

Cadillac

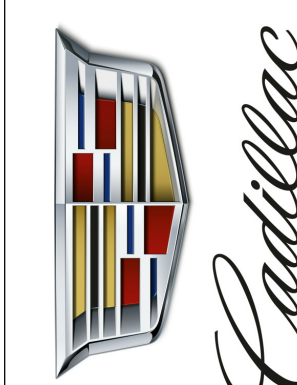
775 SERRAMONTE BLVD., COLMA CA 94014



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[illegible]

**COLMA CADILLAC**  
**775 Serramonte Blvd.**  
**Colma, CA 94014**



CONTRACT DATE:  
10-01-2019



## FLOOR PLAN

DESIGNED BY:
DRAWN BY:
CHECKED BY:
JOB NO.

2019-30

**A100**



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[illegible]

**COLMA CADILLAC**  
775 Serramonte Blvd.  
Colma, CA 94014



CONTRACT DATE:  
10-01-2019



ROOF PLAN

DESIGNED BY:
DRAWN BY:
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JOB NO.

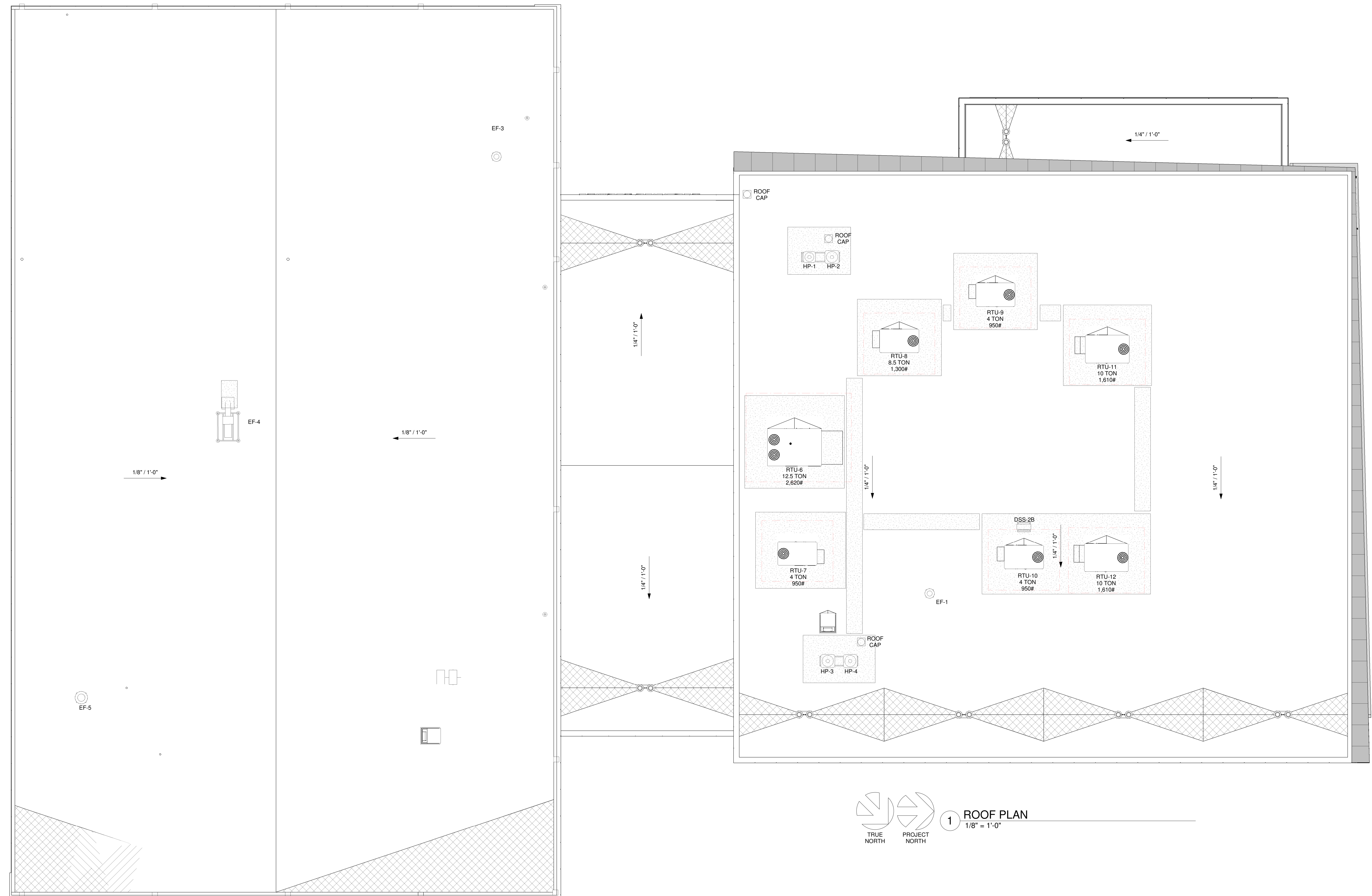
2019-30

A102

1. UNDERSIDE OF PARAPET CAP FLASHING SHALL BE PRIMED.
2. PENETRATIONS IN ROOFING MEMBRANE AND FLASHING SHALL ONLY BE MADE AS INDICATED ON THE DRAWINGS OR SPECIFICATIONS.
3. REFER TO PROJECT SPECIFICATION MANUAL FOR SEALANT SPECIFICATIONS.
4. ALL SHEET METAL FLASHING SHALL BE 0.050 ALUMINUM MINIMUM UNLESS NOTED OTHERWISE.
5. COVERING MATERIALS SHALL BE U.L. LABEL WITH FIRE EXPOSURE CLASS "A". SEE SPECIFICATIONS.
6. MECHANICAL CONTRACTOR SHALL MAINTAIN A MINIMUM DISTANCE OF 10' BETWEEN OUTDOOR INLETS AND EXHAUST FAN OR PLUMBING ROOF VENTS. VERIFY EXACT LOCATION OF ROOF VENTS WITH PLUMBING CONTRACTOR. REFER TO SHEET A103 FOR ROOF PIPE PENETRATION DETAIL.

	TOP OF ROOF INSULATION
	INDICATES DIRECTION OF SLOPE
	REFERENCE "X"-"X"
	INDICATES AREAS OF TAPERED INSULATION
	ROOF DRAIN AND EMERGENCY ROOF DRAIN - SEE PLUMBING
	ROOF DRAIN - SEE PLUMBING

EQUAL TO CARLISLE 80 MIL SURE-WELD EXTRA MECHANICALLY FASTENED TPO ROOFING SYSTEM OVER TAPERED POLYISO RIGID INSULATION (MIN. R25) ON STEEL DECKING. PROVIDE CRICKETS AS INDICATED TO ENSURE DRAINAGE TO DRAINS/ THROUGH WALL SCUPPERS.



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[illegible]

CODE	###	MATERIAL DESCRIPTION
ACM1		ALPOLIC 4 MM A.C.M. DRY JOINT SYSTEM; COLOR CPW WHITE
ACM2		ALPOLIC 4 MM A.C.M. DRY JOINT SYSTEM; COLOR MICA MNG
ACM3		ALPOLIC 4 MM A.C.M. DRY JOINT SYSTEM; COLOR CNC CHARCOAL
EPT1		PAINT, COLOR TO MATCH ACM1
EPT2		PAINT, COLOR TO MATCH ACM2
EXGL1		2-SIDED CLEAR ANODIZED SSG SYSTEM - REFER TO GLAZING ELEVATIONS FOR ADDITIONAL INFORMATION

01	GLASS AND ALUMINUM SECTIONAL OVERHEAD DOOR- REFER TO DOOR SCHEDULE
02	ROLLING STEEL DOOR - REFER TO DOOR SCHEDULE
03	EXTERIOR STEEL ENTRANCE DOOR - REFER TO DOOR SCHEDULE
04	EXTERIOR STEEL ENTRANCE DOOR - REFER TO DOOR SCHEDULE
05	1/2" A.C.M. DRY PANEL JOINT- CONFIGURE/ ALIGN AS INDICATED, G.C. TO SUBMIT SHOP DRAWINGS FOR REVIEW PRIOR TO FABRICATION/ INSTALLATION
06	EXTERIOR NARROW STILE STOREFRONT CAR DOOR - REFER TO DOOR SCHEDULE
07	SERVICE SIGN PURCHASED AND INSTALLED BY OWNER. G.C. TO PROVIDE POWER AND BLOCKING. COORD. WITH OWNERS SIGN VENDOR.
08	KYNAR FINISHED ALUMINUM COPING
09	LOGO SIGN PURCHASED AND INSTALLED BY OWNER. G.C. TO PROVIDE POWER AND BLOCKING. COORD. WITH OWNERS SIGN VENDOR.
10	BUILDING NUMBER - SIZE AND LOCATION AS DIRECTED BY LOCAL BUILDING AUTHORITY
11	BONELINE A.C.M. FACADE SYSTEM. PROVIDED AND INSTALLED BY A.G.I. G.C. TO COORDINATE.
12	MECHANICAL EQUIPMENT SCREENING W/ ALUMINUM CLEAR ANODIZED MILL FINISH
13	MECHANICAL EQUIPMENT - REFER TO MECHANICAL SHEETS
14	PAINTED STUCCO (SAND FINISH) WITH 1/2" FRYE REGLET REVEALS ON EXISTING CONSTRUCTION
15	PAINTED EIFS (SAND FINISH) WITH 3/4" REVEALS ON C.M.U. CONSTRUCTION



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CONTRACT DATE:  
10-01-2019



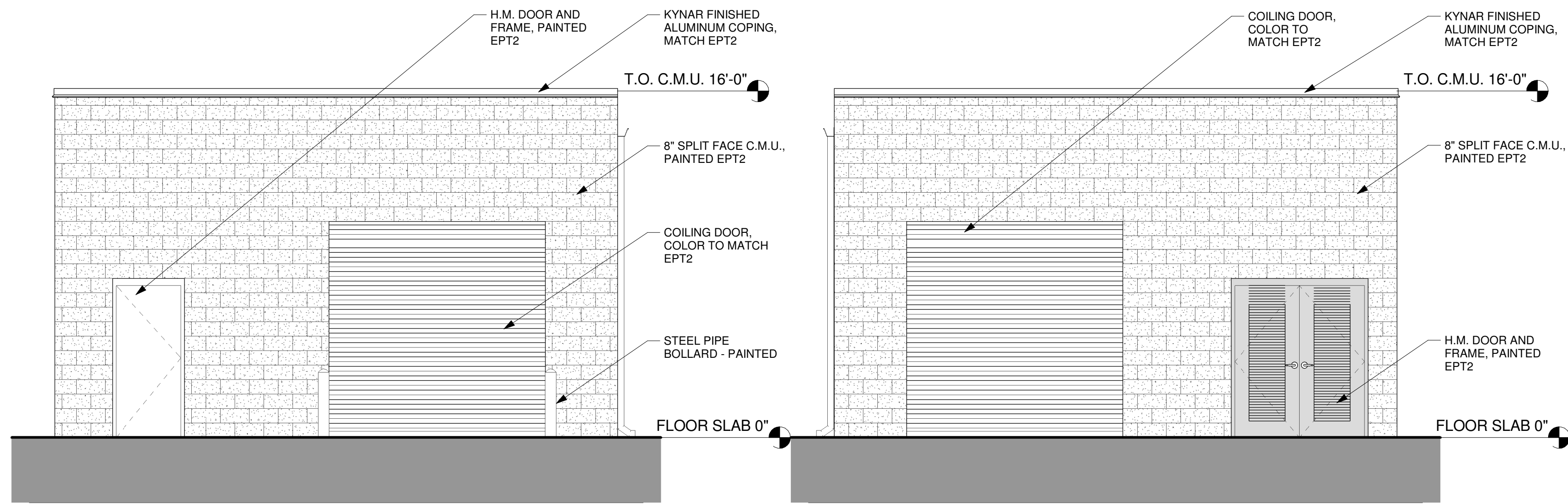
## EXTERIOR ELEVATIONS

DESIGNED BY:
DRAWN BY:
CHECKED BY:
JOB NO.

SHEET NO.

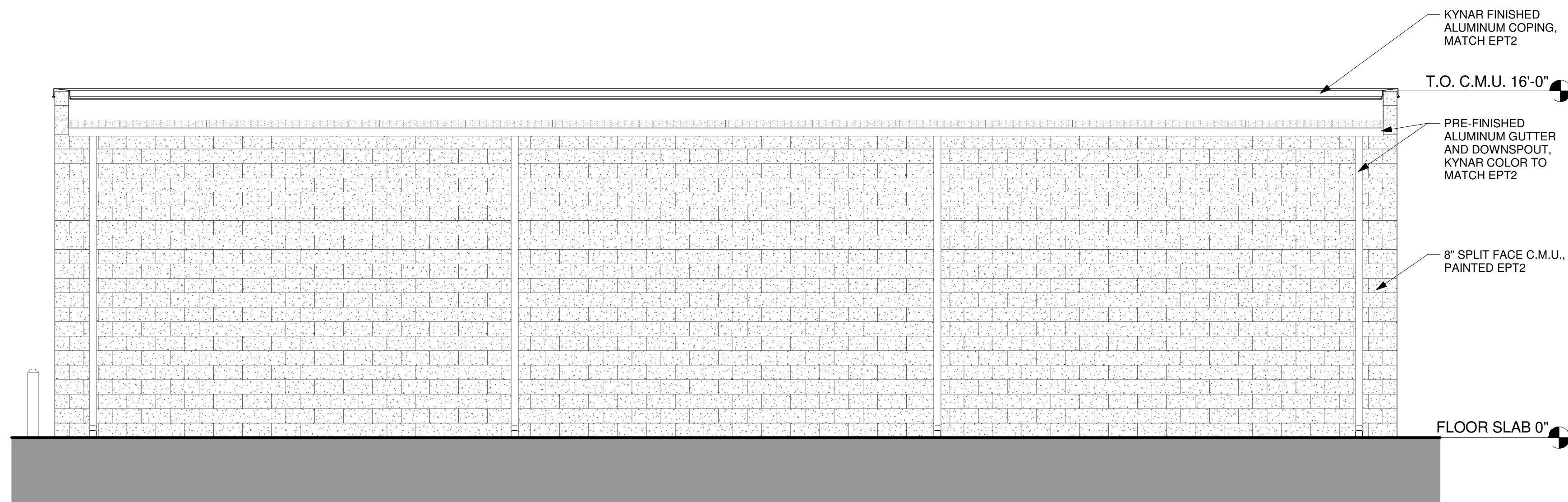
A200

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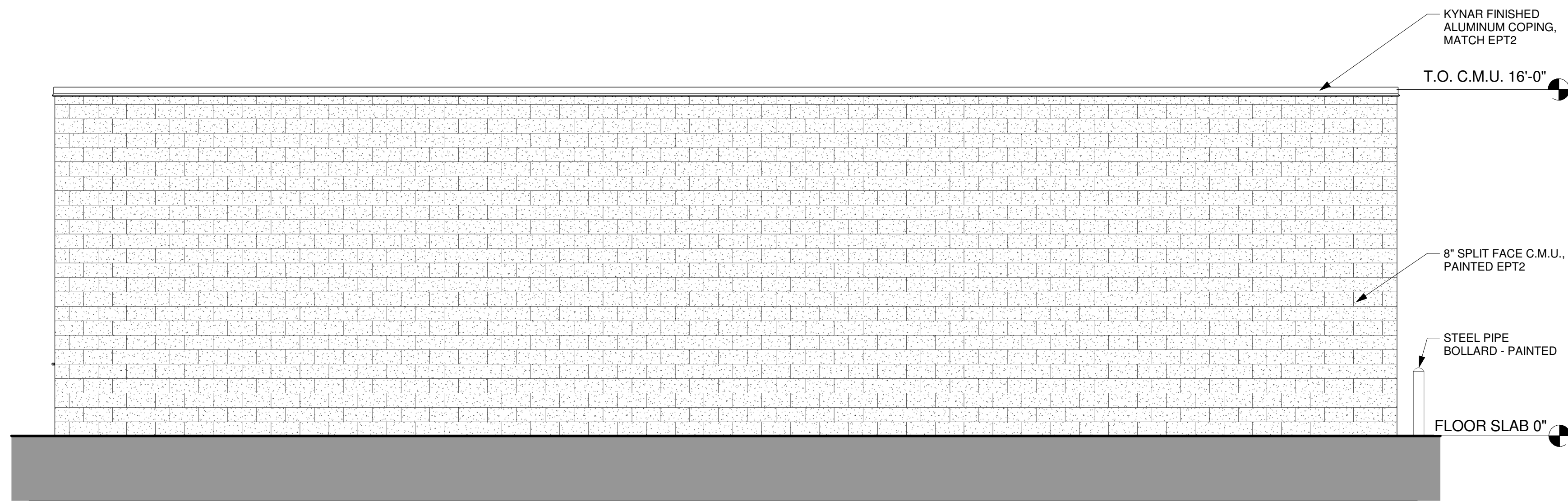


9 WEST ELEVATION  
1/4" = 1'-0"

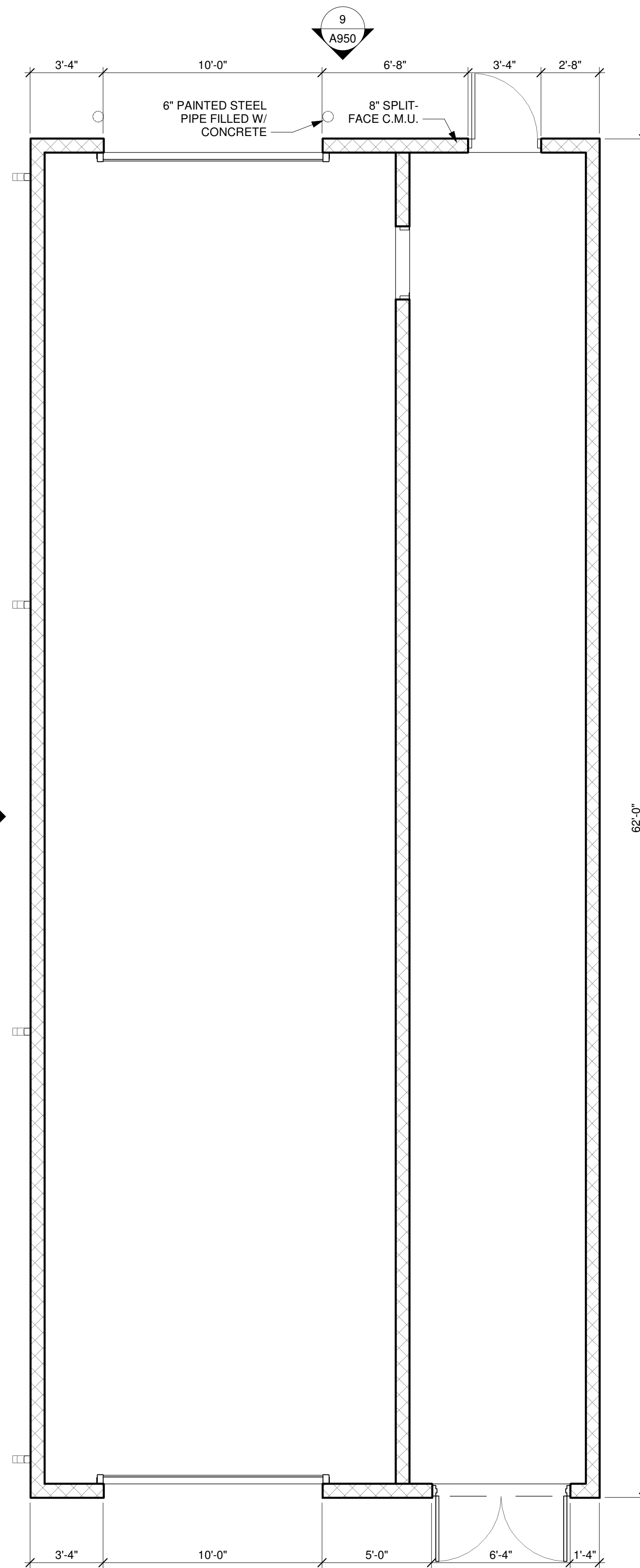
10 EAST ELEVATION  
1/4" = 1'-0"



