



**AGENDA
REGULAR MEETING
CITY COUNCIL OF THE TOWN OF COLMA
Wednesday, September 28, 2022
CLOSED SESSION – 6:00 PM
REGULAR SESSION – 7:00 PM**

The City Council meeting will be conducted virtually pursuant to the provisions of Assembly Bill 361 amending the Ralph M. Brown Act and Government Code Section 54953(e) (and without compliance with section 54953(b)(3)) related to conducting public meetings during the COVID-19 pandemic based on the current State of Emergency and the existing State recommendations on social distancing. The Council Chambers will not be open to the public for this City Council meeting.

Members of the public may view the meeting by attending, via telephone or computer, the Zoom Meeting listed below:

Join Zoom Meeting: <https://us02web.zoom.us/j/81289976261>
Passcode: 074407

Meeting ID: 812 8997 6261
Passcode: 074407

One tap mobile
+16699006833,,81289976261#,,,,,0#,,074407# US (San Jose)
+13462487799,,81289976261#,,,,,0#,,074407# US (Houston)

Dial by your location
+1 669 900 6833 US (San Jose)
+1 346 248 7799 US (Houston)
+1 253 215 8782 US (Tacoma)
+1 312 626 6799 US (Chicago)
+1 929 205 6099 US (New York)
+1 301 715 8592 US (Germantown)

Meeting ID: 812 8997 6261
Passcode: 074407

Find your local number: <https://us02web.zoom.us/u/kco5bgxkcc>

Members of the public may provide written comments by email to the City Clerk at ccorley@colma.ca.gov before the meeting. Emailed comments should include the specific agenda item on which you are commenting or note that your comment concerns an item that is not on the agenda. The length of the emailed comment should be commensurate with the three minutes customarily allowed for verbal comments, which is approximately 250-300 words. Verbal comments will also be accepted during the meeting.

CLOSED SESSION – 6:00 PM

1. In Closed Session Pursuant to Government Code Section 54957.6 – Conference with Labor Negotiators.

Agency Negotiator:

Austris Rungis, IEDA

Employee Organizations:

Colma Communications/Records Association

PLEDGE OF ALLEGIANCE AND ROLL CALL – 7:00 PM

ADOPTION OF AGENDA

PRESENTATIONS

- Introduction of new Police Officer Reinalyn Duma and new Reserve Police Officer Andres Abarca
- Armenian Flag Raising Recognition

PUBLIC COMMENTS

Comments on the Consent Calendar and Non-Agenda Items will be heard at this time.
Comments on Agenda Items will be heard when the item is called.

CONSENT CALENDAR

2. Motion to Accept the Minutes from the September 14, 2022 Regular Meeting.
3. Motion to Accept the Minutes from the September 21, 2022 Special Meeting.
4. Motion to Adopt a Resolution in Support of Proposition 1, to Amend the California Constitution to Expressly Include an Individual's Fundamental Right to Reproductive Freedom, in the November 8, 2022 Statewide General Election.

NEW BUSINESS

5. AMENDED CONDITIONAL USE PERMIT AND DESIGN REVIEW – KIA SERVICE CENTER

Consider: Motion to Adopt a Resolution Approving an Amended Conditional Use Permit and Granting an Exception to the Spanish Mediterranean Design Review Overlay to Allow for an Auto Dealership Expansion to Add a New Service Center to an Existing Auto Dealership in a Modern Design Architecture Located at 600 Serramonte Boulevard - APN:008-392-140.

REPORTS

Mayor/City Council

City Manager

ADJOURNMENT

The City Council Meeting Agenda Packet and supporting documents are available for review on the Town's website www.colma.ca.gov or at Colma Town Hall, 1198 El Camino Real, Colma, CA. Persons interested in obtaining an agenda via e-mail should call 650-997-8300 or email a request to citymanager@colma.ca.gov.

Reasonable Accommodation

Upon request, this publication will be made available in appropriate alternative formats to persons with disabilities, as required by the Americans with Disabilities Act of 1990. Any person with a disability, who requires a modification or accommodation to view the agenda, should direct such a request to Pak Lin, ADA Coordinator, at 650-997-8300 or pak.lin@colma.ca.gov. Please allow two business days for your request to be processed.

CLOSED SESSION

1. **In Closed Session Pursuant to Government Code Section 54957.6 –
Conference with Labor Negotiators**

Agency Negotiator:	Austris Rungis, IEDA
Employee Organizations:	Colma Communications/Records Association



**MINUTES
REGULAR MEETING**

City Council of the Town of Colma
Meeting Held Remotely via Zoom.us
Wednesday, September 14, 2022
CLOSED SESSION – 6:30 PM
REGULAR SESSION – 7:00 PM

CLOSED SESSION – 6:30 PM

1. **In Closed Session Pursuant to Government Code Section 54956.9(d)(2) -
CONFERENCE WITH LEGAL COUNSEL – ANTICIPATED LITIGATION**

Worker's Compensation Claim Regarding Police Officer (documents are available for public inspection pursuant to Government Code Section 54956.9(e)(3) by contacting the City Clerk).

PLEDGE OF ALLEGIANCE AND ROLL CALL – 7:00 PM

Mayor Fisicaro called the regular session to order at 7:00 p.m.

Council Present –Mayor Helen Fisicaro, Council Members Joanne F. del Rosario, John Irish Goodwin, Diana Colvin and Ken Gonzalez were all present.

