditions

Other Comments or Conditions Required.

See below.

Status: CONDITION OF APPROVAL

Notes: Fire Hydrant is added to BKF Plan Set page TM-4A
20 foot fire lane is added to BKF Plan Set page TM-3A
Fire Lane Signage is added to BKF Plan Set page TM-3B
Demolition language added to BKF Pan Set TM-2.

VMP is forthcoming as a deferred submittal.

Other Information.

See Below.

Status: OBSERVED

Notes: Response letter H(5) noted roof top access using a gurney sized elevator car, but does not indicate a fourth floor in height. The original tenant area remains, so it is assumed that this is a fourth floor. Standpipes will be required.

Additional Time Spent on Inspection:

Category	Start Date / Time	End Date / Time
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Notes: No Additional time recorded

Total Additional Time: 0 minutes

Inspection Time: 490 minutes

Total Time: 490 minutes

Summary:

Overall Result: PLAN REVIEW COMPLETE

Inspector Notes: This revision meets Completeness with several Conditions of Approval.

Closing Notes:

Thank you for your commitment to fire and life safety. If you have any questions, please feel free to email Deputy Fire Marshal Mike Lantier at mlantier@tiburonfire.org or visit our website : <https://www.tiburonfire.org/tiburon-fire-standards/>

Inspector:
Name: Lantier, Michael Rank: Fire Marshal

Tiburon Fire Protection District



Agency Permit ID
ER Permit Number **513503**
Permit Type **CFC - CONSTRUCTION**
Created By **Lantier, Michael**
Authorized Date **6/20/2022 3:13:50 PM**

Permit Date **6/20/2022 12:00:00 AM**
Effective Date **6/20/2022 3:12:00 PM**
Expiration Date **7/20/2022 3:12:00 PM**
Authorized By **Lantier, Michael**

Site Information

**Mallard Pointe
1 Mallard RD
BELVEDERE, CA 94920**

Billing Information

**Bruce Dorfman Mallard Pointe 1951 LLC
39 Forrest ST #STE 202
Mill Valley, CA 94941**

Point of Contact

Bruce Dorfman Mallard Pointe 1951 LLC 415 381-3001

Permit Notes:

**COB #1259 Plan Review Revision 1- 2 hours
BD@ThompsonDorfman.com**

Permit Line Items:

Line Item	Quantity	Fee	Total
BUILDING AND DEVELOPMENT PLAN REVIEW	2	\$151.00	\$302.00
Total			\$302.00

Permit Form:

Form: **2022 Con Perm Form**

Description: **In accordance with the provisions of Ordinance #129 as adopted by the Tiburon Fire Protection District, the following document is issued under the 2019 California Fire Code jurisdiction. Fees shall be paid via an account on www.bill.com (ACH or credit card payments) or via check sent to 1679 Tiburon Blvd. Tiburon, CA 94920. All Payments shall be completed BEFORE any inspection(s) can be scheduled. In order to keep this plan submittal on track, email Nicole Chaput at nchaput@tiburonfire.org and provide the correct billing contact information, including email, for the official invoice.**

Closing Notes:

This Tentative Invoice is just preliminary as fees may vary with Fire protection Equipment reviews, other Fire Code Permits and general plan review fees & hours involved. A Final Invoice will be sent via www.bill.com with the total amount from Nicole Chaput, Executive Assistant. Fees shall be paid via an account on www.bill.com or via check sent to 1679 Tiburon Blvd. Tiburon, CA 94920 BEFORE any inspection(s) can be scheduled. In order to keep this plan submittal on track, email Nicole Chaput at nchaput@tiburonfire.org and provide the correct billing contact information, including email, for the official invoice.

TENTATIVE MAP
MALLARD POINTE
CITY OF BELVEDERE, MARIN COUNTY, CALIFORNIA

PROJECT SUMMARY

1. OWNER/SUBDIVIDER

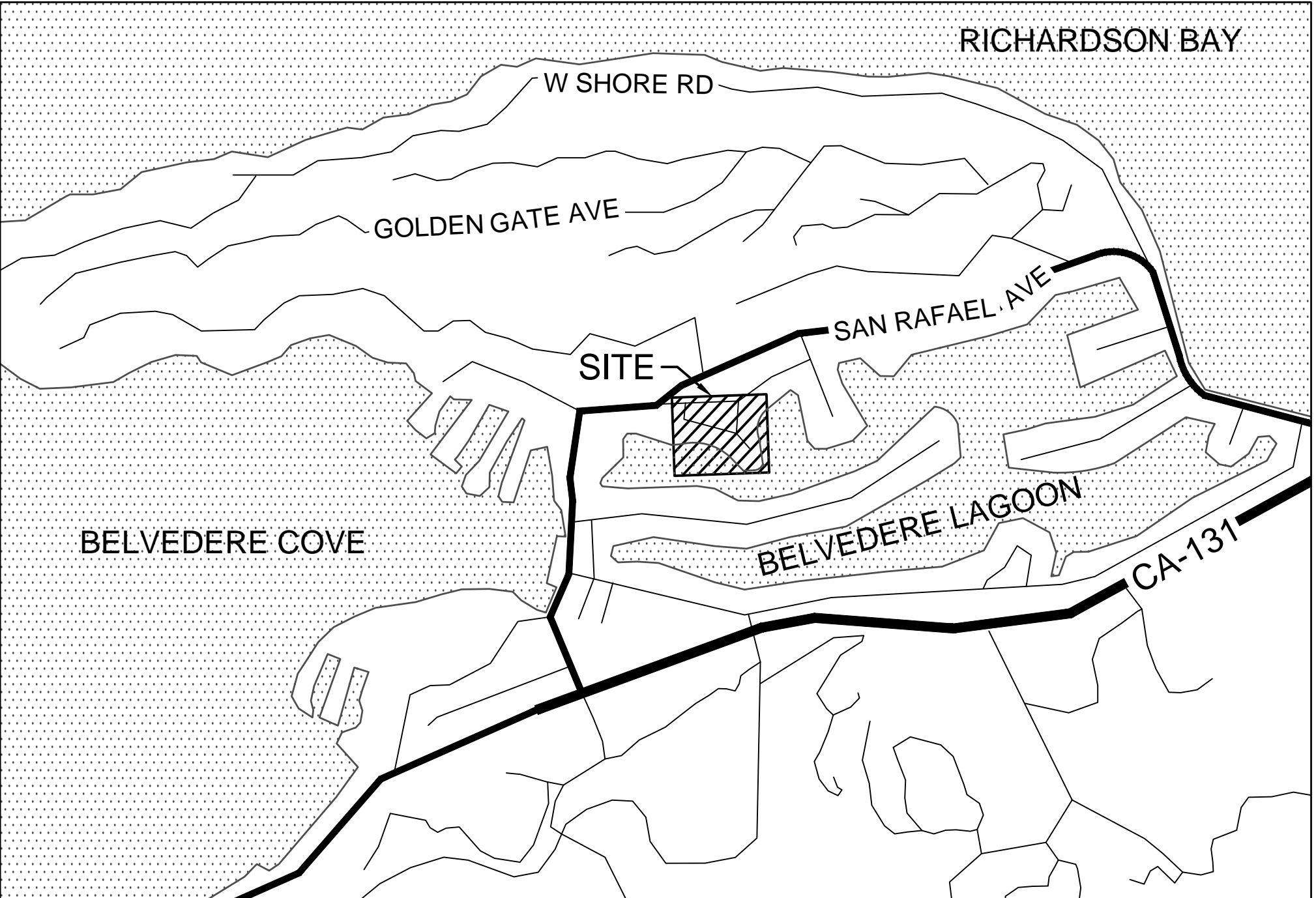
MALLARD POINTE 1951 LLC
CONTACT: BRUCE DORFMAN
39 FORREST STREET, SUITE 202
MILL VALLEY, CA 94941
PHONE NUMBER: 415-823-3001
2. ENGINEER

BKF ENGINEERS
1646 N. CALIFORNIA BLVD., SUITE 400
WALNUT CREEK, CA 94596
925-940-2200
CONTACT: CHRIS MILLS
3. UTILITIES:

WATER SUPPLY:
FIRE PROTECTION:
SEWAGE DISPOSAL:
STORM DRAIN:
GAS:
ELECTRIC:
TELEPHONE:
CABLE TELEVISION:

MARIN MUNICIPAL WATER DISTRICT
TIBURON FIRE PROTECTION DISTRICT
SANITATION DISTRICT NO.5
CITY OF BELVEDERE
PACIFIC GAS & ELECTRIC
PACIFIC GAS & ELECTRIC
AT&T
COMCAST
4. PROJECT ADDRESS & ASSESSOR
PARCEL NUMBERS

1 MALLARD RD, APN 060-072-27
9 MALLARD RD, APN 060-072-28
17 MALLARD RD, APN 060-072-18



VICINITY MAP
NTS

SHEET INDEX	
Sheet Number	Sheet Title
TM-1	TITLE SHEET
TM-2	EXISTING CONDITIONS
TM-3A	LOTING AND LAYOUT PLAN
TM-3B	PARKING LAYOUT AND TURN PLAN
TM-4A	GRADING, DRAINAGE, & UTILITIES
TM-4B	STREET PROFILES
TM-5	EROSION CONTROL PLAN
TM-6	STORMWATER CONTROL PLAN

VERTICAL DATUM

VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

LAND USE SUMMARY

GROSS AREA OF SITE:	120,079 SQUARE FEET, 2.8 ACRES
NET AREA OF SITE:	106,354 SQUARE FEET, 2.4 ACRES
ALLOWABLE AND PROPOSED FLOOR AREA RATIO (FAR):	N/A (FLOOR AREA RATIO IS NOT REQUIRED IN R2 ZONING)
GENERAL PLAN DENSITY CALCULATION:	16.25 UNITS/ACRE (EXCLUDES ADU UNITS)
ZONING DENSITY CALCULATION:	N/A (ZONING DENSITY IS NOT REQUIRED IN R2 ZONING)
FLOOD ZONE:	ZONE AE (ELEVATION 10 NAVD88) BASED ON FEMA FLOOD MAP 06041C0489E EFFECTIVE 3/16/16 AND MAP 06041C0527E EFFECTIVE 3/16/16.