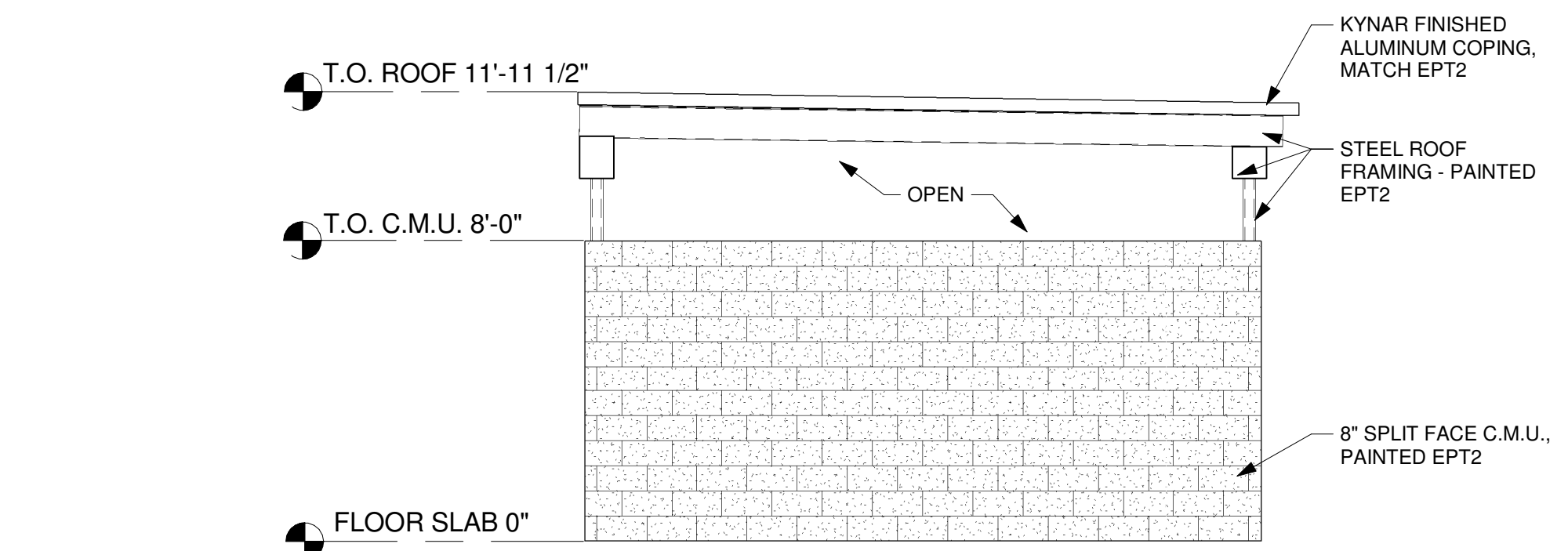
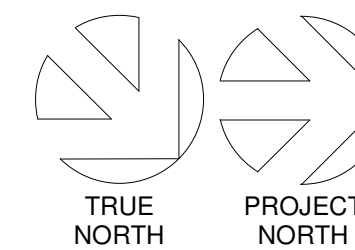
8 SOUTH ELEVATION  
1/4" = 1'-0"



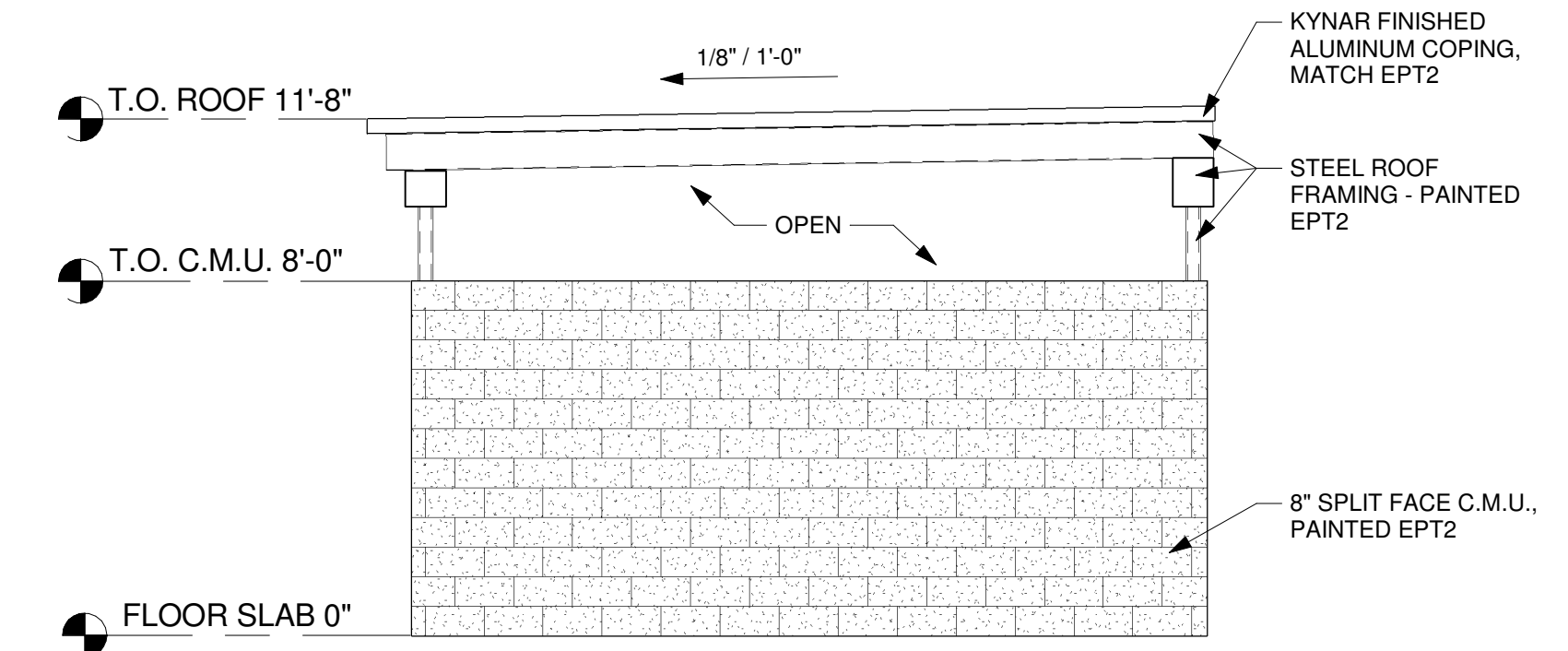
7 NORTH ELEVATION  
1/4" = 1'-0"



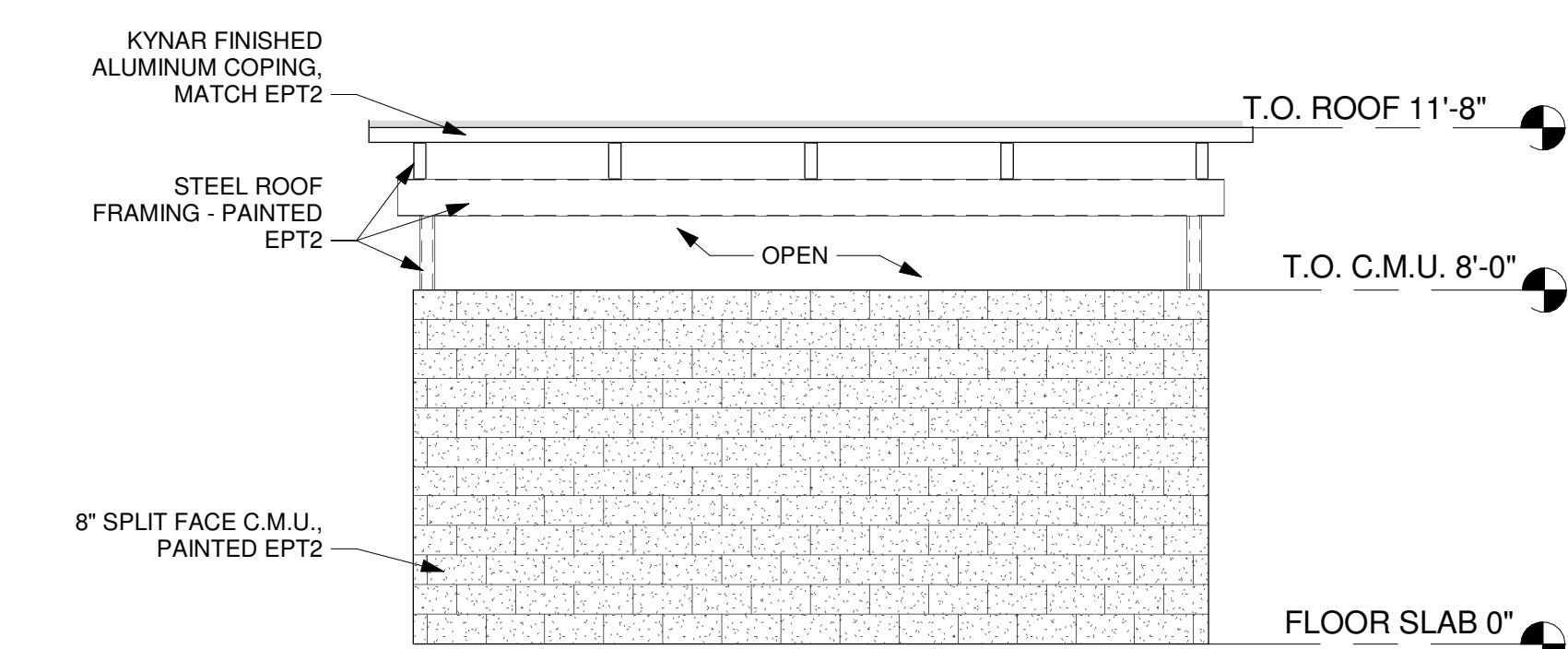
6 CAR WASH  
1/4" = 1'-0"



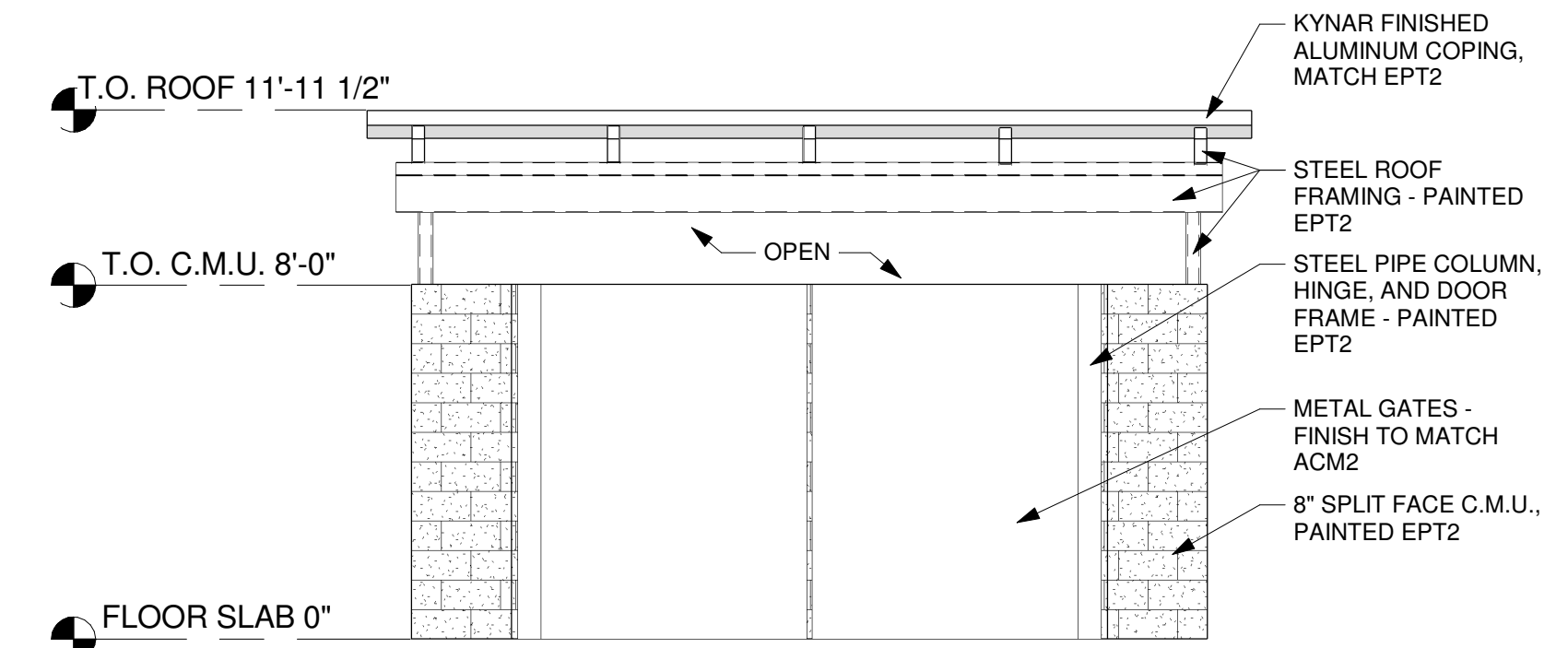
5 WEST ELEVATION  
1/4" = 1'-0"



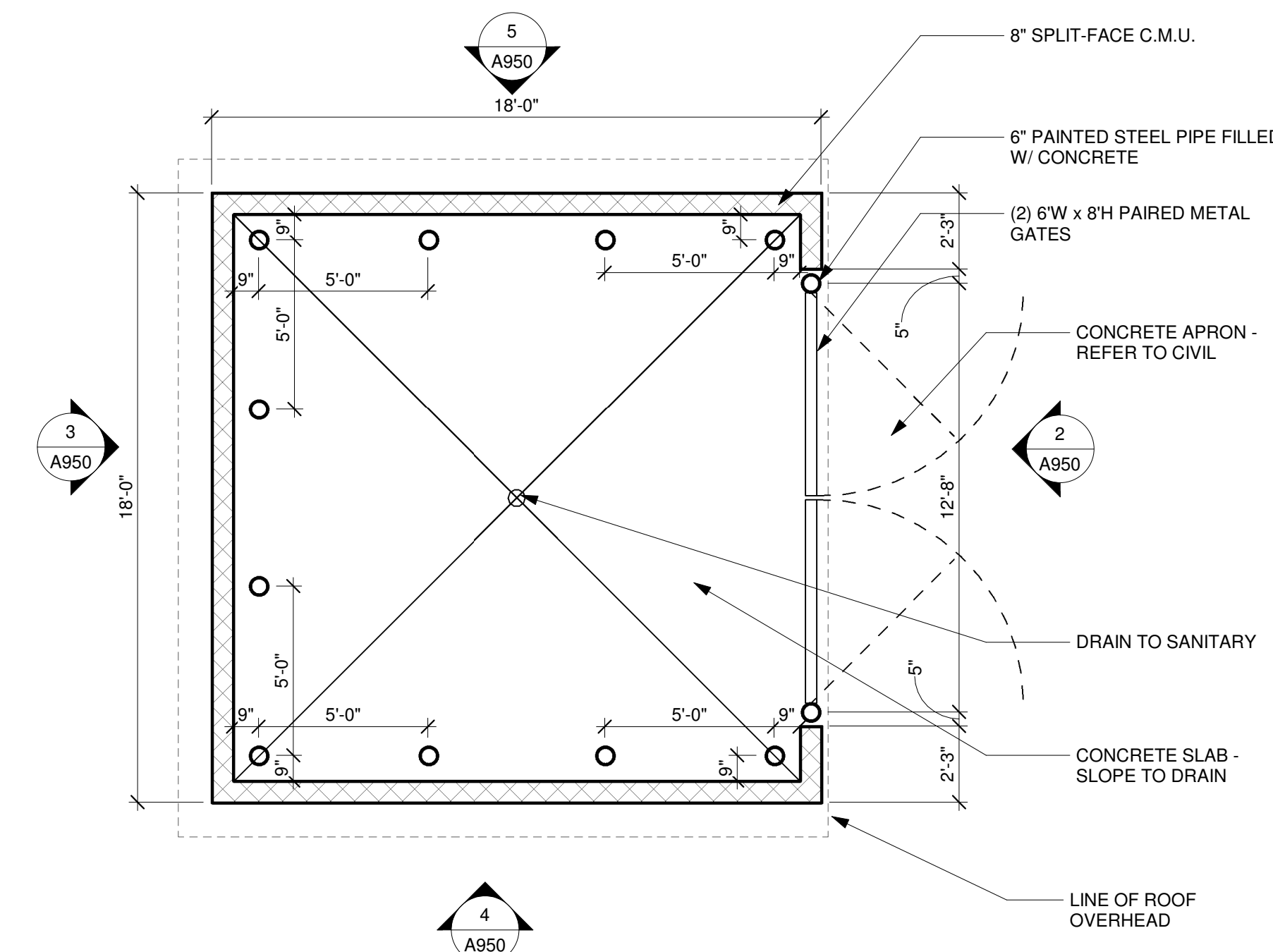
4 EAST ELEVATION  
1/4" = 1'-0"



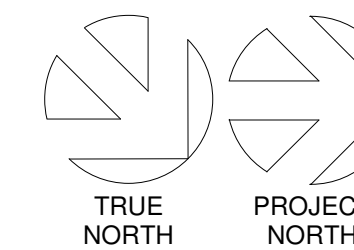
3 SOUTH ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



1 TRASH ENCLOSURE  
1/4" = 1'-0"



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PLANNING RESUBMITTAL  
ISSUE DATE: 04-17-2020

REV	DATE	DESCRIPTION

COLMA CADILLAC  
775 Serramonte Blvd.  
Colma, CA 94014



CONTRACT DATE:  
10-01-2019



Spring  
Engineering  
Architecture • Engineering • Land Planning

DUMPSTER  
ENCLOSURE &  
CAR WASH PLANS  
AND ELEVATIONS

DESIGNED BY:  
DRAWN BY:  
CHECKED BY:  
JOB NO.