Staff Present – City Manager Brian Dossey, City Attorney Christopher Diaz, Chief of Police John Munsey, Administrative Services Director Pak Lin, Director of Public Works and Planning Brad Donohue, City Planner Farhad Mortazavi, City Clerk Caitlin Corley and Administrative Technician Abigail Dometita were in attendance.

The Mayor announced, "As always, we are accepting public comments through email or the zoom chat function—you can email our City Clerk at ccorley@colma.ca.gov or use the chat function to let her know which item you would like to speak on. Please keep your comments to 3 minutes or less. Thank you."

REPORT FROM CLOSED SESSION

Mayor Fisicaro announced, "Direction was given to staff at the end of tonight's closed session."

ADOPTION OF THE AGENDA

Mayor Fisicaro asked if there were any changes to the agenda. None were requested. The Mayor asked for a motion to adopt the agenda.

Action: Vice Mayor del Rosario moved to adopt the agenda; the motion was seconded by Council Member Goodwin and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fisicaro, Mayor	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
Ken Gonzalez	✓				
	5	0			

PRESENTATIONS

- City Clerk Caitlin Corley introduced new Administrative Technician Shelby Wright.
- The Mayor presented proclamations in honor of Ovarian Cancer and Prostate Cancer Awareness Months.
- The Mayor presented a proclamation in honor of Suicide Prevention Month. Allie Rogge, Program Manager of the Crisis Intervention and Suicide Prevention Center Outreach and Teen Crisis Services and StarVista Crisis Center, accepted the proclamation and made remarks about Suicide Prevention Month.
- **Honor Roll Students Recognition:**

The Mayor stated, "The Town of Colma is extremely proud of its young people and their academic achievements. Tonight, we are celebrating some of the bright students who have made the honor roll at their schools.

The students will receive the following gifts in recognition of their hard work: a certificate of their achievement, along with some Colma swag including a pen, folder, hand sanitizer, a Colma PD bike light and fidget spinner, and a \$10 gift card to Target.

Congratulations to these hardworking students and their families:

- Mikki Catimbang
- Rosa Mendoza
- Janessa Moreno Padilla
- Mia Myvett
- Miguel Navarro, Jr.
- Amir Posey
- Vernice Wang

PUBLIC COMMENTS

Mayor Fisicaro opened the public comment period at 7:16 p.m. and seeing no one request to speak, she closed the public comment period.

CONSENT CALENDAR

2. Motion to Accept the Minutes from the August 24, 2022 Regular Meeting.
3. Motion to Accept the Minutes from the September 7, 2022 Special Meeting.

4. Motion to Approve Report of Checks Paid for August 2022.
5. Motion to Reconfirm the Findings and Determinations Made in Resolution No. 2021-33 and Under Assembly Bill 361 for the Continuation of Virtual Meetings, with Acknowledgment that the California Department of Public Health has Updated the Definition of "Close Contact" in Regulation 3205 from Being within 6 Feet of Another Person to Sharing the Same Indoor Space with Another Person for 15 Minutes or More, Which Further Supports the Findings.
- 6a. Motion to Adopt a Resolution to Submit an Application to the San Mateo County Transportation Authority for Cycle 6 Pedestrian and Bicycle Program Funding for the El Camino Real Complete Street Project from Mission Road to Arlington Drive, City of South San Francisco (Segment B); and
- 6b. Motion to Adopt a Resolution to Submit an Application to the San Mateo County Transportation Authority for Cycle 6 Pedestrian and Bicycle Program Funding for the Serramonte West Boulevard Bicycle and Pedestrian Improvement Project (Phase I).

Action: Vice Mayor del Rosario moved to approve the consent calendar items #2 through 6b; the motion was seconded by Council Member Colvin and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fisicaro, Mayor	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
Ken Gonzalez	✓				
	5	0			

NEW BUSINESS

7. RAISING OF THE ARMENIAN FLAG

City Clerk Caitlin Corley presented the staff report. The Mayor opened the public comment period at 7:21 p.m. Citizen Aline Barsoumian spoke. The Mayor closed the public comment period at 7:23p.m. Council discussion followed.

Action: Mayor Fisicaro moved Adopt a Resolution Directing Town Staff to Fly the National Flag of Armenia at the Community Center in Lieu of the Town Flag from September 21, 2022 to September 28, 2022, in Honor of Armenian Independence Day; and the motion was seconded by Council Member Goodwin and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
Ken Gonzalez	✓				
	5	0			

8. **CONDITIONAL USE PERMIT - 1531 MISSION ROAD**

Council Member John Goodwin announced that he would not participate in this item out of an abundance of caution because he lives within 1000 feet of the property being discussed. The City Clerk removed Council Member Goodwin's audio and video capabilities.

City Planner Farhad Mortazavi and Associate Planner Alvin Jen presented the staff report. Mayor Fiscaro opened the public comment period at 7:33 p.m. Applicant Dennis Legé made a comment. The Mayor closed the public comment at 7:34 p.m. Council discussion followed.

Action: Vice Mayor del Rosario moved to Adopt a Resolution Granting a Conditional Use Permit to Allow a Minor Auto Repair Business at the Commercial Building Located at 1531 Mission Road (APN: 010-182-080), Pursuant to CEQA Guideline 15301, Class 1(A); the motion was seconded by Council Member Colvin and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fiscaro, Mayor	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin				✓	
Diana Colvin	✓				
Ken Gonzalez	✓				
	4	0			

Council Member Goodwin rejoined the meeting with audio and video capabilities.

