

MOUNT POCONO BOROUGH PLANNING COMMISSION
REGULAR MEETING AGENDA
Wednesday, October 16, 2024– 7:00 PM

LOCATION: Borough Building located at 1361 Pocono Blvd, Mount Pocono

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
____ A. M. Harris, ____ S. Speno, ____ K. Hart____, G. Melbert, ____, J. Klingel, ____ C. Connor,
____ S. Wojciechowski, ____ D. Jackowski
4. Preliminary Announcements
5. Consider Approval of Minutes – Regular Meeting Minutes
 - a. September 18, 2024
6. Unfinished Business - None
7. New Business
 - a. Marryshow, 2 Mountain Drive – Conditional Use
8. Project Updates
9. Liaison Reports
 - a. Borough Council
 - b. Zoning Hearing Board
10. Public Participation
11. Adjournment

**MOUNT POCONO PLANNING COMMISSION
REGULAR MEETING MINUTES
WEDNESDAY SEPTEMBER 18, 2024
7:00 P.M.**

The Planning Commission Regular meeting was opened at 7:00 P.M. by Chair A. Harris.

Pledge of Allegiance – was said by all.

Roll Call – The following were present: Chair A. Harris; Vice Chair K. Hart; Commissioner G. Melbert; and Commissioner J. Klingel, with Commissioner S. Speno absent. Also, present were Solicitor C. Connor; Borough Engineer S. Wojciechowski; Zoning Officer A. Salazer; and Recording Secretary D. Jackowski.

PRELIMINARY ANNOUNCEMENTS – Chair A. Harris welcomed new member Commissioner Jessica Klingel and asked everyone to give details in their presentations or comments.

APPROVAL OF MINUTES – Vice Chair K. Hart moved to accept the Re-Organization and Regular Meeting minutes of Wednesday, February 21, 2024, as presented. Commissioner G. Melbet seconded. Motion carried unanimously.

UNFINISHED BUSINESS – None

NEW BUSINESS

Sheetz – Sketch Plan and Conditional Use – in attendance were Applicant's Attorney: Julie Wagner Burkhart; Applicant's Engineer: Shaun Haas; David Smith with Sheetz and property owner George Strunk.

Attorney J. Burkhart stated that the purpose of presenting a sketch plan was mainly to accompany the Conditional Use and the Special Exception applications that would be pushed to other bodies. She explained that the Conditional Use application would go before the Borough Council at a Public Hearing and the Special Exception would go before the Zoning Hearing Board.

Mr. S. Haas gave an overview of the sketch plan survey with its current conditions and stated that their intention is to come back with a land development plan and potentially ask for a lot consolidation. He explained that the basic utilities will come from Sterling Road (SR 196) and there will be two (2) accesses on Pine Hill Road and one (1) other at Sterling Road. He noted that a Sheetz convenience store with gas canopies is proposed on the site with a proposed drive-through lane and curbside pick-up with adequate parking spaces. He added that there will be some road widening on Pine Hill Road with a center turn lane to ensure the safety of the access driveways.

Attorney J. Burkhart stated review letters from the Borough Engineer and Zoning Officer were received. She noted that most of the comments from the Engineer will be complied at the time of the land development plan submission also the Zoning comments were toward the conditional use and special exception submissions. She also stated that a Public Hearing for the conditional use has been scheduled for Thursday, October 17, 2024. The Borough's Ordinance requires she will submit notices to the property owners abutting and to the neighboring properties. She also noted that they had a PennDOT scoping meeting with a first-round review which we provided a Traffic Impact Study. She also indicated that there will be two entrances on Pine Hill Road and one at SR 196. She added that we may be looking for an increase in signage on the property which would be under Special Exception. She explained the drive in/ through or curbside process and that there is the required parking.

A discussion was had regarding the traffic signals at SR 611 and at Sterling Road, it was noted that PennDOT would not allow a traffic signal at Sterling Road per the traffic counts. Also, that there will be a right in and no right out at Sterling Road. It was confirmed that there will not be access to the project from SR 611 and that Pine Hill Road will be widened for turn in lane into the two (2) access locations to Sheetz.

Zoning Officer A. Salazer was asked if she had any concerns, responding no, as all was explained in her comment letter.

Borough Engineer S. Wojciechowski discussed some of his comments from his review letter dated September 13, 2024, explaining most, if not all, would be addressed at the time of the land development plan submission. He noted as

**MOUNT POCONO PLANNING COMMISSION
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previously discussed the Traffic Impact Study was preliminarily reviewed by our traffic engineer and during the land development plan process the following would be reviewed in more detail: landscaping; stormwater management; and the parking regulations. He also noted that the Applicant will ask for some relief in the way of waivers. He advised the Applicant to consider putting sidewalks all along the roads and across the driveways.

Vice Chair K. Hart moved to recommend to Borough Council to accept the Sheetz Conditional Use plan on Pine Hill Road be approved upon meeting the comments from the Zoning Officer and Borough Engineer as presented by the review letters, and that the location of this project complies with the Borough Ordinances with potential waivers that may be requested by the Applicant. Commissioner G. Melbert seconded. Motion carried unanimously.

PROJECT UPDATES – None

LIAISON REPORTS

Borough Council – no report.

Zoning Hearing Board – It was reported that the Zoning Hearing Board will hold a hearing on Tuesday, October 24, 2024, to hear two (2) items: Sparkle Car Wash asking for of a special exception for relief of proposed free-standing sign; and requesting buffer zone adjustment of wetlands at Edgewood Drive. Also, the Sheetz hearing for a Special Exception is in the process of being scheduled for some time in October.

PUBLIC PARTICIPATION – None

Vice Chair K. Hart – stated that when Mr. G. Strunk asked for expedience on this project and Vice Chair K. Hart responded that is it not the Planning Commission's responsibility and offered his apology to the Planning Commission.

Adjournment – The Planning Commission adjourned at 8:15 P.M.

Submitted by,

Diana Jackowski
Recording Secretary

INTEROFFICE MEMORANDUM

TO: MOUNT POCONO BOROUGH PLANNING COMMISSION

FROM: SHAWN MCGLYNN, ZONING OFFICER

SUBJECT: 2 MOUNTAIN ROAD - CONDITIONAL USE

DATE: OCTOBER 10, 2024

CC: MARISSA DUFFY, BOROUGH MANAGER

DIANA JACKOWSKI, ADMINISTRATIVE ASSISTANT

STAN WOJCIECHOWSKI, BARRY ISETT & ASSOCIATES, INC.

BOROUGH COUNCIL

RECEIVED

OCT 13 2024

MT. POCONO BOROUGH

The following is a report from the Zoning Office regarding the Conditional Use application submitted for the reconstruction of a fire-damaged nonconformity, specifically a three (3) unit multi-family dwelling, on the property located at 2 Mountain Drive (the Property). Specifically, this report is based on the submitted plan (the Plan) prepared by Johnson Surveying, Inc. for Joseph Marryshow (property owner), dated August 31, 2024.

1. The property is located in the R-2 Zoning District and is 0.41 +/- acres.
2. The property is more specifically identified by Monroe County as PIN#10635514447105 and Tax ID 10.12A.2.54
3. The Property has two street frontages, one on Mountain Drive, and one on Heath Lane.
 - a. In accordance with §215-20D of the Borough Zoning Ordinance, any yard which abuts a street must meet the applicable front yard setback.
4. The required yard setbacks in the R-2 Zoning District for lots 10,000SF to 1 acre in area are as follows:
 - a. Front - 35 Feet
 - b. Rear - 30 Feet
 - c. Side - 15 Feet
5. Based on the "R-2 Residential District" chart on the Plan, the following are the previously existing vs. proposed setbacks for the structure:
 - a. Front - 41.6 feet (existing); 36 feet (proposed)
 - b. Rear - 32.9 feet (existing); 42.3 feet (proposed)
 - c. Side - 39.8 feet (existing); 16 feet (proposed)
6. There appears to be a discrepancy in the proposed yard setbacks, as the setbacks shown on the submitted site plan are as follows:
 - a. Front (Mountain Dr.) - 74 feet
 - b. Front (Heath Lane) - 41.4 feet
 - c. Rear - 36 feet
 - d. Side - 22 feet
7. Mount Pocono Borough and Monroe County records indicate that the previously existing structure was lawfully used as a Multi-Family Dwelling, with three separate units.
 - a. In accordance with §215 Attachment 3, Table of Uses Permitted by District, of the Borough Zoning Ordinance, Multi-Family Dwellings are not permitted within the R-2 Zoning District. As such, the use of the Property is considered a lawful nonconformity.

8. In accordance with §215-66 of the Mount Pocono Borough Zoning Ordinance, any lawful nonconforming building, structure, or use which has been razed, damaged, or destroyed by fire may be reconstructed once conditional use approval is granted by the Borough Planning Commission and Borough Council.
9. Based on Borough records, the following comments can be offered regarding the previously existing structure:
 - a. Due to the slope of the property, the previously existing structure was one (1) story with a partial walkout basement. Based on the Plan, the proposed dwelling will be oriented the same way.
 - b. The three units were situated with one at basement level, and the other two situated side by side on the first floor. Based on the Plan, the proposed dwelling will have the units oriented in the same way.
 - c. Based on the Plan, the remaining foundation of the fire damaged structure has an area of 1667.93 SF, and the proposed dwelling has an area of 2009.50 SF.
10. In accordance with §215-22(F)(2) of the Borough Zoning Ordinance, two off-street parking spaces shall be provided and maintained for each residential dwelling unit.
 - a. As three (3) residential dwelling units are proposed, a total of at least six (6) parking spaces must be provided.
 - b. The site plan provided does not show the location or number of proposed off-street parking spaces.
11. In accordance with §215-105(C)(4) of the Borough Zoning Ordinance, the Zoning Officer may withhold issuance of a permit if there is clear knowledge by the Zoning Officer that such a use would violate another Borough, state or federal law or regulation. The Building Code Department has conducted a preliminary review of the provided construction documents and determined that they do not fully comply with the Pennsylvania Uniform Construction Code or the 2018 International Building Code (2018 IBC).
 - a. The proposed multifamily project is classified as an R-2 Occupancy Group and must comply with the requirements of the Commercial Building Code (2018 IBC).
 - b. The Plan does not indicate that any of the proposed units will be ADA compliant.
12. In accordance with §215-105 of the Borough Zoning Ordinance, the applicant must provide satisfactory evidence of adequate sewage capacity, and compliance with the Borough Sewer Ordinance and Borough Water Ordinance.
 - a. The applicant must provide will-serve letters from both MPMA and PAWC.

Notwithstanding the aforementioned line items, the Zoning Office believes that the subject proposal is generally compliant with the intent of the Mount Pocono Borough Zoning Ordinance.



Mount Pocono Borough
1361 Pocono Blvd., Suite 100
Mount Pocono, PA 18344
P: 570-839-8436 F: 570-839-0981

Must submit original plus
16 copies of Application, Plans, &
Supporting Documentation

APPLICATION FOR PUBLIC HEARING

APPLICANT NAME: Joseph Marryshow
Mailing Address: P.O. Box 39, Switzwater PA 18370
Phone Number: 609.668.9695
Email: C/O STEPHEN.ARGEN@gmail.com

PROPERTY OWNER NAME: SAME

Mailing Address: _____

Phone Number: _____

ATTORNEY (if represented): North Atlantic Construction Services, Inc.
Builder
Mailing Address: 916 Route 380, Cresco, PA 18326
Phone Number: 570.972.6940
Email: STEPHEN.ARGEN@gmail.com

If Applicant is not the Property Owner, state Applicant's authority to submit this application: _____

ADDRESS OF SUBJECT PROPERTY: 2 Mountain Drive

PARCEL ID NO.: 10.12A.2.54 ZONING CLASSIFICATION: R-2

PRESENT USE OF PROPERTY: 3-Family Being Rebuilt DUE to
AUG 15, 24 FIRE

APPLICATION MUST INCLUDE:

- ✓ PROOF OF OWNERSHIP or PROOF OF AUTHORITY FROM OWNER TO SUBMIT APPLICATION
- ✓ SITE PLAN OF PROPERTY - SITE PLAN MUST BE DRAWN TO SCALE, INDICATING LOCATION AND SIZE OF IMPROVEMENTS, BOTH PROPOSED AND EXISTING, RELATION TO EXISTING STREETS OR ROADS, BUILDINGS, ETC.
- ✓ DOCUMENTATION IN SUPPORT OF THE APPLICATION
- ✓ REQUIRED FEE (see Borough fee schedule)

THE APPLICANT HEREBY REQUESTS A PUBLIC HEARING BEFORE:

The Zoning Hearing Board (check all that apply):

- _____ Appeal from a determination of a Municipal Official (complete section 1 only)
- _____ Request for a Special Exception (complete section 2 only)
- _____ Request for a Variance (complete section 3 only)
- _____ Validity challenge to a land use ordinance (complete section 4 only)

The Borough Council (choose one):

- ☒ Request for a Conditional Use (complete section 5 only)
- _____ Appeal involving STR Licensing Ordinance (complete section 6 only)

The UCC Board of Appeals:

- _____ Appeal to UCC Board of Appeals (complete section 7 only)

1. Appeal of a determination of a Municipal Official:

- a. The Municipal Official who made the determination from which this appeal is taken is:

_____ Zoning Officer

_____ Municipal Engineer

- b. Type of determination:

_____ Zoning Ordinance

_____ Preliminary Opinion

_____ Floodplain Ordinance

_____ Transfer of Development Rights

_____ Stormwater Management

_____ Other (explain): _____

- c. Attach a complete copy of the determination in question.

- d. Describe why you believe the determination is erroneous: _____

2. Request for a Special Exception:

- a. Type of use for which a Special Exception is requested: _____

- b. The requested Special Exception is authorized by Chapter(s) _____

Section(s) _____ of the Mount Pocono Borough Code of Ordinances.

7. UCC Board of Appeals:

a. What type of relief are you requesting?

_____ a variance

_____ an extension of time

_____ appeal of BCO's
decision (attach a copy)

b. For an appeal of BCO's decision, which factor below best describes your contention:

_____ the true intent of the Act or Code was incorrectly interpreted

_____ the provisions of the Act do not apply

_____ an equivalent form of construction is to be used

c. For an appeal of BCO's decision, attach a complete copy of the decision in question.

