



**AGENDA
REGULAR MEETING**

**City Council of the Town of Colma
Colma Community Center
1520 Hillside Boulevard
Colma, CA 94014**

**Wednesday, April 12, 2017
7:00 PM**

PLEDGE OF ALLEGIANCE AND ROLL CALL

ADOPTION OF AGENDA

PRESENTATIONS

- Introduction of New Recreation Employees Christian Huertas, Araceli Vieyra, Abigail Calderon
- National Donate Life Month Proclamation
- Officer Kim Trask – Peninsula Council of Lions Club Service Award Winner

PUBLIC COMMENTS

Comments on the Consent Calendar and Non-Agenda Items will be heard at this time.
Comments on Agenda Items will be heard when the item is called.

CONSENT CALENDAR

1. Motion to Accept the Minutes from the March 22, 2017 Regular Meeting.
2. Motion to Approve Report of Checks Paid for March 2017.
3. Motion to Ordinance Amending Subchapter 4.07 of the Colma Municipal Code, Relating to Sign Regulations Pursuant to CEQA Guideline 15061(b)(3) and 15311 (second reading).
4. Motion to Accept Informational Report on Recreation Department Programs, Activities, Events, and Trips for the First Quarter of 2017.
5. Motion to Adopt a Resolution Approving Revisions to the Master Sign Program for Serra Center and Approving a Sign Permit for a Shared Pole Sign, Entry Signs, New Target Pole Sign and Aaron Brothers Wall Signs Pursuant to CEQA Guideline 15311.

STUDY SESSION

6. NEW TOWN WEBSITE

This item is for discussion only; no action will be taken at this meeting.

REPORTS

Mayor/City Council

City Manager

ADJOURNMENT

The City Council Meeting Agenda Packet and supporting documents are available for review at the Colma Town Hall, 1188 El Camino Real, Colma, CA during normal business hours (Mon – Fri 8am-5pm). Persons interested in obtaining an agenda via e-mail should call Caitlin Corley at 650-997-8300 or email a request to ccorley@colma.ca.gov.

Reasonable Accommodation

Upon request, this publication will be made available in appropriate alternative formats to persons with disabilities, as required by the Americans with Disabilities Act of 1990. Any person with a disability, who requires a modification or accommodation to view the agenda, should direct such a request to Brian Dossey, ADA Coordinator, at 650-997-8300 or brian.dossey@colma.ca.gov. Please allow two business days for your request to be processed.

**MINUTES
REGULAR MEETING**

City Council of the Town of Colma
Colma Community Center, 1520 Hillside Boulevard
Colma, CA 94014

Wednesday, March 22, 2017

7:00 p.m.

CALL TO ORDER

Mayor Helen Fisicaro called the Regular Meeting of the City Council to order at 7:05 p.m.

Council Present – Mayor Helen Fisicaro, Vice Mayor Raquel “Rae” Gonzalez, Council Members Joanne F. del Rosario, John Irish Goodwin and Diana Colvin were all present.

Staff Present – City Manager Sean Rabé, City Attorney Christopher Diaz, Chief of Police Kirk Stratton, Director of Public Works Brad Donohue, City Planner Michael Laughlin, City Clerk Caitlin Corley and Assistant Planner Jonathan Kwan were in attendance.

ADOPTION OF THE AGENDA

Mayor Fisicaro asked if there were any proposed changes to the agenda. None were requested. The Mayor asked for a motion to adopt the agenda.

Action: Council Member del Rosario moved to adopt the agenda; the motion was seconded by Council Member Colvin and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fisicaro, Mayor	✓				
Raquel Gonzalez	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
	5	0			

PRESENTATION

- Mayor Fisicaro announced that Colma would be participating in the National Mayor’s Challenge for Water Conservation, April 1-30, 2017.
- Police Commander Sherwin Lum introduced new Police Officer Daivy Ly.

PUBLIC COMMENTS

Mayor Fisicaro opened the public comment period at 7:12 p.m. and seeing no one come forward to speak, she closed the public comment period.

CONSENT CALENDAR

1. Motion to Accept the Minutes from the March 8, 2017 Regular Meeting.
2. Motion to Adopt an Ordinance Amending Various Provisions in Chapter 5 and Adding Subchapter 5.19 to the Colma Municipal Code Regarding Accessory Dwelling Unit

Regulations and Finding the Ordinance to be Statutorily Exempt from Environmental Review Pursuant to Public Resources Code Section 21080.17 (second reading).

Action: Vice Mayor Gonzalez moved to approve the Consent Calendar item #1-2; the motion was seconded by Council Member del Rosario and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor	✓				
Raquel Gonzalez	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
	5	0			

PUBLIC HEARING

3. SIGN REGULATION ORDINANCE – MASTER SIGN PROGRAM

City Planner Michael Laughlin presented the staff report. Mayor Fiscaro opened the public hearing at 7:24 p.m. and seeing no one come forward to speak, she closed the public hearing. Council discussion followed.

Action: Vice Mayor Gonzalez made a motion to Introduce an Ordinance Amending Subchapter 4.07 of the Colma Municipal Code, Relating to Sign Regulations Pursuant to CEQA Guideline 15061(b)(3), and Waive a Further Reading of the Ordinance; the motion was seconded by Council Member del Rosario and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor	✓				
Raquel Gonzalez	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
	5	0			

4. SERRA CENTER – MASTER SIGN PROGRAM REVISIONS & SIGN PERMIT

Assistant Planner Jonathan Kwan presented the staff report. Mayor Fiscaro opened the public hearing at 8:00 p.m. and seeing no one come forward to speak, she closed the public hearing. Council discussion followed.

Action: Council Member Colvin made a motion to Resolution Approving Revisions to the Master Sign Program for Serra Center and Approving a Sign Permit for a Shared Pole Sign, Entry Signs, New Target Pole Sign and Aaron Brothers Wall Signs Pursuant to CEQA Guideline 15311; the motion was seconded by Council Member del Rosario and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor	✓				
Raquel Gonzalez	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin		✓			
Diana Colvin	✓				
	4	1			

NEW BUSINESS

5. PROCLAMATION DECLARING COLMA'S COMMITMENT AS AN INCLUSIVE COMMUNITY

City Manager Sean Rabé presented the staff report. Mayor Fiscaro opened the public comment period at 8:21 p.m. and seeing no one come forward to speak, she closed the public hearing. Council discussion followed.

Action: Mayor Fiscaro made a motion Proclaiming the Town of Colma's Commitment to Being a Welcoming, Inclusive, Tolerant and Protective Community; the motion was seconded by Council Member Colvin and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor	✓				
Raquel Gonzalez	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
	5	0			

STUDY SESSION

6. STERLING PARK PARKING ISSUES

Police Chief Kirk Stratton presented the staff report. Mayor Fiscaro opened the public comment period at 8:33 p.m. The following people made comments: Liz Taylor, Russ Krause, Mary Healy, Lisa Sirianni, Ray Boudewyn, Crystal Figlietti, Kathleen Garrett, Yvette Cortez, Shirley Stone, and Mary Brodzin. The Mayor closed the public hearing at 9:09 p.m. Council discussion followed.

COUNCIL CALENDARING

The next Regular City Council Meetings will be on Wednesday, April 12, 2017 at 7:00 p.m. and Wednesday, April 26, 2017 at 7:00 p.m.

REPORTS

City Manager Sean Rabé gave a report on the following topics:

- Family Game Night will be on Friday, March 24, 2017.
- The Eggstravaganza will be on Saturday, April 15, 2017.
- CDA Cares will be putting on a free dental clinic on Saturday, April 22, 2017.

ADJOURNMENT AND CLOSE IN MEMORY

The meeting was adjourned by Mayor Fisicaro at 9:30 p.m. in memory of Lernore Verducci, wife of former founder of Serramonte Ford, Frank Verducci.

Respectfully submitted,

Caitlin Corley
City Clerk

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45437	3/3/2017	00068	03032017 B	3/3/2017	COLMA PEACE OFFICERS: P/	652.14	652.14
45438	3/3/2017	00631	03032017 B	3/3/2017	PERS - BUYBACK: PAYMENT	26,389.96	
			03032017 B	3/3/2017	PERS MISC NON-TAX: PAYME	10,532.00	
			03032017 M	3/3/2017	PERS MISC NON-TAX: PAYME	587.18	
			03032017 S	3/3/2017	PERS - POLICE - SAFETY: PA	555.60	
			03032017 S	3/3/2017	PERS MISC NON-TAX: PAYME	35.06	38,099.80
45439	3/3/2017	01340	03032017 B	3/3/2017	FLEX 125 PLAN: PAYMENT	342.70	342.70
45440	3/3/2017	01360	03032017 B	3/3/2017	ICMA CONTRIBUTION: PAYME	3,367.00	
			03032017 M	3/3/2017	ICMA CONTRIBUTION: PAYME	450.00	3,817.00
45441	3/3/2017	01375	03032017 B	3/3/2017	NATIONWIDE: PAYMENT	5,700.00	
			03032017 M	3/3/2017	NATIONWIDE: PAYMENT	1,200.00	6,900.00
45442	3/3/2017	02377	03032017 B	3/3/2017	CALIFORNIA STATE DISBURS: PAYM	917.53	917.53
45443	3/3/2017	02944	03032017 B	3/3/2017	PEACE OFFICERS RESEARCH: PAYM	24.00	24.00
45444	3/3/2017	02945	03032017 B	3/3/2017	PORAC LEGAL DEFENSE FUN: PAYM	275.40	275.40
93446	3/3/2017	00130	03032017 S	3/3/2017	EMPLOYMENT DEVELOPMEN: PAYM	22.83	22.83
93447	3/3/2017	00521	03032017 S	3/3/2017	STATE DI/SUI TAX: PAYMENT	408.71	408.71
93448	3/3/2017	00521	03032017 M	3/3/2017	FEDERAL TAX: PAYMENT	940.97	940.97
93469	3/3/2017	00130	03032017 B	3/3/2017	FEDERAL TAX: PAYMENT	9,289.52	9,289.52
93470	3/3/2017	00521	03032017 B	3/3/2017	CALIFORNIA STATE TAX: PAY	49,351.39	49,351.39
					FEDERAL TAX: PAYMENT		
b total for FIRST NATIONAL BANK OF DALY CITY:							111,041.99

13 checks in this report.

Grand Total All Checks:

111,041.99

Final Check List
Town of Colma

apChkLst
03/06/2017 1:24:25PM

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45445	3/6/2017	00004	000009263316	2/13/2017	C3A1210TS01 01/13/17-02/12/	1,491.44	1,491.44
45446	3/6/2017	00051	AT&T CALIFORNIA WATER SERVICE6544607057	2/15/2017	6544607057 S.W. CORNER HI	126.17	
45447	3/6/2017	00071	1727052702	2/10/2017	1727052702 JSB ACROSS FR	74.45	200.62
45448	3/6/2017	00093	CSG CONSULTANTS, INC. CITY OF SOUTH SAN FRANCISCO	12/31/16 - 01/27, 2/27/2017	CSG TRAFFIC SIGNAL MAINTENANCE	97,684.21	97,684.21
45449	3/6/2017	00140	FIRST NAT BANK OF NO CA	02/19/17 Tapia	2/17/2017	5,588.25	5,588.25
				02/19/17 Morque	2/19/2017	2,635.31	
				02/19/17 Corley	2/19/2017	2,565.76	
				02/19/17 Gogan	2/19/2017	1,774.80	
				02/19/17 Pfofent	2/19/2017	1,506.97	
				02/19/17 Fisicart	2/19/2017	1,353.24	
				02/19/17 Stratfor	2/28/2017	700.00	
				02/19/17 Rabe	2/19/2017	650.00	
				02/19/17 Jordan	2/19/2017	450.01	
45450	3/6/2017	00148	VALLERGA, FROSSANNA	02/19/17 Jordan	2/19/2017	311.90	11,947.99
45451	3/6/2017	00208	SILVA, KAREN	April - May 2017	2/28/2017	945.92	945.92
45452	3/6/2017	00254	METRO MOBILE COMMUNICA	Jan - March 2017	3/3/2017	426.75	426.75
45453	3/6/2017	00307	PACIFIC GAS & ELECTRIC	170308	3/1/2017	602.00	602.00
				0512181543-4	2/10/2017	1,831.92	
				0678090639-9	2/17/2017	52.87	
				9593452526-2	2/17/2017	31.00	1,915.79
45454	3/6/2017	00345	SMC SHERIFF'S OFFICE	Driver Training Uj	3/3/2017	450.00	450.00
45455	3/6/2017	00364	SMC SHERIFF'S OFFICE	CL05065	2/28/2017	570.00	570.00
45456	3/6/2017	00432	VISION SERVICE PLAN	March 2017	2/28/2017	1,029.10	1,029.10
45457	3/6/2017	00507	COLMA FIRE DISTRICT	Annual Inspectio	2/28/2017	750.00	750.00
45458	3/6/2017	01030	STEPFORD, INC.	1701205	2/20/2017	5,622.00	
				1701141	2/14/2017	1,232.74	
				1701155	2/20/2017	348.75	7,203.49
45459	3/6/2017	01037	COMCAST CABLE	02/25-03/24 Intel	2/20/2017	286.16	
				02/25-03/24 427	2/24/2017	236.16	
				10075835	2/28/2017	75.00	522.32
45460	3/6/2017	01340	NAVIA BENEFIT SOLUTIONS	Jan 2017	2/28/2017	540.00	75.00
45461	3/6/2017	01367	DUO DANCE ACADEMY	2000730.003	2/27/2017	50.00	540.00
45462	3/6/2017	01472	DELATORRE, MARIELA	HR Directors's S	3/3/2017	200.00	200.00
45463	3/6/2017	01541	NORCAL HUMAN RESOURCE	Feb 1, 15 & 28 R	2/28/2017	72.51	72.51
45464	3/6/2017	01549	BURNS, LORI				

Bank : first FIRST NATIONAL BANK OF DALY (Continued)

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45465	3/6/2017	01569	DARLING INTERNATIONAL IN(600:2908995	2/28/2017	TRAP SERVICE CHARGE	102.71	102.71
45466	3/6/2017	01808	THIRD DEGREE COMMUNICATactics for Critic	3/3/2017	MAY 2, 2017 TACTICS FOR CF	225.00	225.00
45467	3/6/2017	01840	HOSS, GARY B. Pre-Employment	2/26/2017	PRE-EMPLOYMENT POLYGR/	300.00	300.00
45468	3/6/2017	01919	COLLICUTT ENERGY SERVICI47488	2/20/2017	SEMI-ANNUAL INSPECTION	500.00	500.00
45469	3/6/2017	01995	CELESTE, MIKE L. 17-0301	3/1/2017	CARDROOM BACKGROUND	1,100.00	1,100.00
45470	3/6/2017	02082	VINCE'S OFFICE SUPPLY, INCFeb 2017	2/28/2017	OFFICE SUPPLIES	499.91	499.91
45471	3/6/2017	02144	DOMINICA. DE LUCCA DBA D1743	2/21/2017	TAE KWON DO	1,100.00	1,100.00
45472	3/6/2017	02150	COLOMBO, EMIL L. AND DORI1067	3/1/2017	03/01/17 INNER PERSPECTIV	462.70	462.70
45473	3/6/2017	02179	HUB INTERNATIONAL OF CA Feb 2017	2/28/2017	INSURANCE EVENTS	499.78	499.78
45474	3/6/2017	02190	GOGAN, REA March 1-2 Reimt	3/2/2017	MARCH 1-2 MILEAGE & FOOL	50.44	50.44
45475	3/6/2017	02258	KIM, SEUNG NAM Winter 2017 Goll	2/25/2017	GOLF LESSONS	560.00	560.00
45476	3/6/2017	02510	REGIONAL GOVERNMENT SE6610	12/31/2016	CONTRACT FINANCE SERVIC	5,305.00	5,305.00
45477	3/6/2017	02583	CRIME SCENE CLEANERS, IN65728	2/23/2017	CAR #4 CLEAN & DISINFECT	70.00	70.00
45478	3/6/2017	02699	NISHITA, KEVIN Feb 28-March 1	3/3/2017	FEB 28-MARCH 1, 2017 MEAL	109.12	109.12
45479	3/6/2017	02750	SMARTSIGN RTS-97811	2/14/2017	STATE LAW YIELD TO PEDES	998.96	998.96
45480	3/6/2017	02762	CORNERSTONE EARTH GRO10045	2/3/2017	PMT #10 DEC 10, 2016 - FEB	102.00	102.00
45481	3/6/2017	02793	DITO'S MOTORS 15607	2/28/2017	#7 OIL & FILTER CHANGE, RE	479.91	479.91
			15603	2/28/2017	#2 OIL & FILTER CHANGE	40.00	519.91
45482	3/6/2017	02827	CORODATA SHREDDING, INC.DN1147364	1/31/2017	SHREDDING	78.00	78.00
45483	3/6/2017	02913	FARALLON COMPANY 1609-2	1/10/2017	PMT #2 FOUNDATION WORK	393,487.55	393,487.55
45484	3/6/2017	02921	DELA CRUZ, SHANNON 2000729.003	2/27/2017	02/27/17 DEPOSIT REFUND	50.00	50.00
45485	3/6/2017	02935	EMCOR SERVICES-MESA ENE001276514	2/13/2017	INSTALL FILTER RACK, REST,	335.20	335.20
45486	3/6/2017	02984	TRUKA, KATHERINE M. 1002	2/21/2017	YOGA FOR STRESS RELIEF	2,340.00	2,340.00
45487	3/6/2017	02997	LAM HAULING, INC. 01297	2/1/2017	01/10/17 FIX FALLEN FENCE,	200.00	200.00
			00774	12/10/2016	12/06/17 REMOVE EXISTING I	100.00	300.00
45488	3/6/2017	03001	WRA, INC. 23074-28760	1/31/2017	JAN 2017 1670-1692 MISSION	6,223.00	6,223.00
45489	3/6/2017	03005	RUAN, JAVIER 2000727.003	2/27/2017	02/27/17 DEPOSIT REFUND	300.00	300.00
45490	3/6/2017	03022	RANGEL, LAURA 2000728.003	2/27/2017	02/27/17 DEPOSIT REFUND	150.00	150.00
45491	3/6/2017	03023	FACTUALDIAGRAMS.COM Forensic Mappin	3/3/2017	MAY 8-12, 2017 FORENSIC M/	695.00	695.00
45492	3/6/2017	03024	BJORKQUIST, KENT 2000731.003	3/6/2017	02/28/17 DEPOSIT REFUND	275.00	275.00
45493	3/6/2017	03025	LANKFORD CONSTRUCTION 907B Refund	3/1/2017	907B C & D REFUND (09/08/17	1,000.00	1,000.00
b total for FIRST NATIONAL BANK OF DALY CITY:						550,004.67	

49 checks in this report.