9. **FY 2022-23 NON PROFIT FUNDING**

Council Member Goodwin disclosed that he has raised funds for LifeMoves and is a member of the Silicon Valley Bicycle Coalition; he believed he was allowed to participate in this item but wanted to be transparent about his association with the organizations. City Attorney Christopher Diaz agreed that Council Member Goodwin was fine to participate.

Administrative Technician Abigail Dometita presented the staff report. Mayor Fiscaro opened the public comment period at 7:48 p.m. The following people spoke:

- Laura Fanucchi, Director of Programs of HIP Housing
- Karen A Ferguson, Chief Executive Officer of CORA
- Jordy Pascual, Jobs for Youth Manager

- Teresa Proaño, DCPLA Board of Directors
- Jos Bols, Director Nutritional Services Meals on Wheels
- Anastacio Flores, President of ALLICE
- Lauren Heminez, Grants Manager of StarVista
- Giselle Domondon, Daly City Partnership
- Sarah Fields, LifeMoves
- Felicia Leong, Colma Daly City Chamber of Commerce

Christine Kohl-Zaugg, Executive Director of Sustainable San Mateo County submitted a written comment, which the City Clerk read aloud. The Mayor closed the public comment at 8:11 p.m. Council discussion followed.

Council made several changes to the staff recommended funding amounts, which are marked in red below:

Grantee Name	FY 2022-23 Grantee Request	FY 2022-23 Staff Proposed Grant Amount	FY 2022-23 Approved Funding
AbilityPath (Community Gatepath)	\$7,500	\$6,500	\$6,500
ALLICE	\$3,000	\$1,500	\$1,500
Clinic by the Bay	\$8,000	\$4,000	\$4,000
Colma - Daly City Chamber of Commerce	\$45,000	\$30,000	\$30,000
CORA	\$10,000	\$5,000	\$7,000
Daly City Peninsula Partnership Collaborative	\$30,000	\$15,000	\$15,000
Daly City Public Library Associates	\$5,200	\$5,200	\$5,200
Daly City Youth Health Center	\$7,500	\$6,000	\$6,000
Human Investment Project, Inc. (HIP Housing)	\$5,000	\$5,000	\$5,000
JUHSD Wilderness School (CEEP)	\$4,000	\$4,000	\$4,000
LifeMoves	\$5,000	\$4,000	\$4,000
Ombudsman Services SMC	\$3,000	\$2,500	\$2,500
Operation Santa Claus	\$1,500	\$1,500	\$1,500
Peninsula Volunteers, Inc. Meals on Wheels	\$10,000	\$5,500	\$6,000
Renaissance Entrepreneurship Center	\$5,000	\$3,500	\$3,500
Silicon Valley Bicycle Coalition	\$5,000	\$3,500	\$3,500
Sitike Counseling Center	\$7,500	\$6,500	\$6,500
SMC Community College Foundation	\$5,000	\$4,000	\$4,000

SMC Jobs for Youth	\$4,000	\$3,000	\$4,000
SMC Pride Center	\$3,000	\$3,000	\$3,000
Sustainable San Mateo County	\$5,000	\$1,000	\$1,000
Totals	\$179,200	\$120,200	\$123,700

Action: Council Member Goodwin moved to Adopt a Resolution Determining Eligibility for Grant Funding, Approving Grants to Eligible Organizations, Finding That Each Approved Grant Serves a Public Purpose, and Authorizing Contracts with Each Eligible Organization for the Use of Town Funds; the motion was seconded by Vice Mayor del Rosario and carried by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fisicaro, Mayor	✓				
Joanne F. del Rosario	✓				
John Irish Goodwin	✓				
Diana Colvin	✓				
Ken Gonzalez	✓				
	5	0			

COUNCIL CALENDARING

The next Regular Meeting will be on Wednesday, September 28, 2022 at 7:00pm.

REPORTS

City Manager Brian Dossey gave an update on the following topics:

- There will be a Mayor Chamber Business Walk on Friday, September 16 at 10:00 a.m.
- A Coffee and Cars event will take place on Saturday, September 17 at 9:00 a.m.; they are collecting school supplies.
- The Armenian Flag Raising will take place on Wednesday, September 21 at 9:00 a.m. at the Colma Community Center.
- The Cadillac Grand Opening will take place on Tuesday, September 27 at 6:00 p.m.
- There will be a Closed Session at the Regular Meeting on September 28, 2022 at 6:00 p.m.

ADJOURNMENT

Mayor Fisicaro adjourned the meeting at 8:41 p.m.

Respectfully submitted,

Caitlin Corley
City Clerk

**MINUTES
SPECIAL MEETING**

City Council of the Town of Colma
Colma Community Center
1520 Hillside Boulevard
Colma, CA 94014
Wednesday, September 21, 2022
9:00 A.M.

CALL TO ORDER

Mayor Helen Fisicaro called the meeting to order at 9:06 a.m.

Council Present – Mayor Helen Fisicaro and Council Member John Irish Goodwin were present. Vice Mayor Joanne F. del Rosario, Council Members Diana Colvin and Ken Gonzalez was absent.

Staff Present –Chief of Police John Munsey, Director of Public Works Brad Donohue, Police Commander Sherwin Lum, Recreation Services Manager Angelika Abellana, City Clerk Caitlin Corley and Administrative Technician Abigail Dometita were in attendance.