2019-30

SHEET NO.  
A950



COLLINS AVENUE  
R/W VARIES

SERRAMONTE BOULEVARD  
60' R/W

## LEGEND

- PROPERTY LINE
- CENTERLINE
- ADJACENT PROPERTY LINE
- PROPOSED EASEMENT
- VERTICAL CURB
- VEHICULAR CONC PAVING
- AC
- CONC PAVEMENT
- RETAINING WALL
- BIORETENTION
- PERVIOUS PAVEMENT
- VEHICLE ENTRANCE DIRECTION
- PARKING STALL COUNT

## ABBREVIATIONS

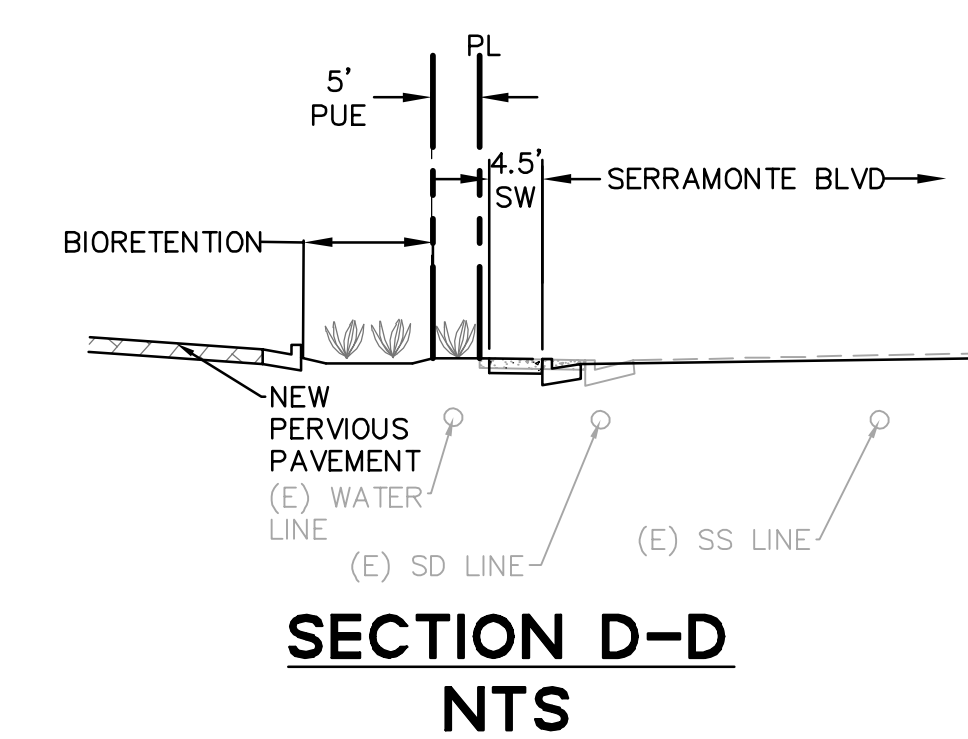
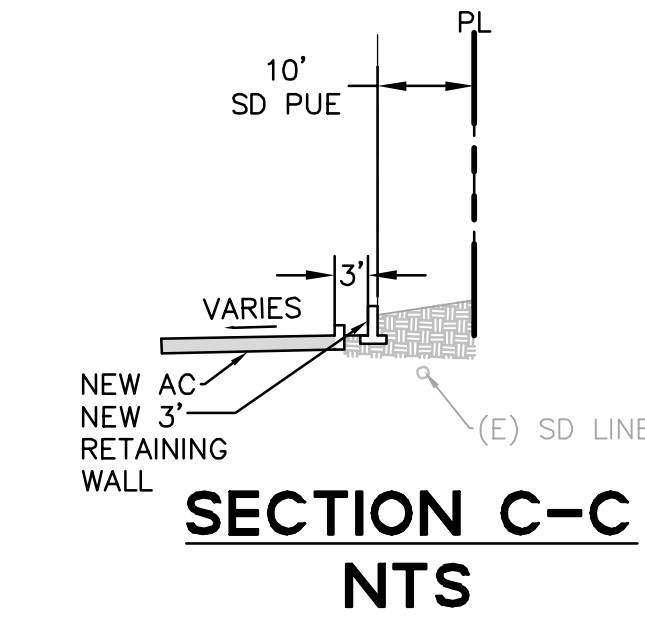
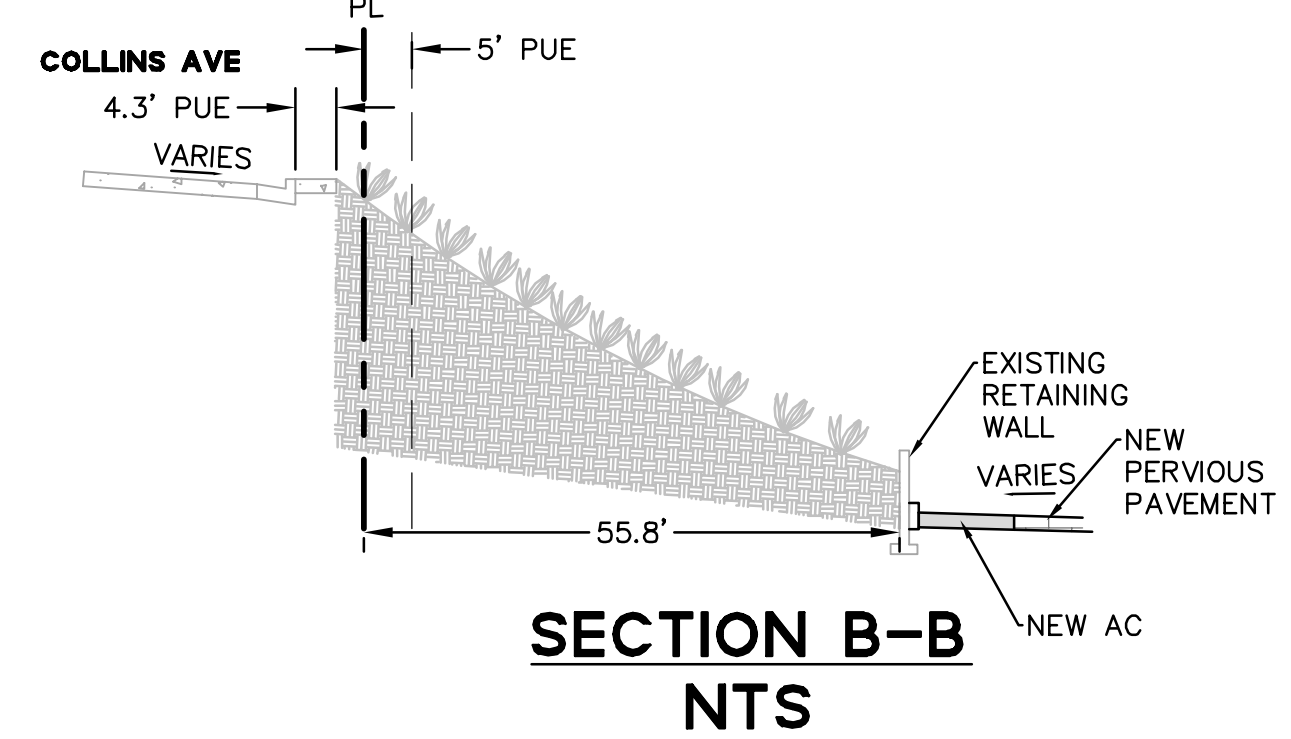
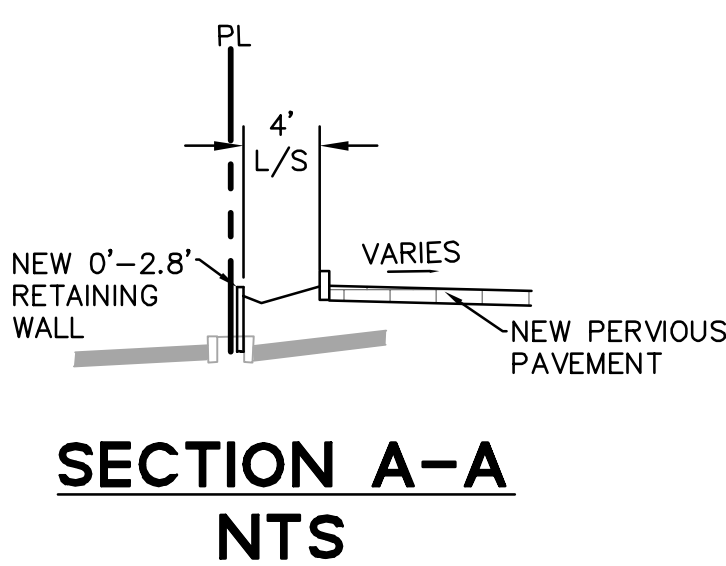
- AC ASPHALT CONCRETE
- ADA AMERICANS WITH DISABILITIES ACT
- CUST CUSTOMER PARKING SPACE
- CAV CLEAN AIR VEHICLE PARKING SPACE
- CBC CALIFORNIA BUILDING CODE
- CGBC CALIFORNIA GREEN BUILDING CODE
- CONC CONCRETE
- (E) EXISTING
- EMP EMPLOYEE PARKING SPACE
- EV ELECTRIC VEHICLE
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- L/S LANDSCAPE
- (N) NEW
- OH OVERHANG
- PL PROPERTY LINE
- PRIE PRIVATE INGRESS/EGRESS EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PRUE PRIVATE UTILITY EASEMENT
- PS PARKING STALL
- R RADIUS
- R/W RIGHT OF WAY
- SAD SEE ARCHITECTURAL DRAWINGS
- SD STORMDRAIN
- SLS SEE LANDSCAPE DRAWINGS
- SW SIDEWALK
- TE TRASH ENCLOSURE
- TYP TYPICAL
- YD YARD

## KEY NOTES

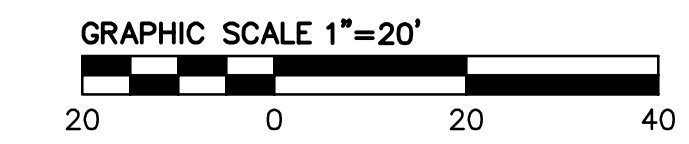
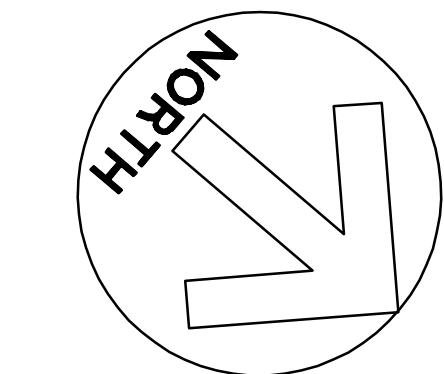
- 1 NEW 6" VERTICAL CURB
- 2 NEW FLUSH CURB
- 3 NEW ACCESSIBLE STALL
- 4 NEW CURB RAMP
- 5 NEW VALLEY GUTTER
- 6 NEW SHORT DRIVEWAY APRON
- 7 NEW VERTICAL CURB AND GUTTER
- 8 CURB CUT

## SHEET NOTES

- PARKING COUNTS:
  - PER DEALER:
  - 30 EMPLOYEE SPACES
  - 10 CUSTOMER SPACES
  - 40 TOTAL
- ADA SPACES REQUIRED:
  - 2 PER CBC 2016 TABLE 11B-208.2
  - 2 PROVIDED (1 VAN + 1 STANDARD)
- CLEAN AIR VEHICLES REQUIRED:
  - 3 PER CGBC 2016 TABLE 5.106.5.2
  - 3 PROVIDED
- PER 5.106.5.3.5: FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN SECTION 5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES.
- EV READY CHARGING SPACES REQUIRED:
  - 2 PER CGBC 2016 TABLE 5.106.5.3.3
  - 2 PROVIDED
- INVENTORY SPACES:
  - PROVIDED 196
- TOTAL SPACES REQUIRED: 44 (40 + 2 EV + 2 ADA). 40 INCLUSIVE OF CAV.
- TOTAL SPACES PROVIDED: 241



	BLDG USE	BLDG AREA (SF)	BLDG HEIGHT	ZONING SETBACK REQUIREMENT	ZONING SETBACK PROVIDED
EXISTING	COMMERCIAL	38,135 SF	24'	5' MIN	5' MIN
PROPOSED	COMMERCIAL	34,385 SF	25'	5' MIN	59' MIN



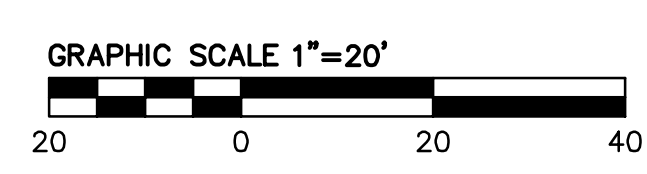
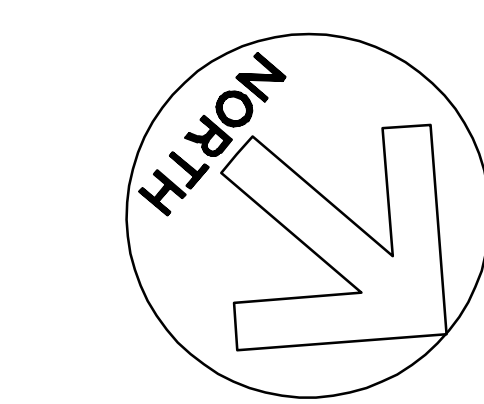
COLLINS AVENUE  
R/W VARIES

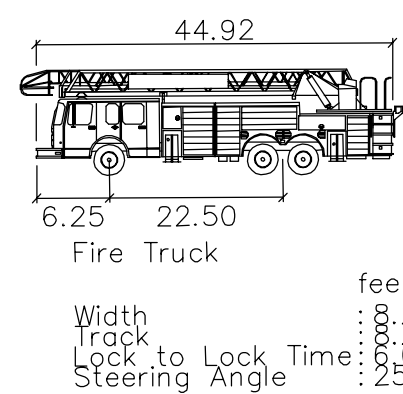
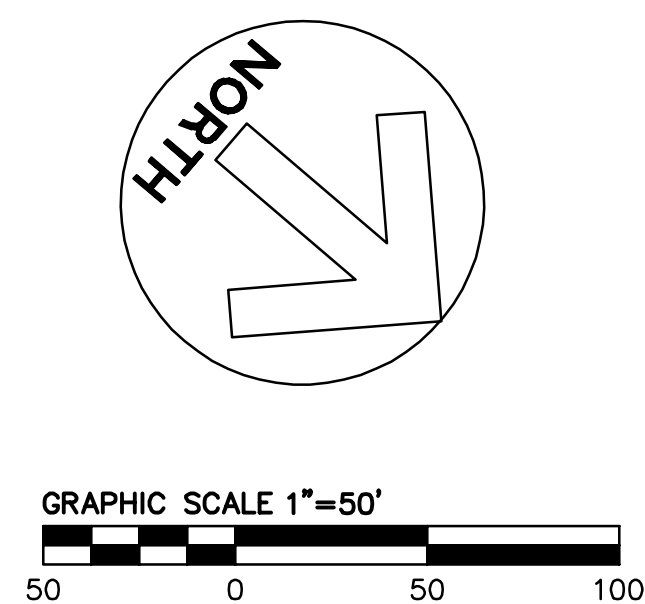
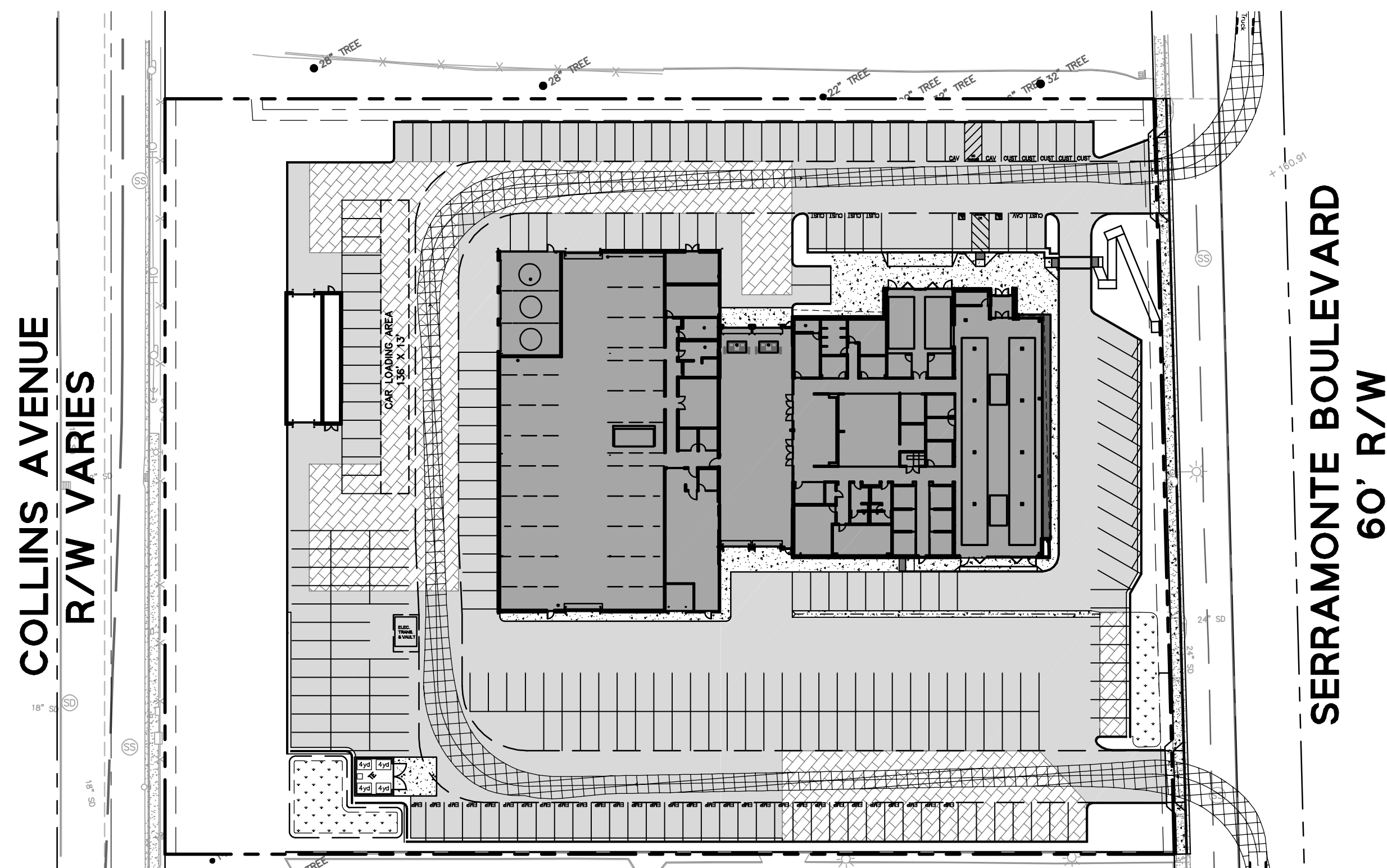
SERRAMONTE BOULEVARD  
60' R/W

- LEGEND**
- PROPERTY LINE
  - CENTERLINE
  - ADJACENT PROPERTY LINE
  - PROPOSED EASEMENT
  - VERTICAL CURB
  - VEHICULAR CONC PAVING
  - AC
  - CONC PAVEMENT
  - RETAINING WALL
  - BIORETENTION
  - PERVIOUS PAVEMENT