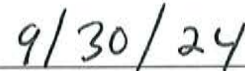
d. State the specific section(s) of the Act or Code from which relief is being sought.

Acknowledgement and Certification

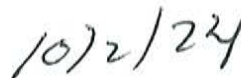
The Applicant acknowledges that all material and information submitted with this application will become the property of Mount Pocono Borough and will not be returned except as provided by the Mount Pocono Borough Code of Ordinances or by applicable law. The Applicant further agrees to reimburse Mount Pocono Borough for all costs incurred by the Borough in processing this Application (including, but not limited to, filing fees and hearing costs) to the extent that the costs exceed the filing fee.

The Applicant hereby certifies that all information, data, and statements submitted on or with this Application are true and correct to the best of the Applicant's knowledge and belief.


SIGNATURE OF APPLICANT


DATE





3. Request for a Variance:

- a. Type of Variance sought: _____ dimensional variance _____ use variance
- b. List the Section(s) of the Mount Pocono Borough Zoning Ordinance from which the Variance(s) is/are requested: _____
- c. Describe the unnecessary hardship created by unique conditions of the property that justify the Variance: _____

- d. Extent of Variance requested (e.g., Ordinance requires X, Applicant requests Y): _____

4. Validity challenge to a land use ordinance:

- a. Ordinance(s) challenged: _____
- b. Describe in detail the nature of the challenge (attach additional pages if necessary): _____

5. Request for a Conditional Use:

- a. Type of use for which a Conditional Use is requested: 3 Family Rebuild
- b. The requested Conditional Use is authorized by Chapter(s) Zoning
Section(s) 215-66 of the Mount Pocono Borough Code of Ordinances.

6. Appeal involving STR Licensing Ordinance:

- a. This appeal is from the Zoning Officer's or Code Officer's determination:
- _____ to deny an application for a new STR License
- _____ to deny an application to renew a STR License. Prior STR License No. _____
- _____ to revoke a STR License. Prior License No. _____
- _____ appeal from violation of STR Ordinance/License
- b. Attach a complete copy of the determination in question.
- c. Detailed reason or basis for the appeal: _____

- d. Relief sought: _____

*Borough of Mount Pocono, PA
Monday, September 30, 2024*

Chapter 215. Zoning

Article IX. Nonconformities

§ 215-66. Reconstruction.

[Amended 12-2-2013 by Ord. No. 5-2013]

- A. Reconstruction permitted. Any lawful nonconforming building, structure or use which has been razed or damaged or destroyed by fire, explosion, windstorm, or other natural or criminal causes may be reconstructed in accord with the following:
 - (1) Conditional use approval shall be required and the application shall be submitted within one year of the date of the casualty.
 - (2) The nonconformity is not increased and no new nonconformity is created unless otherwise approved in accord with this chapter.
 - (3) The reconstruction shall be made as conforming as possible based on the prior size of the nonconforming structure and lot coverage as determined by Borough Council.
- B. Time extension. The Zoning Officer may for good cause grant a one-time extension of not more than one year for the reconstruction of the nonconforming use. Said extension shall only be considered upon written application for same submitted by the property owner.

4P
13N

THIS DEED,

MADE this 27 day of July, 2012

BETWEEN SUSAN STILLO, formerly by marriage, **Susan Wilkins**, of the Borough of Mount Pocono, County of Monroe, and Commonwealth of Pennsylvania, hereinafter referred to as Grantor,

AND

JOSEPH MARRYSHOW, single, of the Town of Swiftwater, County of Monroe and Commonwealth of Pennsylvania, hereinafter referred to as Grantee,

WITNESSETH, that in consideration **ONE HUNDRED THIRTY-SEVEN (\$137,000), DOLLARS**, lawful money of the United States of America, in hand paid, the receipt whereof is hereby acknowledged; the Grantors do hereby grant and convey to the said Grantees, their Heirs and Assigns,

ALL THAT CERTAIN lot or piece of land, situate in the Borough of Mt. Pocono, County of Monroe and Commonwealth of Pennsylvania, bounded and described as follows, to wit:

BEGINNING at a corner on the Southerly sideline of Mountain Drive, said corner being common with Lot No. 114 and Lot No. 115 of a Plot of Lots known as "Summit Pointe" hereinafter referred to;

THENCE along the Southerly sideline of said Mountain Drive North 68 degrees East a distance of 76.49 feet to a corner;

THENCE continuing along the Southerly sideline of Mountain Drive along a curve to the right having a radius of 30.00 feet an arc distance of 39.20 feet to a point of tangency on the Southwesterly sideline of Heath Lane;

THENCE along the Southwesterly sideline of Heath Lane, South 37 degrees 7 minutes 30 seconds East a distance of 132.41 feet to a corner;

THENCE along the lands now or formerly of Conrail Railroad Company South 68 degrees West a distance of 140.00 feet to a corner common with the rear of Lot No. 114 and Lot No. 115;

THENCE along a line common with Lot No. 114 and Lot No. 115, North 22 degrees West a distance of 150.00 feet to the place of BEGINNING.

BEING Lot No. 114, Section II, as shown on plotting of "Summit Pointe, Section II," prepared by Edward C. Hess Associates, Inc., Registered Engineers, and dated October 18, 1978, said plot map having been recorded on December 15, 1978, in the Office for the Recording of Deeds for Monroe County, Pennsylvania, in Plot Book 38, Page 121.

TAX MAP NO. 10/12A/2/54

BEING the same premises which George P. Fox and June E. Fox, by Deed dated 06-21-04 and recorded 06-29-04 in the Office of the Recorder of Deeds in and for the County of Monroe in Record Book 2194 Page 6591, granted and conveyed unto Thomas R. Wilkins and Susan Wilkins.

AND ALSO BEING the same premises which Thomas R. Wilkins, by Deed dated 09-30-11 and recorded 10-28-11 in the Office of the Recorder of Deeds in and for the County of Monroe in Record Book 2393 Page 2681, granted and conveyed unto Susan Wilkins.

THIS DOCUMENT DOES NOT SELL, CONVEY, TRANSFER, INCLUDE OR INSURE THE TITLE TO THE COAL AND RIGHT OF SUPPORT UNDERNEATH THE SURFACE LAND DESCRIBED OR REFERRED TO HEREIN, AND THE OWNER OR OWNERS OF SUCH COAL MAY HAVE THE COMPLETE LEGAL RIGHT TO REMOVE ALL OF SUCH COAL AND, IN THAT CONNECTION, DAMAGE MAY RESULT TO THE SURFACE OF THE LAND AND ANY HOUSE, BUILDING OR STRUCTURE ON OR IN SUCH LAND. THE INCLUSION OF THIS NOTICE DOES NOT ENLARGE, RESTRICT OR MODIFY ANY LEGAL RIGHTS OF ESTATES OTHERWISE CREATED, TRANSFERRED, EXCEPTED OR RESERVED BY THIS INSTRUMENT.

AND THE GRANTORS will warrant SPECIALLY the property hereby conveyed.

In Witness Whereof, the Grantors have hereunto set their hand and seal the day and year first above written.

Signed, Sealed and Delivered
in the Presence of:


SUSAN STILLO

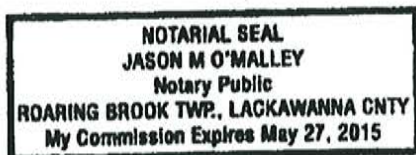

SUSAN WILKINS

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF MONROE

Before me personally appeared **SUSAN STILLO, (formerly by marriage, Susan Wilkins)** satisfactorily proven to be the person whose name is subscribed to the within instrument, and acknowledged the same was executed for the purposes therein contained.


SWORN to before me this 27 day of July, 2012.


Notary Public
My Commission Expires: 5/27/15



I hereby certify that the precise residence of the Grantees is:

1978 PO Box 39 Route 611 Swiftwater PA 18370


Agent for Grantees



COUNTY OF MONROE

RECORDER OF DEEDS
7th & MONROE STREETS
STROUDSBURG, PA 18360
Area Code (570) 517-3969

Helen Diecidue - Recorder

Instrument Number - 201222726

Recorded On 8/29/2012 At 12:29:47 PM

* Instrument Type - DEED

Invoice Number - 619652

* Grantor - STILLO, SUSAN

* Grantee - MARRYSHOW, JOSEPH

User - EFS

* Customer - LAW OFFICES OF JASON M OMALLEY

*** FEES**

STATE TRANSFER TAX	\$1,370.00
STATE WRIT TAX	\$0.50
JCS/ACCESS TO JUSTICE	\$23.50
RECORDING FEES	\$13.00
AFFORDABLE HOUSING	\$13.00
COUNTY ARCHIVES FEE	\$2.00
ROD ARCHIVES FEE	\$3.00
POCONO MOUNTAIN SCHOOL	\$685.00
REALTY TAX	
MT POCONO BOROUGH	\$685.00
TOTAL PAID	\$2,795.00

Book - 2407 Starting Page - 4332

* Total Pages - 5

RETURN DOCUMENT TO:

LAW OFFICES OF JASON M OMALLEY
310 SPRUCE ST STE 201
SCRANTON, PA 18503

TAX ID #

10/12A/2/54

Total Tax IDs: 1



I Hereby CERTIFY that this document is recorded in the
Recorder's Office of Monroe County, Pennsylvania

Helen Diecidue

THIS IS A CERTIFICATION PAGE

Do Not Detach

THIS PAGE IS NOW THE LAST PAGE
OF THIS LEGAL DOCUMENT

* Information denoted by an asterisk may change during
the verification process and may not be reflected on this page.

Book: 2407 Page: 4336



Monday, September 30, 2024



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Next

LOCATION

Property Address 2 Mountain Dr
Mount Pocono, PA 18344-1714

Subdivision

County Monroe County, PA

GENERAL PARCEL INFORMATION

Tax Map Number 10635514447105
Parcel Number 10.12A.2.54
Municipality Mount Pocono Borough
District/Ward Mount Pocono Borough
2020 Census Trct/Blk 3002.03/2
Assessor Roll Year 2023

PROPERTY SUMMARY

Property Type Residential
Land Use Household Units
Improvement Type 3 - Family
Square Feet 1680

CURRENT OWNER

Name Marryshow Joseph
Mailing Address Po Box 39
Swiftwater, PA 18370-0039

SCHOOL ZONE INFORMATION

Swiftwater Elementary Center	2.8 mi
Elementary: K to 5	Distance
Swiftwater Intermediate School	2.7 mi
Middle: 6 to 7	Distance
Pocono Mountain East Junior High School	2.7 mi
Middle-High: 8 to 9	Distance
Pocono Mountain East High School	2.6 mi
High: 9 to 12	Distance

SALES HISTORY THROUGH 07/31/2024

Date	Amount	Buyer/Owners	Seller	Instrument	No. Parcels	Book/Page Or Document#
8/29/2012	\$137,000		Wilkins Susan	All Transfer All Parcel		2407/4332
10/28/2011	\$1		Wilkins Thomas R Susan	Quit Claim		2393/2681
6/29/2004	\$165,000		Fox George P June E	All Transfer All Parcel		2194/6591
6/9/1999	\$105,000		Connors Roy E & Nora T			2064/8689
11/20/1987	\$202,000		Barker William K & Josephine C	Split		1590/1732

9/30/24, 3:45 PM

CRS Data - Property Report for Parcel/Tax ID 10635514447105

11/26/1984 \$103,000
4/11/1979 \$9,000

Kalins Robert D & Christine Split 1420/213
Kalins Robert D & Christine Split 942/206

TAX ASSESSMENT

Tax Assessment	2023	2022
Appraised Land	\$29,440.00	\$29,440.00
Appraised Improvements	\$126,190.00	\$126,190.00
Total Tax Appraisal	\$155,630.00	\$155,630.00
Assessed Land	\$29,440.00	\$29,440.00
Assessed Improvements	\$126,190.00	\$126,190.00
Total Assessment	\$155,630.00	\$155,630.00
Jurisdiction Rates		
Mount Pocono Borough	6.115	
Monroe County	3.9773	
Fire	0.233	
Library	0.155	

TAXES

Tax Year	City Taxes	County Taxes	SSD Taxes	Total Taxes
2024	\$951.68	\$618.99	\$3,462.77	\$5,093.82
2023	\$951.68	\$502.26	\$3,336.71	\$4,851.03
2022	\$796.05	\$502.26	\$3,167.07	\$4,525.76
2021	\$718.23	\$562.64	\$3,097.82	\$4,378.69
2020	\$717.45	\$556.73	\$3,097.82	\$4,372.00
2019	\$1,004.40	\$795.15	\$4,529.51	\$6,329.06
2018	\$1,004.40	\$795.15	\$4,529.51	\$6,329.06
2017	\$1,004.40	\$795.15	\$4,529.51	\$6,329.06
2016	\$903.96	\$795.15	\$4,596.47	\$6,295.58
2015	\$903.96	\$795.15	\$4,663.43	\$6,362.54

MORTGAGE HISTORY

Date	Loan Amount	Borrower	Lender	Book/Page or Document#
09/22/2006	\$200,000	Fox George P Fox June E	Wachovia Bank	2286/7983 200647713

PROPERTY CHARACTERISTICS: BUILDING

Building # 1

Type	3 - Family	Condition	Average	Units	
Year Built	1979	Effective Year		Stories	1
BRs	5	Baths	4 F H	Rooms	11
Total Sq. Ft.	1,680				
Building Square Feet (Living Space)		Building Square Feet (Other)			
Base Area 1680		Full Finished Basement 1036			
		Wood Deck 48			
		Wood Deck 150			
		Wood Deck 180			

- CONSTRUCTION

Quality	Average	Roof Framing	
Shape		Roof Cover Deck	
Partitions		Cabinet Millwork	
Construction Style	3 - Family	Floor Finish	
Foundation	Basement	Interior Finish	
Floor System		Air Conditioning	
Exterior Wall	Frame	Heat Type	Central/Electric Baseboard
Structural Framing		Bathroom Tile	
Fireplace		Plumbing Fixtures	18

- OTHER

Occupancy

Building Data Source

PROPERTY CHARACTERISTICS: EXTRA FEATURES

No extra features were found for this parcel.