Grand Total All Checks:

550,004.67

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45494	3/13/2017	00013	Feb 2017	2/28/2017	TIRE SERVICE	310.15	310.15
45495	3/13/2017	00051	Feb 2017	2/27/2017	WATER BILL	2,841.58	2,841.58
45496	3/13/2017	00057	Feb 2017	2/28/2017	CLEANING SERVICE	1,068.20	1,068.20
45497	3/13/2017	00057	8403082619	2/24/2017	PW FIRST AID SUPPLIES	34.72	34.72
45498	3/13/2017	00181	21524	3/1/2017	LABOR RELATIONS CONSULT	1,324.00	1,324.00
45499	3/13/2017	00280	910152815001	2/28/2017	PAPER	48.01	48.01
45500	3/13/2017	00307	2043354941	2/27/2017	COVER REPORTS	12.50	60.51
45501	3/13/2017	00334	02/23/2017	2/23/2017	PG&E	2,428.24	2,428.24
45502	3/13/2017	00345	03/01/2017	3/1/2017	PG&E	153.39	2,581.63
45503	3/13/2017	00388	4/24-5/25 Supen	3/9/2017	APR 24-MAY 5, 2017 VITALE S	250.00	250.00
45504	3/13/2017	00412	May 16-17, 2017	3/9/2017	MAY 16-17, 2017 MERCADO I	450.00	450.00
45505	3/13/2017	00500	1298453-IN	3/1/2017	427 F ST. MONTHLY MONITO	113.00	113.00
45506	3/13/2017	00507	TELECOMMUNICATIONS ENG44715	3/5/2017	02/22/17 ONSITE TECHNICAL	125.00	125.00
45507	3/13/2017	00775	SMC CONTROLLERS OFFICE Feb 2017	3/6/2017	ALLOCATION OF PARKING PE	1,409.80	1,409.80
45508	3/13/2017	01037	COLMA FIRE DISTRICT	3/8/2017	1180 EL CAMINO ANNUAL INS	125.00	125.00
45509	3/13/2017	01039	PANIAGUA, RUBY	3/6/2017	03.06.17 WINE TASTING IN SC	36.00	36.00
45510	3/13/2017	01457	COMCAST CABLE	2/26/2017	8155 20 022 0094769 TOWN C	13,377.71	13,618.87
45511	3/13/2017	01729	CONTRA COSTA COUNTY SHI	2/27/2017	8155 20 022 0097069 INTERNI	241.16	248.00
45512	3/13/2017	01800	BATERINA, BARBARA	3/7/2017	APRIL 10-14, 2017 RECORDS	248.00	248.00
45513	3/13/2017	01860	PENINSULA COUNCIL OF LIO	3/9/2017	03.07.17 CREATIVE CARD MA	3.00	3.00
45514	3/13/2017	01987	VITALE, JAMES	3/9/2017	03/31/17 POLICE & FIRE AWA	165.00	165.00
45515	3/13/2017	02216	ROQUE, EMILIO	3/2/2017	FEB 20-23, 2017 FTO UPDATE	75.81	75.81
45516	3/13/2017	02274	GONZALEZ, GUSTAVO O.	3/2/2017	02/28/17 SAN BERNARDINO II	71.48	147.29
45517	3/13/2017	02301	RAMOS OIL CO. INC.	3/6/2017	03.06.17 YOUTH COOKING CI	8.00	8.00
45518	3/13/2017	02510	FRANK AND GROSSMAN LANI	3/6/2017	03.06.17 DEPOSIT REFUND	50.00	50.00
45519	3/13/2017	02520	ALLISON, SUZANNE MICHELL	3/6/2017	03.06.17 DEPOSIT REFUND	1,171.62	1,171.62
45520	3/13/2017	02583	REGIONAL GOVERNMENT SE6802	2/10/2017	PD GASOLINE PURCHASES 1	910.96	910.96
			BEGGS, ERLINDA	2/28/2017	PD GASOLINE PURCHASES 2	884.93	884.93
			CRIME SCENE CLEANERS, IN	2/20/2017	PD GASOLINE PURCHASES 1	10,608.00	10,608.00
				3/1/2017	LANDSCAPE MAINTENANCE	50.00	50.00
				3/6/2017	03.06.17 DEPOSIT REFUND	5,567.50	5,567.50
				2/28/2017	CONTRACT FINANCE SERVIC	380.00	380.00
				3/6/2017	03.06.17 DEPOSIT REFUND	275.00	275.00
				3/2/2017	CAR #3 CLEAN & DISINFECT,	70.00	70.00

Bank : first FIRST NATIONAL BANK OF DALY (Continued)

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45521	3/13/2017	02585	NHAADVISORS, LLC	3/5/2017	CREDIT CARD CHARGE	2,000.00	2,000.00
45522	3/13/2017	02637	Z.A.P. MANUFACTURING INC. 45929	2/27/2017	2 30X36 "BARK PARK" SIGNS	354.13	354.13
45523	3/13/2017	02660	FEISTER, WILLIAM J. 2017-02	3/1/2017	PRE-EMPLOYMENT PSYCHO	350.00	350.00
45524	3/13/2017	02700	FBINAA CA SF 03/30/17 FBI Lur	3/6/2017	03/30/17 FBI NAA LUNCH	70.00	70.00
45525	3/13/2017	02715	BAY SCREENS & BLINDS 8762	2/6/2017	13 REPAIR CORDS WITH 1 YE	975.00	975.00
45526	3/13/2017	02743	UTILITY TELEPHONE, INC March 2017	3/1/2017	INTERNET ACCESS 128070	697.92	697.92
45527	3/13/2017	02788	LUNA-SEVILLA, MARGARET-RJan 7-Feb 25 Pa	3/6/2017	PALANGO & TONING COMBO	280.00	280.00
45528	3/13/2017	02799	WAVE 01732481	2/23/2017	RIMS INTERNET W/SSF	400.00	400.00
45529	3/13/2017	02864	MOBILE MODULAR MANAGEM1248344	2/17/2017	24 X 60 HCD OFFICE RENTAL	719.71	
			1243153	2/11/2017	8 X 20 OFFICE HCD, RAMP RI	438.37	1,158.08
45530	3/13/2017	02935	EMCOR SERVICES-MESA ENE001277474	2/24/2017	AC1 REPLACE FAN GUARD, F	1,635.00	
			001277473	2/24/2017	INSTALL NEW SECONDARY C	1,170.00	
			001269554	12/8/2016	UNIT F HEATER SERVICE	288.00	3,093.00
45531	3/13/2017	03015	U.S. BANK CORPORATE PMT 02/22/2017 Doss	2/22/2017	CREDIT CARD CHARGE	1,461.81	
			02/22/17 Corley	2/22/2017	CREDIT CARD CHARGE	155.88	
			02/22/17 De Leo	2/22/2017	CREDIT CARD PURCHASE	108.95	
			02/22/17 Rabe	2/22/2017	CREDIT CARD CHARGE	43.49	1,770.13
45532	3/13/2017	03026	B STREET COLMA, LLC 954B Refund	3/7/2017	954B C&D REFUND (02/09/17)	1,000.00	1,000.00
45533	3/13/2017	03027	JENSEN INSTRUMENT CO OF 17985	3/2/2017	CALIBRATION	25.00	25.00
45534	3/13/2017	03028	BULK INDUSTRIES, INC. 17-9310	2/28/2017	2 F134W-ESCUTCHEON-TYC	191.99	191.99
total for FIRST NATIONAL BANK OF DALY CITY:						57,253.01	

41 checks in this report.

Grand Total All Checks:

57,253.01

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45535	3/17/2017	00047	03172017 B	3/17/2017	CLEA: PAYMENT	294.00	294.00
45536	3/17/2017	00068	03172017 B	3/17/2017	COLMA PEACE OFFICERS: P/	652.14	652.14
45537	3/17/2017	00282	03172017 B	3/17/2017	APRIL 2017 ACTIVE PREMIUM	59,640.89	59,640.89
45538	3/17/2017	00631	03172017 B	3/17/2017	PERS - BUYBACK: PAYMENT	26,419.16	
			03172017 B	3/17/2017	PERS MISC NON-TAX: PAYME	10,536.49	36,955.65
45539	3/17/2017	01340	03172017 B	3/17/2017	FLEX 125 PLAN: PAYMENT	342.70	342.70
45540	3/17/2017	01360	03172017 B	3/17/2017	ICMA CONTRIBUTION: PAYME	3,367.00	3,367.00
45541	3/17/2017	01375	03172017 B	3/17/2017	NATIONWIDE: PAYMENT	5,700.00	5,700.00
45542	3/17/2017	02224	03172017 B	3/17/2017	LIFE INSURANCE: PAYMENT	384.00	384.00
45543	3/17/2017	02377	03172017 B	3/17/2017	WAGE GARNISHMENT: PAYM	917.53	917.53
93471	3/17/2017	00130	03172017 B	3/17/2017	CALIFORNIA STATE TAX: PAY	9,287.48	9,287.48
93472	3/17/2017	00521	03172017 B	3/17/2017	FEDERAL TAX: PAYMENT	49,323.13	49,323.13

b total for FIRST NATIONAL BANK OF DALY CITY: 166,864.52

11 checks in this report.

Grand Total All Checks:

166,864.52

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45544	3/20/2017	00020	ASSOCIATED SERVICES INC 117030914	3/1/2017	MARCH 2017 RENTAL FLAVIA	96.00	
			117031956	3/6/2017	5 SPRING WATER 5 GAL	31.25	127.25
45545	3/20/2017	00044	BROADMOOR TOW 11900	2/28/2017	TOW AND TIRE CHANGE	35.00	35.00
45546	3/20/2017	00071	CSG CONSULTANTS, INC. 01/28/17 - 02/24	3/13/2017	CSG	109,786.25	109,786.25
45547	3/20/2017	00093	CITY OF SOUTH SAN FRANCISCO 516769	3/10/2017	DISPATCH SERVICES	9,213.71	9,213.71
45548	3/20/2017	00112	DEPARTMENT OF JUSTICE 219060	3/6/2017	PD ACCOUNT #140503	356.00	356.00
45549	3/20/2017	00169	JENKINS, HEIDI 1447	3/17/2017	PLANT MAINTENANCE	520.00	520.00
45550	3/20/2017	00174	HOME DEPOT CREDIT SERVICE 02/27/2017	2/27/2017	PW PURCHASES JAN 31 - FE	648.87	648.87
45551	3/20/2017	00282	CALIFORNIA PUBLIC EMPLOY 1000000149279	3/14/2017	MEDICAL INSURANCE	8,160.93	8,160.93
45552	3/20/2017	00307	PACIFIC GAS & ELECTRIC 3007220528-6	3/9/2017	3007220528-6 1199 EL CAMINO	2,573.79	
			6991706865-7	3/9/2017	6991706865-7 1190 EL CAMINO	648.73	
45553	3/20/2017	00412	TELECOMMUNICATIONS ENG44749	3/10/2017	Facilities Mgmt & Maintenance	1,328.00	3,222.52
45554	3/20/2017	00414	TERMINEX INTERNATIONAL L362939159	3/15/2017	PEST CONTROL	433.00	1,328.00
			362939160	3/15/2017	601 F St.	61.00	494.00
45555	3/20/2017	00534	SMC INFORMATION SERVICE:1YCL11702	3/9/2017	MICRO CHANNEL & LINES	880.00	880.00
45556	3/20/2017	00623	ARAMARK Feb 2017	2/28/2017	UNIFORM SERVICE	412.00	412.00
45557	3/20/2017	00659	ADAMSON POLICE PRODUCT INV239059	3/7/2017	2 P320 45 ACP CARRY NS & 2	10,263.83	10,263.83
45558	3/20/2017	00928	SUPPLYWORKS 393656855	3/3/2017	6 PERSONAL PRODUCT DISF	188.21	188.21
45559	3/20/2017	01037	COMCAST CABLE 03/11-04/10 601	3/7/2017	8155 20 022 0096715 601 F ST	106.16	106.16
45560	3/20/2017	01183	BEST BEST & KRIEGER LLP 791133	3/7/2017	CITY ATTORNEY SERVICES	17,271.47	
			791135	3/7/2017	CITY ATTORNEY EMPLOYEE	2,285.10	
			791134	3/7/2017	CITY ATTORNEY SPECIAL SE	1,301.90	
			791136	3/7/2017	CITY ATTORNEY THIRD PART	1,067.17	
			791137	3/7/2017	CITY ATTORNEY BASIC SERV	140.55	22,066.19
45561	3/20/2017	01189	DEPARTMENT OF MOTOR VE 2017 CA Vehicle	3/15/2017	2017 CA VEHICLE CODE BOO	84.61	84.61
45562	3/20/2017	01399	WESTLAKE TOUCHLESS CARFeb 2017	3/1/2017	PD CAR WASH	13.95	13.95
45563	3/20/2017	01565	BAY CONTRACT MAINTENANCEMarch 2017	3/10/2017	JANITORIAL SERVICES	8,038.84	
			18772	3/10/2017	PAPER SUPPLIES	892.26	8,931.10
45564	3/20/2017	01687	UNITED SITE SERVICES OF 114-5032504	3/13/2017	STANDARD AND REGULAR SI	135.85	135.85
45565	3/20/2017	02182	DALY CITY KUMON CENTER Feb 2017	3/8/2017	TUTORING	4,765.00	4,765.00
45566	3/20/2017	02219	PACIFIC WATER ART, INC. 56073	3/8/2017	NEW WATER LEVEL REFERE	480.00	480.00
45567	3/20/2017	02274	FRANK AND GROSSMAN LANI40446944	2/28/2017	02/17/17 REPAIR WATER LEA	314.03	314.03
45568	3/20/2017	02357	GHILARDUCCI, VERONICA 2000744.003	3/13/2017	03.13.17 DEPOSIT REFUND	350.00	
			2000743.003	3/13/2017	03.13.17 DEPOSIT REFUND	300.00	650.00

Bank : first FIRST NATIONAL BANK OF DALY (Continued)

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45569	3/20/2017	02499	98453925	3/7/2017	PD COPY MACHINE RENTAL	1,007.31	1,007.31
45570	3/20/2017	02552	2000742.003	3/13/2017	03.13.17 DEPOSIT REFUND	50.00	50.00
45571	3/20/2017	02709	2000737.003	3/6/2017	03.06.17 DEPOSIT REFUND	275.00	275.00
45572	3/20/2017	02793	15512	3/10/2017	#5 REPLACE WATTS LINK & L	1,252.41	
			15437	3/10/2017	#5 REPLACE FRONT BRAKE I	481.14	1,733.55
45573	3/20/2017	02913	1601-11r2	3/8/2017	PMT #7 FEBRUARY 2017	30,098.60	30,098.60
45574	3/20/2017	02946	March 5-10, 201	3/13/2017	MARCH 5-10, 2017 MEALS & I	235.38	
			03/14/17 Mileage	3/15/2017	03/14/17 MILEAGE REIMBURS	23.97	259.35
45575	3/20/2017	02970	31413	12/16/2016	300 PLANNING RECEIPTS #1	261.60	261.60
45576	3/20/2017	03001	23074-28448	12/31/2016	1670-1692 MISSION ROAD CE	4,287.25	4,287.25
45577	3/20/2017	03029	4308152	3/6/2017	19' ELECTRIC SCISSORLIFT	578.00	578.00
45578	3/20/2017	03030	2061	3/9/2017	JAN - FEB 2017 FLOW MONIT	23,271.50	23,271.50
45579	3/20/2017	03031	April - June 2017	3/17/2017	APRIL - JUNE 2017 RETIREE I	4,868.31	4,868.31

b total for FIRST NATIONAL BANK OF DALY CITY: 249,873.93

36 checks in this report.

Grand Total All Checks:

249,873.93

apChkLst

03/22/2017 12:41:59PM

Final Check List
Town of Colma

Page: 1

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45580	3/20/2017	03034	April 2017	3/22/2017	HEALTH REIMBURSEMENT AI	35,138.93	35,138.93
b total for FIRST NATIONAL BANK OF DALY CITY:						35,138.93	35,138.93

Page: 1

1 checks in this report.

Grand Total All Checks: 35,138.93

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45581	3/27/2017	00004	AT&T	3/13/2017	C3A1210TS01 02/13/17-03/12/	1,501.44	1,501.44
45582	3/27/2017	00051	CALIFORNIA WATER SERVICE	3/13/2017	1727052702 JSB ACROSS FR	81.51	81.51
45583	3/27/2017	00116	DALY CITY/COLMA CHAMBER Crab Feed	03/16/2017	03/16/17 CRAB FEED DINNER	225.00	225.00
45584	3/27/2017	00117	DELTA DENTAL OF CALIFORNIA	4/1/2017	DENTAL INSURANCE	12,421.20	12,421.20
45585	3/27/2017	00222	LEAGUE OF CA CITIES	3/14/2017	2017 LOCAL STREETS AND R	150.00	150.00
45586	3/27/2017	00280	OFFICE DEPOT, INC.	3/13/2017	DOOR HANGER, W/TEAR AW	69.30	69.30
				3/10/2017	PAPER, SORTER, CORRECTI	68.77	68.77
				3/9/2017	CREDIT MEMO INV #9070354;	-48.01	-48.01
45587	3/27/2017	00307	PACIFIC GAS & ELECTRIC	3/23/2017	0512181543-4	3,677.20	3,677.20
				3/13/2017	0576889222-5 1180 EL CAMIN	280.07	280.07
				3/13/2017	0035222590-8 1180 EL CAMIN	30.79	30.79
45588	3/27/2017	00411	TURBO DATA SYSTEMS	2/28/2017	CITATION PROCESSING	134.00	134.00
45589	3/27/2017	00830	STAPLES ADVANTAGE	2/25/2017	HP 05A TONER, OPTIMA 40 D	383.85	383.85
45590	3/27/2017	01036	MANAGED HEALTH NETWORK	3/17/2017	EMPLOYEE ASSISTANCE PRG	99.20	99.20
45591	3/27/2017	01037	COMCAST CABLE	3/17/2017	8155 20 022 0002770 1520 HIL	10.20	10.20
45592	3/27/2017	01308	EEL RIVER FUELS, INC.	3/15/2017	PW GAS PURCHASES	313.52	313.52
45593	3/27/2017	01367	DUO DANCE ACADEMY	3/20/2017	DANCE CLASSES	640.00	640.00
45594	3/27/2017	02224	STANDARD INSURANCE COM	3/15/2017	LIFE INSURANCE	225.50	225.50
45595	3/27/2017	02258	KIM, SEUNG NAM	3/25/2017	GOLF LESSONS	560.00	560.00
45596	3/27/2017	02317	CUS, ERIN	3/20/2017	BOOT CAMP FITNESS	800.00	800.00
45597	3/27/2017	02499	GE CAPITAL INFORMATION	3/24/2017	REC COPY MACHINE RENTAL	601.18	601.18
45598	3/27/2017	02542	TYCO INTEGRATED SECURIT	3/11/2017	FIRE SYSTEM AT SR. HOUSIN	389.13	389.13
45599	3/27/2017	02594	BECERRA, CIELITO	3/20/2017	03.20.17 DEPOSIT REFUND	50.00	50.00
45600	3/27/2017	02623	BLOEBAUM, CYNTHIA	3/20/2017	COOKING CLASSES	800.00	800.00
45601	3/27/2017	02625	ARIAS, DANA	3/20/2017	03.20.17 DEPOSIT REFUND	275.00	275.00
45602	3/27/2017	02827	CORODATA SHREDDING, INC.	2/28/2017	SHREDDING SERVICE PD	47.87	47.87
45603	3/27/2017	02849	U.S. BANK PARS ACCOUNT, 6	3/20/2017	OPEB CONTRIBUTION	91,633.00	91,633.00
45604	3/27/2017	02886	READY REFRESH BY NESTLE	3/20/2017	BOTTLED WATER SERVICE	34.89	34.89
45605	3/27/2017	02935	EMCOR SERVICES-MESA	3/13/2017	REPLACE FAILED INDUCER I	471.00	471.00
				3/13/2017	UNIT S REPLACED FAILED G/	451.00	451.00
				3/13/2017	UNIT S SERVICE CALL RE:HE	144.00	144.00
45606	3/27/2017	02968	CONCORD IRON WORKS, INC	3/17/2017	PMT #8 MARCH 2017 PROGR	24,366.55	24,366.55
45607	3/27/2017	02970	PRODUCTIVE PRINTING & GR	3/17/2017	100 VEHICLE WARNING STIC	97.88	97.88
45608	3/27/2017	02993	MOSQUEDA, VANESSA	Jan 5-March 9, 2	YOGA FOR SENIORS	400.00	400.00

Bank : first FIRST NATIONAL BANK OF DALY (Continued)

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45609	3/27/2017	03032	34621P Refund	2/3/2017	34621P LIVE SCAN REFUND	49.00	49.00
45610	3/27/2017	03033	855B Refund C&	3/15/2017	855B REFUND C&D (03/23/16)	1,000.00	
			868B Refund C&	3/15/2017	868B REFUND C&D (05/17/16)	1,000.00	2,000.00
b total for FIRST NATIONAL BANK OF DALY CITY:						143,434.04	

30 checks in this report.

Grand Total All Checks:

143,434.04

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45611	3/27/2017	01414	VERANO HOMEOWNERS ASS4	4/1/2017	VERANO OWNERS ASSOCIA	310.00	310.00
b total for FIRST NATIONAL BANK OF DALY CITY:						310.00	310.00

1 checks in this report.