LOT SUMMARY TABLE No. 1 - STRUCTURES

LOTS	LOT AREA (SF) ¹	NET LOT AREA (SF) ²	COVERAGE AREA (SF) ³	LOT COVERAGE (%) ³	ALLOWABLE LOT COVERAGE (%) ³
LOT 1	7,826	7,299	2,414	33.1	50%
LOT 2	7,830	7,053	3,445	48.8	
LOT 3	7,215	6,377	2,966	46.5	
LOT 4	6,871	6,028	2,176	36.1	
LOT 5	10,073	10,073	3,676	36.5	
LOT 6	6,830	6,015	2,176	36.2	
LOT 7	7,871	7,011	2,966	42.3	
LOT 8	8,287	7,490	3,445	46.0	
LOT 9	7,848	7,015	3,146	44.8	
LOT 10	6,840	6,148	1,970	32.0	
LOT 11	9,822	8,933	3,651	40.9	
LOT 12	32,766	26,911	16,905	62.8	40%
TOTAL	120,079	106,354	48,936	42.2	N/A

- NOTES:
1. LOT AREAS REPRESENT THE TOTAL AREA WITHIN THE PROPOSED LOT LINES SHOWN.
 2. NET LOT AREA THAT EXCLUDES THE PROPOSED ROADWAY (AREA BETWEEN CURBS)
 3. LOT COVERAGE: AREA OF STRUCTURES **EXCLUDING** UNCOVERED DECKS ABOVE 4 FEET.
 4. LOT AREA AND LOT COVERAGE ARE DEFINED IN SECTIONS 19.08.300 & 19.08.310 OF THE BELVEDERE MUNICIPAL CODE.
 5. ALLOWABLE LOT COVERAGE IS DEFINED IN SECTION 19.52.020 OF THE BELVEDERE MUNICIPAL CODE

LOT SUMMARY TABLE No. 2 - TOTAL COVERAGE

LOTS	LOT AREA (SF) ¹	NET LOT AREA (SF) ²	COVERAGE AREA (SF) ³	LOT COVERAGE (%) ³	ALLOWABLE LOT COVERAGE (%) ³
LOT 1	7,826	7,299	2,803	38.4	60%
LOT 2	7,830	7,053	3,819	54.1	
LOT 3	7,215	6,377	3,191	50.0	
LOT 4	6,871	6,028	2,360	39.2	
LOT 5	10,073	10,073	3,963	39.3	
LOT 6	6,830	6,015	2,360	39.2	
LOT 7	7,871	7,011	3,189	45.5	
LOT 8	8,287	7,490	3,823	51.0	
LOT 9	7,848	7,015	3,330	47.5	
LOT 10	6,840	6,148	1,994	32.4	
LOT 11	9,822	8,933	3,741	41.9	
LOT 12	32,766	26,911	16,905	62.8	
TOTAL	120,079	106,354	51,478	45.1	N/A

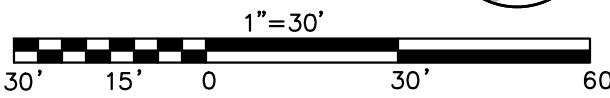
- NOTES:
1. LOT AREAS REPRESENT THE TOTAL AREA WITHIN THE PROPOSED LOT LINES SHOWN.
 2. NET LOT AREA THAT EXCLUDES THE PROPOSED ROADWAY (AREA BETWEEN CURBS)
 3. LOT COVERAGE: AREA OF STRUCTURES **INCLUDING** UNCOVERED DECKS ABOVE 4 FEET.
 4. LOT AREA AND LOT COVERAGE ARE DEFINED IN SECTIONS 19.08.300 & 19.08.310 OF THE BELVEDERE MUNICIPAL CODE.
 5. ALLOWABLE LOT COVERAGE IS DEFINED IN SECTION 19.52.020 OF THE BELVEDERE MUNICIPAL CODE

Tiburon Fire District
**APPROVED WITH
CONDITIONS**
06/20/2022 2:33:04 PM

TITLE SHEET

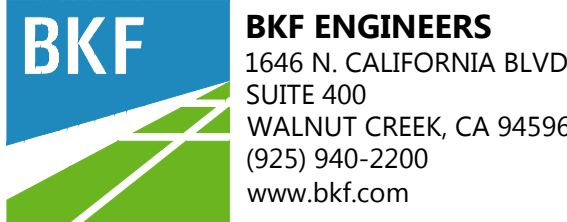
May 23, 2022

Graphic Scale

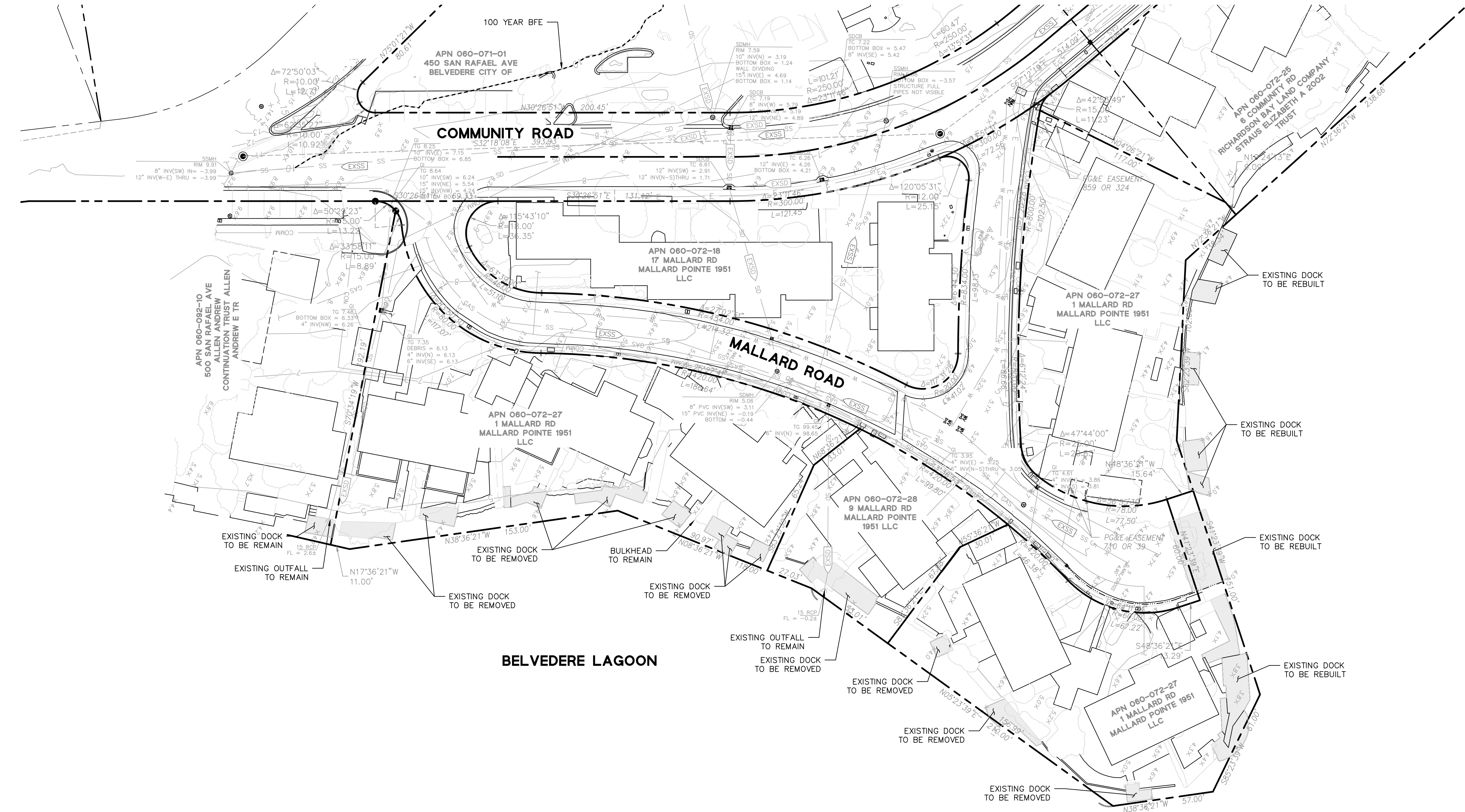


MALLARD POINTE
Belvedere, California

MALLARD POINTE
1951 LLC
Project Sponsor



TM-1



LEGEND

---	PROPERTY LINE
---	ROAD CENTERLINE
SD	EXISTING STORM DRAIN LINE
SS	EXISTING SEWER LINE
W	EXISTING WATER LINE
COMM	EXISTING COMMUNICATION LINE
GAS	EXISTING GAS LINE
E	EXISTING ELECTRICAL LINE
---	DIRECTION OF FLOW
---	EXISTING CONCRETE SWALE

ABBREVIATIONS

BFE	BASE FLOOD ELEVATION
COMM	COMMUNICATION
E	EAST/ELECTRIC
G	GAS
HYD	HYDRANT
L	LINE
N	NORTH
R	RADIUS
RD	ROAD
S	SOUTH
SD	STORM DRAIN
SS	SANITARY SEWER
W	WATER/WEST
WV	WATER VALVE