WELCOME AND INTRODUCTION OF SPECIAL GUESTS

Mayor Fisicaro welcomed special guests present from the local Armenian community:

- John Kevranian, Northern California Regional Council Co-Chair of Armenian Assembly of America
- Valina Agbabian, California Chair of the Armenian Assembly of America
- Grace Andonian, Principal from Krouzian-Zekarian-Vasbouragan Armenian School
- Fr. Mestop Ash, pastor of St. John Armenian Church
- Fr. Smpad Saboundjian, pastor of St. Gregory Armenian Apostolic Church
- Rev. Calvin Sagherian, Calvary Armenian Congregational Church
- Sevana Panosian, El Camino High School teacher and active member of the local Armenian community
- Delegation of students from Krouzian-Zekarian-Vasbouragan Armenian School
- Representatives from the Veterans of Foreign Wars

PROCLAMATION IN HONOR OF ARMENIAN INDEPENDENCE DAY

Mayor Fisicaro stated, "We are honored to have you all here with us today on Armenia's 31st Independence Day, as we raise the Flag of Armenia. Colma has strong ties to the Armenian Community, and we are so pleased and proud to be able to recognize the important contributions that they have made here in Colma and more broadly in the United States."

Mayor Fisicaro then read a proclamation in recognition of Armenian Independence Day and invited John Kevranian, Northern California Regional Council Co-Chair, Armenian Assembly of America, to come forward to accept the proclamation. Mr. Kevranian then made remarks thanking the Town for the recognition.

RAISING OF THE ARMENIAN FLAG

Colma Police Officers raised the Armenian Flag, while students from Krouzian-Zekarian-Vasbouragan Armenian School sang the Armenian National Anthem.

REMARKS BY VICE MAYOR AND COUNCIL MEMBERS

Council Member Goodwin made remarks.

REMARKS BY MEMBERS OF THE PUBLIC

The Mayor asked if any members of the public wished to speak. The following people made remarks:

- Karenkin Andonia, 8th Grader at Krouzian-Zekarian-Vasbouragan Armenian School
- Grace Andonian, Principal from Krouzian-Zekarian-Vasbouragan Armenian School
- Fr. Mestop Ash, pastor of St. John Armenian Church

ADJOURNMENT

Mayor Fisicaro adjourned the meeting at 9:24 p.m. and invited everyone to stay for coffee and Armenian treats.

Respectfully submitted,

Caitlin Corley
City Clerk



STAFF REPORT

TO: Mayor and Members of the City Council
FROM: Caitlin Corley, City Clerk
VIA: Brian Dossey, City Manager
MEETING DATE: September 28, 2022
SUBJECT: Resolution in Support of Statewide Proposition 1

RECOMMENDATION

Staff recommends that the City Council adopt:

RESOLUTION IN SUPPORT OF PROPOSITION 1, TO AMEND THE CALIFORNIA CONSTITUTION TO EXPRESSLY INCLUDE AN INDIVIDUAL'S FUNDAMENTAL RIGHT TO REPRODUCTIVE FREEDOM, IN THE NOVEMBER 8, 2022 STATEWIDE GENERAL ELECTION

EXECUTIVE SUMMARY

Staff recommends that the City Council consider adopting a resolution to affirm the City Council of the Town of Colma's support for the passage of Proposition 1 in the November 8, 2022 Statewide Election.

FISCAL IMPACT

None.

BACKGROUND

On June 24, 2022, the Supreme Court of the United States issued its opinion in *Dobbs v. Jackson Women's Health Organization*, which overturned its 1973 decision of *Roe v. Wade*. The *Roe* decision had established a constitutional right to abortion, thereby limiting the ability of the states to place restrictions on abortion.

Existing California laws provide that every individual has a fundamental right to privacy in their personal reproductive decisions, which includes the fundamental right to choose to have an abortion and the fundamental right to choose or refuse contraceptives.

On Tuesday, November 8, 2022, voters in the state of California will vote on Proposition 1. Proposition 1 seeks to amend the California Constitution to expressly include these fundamental rights and prohibit the State from denying or interfering with an individual's reproductive freedom.

ANALYSIS

By adopting the proposed resolution, the City Council of the Town of Colma affirms its support for the passage of Proposition 1. The resolution also expresses support for the “Women’s Reproductive Freedom and Healthcare Privacy Action Plan” developed by the Board of Supervisors of the County of San Mateo.

Council Adopted Values

Adoption of the proposed resolution promotes **fairness** and **respect** by supporting the public’s right to privacy in their personal reproductive decisions.

Alternatives

The City Council could choose not to adopt the proposed resolution.

CONCLUSION

Staff recommends that the City Council adopt the attached resolution.

ATTACHMENTS

- A. Resolution

RESOLUTION NO. 2022-__
OF THE CITY COUNCIL OF THE TOWN OF COLMA

**RESOLUTION IN SUPPORT OF PROPOSITION 1, TO AMEND THE CALIFORNIA
 CONSTITUTION TO EXPRESSLY INCLUDE AN INDIVIDUAL'S FUNDAMENTAL RIGHT
 TO REPRODUCTIVE FREEDOM, IN THE NOVEMBER 8, 2022 STATEWIDE GENERAL
 ELECTION**

The City Council of the Town of Colma does hereby resolve as follows:

1. Background

- (a) the Town of Colma supports the ability of all residents to access safe and affordable healthcare; and
- (b) access to safe and legal abortion affects health, safety, economic stability, and quality of life; and
- (c) the ability of women to safely access reproductive and other healthcare services is increasingly threatened across the country, especially with the United States Supreme Court decision in Dobbs v. Jackson Women's Health Organization to overturn Roe v. Wade; and
- (d) the City of San Mateo supports the "Women's Reproductive Freedom and Healthcare Privacy Action Plan" developed by the Board of Supervisors of the County of San Mateo; and
- (e) Proposition 1 on the November 8, 2022 Statewide General Election would, if passed, amend the California Constitution to expressly include an individual's fundamental right to reproductive freedom, which includes the fundamental right to choose to have an abortion and the fundamental right to choose or refuse contraceptives.