Grand Total All Checks:

310.00

Bank : first FIRST NATIONAL BANK OF DALY

Check #	Date	Vendor	Invoice	Inv Date	Description	Amount Paid	Check Total
45612	3/31/2017	00068	03312017 B	3/31/2017	COLMA PEACE OFFICERS: P/	652.14	652.14
45613	3/31/2017	00631	03312017 B	3/31/2017	PERS - BUYBACK: PAYMENT	26,409.87	36,946.37
			03312017 B	3/31/2017	PERS MISC NON-TAX: PAYME	10,536.50	
45614	3/31/2017	01340	03312017 B	3/31/2017	FLEX 125 PLAN: PAYMENT	342.70	342.70
45615	3/31/2017	02377	03312017 B	3/31/2017	WAGE GARNISHMENT: PAYM	917.53	917.53
93473	3/31/2017	00130	03312017 B	3/31/2017	CALIFORNIA STATE TAX: PAY	9,823.50	9,823.50
93474	3/31/2017	00521	03312017 B	3/31/2017	FEDERAL TAX: PAYMENT	50,461.13	50,461.13
<p>total for FIRST NATIONAL BANK OF DALY CITY:</p>						99,143.37	99,143.37

6 checks in this report.

Grand Total All Checks:

99,143.37

ORDINANCE NO. ____
OF THE CITY COUNCIL OF THE TOWN OF COLMA

ORDINANCE AMENDING SUBCHAPTER 4.07 OF THE
COLMA MUNICIPAL CODE, RELATING TO SIGN REGULATIONS PURSUANT TO
CEQA GUIDELINE 15061(B)(3) AND 15311

The City Council of the Town of Colma does ordain as follows:

ARTICLE 1. CMC SECTION 4.07.140 AMENDED.¹

The introductory clause, along with subsections (f) and (k) of Section 4.07.140 of the Colma Municipal Code, are hereby amended to read as follows:

4.07.140 Signs in the C Zone.

Sign permits shall be required for all signs in C Zones, other than those signs exempted by sections 4.07.040 and 4.07.050. Subsection (f)(1) and (2) below shall not apply to signs in shopping centers with an approved Sign Program as specified in Section 4.07.140 (k). All other signs in the C Zone shall be subject to the following provisions, conditions, and prohibitions:

(f) Height and Extension Above Roof-line.

(1) No fascia sign or other sign attached to a building shall extend or be located above the roof-line of the building to which it is attached.

(2) Pole signs (freestanding commercial businesses on individual lots). The maximum height for pole signs for commercial businesses not part of a shopping center shall be 36 feet. No single pole sign may have a sign area greater than 300 square feet. For shopping centers, please see Section 4.07.140(k) and subsection (3) below.

(3) Pole signs (shopping centers). pole sign height and area in shopping centers are regulated in Section 4.07.140 (k) and by an approved Sign Program for the shopping center. Pole signs shall not exceed 75 feet in height, except where special topographic factors require a taller sign, in which case the pole sign may be as tall as 103 feet. If additional height above 103 feet is required to compensate for distance or difference in elevation from primary viewing angles to overcome obstructions to visibility (wires, poles, trees, conforming signs or other property) a comprehensive visual analysis, including visual simulations and necessary environmental review shall be required prior to City Council consideration of a new or amended sign program.

¹ Substantive changes have been identified as follows: New text has been underlined; revised text has been underlined, without showing the prior wording; and deleted text is shown with a strike-through line. Non-substantive changes, such as grammar and formatting are not identified. All markings will be removed from the final version that is adopted by the City Council.

(k) Special Standards for Shopping Centers.

~~(1) Each shopping center may have one pole sign bearing separate sign faces for the name of the center and two key tenants. The pole sign shall not exceed 75 feet in height, except where special topographic factors require a taller sign, in which case the pole sign may be as tall as 103 feet.~~

~~(2) The sign face showing the name of the shopping center may be 288 square feet in area. Each key tenant sign face shall not exceed 224 square feet in area.~~

~~(3) Each individual tenant of the shopping center may have their own individual signs. Tenants arranged in a strip may each have one sign, the area of which shall not exceed 2 square feet for each foot of store frontage. Free-standing stores may have one sign on each building face, not to exceed a total area greater than 2 square feet for each foot of building footprint.~~

~~(4) No permits shall be issued for the construction of signs at a new shopping center, or for the replacement of any signs removed during a major remodeling of an existing shopping center until the shopping center has submitted, and the City Planner has approved, a Sign Program for the shopping center. For purposes of this section, a major remodeling means one which affects more than 25 percent of the signs in the center.~~

Due to the unique sign and advertising requirements of shopping centers, including multiple tenants with limited visibility from public streets, the Town of Colma requires the approval of a Sign Program that shall identify the type, size and locations of signs in the shopping center. The Sign Program shall also outline the responsibilities of the shopping center owner/manager, tenants and the Town of Colma in the review, approval, installation and removal of signs. The Sign Program will balance the need for patrons to easily locate tenants within the shopping center with appropriately sized signs that are in scale with the buildings in the center and consistent with signage of businesses in the immediate vicinity of the shopping center.

At the time plans for a shopping center are reviewed by the City Council or prior to the issuance of the first building permit for a shopping center, or for an amendment request to an existing Sign Program, the owner shall submit to the City Planner an application, any applicable fee, and a draft new or amended Sign Program. The Sign Program shall include the following components:

- (1) An introduction which shall state the roles and responsibilities of the property owner, tenants and the Town in the review and installation of signs;
- (2) Landlord and Tenant Requirements and responsibilities with regard to any signs;

- (3) A description of sign sizes and locations for all tenant types (anchor, major, in-line, stand alone buildings etc.). Size of signs should be graduated in size based on the size of the tenant space;
- (4) Shopping center identification signage;
- (5) Multi-Tenant pole or monument signs including allowed heights and sizes;
- (6) Stand-alone pole or monument signs for tenants, including allowed heights and sizes, if any;
- (7) Window signage and advertising provisions;
- (8) Under canopy sign sizes and types, if applicable;
- (9) Address numbering and emergency contact information signs;
- (10) Temporary banner types, sizes and locations advertising the center or event solely for the shopping center, if applicable;
- (11) Prohibited signs;
- (12) General sign construction requirements; and
- (13) Diagrams or illustrations of desired sign types.

Once the draft sign program has been reviewed by the City Planner, the Sign Program shall be reviewed by the City Council. In the review of the Sign Program by the City Council, the City Council shall make the following findings prior to approving the Sign Program or any amendments to an existing Sign Program:

(1) The proposed signs enhance the development, and are in harmony with, and visually related to:

(a) All of the signs included in the sign program. This shall be accomplished by incorporating several common design elements such as materials, letter style, colors, illumination, sign type or sign shape.

(b) The buildings and/or the developments they identify by utilizing materials, colors, or design motifs included in the building being identified; and

(c) Surrounding development by not adversely affecting surrounding land uses or obscuring adjacent approved signs.

(2) The sign program accommodates future revisions which may be required due to changes in building tenants; and

(3) The proposed sign program satisfies the intent of this subchapter, in that the sign program complies with all the regulations of this subchapter, except that flexibility is allowed with regard to sign area, number, location, height, or moving parts. Further, to the extent the sign program does not comply with the requirements of this subchapter as to sign area, number, location, height, or moving parts, the proposed sign program enhances the development and more fully accomplishes the objectives of this subchapter.

[History: formerly § 4.714, ORD. 365, 2/10/88; ORD. 387, 3/08/89; ORD. 400, 8/09/89; ORD. 466, 5/11/94; ORD. 551, 4/14/1999; ORD. 638, 12/14/05; ORD. 713, 10/10/12; ORD. 722, 6/12/13; ORD. __, __/__/17]

ARTICLE 2. SEVERABILITY.

Each of the provisions of this ordinance is severable from all other provisions. If any article, section, subsection, paragraph, sentence, clause or phrase of this ordinance is for any reason held by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the remaining portions of this ordinance.

ARTICLE 3. NOT A CEQA PROJECT.

The City Council finds that adoption of this ordinance is not a "project," as defined in the California Environmental Quality Act (CEQA) because it does not have a potential for resulting in either a direct physical change in the environment or a reasonably foreseeable indirect physical change in the environment and concerns general policy and procedure making. Further, the City Council finds that even if this ordinance constitutes a "project" under CEQA, Guideline 15311 would apply which exempts from environmental review the construction, or placement of minor structures accessory to (appurtenant to) existing commercial facilities, which specifically includes on-premises signs.

ARTICLE 4. EFFECTIVE DATE.

This ordinance including the vote for and against the same shall be posted in the office of the City Clerk and on the three (3) official bulletin boards of the Town of Colma within 15 days of its passage and shall take force and effect thirty (30) days after its passage.

Certification of Adoption

I certify that the foregoing Ordinance No. ### was introduced at a regular meeting of the City Council of the Town of Colma held on March 22, 2017, and duly adopted at a regular meeting of said City Council held on _____, 2017 by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor					
Raquel "Rae" Gonzalez					
Joanne F. del Rosario					
John Irish Goodwin					
Diana Colvin					
<i>Voting Tally</i>					

Dated _____

Helen Fiscaro, Mayor

Attest: _____

Caitlin Corley, City Clerk





STAFF REPORT

TO: Mayor and Members of the City Council
 FROM: Brian Dossey, Administrative Services Director
 VIA: Sean Rabé, City Manager
 MEETING DATE: April 12, 2017
 SUBJECT: Recreation Services Department Quarterly Review, January – March 2017

RECOMMENDATION

Staff recommends that the City Council adopt:

MOTION TO ACCEPT INFORMATIONAL REPORT ON RECREATION DEPARTMENT PROGRAMS, ACTIVITIES, EVENTS, AND TRIPS FOR THE FIRST QUARTER OF 2017.

EXECUTIVE SUMMARY

In the first quarter of 2017, a total of 900 participants attended 54 programs. This represents a decrease of 219 participants from the first quarter of 2016. Staff attributes the decrease to Eggstravaganza event and Spring Day Camp occurring in the first quarter of 2016 and fewer participants in Fitness programs, Super Bowl party event, and Creekside Villas activities. Also, staff scheduled one less ticketed event in 2017.

Staff estimates that 37 percent of the population had a current Colma I.D. during the first quarter of 2017, suggesting that residents participated in multiple programs.

There were a total of 68 rentals, which is a decrease of one rental from the first quarter of 2016.

BACKGROUND

Participation

The Recreation Services Department offered programs, activities, events and trips for all age groups during the past quarter. Below is a summary of participation levels by demographic:

- A total of 97 adults and seniors participated in enrichment programs. This represents a decrease of 35 participants from the first quarter of 2016. Staff attributes the decrease to fewer participants in Fitness programs and Creekside Villas.

- A total of 193 adults and seniors participated in trips and events. This represents an increase of 6 participants from the first quarter of 2016.
- A total of 340 youth and teens participated in Enrichment Programs. This represents a decrease of 11 participants from the first quarter of 2016. Staff attributes the decrease to Spring Day Camp occurring in the first quarter of 2016.
- A total of 35 youths and teens participated in events and trips. This represents a decrease of 54 participants from the first quarter of 2016. Staff attributes the decrease to the cancellation of Ice Cream Arts and Crafts and the scheduling of one less ticketed event – Disney on Ice in 2016 – “Frozen”.
- A total of 235 youth, adults and seniors participated in Community Programs. This represents a decrease of 130 participants from the first quarter of 2016. Staff attributes the decrease to the Eggstravaganza event occurring in the first quarter of 2016 and fewer participants in the Super Bowl Party.

The attachment contains a detailed breakdown of participation by program.

Rental Activity

The Colma Community Center was rented for 68 different events:

- Resident Rentals (23 social events and two meetings)
- Resident Non-profit group (two fundraisers and one meeting)
- Non-Resident Rentals (three funeral receptions and two social events)
- Non-Resident Non-profit Groups (10 programs, three fundraisers and one meeting)
- In House Reservations (21 meetings/trainings)

The Sterling Park Recreation Center was rented for 21 different events:

- Sterling Park Resident Rentals (21 social events)

Sustainability Impact

Staff coordinates and implements program and activities which are in alignment with the Town’s Climate Action Plan and Sustainability Policy. For example, at this year’s Super Bowl Party event, all cups, plates, forks, knives, and spoons were made from recyclable content.

ATTACHMENTS

- A. 2017 Recreation Services Department Quarterly Review – Participation Detail

**Recreation Services Department Quarterly Review
January – March 2017
Participation Detail**

Adult/Senior Enrichment Programs

Program	Registered	Sessions	New or Existing Program
Boot Camp Fitness	7	1	Existing
Card Making Classes	Cancelled	2	Existing
Cooking Classes	27	3	Existing
Creekside Villas Activities	15	3	Existing
First Aid/CPR	9	1	Existing
Golf	3	3	Existing
Hatha Yoga	14	2	Existing
What the 'App' is going on?	Cancelled	1	NEW
Yoga for Seniors	5	1	Existing
Zumba	9	1	Existing
Zumba & Palango Combo	8	1	Existing

Adult & Senior Trips & Events

Program	Registered	Sessions	New or Existing Program
A Day at the Movies	12	1	Existing
Arm Chair Travel	27	3	Existing
Black Hawk Car Museum	19	1	NEW
Chitresh Das Dance Company	Cancelled	1	NEW
Friday Films	20	2	Existing
"Rent" Theater Show	22	1	Existing
Senior Luncheon (New Year's & Bowling)	25	1	Existing
Senior Luncheon (Valentine's Day & Movie)	27	1	Existing
Senior Luncheon (St. Patrick's Day & Bingo)	25	1	Existing
The Biggest Loser	16	1	Existing

Youth & Teen Enrichment Programs

Program	Registered	Sessions	New or Existing Program
Ballet, Tap & Hip Hop	10	10	Existing
Cooking	13	2	Existing
Early Childhood Music	Cancelled	1	NEW
Golf	9	3	Existing
Guitar Workshop	2	1	Existing
Harmony & Ear Training	Cancelled	1	NEW
Keyboard	3	2	Existing
Kids' Club Afterschool Program	72	5	Existing
Kumon Math Tutoring	85	3	Existing
Kumon Reading Tutoring	54	3	Existing

Parents' Night Out	18	3	Existing
President's Week Day Camp Early Morning Care	9	1	<i>NEW</i>
President's Week Day Camp	13	1	<i>NEW</i>
President's Week Day Camp Afternoon Care	12	1	<i>NEW</i>
Recess & Results	Cancelled	1	<i>NEW</i>
Tae Kwon Do	33	3	Existing
Tot Gym & Jam	Cancelled	3	Existing
Ukulele Workshop	Cancelled	1	Existing
Vibo Youth Ensemble	3	1	Existing
Violin Workshop	4	2	Existing

Youth and Teen Events & Trips

Program	Registered	Sessions	New or Existing Program
Ice Cream Arts & Crafts – New Years	Cancelled	1	Existing
Ice Cream Arts & Crafts – Valentine's Day	Cancelled	1	Existing
Ice Cream Arts & Crafts – Pot-O-Gold	7	1	Existing
Ice Skating at Union Square	16	1	Existing
Teen Activity Group (Meetings)	4	1	Existing
Teen Activity Group (Volunteer Projects)	Cancelled	3	Existing
Teen Center Hours	8	2	Existing

Community Programs

Program	Registered	Sessions	New or Existing Program
Colma Game Night	47	1	Existing
Family Bowling Night	18	1	Existing
Project Read Learning Wheels	38	2	Existing
Project Read Nutrition Program	39	2	Existing
Project Read Science Club	48	3	Existing
Super Bowl Party	45	1	Existing

Note: Programs were cancelled due to insufficient participation.



STAFF REPORT

TO: Mayor and Members of the City Council
 FROM: Michael P. Laughlin, AICP, City Planner
 VIA: Sean Rabé, City Manager
 MEETING DATE: April 12, 2017
 SUBJECT: Revised Serra Center Resolution

RECOMMENDATION

Staff recommends that the City Council adopt a revised:

RESOLUTION APPROVING REVISIONS TO THE MASTER SIGN PROGRAM FOR SERRA CENTER AND APPROVING A SIGN PERMIT FOR A SHARED POLE SIGN, ENTRY SIGNS, NEW TARGET POLE SIGN AND AARON BROTHERS WALL SIGNS PURSUANT TO CEQA GUIDELINE 15311

EXECUTIVE SUMMARY

On March 22, 2017, the City Council adopted a resolution approving a Master Sign Program and Sign Permit for Serra Center. After the City Council’s adoption of the resolution, the applicant informed staff that they had changes to the resolution with regard to the ownership entity in the title block and signature block as it did not accurately reflect the ownership entity of the shopping center. The adopted resolution noted “CRES Management Company, LLC” as the owner. While CRES Management Company does manage the day to day affairs of the shopping center, and is a managing member of the ownership entity, the actual ownership entities are Serra Center Associates and Serra Center Associates Two L.P. Because the City Council adopted the original resolution, any substantive changes to that resolution need to be approved by the City Council.

ANALYSIS

Serra Shopping Center includes multiple ownership entities, as follows:

- Serra Center Associates owns the 970 Serramonte Building with Ono Hawaiian BBQ and H&R Block; the Aaron Brothers building; and the parking lot between Aaron Brothers and Mancini’s Sleepworld.
- Mancini’s Sleepworld owns their building.
- Sizzler owns their building.

- Serra Center Associates Two L.P. owns the in-line tenant building north of Target, including Michael's; the section of parking lot north of Target and a portion of Target; the Bev Mo building; and the stand-alone building with the dentist offices and the future Black Bear Diner.
- Target owns their own building and parking lot in front of their store.

Cross easements between the various ownership entities exist and CRES Management Company has control over and maintains all common areas in the shopping center.

The revised resolution will memorialize the proper entities that own Serra Center and will supersede the prior resolution adopted by the City Council. No other changes to the originally adopted resolution are proposed.

COUNCIL ADOPTED VALUES

The recommendation is consistent with the Council value of *fairness* because the recommended decision on the Master Sign Program is consistent with how similar requests have been handled by the business community, and with the Council value of *responsibility* because the proposed use has been carefully reviewed so that it will be consistent with adopted development policies and regulations, and compatible within its setting.

ALTERNATIVES

The following courses of action are available to the City Council:

1. Adopt the revised resolution approving the Master Sign Program for the Serra Center and Sign Permit.
2. Not adopt the revised resolution which would maintain the ownership entity as CRES Management Company LLC. This action is not recommended since the existing resolution does not accurately reflect the proper ownership entities and should be corrected.

CONCLUSION

Staff recommends that the City Council adopt the revised resolution approving a Master Sign Program for the Serra Center and the Sign Permit.

ATTACHMENTS

- A. Revised Resolution
- B. Master Sign Program with Exhibits A and B
- C. Sign Permit Drawings

RESOLUTION NO. 2017-__
OF THE CITY COUNCIL OF THE TOWN OF COLMA

RESOLUTION APPROVING REVISIONS TO THE MASTER SIGN PROGRAM FOR SERRA CENTER AND APPROVING A SIGN PERMIT FOR A SHARED POLE SIGN, ENTRY SIGNS, NEW TARGET POLE SIGN AND AARON BROTHERS WALL SIGNS PURSUANT TO CEQA GUIDELINE 15311

Property Owner: Serra Center Associates No. Two, LP and Serra Center Associates
Applicant: Catherine Hughes, CRES Management Company, LLC
Location: 4915-5045 Junipero Serra Blvd & 970 Serramonte Blvd
Assessor's Parcel Number: APN: 008-373-210 through -530

The City Council of the Town of Colma does hereby resolve as follows:

1. Background

(a) CRES Management Company has submitted an application to revise the existing Master Sign Program for the Serra Center and a Sign Permit application to allow for the construction of two new entryway, one new pole sign, Aaron Brothers walls signage and one replacement pole sign located at 4915-5045 Junipero Serra Blvd & 970 Serramonte Blvd (APN 008-373-210 through -530).

(b) A notice of public hearing was mailed to all property owners within 300 feet of the subject property and to all shopping center tenants on March 10, 2017. In addition, notices of public hearing were posted at the subject property and the three Town of Colma bulletin boards on March 10, 2017.

(c) A public hearing was held on March 22, 2017. The City Council considered the application, the accompanying staff report, the Revised Master Sign Program (Exhibit C), and all relevant evidence presented at the public meeting.

2. Findings

The City Council finds that:

Findings Relating to CEQA Review

(a) This application was reviewed pursuant to the requirements of the California Environmental Quality Act (CEQA), and staff determined that the project is considered Categorically Exempt from further environmental review under Section 15311(a), Class 11, which exempts the addition of commercial signage accessory to a main building on a property.

Findings Relating to Master Sign Program

- (1) The proposed signs enhance the development, and are in harmony with, and visually related to:
- (a) All of the signs included in the sign program. This shall be accomplished by incorporating several common design elements such as materials, letter style, colors, illumination, sign type or sign shape.