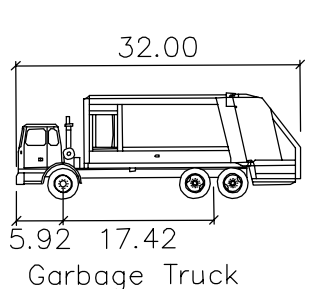
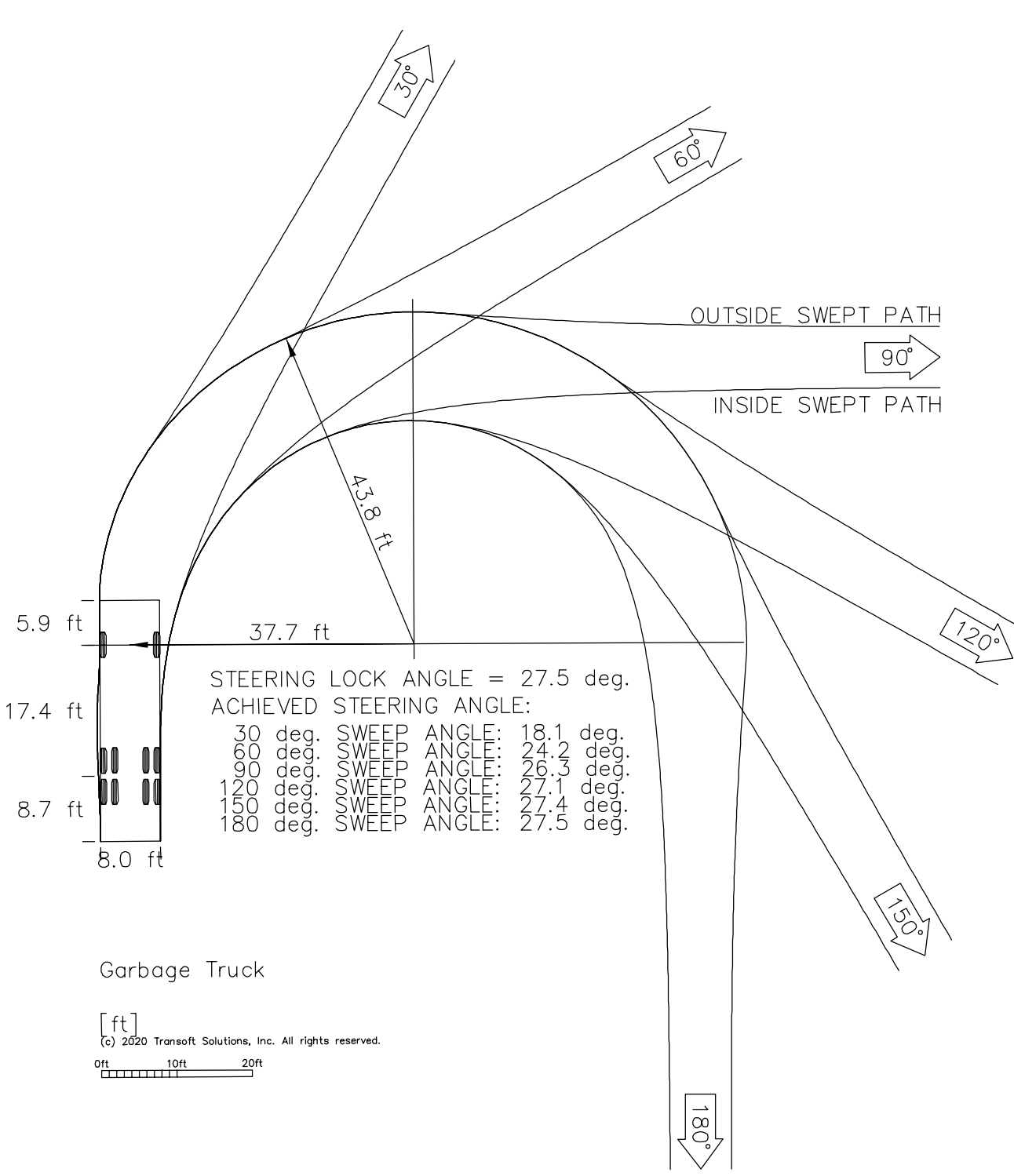
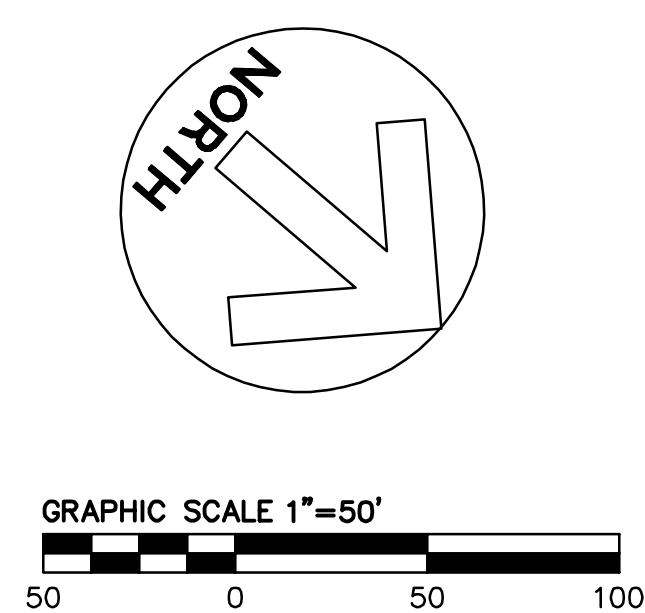
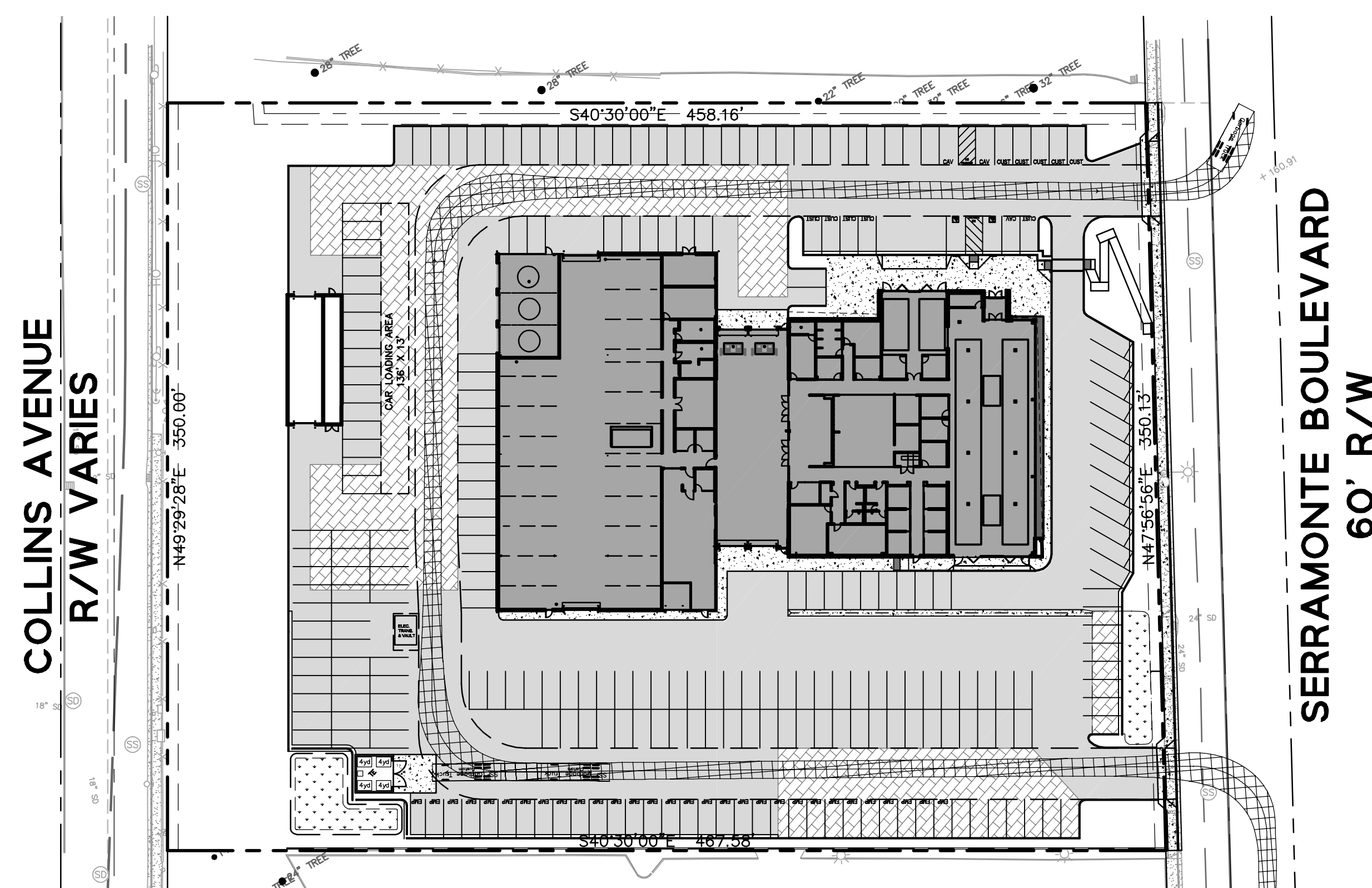
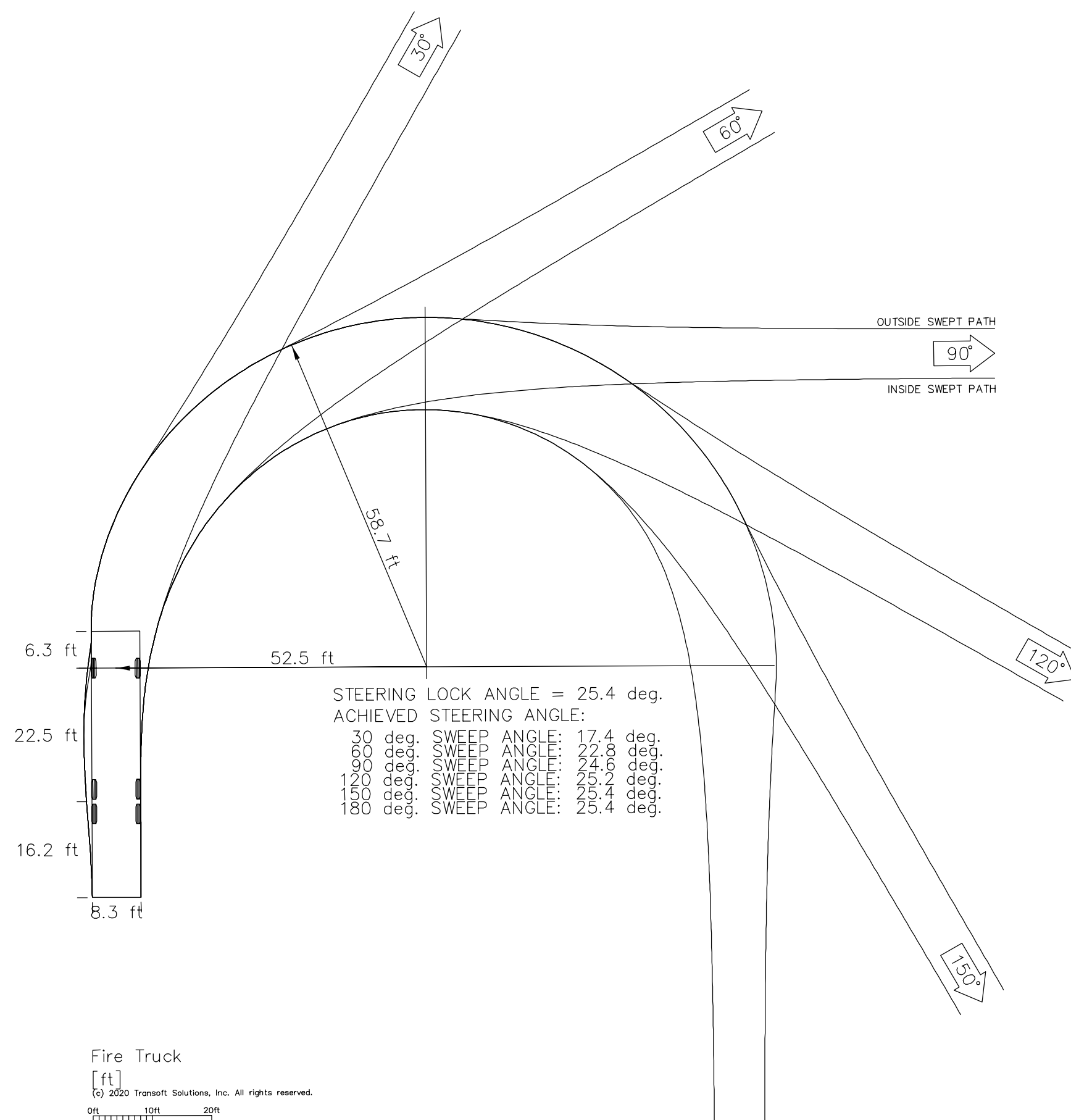
- ABBREVIATIONS**
- AC ASPHALT CONCRETE
  - ADA AMERICANS WITH DISABILITIES ACT
  - CUST CUSTOMER PARKING SPACE
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  - TYP TYPICAL
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- KEY NOTES**
- 1 SERVICE QUEUE LINES

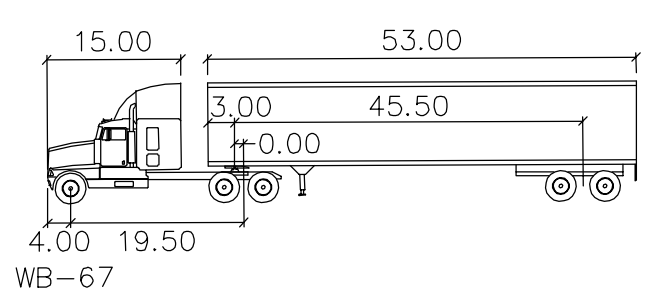
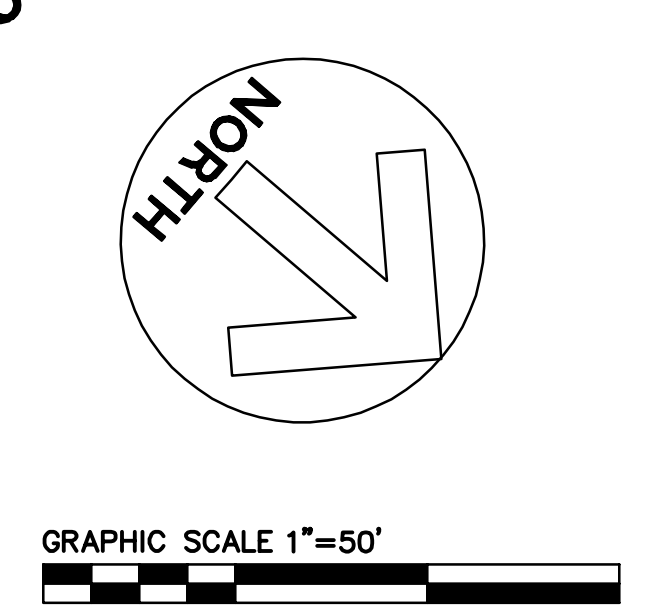
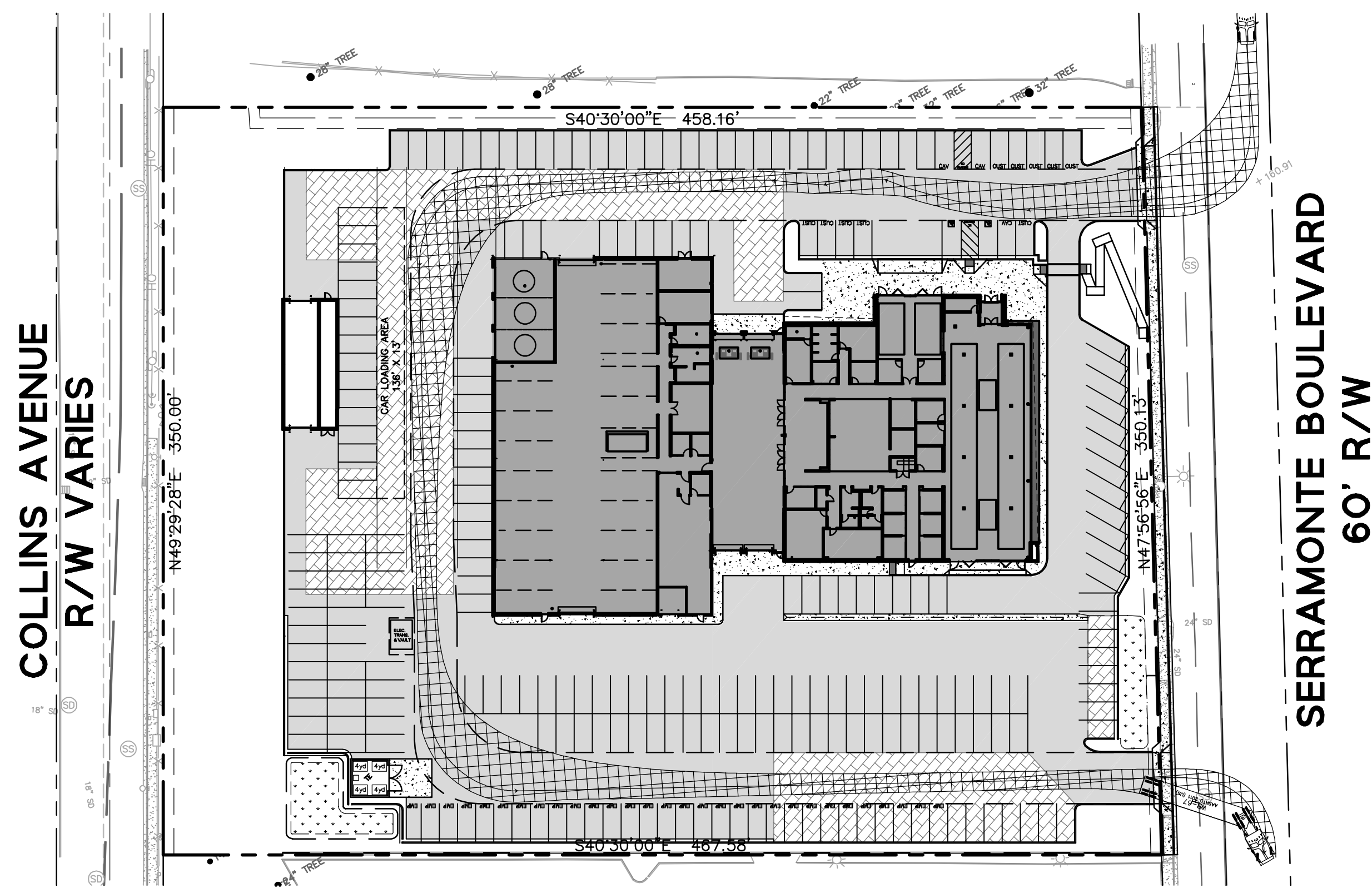




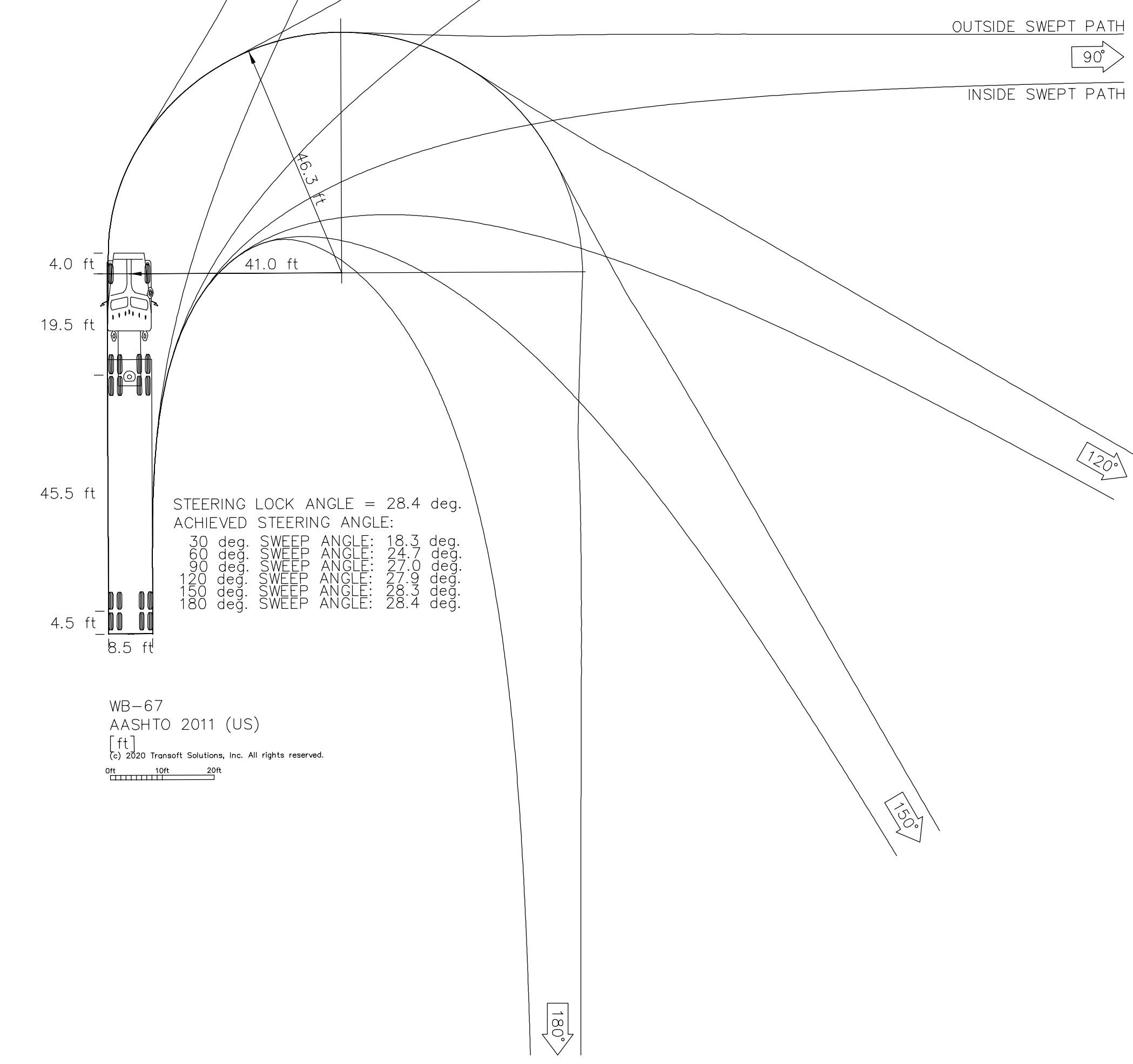
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Lock to Lock Time : 6.0 sec  
Steering Angle : 25.4 deg