PROPERTY CHARACTERISTICS: LOT

Land Use	Household Units	Lot Dimensions	
Block/Lot	/114	Lot Square Feet	17,860
Latitude/Longitude	41.114138°/-75.373392°	Acreage	0.41

PROPERTY CHARACTERISTICS: UTILITIES/AREA

Gas Source	Public	Road Type	
Electric Source	Public	Topography	
Water Source	Public	District Trend	
Sewer Source	Public	School District	Pocono Mountain
Zoning Code	R-2- Residential / Residential Low Density Single-Family & Duplex		

Owner Type

LEGAL DESCRIPTION

Subdivision		Plat Book/Page	
Block/Lot	/114	District/Ward	Mount Pocono Borough
Description	Lot 114 Sec II		
Neighborhood	10R04		

FEMA FLOOD ZONES

Zone Code	Flood Risk	BFE	Description	FIRM Panel ID	FIRM Panel Eff. Date
X	Minimal		Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level.	42089C0251E	05/02/2013

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Information Deemed Reliable But Not Guaranteed.



10/12A/2/54 10/17/2016

[Home](#) [Property Search](#)[Address](#) [Parcel ID](#) [Owner](#) [Map #](#)

Profile	PARID: 10.12A.2.54		2 MOUNTAIN DR
Values	Parcel		
Sales	Parcel ID	10.12A.2.54	
Permits	Map Number	10635514447105	
Residential	Property Location	2 MOUNTAIN DR	
Commercial	Township	Mount Pocono	
Sketch	Land Use	111-Household Units	
Photos	Property Class	9-Taxable	
Map	Living Units	3	
OBV	Land Area (acreage)	.41	
Additional Owners	Neighborhood Code	10R04	
	Zoning	R-2	
	Homestead/Farmstead Status	Reject	
	Legal Desc	LOT 114 SEC II	

Owners

Owner(s)	MARRYSHOW JOSEPH
Mailing Address	1978 ROUTE 611 PO BOX 39 SWIFTWATER PA 18370

Property/Location Factors

Utilities	1-All Public - -
-----------	------------------------

144 48 of 73 > <

[Return to Search Results](#)**Actions** [Printable Summary](#) [Printable Version](#)



Home Property Search

Address Parcel ID Owner Map #

Profile	PARID: 10.12A.2.54	2 MOUNTAIN DR
Values	Primary Building	
Sales	Style	3 FAMILY
Permits	Year Built	1979
Residential	Year Remodeled	
Commercial	Stories	1
Sketch	Exterior Walls	01-FRAME
Photos	Attic	1-NONE
Map	Fuel Type	2-ELECTRIC
OBY	Heat System	4-ELECTRIC BASE BOARD
Additional Owners	Heat/AC Type	3-CENTRAL
	Fireplaces	0
	Total Rooms	11
	Bedrooms	5
	Full Baths	4
	Half Baths	
	Basement	4-FULL
	Basement Garage Spaces	1
	Finished Basement Area	1,036
	Basement Rec Room Area	
	Living Area	1,680

Amenities

Amenity 1
QuantityAmenity 2
QuantityAmenity 3
QuantityAmenity 4
Quantity

144 48 of 73 > |

[Return to Search Results](#)

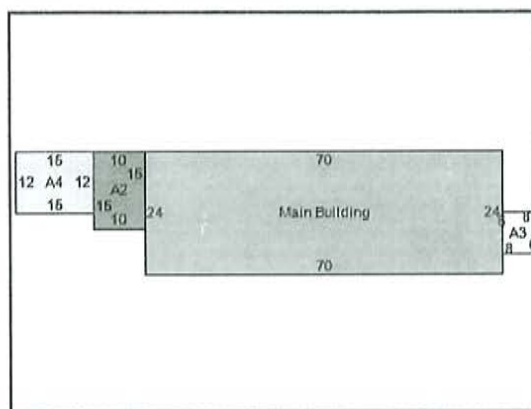
Actions

[Printable Summary](#) [Printable Version](#)

[Home](#) [Property Search](#)[Address](#) [Parcel ID](#) [Owner](#) [Map #](#)[Profile](#)

PARID: 10.12A.2.54

2 MOUNTAIN DR

[Values](#)[Sales](#)[Permits](#)[Residential](#)[Commercial](#)[Sketch](#)[Photos](#)[Map](#)[OBY](#)[Additional Owners](#)

Options

Type	Line #	Item	Area
Dwelling	0	Main Building	1,680
Dwelling	2	A2 - 31:WOOD DECK	150
Dwelling	3	A3 - 31:WOOD DECK	48
Dwelling	4	A4 - 31:WOOD DECK	180

Click on an item to display it independently.



SUMMIT POINTE
Property Owners Association

Community Dues

The amounts shown below are the base amounts and may not reflect the actual amount you owe. If you owe any outstanding dues, then that amount will be added to your annual base amount.

Please pay your dues promptly. Your cooperation is greatly appreciated.

If you have any questions regarding your bill, please call (570) 839-7190.

SINGLE
\$175
annually

Base Dues

SELECT

DUPLEX

\$195

annually

Base Dues

SELECT

TRIPLE

\$265

annually

Base Dues

SELECT

LOTS

\$140

annually

Base Dues

SELECT

[HOME](#)

[COMMUNITY DUES](#)

[HOMEBUYERS AND REALTORS](#)

[ADVERTISING](#)

[MEMBERS ONLY](#)

Summit Pointe Property Owners Association (SPPOA)
Architectural Review Board (ARB)

13 Summit Drive Box C-9
Mount Pocono, PA 18344

Board: (570) 839-7190

sppoa@ptd.net

© C. Moss Designs

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MUNICIPAL SOUNDINGS ESTABLISHED FROM
BORNE COUNTY PROPERTY ASSESSMENT MAP
DATE 11/1/92
OFFICIAL OF TITLE

[illegible][illegible]

1. RESEARCH - The research is conducted by the RESEARCH department.
2. RESEARCH - The research is conducted by the RESEARCH department.
3. RESEARCH - The research is conducted by the RESEARCH department.
4. RESEARCH - The research is conducted by the RESEARCH department.
5. RESEARCH - The research is conducted by the RESEARCH department.
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7. RESEARCH - The research is conducted by the RESEARCH department.
8. RESEARCH - The research is conducted by the RESEARCH department.
9. RESEARCH - The research is conducted by the RESEARCH department.
10. RESEARCH - The research is conducted by the RESEARCH department.



Stephen Argen <stephen.argen@gmail.com>

RE: Fwd: New home- Mountain drive, Mt Pocono

6 messages

David C Altmiller <Dave.Altmiller@amwater.com>

Fri, Sep 27, 2024 at 2:28 PM

To: Stephen Argen <stephen.argen@gmail.com>

Hi Steve, the pressure in the 8" water main on Mountain Drive is 80psi. The main is capable of over 1500 GPM at 20 psi. This should be enough data for your sprinkler company.

The only option for metering this property would be (3) individual water services, ¾", with meter pits at the property line. The sprinkler line would be the fourth line with a meter pit at the property line. Size of this line would be dictated by the sprinkler company.

If you have any more questions please let me know.

Dave Altmiller

Sr. Superintendent-Pocono and Lehman Pike

Pennsylvania American Water

578 Route 196N

Tobyhanna Pa 18466

P-570-243-0292

M-570-242-3274

From: Stephen Argen <stephen.argen@gmail.com>

Sent: Friday, September 27, 2024 10:49 AM

To: David C Altmiller <Dave.Altmiller@amwater.com>

Subject: Fwd:

EXTERNAL EMAIL: The Actual Sender of this email is stephen.argen@gmail.com "Think before you click!"

Stephen Argen, President
North Atlantic Construction Services, Inc.

Argen Realty Services, Broker

PA USA License # RB049121L

PA Certified Broker Appraiser PA #BA000410L

916 Route 390 Cresco, PA 18326

Office: 570.872.6209 Direct: 570.972.6940

www.ArgenRealtyServices.com

www.NorthAtlanticConstructionServices.com

Email: Stephen.Argen@gmail.com

BUY • SELL • RENT • BUILD •

APPRAISALS • EGRC CONSULTANT

AS OF JULY 1, 2024, IF YOU FEEL YOUR COMMERCIAL OR RESIDENTIAL REAL ESTATE IN MONROE COUNTY, PA IS WORTH LESS THAN (YOUR 2020 ASSESSMENT x 2.00) SCHEDULE AN APPRAISAL CONSULTATION WITH ARGEN REALTY SERVICES.

"The Real Estate Law requires that I provide you with a written Consumer Notice that describes the various business relationship choices that you may have with a real estate licensee. Since we are discussing real estate without you having the benefit of the Consumer Notice, I have the duty to advise you that any information you give me at this time is not considered to be confidential unless and until you and I enter into a business relationship. At our first meeting I will provide you with a written Consumer Notice which explains those business relationships and my corresponding duties to you."

The information contained in this email message is intended only for the personal and confidential use of the recipients named. If you are not the intended recipient or an agent responsible for delivering it to the intended recipient, you are notified that you have received this document in error and that any review, dissemination, distribution or duplication of this message is PROHIBITED. If you received this message in error, notify us IMMEDIATELY by email and permanently delete all versions of the original message on your network.

----- Forwarded message -----

From: Stephen Argen <stephen.argen@gmail.com>

Date: Fri, Sep 27, 2024 at 10:47 AM

Subject:

To: Stephen Argen <stephen.argen@gmail.com>

This email and any files transmitted with it are confidential and intended solely for the use of the individual or entity to whom they are addressed. If you have received this email in error, please notify the sender. Please note that any views or opinions presented in this email are solely those of the author and do not necessarily represent those of American Water Works Company Inc. or its affiliates. The recipient should check this email and any attachments for the presence of viruses. American Water accepts no liability for any damage caused by any virus transmitted by this email. American Water Works Company Inc., 1 Water St. Camden, NJ. 08102 www.amwater.com

Stephen Argen <stephen.argen@gmail.com>

Fri, Sep 27, 2024 at 2:40 PM

To: Don Rowe <don@pennfire.com>

Hi Don, I forward info from American Water

[Quoted text hidden]

[Quoted text hidden]

Stephen Argen <stephen.argen@gmail.com>

Fri, Sep 27, 2024 at 2:40 PM

To: David C Altmiller <Dave.Altmiller@amwater.com>

Thanks for the info!

Stephen Argen, President
North Atlantic Construction Services, Inc.

Argen Realty Services, Broker

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[Quoted text hidden]

Don Rowe <don@pennfire.com>
To: Stephen Argen <stephen.argen@gmail.com>

Fri, Sep 27, 2024 at 3:54 PM

Thank you

I am surprised that they would want four meters and meter pits, that is not how they usually do these.

Don Rowe

Penn Fire Protection, Inc.

1768 Rt. 522

Selinsgrove, PA 17870

Phone: 570-374-4508

Fax: 570-374-5087

E-mail: don@pennfire.com

www.pennfire.com

[Quoted text hidden]

Stephen Argen <stephen.argen@gmail.com>
To: Don Rowe <don@pennfire.com>

Fri, Sep 27, 2024 at 4:21 PM

The owner wants 3 meters he said the sprinkler should have its own line

Stephen Argen, President
North Atlantic Construction Services, Inc.

Argen Realty Services, Broker

PA USA License # RB049121L

PA Certified Broker Appraiser PA #BA000410L

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[Quoted text hidden]

Stephen Argen <stephen.argen@gmail.com>
To: Don Rowe <don@pennfire.com>

Fri, Sep 27, 2024 at 4:21 PM

Have you come up with an estimate yet?

Stephen Argen, President
North Atlantic Construction Services, Inc.

Argen Realty Services, Broker

PA USA License # RB049121L

PA Certified Broker Appraiser PA #BA000410L

916 Route 390 Cresco, PA 18326

Office: 570.872.6209 Direct: 570.972.6940

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On Fri, Sep 27, 2024 at 3:54 PM Don Rowe <don@pennfire.com> wrote:

[Quoted text hidden]



D.S. Correll Company Inc.