- (b) The buildings and/or the developments they identify by utilizing materials, colors, or design motifs included in the building being identified; and
- (c) Surrounding development by not adversely affecting surrounding land uses or obscuring adjacent approved signs.

Discussion: *The approval of the Master Sign Program will enhance the development since the signs that would be permitted under the revised Master Sign Program are reasonably sized, attractive, and located so as not to create a visibility hazard. Further, Serra Center is surrounded by predominately commercial uses with businesses exhibiting signs in similar colors, sizes, and location. The proposed Master Sign Program would not impact other businesses in the area and will create an attractive venue for pedestrians, drivers, and visitors alike. None of the proposed signs would be so out of scale or display extreme lighting where drivers could be distracted or impacted. Further, no residential uses are in proximity to Serra Center thereby ensuring that the public health, safety or welfare is not impacted.*

The sign program includes common design elements and themes. Specifically, the signage conveys an updated Mid-Century Modern design aesthetic and all of the allowed signage is consistent with this theme while still allowing creative and diverse sign designs.

- (2) The sign program accommodates future revisions which may be required due to changes in building tenants; and

Discussion: *The sign program provides a very clear and concise list of sign locations, sizes and permitted types so that new building tenants will be easily able to comply with the standards while maintaining corporate identity with the signage. The program will easily accommodate future revisions if required for changes in building tenants. The chart attached to the sign program which specifies sign locations and sign heights can be amended to accommodate a request.*

- (3) The proposed sign program satisfies the intent of this subchapter, in that the sign program complies with all the regulations of this subchapter, except that flexibility is allowed with regard to sign area, number, location and height. Further, to the extent the sign program does not comply with the requirements of this subchapter as to sign area, number, location and height, the proposed sign program enhances the development and more fully accomplishes the objectives of this subchapter.

Discussion: *As shown in the illustrations prepared by the applicant's architect, the allowed signage under the sign program will greatly enhance the development. No Signs will deviate from the Colma Sign Ordinance as amended to specify standards for the "C" zone or shopping center Sign Programs per 4.07.140 (k), with the exception of section 4.070.140 (d) since the proposed multi-tenant pole sign is proposed to have a slowly rotating Target at the top.*

Findings Relating to Sign Permit

- (a) The Sign Permit for new signage is consistent with the provisions of the General Plan of the Town of Colma.

Discussion: *The proposed signage is allowed by the revised Master Sign Program and will not impact the Town's memorial parks as the signs face Junipero Serra Boulevard and Serramonte Boulevard. The signage, as conditioned, is consistent with policy 5.02.311 of the Colma General Plan which encourages the balancing of visual effects of development within the Town as all proposed signs will be in a entirely commercial location surrounded by other commercial businesses.*

- (b) The granting of the Sign Permit will not be detrimental to the public health, safety of public welfare, or materially injurious to properties or improvements in the vicinity.

Discussion: *The new entry signs are made of an open material and are located in areas that do not obstruct any sight lines for vehicular and pedestrian traffic. The replacement pole sign is proposed to be 88'-1", the same height as the previous pole sign, and to have a reduced sign area of 843 square feet compared to 883 square feet on the previous pole sign. The proposed signage will not be detrimental to the public health, safety or public welfare or materially injurious to properties or improvements in the vicinity since the signs are appropriately sized, attractive and located so as not to create a visibility hazard.*

- (c) Existing property uses, large or small, will not be detrimentally affected by the proposed signs.

Discussion: *The proposed signage appears more interesting and aesthetically pleasing compared to the existing, blocky signage which improves the shopping center and the view from existing property uses. However, the replacement pole sign will encroach into the public right of way, similar to the pole sign recently removed. As a condition of approval, the applicant shall be required to enter into encroachment agreement with the Town of Colma, in a form approved by the City Attorney, prior to the construction of the replacement pole sign. The encroachment agreement will allow the Town to ensure the public right of way is protected at all times based on the applicant's minor encroachment and will ensure the applicant complies with all Town imposed requirements. With the proposed condition of approval, existing property uses, large or small, will not be detrimentally affected by the new signs.*

- (d) The granting of the revised Master Sign Program will not constitute a grant of special privilege inconsistent with the limitations imposed by the subchapter on the existing use of properties, large or small, with the Town of Colma.

Discussion: *The proposed signage will meet the regulations of the revised Serra Center Master Sign Program and the Municipal Code, as revised. The area and massing of the proposed signs are in scale with the shopping center. The approval of the signage will not constitute a grant of special privilege inconsistent with the limitations imposed by the subchapter on the existing use of properties, large or small, within the Town of Colma since various types of signs are allowed pursuant to a Sign Program based on the anticipated revisions to the Municipal Code, and are similar to other signs permitted for commercial businesses in the Town.*

- (e) The signs will not constitute a nuisance as to neighboring persons or properties.

Discussion: *The proposed signs have a conventional design consistent with industry standards and will be professionally manufactured. The proposed signs conform to the purpose and intent of the Town of Colma General Plan and Municipal Code, and will not constitute a nuisance to neighboring persons or properties.*

3. Master Sign Program Approved.

The revised Serra Center Master Sign Program is hereby approved subject to an effective date provided for in Section 7 below.

4. Sign Permit Approved.

A Permit is hereby granted, subject to an effective date provided for in Section 7 below, to install and maintain signs on the property at 4915-5045 Junipero Serra Blvd & 970 Serramonte Blvd. in accordance with the criteria and requirements set forth in that certain document entitled, *Master Sign Program*, dated April 12, 2017. This Permit is conditioned upon and subject to the full and faithful performance of each term and condition set forth in the *Master Sign Program* and this Resolution. This approval includes the following signs:

- New 88' tall pole sign for multi-tenant identification (to replace removed pole sign);
- Two new entry signs for the center;
- New 30' tall Target pole sign at entrance to replace the pole sign recently removed; and
- New building signage for Aaron Brothers which matches their current corporate image.

5. Conditions of Approval

(a) This Sign Permit applies specifically to the application filed by Catherine Hughes of CRES Management Company on February 6, 2017 and is limited to the signs depicted in the 11' by 17' plans titled Serra Center Wayfinding Signage, date stamped February 6, 2017 and on file in the Planning Department. The approval also includes Aaron Brothers wall signage as shown on plan submitted February 6, 2017. No substantial future changes to the approved signs may be made except as conditioned below without first obtaining sign review.

(b) The applicant shall work with staff to select colors for the entryway signs that are compatible with the shopping center and proposed pole signs.

(c) The applicant shall enter into an Encroachment Agreement with the Town of Colma, in a form approved by the City Attorney, for the replacement pole sign that encroaches into the right of way.

(d) The Permittee shall obtain all necessary permits, including Building Permits, prior to construction of the signs.

- (e) A weather-proof, power disconnect switch shall be located at the underside of the sign's electrical gutter, and clearly illustrated and labeled on the plans submitted for a Building Permit.
- (f) All electrical connections shall not be visible.
- (g) For the Building permit, the Permittee shall submit fully detailed plans including the dimensions, materials, and illumination, for the new signs. The Permittee shall provide Title 24 SLTG forms for the illuminated signs.
- (h) The signs shall be maintained in good repair at all times.
- (i) A copy of these conditions of approval shall be included in the building permit plan set.
- (j) Internal illumination to be LED, installed and labeled in accordance with the "National board of Fire Underwriters Specifications".

6. General Conditions

This Permit is conditioned upon the Permittee and each user of the subject property fully and faithfully performing each of the following generally-applicable obligations. Failure to comply with any of these conditions shall render this permit null and void.

- (a) *Duty to Comply With Laws.* The Permittee and each user must comply with all applicable federal, state and municipal laws, codes and regulations, including the Uniform Building and Fire Codes. Nothing herein shall be construed as authorizing any approvals under, or any exceptions to any other law, code or regulation, or as authorizing any change to the occupancy classification of the premises or any buildings thereon as defined in the Uniform Building Code.
- (b) *Indemnification.* The Permittee shall indemnify, pay and hold the Town of Colma harmless from all costs and expenses, including attorney's fees, incurred by the Town or held to be the liability of the Town in connection with the Town's defense of its actions in any proceeding brought in any state or federal court challenging the Town's actions with respect to the Permittee's project.
- (c) *Agreement Required.* The Permittee must agree to comply with each and every term and condition herein by counter-signing a copy of this Resolution and returning the counter-signed copy to the City Clerk no later than forty-five (45) days following City Council approval of the permit. If Permittee is not the property owner, then the property owner must consent to use of the property on the terms and conditions herein by counter-signing a copy of this resolution and returning the counter-signed copy to the City Clerk no later than forty-five (45) days following City Council approval of the permit.

7. Effective Date.

This resolution shall not become effective until such time that Ordinance No. __ is effective which is anticipated to be on or around May 13, 2017. If Ordinance No. __ is not adopted or does not become effective, this resolution shall become null and void and have no further force and effect and the applicant shall have no vested right or other right to proceed with the Master Sign Program or any other signs authorized by this resolution.

8. Superseded.

The City Council’s adoption of this resolution shall supersede Resolution 2017-16 and Resolution 2017-16 shall have no further force and effect upon the City Council’s adoption of this resolution.

* * * * *

Certification of Adoption

I certify that the foregoing Resolution No. 2017-__ was duly adopted at a regular meeting of the City Council of the Town of Colma held on April 12, 2017, by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor					
Raquel "Rae" Gonzalez					
Joanne F. del Rosario					
John Irish Goodwin					
Diana Colvin					
<i>Voting Tally</i>					

Dated _____

Helen Fiscaro, Mayor

Attest: _____
Caitlin Corley, City Clerk

NOTICE OF RIGHT TO PROTEST

The Conditions of Project Approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), began on date of adoption of this resolution. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

AGREEMENT

Permittee/Property Owner

The undersigned agrees to comply with each and every condition set forth in this resolution.

Dated: _____

Serra Center Associates, a California limited partnership

*By: CRES Management Company, LLC
A California limited liability company
Its General Partner*

*By: _____
Catherine J. Hughes, Co-Manager*

Serra Center Associates No. 2, LP, a California limited partnership

*By: CRES Management Company, LLC
A California limited liability company
Its General Partner*

*By: _____
Catherine J. Hughes, Co-Manager*

[Notarization of Property Owner's signature recommended]



**MASTER SIGN PROGRAM
SERRA CENTER
COLMA, CALIFORNIA**

Approved by the Town of Colma
City Council on April 12, 2017

A. INTRODUCTION

1. The intent of this sign program is to provide the guidelines necessary to achieve a visually coordinated, balanced and appealing sign environment, harmonious with the architecture of the shopping center, while maintaining provisions for individual graphic expression.
2. Performance of this sign program shall be rigorously enforced and any nonconforming sign shall be removed by the tenant or sign contractor at their expense, upon demand by the Landlord.
3. Exceptions to these standards shall not be permitted without approval from the landlord and will require approval of a modification to the sign program application by the Town of Colma City Council.
4. Accordingly, the Landlord will retain full rights of approval for any sign used in the center.
5. No sign shall be installed without the written Landlord approval and the required City approval and permits.
6. Wherever this Master Sign Program document states that a sign requires review from the Town of Colma, such sign may not be installed unless and until the Town has approved the sign in accordance with the following procedures.
 - a. If a tenant proposes a sign that conforms with the standards set forth in this Master Sign Program and has Landlord approval, the applicant shall, at or before applying for a building permit, file an application for Sign Review with the Town of Colma Planning Department, along with the appropriate fee and plans. The Planning Department will review the application for compliance with the Master Sign Program. If conforming, a decision letter will be issued.
 - b. If a tenant proposes a sign that deviates slightly from the standards set forth in this Master Sign Program and the landlord supports the application, the applicant shall apply for and obtain a Sign Permit under Colma Municipal Code section 4.07.210, governing signs.
 - c. In all other cases, the landlord must apply for and obtain approval from the City Council for an amendment to this Master Sign Program.

B. LANDLORD/TENANT REQUIREMENTS

1. Each Tenant shall submit to the Landlord for written approval, a PDF file of the detailed sign plans with attachment details and representative colors prior to submittal to the Town of Colma for a permit.
2. The Tenant shall pay for all signs, related materials and installation fees (including final inspection costs).
3. Any alteration, including re-face of signs requires that a valid building Permit is issued by the Town of Colma and inspected. All signs shall be provided with a power disconnect located within sight of the sign. Under-canopy signs, addressed in Section G, shall be provided with a disconnect either upon the signs, or installed at the raceway adjacent to the sign.
4. The Tenant shall be responsible for fulfillment of all requirements of the sign criteria.
5. It is the responsibility of the Tenant's sign company to verify all conduit and transformer locations and service access prior to fabrication.
6. Should a sign be removed and/or replaced with a new sign it is the Tenant's responsibility to patch all holes, paint surface to match the existing color, and restore surface to original condition. If for whatever reason the Tenant does not patch, repair holes, and repaint the Landlord will do so and back charge the Tenant accordingly.
7. All lease spaces shall be individually identified with an address number. Address identification shall be as per Serra Center Signage Criteria (Exhibit A, page 11).

C. PERMITTED TENANT SIGNS

1. All wall, projecting, storefront, and edge signs are permitted as indicated in the Serra Center Tenant Signage Criteria (Exhibit A).
2. Allowed sign locations and maximum sign dimensions are indicated on the Allowable Signs & Dimensions table within Exhibit A.

D. SERRA CENTER ENTRY SIGNS

1. Serra Center entry signs are shown on the attached site plan (Exhibit B) as Entry Sign C and Entry Sign G.
2. Serra Center Entry Signs shall be transparent or made of open material, and shall not exceed 12' in height.
3. Maximum letter height for Serra Center Entry Signs shall be 24".

E. POLE SIGNS

1. The Serra Center may have one pole sign 88' feet in height bearing separate sign faces for up to five tenants. The Landlord shall select the tenants to be represented on the pole sign. Sign sizes and placement are shown in the Serra Center Signage Criteria (Exhibit A)
2. Building A is permitted one sign not to exceed 30' in height. Building D is permitted one pole sign not to exceed 103' in height.
3. Encroachment agreements shall be established for Pole Signs encroaching into the public Right of Way.
4. Any deviation from the design per Exhibit B shall be reviewed by the City Planner.

F. BANNER SIGNS

1. Banners on light poles are permitted subject to the approval by the Landlord and the Town of Colma.
2. Maintenance Schedule:
 - Regular "Serra Center" Banners are allowed from February thru October
 - Holiday Banners are allowed from November to January
3. The banners shall be cleaned a minimum of once a year, during change out from regular to holiday.

G. GENERAL SIGN CONSTRUCTION REQUIREMENTS

1. All signs and their installation shall comply with all local building and electrical codes.
2. All electrical signs will be fabricated by a U.L. approved sign company, according to U.L. Specifications and bear U.L. Label.
3. Sign Company to be fully licensed with the State and shall have full Workman's Compensation and general liability insurance. A City business registration is required for 2 or more installations in the City within one year.
4. All penetrations of building exterior surface are to be sealed waterproof in color and finish to match existing exterior.
5. Internal illumination to be LED, installed and labeled in accordance with the "National board of Fire Underwriters Specifications".
6. Painted surfaces shall have flat or satin finishes only. Only paint containing acrylic polyurethane products may be used.

7. All sign fabrication work shall be of excellent quality. All logo images and type-styles shall be accurately reproduced. Lettering that approximates type-styles will not be acceptable. The Landlord reserves the right to reject and fabrication work deemed to be below standard.
8. No visible raceways are allowed on external building façade.
9. Signs must be made of durable rust-inhibiting materials that are appropriate and complimentary to the building.
10. Color coating shall exactly match the colors specified on the approved plans.
11. Joining of materials (e.g., Seams) shall be finished in a way as to be unnoticeable. Visible welds shall be continuous and ground smooth. Rivets, screws, and other fasteners that extend to visible surfaces shall be flush, filled, and finished so as to be unnoticeable.
12. Finished surfaces of metal shall be free from oil canning and warping. All sign finishes shall be free from dust, orange peel, drips, and runs and shall have uniform surface conforming to the highest standards of the industry.
13. In no case shall any manufacturer's label be visible from normal viewing angles.
14. Exposed junction boxes, lamps, tubing or neon crossovers of any type are not permitted.
15. For details on illuminated letters. See Exhibit A, pages 8-11.

LED signs will have a maximum of 3000k. The types of illumination permitted under the Master Sign Program include halo-illuminated reverse channel; front-lit channel letters without an exposed trim cap; push through acrylic logos; and neon as described and illustrated in Exhibit A.

H. PROHIBITED SIGNS AND EXISTING TENANT NON-CONFORMING SIGNS

16. Prohibited tenant signs are listed on Page 12 of Exhibit A.
17. No monument, animated, inflatable, portable (A-frame) or audible signs will be permitted. Examples of animated signs include, but are not limited to inflatables, animated, banana and human signs.
18. No temporary signs will be permitted at any time without prior written approval of the Landlord and the Town of Colma.
19. Grand Opening or promotional signs, including but not limited to, banners, shall comply with the Town of Colma sign ordinance and shall have permits, approved by the Landlord prior to installation and removed upon the Landlord's request, or by conditions of a Town of Colma permit, whichever is more restrictive.

20. No signs of any kind will be permitted on building roofs or at any other locations other than those shown on the Sign Plan. All changes or deviations must be approved in writing by Landlord and may be subject to approval by the Town of Colma.
21. Except as provided herein and in the lease, no advertising placards, banners, pennants, names, insignia, trademarks, or other descriptive materials of any kind shall be affixed or maintained upon the exterior of the glass of the storefront and supports of the show windows and doors, or upon the exterior of the walls of the buildings, or within the store so that it is clearly visible for advertisement from the front window(s) or door(s). These conditions apply to the entire term of the lease and apply to all signage, whether temporary, promotional, sale, permanent, etc. For allowable window graphics and examples, see Exhibit A, page 11.
22. Tenant shall not place any signs on the rear of the Premises or any secondary receiving or exit door(s), except stand alone buildings as defined prior in Section D.
23. At the expiration or termination of tenant's lease, Tenant shall be required to remove signs and patch the building wall arcades and paint the patched area to match the surrounding areas of the Building. Landlord retains sole judgment concerning to the acceptability of the patching, and if Tenant cannot provide for acceptable patching, Landlord may cause the work to be performed using Landlord's contractors and Tenant will pay the costs thereof at receipt from Landlord of invoice for said work.



TENANT SIGNAGE CRITERIA

CONTENTS

- **A (All Tenants)**
Tenant signage criteria @ Tenant Storefront Location 2 - 12
- **B (Select Tenants Only)**
Tenant signage criteria @ Pylon Sign 13

Exhibit A to

Serra Center Master Sign Program

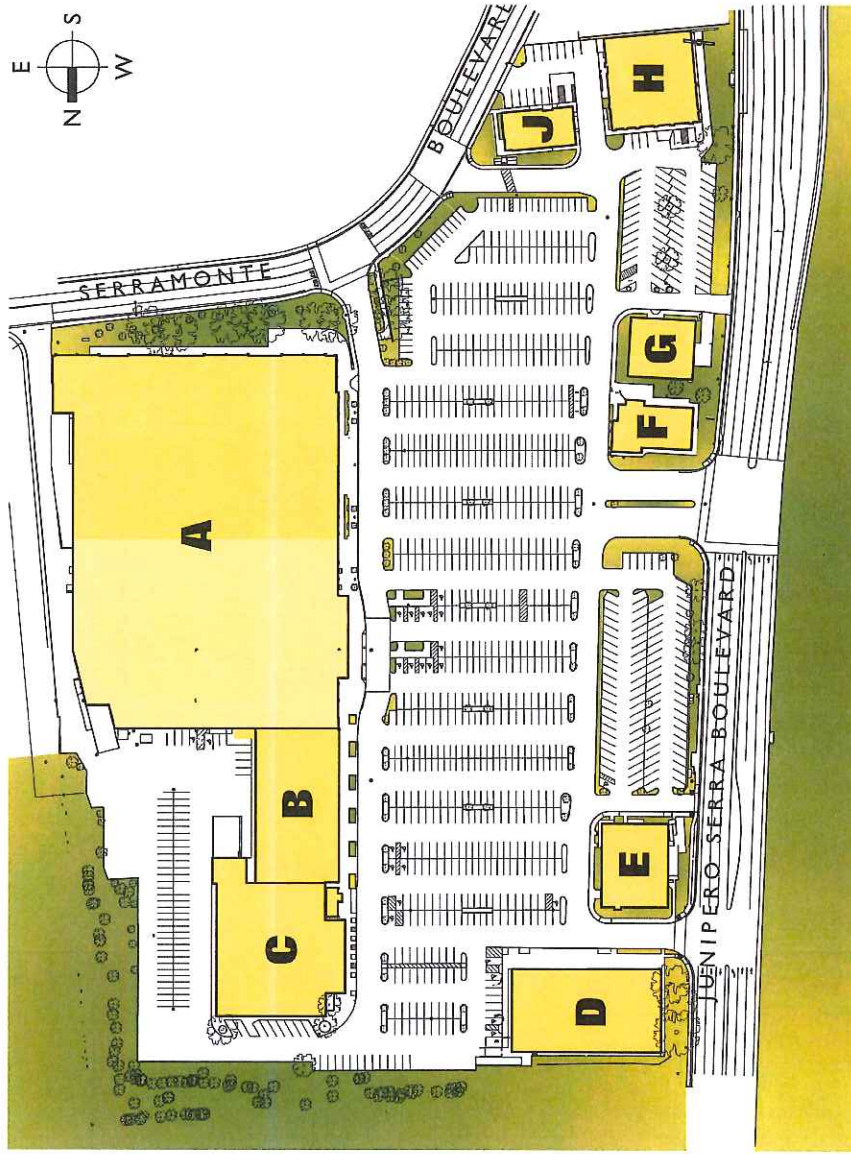
March 2017

DRAFT



A-TENANT SIGNAGE CRITERIA AT TENANT STOREFRONT LOCATION

SITE PLAN



Tenants may have signs within strict limitations based on the following factors: their individual location within the center, the size of their storefront, and the facade design of their location. Not all sign types are available to all Tenants. In addition to these limitations, Tenant signs must be designed in such a way as to harmonize with their facade and neighboring Tenant signage.