2. Order

- (a) In light of the foregoing, the City Council affirms the importance of reproductive health, rights and justice, and women's access to safe, comprehensive and affordable reproductive health care including the right to safe and accessible abortion services.
- (b) The City Council supports the passage of Proposition 1 at the November 8, 2022 Statewide General Election.

//

//

//

//

Certification of Adoption

I certify that the foregoing Resolution No. 2022-__ was duly adopted at a regular meeting of said City Council held on September 28, 2022 by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fisicaro, Mayor					
Joanne F. del Rosario					
John Irish Goodwin					
Diana Colvin					
Ken Gonzalez					
<i>Voting Tally</i>					

Dated _____

Helen Fisicaro, Mayor

Attest: _____
Caitlin Corley, City Clerk



STAFF REPORT

TO: Honorable Mayor and Members of the City Council

FROM: Brad Donohue, Director of Public Works, CSG Consultants
Alvin Jen, Associate Planner, CSG Consultants

VIA: Brian Dossey, City Manager

MEETING DATE: September 28, 2022

SUBJECT: Serramonte KIA – Amended Conditional Use Permit and Design Review

RECOMMENDATION

Staff recommends that the City Council adopt:

RESOLUTION APPROVING AN AMEDENED CONDITIONAL USE PERMIT AND GRANTING AN EXCEPTION TO THE SPANISH MEDITERRANEAN DESIGN REVIEW OVERLAY TO ALLOW FOR AN AUTO DEALERSHIP EXPANSION TO ADD A NEW SERVICE CENTER TO AN EXISTING AUTO DEALERSHIP IN WITH A MODERN DESIGN ARCHITECTURE LOCATED AT 600 SERRAMONTE BOULEVARD - APN: 008-392-140.

EXECUTIVE SUMMARY

The applicant is proposing to expand an existing auto dealership by adding a new service center at 600 Serramonte Boulevard. The proposed project will include a new service building and northeasterly expansion of the existing showroom to include a building canopy for service write ups for the service center. The use is appropriate for the commercial location and complies with the Town's Zoning and General Plan policies. Conditions of approval are recommended to address parking, noise, and air quality to ensure the business will not impact uses in the neighborhood, thereby ensuring the public health, safety, and welfare of the community.

FISCAL IMPACT

By approving this project, the Town will benefit from its budget (in the form of increased sales tax revenue from sales of auto parts).

BACKGROUND

The project site is located along Serramonte Boulevard which has a General Plan land use designation of Commercial and is zoned Commercial ("C") within DR(S) Design Review Spanish Mediterranean Overlay Zone. Exterior modifications include the service center with a second floor for parts storage and a new service canopy. The proposal includes a new service building that

comprises 14 service bays, bathrooms, employee areas, and retail parts office. To provide space for the proposed service center, grading excavation will be done on the rear of the property (northwest). The major part of the grading operation will be the excavation effort, approximately 1,810 cubic yards of soil will be disturbed of which 1,044 cubic yards will be off-hauled off site. with the remainder of the soil being used on site.

Proposed Use (Second Floor)	Area (square feet)
Parts Storage	1,762.2 sq. ft.
Proposed Second Floor Total	1,762.2 sq. ft.

Proposed Canopy	1,276.2 sq. ft.
------------------------	------------------------

Proposed New Lot Coverage	Area (square feet)
Ground Floor Total	6,785.7 sq. ft.
Canopy Total	1,276.6 sq. ft.
Total	8,062.3 sq. ft.

The calculation of the proposed project is below:

	Area (square feet)
Total Lot Size	70,800 sq. ft. (1.625 acres)
Proposed New Lot Coverage	13,692.2 sq. ft.
Proposed Total Lot Coverage Percentage	13,692.2/70,800 = 19.3%

Floor Area Ratio (FAR) Calculation	Area (square feet)
Proposed Gross Floor Area	13,692.2 + 1,762.2 = 15,454.4
Proposed New FAR Percentage	15,454.4/70,800 = 21.8%

Proposed Total Lot Coverage	Area (square feet)
Existing Lot Coverage	5,630 sq. ft.
Proposed New Lot Coverage	8,062.3 sq. ft.
Total	13,692.3 sq. ft.

The existing building is a one-story 5,630 square foot auto dealership, with a height of 24 ft. The previous use, before the Kia dealership, was also an auto dealership. In November 1982, City Council approved Resolution No. 610 granting a conditional use permit for an auto sales office. In October 1996, City Council approved Resolution No. 96-62 granting an amended conditional use permit to construct a new permanent building containing offices and a showroom for sales of new and used motor vehicles. Resolution No. 96-62 superseded Resolution No. 610. The existing building supports auto sales including a showroom and sales offices. Currently, there are one hundred thirty-seven (137) parking spaces onsite, two (2) ADA spaces, and two (2) EV chargers. The addition of the service center will include a net loss of fifteen (15) parking spaces, the majority located in the rear portion of the exiting lot; however, one (1) ADA space will be added in the front of the building.