NOTES

- THE UTILITIES AND OUTFALLS SHOWN ON THIS PLAN ARE DERIVED FROM AVAILABLE RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY. ACTUAL LOCATION AND SIZE, TOGETHER WITH THE PRESENCE OF ANY ADDITIONAL UTILITY LINES NOT SHOWN ON THIS PLAN SHALL BE VERIFIED.
- FIELD BOUNDARY SURVEY WAS CONDUCTED BY CSM/STUBER-STROEH ENGINEERING ON SEPTEMBER AND OCTOBER OF 2020.
- BEARINGS SHOWN ARE STATE PLAN BEARINGS. THERE IS A 01'23'39" MAPPING ANGLE TO ACHIEVE BEARINGS AS SHOWN ON 7 M 1 OF THE LAGOON SUBDIVISION NO. 5 AND DEED BEARINGS.
- EXISTING TOPOGRAPHIC FEATURES AND ELEVATIONS TAKEN FROM AERIAL SURVEY CONDUCTED BY CSM/STUBER-STROEH ENGINEERING. THE AERIAL CONTROL IS PER THE CALIFORNIA REAL TIME NETWORK (CRTN), CALIFORNIA COORDINATE SYSTEM, NORTH AMERICAN DATUM OF 1983 (NAD83), ZONE 3 EPOCH 2017.5. CONTROL SURVEY WAS PERFORMED ON AUGUST 12, 2020.
- ELEVATIONS OUTSIDE OF THE PROJECT LIMITS ARE DERIVED FROM USGS LIDAR SCANS.
- AERIAL SURVEY WILL NEED TO BE SUPPLEMENTED BY CONVENTIONAL FIELD SURVEY FOR AREAS OF PRECISE GRADING, ADA, ETC. WHERE VERY PRECISE ELEVATIONS ARE REQUIRED.
- FEMA FLOOD HAZARD ELEVATION AT 10', AS NOTED IN FIRM NUMBER 06041C0489E, PANEL 0527.

DEMOLITION NOTES

- ALL EXISTING IMPROVEMENTS TO BE REMOVED UNLESS NOTED OTHERWISE.
- EXISTING UTILITIES NOT SPECIFIED ON THIS PLAN TO BE REMOVED OR ABANDONED ARE TO REMAIN IN PLACE AND ARE NOT TO BE DISTURBED. IF DISCREPANCIES OCCUR BETWEEN UTILITIES SHOWN ON THIS PLAN AND THOSE WHICH EXIST IN THE FIELD, CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER.
- EXISTING BUILDINGS, STRUCTURES, WALLS, VERTICAL CURB, PAVEMENT, CURB & GUTTER, SIDEWALK AND TREES SHALL BE DEMOLISHED WITHIN PROJECT LIMITS, UNLESS NOTED OTHERWISE.
- DEMOLITION OF ONSITE UTILITIES, SERVICES TO SITE SHALL BE TERMINATED AT THE POINTS OF CONNECTION INDICATED ON PLAN. CONTRACTOR SHALL CONTACT UTILITY PROVIDER TO SCHEDULE ANY NECESSARY INTERRUPTION OF SERVICE AND TO COORDINATE PROCEDURE FOR CUTTING AND CAPPING LINES.
- PRIOR TO ABANDONMENT OR REMOVAL OF ANY EXISTING UTILITIES (MAIN OR LATERAL), CONTRACTOR SHALL VERIFY THAT SAID UTILITIES ARE NOT ACTIVE.
- UTILITY PIPES SHALL DEMOLISHED PER GEOTECHNICAL ENGINEER'S DIRECTION. OPTIONS INCLUDE:
 - FILLING PIPE WITH SLURRY
 - REMOVING COMPLETELY AND BACKFILLING WITH SUITABLE MATERIAL
 - CRUSHING PIPE IN PLACE AND BACKFILLING WITH APPROPRIATE MATERIAL
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND ALL DIMENSIONS PRIOR TO START OF DEMOLITION AND DECONSTRUCTION AND TO PROTECT ALL EXISTING ADJACENT STRUCTURES AND

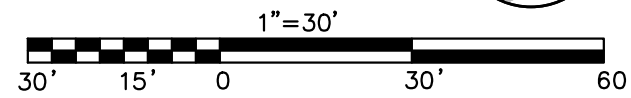
- THEIR CONTENTS IN FULL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE BUILDING'S STABILITY DURING DEMOLITION AND DECONSTRUCTION, INCLUDING BUT NOT LIMITED TO: METHOD AND SEQUENCE, TEMPORARY SHORING AND TEMPORARY BRACING.
- CONTRACTOR SHALL NOTIFY BKF SHOULD ANY INFORMATION ON THE PLANS CONFLICT WITH ANY OTHER PART OF THE DRAWINGS.
- CONTRACTOR TO COORDINATE DEMOLITION WITH DECONSTRUCTION AND SALVAGE REQUIREMENTS.
- BUILDINGS ARE TO BE REMOVED ENTIRELY. COORDINATE REMOVAL OF ANY HAZARDOUS MATERIALS DEMOLITIONS AND DECONSTRUCTION REMEDIATION.
- RECYCLING OF ALL CONCRETE AND ASPHALT TO BE PER OWNER DIRECTION.
- ALL FENCES AND FENCE POST FOOTINGS TO BE REMOVED ENTIRELY, UNLESS NOTED OTHERWISE.

14. TFD shall obtain at least a week of Demo training before active demolition occurs. All asbestos/hazard mitigation reports and removal shall be received by TFD before date of trainings is scheduled.

EXISTING CONDITIONS

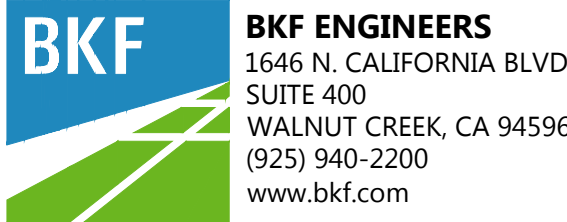
May 23, 2022

Graphic Scale



MALLARD POINTE
Belvedere, California

MALLARD POINTE
1951 LLC
Project Sponsor



TM-2

EXISTING PROPERTY LINE

PROPOSED PROJECT BOUNDARY

PROPOSED PROPERTY LINE

BUILDING SETBACK

BULKHEAD LIMITS

100 YEAR BASE FLOOD ELEVATION

ROAD CENTERLINE

TRANSFORMER

ACCESS AND UTILITY EASEMENT

BIORETENTION AREA

1. PROPOSED BUILDINGS ARE SHOWN FOR REFERENCE ONLY, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
2. NO PARKING LANE CURBS AND SIGNAGE SHALL BE INSTALLED ALONG MALLARD ROAD AND DRIVEWAY ACCORDING TO TIBURON FIRE PROTECTION DISTRICT AND CALIFORNIA VEHICLE CODE STANDARDS, AS REQUIRED BY THE FIRES MARSHAL.
3. PARKING DIMENSIONS SHALL BE COMPLIANT WITH SECTION 19.68.020 OF THE CITY OF BELVEDERE MUNICODE.

GROSS AREA OF SITE:	120,079 SQUARE FEET, 2.8 ACRES
NET AREA OF SITE:	106,354 SQUARE FEET, 2.4 ACRES
ALLOWABLE AND PROPOSED FLOOR AREA RATIO (FAR):	N/A (FLOOR AREA RATIO IS NOT REQUIRED IN R2 ZONING)
GENERAL PLAN DENSITY CALCULATION:	16.25 UNITS/ACRE (EXCLUDES ADU UNITS)
ZONING DENSITY CALCULATION:	N/A (ZONING DENSITY IS NOT REQUIRED IN R2 ZONING)

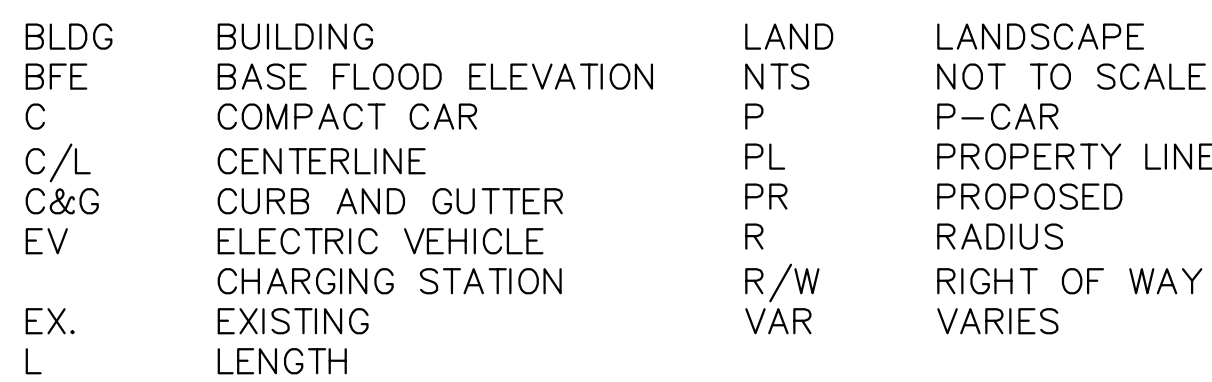


LOTS	LOT AREA (SF) ²	NET LOT AREA (SF) ²	COVERAGE AREA (SF) ³	LOT COVERAGE (%) ³	ALLOWABLE LOT COVERAGE (%) ³
LOT 1	7,826	7,299	2,414	33.1	
LOT 2	7,830	7,053	3,445	48.8	
LOT 3	7,215	6,377	2,966	46.5	
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LOT 5	10,073	10,073	3,676	36.5	
LOT 6	6,830	6,015	2,176	36.2	50%
LOT 7	7,871	7,011	2,966	42.3	
LOT 8	8,287	7,490	3,445	46.0	
LOT 9	7,848	7,015	3,146	44.8	
LOT 10	6,840	6,148	1,970	32.0	
LOT 11	9,822	8,933	3,651	40.9	
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TOTAL	120,079	106,354	48,936	42.2	N/A

1. LOT AREAS REPRESENT THE TOTAL AREA WITHIN THE PROPOSED LOT LINES SHOWN.
2. NET LOT AREA THAT EXCLUDES THE PROPOSED ROADWAY (AREA BETWEEN CURBS)
3. LOI' COVERAGE: AREA OF STRUCTURES **EXCLUDING** UNCOVERED DECKS ABOVE 4 FEET.
4. LOI' AREA AND LOI' COVERAGE ARE DEFINED IN SECTIONS 19.08.300 & 19.08.310 OF THE BELVEDERE MUNICIPAL CODE.
5. ALLOWABLE LOT COVERAGE IS DEFINED IN SECTION 19.52.020 OF THE BELVEDERE MUNICIPAL CODE.