Each sign type has its own maximum size requirements. Refer to the description of each sign type on the following pages and to the Allowable Signs and Dimensions chart.

All Tenants are allowed window graphics, also within limits.

SIGN DETAILING

Sign Materials

All sign materials must be consistent with the design theme, enhancing the storefronts and retail image. Due to the variety of architectural facade treatments, each storefront sign must be carefully considered in relationship to its particular location. What may be appropriate in one location may not work in another.

All signage components must be custom. At the Landlord's request, any building material as deemed by the Landlord that has been altered in anyway after the sign installation, whether due to poor design, construction, material selection or exposure must be replaced or reconditioned at the tenant's expense.

Signage is expected to be fabricated from high quality durable materials that can withstand the elements. Dimensional letters and logo forms should have a painted, gilded or metal finish. Letters and logos may also be painted, screen printed or vinyl applied to a sign panel where permitted.

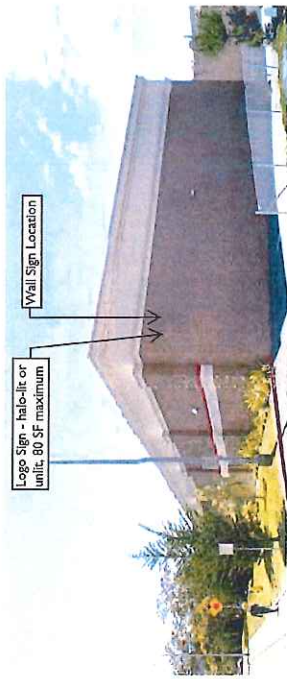
In cases when the building color and tenant signage color do not sufficiently contrast, the following options are available:

1. Change the sign to a contrasting color.
 2. Change the returns of the sign to a contrasting color.
- At the time a Tenant vacates a space, the tenant shall remove all signs, patch, paint and repair the surfaces to which the signs were attached back to the original condition. This removal and repair is at the Tenant's expense.

Sign Construction Requirements

1. All electrical devices must be concealed and/or located within the tenant's space.
2. Raceways cannot be exposed.
3. All conduits must be rigid metal and concealed.
4. Fasteners and attachment connections must be concealed from view.
5. Mounting pins and brackets must be as streamlined as possible and painted to match the adjacent building or sign, where applicable.
6. Suspended signs must have a ring or loop connection when possible to allow for sign movement.
7. In no case shall any manufacturer's label, stamp, or decal be visible from normal viewing angles. Only that portion of a permit sticker that is legally required to be visible shall be exposed as inconspicuously as allowed by code.
8. Specify how signs are attached to the storefront or building where allowed.
9. Tenant shall use Hot Foot pigeon proofing where needed. Spikes are not permitted.

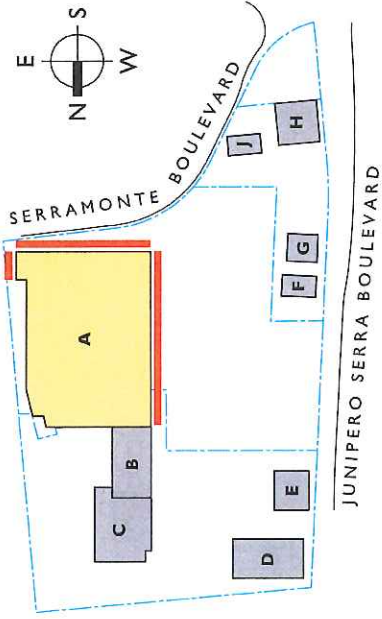
BUILDING A ELEVATIONS



BUILDING A - EAST ELEVATION



BUILDING A - SOUTH ELEVATION



BUILDING A PERMITTED SIGNS

One permitted sign per Tenant per Frontage, up to Three signs.

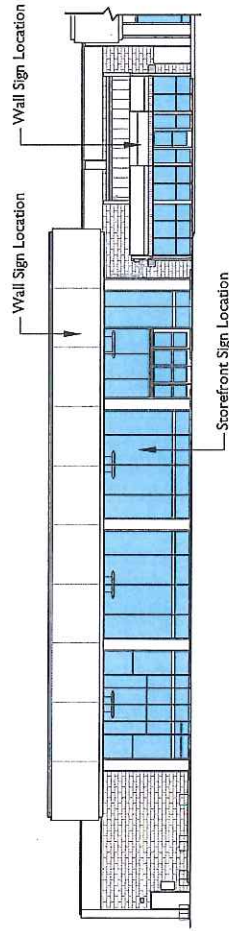
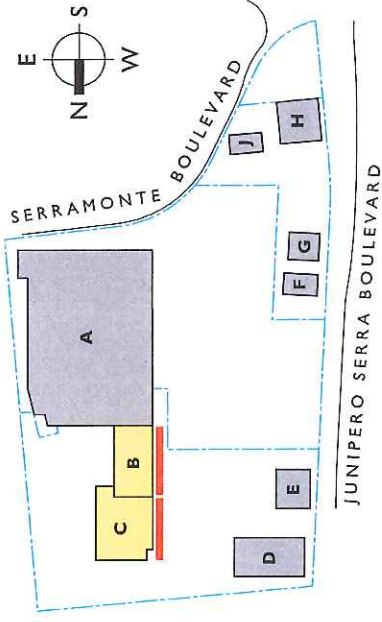
Building A -

- West, South & East Elevations
- Wall Sign
- Logo Sign



BUILDING A - WEST ELEVATION

BUILDING B & C ELEVATIONS



BUILDING C - WEST ELEVATION

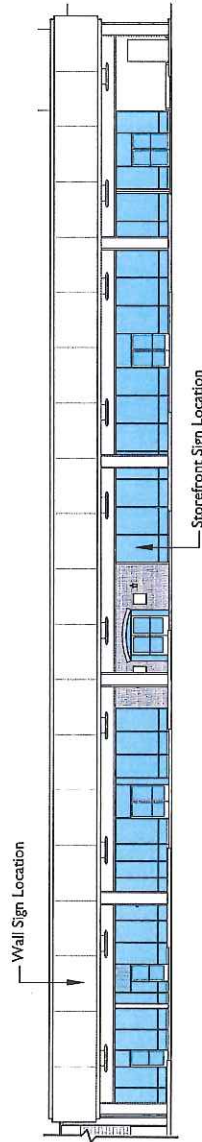
BUILDING A, B & C PERMITTED SIGNS
 One permitted sign per Tenant per Frontage, up to Three signs.

Building B - West Elevation

- Wall Sign
- Storefront Sign
- Projecting Sign

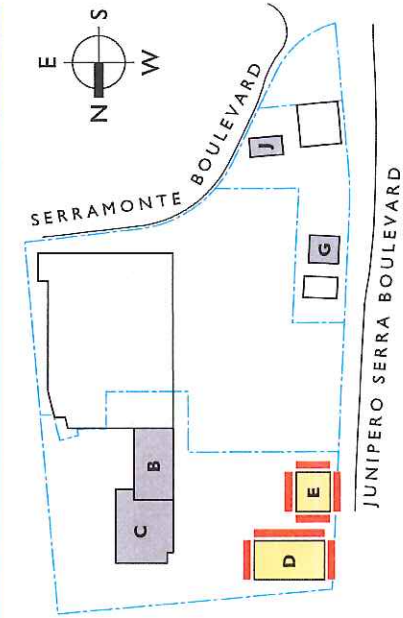
Building C - West Elevation

- Wall Sign
- Storefront Sign
- Projecting Sign



BUILDING B - WEST ELEVATION

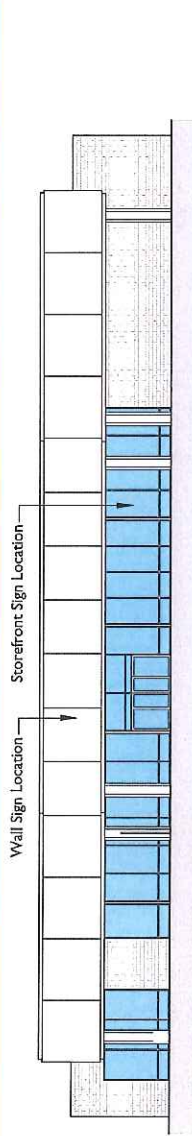
BUILDING D & E ELEVATIONS



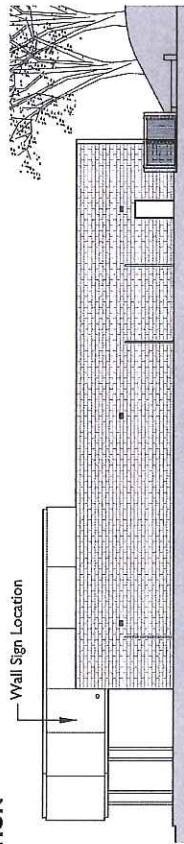
BUILDING D & E PERMITTED SIGNS

One permitted sign per Tenant per Frontage, up to Three signs

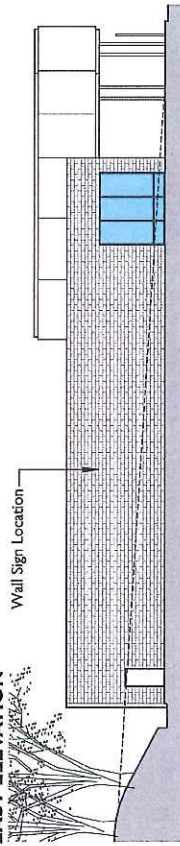
- Building D - South Elevation**
 - Wall Sign
 - Storefront Sign
 - Projecting Sign
- East & West Elevations**
 - Wall Sign
- Building E - East Elevation**
 - Edge Sign - Supported from Above or Below
- North Elevation**
 - Edge Sign - Supported from Below
 - Logo Sign
- West Elevation**
 - Edge Sign - Supported from Below
- South Elevation**
 - Wall Sign



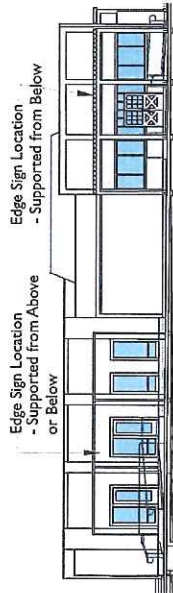
BUILDING D - SOUTH ELEVATION



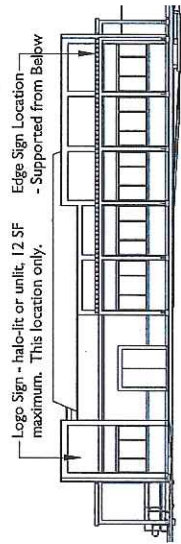
BUILDING D - EAST ELEVATION



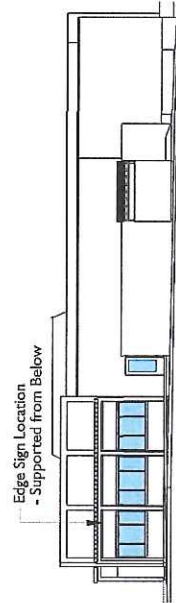
BUILDING D - WEST ELEVATION



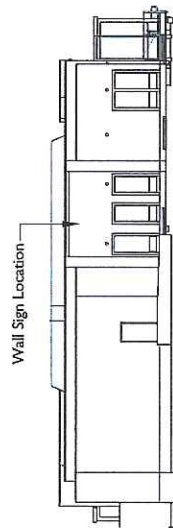
BUILDING E - EAST ELEVATION



BUILDING E - NORTH ELEVATION



BUILDING E - WEST ELEVATION (JUNIPERO SERRA BLVD.)



BUILDING E - SOUTH ELEVATION

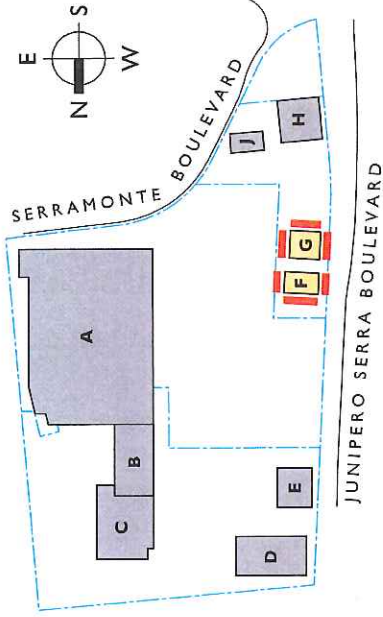
BUILDING F & G ELEVATIONS



BUILDING F - EAST ELEVATION



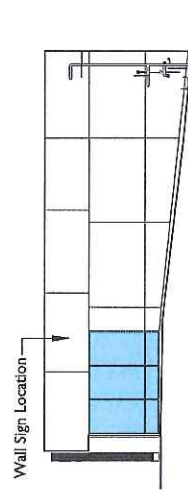
BUILDING F - NORTH & WEST (JUNIPERO SERRA BLVD.) ELEVATION



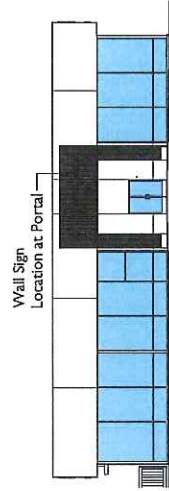
BUILDING F & G PERMITTED SIGNS
 One permitted sign per Tenant per Frontage, up to Three signs

Building F -
 East, North & West Elevations
 • Wall Sign

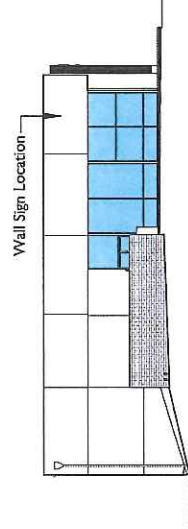
Building G -
 East, South & West Elevations
 • Wall Sign



BUILDING G - EAST ELEVATION

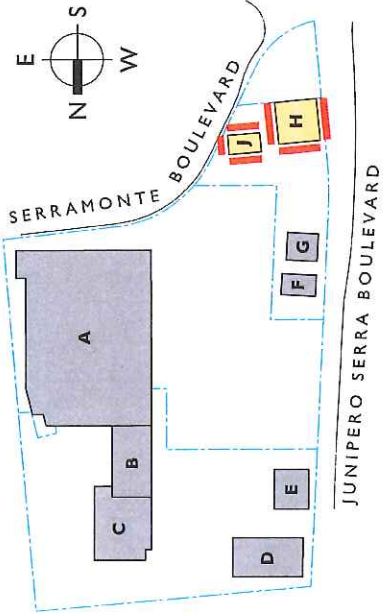


BUILDING G - SOUTH ELEVATION



BUILDING G - WEST ELEVATION (JUNIPERO SERRA BLVD.)

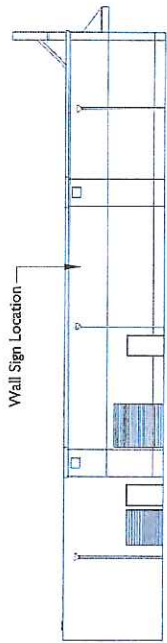
BUILDING H & J ELEVATIONS



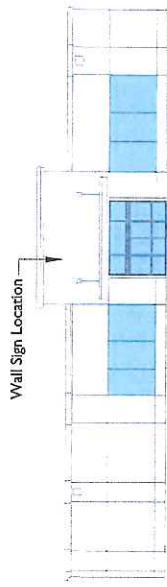
BUILDING H & J PERMITTED SIGNS
 One permitted sign per Tenant per Frontage, up to Three signs

Building H -
 • East, North & West Elevations
 • Wall Sign

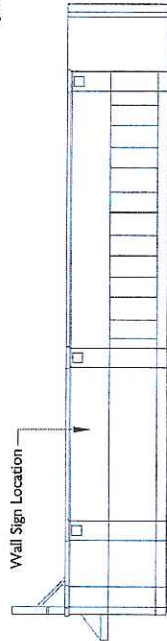
Building J -
 • South, East & North Elevations
 • Wall Sign



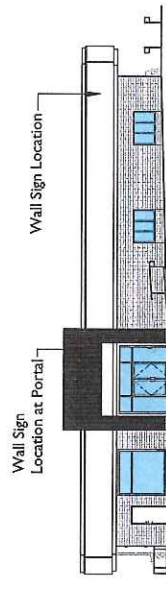
BUILDING H - EAST ELEVATION



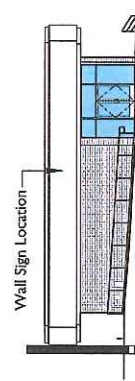
BUILDING H - NORTH ELEVATION



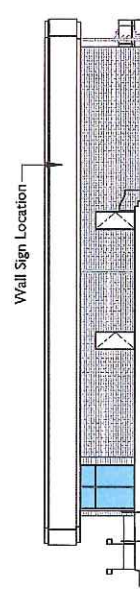
BUILDING H - WEST ELEVATION (JUNIPERO SERRA BLVD.)



BUILDING J - SOUTH ELEVATION



BUILDING J - EAST ELEVATION (SERRAMONTE BLVD.)



BUILDING J - NORTH ELEVATION

SIGN TYPES

WALL SIGNS

Description

Wall Signs consist of individual letters and logos pin-mounted directly to the facade wall or wood portal. Wall Signs must be generally centered over tenants glazed frontage where possible, with appropriate spacing from all edges. Back panels are not allowed.

Allowed Locations

Refer to the Building Elevations for allowable Wall Sign locations.

Maximum Sizes

Refer to the Allowable Signs & Dimensions chart for maximum allowable sizes.

Illumination

- Wall Signs must be internally illuminated. These include the following -
 - halo-illuminated reverse channel letters and logos
 - front-lit channel letters and logos with concealed trim cap
 - push-through acrylic logos
 - exposed neon letters or logos - if within a channel, the interior must be darker than neon color. No acrylic fronts are allowed.
 - LED signs are 3000K maximum.