237 Hoffman Rd. Wind Gap, PA 18091

P: 610-759-8375 F: 610-759-8640

E: dscorrell@gmail.com

Sprinkler Systems for Fire Protection

PROPOSAL

09/13/2024

North Atlantic Construction Services, Inc.
916 Route 390
Cresco, PA 18326

Attn: Stephen Argen

Re: Fire Sprinkler Proposal for 2 Mountain Drive, Mt Pocono, PA 18344
Print Basis: Drawing 0 dated 9/6/24 by North Atlantic Construction

Please find cost of subject installation as detailed below:

- * Proposal based on existing adequate flow and pressure for system design.
- * Design, materials, fabrication and installation to be in accordance with applicable criteria of NFPA-13R and authority having jurisdiction for wet pipe sprinkler systems.
- * Proposal includes flow test, PE stamped design drawings, hydraulic calculations and paid sprinkler permit from local authorities
- * As per NFPA-13R sprinkler protection within attic and concealed combustible spaces is not included in the proposal or required.
- * Soffiting if required to conceal piping by others.
- * As per NFPA-13R, sprinklered areas to consist of bedrooms, living/dining rooms and kitchens within dwelling units. Areas not included or required are closets under 24 sq. ft., bathrooms under 55 sq. ft., attic areas and concealed combustible spaces.
- * Piping material to be ASTM A795 and/or ASTM A135 per the following schedule:
 - * 1" to be Schedule 40, 1-1/4" and larger to be Schedule 10.
 - * CPVC Schedule 40 to be used where applicable.
- * Proposal extends from a 2" incoming flange (by others) within building and includes installation of maximum 2-1/2" Backflow Preventer with isolation valves.
- * Proposal includes one (1) 2-1/2" Universal Manifold Check Assembly, electric alarm bell and a Fire Department Connection.
- * Proposal predicated on installation of the following maximum amount of sprinkler heads:
 - First Floor: Twenty-one (21) residential concealed sprinkler heads
 - Second Floor: Sixteen (16) residential white sidewall sprinkler heads

D. S. Correll Company Inc.


09/13/24
2 Mountain Drive

* Proposal does not include:

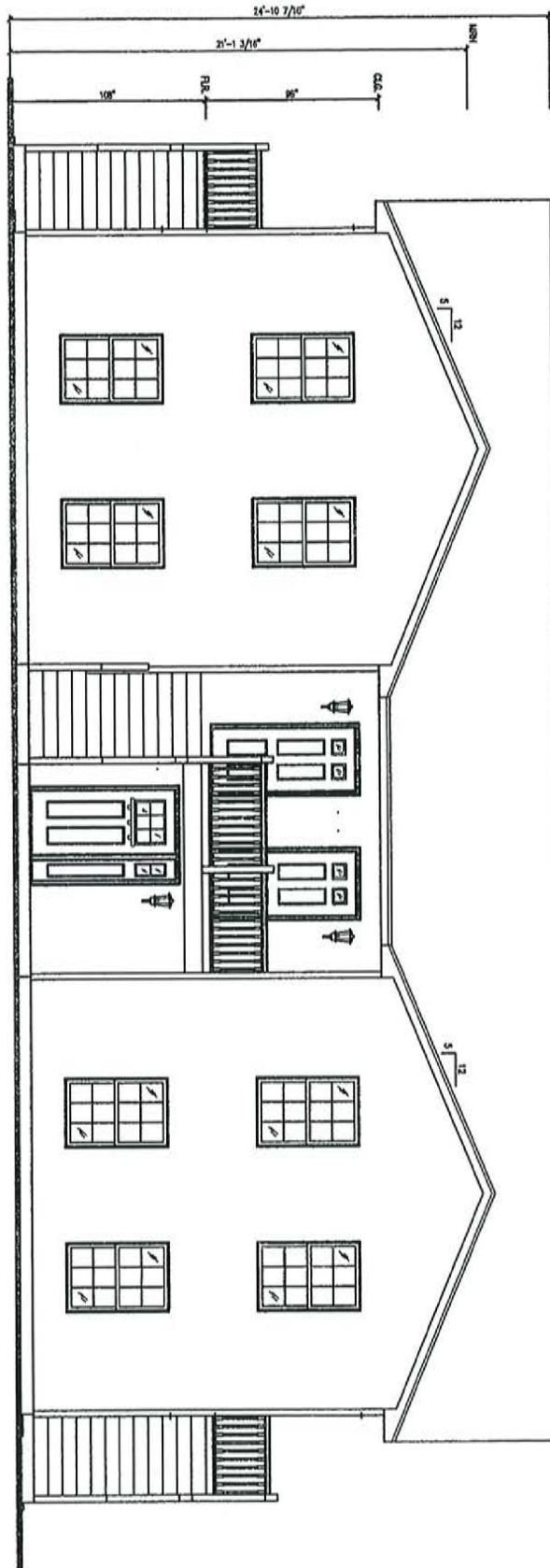
- * Excavation / Underground piping or related equipment.
- * Painting of pipe or equipment.
- * Electrical power / signal wiring / or conduit.
- * Fire Pump
- * Sprinkler heads within voids.
- * Soffiting / Concealing of piping if required.
- * Dry or Antifreeze Systems.

- * Terms: Progressive monthly billings with net due 30 days from invoice date.
Pricing valid for 60 days.

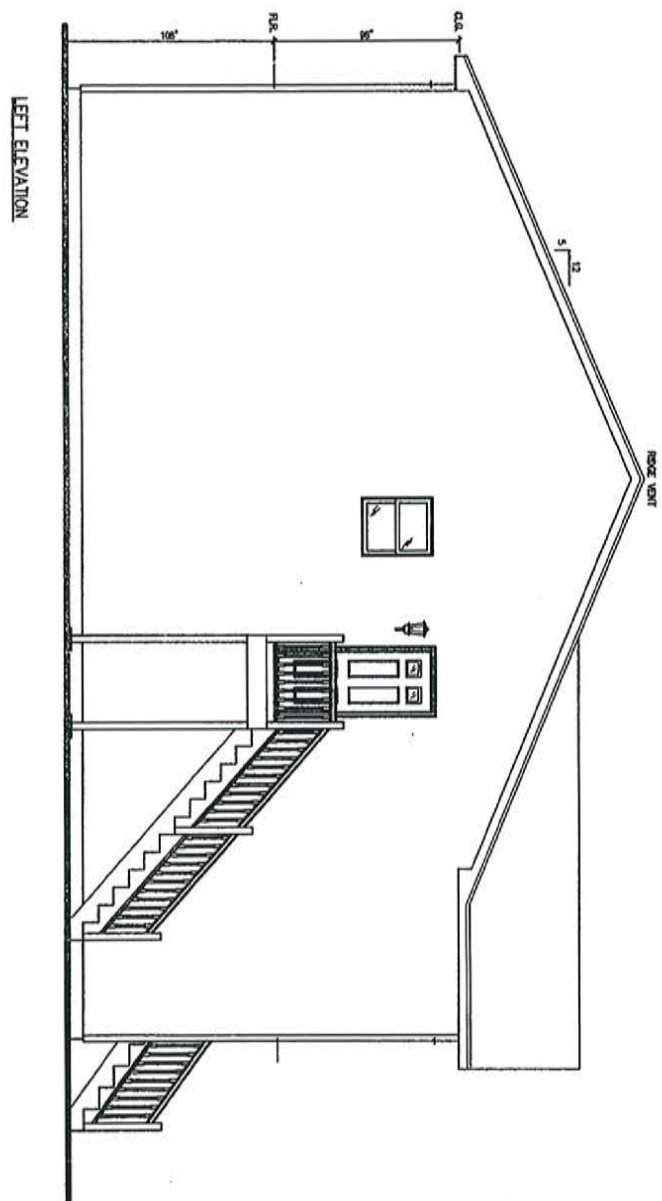
Cost for Above.....\$ 14,525.00

By:  Date: 09/13/2024 Accepted: _____ Date: _____
Chad Torres
Estimating

FRONT ELEVATION



North Atlantic Construction Services Inc.	
3400 10th Ave. S.W.	3400 10th Ave. S.W.
Atlanta, GA 30310	Atlanta, GA 30310
404.525.1234	404.525.1234
JOSEPH MARYSHAW	JOSEPH MARYSHAW
FRONT ELEVATION	FRONT ELEVATION
SD0	08/12/24 13716'-1'-0" 00000.000

[illegible]

PRODUCTION ORDER

Builder North Atlantic Construction Services, Inc

Address 916 Route 390

City Cresco

State PA

Zip 16326

PREMIERBUILDERS

Date 9/23/24 17:37

Builder's Customer Marryshow

Salesman: Zach Fry Ext 1313

2023 SPECS

AN #

DEL

CUSTOM PLAN

Size

Size

W

Length

23'8"

26

27'6"

54

STYLE T-Ranch

Deliver To:

Monroe

Requested Date 11/20/2024

Approximate Del. Date

☐ Reverse Floorplan

☒ New Plan

Foundation Full Basement

SERIAL #

JOB # 33740

CONSTRUCTION		UTILITIES/PLUMBING		BATH #1	
XX	State Code Requir. <u>PA</u>	XX	Heating System <u>EBB w/PG T-stats</u>	XX	Fixture Color <u>White</u>
XX	Lower Floor Joists <u>2 x 10 @ 16 OC</u>			XX	Cultured Top <u>Gray/White Mbl</u>
XX	Upper Floor Joists <u>2 x 10 @ 16 OC</u>	XX	HWH- Gallon/Type <u>Omit</u>	XX	Vanity Type <u>Sinclair Natural</u>
XX	Subfloor Type/Size <u>2x12 OSB</u>	XX	Plumb & Wire for Dishwasher	XX	Medicine Cabinet <u>268P26 w/L-Bar</u>
XX	Exterior Walls/O.C. <u>2 x 6 @ 24 O.C.</u>	XX	Plumb for Clothes Washer	XX	Faucet <u>See Below</u>
XX	Ext. Wall Sheathing <u>See Below</u>	XX	2" Future Vent for Basement		
		XX	3" Radon Vent for Basement		
XX	Gable End Overhang <u>16 inch</u>	XX	Water Supply Lines <u>PEX Stubbed</u>	XX	*Same décor both units*
XX	Roof Pitch/O.C. <u>See Below</u>	XX	(2) Dryer box	XX	2532LF-Chrome-Std Faucet
XX	Roof Sheathing <u>12/32 OSB</u>	XX	(2) Omit Water heater	XX	48" 2-Seat Shower
		XX	(2) DW Plumbing	XX	Panasonic Continuous Run Fan
XX	Roof Shingles <u>GAF Hunter Green**</u>	XX	(2) Vent thru roof for hood w/drywall	BATH #2	
XX	Ridge Vent <u>Shingles-Over</u>	XX	chase	XX	Fixture Color <u>White</u>
XX	Marriage Wall Sheat <u>Thermoply</u>	XX	(2) Ice maker box installed	XX	Cultured Top <u>White/White Mbl</u>
		XX	(2) Washer Pan @ Laundry Closet	XX	Vanity Type <u>SEE BELOW</u>
		XX	(2) Prep for Stacked W/D	XX	Medicine Cabinet <u>268P26 w/L-Bar</u>
XX	90/116 mph 3-SG	XX	Run all vents to rear of home	XX	Faucet <u>P299685LF CHR</u>
XX	7/16" Zip Ext Wall Sheathing w/	XX	(2) Washer Plumbing		
XX	Zip Tape				
XX	2x6 Fascia Boards	ELECTRICAL			
XX	2x4 16" OC Interior Walls	XX	Panel Box: Location <u>BR#2 E/W</u>		
		XX	Installed or Under Flr <u>Under Floor</u>		
XX	27'-6" 5/12 Roof Trusses 24" OC	XX	w/ feet of cable <u>19</u>		
XX	20' 5/12 Roof Trusses 16" OC				
		XX	Doorbell <u>Front Only</u>		
XX	Superior Wall Bracing	XX	Range Outlet <u>Electric - 220 V</u>	BATH #3	
		XX	Dryer Outlet <u>Electric - 220 V</u>		
		XX	B/R Ceiling Lights <u>Four</u>		
INSULATION					
XX	Ceiling <u>R-50 Cellulose</u>		Phone Jacks <u>Omit</u>		
XX	Walls <u>R-21 FG</u>		TV Jacks <u>Omit</u>		
		XX	Fan Wire w/2 Switch <u>Four</u>		
XX	Seal & Insulate attic Accesses(2)	XX	LED Recessed Lights <u>24 - LED</u>		
XX	Seal & Insulate for E-Star	XX	DR Chandelier <u>Yes</u>		
SIDING-DOORS-WINDOWS		XX	CO Detectors <u>Two</u>	FLOOR COVERINGS	
XX	Front Door <u>See Below</u>	XX	PE/CO Detectors <u>Two</u>		
XX	Rear Door <u>See Below</u>				
XX	Windows <u>7D DH C-Below</u>				
XX	Window Grills <u>Front Only</u>				
XX	Shutters: Color: <u>Green</u>				
XX	Style: <u>Raised Panel</u>	XX	(2) Range Outlet Elect 220V		
XX	Location: <u>Front Only</u>	XX	(2) Dryer Outlet Elect 220V		
		XX	(2) Recep in W3012; omit hood wire	XX	Bath #1 <u>Greystone SPC</u>
		XX	(2) CO/Smoke Basement		
		KITCHEN			
XX	Siding: Style <u>4x4 Dutchlap</u>	XX	Cabinets <u>Sinclair Natural</u>		
XX	Color <u>Cypress</u>	XX	Cabinet Construction <u>Standard</u>	XX	*Same Décor both Units*
XX	Fascia, etc. Color <u>White</u>	XX	Countertop Color <u>Butterum Gran Lam</u>	XX	Omit all Floor Except for Bath
XX	(2) B/W Dead Bolts for both units	XX	Soffit Style <u>Open</u>		
XX	keyed to match / 2 Units	XX	Refrigerator Cabinet <u>Yes</u>		
		XX	Faucet <u>SEE BELOW</u>		
XX	(2) #1 2-Lite Front Doors	XX	Sink <u>8" S, S/L Dbl Bowl</u>		
XX	(2) #1 2-Lite Rear Doors	XX	* Same décor in Both Units*		
		XX	(2) 9113-DST-Chrome-Std Faucet	MISCELLANEOUS	
				XX	Foundation <u>Full Basement</u>
				XX	Ship C & D Modules on 1 carrier
				XX	Ship C&D on a 16W Frame
				XX	Install C&D Gable End Overhangs
INTERIOR DOORS/MOULDING				XX	Additional Shipped Loose:
XX	Molding <u>White Colonial</u>			XX	(4) 59" R/P Green Shutters
XX	Doors <u>White 6-Panel</u>			XX	(1) 3857-2 D/H Clear
XX	Lockset Style <u>LEVER</u>			XX	(4) 3857 D/H w/GBG
		APPLIANCES <u>None</u>		XX	(2) 3857 D/H Clear
XX	(2) Louverd Swing Doors @ W/D				
		XX	(2) Omit range hood		
XX	Base loose at OMIT areas				
XX	Jams to floor at OMIT areas				
XX	Caulk base mould & case			XX	Snow Load <u>50</u> <u>GSL</u>
				Label & Inspection <u>PA</u>	