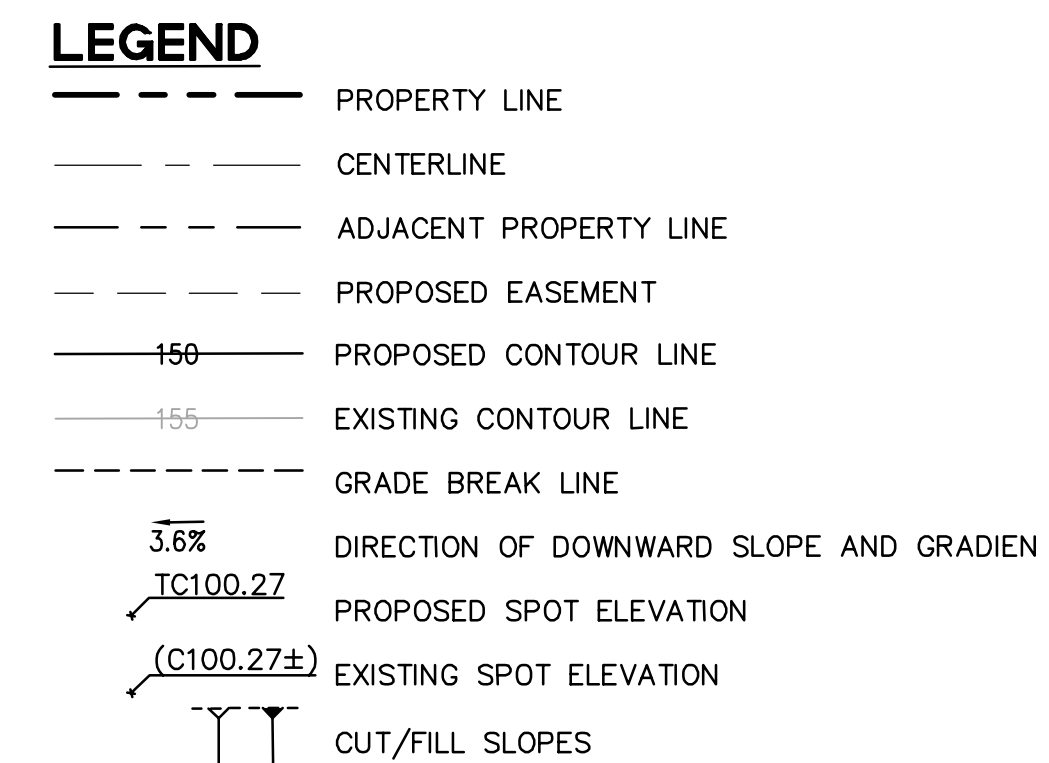
Width : 7.96 feet  
Lock to Lock Time : 6.0 sec  
Steering Angle : 27.5 deg



Tractor Width : 15.00 feet  
Trailer Width : 53.00 feet  
Tractor Overhang : 3.00 feet  
Trailer Overhang : 45.50 feet  
Tractor Wheelbase : 4.00 feet  
Lock to Lock Time : 6.0 sec  
Steering Angle : 28.4 deg  
Articulating Angle : 75.0 deg



WB-67  
AASHTO 2011 (US)  
[ft]  
[s] 2020 Transoft Solutions, Inc. All rights reserved.

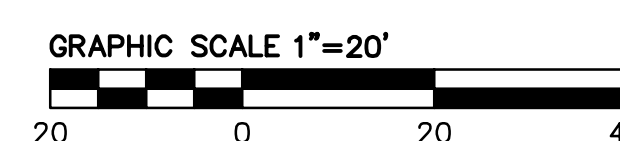


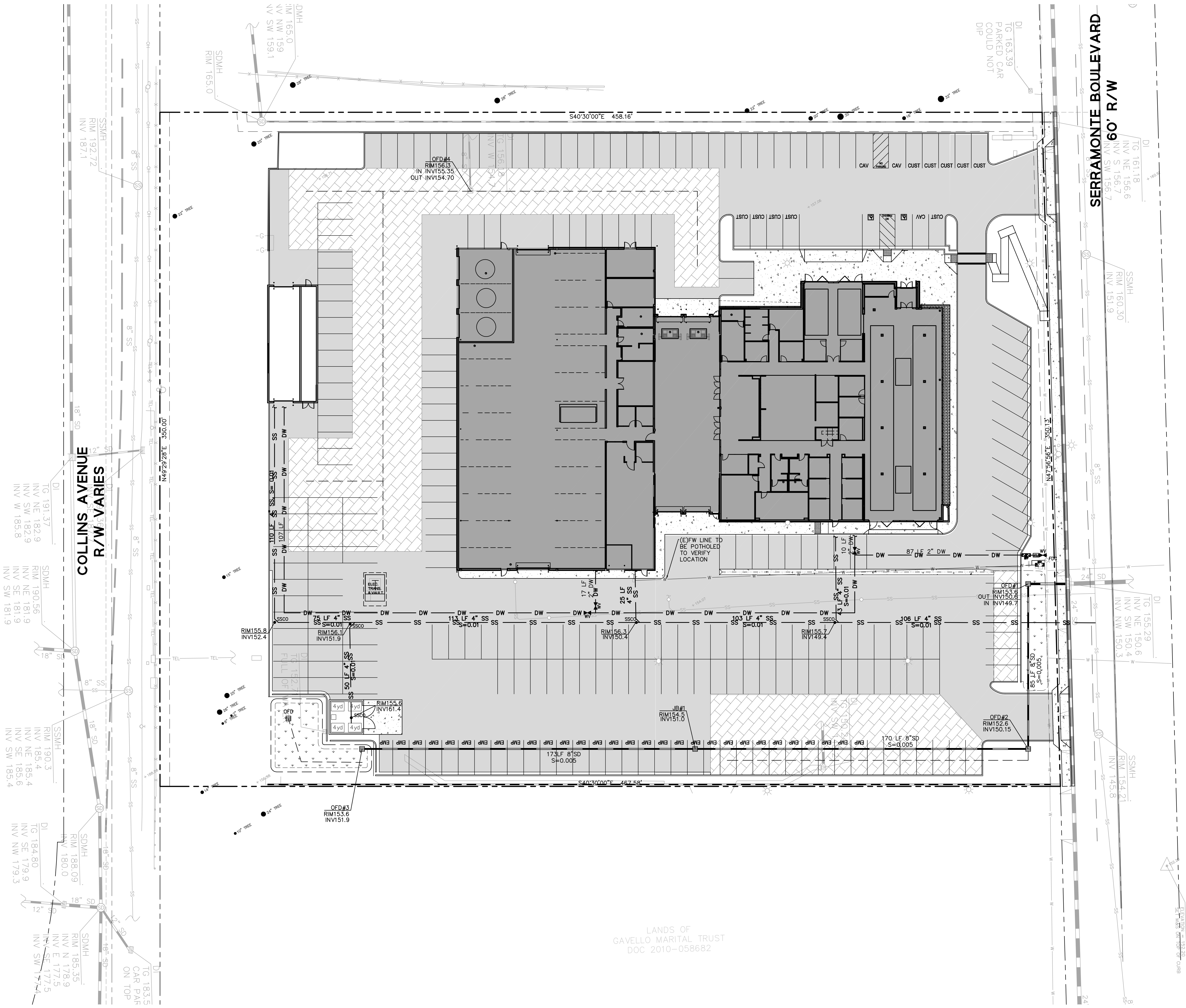
AC	ASPHALT CONCRETE
BW	BOTTOM OF STEP
BW	BACK OF WALK
C	CATCH BASIN
CI	CURB INLET
C, CONC	CONCRETE
CC	CURB CUT
(E)	EXISTING
F	FINISHED FLOOR
FG	FINISHED GRADE
FL	FLOW LINE
H	GRADE BREAK
HP	HIGH POINT
JB	JUNCTION BOX
LG	LIP OF GUTTER
LP	LOW POINT
MAX	MAXIMUM
OFD	OVERFLOW DRAIN
OLR	OVERLAND RELEASE
P	PERVIOUS
PV	PAVEMENT
R/W	RIGHT OF WAY
SDMH	STORM DRAIN MANHOLE
SD	SIDEWALK
TC	TOP OF CURB
TD	TRENCH DRAIN
TS	TOP OF STEP
TP	TOP OF WALL
Typ	TYPICAL

1. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE GEOTECHNICAL REPORT AND SPECIFICATIONS.
2. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
3. IT SHALL BE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERLAY TOPOGRAPHY PRIOR TO THE START OF CONSTRUCTION TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER/ARCHITECT IN WRITING PRIOR TO THE START OF CONSTRUCTION WHICH MAY REQUIRE CHANGES IN DESIGN AND/OR AFFECT THE EARTHWORK QUANTITIES.
4. SEE SITE ARCHITECT/LANDSCAPE PLANS FOR ALL WALKWAY COLORS, FINISHES, SCORE JOINT DESIGN AND LAYOUT.
5. ALL PAVED AREAS ARE TO SLOPE A MINIMUM OF 0.5% ACCESSIBLE STALLS AND LOADING ZONES ARE TO SLOPE AT A MAXIMUM OF 2% IN ALL DIRECTIONS. ACCESSIBLE PATHWAYS ARE TO SLOPE AT A MAXIMUM OF 5% IN THE DIRECTION OF TRAVEL AND THE SLOPE CROSSWAYS TO THE DIRECTION OF TRAVEL SHALL BE AT A MAXIMUM OF 2%. ANY AREAS ON THE SITE NOT CONFORMING TO THESE BASIC RULES DUE TO EXISTING CONDITIONS OR DISCREPANCIES IN THE DOCUMENTS ARE TO BE REPORTED TO THE ENGINEER/ARCHITECT PRIOR TO PROCEEDING WITH PLACEMENT OF BASE ROCK, FORM WORK AND/OR FLATWORK.

CUT/FILL SUMMARY		
SECTION	CUT (CU.YD.)	FILL (CU.YD.)
BUILDING, LANDSCAPE, PARKING	3,070	1,289

1. EARTHWORK QUANTITIES ARE APPROXIMATE AND ARE FURNISHED FOR INFORMATION ONLY. THE ACTUAL AMOUNT OF EARTH MOVED WILL VARY DEPENDING ON THE PROPERTIES OF THE SOILS ENCOUNTERED, THE METHOD OF CONSTRUCTION, METHOD OF OPERATION, ETC. BIDDERS ARE RESPONSIBLE FOR DOING THEIR OWN QUANTITY TAKEOFF.
2. EARTHWORK NUMBERS DOES NOT FACTOR IN ANY SHRINKAGE ADJUSTMENTS.
3. IT IS ASSUMED THE EXISTING PAVEMENT AND BUILDING SLABS WILL BE RECYCLED ONSITE AND USED AS FILL.
4. IT IS ASSUMED THAT THE NEW PARKING LOT SECTION WILL BE 6" ASPHALT CONCRETE OVER 8" OF RECYCLED AGGREGATE BASE.





LEGEND

- NEW STORM DRAIN LINE (TREATED)
- SD NEW STORM DRAIN LINE (UNTREATED)
- NEW STORM DRAIN PERF PIPE
- SS NEW SANITARY SEWER
- FW NEW FIRE LINE
- DW NEW DOMESTIC WATER
- IRR NEW IRRIGATION LINE
- SDMH NEW STORM DRAIN MANHOLE
- AD NEW AREA DRAIN
- OFD NEW OVERFLOW DRAIN
- NEW JUNCTION BOX WITH RESTRICTOR PLAN
- SSCO NEW SANITARY SEWER CLEANOUT
- WM NEW WATER METER
- WV NEW WATER VALVE
- NEW FIRE HYDRANT
- NEW FIRE DEPARTMENT CONNECTION (FDC)
- NEW DOMESTIC/FIRE WATER BACK-FLOW PREVENTER (BFP)
- T TRANSFORMER

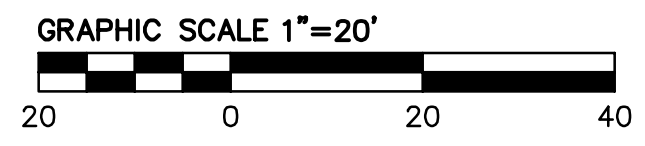
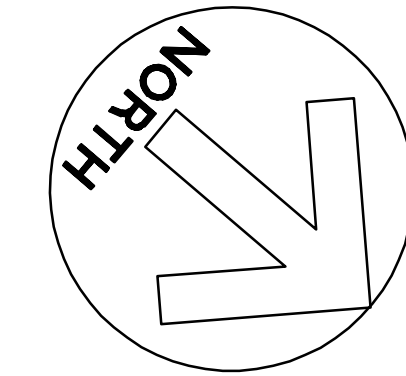
ABBREVIATIONS

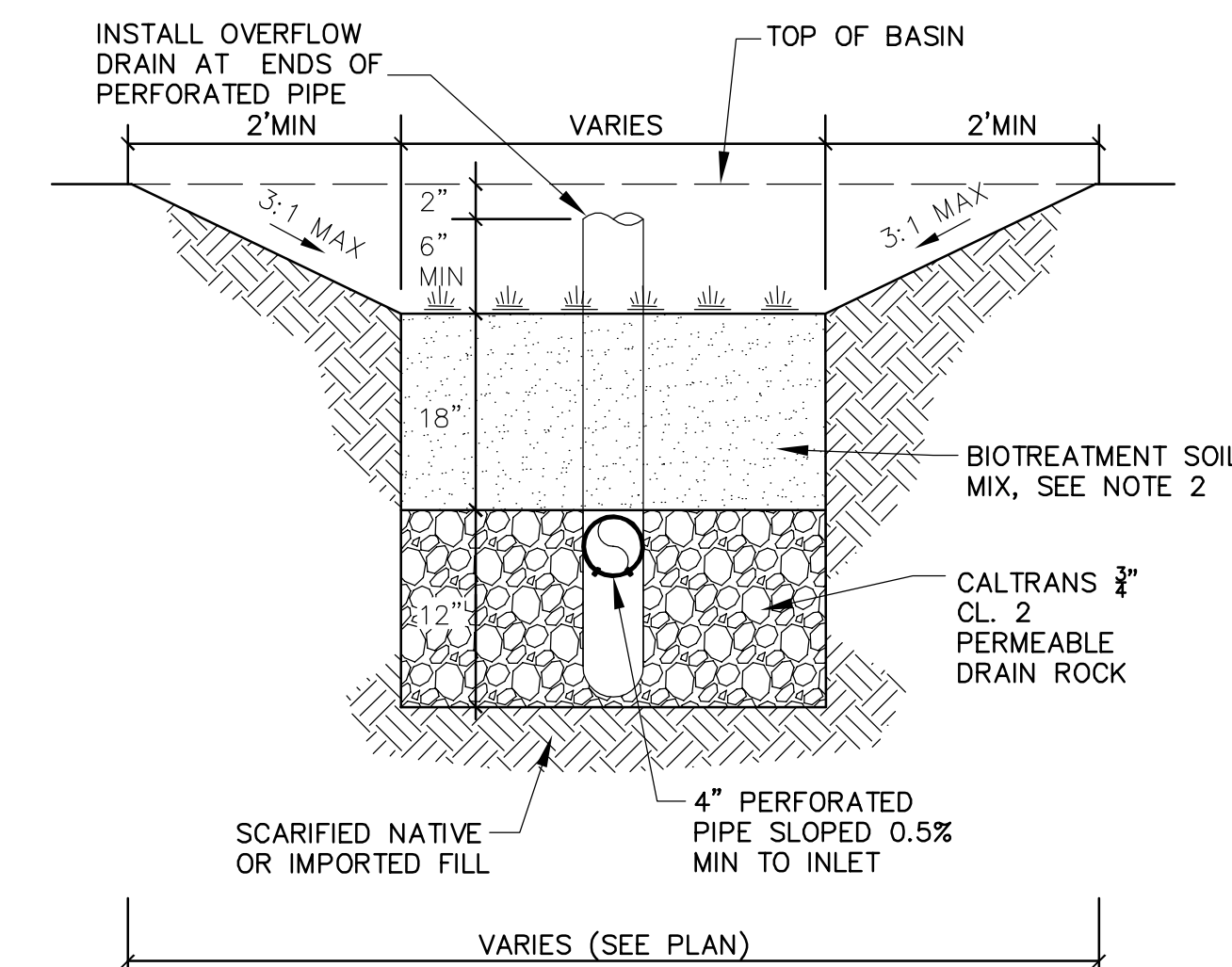
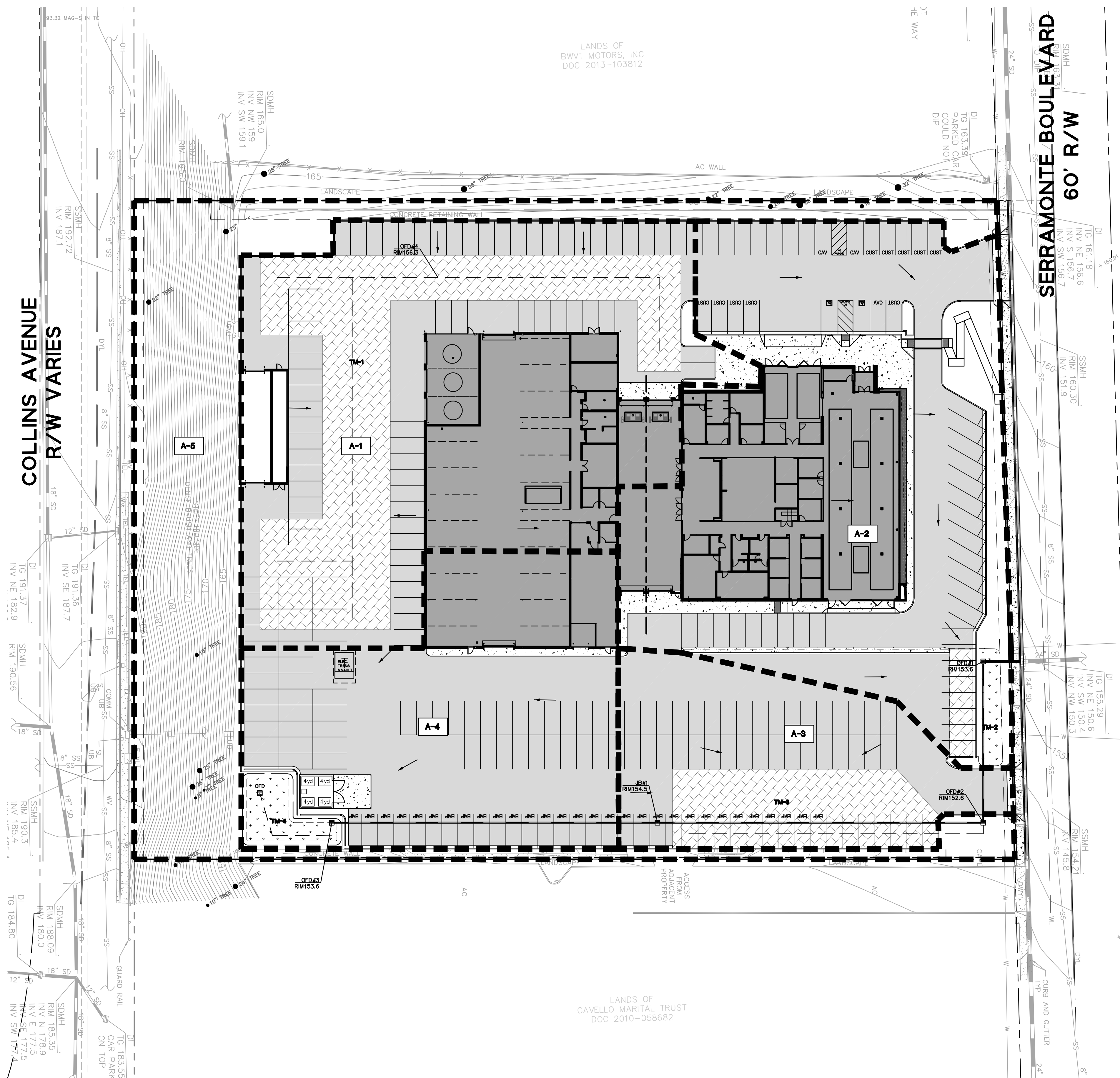
- (TYP.) TYPICAL
- AD AREA DRAIN
- BFP BACK FLOW PREVENTOR
- CB CATCH BASIN
- CD CURB DRAIN
- CI CURB INLET
- DW DOMESTIC WATER
- DS DOWNSPOUT
- FH FIRE HYDRANT
- FW FIRE WATER
- HDPE HIGH DENSITY POLYETHYLENE
- I.D. INSIDE DIAMETER
- INV INVERT ELEVATION
- LF LINEAR FEET
- OFD OVERFLOW DRAIN
- POC POINT OF CONNECTION
- RIM RIM ELEVATION OF STRUCTURE
- RPPBPD REDUCED PRESSURE PRINCIPLE BACK FLOW DEVICE
- R/W RIGHT OF WAY
- SAD SEE ARCHITECTURAL DRAWING
- SD STORM DRAIN
- SDMH STORM DRAIN MANHOLE
- SS SANITARY SEWER
- SSCO SANITARY SEWER CLEAN OUT
- TD TRENCH DRAIN
- W WATER
- WM WATER METER
- WV WATER VALVE

UTILITY NOTES

- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ARE APPROXIMATE AND WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, THE ENGINEER CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OF ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES WHICH MAY BE ENCOUNTERED, BUT WHICH ARE NOT SHOWN ON THIS SURVEY.
- CONTRACTOR TO POT-HOLE ALL UTILITY CROSSINGS FOR GRAVITY LINES, AND REPORT ANY DISCREPANCIES TO THE ENGINEER.
- SEE PRELIMINARY STORMWATER MANAGEMENT PLAN FOR ALL SD UTILITIES LOCATED ON PODIUM LEVEL FOR LANDSCAPING.