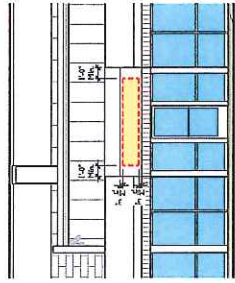
EXAMPLE: HALO-ILLUMINATED



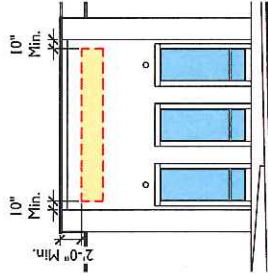
EXAMPLE: FRONT-LIT W/ CONCEALED TRIM CAP



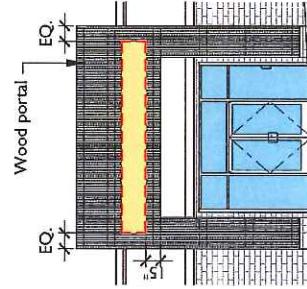
EXAMPLE: EXPOSED NEON



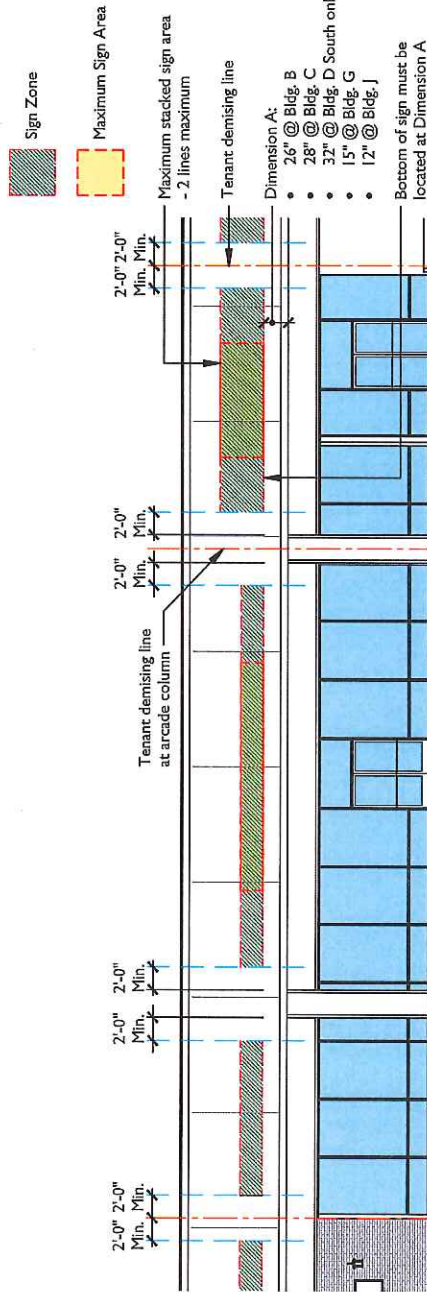
Building C Minor Tenant Elevation



Building E South Elevation



Portal Elevation



SIGN TYPES

EDGE SIGNS - Supported From Below

Description

Edge Signs consist of individual letters, logos, or iconography mounted directly to the top of the trellis beam.

Allowed Locations

Refer to the Building Elevations for allowable Edge Sign locations.

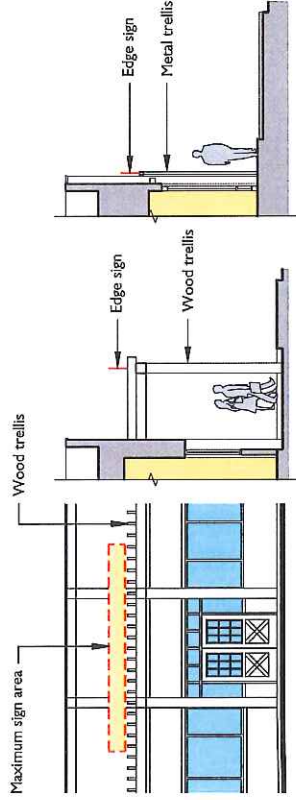
Maximum Sizes

Refer to the Allowable Signs & Dimensions Chart for maximum allowable sizes.

Illumination

Edge Signs must be internally illuminated. These include the following -

- halo-illuminated reverse channel letters and logos
- front-lit channel letters and logos with concealed trim cap
- push-through acrylic logos
- exposed neon letters or logos - if within a channel, the interior must be darker than neon color. No acrylic fronts are allowed.
- LED signs are 3000K maximum.



Trellis Elevation

Trellis Sections

EXAMPLE: SIGNAGE SUPPORTED FROM BELOW



EDGE SIGNS - Supported From Above

Description

Panels, individual letters, logos, or iconography suspended from the trellis beam.

Allowed Locations

Refer to the Building Elevations for allowable Sign locations.

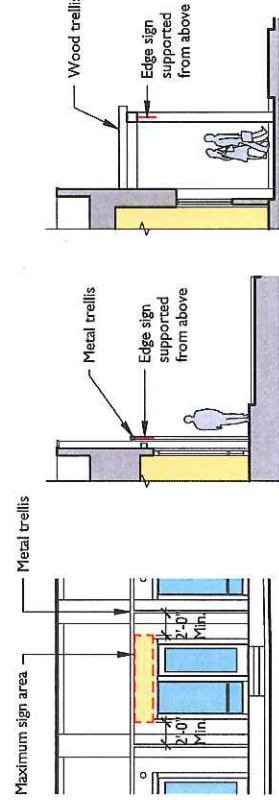
Maximum Sizes

Refer to the Allowable Signs and Dimensions Chart for maximum allowable sizes. A minimum clearance between columns and the sign panel is required.

Illumination

Signs must be internally illuminated. These include the following -

- halo-illuminated reverse channel letters and logos
- front-lit channel letters and logos with concealed trim cap
- push-through acrylic letters and logos
- exposed neon letters or logos - if within a channel, the interior must be darker than neon color. No acrylic fronts are allowed.
- LED signs are 3000K maximum.



Trellis Elevation

Trellis Sections

EXAMPLE: SIGNAGE SUPPORTED FROM ABOVE



SIGN TYPES

PROJECTING SIGNS

Description

Projecting Signs are mounted perpendicular to the building facade - suspended from the arcade ceiling, above the storefront opening. The sign bracket, consisting of a pair of metal rods, is provided. The sign may be a variety of shapes or three dimensional that fits within the indicated square or round sign area shape.

Allowed Locations

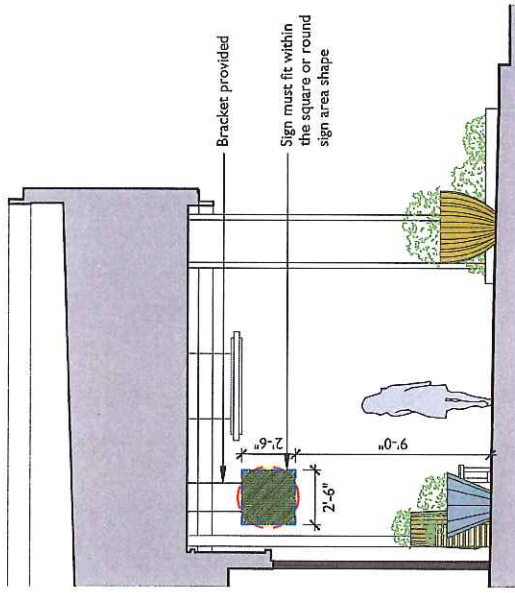
Projecting signs are allowed only within a building's arcade. Locate as close to entry door as feasible.

Maximum Sizes

Refer to the Allowable Signs and Dimensions Chart for maximum allowable sizes.

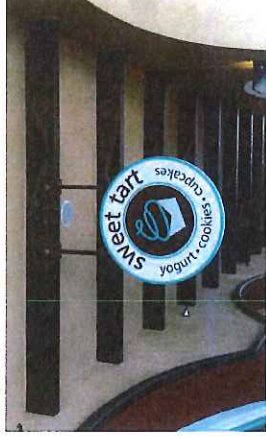
Illumination

Projecting Signs may be illuminated. Internal illumination only with an opaque background. LED signs are 3000K maximum.



Arcade Section

PROJECTING SIGN EXAMPLES



SIGN TYPES

STOREFRONT SIGNS

Description

Storefront Signs are parallel to the storefront and occurs within the storefront opening. Storefront Signs may consist of individual letters or logos pin-mounted to the storefront, letters and logos painted directly to storefront, or silkscreen/painting/sandblasting applied directly to the glazing.

Allowed Locations

Refer to the Building Elevations for allowable Storefront Sign locations.

Maximum Sizes

Refer to the Allowable Signs and Dimensions Chart for maximum allowable sizes.

Illumination

Storefront signs are non-illuminated.

STOREFRONT SIGN EXAMPLES



WINDOW GRAPHICS

Description

Window Graphics are located within the storefront glazing area and encompasses a wide variety of sizes, shapes and materials. They may be as simple as metal-leaf letters or as creative as mixed media signs that float across the store window. Other applications are silkscreen, sandblasting or film. Transparent window graphics - transparent film from inside and outside - is allowed.

Copy may include store hours, emergency phone number, or other tenant identification information, subject to landford and City planning approval.

Hours of Operation may be vinyl or metal leaf, applied to glass. Hours may be listed once per door or public entrance. Maximum letter size = 1/12". This does not count towards the maximum area allowed.

Allowed Locations

Window Graphics are allowed on all frontage glazing per restrictions.

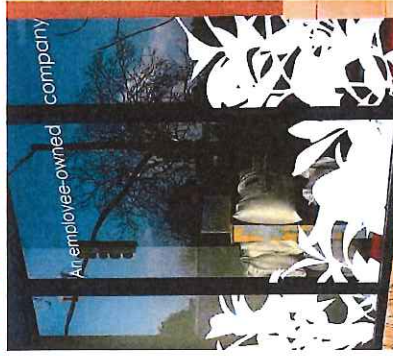
Maximum Sizes

The maximum area allowed is 20% of the storefront glazing area.

Illumination

Window Graphics are non-illuminated.

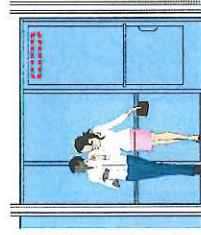
WINDOW GRAPHICS EXAMPLES



TENANT ADDRESS

The tenant's address is required at the store entrance and all other access points per the requirements of the Colma Fire Protection District.

1. Location: Centered in the vision panel at the top of the main entry door.
2. Material: Contrasting color with black outline 3/32" wide.
3. Font: **SWITZY BOLD**
4. Height: 6 3/16"
5. Stroke Width: 1"
6. Tenant addresses are non-illuminated.
7. At service & accessory doors, letters shall be 4" high, 1/2" stroke width, same style as above.



Storefront Elevation

ALLOWABLE SIGNS & DIMENSIONS

SIGN TYPES	Building A		Building B		Building C		Building D		Building E		Building F		Building G		Building H		Building J		Building K		
	West	East	West	East	West	East	West	East	West	East	West	East	West	East	West	East	West	East	West	East	
WALL SIGN																					
Single Line																					
Max. Letter Size	5'-0"	3'-6"	2'-0"	3'-6"	3'-6"	2'-0"	2'-0"	2'-0"	-	-	2'-0"	2'-0"	2'-0"	2'-0"	1'-6"	1'-6"	2'-0"	2'-0"	2'-0"	2'-0"	
Max. Sign Length	40'-0"	28'-0"	20'-0"	20'-0"	26'-0"	10'-0"	16'-0"	16'-0"	-	-	20'-0"	20'-0"	26'-0"	26'-0"	14'-0"	14'-0"	16'-0"	16'-0"	16'-0"	16'-0"	
Stacked - Max. Letter-Size equals Single Line Max. Letter-Size																					
Max. Sign Height	-	-	3'-6"	6'-0"	6'-0"	7'-0"	3'-6"	4'-6"	-	-	4'-0"	4'-0"	4'-6"	4'-6"	4'-0"	4'-0"	3'-6"	3'-6"	3'-6"	3'-6"	
Max. Sign Length	-	-	16'-0"	20'-0"	20'-0"	16'-0"	8'-0"	22'-0"	-	-	16'-0"	16'-0"	22'-0"	22'-0"	12'-0"	12'-0"	16'-0"	16'-0"	16'-0"	16'-0"	
PROJECTING SIGN																					
Max. Area	-	-	6.25 SF	6.25 SF	6.25 SF	6.25 SF	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
STOREFRONT SIGN																					
Max. Letter Size	-	-	1'-6"	1'-6"	1'-6"	1'-6"	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Max. Sign Length	-	-	12'-0"	12'-0"	12'-0"	12'-0"	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
EDGE SIGN - Supported from Below																					
Max. Letter Size	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Max. Sign Length	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
EDGE SIGN - Supported from Above																					
Max. Letter Size	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Max. Sign Length	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Sign Height	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	

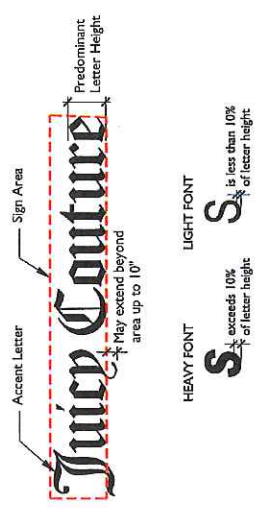
- Notes:
- Letter sizes shown in chart are for 1" Letter sizes shown in chart are for Predominant Letters.
 - Light Fonts may be increased in size. Light Fonts may be increased in size by 20% (example: 20" to 24").
 - For signs with a Max. Letter Size up to 10'-0" - applies at multi-tenant buildings only.
 - If sign is less than 6'-0" long, letters may increase to 3'-6" maximum at multi-tenant buildings, 4'-0" maximum at Building C & 6'-0" maximum at Building D.

DEFINITIONS

- Sign Area:** The sign area is calculated by measuring the simple-most geometric frame that can be placed around the sign design.
- Accent Letters:** Usually the first letter of a business name that is larger than the other sign letters for emphasis. Allowable accent letter sizes will be determined on a case by case basis.
- Predominant Letters:** Letters that make up the majority of the name of the tenant. They can be lower or uppercase letters, depending on the font and logo.
- Heavy Font/Light Font:** Typeface comes in a variety of styles and weights. The weight of the font determines the maximum allowable height of the letter.
- Sign Zone:** Area on a building frontage where a sign may be located.
- Logo Sign:** Icon that represents the tenant.

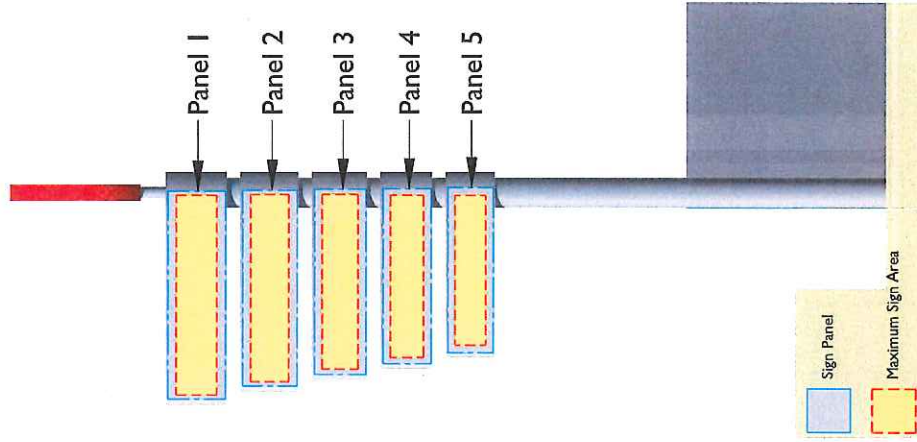
PROHIBITED SIGNAGE

- The following types of signs and signage details are not permitted:
- Signs with descriptions of products/services, phone numbers and websites
 - Internally illuminated box ("can") signs
 - Vacuum-formed or injection molded plastic signs
 - Individual front-lit pan channel letters, except those with concealed trim caps
 - Signs with plain block, 'generic' lettering
 - Flashing or moving lights, graphics or other imagery
 - Signs employing luminous or day-glow paint
 - 'Generic' 'open' or 'closed' signs (printed or illuminated)
 - 'Going Out of Business' banners
 - Large 'Sale' signs
 - A-frame signs
 - Banners
 - Any other sign prohibited by the Town of Colma

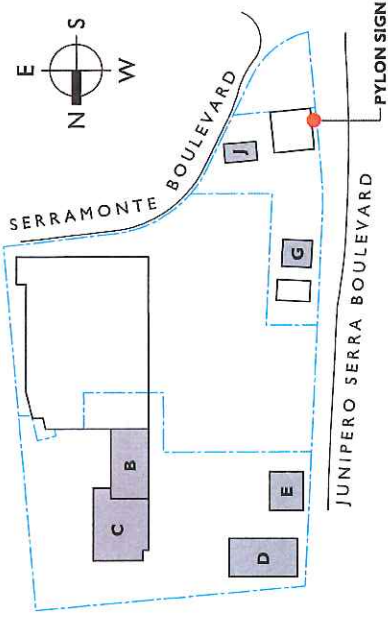


B - TENANT SIGNAGE CRITERIA AT PYLON SIGN

The Pylon Sign is located along Junipero Serra Boulevard and is only available to select tenants, to be determined by the Landlord. The tenant will provide a sign panel that is attached to an existing curved double-sided sign cabinet, per specifications provided by the Landlord.



Pylon Sign Elevation



Pylon Sign Dimensions & Requirements

SIGN PANEL:	Maximum Sign Area Height	Maximum Sign Area Length	Letter or Logo Depth
1	4'-1"	20'-0"	5"
2	3'-10"	18'-9"	4.75"
3	3'-7"	17'-6"	4.5"
4	3'-4"	16'-3"	4.25"
5	3'-1"	15'-0"	4"

- Aluminum panel to match gauge and finish of sign cabinet, per Landlord specifications.
- Sign is internally illuminated - individual pin-mounted front lit channel letters or logos, per Landlord specifications.

PROJECT
Serra Center
Wayfinding
Signage

1915 Serrano Boulevard
 Colton, CA 94014

CLIENT
 CREE Automotive Company, LLC
 3000 Foothill Street, Suite 1200
 Emeryville, CA 94608

ARCHITECT



101 Foothill Street, Suite 1200, San Francisco, CA 94107-4150 (USA)
 415.761.6141



PROJECT NUMBER
 322017

PROJECT NUMBER
 1125241
SHEET TITLE
Entry Sign C Vicinity
Plan

A1.2



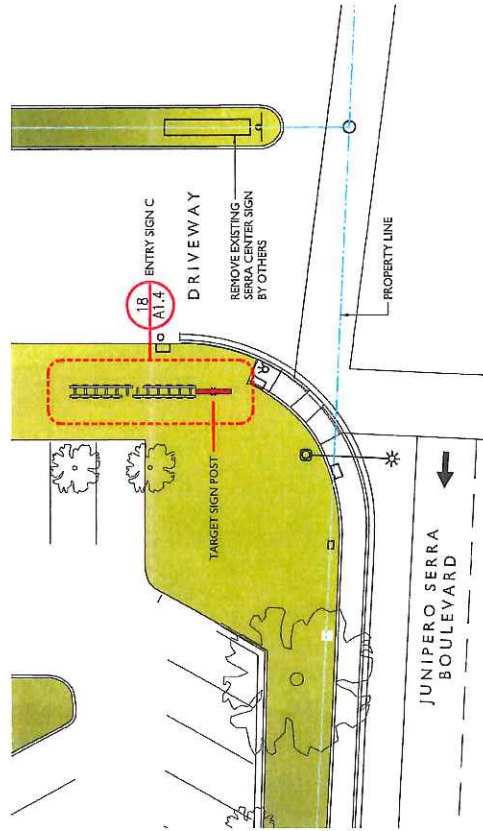
EXISTING CONDITIONS



PROPOSED ENTRY SIGN

7 Entry Sign C Perspectives
 SCALE: N.T.S.

Exhibit B to
Serra Center Master Sign Program
March 2017



17 Entry Sign C Vicinity Plan
 SCALE: 1/8" = 1'-0"



PROJECT
Serra Center
Wayfinding
Signage

193 Serramonte Boulevard
 Colma, CA 94014

CLIENT
 C&S Properties Company, LLC
 1000 Serramonte Blvd
 Emeryville, CA 94607

ARCHITECT



193 Serramonte Blvd ST, San Francisco, CA 94027-0100
 REF PLAN



ISSUE
 Planning Schematic

DATE
 2/28/17

PROJECT NUMBER
 15553A

SHEET TITLE
Entry Sign & Vicinity
Plan

A1.3



EXISTING CONDITIONS



PROPOSED ENTRY SIGN

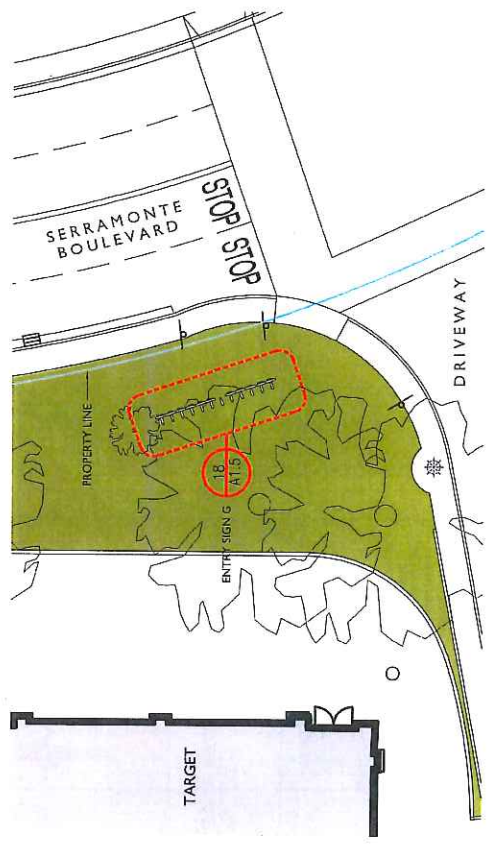


EXISTING CONDITIONS



PROPOSED ENTRY SIGN

7
A1.3
 Entry Sign & Perspectives
 SCALE: N.T.S.



17
A1.3
 Entry Sign & Vicinity Plan
 SCALE: 1/8" = 1'-0"



Design Intent Drawings

CONTENTS

- A0.0 Sheet Contents and Vicinity Map
- A1.0 Proposed Site Plan
- A1.2 Entry Sign C Vicinity Plan
- A1.3 Entry Sign G Vicinity Plan
- A1.4 Proposed Entry Sign C
- A1.5 Proposed Entry Sign G
- A2.1 Pylon Sign Vicinity Plan
- A2.2 Former Pylon Sign
- A2.3 Proposed Pylon Sign
- A3.0 General Notes

DESIGN INTENT DRAWING PACKAGE/CONTRACTOR DESIGN BUILD DRAWINGS

It is expected that the Contractor, shall execute the project on a Design Build basis and shall be responsible for any additional information or engineering not shown in this Design Build Drawing Intent Package required for Building Permit. It should be understood that Design Intent Documents are not Construction Documents or Permit Documents. The Contractor's Engineers and other Consultants will prepare the necessary documents to be submitted by the Contractor to the Building Department for permits as required. Such documents may include, but not be limited to:

- Title 24 Report
- Electrical drawings
- Demolition drawings
- Landscape drawings
- Civil Engineering drawings

The contractor shall submit all shop and permit drawings, including awning, trellis structure, and storefront shop drawings to SZFPM for review and approval prior to submittal for building permit.