The existing dealership is a portion of a larger parcel owned by Greek Orthodox Memorial Park located on the north. A lease agreement was entered into with the property owner in November 2021, which allows for the lease of the land currently used for an auto dealership including the option to add an additional 5,000 square feet of land to construct a service center. This lease agreement is on file with the Town's Planning Department.

Surrounding uses include cemetery use (Greek Orthodox) to the north, public use (Town Hall) and residential (Creeside Villas) to the east, commercial uses to the south (Kohl's), and west (Golden State Infiniti).

ANALYSIS

The applicant, Matthew Zaheri (who is the owner of the Kia dealership, but also the owner of Subaru and Volkswagen dealerships on Serramonte Blvd.), is requesting an amendment to the Conditional Use Permit and is seeking design review approval to allow for the construction of a new service center at 600 Serramonte Boulevard.

The existing auto dealership is a one-story, 5,630 square foot building and 24' in height. The proposed service center will be a two-story building with 8,547.9 square feet (ground floor and second floor for parts storage) and an additional 1,277 square foot canopy.

The proposed service center will operate Monday to Friday from 7:00 AM to 6:00 PM, Saturday from 8:00 AM to 1:00 PM, and closed Sundays. The type of activities that may occur on-site include auto repair, auto service, and auto parts sales. There will be up to 22 employees working at any given shift in the new service center, in addition to the current auto sales activities.

To create enough space for the service center, approximately 1,810 cubic yards of material will be excavated from the northwest side of the existing lot, 1,044 cubic yards will be off-hauled,

and the remainder used on site. To meet the requirements of the Municipal Regional Storm Water Permit (MRP), stormwater run-off from the site would be redirected to a biotreatment and retention area located on the east side of the proposed service building.

Parking and Deliveries

Entry to the service center will be on Serramonte Boulevard, on the east side of the building. The proposed canopy on the east side of the existing building will be utilized for staging cars awaiting service.

Deliveries of cars and parts will also utilize the east side of the building. This would be made on-site and would require a vehicle carrier and employees to receive the delivery. The vehicles would enter the site through the main access at Serramonte Boulevard and load/unload vehicles in the designated carrier unloading area and exit back to Serramonte Boulevard.

Findings Relating to California Environmental Quality Act, (CEQA) Review

Pursuant to Section 15301 of the State of California CEQA Guideline Class 1(e)(2), Additions to Existing Structures – the proposed project is Categorical Exempt from further environmental review per the findings below.

Section 15301 Class 1(e)(2), consists of projects characterized as additions to Existing Structures, and the project meets the conditions described in this section.

(e) Additions to existing structures provided that the addition will not result in an increase more than:

(2) 10,000 square feet if:

The project is proposed to add 8,062.3 square feet, which is less than 10,000 square feet.

(A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan

The project is an expansion of an existing building where there are public services located along Serramonte Boulevard. Within the General Plan text, a list of appropriate retail and service uses are listed to serve the community, with auto-related use listed as acceptable in the commercial land use category.

And

(B) The area where the project is located is not environmentally sensitive.

The project site is located near Colma Creek. There are no endangered, rare or threatened species in Colma or on the subject site. Colma Creek is channelized nearby and does not provide a habitat for endangered species. The creek area will not be disturbed or altered as part of the project.

Pursuant to Section 15303 of the State of California CEQA Guideline Class 3(c), Additions to Existing Structures – the proposed project is Categorical Exempt from further environmental review per the findings below.

Section 15303 Class 3(c), consists of construction and location of limited numbers of new, small facilities or structures.

(c) A store, motel, office, restaurant, or similar structure not involving the use of significant amounts of hazardous substances, and not exceeding 2500 square feet in floor area. In urbanized areas, the exemption also applies to up to four such commercial building not exceeding 10,000 square feet in floor area on sites zones for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

The proposed project is located in an urbanized area¹ where one (1) existing building occupies the lot, and an additional building will be constructed which will be a total of two (2) buildings. The new addition of 8,062.3 is below the 10,000 square foot threshold. The proposed service center will not involve the use of significant amounts of hazardous substances, the amount and type of substances used will be similar to auto-related uses in the surrounding area. Public services and facilities will be available as this is an expansion of an existing building. The surrounding area is not environmentally sensitive as there are no endangered, rare or threatened species in Colma or on the subject site. Colma Creek is channelized nearby and does not provide a habitat for endangered species.

Based on the findings above, this project is Categorical Exempt from further environmental review.

Findings Related to Granting an Amended Conditional Use Permit

Section 5.03.410 of the Colma Municipal Code requires that certain findings be made for approval of a Conditional Use Permit. These findings are also required for an amended Conditional Use Permit. These findings apply to the project as follows:

a) The proposed Conditional Use Permit will be consistent with the provisions of the Colma General Plan and Zoning Ordinance.

The use is consistent with the Colma General Plan vision for Serramonte Boulevard as described on pages LU 4, 25, and 26 of the 2040 General Plan. Specifically, the parcel where this business will operate is designated on the land use map for commercial use. Within the General Plan text, a list of appropriate retail and service uses are listed to serve the community. Auto-related use is listed as acceptable in the commercial land use category.

The Colma Commercial Zoning code is specifically broad to encourage a wide range of commercial uses such as the proposed use. Thus, the proposed use is also consistent with the Town's Zoning provisions.

b) Granting the Conditional Use Permit will not be detrimental to the public health, safety, or public welfare, or materially injurious to the properties or improvements in the vicinity.