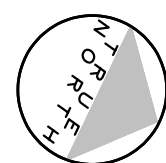
		WEI LOT	COVERAGE	LOT COVERAGE	ALLOWABLE LOT
LOTS	LOT AREA (SF) ¹	AREA (SF) ²	AREA (SF) ³	(%) ³	COVERAGE (%) ³
LOT 1	7,826	7,299	2,803	38.4	60%
LOT 2	7,830	7,053	3,819	54.1	
LOT 3	7,213	6,377	3,191	50.0	
LOT 4	6,871	6,028	2,360	39.2	
LOT 5	10,073	10,073	3,963	39.3	
LOT 6	6,830	6,015	2,360	39.2	
LOT 7	7,871	7,011	3,189	45.5	
LOT 8	8,287	7,190	3,823	51.0	
LOT 9	7,848	7,015	3,330	47.5	
LOT 10	6,840	6,148	1,994	32.4	
LOT 11	9,822	8,933	3,741	41.9	
LOT 12	37,766	26,931	16,905	62.8	
TOTAL	120,079	106,354	51,478	45.2	N/A

1. LOT AREAS REPRESENT THE TOTAL AREA WITHIN THE PROPOSED LOT LINES SHOWN.
2. NET LOT AREA THAT EXCLUDES THE PROPOSED ROADWAY (AREA BETWEEN CURBS)
3. LOT COVERAGE: AREA OF STRUCTURES INCLUDING UNCOVERED DECKS ABOVE 4 FEET.
4. LOT AREA AND LOT COVERAGE ARE DEFINED IN SECTIONS 19.08.300 & 19.08.310 OF THE BELVEDERE MUNICIPAL CODE.
5. ALLOWABLE LOT COVERAGE IS DEFINED IN SECTION 19.52.020 OF THE BELVEDERE MUNICIPAL CODE.




1"=30'

30' 15' 0 30' 60

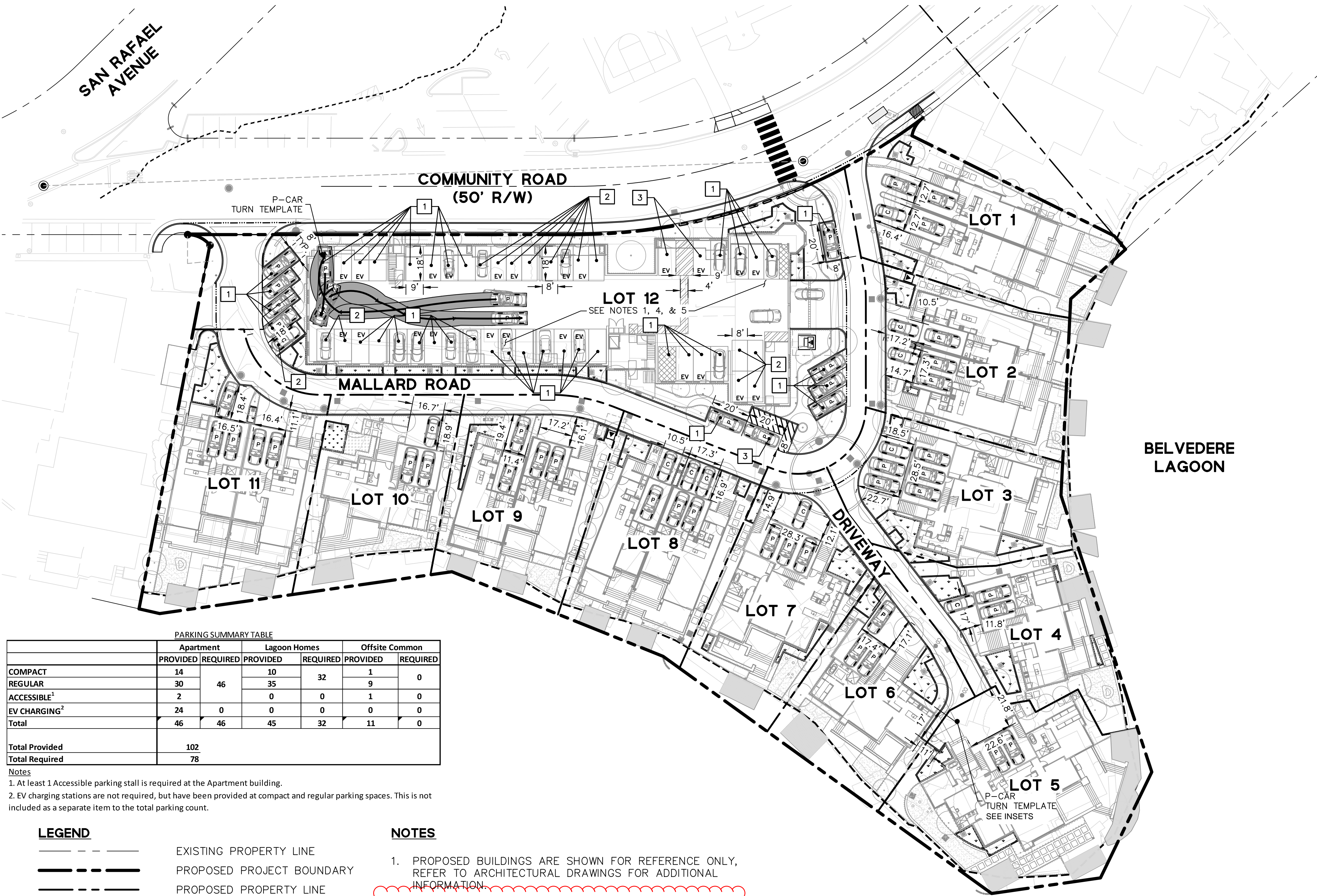


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PARKING SUMMARY TABLE						
	Apartment		Lagoon Homes		Offsite Common	
	PROVIDED	REQUIRED	PROVIDED	REQUIRED	PROVIDED	REQUIRED
COMPACT	14		10	32	1	0
REGULAR	30	46	35		9	
ACCESSIBLE ¹	2		0	0	1	0
EV CHARGING ²	24	0	0	0	0	0
Total	46	46	45	32	11	0
Total Provided	102					
Total Required	78					

Notes
1. At least 1 Accessible parking stall is required at the Apartment building.
2. EV charging stations are not required, but have been provided at compact and regular parking spaces. This is not included as a separate item to the total parking count.

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROJECT BOUNDARY
- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- BULKHEAD LIMITS
- 100 YEAR BASE FLOOD ELEVATION
- ROAD CENTERLINE
- TRANSFORMER
- ACCESS AND UTILITY EASEMENT
- BIORETENTION AREA

ABBREVIATIONS

BLDG	BUILDING	LAND	LANDSCAPE
BFE	BASE FLOOD ELEVATION	NTS	NOT TO SCALE
C	COMPACT CAR	P	P-CAR
C/L	CENTERLINE	PL	PROPERTY LINE
C&G	CURB AND GUTTER	PR	PROPOSED
EV	ELECTRIC VEHICLE	R	RADIUS
	CHARGING STATION	R/W	RIGHT OF WAY
EX.	EXISTING	VAR	VARIES
L	LENGTH		

NOTES

- PROPOSED BUILDINGS ARE SHOWN FOR REFERENCE ONLY, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.
- NO PARKING LANE CURBS AND SIGNAGE SHALL BE INSTALLED ALONG MALLARD ROAD AND DRIVEWAY ACCORDING TO TIBURON FIRE PROTECTION DISTRICT AND CALIFORNIA VEHICLE CODE STANDARDS, AS REQUIRED BY THE FIRES MARSHAL.
- PARKING DIMENSIONS SHALL BE COMPLIANT WITH SECTION 19.68.020 OF THE CITY OF BELVEDERE MUNICODE.
- ALL PARKING SPACES WITHIN THE APARTMENT BUILDING ARE ASSIGNED PARKING. SITE PARKING STALLS ARE CONSIDERED UNASSIGNED PARKING.
- SEE ARCHITECTURAL PLANS FOR ALL APARTMENT AND LAGOON HOME PARKING