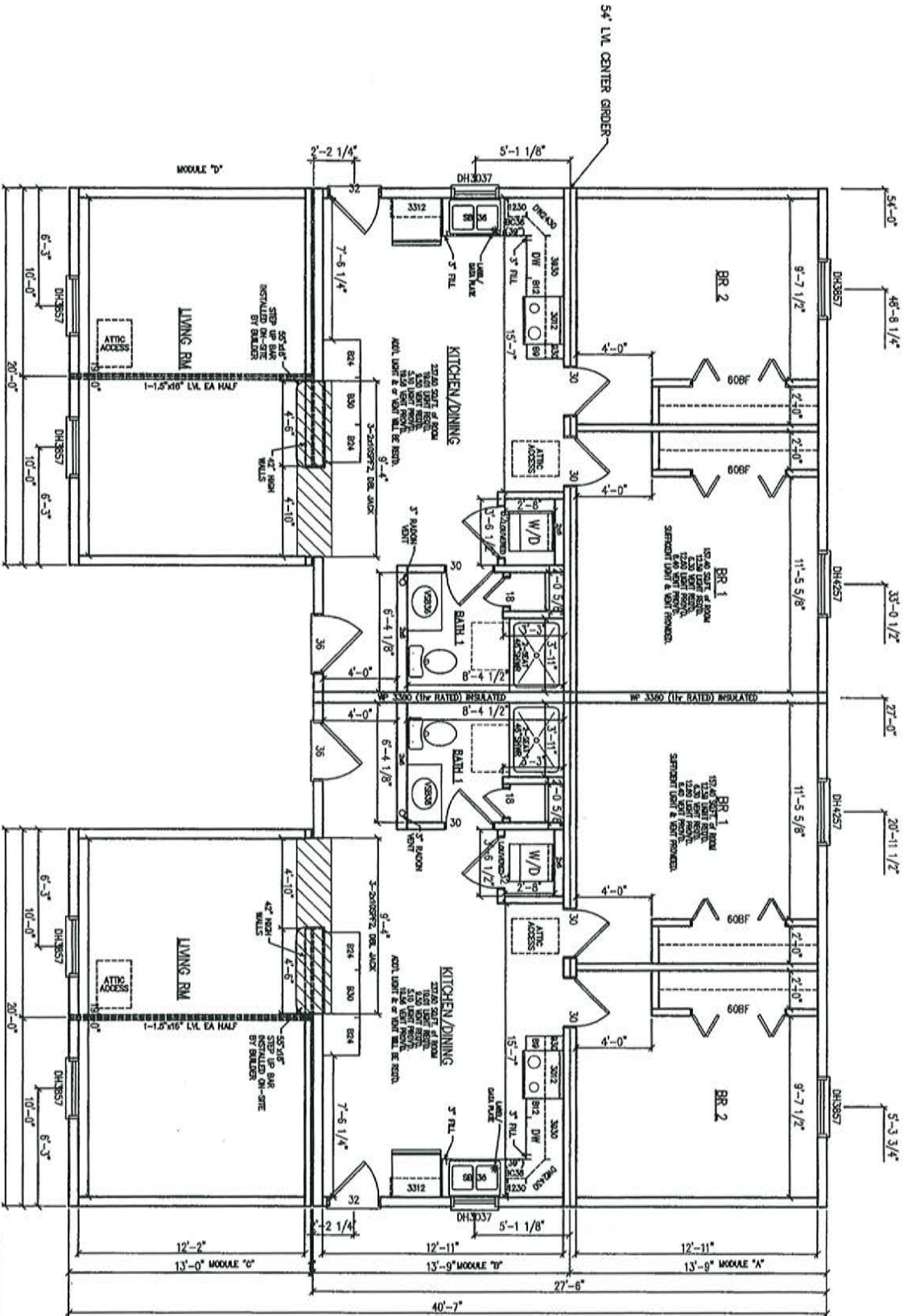
IF YOU HAVE QUESTIONS ON THIS ORDER, CONTACT

Zach Fry Ext 1313

or

Michael Earnest Ext 1302
33740

NOTE: FINAL HOME & FOUNDATION DESIGN SUBJECT TO WIND ANALYSIS AND RESCHECK.



A & B BOXES WILL HAVE 16\"/>

PA NOTE: FOR BUILDERS OF THIS STRUCTURE, MARSHY HOMES, INC. 1987 PA ROUTE 442 EAST, MARSHY, PA, CERTIFIES THAT THIS STRUCTURE (AS SHOWN) IS NOT A MANUFACTURED HOME SUBJECT TO THE PROVISIONS OF THE NATIONAL MANUFACTURED HOME ACT, 42 USC 5401-5405, NOR IS IT SUBJECT TO THE PROVISIONS OF THE NATIONAL MANUFACTURED HOME ACT, 42 USC 5401-5405, NOR IS IT SUBJECT TO THE PROVISIONS OF THE NATIONAL MANUFACTURED HOME ACT, 42 USC 5401-5405.

NOTE: BUILDING SHALL COMPLY WITH 1987 PA ROUTE 442 EAST, MARSHY, PA, CERTIFIES THAT THIS STRUCTURE (AS SHOWN) IS NOT A MANUFACTURED HOME SUBJECT TO THE PROVISIONS OF THE NATIONAL MANUFACTURED HOME ACT, 42 USC 5401-5405, NOR IS IT SUBJECT TO THE PROVISIONS OF THE NATIONAL MANUFACTURED HOME ACT, 42 USC 5401-5405, NOR IS IT SUBJECT TO THE PROVISIONS OF THE NATIONAL MANUFACTURED HOME ACT, 42 USC 5401-5405.

PREMIER BUILDERS
NORTH ATLANTIC / MARYSHAW
1ST FLOOR PLAN
09-18-24 3716-1-07 33740 000



1. ALL PROTECTION & TAMPERS-RESISTANT RECEIPTS PROVIDED PER 2017 REG.
2. ALL CASHING PLANT BOOKS SHALL BE DATED FOR Q4 PER 2017 REG. 314.27 (A)(1).
3. ALL RECEIPT BOOKS MUST BE PRINTED UNDER PER 2017 REG. 314.27 (B) AND
4. RECD FRONT & REAR OF EACH RECEIPT SHALL BE ACCESSIBLE FROM ONE ADDITIONAL "GRADE-CORRECT RECD" SHALL BE PROVIDED AND INSTALLED BY OTHERS (BELOW THE WORKMAN) AT THE FRONT AND REAR OF THE
5. ALTIMETER AND/OR MOUNTING SHALL BE STAMPEDED WITH THE NAME OF THE PROVIDER, PER 2017 REG. SEC. 210.2(A)(3) TO BE PROVIDED AND INSTALLED ON-SITE BY OTHERS.

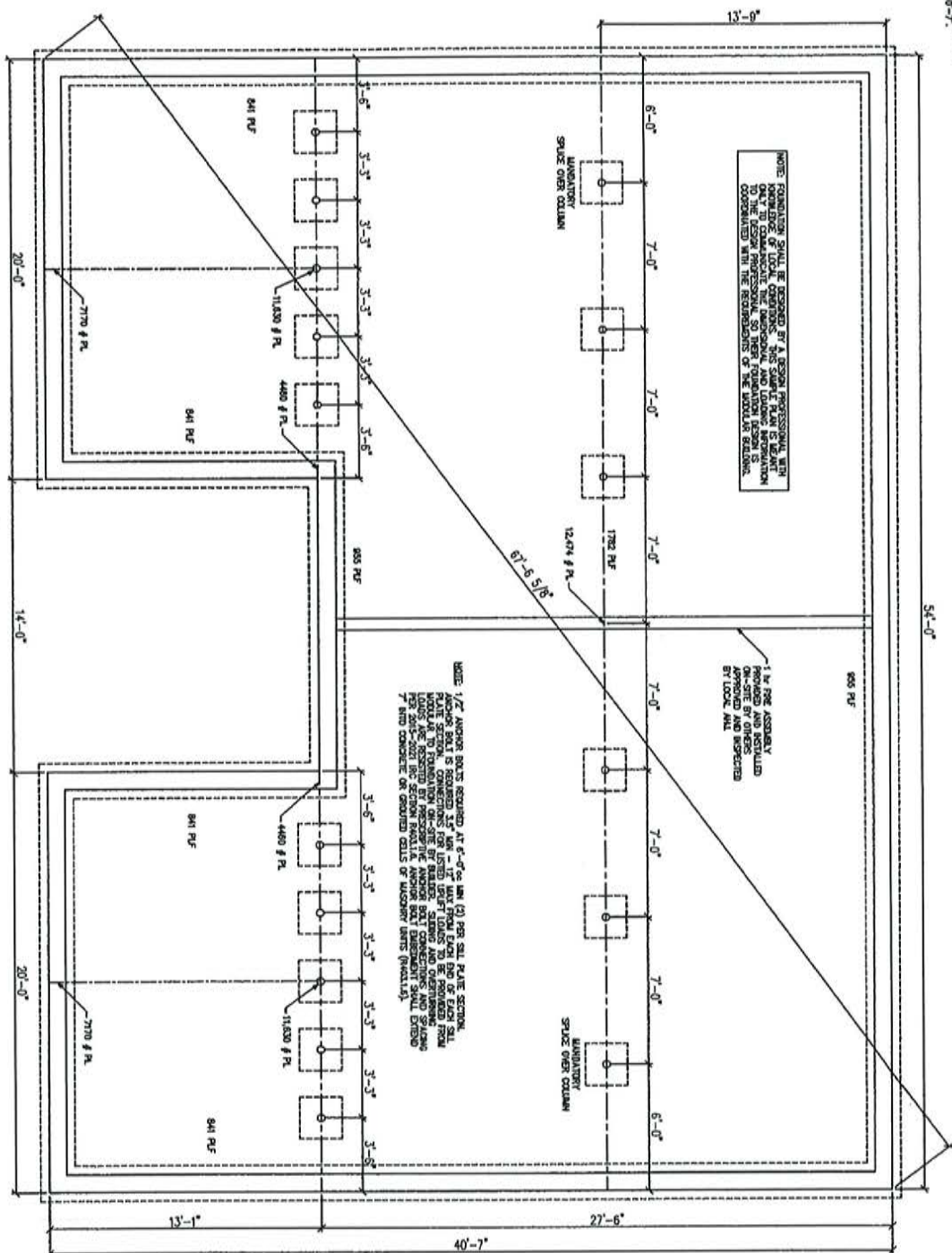
FA NOTE:
SEE FLICK P. 411 DRAFTING FOR MANUFACTURED HOUSING DISCLAIMER NOTE.

PREFORMER BUILDERS A QUALITY ASSOCIATION OF PREFORM BUILDERS, INC. 1607 NW 10TH AVENUE, SUITE 100 • DORSET, MA 01922 508-261-1100 • FAX 508-261-1101		FOR THE NEW AND REPAIR OF ALL TYPES OF CONCRETE FORMWORK SYSTEMS 1000 W. 10TH AVENUE, SUITE 100 DORSET, MA 01922 508-261-1100 • FAX 508-261-1101	
NORTH ATLANTIC / MARYSHAW 1ST STY ELEC PLAN		CUSTOM	
CAA	08-19-24	3/76 = 1° - 0°	33/40 000

[illegible]

[illegible]

54'-0"



SEE FLOOR PLAN DRAWING FOR MANUFACTURED HOUSING DISCLAIMER NOTE

1. **FOUNDATIONS:** ALL SPILING SHALL BE ADJUSTED AS LONG AS MAX. CLEAR SPACING IS NOT EXCEEDED. COLUMNS AT POINT LOAD LOCATIONS ARE NOT NEEDED, AND A 1/2" 6"x12" (90/225) C/S w/ 4 #4'S @ 24" (24") STEEL PLATE IS INSTALLED ON COLUMNS.
2. **CONCRETE:** ALL CONCRETE SHALL BE PLACED ON MATCHED COLUMNS SPACING 1/2" 6"x12" (90/225) C/S.
3. **SLAB:** FLOOR SLABS ON FOUNDATION PLATE ARE BASED ON MATCHED COLUMNS SPACING 1/2" 6"x12" (90/225) C/S.
4. **WALLS:** FLOOR WALLS SHALL BE 1/2" 6"x12" (90/225) C/S.
5. **CHIMNEYS:** CHIMNEYS LOCATED AT A MAXIMUM OF 1 FEET APART ON EACH FLOOR.
6. **CEILING:** CEILING SHALL BE 1/2" 6"x12" (90/225) C/S.
7. **FLOOR PLATE:** FOUNDATION PLATE AND SET-UP INSTRUCTIONS FOR SETTING MODELS TO FOUNDATION (COLUMNS, REINFORCER & OTHER ACCESSORIES IF REQUIRED).

PREMIER BUILDERS A DIVISION OF PREMIER BUILDERS, INC. 10000 W. 10TH AVE. SUITE 100 DENVER, CO 80231 (303) 751-1000		10000 W. 10TH AVE. SUITE 100 DENVER, CO 80231 (303) 751-1000	
NORTH ATLANTIC / MARTINSON FOUNDATION PLAN		CUSTOM 000	
03-19-24	3/16" = 1'-0"	33/40	000

CODES & STANDARDS

Building Code:
Third Party Inspection Agency:
Quality Assurance Manual:
Site Preparation Guide:
Fire Test Standards:

2018 IRC W/PA AMENDMENTS
ICC-ES & PFS Corporation,
Superior Walls of America CA Manual (MAN 42-9004)
Superior Walls Builder Guidelines Booklet (MAN 42-9000)
ASTM E84, ANSI / UL 1716, UBC 28-3

WALL MATERIALS

Concrete Compressive Strength:
Water/Cement Ratio:
Reinforcing Steel:

5,000 PSI
≤ 0.40
No.4 and larger - 60,000 PSI (in Studs & Headers)
No.3 and smaller - 40,000 PSI (in Bond Beam & Footer Beam)

Secondary Reinforcement:
Embedded Wood Blocking:
EPS Foam Insulation:

1 Pound per Cubic Yard Polypropylene Per ASTM C1116
Pressure-Preservative-Treated
Flame Spread Index: 20
Smoke Developed Rating: 300

XPS Foam Insulation:
ThermaMax Insulation:

Flame Spread Index: 5
Smoke Developed Rating: 185
Flame Spread Index: 25
Smoke Developed Rating: 450

SITE CONDITIONS

Seismic Design Category:
Basic Wind Speed:

C
90/150 mph

Front Depth:
Assumed Soil Bearing Capacity:
Assumed Wall Loading:
Maximum Allowable Total UL:
Crushed Stone Footing Depth:
Crushed Stone Size:
Backfill Material:
Beam Pocket(s):
Column Pocket(s):
Column Pad(s):

42 inches
2000 PSF
1000 Pounds/LF (uniform)
2882 Pounds/LF (uniform)
6 inches
1/2 inch or smaller
Backfill with clean crushed stone or any of the following
soil types: G1/2, GP, GM, GC, SW, SP, SM, or ML
16000 Pound Medium
(see plan for locations, sizes, and loads)
16400 Pound Medium
(see plan for locations, sizes, and loads)

GENERAL NOTES

- Jobsite shall be prepared by the builder in accordance with the Superior Walls of America Builder Guidelines Booklet (MAN 42-9000).
- Any drain pipe must be four (4) inch diameter perforated and directed to a sump pit or daylight.
- Builder shall establish the required elevation benchmark.
- Builder shall ensure site access for trucks and cranes.
- ACS requires a 2x10 PT all plate
- 2x2 Column Pad Max Allowable Load 16,400 LBS (Refer To Builder Guidelines Booklet For Details)
- 3x3 Column Pad Max Allowable Load 28,000 LBS (Refer To Builder Guidelines Booklet For Details)

INSTALLATION NOTES

- Installation shall be supervised by a Superior Walls certified installer. Certification is obtained through Superior Walls of America, Ltd.
- Installation shall comply with Superior Walls of America's Installation Manual (MAN 42-9000).