LANDS OF  
GAVELLO MARITAL TRUST  
DOC 2010-058682





BACKFILL BIORETENTION ONLY WITH PERMEABLE PLANTING MATERIAL AND DRAIN ROCK AS SPECIFIED IN THIS DETAIL. ABSOLUTELY NO NATIVE MATERIAL SHALL BE USED FOR BACKFILL.

BIORETENTION DETAIL

LEGEND

- A-X** DRAINAGE AREA BOUNDARY
- TM-X** TREATMENT MEASURE
- BIORETENTION BASIN
- PATH OF FLOW

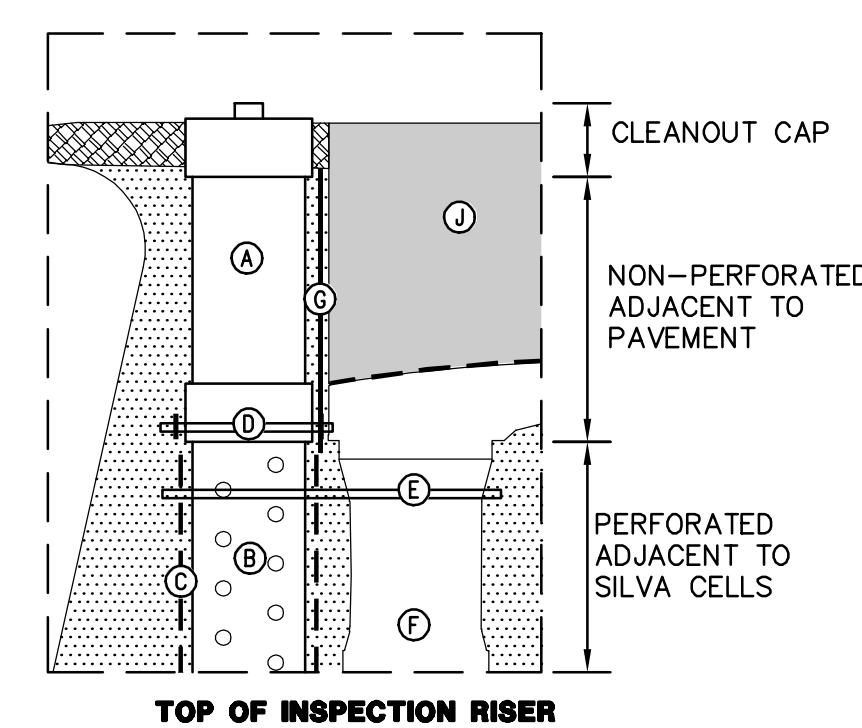
ABBREVIATIONS

- A AREA  
AC ACRE  
(N) NEW  
OFD OVERFLOW DRAIN  
R/W RIGHT OF WAY  
SD STORM DRAIN  
SF SQUARE FEET  
TM TREATMENT MEASURE  
(TYP) TYPICAL

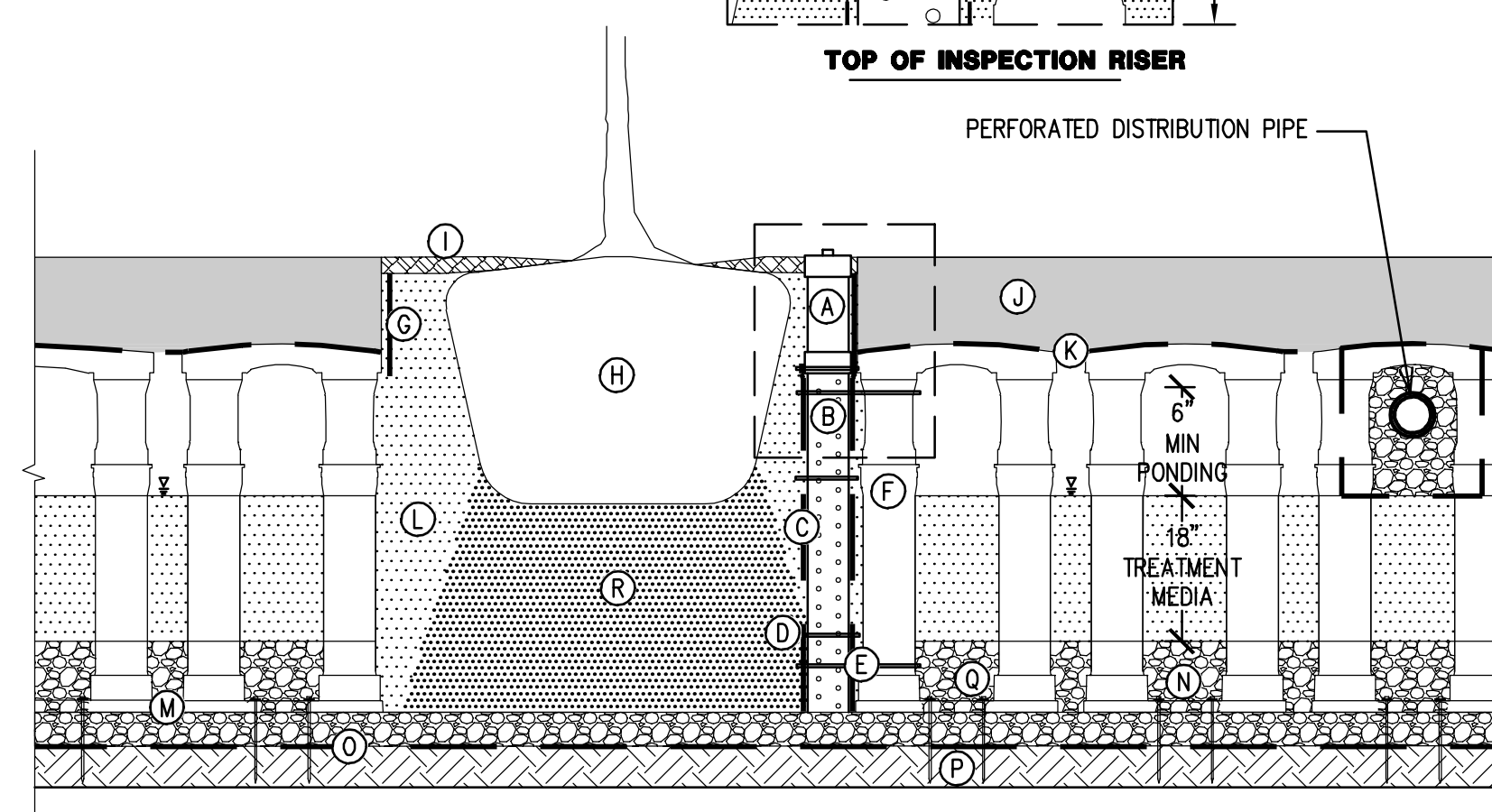
TREATMENT CONTROL MEASURE SUMMARY

DRAINAGE AREA	DRAINAGE AREA SIZE (SF)	PERVIOUS SURFACE (SF)	TYPE OF PERVIOUS SURFACE	IMPERVIOUS SURFACE (SF)	TYPE OF IMPERVIOUS SURFACE	TREATMENT CONTROL	TREATMENT AREA (4% IMPERVIOUS AREA) SIZING STANDARD FOR SELF RETAINING (2:1)		CONFORMS TO SIZE STANDARDS?
							REQUIRED (SF)	PROVIDED (SF)	
A-1	45,440	15,220	PERVIOUS PAVEMENT	30,220	ROOF, ASPHALT, CONCRETE	PERVIOUS PAVEMENT	15,110	15,220	YES
A-2	45,130	4,540	LANDSCAPE	40,590	ROOF, ASPHALT, CONCRETE	BIORETENTION BASIN AND SILVA CELL	1,624	1,800	YES
A-3	16,500	5,900	PERVIOUS PAVEMENT	10,600	ASPHALT, CONCRETE	PERVIOUS PAVEMENT	5,300	5,700	YES
A-4	26,650	1,030	LANDSCAPE	25,620	ASPHALT, CONCRETE, ROOF	BIORETENTION BASIN	1,025	1,030	YES
A-5	28,390	28,390	LANDSCAPE	0	N/A	SELF-TREATING	N/A	N/A	YES

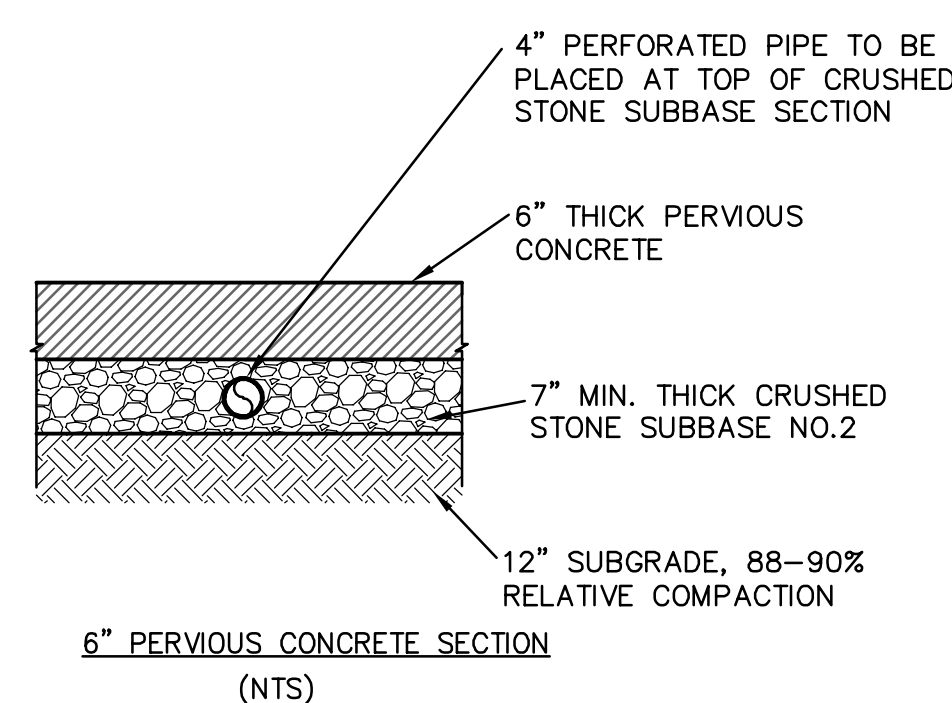
THIS PROJECT MEETS THE COUNTY OF SAN MATEO C.3 MANUAL STANDARDS



TOP OF INSPECTION RISER



SILVA CELL



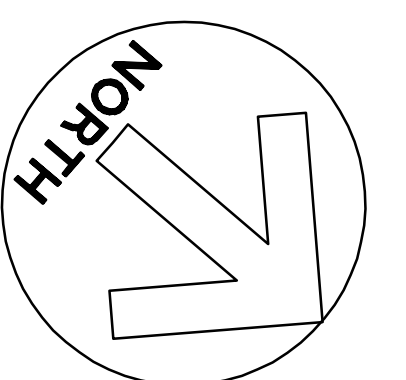
PERVIOUS PAVEMENT

KEY PLAN

- ① INSPECTION RISER WITH REMOVABLE CAP OR PLUG, NON-PERFORATED ADJACENT TO PAVEMENT SECTION
- ② INSPECTION RISER, PERFORATED ADJACENT TO SILVA CELLS
- ③ GEOTEXTILE, PER PROJECT SPECIFICATIONS.
- ④ CABLE TIE TO SECURE GEOTEXTILE TO PERFORATED PIPE
- ⑤ CABLE TIE TO SECURE PERFORATED PIPE TO ADJACENT SILVA CELL
- ⑥ SILVA CELL SYSTEM (DECK, BASE, AND POSTS)
- ⑦ DEEPROOT ROOT BARRIER (DEPTH PER PROJECT SPECIFICATIONS)
- ⑧ TREE ROOT PACKAGE, SIZE VARIES
- ⑨ 1" - 2" MULCH, PLACED IN TREE OPENING
- ⑩ SILVA CELL STANDARD PAVEMENT PROFILE, SEE NOTE 1
- ⑪ PERMEABLE GEOTEXTILE, PER PROJECT SPECIFICATIONS
- ⑫ PLANTING SOIL, PER PROJECT SPECIFICATIONS. COMPACTED TO 70-80% PROCTOR.
- ⑬ 1" - 4" SPACING BETWEEN SILVA CELLS AT BASE
- ⑭ 12" MIN CALTRANS CLASS II PERMEABLE AGGREGATE BASE, COMPACTED TO 95% PROCTOR
- ⑮ GEOTEXTILE, TO PROVIDE SEPARATION BETWEEN SUBGRADE AND AGGREGATE BASE
- ⑯ SUBGRADE, COMPACTED TO 95% PROCTOR
- ⑰ PIN, PER SILVA CELL SPECIFICATIONS, TO KEEP CELLS IN PLACE DURING CONSTRUCTION
- ⑱ PLANTING SOIL BELOW TREE ROOT PACKAGE, COMPACTED TO 85-90% PROCTOR

NOTES

1. SEE LANDSCAPE DRAWINGS FOR PAVEMENT INFORMATION.
2. SHOWN HERE ARE 3x SILVA CELLS.
3. SILVA CELL LAYOUT SHOWN HERE IS NOT PRESRIPTIVE AND WILL VARY PER PROJECT SPECIFICATIONS.
4. SILVA CELL SUPPLEMENTAL DETAILS SHALL BE USED IN CONJUNCTION WITH SILVA CELL STANDARD DETAILS.
5. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
6. DO NOT SCALE DRAWINGS.



GRAPHIC SCALE 1"=30'

30 0 30 60

	Ground Cover	E.J.	Expansion Joint
	Pedestrian/Vehicular Concrete	S.A.D.	See Architect's Drawings
		S.C.D.	See Civil Engineer's Drawings
	Detail Number Sheet Number	S.C.F.S.	See Color and Finish Schedule
	Property Line		
	Center Line		
	Align		

PEDESTRIAN / VEHICULAR CONCRETE PAVING	
	Type 1 Natural gray concrete with light broom finish. Sweep perpendicular to path of travel. Score as shown on plans.
	Type 2 Natural gray concrete. Finish to be Topcast Micro Etch 05 sandblast finish by Dayton Superior. Score at 24" O.C. grid.
	Type 3 Integrated color concrete with light broom finish. Color to be Davis color Graphite(iron Oxide) 860.
Contractor to submit samples and field mockup to Landscape Architect for approval prior to acquisition or installation. Contractor to provide unit price	

1. The Contractor shall verify all distances and dimensions in the field and bring any discrepancies to the attention of the Landscape Architect for a decision before proceeding with the work.
2. Contractor to take all necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.
3. All written dimensions supersede all scaled distances and dimensions. Dimensions shown are from the face of building wall, face of curb, edge of walk, property line, or centerline of column unless otherwise noted on the drawings.
4. Walk scoring, expansion joints and paving shall be located as indicated on the Layout Plans, Landscape Construction Details, in the Specifications, or as field adjusted under the direction of the Landscape Architects.
5. All building information is based on drawings prepared by:  
Spring Engineering, Inc.  
3014 US-19  
Holiday, FL 34691  
(727) 938-1516
6. All site civil information is based on drawings prepared by:  
BKF Engineers  
1730 N. First Street, Suite 600,  
San Jose, CA 95112  
408.467.9166
7. The Contractor is to verify location of all on-site utilities before commencing with the work. The Contractor shall be responsible for the repair of any damage to utilities caused by the activities of the Contractor or the Contractor's representatives. Any utilities shown on Landscape Drawings are for reference and coordination purposes only.
8. Protect all existing construction from damage. The Contractor shall be responsible for the repair of any damage to existing construction caused by the activities of the Contractor or the Contractor's representatives.
9. Expansion joints shall be located no less than 16' o.c. nor greater than 20' o.c. and/or as indicated on the Layout Plans, Landscape Construction Details, in Specifications, or as field adjusted under the direction of the Landscape Architect.

1. All work shall be performed by persons familiar with planting work and under supervision of a qualified planting foreman.
2. Plant material locations shown are diagrammatic and may be subject to change in the field by the Landscape Architect before the maintenance period begins.
3. Plant locations are to be adjusted in the field as necessary to screen utilities but not to block windows nor impede access. The Landscape Architect reserves the right to make minor adjustments in tree locations after planting at no cost to the Owner. All planting located adjacent to signs shall be field adjusted so as not to interfere with visibility of the signs.
4. The Landscape Architect reserves the right to make substitutions, additions, and deletions in the planting scheme as felt necessary while work is in progress. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary and subject to the Owner's approval.
5. All planting areas, except storm water treatment zones (as defined by the civil engineer), shall be top-dressed with a 3" layer of recycled wood mulch, "Prochip" by BFI (408.888.7632; [www.bfi.com](http://www.bfi.com)) or equal. Mulch shall be black in color. Submit sample to Landscape Architect for review prior to ordering. Hold all mulch six (6) inches from all plants where mulch is applied over the rootball.
6. Plants shall be installed to anticipate settlement. See Tree and Shrub Planting Details.