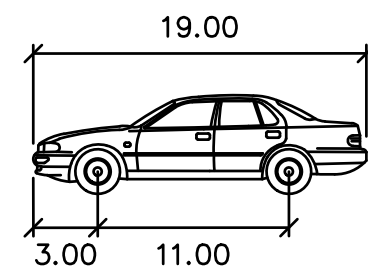
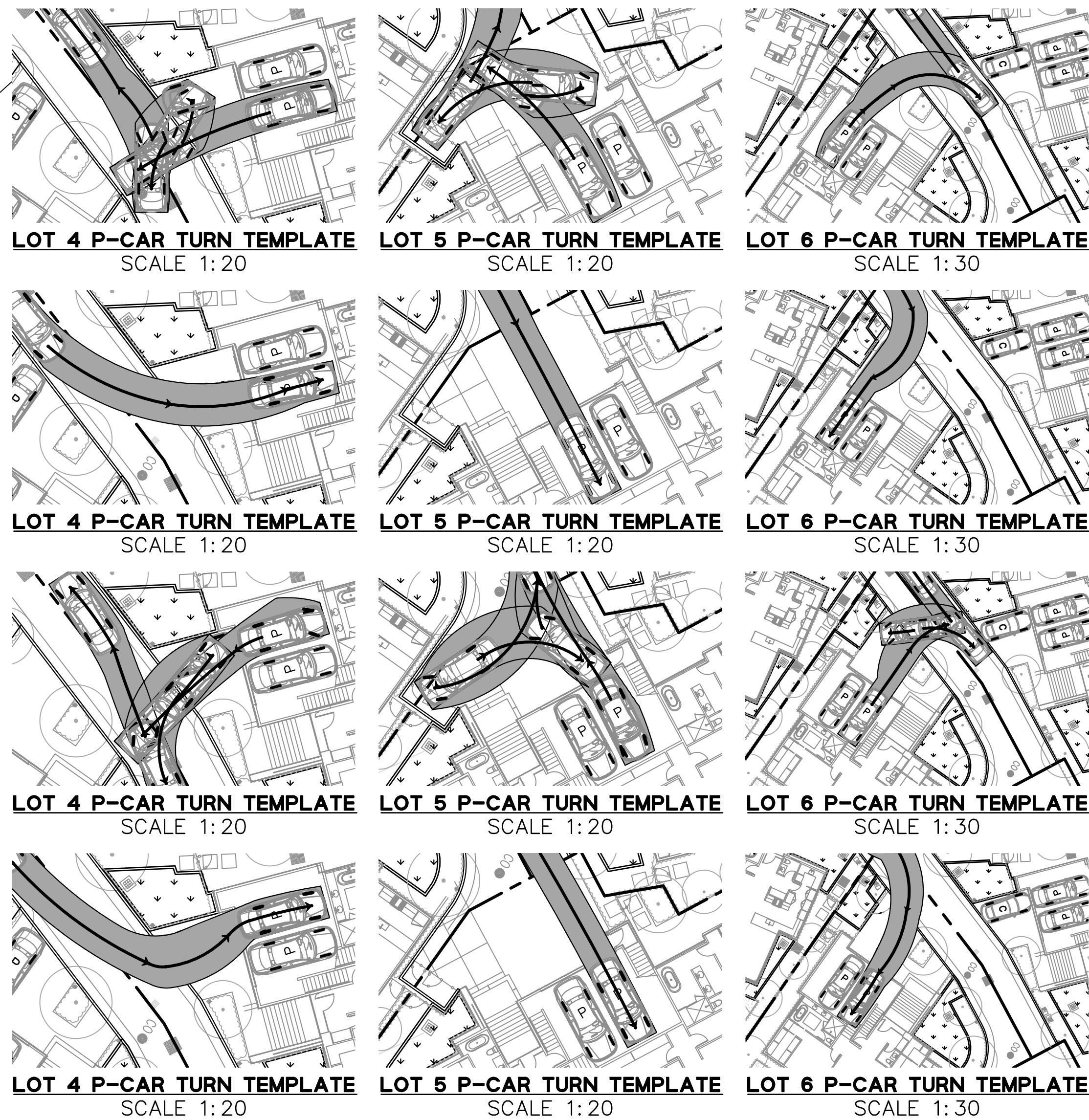
LAND USE SUMMARY

GROSS AREA OF SITE:	120,079 SQUARE FEET, 2.8 ACRES
NET AREA OF SITE:	106,354 SQUARE FEET, 2.4 ACRES
ALLOWABLE AND PROPOSED FLOOR AREA RATIO (FAR):	N/A (FLOOR AREA RATIO IS NOT REQUIRED IN R2 ZONING)
GENERAL PLAN DENSITY CALCULATION:	16.25 UNITS/ACRE (EXCLUDES ADU UNITS)
ZONING DENSITY CALCULATION:	N/A (ZONING DENSITY IS NOT REQUIRED IN R2 ZONING)

KEYNOTES

- STANDARD SITE PARKING STALL (8'X20' TYP. SEE NOTE 3)
- COMPACT PARKING STALL (8'X18' TYP. 7.5'X16' MIN.)
- ACCESSIBLE PARKING STALL (8'X20' TYP.)
- STANDARD APARTMENT PARKING STALL (9'X18' TYP. SEE NOTES 3&4)

PARKING LAYOUT AND TURN PLAN

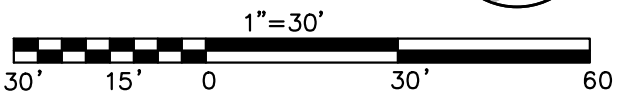


P-CAR (STANDARD)

	feet
Width	: 7.00
Track	: 6.00
Lock to Lock Time	: 6.0
Steering Angle	: 31.6

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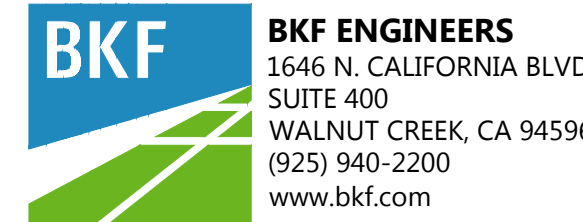
Graphic Scale



MALLARD POINTE

Belvedere, California

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NOTES

1. THE UTILITIES AND OUTFALLS SHOWN ON THIS PLAN ARE DERIVED FROM AVAILABLE RECORD DATA AND/OR SURFACE OBSERVATION AND ARE APPROXIMATE ONLY.
2. PROPOSED BUILDINGS ARE SHOWN FOR REFERENCE ONLY. REFER TO ARCHITECTURE DRAWINGS FOR ADDITIONAL INFORMATION.
3. FEMA FLOOD HAZARD ELEVATION AT 10', AS NOTED IN FIRM NUMBER 06041C0489E.
4. GARAGE FLOOR ELEVATIONS ARE PROPOSED TO MATCH EXISTING GRADES. FINISHED FLOOR ELEVATIONS WILL BE RAISED ABOVE THE 100 YEAR FLOODPLAIN ELEVATION PER BASE FLOOD ELEVATIONS SHOWN ON THE FEMA FLOOD INSURANCE MAP.
5. MAXIMUM 2% SLOPE IN ALL DIRECTIONS AT DOORS AND STAIRS.
6. UTILITY SIZES ARE PRELIMINARY ONLY.
7. PROPOSED FIRE HYDRANT SHALL BE BASED ON PSI. THE HYDRANT SHALL BE A CLOW 865 IF OVER 90 PSI OR A JONES 3770 IF UNDER 90 PSI (STATIC PRESSURE).

STORMWATER TREATMENT NOTE

1. RUNOFF FROM THE SITE DRAINS DIRECTLY TO THE BELVEDERE LAGOON FOR STORMWATER TREATMENT IN ACCORDANCE WITH STATE WATER RESOURCES CONTROL BOARD WATER QUALITY ORDER NO. 2013-001-DWQ SMALL MS4 GENERAL PERMIT SECTION E.12.E(1)(G) ALTERNATIVE DESIGNS.

PRELIMINARY CUT/FILL VOLUME

CUT = 500± CUBIC YARDS
NET = 500± CUBIC YARDS OF EXPORT

LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROJECT BOUNDARY
---	PROPOSED PROPERTY LINE
---	BULKHEAD LIMITS
---	100 YEAR BASE FLOOD ELEVATION
---	ROAD CENTERLINE
---	EXISTING STORM DRAIN LINE
---	EXISTING SEWER LINE
---	EXISTING WATER LINE
---	PROPOSED TREATED STORM DRAIN LINE
---	PROPOSED UNTREATED STORM DRAIN LINE
---	PROPOSED STORM DRAIN FORCE MAIN
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED JOINT TRENCH LINE (FOR REFERENCE ONLY)
---	GRADE BREAK
---	UTILITY DIRECTION OF FLOW
---	OVERLAND FLOW
---	SURFACE FLOW
---	BIORETENTION AREA
---	TRANSFORMER

ABBREVIATIONS

BLDG	BUILDING	PL	PROPERTY LINE
BFE	BASE FLOOD ELEVATION	PR	PROPOSED
DW	DOMESTIC WATER	SD	STORM DRAIN
EX	EXISTING	SS	SANITARY SEWER
FF	FINISHED FLOOR	TC	TOP OF CURB
FH	FIRE HYDRANT	R/W	RIGHT OF WAY
FS	FINISHED SURFACE	W	WATER
FL	FLOW LINE		
GF	GARAGE FLOOR		
MA	MATCH		
MAX	MAXIMUM		
MIN	MINIMUM		
MH	MANHOLE		