SHEET INDEX

- 1 of 6 - General Notes
- 2 of 6 - Drawing Summary Block-All Layers
- 3 of 6 - Plan View - Basement
- 4 of 6 - Front Right Isometric
- 5 of 6 - Rear Left Isometric
- 6 of 6 - Plan View - Foot Walls

DAMP-PROOFING

Superior Walls panels are recognized by the ICC-ES as an alternate method of providing foundation wall damp-proofing. No additional damp-proofing is required.
(See ICC-ES ESR-1553 & ESR-1682)

PLEASE NOTE

To comply with building code requirements, the framing/decking connections at the top of the Superior Walls panels and foot slab at the bottom of the Superior Walls panels MUST be completed prior to backfilling.

CUSTOMER RELEASE

As the authorized representative of the customer/builder I have reviewed this document and the drawings contained in it. I understand that it was created from information and dimensions provided by the customer/builder and that Superior Walls will rely on that information in the manufacture of the project.

I acknowledge that I have compared this document to the sales order/contract and that this document supersedes the sales order/contract with respect to the objects and dimensions contained herein. I approve the project depicted in this document for production, and accept full responsibility for any and all measurements, dimensions and information provided by the customer/builder. I hereby release and discharge Superior Walls from any and all past, present or future claims and damages arising from or relating to the attached drawing and deviations in the drawing from information customer/builder provided.

Signature of Customer/Builder

Date

Designed By:
Stephan Argen

9/19/2024

PROJECT:
BM24-134
MARRYSHOW
2 MOUNTAIN DRIVE
MOUNT POCONO, PA 18344
Project No. BM24-134

BUILDER:
NORTH ATLANTIC CONSTRUCTION SERVICE
916 ROUTE 390 #2
CRESCO, PA 18328
Contact: STEPHEN ARGEN

Phone: N/A
Fax:
Mobile:
E-Mail:

MUNICIPALITY:

Contact:
Phone:
Fax:
E-Mail:



Superior Walls®
Advanced Concrete Systems

55 Ashwood Lane
Middletown, Pa 17842
Phone: 1-800-821-3788
Fax: 610-837-1182
E-Mail:

Independent Licensee of Superior Walls of America, Ltd.

DRAWING DATA:
Sold by: BROAD MELLITO
Drawn by: J BACHORSKI
Date Created: 9/9/2024
Last Revision: 9/9/2024
Revision #: 1
File Name: bm24-134

PROJECT NO.
BM24-134

Drawing Summary Block - All-Layers

R5 Walls
XI PLUS Walls
4 Beam Pockets
10 Multi Studs
6 3x3 Column Pads -- Supplied by Superior Walls -- Installed by Superior Walls

R5 Walls Type: 4' Linear Feet: 217'-0 1/2'
XI PLUS Walls Type: 9' Linear Feet: 217'-0 1/2'

Drawing Notes

16 CORNERS

10 2x2 COLUMN PADS (INSTALLED BY OTHERS)
(SHIP A TOTAL OF (10) 2x2 & (6) 3x3 COLUMN PADS)
125 MOD STRAPS
200 5 1/2" SILL BOLTS

- Object Details in inches -

ID	# Obj	Desc	Width	Height	Header	Door (B.O.V)	Max. Hdr. Capacity
A	6	Window	38-1/2	57-1/2	14		5500 lbs.
B	1	Window	76	57-1/2	14		2925 lbs.
C	1	Door	74	84	20	4	2925 lbs.
D	1	Door	54	84	20	4	5500 lbs.
E	2	Door	38-1/2	82-1/2	21-1/2	4	5500 lbs.
F	4	BeamPocket	12	12	0		
G1	6	ColumnPad	36	36	6		
H	2	MultiStud	2-Studs	102	0		
I	6	MultiStud	2-Studs	43	0		
J	2	MultiStud	1-Studs	102	0		
1	-	Stone Depth: 0'-2', Excavation Width: 3'-3'					

*** REVISION NOTICE ***

If Drawing Needs Revised - DO NOT SIGN OR DATE

Make legible changes and email to ACS Sales Rep

Revisions Fees:

1) Calendar days prior to delivery date \$150.00 charge, each.
1) Working days prior to delivery date \$300.00 charge, each.

ACS Sales Rep & Customer Review/ Initial Here

SL

These drawings are approved for final production as per drawing notes, object sizes and descriptions as shown on All Sheets of the drawing package.
Signature of Customer/Builder Date

Stephen Argen

9/19/2024

PROJECT:
BA24-134
MARRYSHOW
2 MOUNTAIN DRIVE
MOUNT POCONO, PA 18344
Project No. BA24-134

BUILDER:
NORTH ATLANTIC CONSTRUCTION SERVICE
916 ROUTE 390 #2
CRESCO, PA 18326

Contact: STEPHEN ARGEN

Phone: N/A
Fax:
Mobile:
E-Mail:

MUNICIPALITY:

Contact:
Phone:
Fax:
E-Mail:

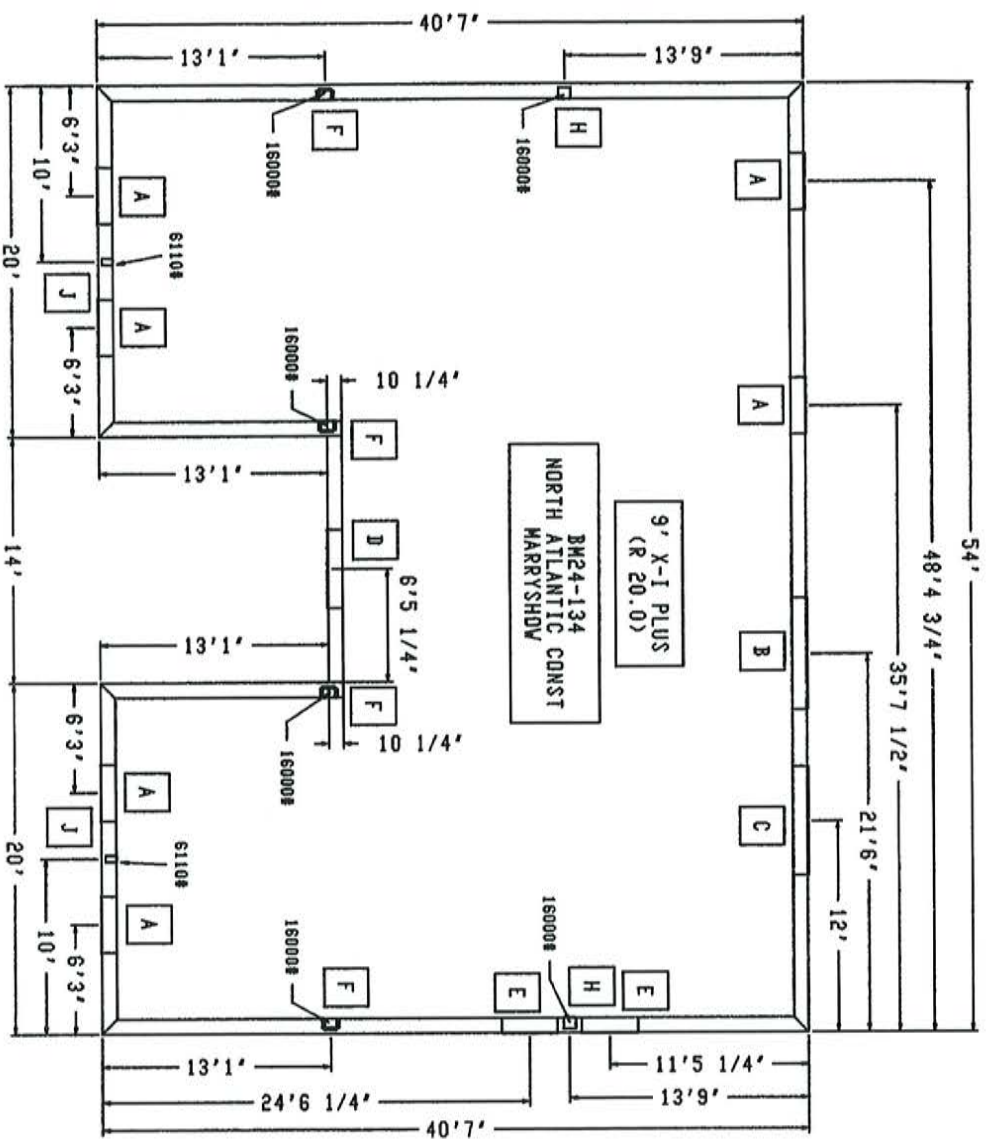

Superior Walls
Advanced Concrete Systems
55 Advanced Lane
Middletown, Pa 17842
Phone: 1-800-821-5789
Fax: 610-837-1182
E-Mail:

Independent Licensees of Superior Walls of America, Ltd.

DRAWING DATA:
Sold by: BRAD MELLITO
Drawn by: J BACHORSKI
Date Created: 9/8/2024
Last Revision: 9/8/2024
Revision #: 1
File Name: bm24-134

PROJECT NO.
BA24-134

PLAN VIEW
BASEMENT

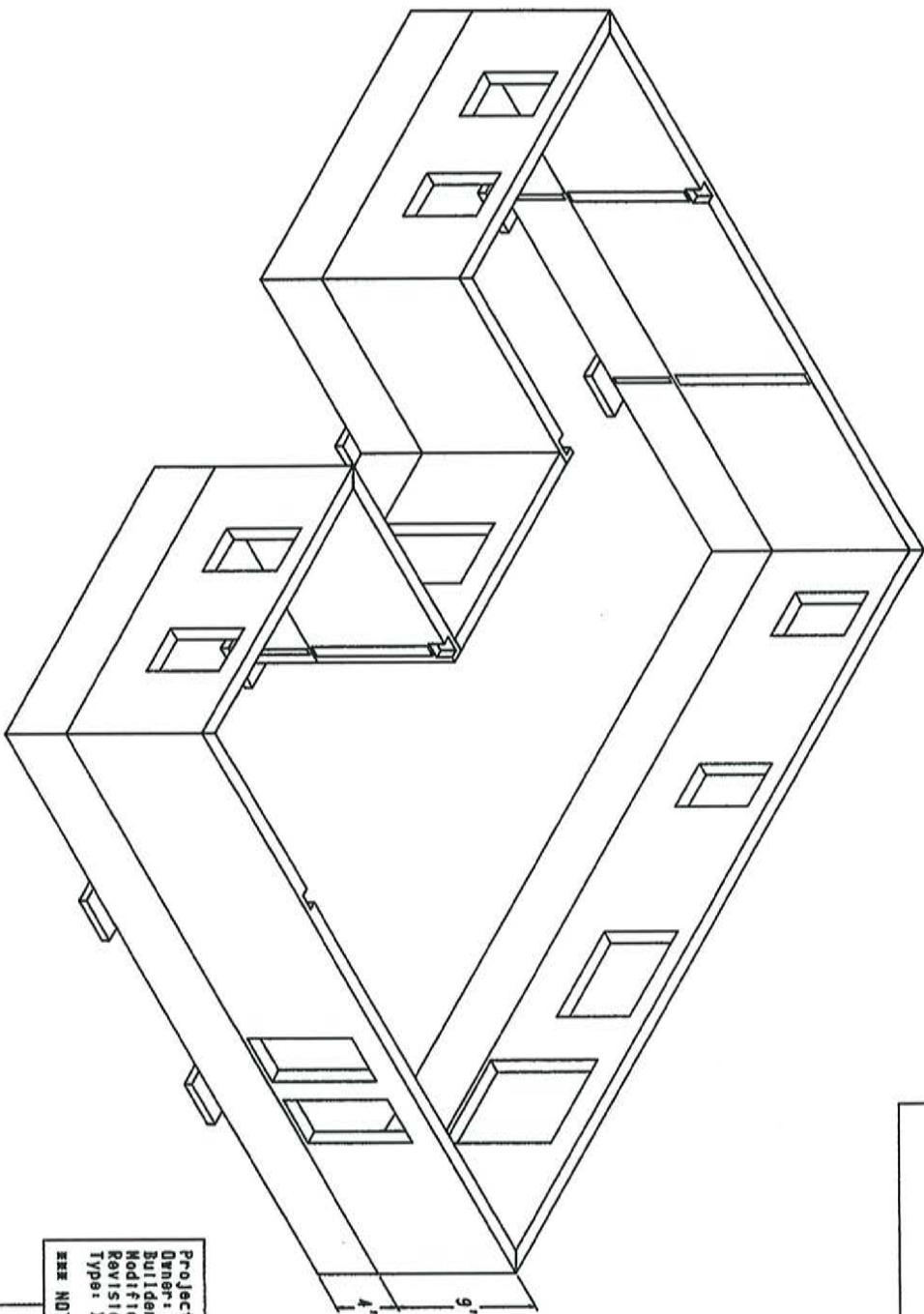


PROVIDE A LEVEL
40 X 40 CRANE PAD
SEE CRANE PAD
LAYOUT DRAWING

BM24-134
These drawings are approved for final production as
per drawing notes, object sizes and descriptions
as shown on All Sheets of the drawing package.
Signature of Customer/Builder Date
Shelley Ayers 9/19/2024

DRAWING DATA:	
Sold by:	BRAD MELLIO
Drawn by:	J BACHORSKI
Date Created:	9/8/2024
Revision #:	1
File Name:	bmt24-134
PROJECT NO.	BM24-134
Page 3 of 6	