4. All trees noted with 'deep root' and those planted within 5'-0" of concrete paving, curbs, and walls shall have deep root barriers installed per manufacturer's specifications. See specifications and details for materials, depth of material, and location of installation.
8. The Landscape Contractor shall arrange with a nursery to secure plant material noted on the drawings and have those plants available for review by the Owner and Landscape Architect within thirty (30) days of award of contract. The Contractor shall purchase the material and have it segregated and grown for the job upon approval of the plant material. The deposit necessary for such contract growing is to be born by the Contractor.
9. The project has been designed to make efficient use of water through the use of drought tolerant plant materials. Deep rooting shall be encouraged by deep watering plant material as a part of normal landscape maintenance. The irrigation for all planting shall be limited to the amount required to maintain adequate plant health and growth. Water usage shall be decreased as plants mature and become established. The irrigation controllers shall be adjusted as necessary to reflect changes in weather and plant requirements.
10. The Landscape Contractor shall verify the location of underground utilities and bring any conflicts with plant material locations to the attention of the Landscape Architect for a decision before proceeding with the work. Any utilities shown on the Landscape drawings are for reference and coordination purposes only. See Civil Drawings.
11. The design intent of the planting plan is to establish an immediate and attractive mature landscape appearance. Future plant growth will necessitate trimming, shaping and, in some cases, removal of trees and shrubs as an on-going maintenance procedure.
12. Install all plants per plan locations and per patterns shown on the plans. Install all shrubs to ensure that anticipated, maintained plant size is at least 2'-0" from the face of building(s) unless shown otherwise on the plans. Refer to Plant Spacing Diagram for plant masses indicated in a diagrammatic manner on the plans. Refer to Plant Spacing Diagram for spacing of formal hedge rows.
13. Contractor to provide one (1) Reference Planting Area for review by Landscape Architect prior to installation of the project planting. The Reference Planting Area shall consist of a representative portion of the site of not less than 900 (nine hundred) square feet. Contractor to set out plants, in containers, in the locations and patterns shown on the plans, for field review by the Landscape Architect. The Reference Planting Area will be used as a guide for the remaining plant installation.
14. The Maintenance Period(s) shall be for 60 (sixty) days. Portions of the installed landscape of a project may be placed on a maintenance period prior to the completion of the project at the Owner's request and with the Owner's concurrence.
15. Contractor to verify drainage of all tree planting pits. See Planting Specifications. Install drainage well per specifications and Tree Planting Detail(s) if the tree planting pit does not drain at a rate to meet the specifications.
16. Contractor shall remove all plant and bar code labels from all installed plants and landscape materials prior to arranging a site visit by the Landscape Architect.

THE FOLLOWING NOTES ARE FOR BIDDING PURPOSES ONLY, SUBJECT TO SITE SOIL TEST RECOMMENDATIONS IN NOTE #7.

1. The contractor is required to submit plant quantities and unit prices for all plant materials as a part of the bid.
2. Assume 5 gallon plant for any un-labelled or un-sized tree; 5 gallon plant for any un-labelled or un-sized shrub; and 1 gallon @ 18" o.c. for any un-labelled ground cover.
3. Assume 5 gallon plant size at 36" o.c. for all planting beds not provided with planting callouts or planting information.
4. The planting areas on grade shall be ripped to a depth of 8" to reduce compaction. The native subgrade soil shall be treated with 100 lbs of gypsum/1000 sqf and leached to improve drainage and reduce the soil surface barrier. Contractor shall coordinate this work with other trades. This is subject to the final recommendations of the soils test (see below) and review by the Landscape Architect and the Owner.
5. All planting areas on grade are to receive Vision Comp OMRI Listed Compost by Vision Recycling, (510) 429-1300, or approved equal, at the rate of 6 cubic yards/1000 square feet, evenly tilled 6" deep into the soil to finish grade. All planting areas shall have 6-20-20 Commercial Fertilizer at 25lbs/1000 square feet evenly distributed into the soil. This is subject to the final recommendations and review of the soils test (see below) by the Landscape Architect and the Owner.
6. Planting pits are to be backfilled with a mixture of 50% native soil and 50% amended native soil per note #5 above.
7. The General Contractor is to provide an agricultural suitability analysis for representative samples of on-site rough graded soil and any imported topsoil. Recommendations for amendments contained in this analysis are to be carried out before planting occurs. Such changes are to be accompanied by equitable adjustments in the contract price if/when necessary. See specifications for testing procedure.
8. See civil drawings for imported storm water treatment area soil. Contractor to provide agricultural suitability analysis of the soil with amendment recommendations to the Landscape Architect for review.

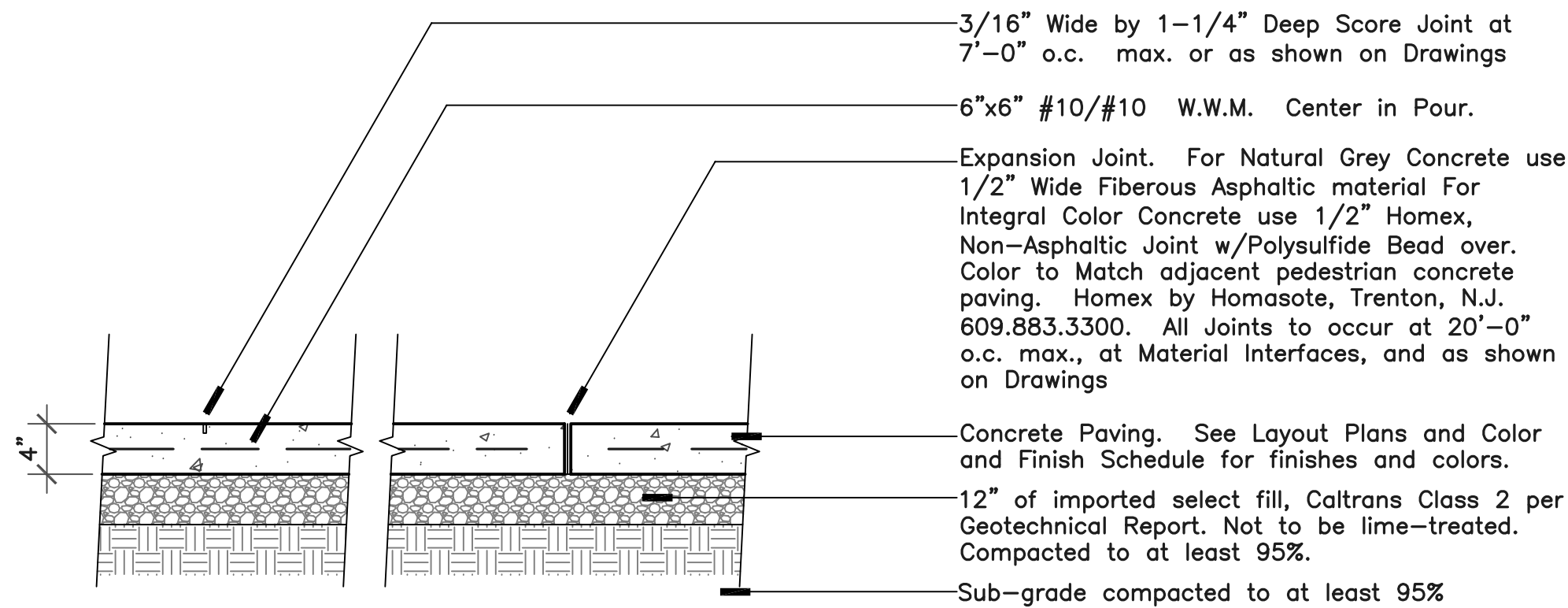
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Quantity (or See Spacing Comments)  
Plant Key (See Plant List)

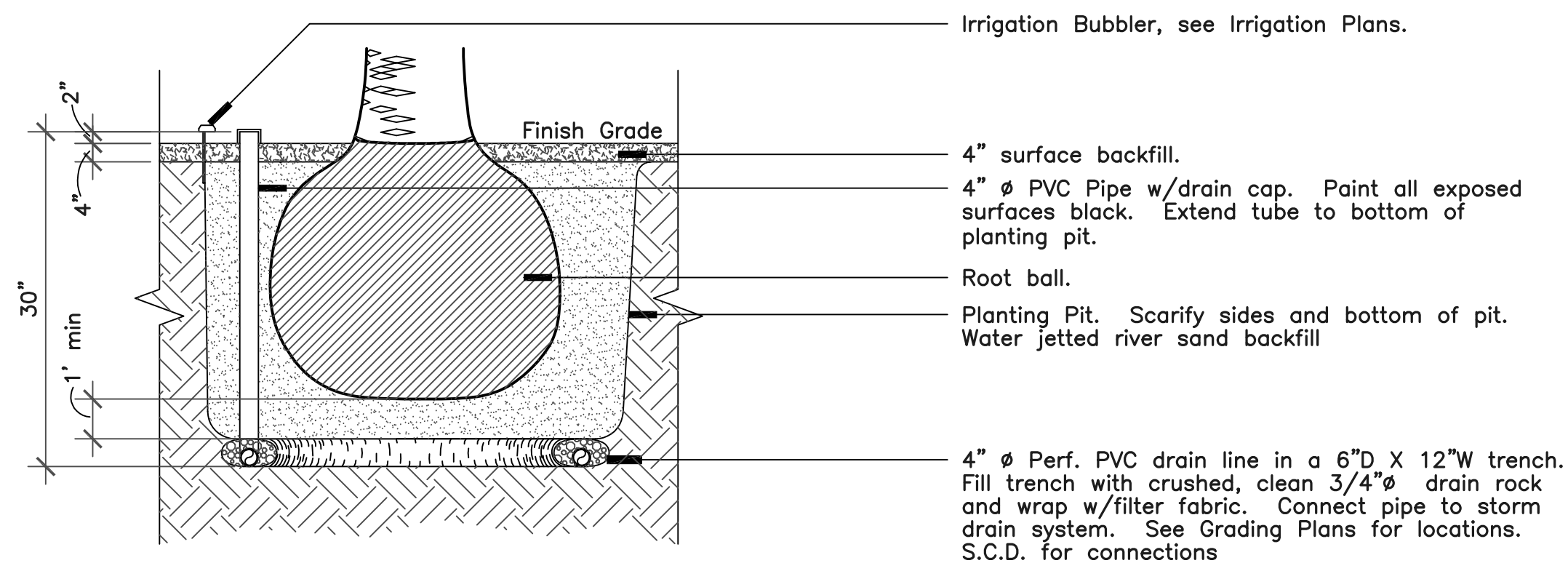
SPACING 'A'	SPACING 'B'	SPACING 'C'	NO. OF PLANTS/SQUARE FOOT
6" O.C.	5.20"	2.60"	4.60
8" O.C.	6.93"	3.47"	2.60
10" O.C.	7.79"	3.90"	1.78
12" O.C.	8.66"	4.33"	1.66
12" O.C.	10.40"	5.20"	1.15
15" O.C.	13.00"	6.50"	0.74
18" O.C.	15.60"	7.80"	0.51
24" O.C.	20.80"	10.40"	0.29
30" O.C.	26.00"	13.00"	0.18
36" O.C.	30.00"	15.00"	0.12
48" O.C.	40.00"	20.00"	0.07
72" O.C.	62.35"	31.18"	0.04

See Plant Spacing Diagram for maximum triangular spacing 'A'. This chart is to be used to determine number of ground cover required in a given area and spacing between shrub massings. Where shrub massings are shown, calculate shrub mass areas before utilizing spacing chart to determine plant quantities.

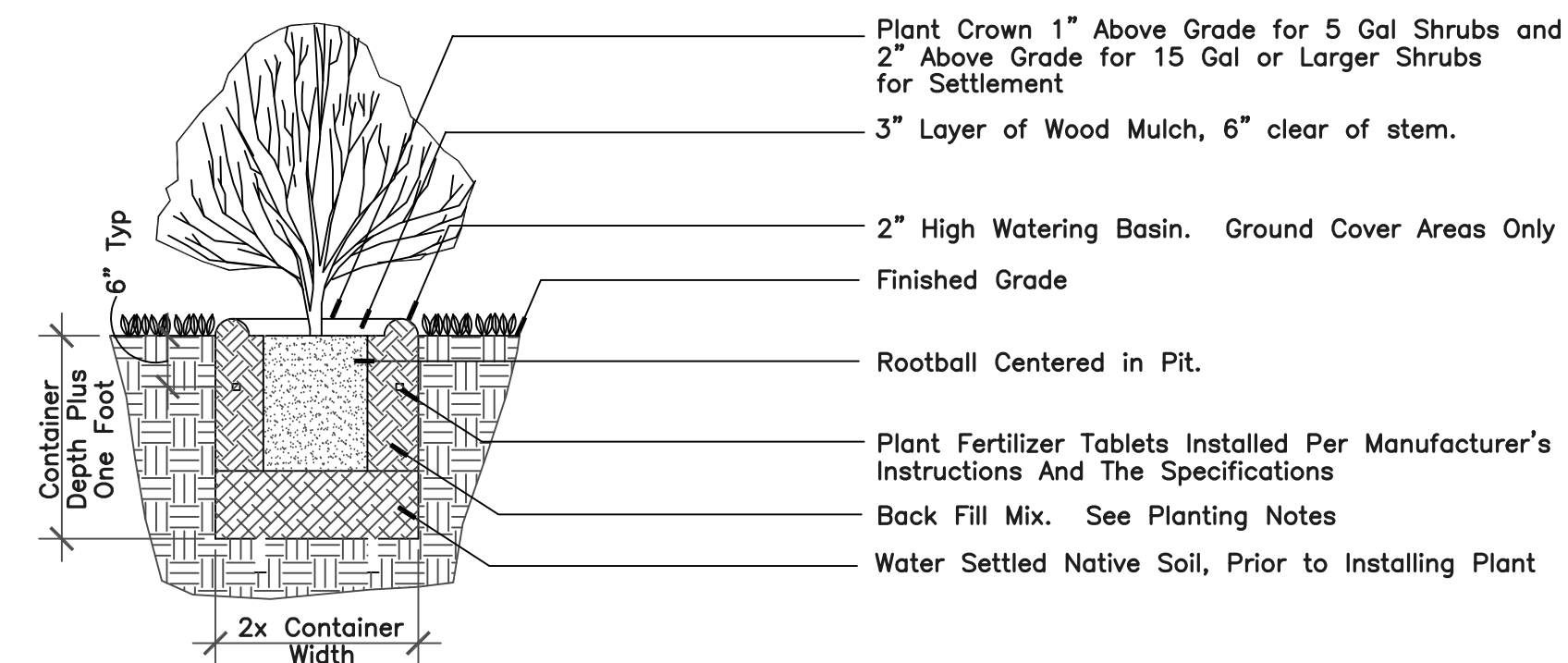
\* Where curb, sidewalk, adjacent planting bed or wall condition occurs, utilize spacing 'C' to determine plant distance from wall, sidewalk, adjacent planting bed or back of curb, where  $C = 1/2 B$ .



Scale: 1" = 1'-0"



Not to Scale



Not to Scale

775 SERRAMONTE BOULEVARD  
Colma, CA 94014

**THE  
GUZZARDO  
PARTNERSHIP INC.**  
Landscape Architects • Land Planners

181 Greenwich Street  
San Francisco, CA 94111  
T 415 433 4672  
F 415 433 5003

[illegible]

### Notes, Legends and Details

Date: 04/21/2020

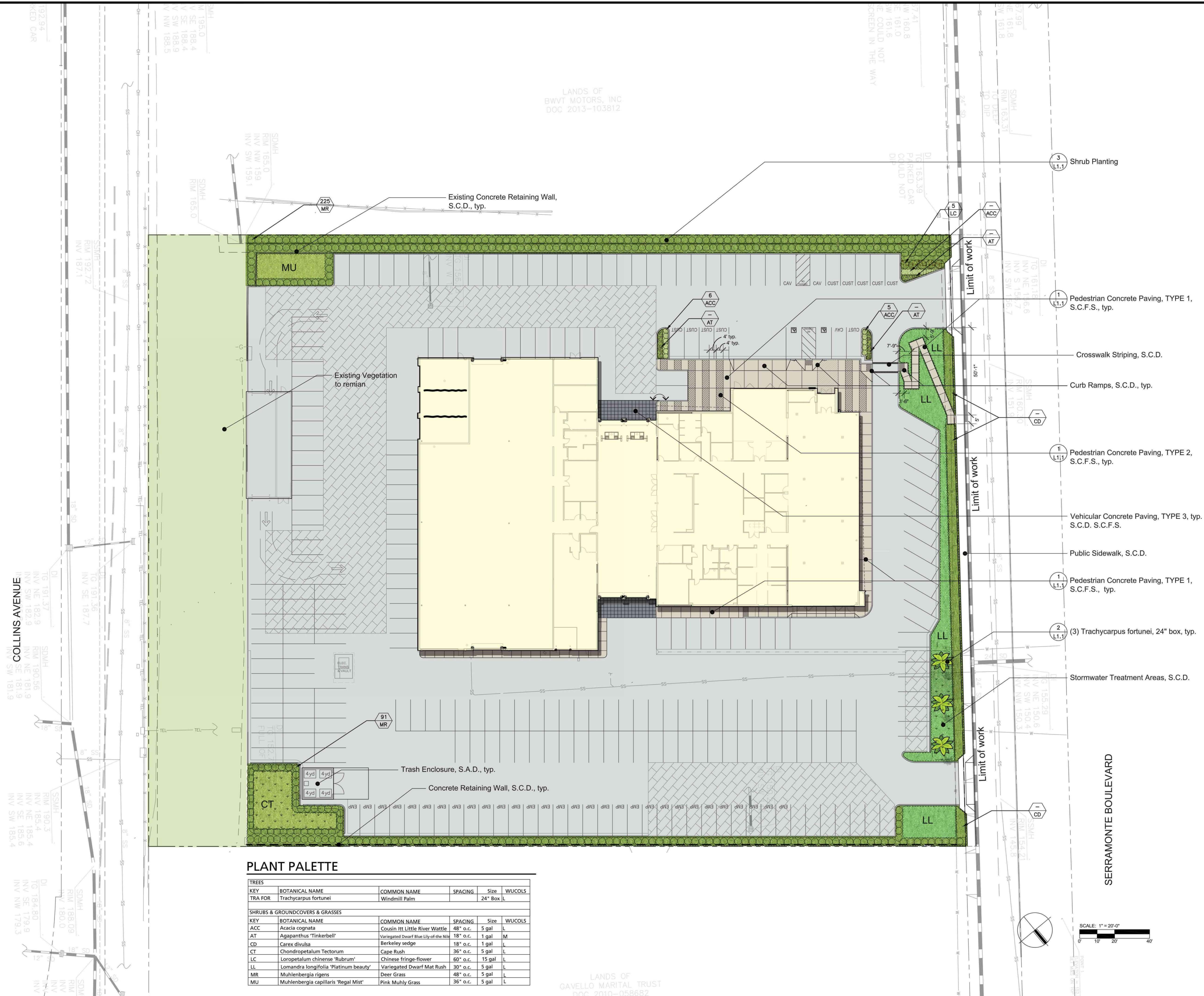
- L-1.1 Notes, Legends and Details
- L-2.1 Layout and Planting Plan
- L-3.1 Imagery Board