¹ Colma is part of the San Francisco-Oakland urbanized area as determined by the U.S. Census Bureau

This project will not create a significant impact on the surrounding area. Existing businesses and uses on this corridor are mostly auto dealerships (Golden Gate State Infiniti, Golden State Nissan, Serramonte Subaru, and Serramonte Volkswagen), commercial (Kohl's), cemetery (Greek Orthodox), public (Colma Town Hall), and residential (Creekside Villas). From a January 2020 report, *Serramonte Boulevard and Collins Avenue Master Plan*, states, "Both Serramonte Boulevard and Collins Avenue were found to have excess vehicular roadway capacity, meaning the width (in the case of Collins Avenue) or number (in the case of Serramonte Boulevard between Junipero Serra Boulevard and El Camino Real) of travel lanes in each case could be reduced without significant impacts to vehicle travel times." Based on the previous statement, Serramonte Boulevard should support the project without causing significant traffic to the surrounding area. Staff finds that the lot size and location are sufficient for the proposed use. To further mitigate any potential traffic impacts related to the project, a traffic control plan shall be submitted prior to any issuance of a building permit.

During construction, project traffic will include the use of heavy equipment for site improvements. Construction will require grading, concrete pouring, and materials delivery. The project will off-haul 1,044 cubic yards of material resulting in 52 trips in a 20 cubic yard container. To help mitigate construction-related impacts, as a condition of this use permit, per Colma Municipal Code 5.04.220(c), *Standard Hours of Construction, within a radius of 500 feet of any residential unit, construction-related work including truck hauling is limited to Monday to Friday from 8:00 AM to 7:00 PM, Saturday, 9:00 AM to 5:00 PM, and Sunday from 12:00 PM to 5:00 PM*. Furthermore, using the Town-adopted Best Management Practices (BMPs), dust control and stormwater pollution prevention will be implemented as a condition of the amended use permit.

c) Existing property uses, large or small, will not be detrimentally affected by the proposed Use Permit.

The existing lot includes an auto dealership. Surrounding uses include auto dealerships, cemetery, commercial retail, a public building, and a residential community. As a condition of the use permit, auto-related service activity will be contained within a fully enclosed building except for auto sales and auto inventory. This condition will help mitigate any noise impacts to the neighboring Creekside Villas residences. The proposed use is found along Serramonte Boulevard and will not impact other automobile dealership, cemetery, retail, and public negatively.

d) The granting of the Use Permit will not constitute a grant of special privilege inconsistent with the limitations imposed by the Zoning Ordinance on the existing use of properties, large or small, within the Town of Colma

The Amended Conditional Use Permit will not constitute the grant of a special privilege since, as noted above, the proposed use is consistent with the existing Conditional Use Permit in the Commercial zone. The proposed use is an automobile service center located within an existing auto dealership lot. The proposed service center will be compatible with other uses in the surrounding area. In addition, similar uses are allowed on other parcels within the same Commercial zone illustrating that this is not a special privilege being granted, but is instead, consistent with other uses in the same zone.

e) The City Council is satisfied that the proposed structure or building conforms to the purpose and intent of the General Plan and Zoning Ordinance.

The proposed project is located on a lot zoned C for commercial use and complies with all applicable regulations of the Zoning Ordinance, including setbacks, height, and sign requirements. In addition, the proposed use is allowed in the C zone. The lot is located within the Town's auto row on Serramonte Boulevard and compliments nearby existing land uses. Therefore, the proposed project conforms to the purpose and intent of the General Plan and Zoning Ordinance.

f) The use will not constitute a nuisance to neighboring persons or properties.

The proposed project meets all the standards identified in the Zoning Ordinance and the project site is in a commercial zone. Neighboring properties include additional automotive dealerships, retail uses, public, and residential community. The conditions of the Use Permit will ensure that all activities related to the uses will not negatively impact adjoining uses. To mitigate noise nuisances associated with the project, as a condition of this use permit, per Colma Municipal Code 5.04.220(c), *Standard Hours of Construction, within a radius of 500 feet of any residential unit, construction related work including truck hauling is limited to Monday to Friday from 8:00 AM to 7:00 PM, Saturday, 9:00 AM to 5:00 PM, and Sunday from 12:00 PM to 5:00 PM.*

Findings Related to Design Review

The project site is in the DR(S) Spanish Mediterranean Overlay Zone which all plans for development in the portion of the DR zone which are designated with and "(S)" shall incorporate building, site and landscape design elements representing the Spanish/Mediterranean style. However, under Colma Municipal Code 5.03.300 (a)(1) states:

"5.03.300 Restrictions and Procedures Applicable to the "DR" Design Review Zone.

(a) Applicability. The requirements of this section shall apply to all site, landscape and building plans, whether submitted in connection with the construction of a new building or an alteration or modification to the structure or façade of an existing building, within the area described in Section 5.03.040(d) with the following exceptions:

(1) An addition or modification to an existing building where the addition or modification, if it were to conform to the DR standards, would clash with the building's established architectural theme."

The existing building consists of modern architectural theme. By requiring the proposed service center to comply with Spanish Mediterranean architecture, staff finds that there would be a clash with the established architectural theme. Therefore, staff is recommending that the City Council grant a exception to allow for a modern design architecture.

In this project, there is no proposed landscaping, as the majority of the work will be located in the rear and side of the building. The trash enclosure will be consistent with the materials used on the existing and proposed building. The utility room will be enclosed and located on the west side of the building.