GRADING, DRAINAGE, & UTILITIES

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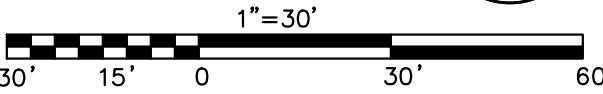
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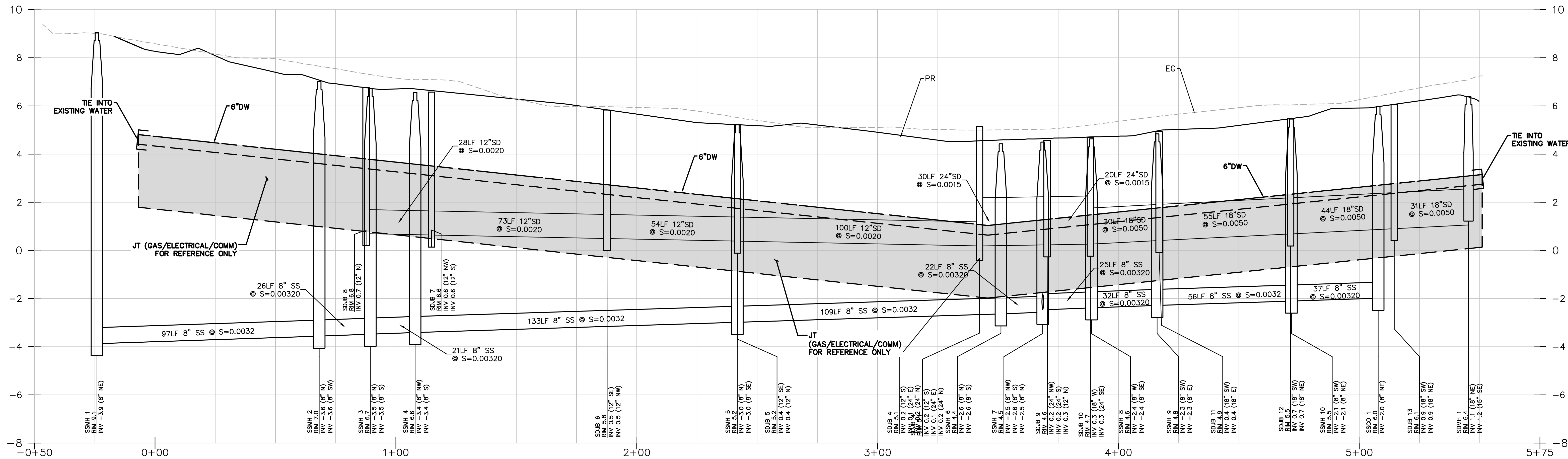
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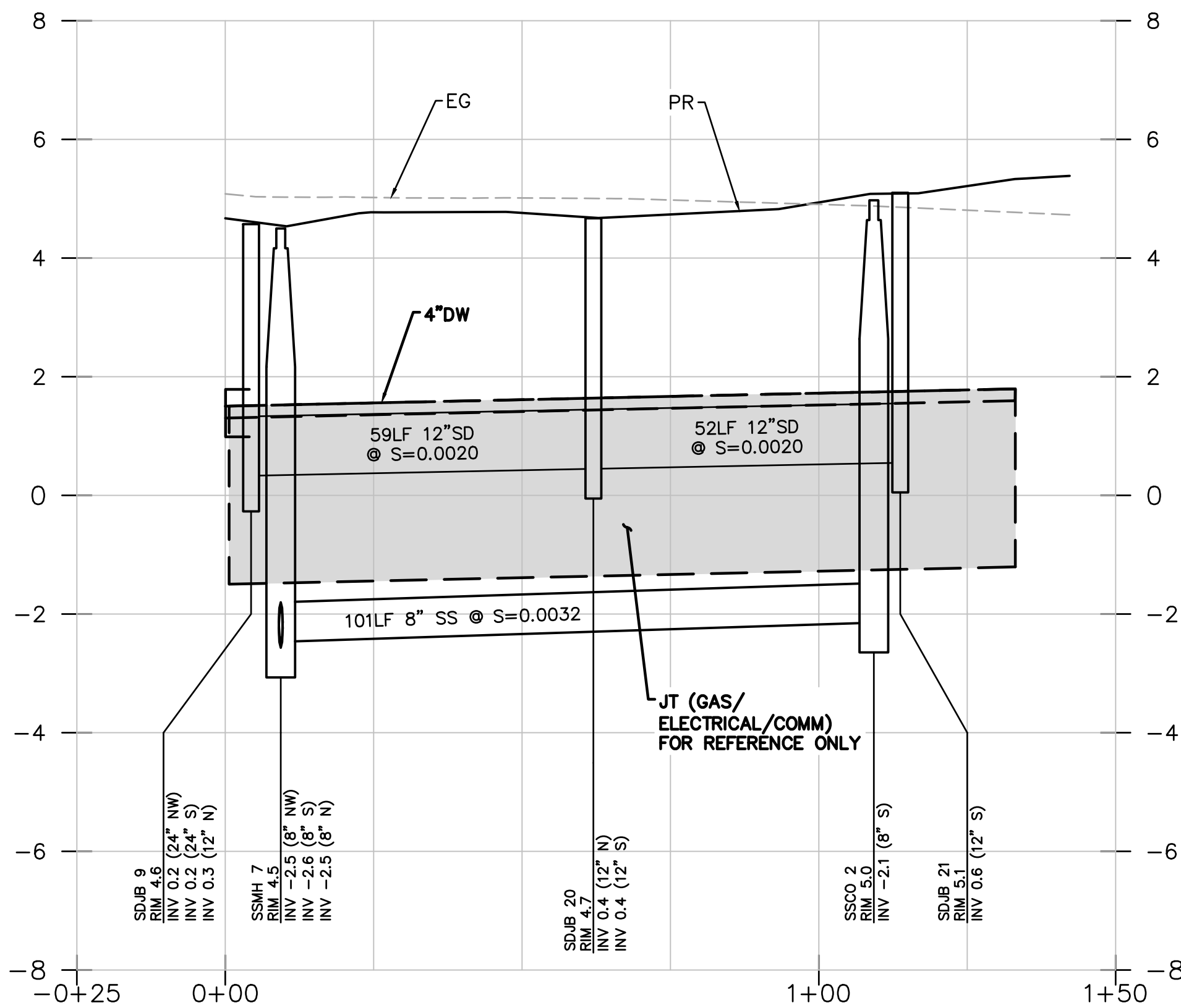
Graphic Scale





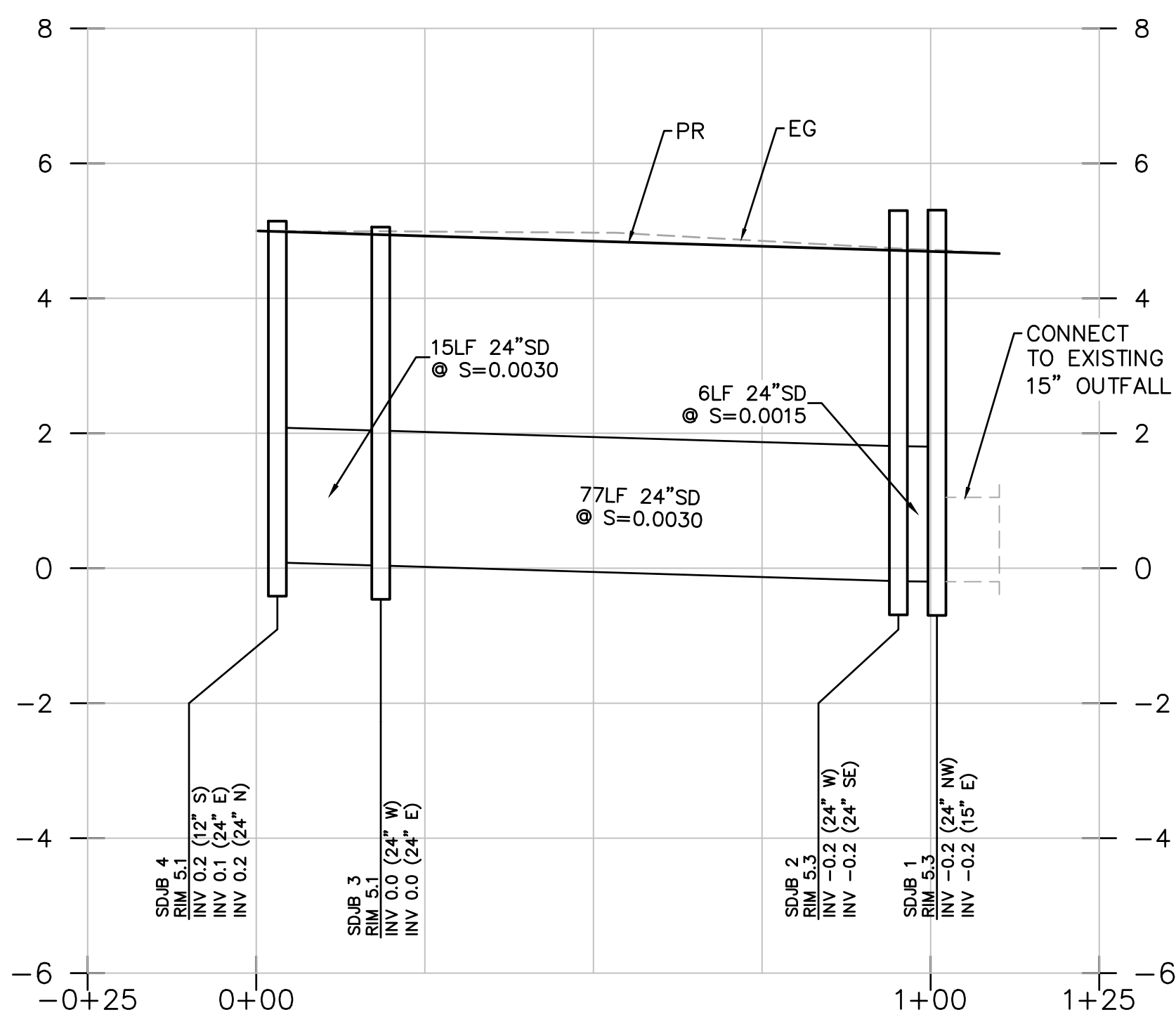
PROFILE - MALLARD RD -0+50.00 TO 5+50.00

SCALE: 1" = 20' HORIZ.
1" = 2' VERT.



PROFILE - DRIVEWAY -0+25.00 TO 1+50.00

SCALE: 1" = 20' HORIZ.
1" = 2' VERT.