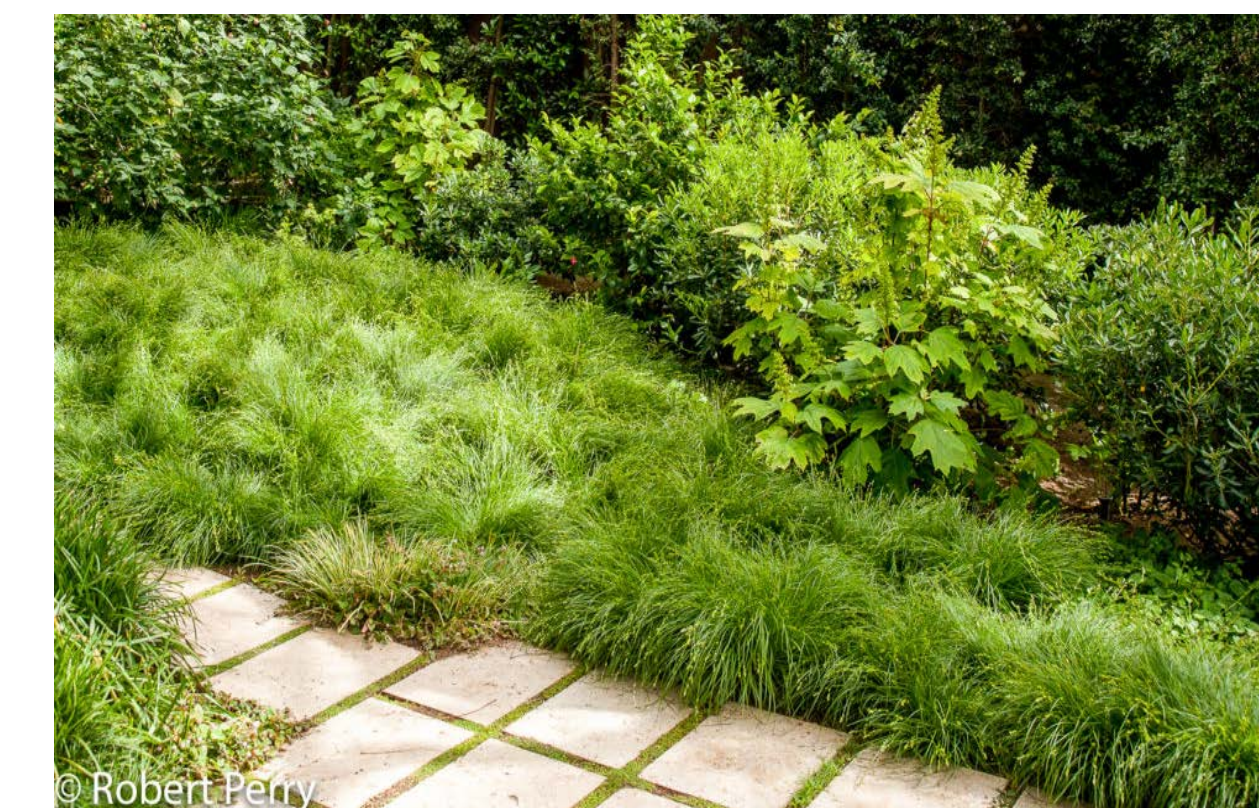
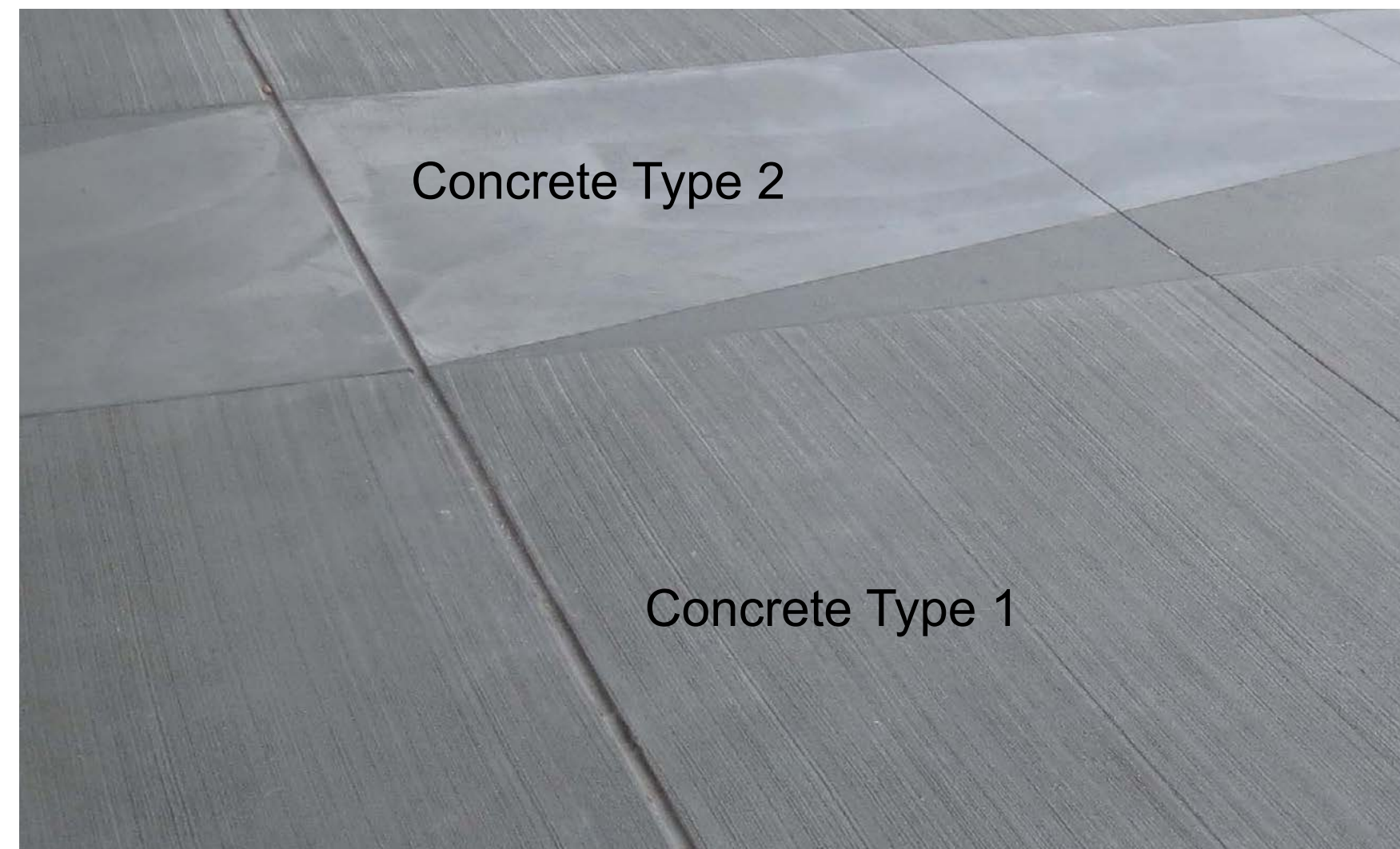
## L1.1

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## Layout and Planting Plan

Date: 04/21/2020





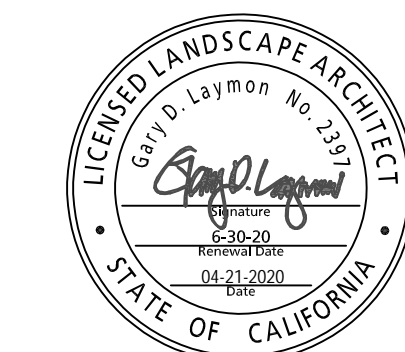
## Colma Cadillac

775 SERRAMONTE BOULEVARD  
Colma, CA 94014



**THE  
GUZZARDO  
PARTNERSHIP INC.**  
Landscape Architects • Land Planners

181 Greenwich Street  
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F 415 433 5003

[illegible]

Imagery Board

Date: 04/21/2020

### L3.1

COLLINS AVENUE  
R/W VARIES

SERRAMONTE BOULEVARD  
60' R/W

#### LEGEND

- PROPERTY LINE
- CENTERLINE
- ADJACENT PROPERTY LINE
- PROPOSED EASEMENT
- VERTICAL CURB
- VEHICULAR CONC PAVING
- CONC PAVEMENT
- RETAINING WALL
- BIORETENTION
- VEHICLE ENTRANCE DIRECTION
- PARKING STALL COUNT

#### ABBREVIATIONS

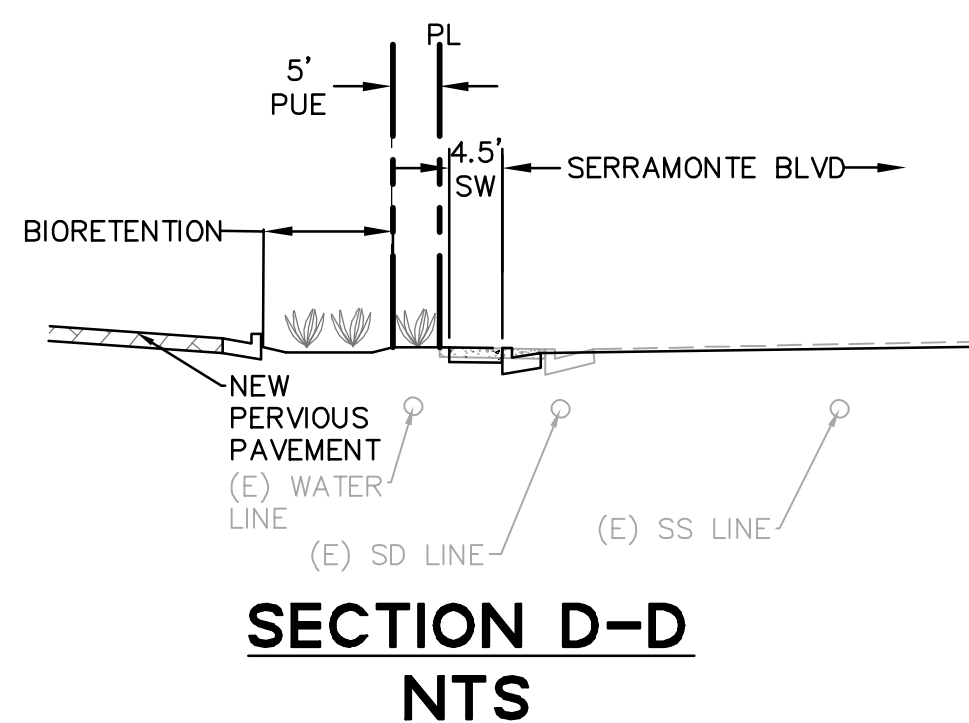
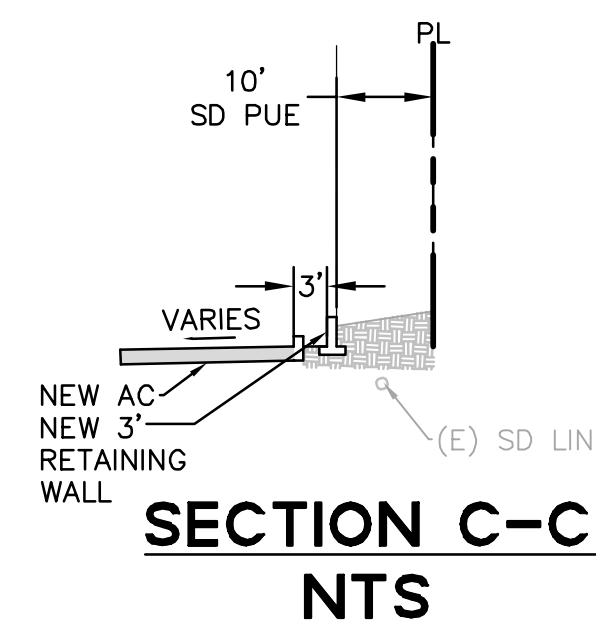
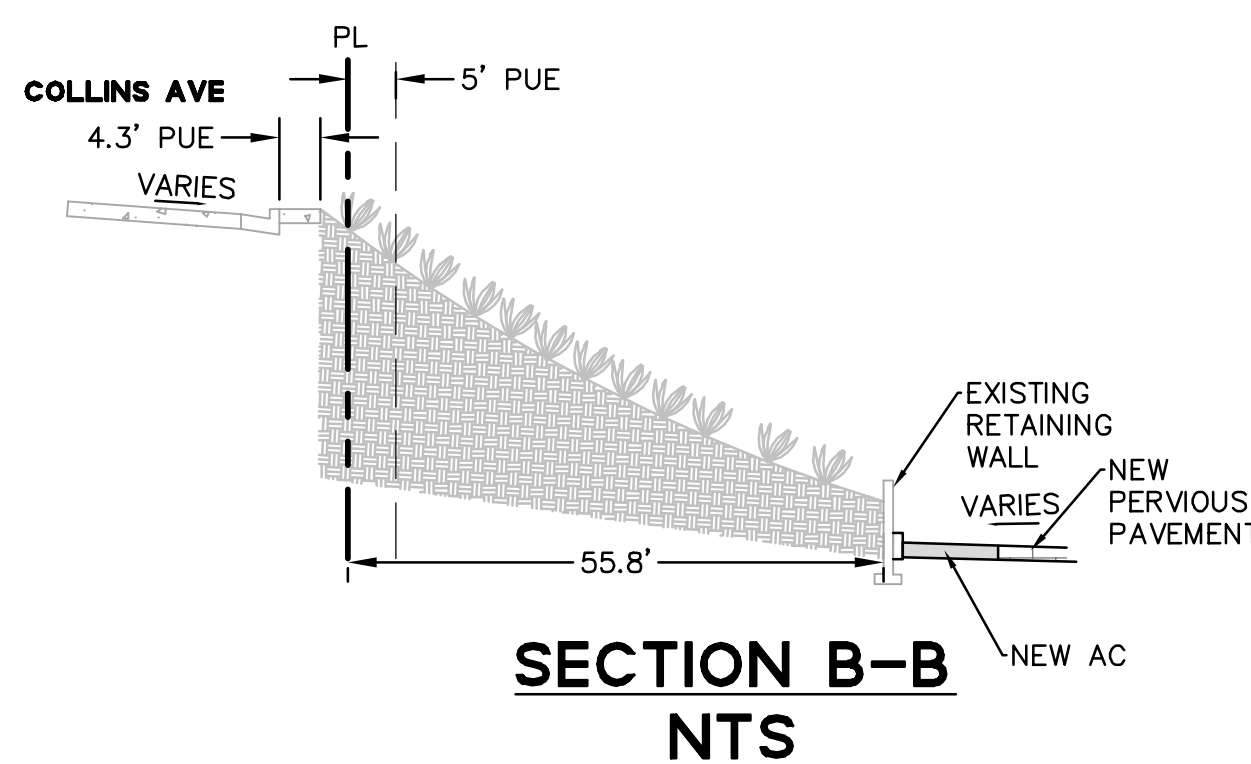
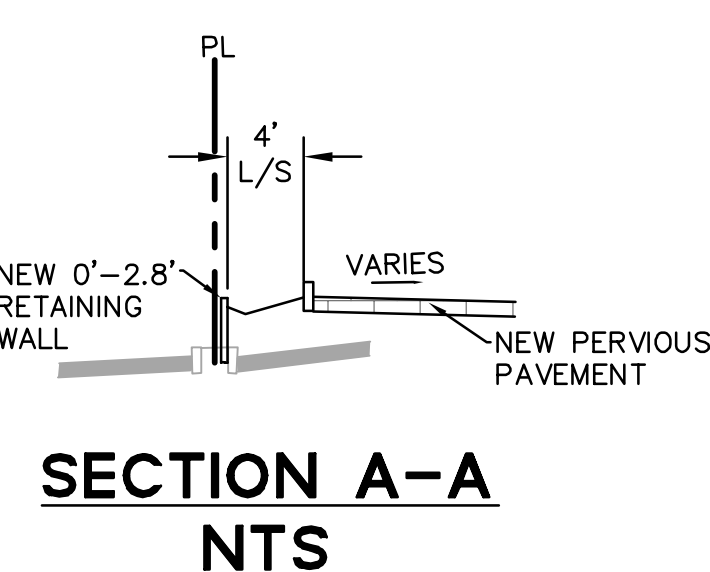
- AC ASPHALT CONCRETE
- ADA AMERICANS WITH DISABILITIES ACT
- CUST CUSTOMER PARKING SPACE
- CAV CLEAN AIR VEHICLE PARKING SPACE
- CBC CALIFORNIA BUILDING CODE
- CGBC CALIFORNIA GREEN BUILDING CODE
- CONC CONCRETE
- (E) EXISTING
- EMP EMPLOYEE PARKING SPACE
- EV ELECTRIC VEHICLE
- EVAE EMERGENCY VEHICLE ACCESS EASEMENT
- L/S LANDSCAPE
- (N) NEW
- OH OVERHANG
- PL PROPERTY LINE
- PRIE PRIVATE INGRESS/EGRESS EASEMENT
- PUE PUBLIC UTILITY EASEMENT
- PRUE PRIVATE UTILITY EASEMENT
- PS PARKING STALL
- R RADIUS
- R/W RIGHT OF WAY
- SAD SEE ARCHITECTURAL DRAWINGS
- SD STORMDRAIN
- SLE SEE LANDSCAPE DRAWINGS
- SW SIDEWALK
- TE TRASH ENCLOSURE
- TYP TYPICAL
- YD YARD

#### KEY NOTES

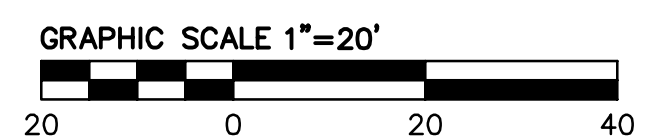
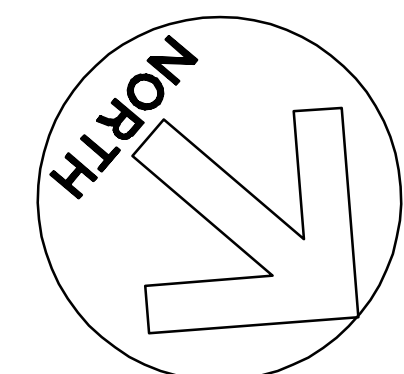
- 1 NEW 6" VERTICAL CURB
- 2 NEW FLUSH CURB
- 3 NEW ACCESSIBLE STALL
- 4 NEW CURB RAMP
- 5 NEW VALLEY GUTTER
- 6 NEW SHORT DRIVEWAY APRON
- 7 NEW VERTICAL CURB AND GUTTER
- 8 CURB CUT

#### SHEET NOTES

- PARKING COUNTS:
  - PER DEALER:
  - 30 EMPLOYEE SPACES
  - 10 CUSTOMER SPACES
  - 40 TOTAL
- ADA SPACES REQUIRED:
  - 2 PER CBC 2016 TABLE 11B-208.2
  - 2 PROVIDED (1 VAN + 1 STANDARD)
- CLEAN AIR VEHICLES REQUIRED:
  - 3 PER CGBC 2016 TABLE 5.106.5.2
  - 3 PROVIDED
- PER 5.106.5.3.5, FUTURE CHARGING SPACES QUALIFY AS DESIGNATED PARKING AS DESCRIBED IN SECTION 5.106.5.2 DESIGNATED PARKING FOR CLEAN AIR VEHICLES.
- EV READY CHARGING SPACES REQUIRED:
  - 2 PER CGBC 2016 TABLE 5.106.5.3.3
  - 2 PROVIDED
- INVENTORY SPACES:
  - PROVIDED 196
- TOTAL SPACES REQUIRED: 44 (40 + 2 EV + 2 ADA). 40 INCLUSIVE OF CAV.
- TOTAL SPACES PROVIDED: 241



	BLDG USE	BLDG AREA (SF)	BLDG HEIGHT	ZONING SETBACK REQUIREMENT	ZONING SETBACK PROVIDED
EXISTING	COMMERCIAL	38,135 SF	24'	5' MIN	5' MIN
PROPOSED	COMMERCIAL	34,385 SF	25'	5' MIN	59' MIN



COLLINS AVENUE  
R/W VARIES

05' .81

05' .81

18" SD

05' .81  
05' .81  
05' .81

- LEGEND**
- PROPERTY LINE
  - CENTERLINE
  - ADJACENT PROPERTY LINE
  - PROPOSED EASEMENT
  - VERTICAL CURB
  - VEHICULAR CONC PAVING
  - CONC PAVEMENT
  - RETAINING WALL
  - BIORETENTION
  - VEHICLE ENTRANCE DIRECTION

- ABBREVIATIONS**
- AC ASPHALT CONCRETE
  - ADA AMERICANS WITH DISABILITIES ACT
  - CUST CUSTOMER PARKING SPACE
  - CAV CLEAN AIR VEHICLE PARKING SPACE
  - CBC CALIFORNIA BUILDING CODE
  - CGBC CALIFORNIA GREEN BUILDING CODE
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  - EVAE EMERGENCY VEHICLE ACCESS EASEMENT
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  - PUE PUBLIC UTILITY EASEMENT
  - PRUE PRIVATE UTILITY EASEMENT
  - PS PARKING STALL
  - R RADIUS
  - R/W RIGHT OF WAY
  - SAD SEE ARCHITECTURAL DRAWINGS
  - SD STORMDRAIN
  - S/D SEE LANDSCAPE DRAWINGS
  - SW SIDEWALK
  - TE TRASH ENCLOSURE
  - TP TYPICAL
  - YD YARD

- KEY NOTES**
- 1 SERVICE QUEUE LINES