Front Right View



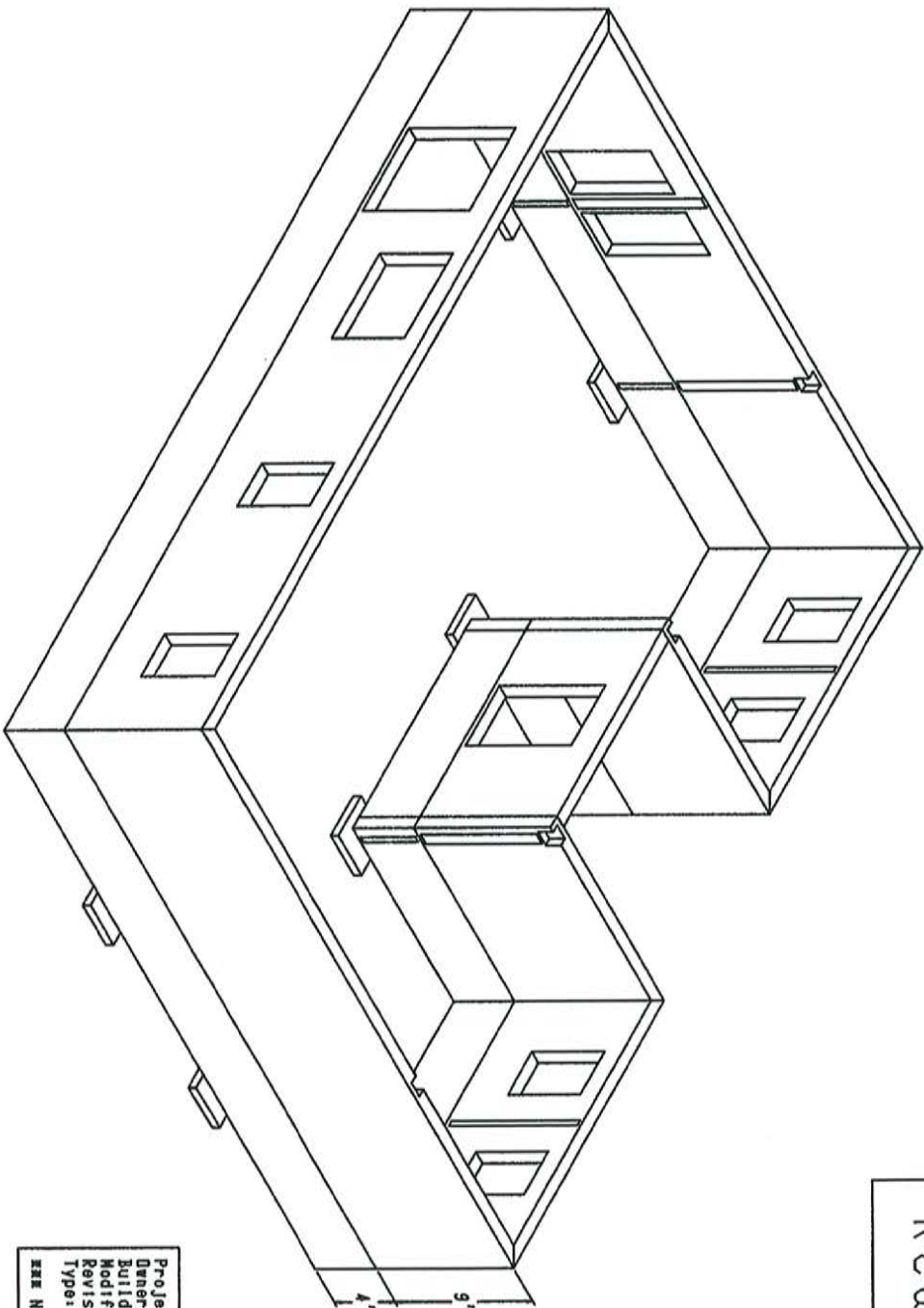
Project Name: BH24-134
Owner: HARRYSHOV
Builder: NORTH ATLANTIC CONSTRUCTION SERVICES
Modified: 9/9/2024
Revision: 1
Type: XI PLUS(5)
SEE NOT TO SCALE SEE

These drawings are approved for final production as per drawing notes, object sizes and descriptions as shown on All Sheets of the drawing package.
Signature of Customer/Builder Date

Drawn by: Stefan Nijze
Date: 9/19/2024
10644432415

DRAWING DATA:	
Sold by:	BRAD MELLO
Drawn by:	J BACHORSKI
Date Created:	9/9/2024
Revision #:	1
File Name:	bh24-134
PROJECT NO.	
BH24-134	Page 4 of 6

Rear Left View



Project Name: BM24-134
Owner: HARRYSHOV
Builder: NDRTH ATLANTIC CONSTRUCTION SERVICES
Modified: 9/9/2024
Revision: 1
Type: XI PLUS(S)

SEE NOT TO SCALE HERE

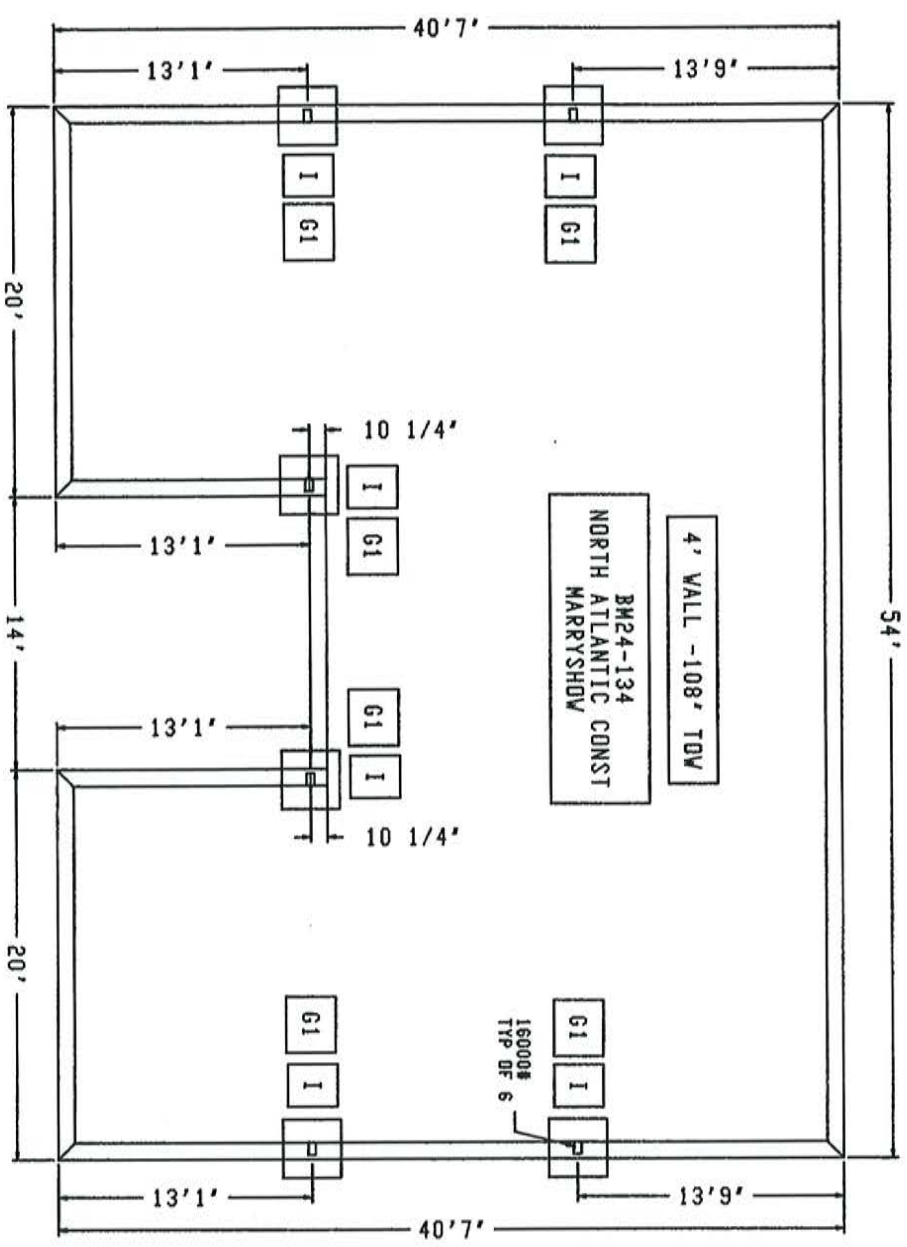
BM24-134
These drawings are approved for final production as per drawing notes, object sizes and descriptions as shown on All Sheets of the drawing package.
Signature of Customer/Builder Date

Stalin Ayala
9/19/2024

DRAWING DATA:
Sold by: BRAD MIELLO
Drawn by: J BACHORSKI
Date Created: 9/9/2024
Revision #: 1
File Name: bm24-134

PROJECT NO.
BM24-134

PLAN VIEW
FROST



PROVIDE A LEVEL.
40 x 40 CRANE PAD
SEE CRANE PAD
LAYOUT DRAWING

BM24-134
These drawings are approved for final production as
per drawing notes, object sizes and descriptions
as shown on All Sheets of the drawing package.
Signature of Customer/Builder
Date
9/19/2024

DRAWING DATA:
Sold by: BRAD MELLLO
Drawn by: J BACHORSKI
Date Created: 9/9/2024
Revision #: 1
File Name: bm24-134
PROJECT NO.
BM24-134
Page 6 of 6

PLEASE CONTACT YOUR SALES REP
IF THERE ARE QUESTIONS OR CONCERNS
ABOUT THE CRANE LOCATION

PROVIDE A LEVEL
40 x 40
CRANE PAD

BM24-134
MODIFIED BY: J BACHORSKI
REV #1

50' Radius-7500LB Max Panel Weight

60' Radius-4950LB Max Panel Weight

70' Radius-3250LB Max Panel Weight



Mount Pocono Borough

Tel 570-839-8436
Fax 570-839-0981

1361 Pocono Blvd., Suite 100
Mount Pocono, PA 18344

www.mountpocono-pa.gov

October 2, 2024

Steve Argen
916 Route 390
Cresco, PA 18326

Re: 2 Mountain Drive, Mount Pocono Borough
PIN: 10635514447105, Tax ID: 10.12A.2.54

Dear Mr. Argen,

The Zoning Office has reviewed your application for the construction of a new multi-family dwelling on the property located at 2 Mountain Drive, more specifically identified by Monroe County as PIN #10635514447105 (the Property). The application cannot be approved at this time due to the following.

1. The property is located in the R-2 Zoning District and is 0.41 +/- acres.
2. In accordance with §215 Attachment 3, Table of Uses Permitted by District, of the Borough Zoning Ordinance, Multi-Family Dwellings are not permitted within the R-2 Zoning District.
3. In accordance with §215-66 of the Mount Pocono Borough Zoning Ordinance, any lawful nonconforming building, structure, or use which has been razed, damaged, or destroyed by fire may be reconstructed once conditional use approval is granted by the Borough Planning Commission and Borough Council.
4. In accordance with §215-22(F)(2) of the Borough Zoning Ordinance, two off-street parking spaces shall be provided and maintained for each residential dwelling unit. The site plan provided does not show the location or number of proposed off-street parking spaces.
5. In accordance with §215-105(C)(4) of the Borough Zoning Ordinance, the Zoning Officer may withhold issuance of a permit if there is clear knowledge by the Zoning Officer that such a use would violate another Borough, state or federal law or regulation. The Building Code Department has conducted a preliminary review of the provided construction documents and determined that they do not fully comply with the Pennsylvania Uniform Construction Code or the 2018 International Building Code (2018 IBC).
 - a. The proposed multifamily project is classified as an R-2 Occupancy Group and must comply with the requirements of the Commercial Building Code (2018 IBC).
6. In accordance with §215-105 of the Borough Zoning Ordinance, the applicant must provide satisfactory evidence of compliance with the Borough Water Ordinance.
7. In accordance with §215-105 of the Borough Zoning Ordinance, the applicant must provide satisfactory evidence of adequate sewage capacity and compliance with the Borough Sewer Ordinance.

You have the right to appeal this determination to the Mount Pocono Borough Zoning Hearing Board in accordance with §215-108 of the Mount Pocono Borough Zoning Ordinance. You must file this appeal within thirty (30) days of receipt of this notice. An appeal to the Zoning Hearing Board is not considered complete until the application fee is paid to the Borough in accordance with the Mount Pocono Borough Fee Schedule.

If you have any questions, or require additional information, please contact the Borough Zoning Office at 570-664-2023 or via email at smcglynn@sfmconsultingllc.org.

Sincerely,

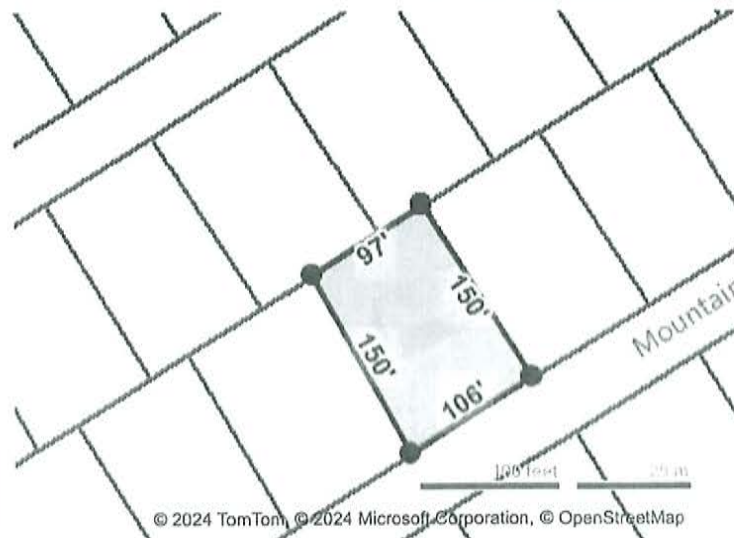
A handwritten signature in dark ink, appearing to read 'Shawn McGlynn', written in a cursive style.