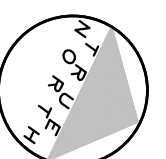
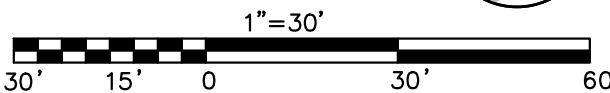
PROFILE - SD CULVERT -0+25.00 TO 1+25.00

SCALE: 1" = 20' HORIZ.
1" = 2' VERT.

STREET PROFILES

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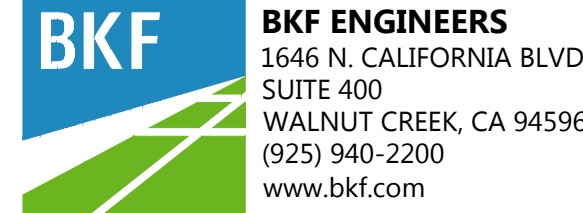
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EROSION CONTROL NOTES

EROSION AND SEDIMENT CONTROL MEASURES SHOWN ON THESE DRAWINGS ARE GENERAL IN NATURE AND MAY NOT BE APPLICABLE DURING CERTAIN PHASES OF CONSTRUCTION. THE STABILIZED CONSTRUCTION ENTRANCE/EXIT SHOWN ON THESE DRAWINGS REFLECTS A CONDITION PRIOR TO THE DRIVEWAY BEING CONSTRUCTED WHEREAS FILTERS AT STORM WATER INLETS REFLECT A CONDITION AFTER THE STORM DRAIN SYSTEM HAS BEEN INSTALLED.

THE CONTRACTOR SHALL INTEGRATE APPROPRIATE MEASURES DURING EACH CONSTRUCTION PHASE TO ENSURE THAT SEDIMENT AND OTHER POLLUTANTS DO NOT ENTER THE STORM DRAIN SYSTEM.

THE CONTRACTOR SHALL USE WATER OR DUST PALLIATIVE TO MINIMIZE WIND EROSION. THE CONTRACTOR SHALL DESIGNATE AN AREA ON SITE TO STOCKPILE MATERIAL. THE STOCKPILED MATERIAL SHALL BE COVERED AT ALL TIMES TO PREVENT EROSION FROM WIND, RAIN AND STORM WATER RUNOFF.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE USED TO ENSURE THAT WATER ENTERING THE STORM DRAIN SYSTEM BELOW THE CONSTRUCTION SITE IS OF EQUIVALENT QUALITY AND CHARACTER AS THE WATER ABOVE THE SITE.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE PLACED IN FRONT OF INCOMPLETE STORM DRAIN SYSTEMS TO PREVENT DEBRIS AND SEDIMENT-LADEN WATER FROM ENTERING INTO THE PUBLIC STORM DRAIN SYSTEM. BEST MANAGEMENT PRACTICES SHALL BE USED WHEN DESIGNING AND INSTALLING SUCH DEVICES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTANT MAINTENANCE OF EROSION AND SEDIMENT CONTROL MEASURES AT ALL TIMES TO THE SATISFACTION OF THE OWNER AND THE CITY OF BELVEDERE. EROSION AND SEDIMENT CONTROL MEASURES AND THEIR INSTALLATION SHALL BE ACCOMPLISHED USING BEST MANAGEMENT PRACTICES.

IF THE STORM DRAIN SYSTEM IS NOT INSTALLED PRIOR TO A PRECIPITATION EVENT, ADDITIONAL MEASURES SHALL BE TAKEN SUCH AS TEMPORARY SETTLING BASINS WHICH MEET THE SATISFACTION OF THE OWNER AND THE CITY OF BELVEDERE. SILT AND/OR CATCH BASINS MUST BE CLEANED OUT ON A REGULAR BASIS AFTER STORMS TO MAINTAIN DESIGN CAPACITY.

STORM WATER RUNOFF FROM THE CONSTRUCTION SITE SHALL BE DIRECTED TOWARD AN INLET WITH A SEDIMENT OR FILTRATION INTERCEPTOR PRIOR TO ENTERING THE STORM DRAIN SYSTEM.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING WATER THAT HAS BECOME POLLUTED DUE TO NOT TAKING NECESSARY EROSION AND SEDIMENT CONTROL ACTIONS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP OF MUD AND DEBRIS CARRIED ONTO SURROUNDING STREETS AND ROADS AS A RESULT OF CONSTRUCTION ACTIVITY ON THE SITE TO THE SATISFACTION OF THE TOWN OF TIBURON.

DENUDED OR DISTURBED SOILS SHALL BE PROTECTED USING BEST MANAGEMENT PRACTICES.

PRIOR TO AND DURING A PRECIPITATION EVENT, PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED BY THE CONTRACTOR SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF LEAVES THE SITE.

THE CONTRACTOR IS TO INFORM ALL CONSTRUCTION SITE WORKERS ABOUT THE MAJOR PROVISIONS OF THE EROSION AND SEDIMENT CONTROL PLAN AND SEEK THEIR COOPERATION IN AVOIDING THE DISTURBANCE OF THESE CONTROL MEASURES.

BEST MANAGEMENT PRACTICES SHALL BE VISUALLY MONITORED ON A DAILY BASIS AND RECORDED IN AN INSPECTION CHECKLIST ON A WEEKLY BASIS. RAIN EVENT VISUAL MONITORING SHALL BE PERFORMED WITHIN 48 HOURS PRIOR TO AN ANTICIPATED RAIN EVENT, DAILY DURING A RAIN EVENT AND WITHIN 48 HOURS FOLLOWING A RAIN EVENT. REMOVE SEDIMENTS WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE BARRIER AND REPLACE FILTER DEVICES AS NECESSARY TO ENSURE PROPER FUNCTION.

UNSTABILIZED AREAS SHALL BE REPAIRED AS SOON AS POSSIBLE AFTER BEING DAMAGED.

GRADED OR DISTURBED AREAS SHALL BE STABILIZED IMMEDIATELY AFTER GRADING IS COMPLETE.

ENTRANCE TO THE PROJECT SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT INTO PUBLIC RIGHTS-OF-WAY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE INTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED ROCK THAT DRAINS INTO A SEDIMENT TRAP.

SEDIMENT SPILLED, DROPPED, OR TRACKED INTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY USING BEST MANAGEMENT PRACTICES.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR PURPOSE SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.

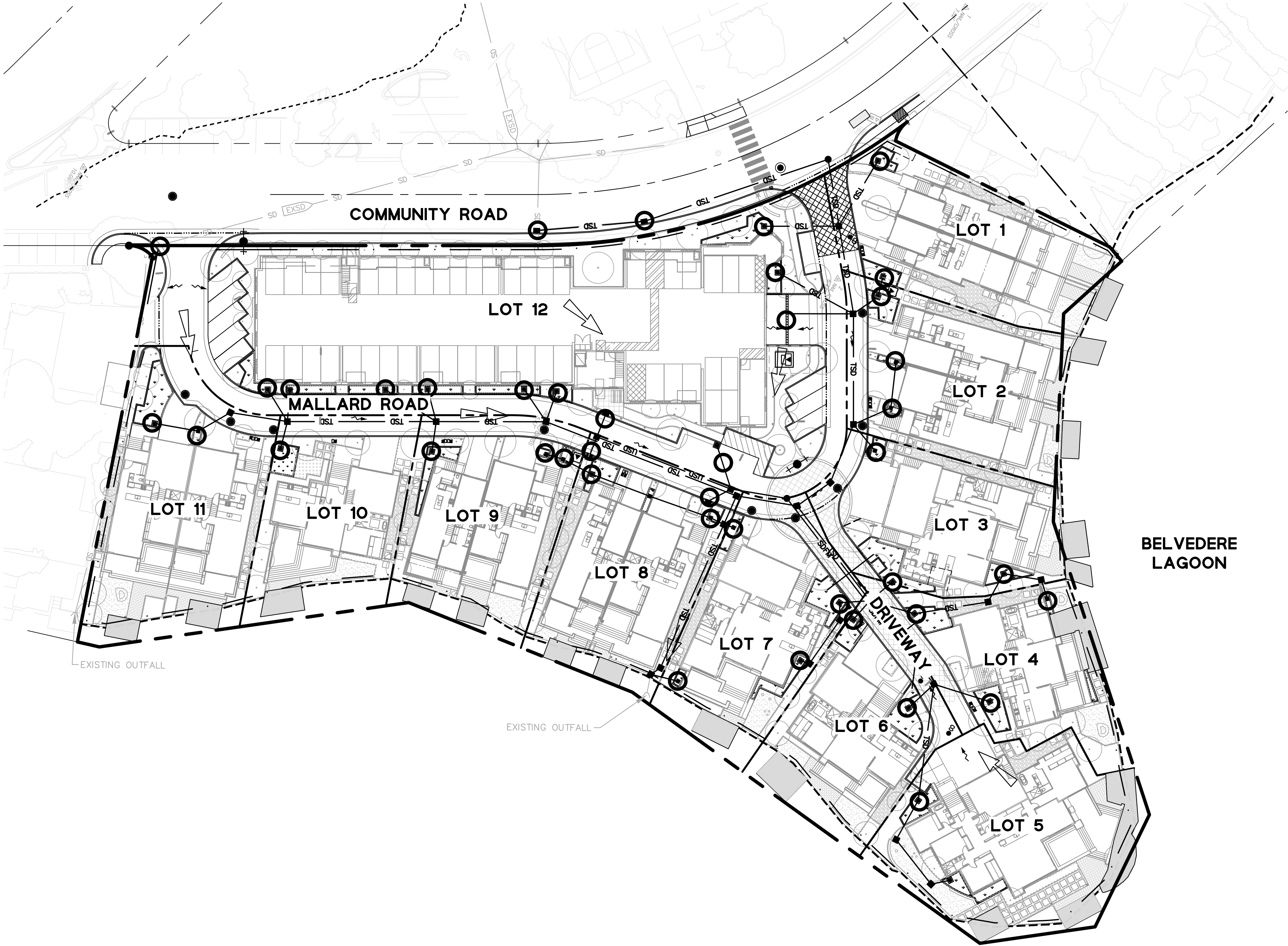
EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED OR REPLACED WHEN THEY ARE NO LONGER FUNCTIONING IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

THE CONTRACTOR SHALL DISPOSE OF UNUSED CONSTRUCTION MATERIALS AND WASTE PRIOR TO THE COMPLETION OF CONSTRUCTION.