PROJECT
**Serra Center
 Wayfinding
 Signage**

775 Sacramento Boulevard
 Colma, CA 94014

CLIENT
 GSEI Properties Company, LLC
 10000 Serrano Avenue, Suite 100
 Fremont, CA 94538

ARCHITECT



10000 Serrano Ave #100, Fremont, CA 94538
 TEL: 510.471.1111



DATE
 1/27/17

PROJECT NUMBER
 132544
 SHEET TITLE
**Sheet Contents and
 Vicinity Map**

A0.0



VICINITY MAP

APN: 008-373-410
 008-373-049

Attachment

Sign Permit Drawings:

- Target Pole Sign
- Multi-Tenant Pole Sign
- Serra Center Entry Signs
- Aaron Brothers Wall Signs

RECEIVED

FEB 27 2017

Town of Colma
 Planning Dept



PROJECT

Serra Center Wayfinding Signage

WFO Designer: Redwood
City, CA 94041

CLIENT

CHS-Highways Company LLC
300 Broad Street, Suite 100
San Francisco, CA 94102

ADDRESS



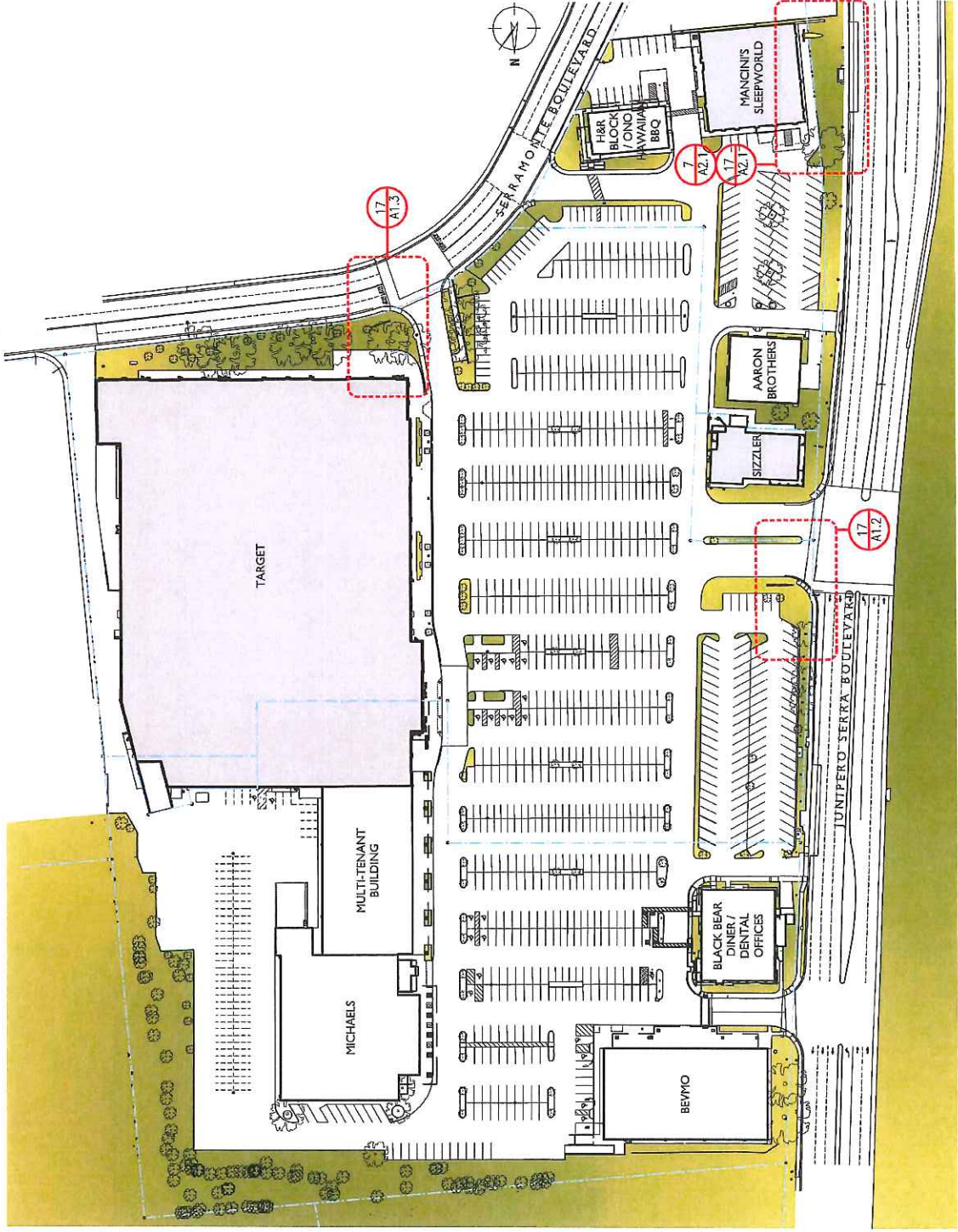
100 Francisco Street, San Francisco, CA 94102
REV 15/21



DATE: 12/21/21
ISSUE: Planning, Utilities

PROJECT NUMBER: 121211

SHEET TITLE: Proposed Site Plan



1 Proposed Site Plan
SCALE: 1" = 40'-0"

A1.0

PROJECT

Serra Center Wayfinding Signage

199 Serravallo Boulevard
Costa, CA 95014

CREDIT

CH2M Hill
CH2M Hill Construction, LLC
3000 Central Expressway, 10th
Fremont, CA 94538

ARCHITECT



101 Francisco Ave, Ste. 300, Redwood City, CA 94061-4355, USA
TEL: 650.961.1100



PROJECT NUMBER: 132491
SHEET TITLE: Entry Sign C Vicinity Plan
DATE: 12/11/11
EODC: Planning Submittal

PROJECT NUMBER: 132491
SHEET TITLE: Entry Sign C Vicinity Plan

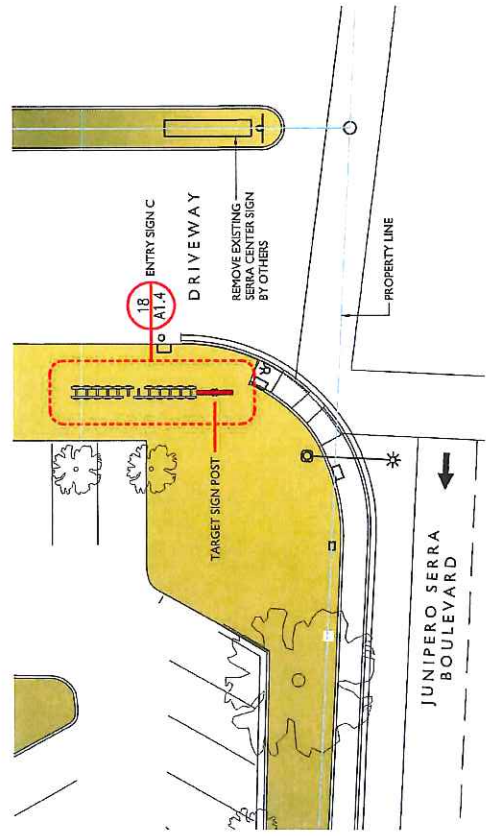


EXISTING CONDITIONS



PROPOSED ENTRY SIGN

7 Entry Sign C Perspectives
A1.2 SCALE: NTS



17 Entry Sign C Vicinity Plan
A1.2 SCALE: 1/8" = 1'-0"

A1.2

PROJECT

Serra Center Wayfinding Signage

198 Serramonte Boulevard
Cobles, CA 94014

CLIENT

CNG Hospitality Company, LLC
3000 Powell Street, Suite #700
Berkeley, CA 94704

ARCHITECT



191 Jackson Street, Suite 210, San Francisco, CA 94102 | 415.562.5811
SEY@MSZ.COM



ISSUE: Planning Selection
DATE: 02/2017

PROJECT NUMBER

022420

SHEET TITLE

Entry Sign & Vicinity Plan



EXISTING CONDITIONS



PROPOSED ENTRY SIGN

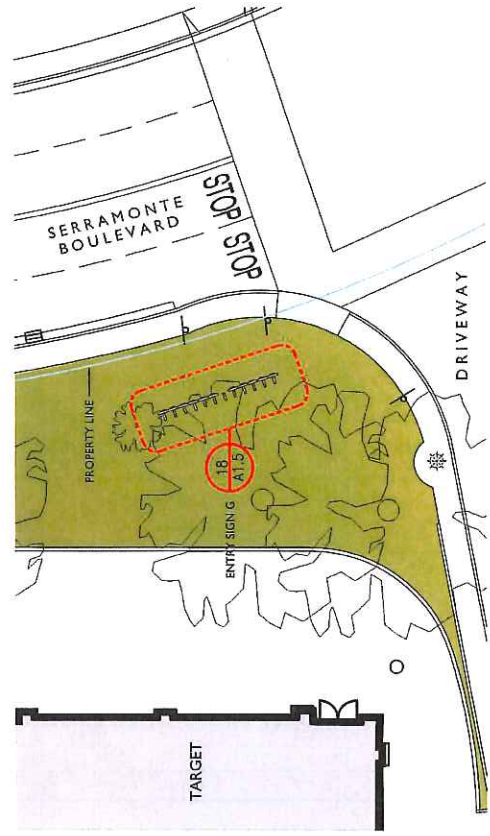


EXISTING CONDITIONS



PROPOSED ENTRY SIGN

7 Entry Sign & Perspectives
A1.3 SCALE: NTS



17 Entry Sign & Vicinity Plan
A1.3 SCALE: 1/8" = 1'-0"

A1.3

PROJECT

Serra Center Wayfinding Signage

905 Encinitas Boulevard
Carls, CA 92001

905 Encinitas Boulevard
Carls, CA 92001

CLIENT

905 Encinitas Boulevard
Carls, CA 92001

ARCHITECT



100 East Street, Suite 201, San Francisco, CA 94102 415-543-5522

KEY PLAN



DATE
1/2/17

PROJECT NUMBER
17-001

SHEET TITLE
Proposed Entry Sign C

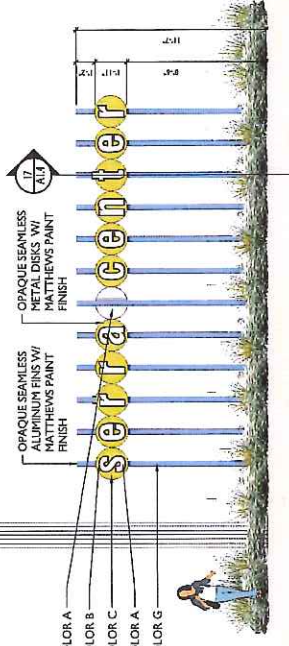
A1.4



RETURNS: TO MATCH MATTHEWS MP0909 FULL GLOSS RED FINISH 2793 30% GLOSS ACRYLIC TRIM/CAP RED

PERFORATED .125 ALUM. BACKER PANEL ON LOGO; 1" HOLES AT 1/4" STAGGER-50% OPEN

9 Entry Sign Perspective
A1.4 SCALE N.T.S.

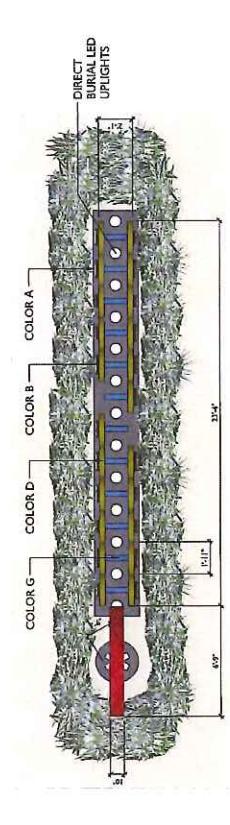


OPAQUE SEAMLESS METALLIC FINISH MATTHEWS PAINT FINISH

OPAQUE SEAMLESS METALLIC FINISH MATTHEWS PAINT FINISH

COLOR A
COLOR B
COLOR C
COLOR D
COLOR E
COLOR F

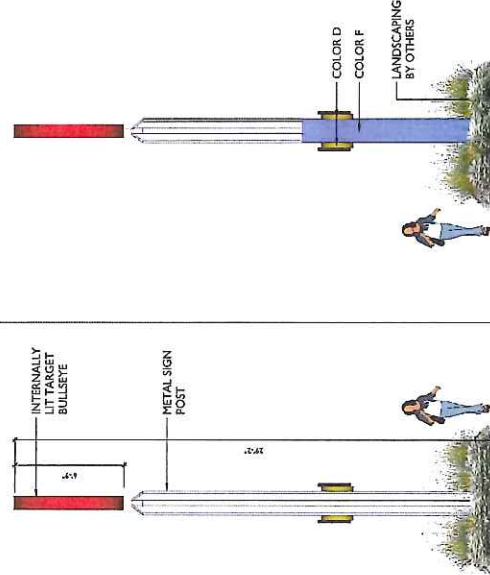
13 Front Elevation
A1.4 SCALE N.T.S.



18 Plan
A1.4 SCALE N.T.S.

	COLOR A Matthew's White	Matthew's Black	COLOR B	
	COLOR C Alto Green	Alto Green	COLOR D	
	COLOR E Blue on Violet	Blue on Violet	COLOR F	
	COLOR G Isoprop	Isoprop	COLOR H	

1 Color Specification
A1.4 SCALE N.T.S.



INTERNALLY LIT TARGET BULLETS

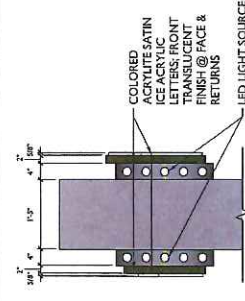
METAL SIGN POST

COLOR D
COLOR F

LANDSCAPING BY OTHERS

11 Side Elevation
A1.4 SCALE N.T.S.

12 Side Elevation
A1.4 SCALE N.T.S.



COLORED ACRYLIC SATIN FACE
LETTERS: FRONT TRANSLUCENT FINISH @ FACE & RETURNS

LED LIGHT SOURCE

17 Section Through Vertical Fin
A1.3 SCALE N.T.S.

**Serra Center
Wayfinding
Signage**

PROJECT
Serra Center Wayfinding Signage
Colton, CA 95924

CLIENT
C&S Management Company, LLC
3000 Park Avenue, Suite 1300
Emeryville, CA 94608

ARCHITECT
SZFM DESIGN STUDIO



487 Francisco Blvd. E., San Francisco, CA 94133-5105
OFF PLAN



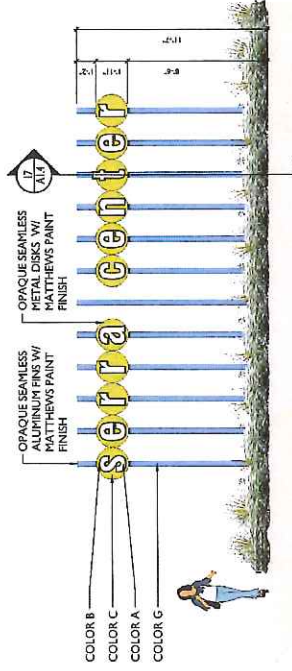
DATE
Drawing Schedule
12/21/17

PROJECT NUMBER
152508
SHEET TITLE
Proposed Entry Sign G

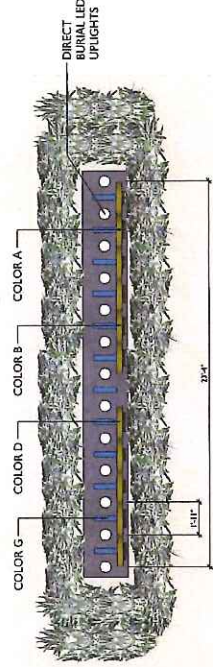
A1.5



8 Entry Sign Perspective
A1.5 SCALE N.T.S.



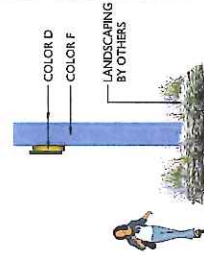
13 Front Elevation
A1.5 SCALE N.T.S.