Shawn McGlynn
Mount Pocono Borough Zoning Officer
SFM Consulting, LLC

Cc: Property File
James Fareri, Borough Solicitor
Marissa Duffy, Borough Manager



Monday, September 30, 2024



LOCATION

Property Address 33 Mountain Dr
Mount Pocono, PA 18344-1725

Subdivision

County Monroe County, PA

GENERAL PARCEL INFORMATION

Tax Map Number 10635514337757
 Parcel Number 10.12A.2.43
 Municipality Mount Pocono Borough
 District/Ward Mount Pocono Borough
 2020 Census Trct/Blk 3002.03/2
 Assessor Roll Year 2023

PROPERTY SUMMARY

Property Type Residential
 Land Use Household Units
 Improvement Type 3 - Family
 Square Feet 3120

CURRENT OWNER

Name 125 Mountain Brook LLC
 Mailing Address Po Box 5403
West Babylon, NY 11707-0403

SCHOOL ZONE INFORMATION

Swiftwater Elementary Center 3.0 mi
 Elementary: K to 5 Distance
 Swiftwater Intermediate School 2.8 mi
 Middle: 6 to 7 Distance
 Pocono Mountain East Junior High School 2.8 mi
 Middle-High: 8 to 9 Distance
 Pocono Mountain East High School 2.8 mi
 High: 9 to 12 Distance

SALES HISTORY THROUGH 07/31/2024

Date	Amount	Buyer/Owners	Seller	Instrument	No. Parcels	Book/Page Or Document#
3/24/2022	\$1	125 Mountain Brook LLC	Turosz Boguslaw & Daria Bruder-	\$1.00 Sale		2605/2372
9/17/2007	\$1		Turosz Boguslaw	\$1.00 Sale		2316/3247
1/24/2007	\$257,100		Dalesandro Carolyn S	All Transfer All Parcel		2294/5354
2/17/2006	\$1		Dalesandro Samuel	Multi Parcel	3	2258/3302
2/23/1987	\$24,000		Levick Edward A & Mary E			1539/981
8/22/1986	\$19,000		Galasso Michele R	Split		1506/1353
11/10/1982	\$1		Zaneri Philip A	Irrevocable Deed Of		1220/115
8/29/1979	\$9,995		Zaneri Philip A	Split		971/233

TAX ASSESSMENT

Tax Assessment	2023	2022
Appraised Land	\$27,680.00	\$27,680.00
Appraised Improvements	\$134,530.00	\$134,530.00
Total Tax Appraisal	\$162,210.00	\$162,210.00
Assessed Land	\$27,680.00	\$27,680.00
Assessed Improvements	\$134,530.00	\$134,530.00
Total Assessment	\$162,210.00	\$162,210.00
Jurisdiction Rates		
Mount Pocono Borough	6.115	
Monroe County	3.9773	
Fire	0.233	
Library	0.155	

TAXES

Tax Year	City Taxes	County Taxes	SSD Taxes	Total Taxes
2024	\$991.91	\$645.16	\$3,609.17	\$5,309.17
2023	\$991.91	\$523.50	\$3,477.78	\$5,056.12
2022	\$829.70	\$523.50	\$3,300.97	\$4,717.10
2021	\$748.60	\$586.43	\$3,228.79	\$4,563.82
2020	\$747.79	\$580.27	\$3,228.79	\$4,556.85
2019	\$909.90	\$720.34	\$4,103.35	\$5,733.59
2018	\$909.90	\$720.34	\$4,103.35	\$5,733.59
2017	\$909.90	\$720.34	\$4,103.35	\$5,733.59
2016	\$818.91	\$720.34	\$4,164.01	\$5,703.26
2015	\$818.91	\$720.34	\$4,224.67	\$5,763.92

MORTGAGE HISTORY

Date	Loan Amount	Borrower	Lender	Book/Page or Document#
01/23/2007	\$204,800	Turosz Boguslaw	Americas Wholesale Lender	2294/5358 200703214

PROPERTY CHARACTERISTICS: BUILDING

Building # 1

Type	3 - Family	Condition	Fair	Units	
Year Built	1988	Effective Year		Stories	2
BRs	7	Baths	6 F H	Rooms	8
Total Sq. Ft.	3,120				
Building Square Feet (Living Space)		Building Square Feet (Other)			
Base Area 1440		Wood Deck 12			
		Wood Deck 15			
		Wood Deck 20			
		Wood Deck 20			
		Wood Deck 20			
		Wood Deck 80			
		Wood Deck 100			
		Wood Deck 100			
		Frame Overhang 8			
		Frame Overhang 12			
		Frame Overhang 16			

Frame Overhang 16
 Frame Overhang 20
 Frame Overhang 20
 Frame Overhang 20
 Frame Overhang 20
 Frame Overhang 20
 Frame Overhang 26
 Frame Overhang 30
 Frame Overhang 32
 Enclosed Frame Porch 12
 Enclosed Frame Porch 20
 Enclosed Frame Porch 24
 Enclosed Frame Porch 40

- CONSTRUCTION

Quality	Good-	Roof Framing	
Shape		Roof Cover Deck	
Partitions		Cabinet Millwork	
Construction Style	3 - Family	Floor Finish	
Foundation	Crawl	Interior Finish	
Floor System		Air Conditioning	
Exterior Wall	Vinyl	Heat Type	Central/Electric Baseboard
Structural Framing		Bathroom Tile	
Fireplace		Plumbing Fixtures	21

- OTHER

Occupancy	Building Data Source
-----------	----------------------

PROPERTY CHARACTERISTICS: EXTRA FEATURES

No extra features were found for this parcel.

PROPERTY CHARACTERISTICS: LOT

Land Use	Household Units	Lot Dimensions	
Block/Lot	/125	Lot Square Feet	14,810
Latitude/Longitude	41.113173°/-75.376845°	Acreage	0.34

PROPERTY CHARACTERISTICS: UTILITIES/AREA

Gas Source		Road Type	
Electric Source	Public	Topography	
Water Source	Well	District Trend	
Sewer Source	Septic	School District	Pocono Mountain
Zoning Code	R-2- Residential / Residential Low Density Single-Family & Duplex		
Owner Type			

LEGAL DESCRIPTION

Subdivision		Plat Book/Page	
Block/Lot	/125	District/Ward	Mount Pocono Borough
Description	Lot 125 Sec II		
Neighborhood	10R04		

FEMA FLOOD ZONES

Zone Code	Flood Risk	BFE	Description	FIRM Panel ID	FIRM Panel Eff. Date
-----------	------------	-----	-------------	---------------	----------------------

9/30/24, 3:53 PM

CRS Data - Property Report for Parcel/Tax ID 10635514337757

X

Minimal

Area of minimal flood hazard, usually depicted on FIRMs as
above the 500-year flood level.

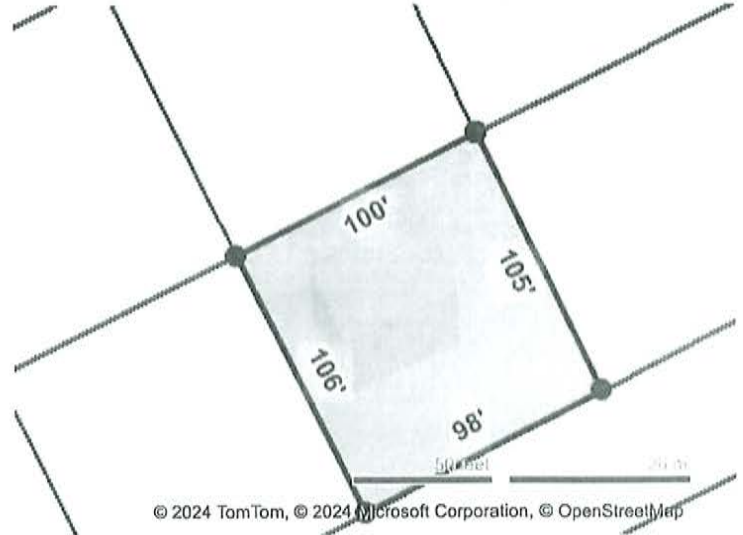
42089C0232E

05/02/2013

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Information Deemed Reliable But Not Guaranteed.



Monday, September 30, 2024



LOCATION

Property Address 16 Church Ave
Mount Pocono, PA 18344-1666

Subdivision

County Monroe County, PA

GENERAL PARCEL INFORMATION

Tax Map Number 10635508872754

Parcel Number 10.8.1.2-8

Municipality Mount Pocono Borough

District/Ward Mount Pocono Borough

2020 Census Trct/Blk 3002.03/2

Assessor Roll Year 2023

PROPERTY SUMMARY

Property Type Residential

Land Use Household Units

Improvement Type 3 - Family

Square Feet 1496

CURRENT OWNER

Name Chernomaz Vladimir

Mailing Address 145 Lower Lakeview Dr
East Stroudsburg, PA 18302-9711

SCHOOL ZONE INFORMATION

Swiftwater Elementary Center	2.5 mi
Elementary: K to 5	Distance
Swiftwater Intermediate School	2.4 mi
Middle: 6 to 7	Distance
Pocono Mountain East Junior High School	2.4 mi
Middle-High: 8 to 9	Distance
Pocono Mountain East High School	2.4 mi
High: 9 to 12	Distance

SALES HISTORY THROUGH 07/31/2024

Date	Amount	Buyer/Owners	Seller	Instrument	No. Parcels	Book/Page Or Document#
5/6/2021	\$123,500	Chernomaz Vladimir	Akten Feyzi & Bozena	All Transfer All Parcel		2576/4028
3/5/2007	\$246,000		Mieczkowski Marekth Monika	All Transfer All Parcel		2298/3077
3/9/2004	\$164,900		McDonald Kenneth Lois	All Transfer All Parcel		2183/9627
9/14/1987	\$155,000		Herbel Ingrid M			1577/1326
9/30/1980	\$1		Herbel Edward F Etux	Irrevocable Deed Of		1060/297
7/9/1979	\$64,000		Mt Pocono Electric Inc	Split		961/8
10/3/1978	\$15,000		Buchalter Allen A Etux	Irrevocable Deed Of	2	898/159
2/13/1976	\$10,000		Buchalter Allen A Etux	Split	2	683/228

TAX ASSESSMENT

Tax Assessment	2023	2022
Appraised Land	\$24,500.00	\$24,500.00
Appraised Improvements	\$183,160.00	\$180,640.00
Total Tax Appraisal	\$207,660.00	\$205,140.00
Assessed Land	\$24,500.00	\$24,500.00
Assessed Improvements	\$183,160.00	\$180,640.00
Total Assessment	\$207,660.00	\$205,140.00
Jurisdiction Rates		
Mount Pocono Borough	6.115	
Monroe County	3.9773	
Fire	0.233	
Library	0.155	

TAXES

Tax Year	City Taxes	County Taxes	SSD Taxes	Total Taxes
2024	\$1,269.84	\$825.93	\$4,620.44	\$6,796.78
2023	\$1,269.84	\$670.18	\$4,452.23	\$6,472.82
2022	\$1,049.29	\$662.05	\$4,174.60	\$5,965.54
2021	\$946.72	\$741.65	\$4,083.31	\$5,771.68
2020	\$945.70	\$733.85	\$4,083.31	\$5,762.86
2019	\$668.40	\$529.15	\$3,014.26	\$4,211.81
2018	\$668.40	\$529.15	\$3,014.26	\$4,211.81
2017	\$668.40	\$529.15	\$3,014.26	\$4,211.81
2016	\$601.56	\$529.15	\$3,058.82	\$4,189.53
2015	\$601.56	\$529.15	\$3,103.38	\$4,234.09

MORTGAGE HISTORY

Date	Loan Amount	Borrower	Lender	Book/Page or Document#
02/15/2007	\$120,000	Akten Feyzi Akten Bozena	Americas Wholesale Lender	2298/3081 200708743
04/28/2006	\$148,000	Rochelly Rodriguez Rodriguez Mary Ann	Mortgage Lenders	2265/8083 200618166
07/21/2005	\$38,000	Meczowski Marek Meczowski Monika	Citibank	2234/8784 200534126
01/06/2005	\$258,948	Latanich Nancy	Afc First Financial	2214/2443 200503318

PROPERTY CHARACTERISTICS: BUILDING**Building # 1**

Type	3 - Family	Condition	Good	Units	
Year Built	1979	Effective Year		Stories	1
BRs	5	Baths	3 F H	Rooms	7
Total Sq. Ft.	1,496				
Building Square Feet (Living Space)		Building Square Feet (Other)			
Base Area 1378		Full Finished Basement 1378			
		Wood Deck 252			
		Frame Overhang 32			
		Frame Overhang 42			
		Frame Overhang 44			

- CONSTRUCTION

Quality	Average	Roof Framing	
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Shape		Roof Cover Deck	
Partitions		Cabinet Millwork	
Construction Style	3 - Family	Floor Finish	
Foundation	Basement	Interior Finish	
Floor System		Air Conditioning	Central Ac
Exterior Wall	Aluminum	Heat Type	Central/Electric Baseboard
Structural Framing		Bathroom Tile	
Fireplace	Y	Plumbing Fixtures	15
- OTHER			
Occupancy		Building Data Source	

PROPERTY CHARACTERISTICS: EXTRA FEATURES

No extra features were found for this parcel.

PROPERTY CHARACTERISTICS: LOT

Land Use	Household Units	Lot Dimensions	
Block/Lot	/3	Lot Square Feet	10,890
Latitude/Longitude	41.123751°/-75.360166°	Acreage	0.25

PROPERTY CHARACTERISTICS: UTILITIES/AREA

Gas Source	Public	Road Type	
Electric Source	Public	Topography	
Water Source	Public	District Trend	
Sewer Source	Public	School District	Pocono Mountain
Zoning Code	R-1- Residential / Residential Low Density Single-Family		
Owner Type			

LEGAL DESCRIPTION

Subdivision		Plat Book/Page	
Block/Lot	/3	District/Ward	Mount Pocono Borough
Description	Lot 3		
Neighborhood	10C04		

FEMA FLOOD ZONES

Zone Code	Flood Risk	BFE	Description	FIRM Panel ID	FIRM Panel Eff. Date
X	Minimal		Area of minimal flood hazard, usually depicted on FIRMs as above the 500-year flood level.	42089C0251E	05/02/2013

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