AFTER CONSTRUCTION IS COMPLETE, STORM DRAIN SYSTEMS ASSOCIATED WITH THIS PROJECT SHALL BE INSPECTED AND CLEARED OF ACCUMULATED SEDIMENTS AND DEBRIS.

GRADED AREAS TO BE SEEDED FOR EROSION CONTROL SHALL USE GRASS SEED AT THE RATE OF 75-100 POUNDS PER ACRE. SEEDED AREAS SHALL BE IRRIGATED TO ENSURE COVER IS ROOTED.

HYDROSEED SHALL BE EITHER APPLIED MECHANICALLY OR BY HYDROSEEDING. HYDROSEEDING REQUIRES THE APPLICATION OF FIBER AND STABILIZING EMULSION. MECHANICAL APPLICATION SHALL REQUIRE ROLLING, TAMPING, OR OTHERWISE WORKING THE SEED APPROXIMATELY 0.5-INCHES INTO THE TOPSOIL.



LEGEND

---	EXISTING PROPERTY LINE
---	PROPOSED PROJECT BOUNDARY
---	PROPOSED PROPERTY LINE
---	BULKHEAD LIMITS
---	100 YEAR BASE FLOOD ELEVATION
---	ROAD CENTERLINE
---	EXISTING SEWER LINE
---	PROPOSED STORM DRAIN LINE
---	SURFACE FLOW
---	OVERLAND RELEASE
---	SILT FENCE
---	STABILIZED CONSTRUCTION ENTRANCE
---	INLET PROTECTION

ABBREVIATIONS

BLDG	BUILDING
BFE	BASE FLOOD ELEVATION
DW	DOMESTIC WATER
EX	EXISTING
FF	FINISHED FLOOR
FH	FIRE HYDRANT
FS	FINISHED SURFACE
FL	FLOW LINE
GF	GARAGE FLOOR
MA	MATCH
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
PL	PROPERTY LINE
PR	PROPOSED
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB
R/W	RIGHT OF WAY
W	WATER

EROSION CONTROL PLAN

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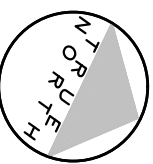
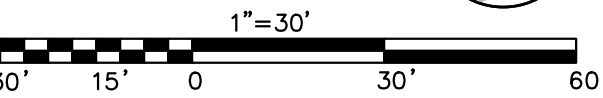
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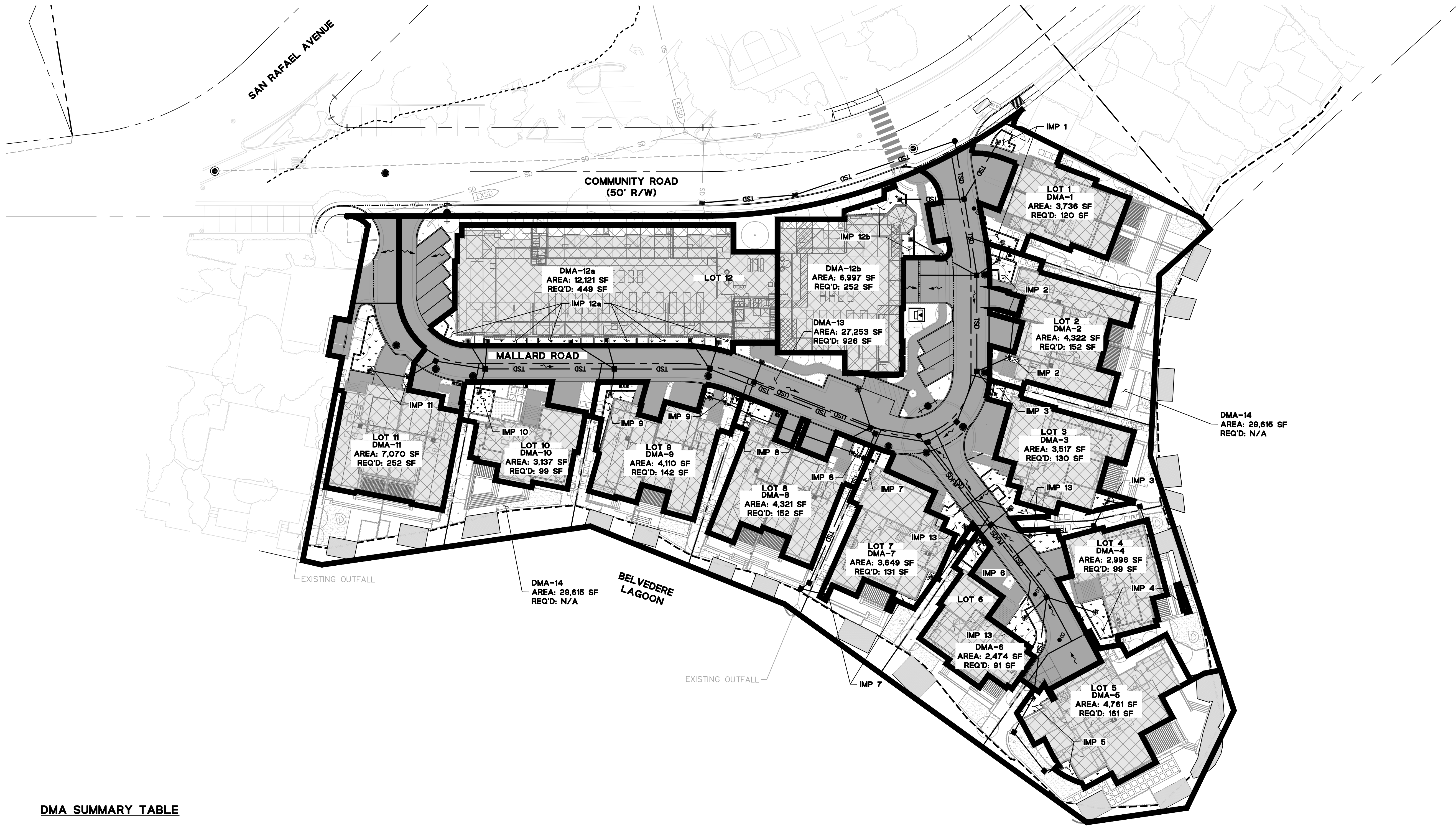
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DMA SUMMARY TABLE

BOUNDARY	CONVENTIONAL SURFACE (SF)			DRAINS TO	LID OR BMP (SF)	TOTAL (SF)	TOTAL (ACRE)
	WATERSHED	ROOF	HARDSCAPE				
DMA-1		2,572	244	710	IMP 1	210	3,736
DMA-2		3,476	199	452	IMP 2	195	4,322
DMA-3		3,228	-	115	IMP 3	174	3,517
DMA-4		2,253	154	315	IMP 4	274	2,996
DMA-5		3,873	-	599	IMP 5	289	4,761
DMA-6		2,252	-	99	IMP 6	123	2,474
DMA-7		3,227	-	201	IMP 7	221	3,649
DMA-8		3,474	211	425	IMP 8	211	4,321
DMA-9		3,220	208	474	IMP 9	208	4,110
DMA-10		2,070	220	693	IMP 10	154	3,137
DMA-11		4,025	2,121	588	IMP 11	336	7,070
DMA-12a		11,097	-	462	IMP 12a	562	12,121
DMA-12b		5,917	259	507	IMP 12b	314	6,997
DMA-13		-	22,129	4,096	IMP 13	1,028	27,253
DMA-14		-	-	29,615	SELF-TREATING	-	29,615
OVERALL TOTAL		50,684	25,745	39,351	-	120,079	2.76

LEGEND

- EXISTING PROPERTY LINE
- PROPOSED PROJECT BOUNDARY
- PROPOSED PROPERTY LINE
- BUILDING SETBACK
- BULKHEAD LIMITS
- 100 YEAR BASE FLOOD ELEVATION
- ROAD CENTERLINE
- DRAINAGE MANAGEMENT AREA
- ROOF AREA
- IMPERVIOUS AREA
- LANDSCAPE AREA
- BIORETENTION AREA

NOTES

- PROPOSED BUILDINGS ARE SHOWN FOR REFERENCE ONLY, REFER TO ARCHITECTURAL DRAWINGS FOR ADDITIONAL INFORMATION.

ABBREVIATIONS

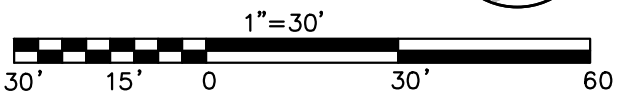
- DMA DRAINAGE MANAGEMENT AREA
- REQ'D REQUIRED
- SF SQUARE FEET

STORMWATER CONTROL PLAN

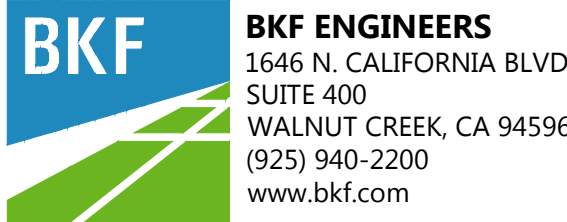
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