18 Plan
A1.5 SCALE N.T.S.

1 Color Specification
A1.4 SCALE N.T.S.

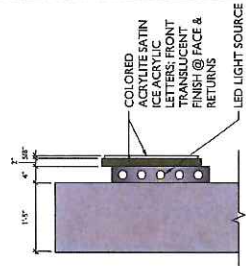
	COLOR A Matthew's White Matthew's Paint		COLOR B Matthew's Black Matthew's Paint		COLOR C Alibi Green Matthew's Paint		COLOR D Moss Green Matthew's Paint		COLOR E Blue on Violet Matthew's Paint		COLOR F Yellow Matthew's Paint		COLOR G Indigo Matthew's Paint
--	--	--	--	--	--	--	---	--	---	--	---	--	---



12 Side Elevation
A1.5 SCALE N.T.S.



11 Side Elevation
A1.5 SCALE N.T.S.



17 Section Through Vertical Fin
A1.5 SCALE N.T.S.



6 Former Pylon Sign Perspective
SCALE: N.T.S.

PROJECT
Serra Center
Wayfinding
Signage

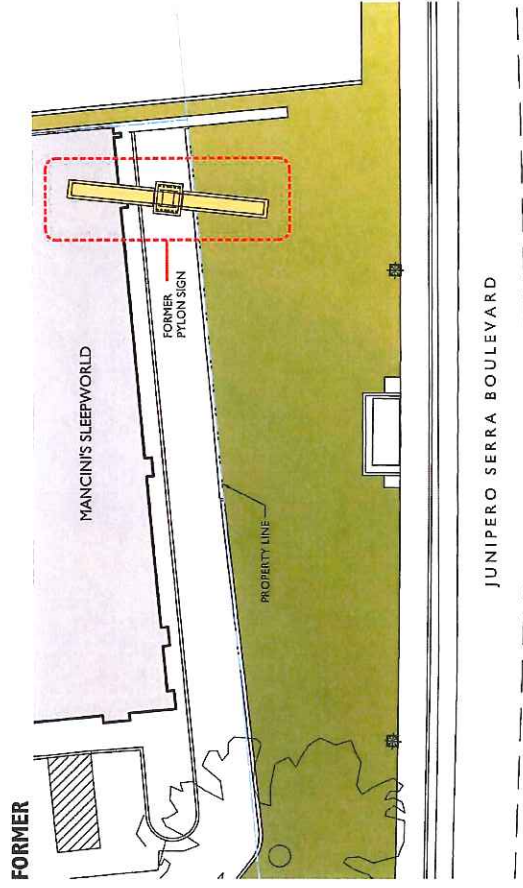
999 Sacramento Boulevard
Culver, CA 94621

CLIENT
CITEC Management Company LLC
2000 Hunt Highway, Suite 100
Beverly Hills, CA 90210

REFERENCE



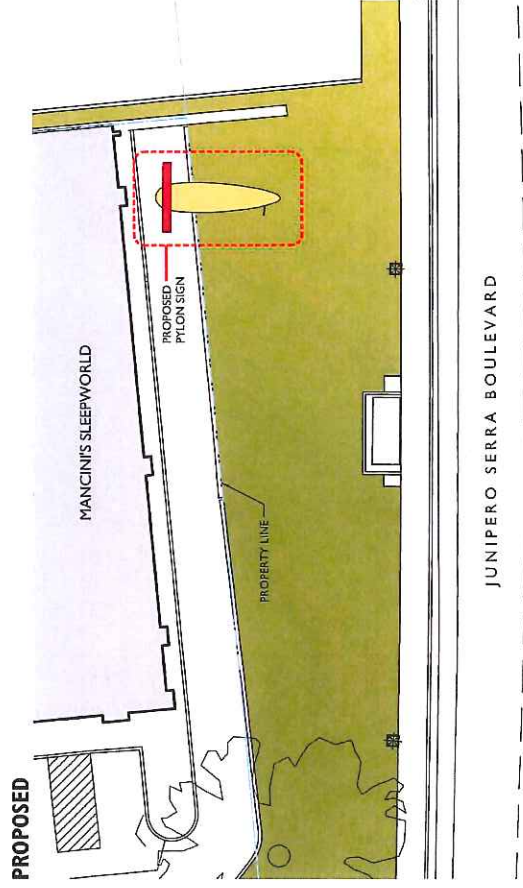
100 South Street, San Francisco, CA 94111
TEL: 415.774.1111



7 Former Pylon Sign Vicinity Plan
SCALE: 1/8" = 1'-0"



16 Proposed Pylon Sign Perspective
SCALE: N.T.S.



17 Proposed Pylon Sign Vicinity Plan
SCALE: 1/8" = 1'-0"



TITLE
Wayfinding Signage

DATE
12/11/17

PROJECT NUMBER
171717

SHEET TITLE
Pylon Sign Vicinity Plan



A2.1

PROJECT
Serra Center
Wayfinding
Signage

1785 Serrano Boulevard
 Colton, CA 92314

CLIENT
 CDE Development Company, LLC
 200 Howard Street, Suite 1500
 San Francisco, CA 94105

ARCHITECT



121 Francisco Street, Suite 201, San Francisco, CA 94133
REF PLAN



ISSUE
 Planning Submission

DATE
 12/2017

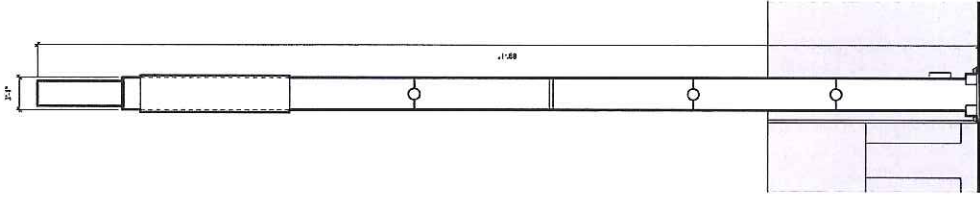
PROJECT NUMBER
 15143

SHEET TITLE
Former Pylon Sign

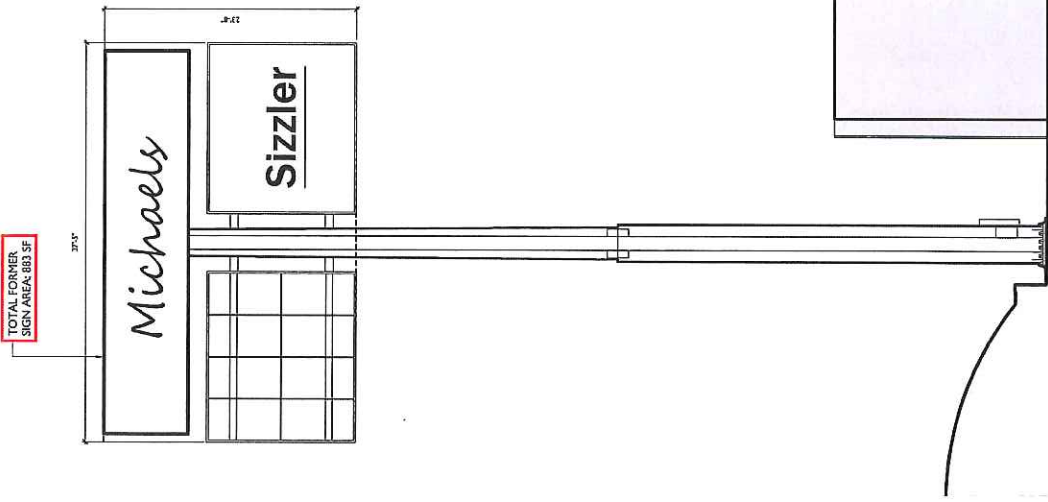
A2.2



10 Former Perspective
 A2.2 SCALE: 1/8" = 1'-0"



11 Former Side Elevation
 A2.2 SCALE: 3/4" = 1'-0"



12 Former Front Elevation
 A2.2 SCALE: 1/4" = 1'-0"

PROJECT
Serra Center
Wayfinding
Signage

979 Sacramento Boulevard
 Colton, CA 95310

CLIENT
 CFC Properties Company, LLC
 2009 MacArthur Blvd Suite 220
 San Francisco, CA 94108

ARCHITECT



101 Found Street, Suite 200, San Francisco, CA 94111-3120
 TEL: 415.774.1111



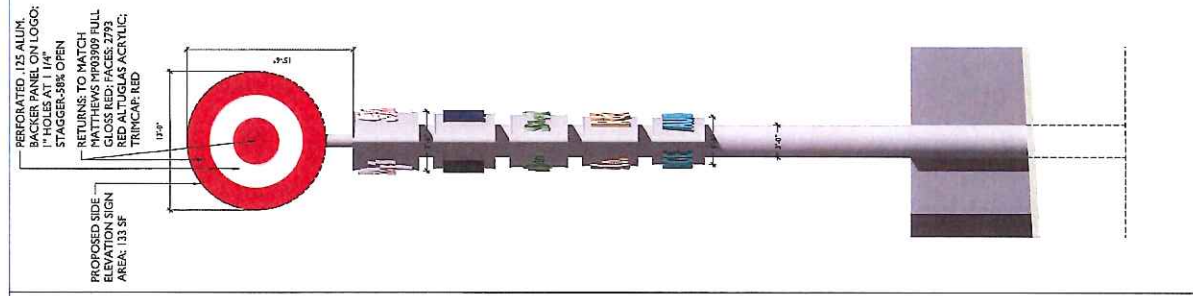
SCALE
 Drawing: 1/8" = 1'-0"

PROJECT NUMBER: 131248
 SHEET TITLE: Proposed Pylon Sign

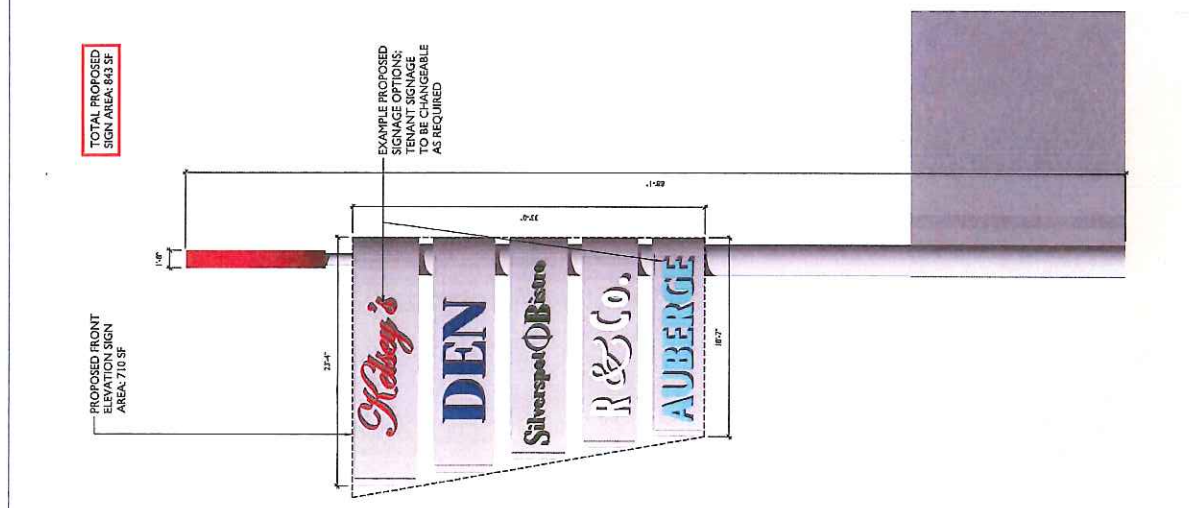
A2.3



10 Proposed Perspective
 A2.3 SCALE: 1/8" = 1'-0"



18 Proposed Side Elevation
 A2.3 SCALE: 1/4" = 1'-0"



16 Proposed Front Elevation
 A2.3 SCALE: 1/4" = 1'-0"

GENERAL NOTES

A. GENERAL:

1. All work shall be in accordance with the specifications and drawings provided by the Owner.
2. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
3. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
4. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
5. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
6. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
7. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
8. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
9. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
10. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.

B. SHOP DRAWINGS/DETAILS/CONCRETE DETAILS:

1. The Contractor shall submit all shop drawings, details, and concrete details for review by the Architect and Engineer.
2. The Contractor shall submit all shop drawings, details, and concrete details for review by the Architect and Engineer.
3. The Contractor shall submit all shop drawings, details, and concrete details for review by the Architect and Engineer.

4. Shop drawings and related supporting data be completed within 2 weeks of signing the contract. If the Architect requires a revision to shop drawings, the Contractor shall submit a revised set of shop drawings within 10 business days of receiving the Architect's comments.
5. Submit complete shop drawings and supporting data to the Architect for review and approval. Do not submit shop drawings for review until all supporting data is provided.
6. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
7. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
8. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
9. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.
10. The Contractor shall be responsible for obtaining all necessary permits and approvals for the work.

C. PRODUCT DELIVERY, STORAGE AND MAINTENANCE:

1. Deliver goods to job site per manufacturer's instructions for handling, storage, and protection.
2. Maintain storage area in a clean, dry, and well-ventilated condition to prevent damage to materials.
3. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.
4. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.
5. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.
6. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.
7. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.
8. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.
9. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.
10. Store materials in a secure, dry, and well-ventilated condition to prevent damage to materials.

E. INSTALLATION:

1. Verify that all materials are in accordance with approved shop drawings, notes, and specifications.
2. In case of a discrepancy between full conditions and approved shop drawings, notify the Architect.
3. Do not proceed with installation until all materials are in accordance with approved shop drawings, notes, and specifications.
4. Check and repair all damaged parts or materials in writing as a result of the installation process.
5. Install signs, markers, and other materials in accordance with approved shop drawings, notes, and specifications.
6. Install signs, markers, and other materials in accordance with approved shop drawings, notes, and specifications.
7. Install signs, markers, and other materials in accordance with approved shop drawings, notes, and specifications.
8. Install signs, markers, and other materials in accordance with approved shop drawings, notes, and specifications.
9. Install signs, markers, and other materials in accordance with approved shop drawings, notes, and specifications.
10. Install signs, markers, and other materials in accordance with approved shop drawings, notes, and specifications.

PROJECT INFORMATION:

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT: Serra Center Wayfinding Signage

CLIENT: Serra Center

ARCHITECT: SZEM DESIGN STUDIO

DATE: 01/15/2024

PROJECT NUMBER: 2024-001

PROJECT TITLE: Serra Center Wayfinding Signage

PROJECT
Serra Center
Aaron Brothers

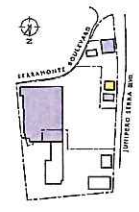
2545 Highway 28 West
 Corona, CA 92611

CLIENT
 GEO Management Company, LLC
 11500
 Encinitas, CA 92024

ARCHITECT



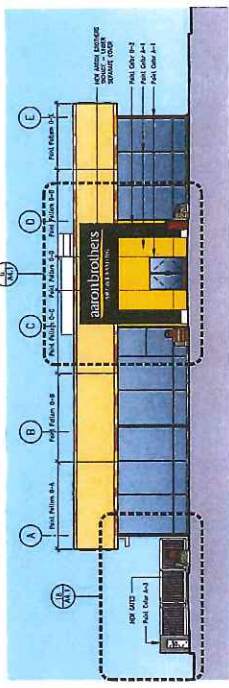
401 Park Street, Suite 311 | San Francisco, CA | Phone: 415-363-5555
 REF: P-049



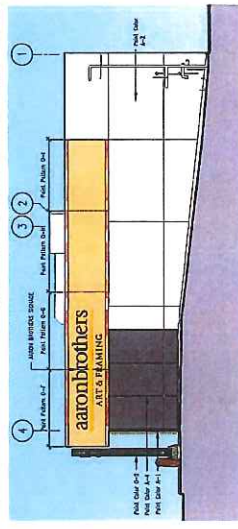
DATE
 2/21/19

PROJECT NUMBER
 1529-05
 STREET TITLE
Existing and Proposed Elevations

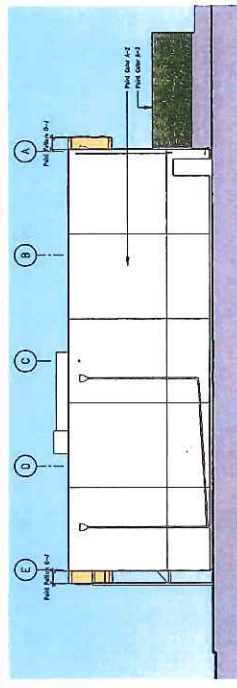
A3.1



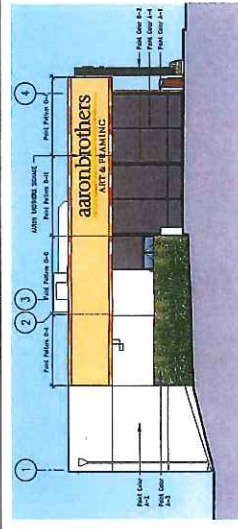
3 Proposed South Elevation
 A3.1 SCALE: 1/8" = 1'-0"



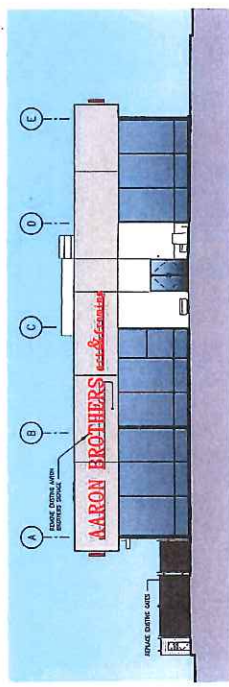
6 Proposed East Elevation
 A3.1 SCALE: 1/8" = 1'-0"



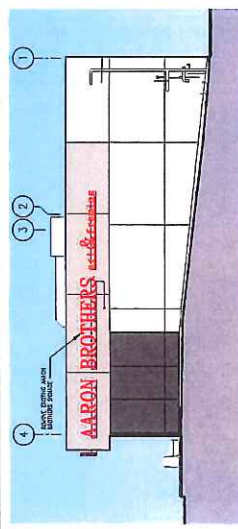
13 Proposed North Elevation
 A3.1 SCALE: 1/8" = 1'-0"



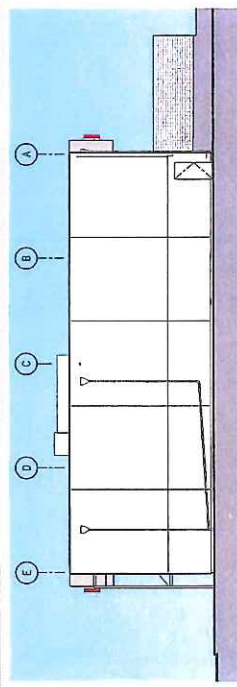
18 Proposed West Elevation
 A3.1 SCALE: 1/8" = 1'-0"



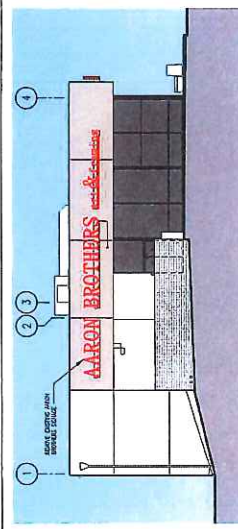
1 Existing South Elevation
 A3.1 SCALE: 1/8" = 1'-0"



6 Existing East Elevation
 A3.1 SCALE: 1/8" = 1'-0"



11 Existing North Elevation
 A3.1 SCALE: 1/8" = 1'-0"



16 Existing West Elevation
 A3.1 SCALE: 1/8" = 1'-0"





STAFF REPORT

TO: Mayor and Members of the City Council
 FROM: Brian Dossey, Administrative Services Director
 VIA: Sean Rabé, City Manager
 MEETING DATE: April 12, 2017
 SUBJECT: Town of Colma Website Presentation

RECOMMENDATION

There is no recommendation at this time; this item is a study session

EXECUTIVE SUMMARY

The City Council has identified "*Increasing the Use of Technology to Enhance Customer Service*" as one of the program goals to the 2017-19 Strategic Plan. This goal is designed to take advantage of opportunities to improve services through the use of technology. One of the action items to this program goal is to improve the Town's website to allow forms to be completed and submitted online; provide better analytics; and greater searching ability.

Staff has contracted with Proud City, a webhosting company, and has been receiving training and transferring website content from the Town's current website to the new Proud City web platform since late January. Staff is getting prepared to publish the new website to the community and general public in a test (Beta) phase in hopes of getting feedback prior to launching the new website.

The purpose of the study session is to present the new website to City Council and receive comments and feedback from Council prior to the test phase to the public.

FISCAL IMPACT

The website platform and training was a one-time fee of \$4,000 and the annual maintenance and hosting fee is \$215.00 per year.

ANALYSIS

In 2009 the Town of Colma updated the Town website to the Joomla platform at no cost, and was updated and maintained by Town Staff. While the site served the Town well, it was

somewhat limited in its capabilities and was not always user friendly and searching for information was sometimes difficult.

As part of the 2017-19 Strategic Plan, the City Council directed staff to make improvements to Town operations, and identified "*Increasing the Use of Technology to Enhance Customer Service*" as one of the priority programs.

In November 2016 staff met representatives from a new webhosting company named Proud City at an "Emerging Local Government Leaders" (ELGL) workshop. After several demonstrations and meetings with Proud City, staff felt that Proud City could meet the Town's technology and website needs with the platform they were providing, and their fees were very competitive for the services they were offering.

Since late January, Town staff has been meeting online with Proud City staff two times per week receiving training on the Proud City platform, and transferring content from the existing website to the new web platform.

While the new website is not one hundred percent complete, staff feels the new website is at a point where it needs to be made public for testing and review, so staff can receive feedback and make adjustments prior to making the Proud City web platform the Town's official website.

Staff estimates the official launch date of the new website to be the first part of May 2017.

Sustainability Impact

With the ability to fill out and submit forms to the Town online, staff will hope to reduce its use of paper.

SUMMARY

Upon completion of the website presentation on April 12, 2017, staff will be seeking feedback and comments from the City Council and public.