COUNCIL ADOPTED VALUES

The recommendation is consistent with the Council values of *fairness* because the recommended decisions are consistent with how similar requests have been handled, and with the council value of *responsibility* because the proposed use has been carefully reviewed and conditioned so that

it will be consistent with adopted development policies and regulations, and compatible within its setting.

SUSTAINABILITY IMPACT

The project will have a slight sustainability improvement to the site. The stormwater management strategy for the site will consist of bioretention areas along the front and rear of the property, which will meet the Municipal Regional Stormwater NPDES Permit (MRP) standards and improve water quality leaving the site. The stormwater improvements will also allow for infiltration reduce the existing quantity of water entering the storm drain system.

ALTERNATIVES

The following courses of action are available to the City Council:

1. Adopt the resolution and approve the Amended Conditional Use Permit granting a Design Review exception with modified or additional conditions of approval. This alternative may increase or reduce restrictions on the Conditional Use Permit to satisfy specific community concerns.
2. Direct staff to bring back a resolution to deny the Amended Conditional Use Permit and Design Review. If this alternative is selected, staff recommends that the City Council articulate concerns and the reasons for selecting this alternative.

CONCLUSION

Staff recommends that the City Council adopt the resolution approving the Amended Conditional Use Permit and granting a Design Review subject to the findings and recommended conditions of approval.

ATTACHMENTS

- A. Resolution 2022-____, Approving an Amended Conditional Use Permit and granting an exception to the Spanish Mediterranean Design Review Overlay to allow for an Auto Dealership Expansion to add a New Service Center to an existing Auto Dealership in a modern design architecture at 600 Serramonte.
- B. Project Plan Set which includes existing site plan, proposed site plan, existing site elevations, proposed site elevations, existing building plan and new building plans.
- C. Public Comments.

RESOLUTION NO. 2022-__
OF THE CITY COUNCIL OF THE TOWN OF COLMA

**RESOLUTION APPROVING AN AMENDED CONDITIONAL USE PERMIT AND GRANTING
AN EXCEPTION TO THE SPANISH MEDITERRANEAN DESIGN REVIEW OVERLAY TO
ALLOW FOR AN AUTO DEALERSHIP EXPANSION TO ADD A NEW SERVICE CENTER TO
AN EXISTING AUTO DEALERSHIP IN A MODERN DESIGN ARCHITECTURE LOCATED
AT 600 SERRAMONTE BOULEVARD - APN:008-392-140**

Property Owner: Greek Orthodox Memorial Park

Lessee: Mathew Zaheri

Location: 600 Serramonte Boulevard

Assessor's Parcel Number: 008-392-140

The City Council of the Town of Colma does hereby resolve as follows:

1. BACKGROUND

(a) The Town has received an application from Mathew Zaheri for approval of an Amended Conditional Use Permit and Design Review for the property at 600 Serramonte Boulevard (APN: 008-392-140).

(b) Pursuant to Section 15301 Class 1(e)(2) Projects Categorized as Additions to Existing Structures, and Section 15303 Class 3(c), New Construction or Conversion of Small Structures, the project is categorically exempt from California Environmental Quality Act (CEQA) review.

(c) A notice of public hearing was mailed to all property owners within 300 feet of the subject property on September 15, 2022. In addition, a notice of public hearing was posted on the three Town of Colma bulletin boards, on September 15, 2022.

(d) The City Council has considered the Amended Conditional Use Permit and Design Review application, the accompanying staff report, and all relevant evidence presented at the September 28, 2022, public meeting.

(e) The City Council has duly considered said application, the staff report, and public comments thereon.

2. FINDINGS

The City Council finds that:

Findings Relating to CEQA Review

Pursuant to Section 15301 of the State of California CEQA Guideline Class 1(e)(2), Additions to Existing Structures – the proposed project is Categorically Exempt from further environmental review per the findings below.

Section 15301 Class 1(e)(2), consists of projects characterized as Additions to Existing Structures, and the project meets the conditions described in this section.

(e) Additions to existing structures provided that the addition will not result in an increase more than:

(2) 10,000 square feet if:

The project is proposed to add 8,062.3 square feet, which is less than 10,000 square feet.

(A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan

The project is an expansion of an existing building where there are public services located along Serramonte Boulevard. Within the General Plan text, a list of appropriate retail and service uses are listed to serve the community, with auto-related use listed as acceptable in the commercial land use category.

And

(B) The area where the project is located is not environmentally sensitive.

The project site is located near Colma Creek. There are no endangered, rare, or threatened species in Colma or on the subject site. Colma Creek is channelized on the right side of the site and does not provide a habitat for endangered species. The creek area will not be disturbed or altered as part of the project.

Pursuant to Section 15303 of the State of California CEQA Guideline Class 3(c), New Construction or Conversion of Small Structures – the proposed project is Categorically Exempt from further environmental review per the findings below.

Section 15303 Class 3(c), consists of construction and location of limited numbers of new, small facilities or structures.

(c) A store, motel, office, restaurant, or similar structure not involving the use of significant amounts of hazardous substances, and not exceeding 2500 square feet in floor area. In urbanized areas, the exemption also applies to up to four such commercial building not exceeding 10,000 square feet in floor area on sites zones for such use if not involving the use of significant amounts of hazardous substances where all necessary public services and facilities are available and the surrounding area is not environmentally sensitive.

The proposed project is located in an urbanized area¹ where one (1) existing building occupies the lot, and an additional building will be constructed which will be a total of two (2) buildings. The new addition of 8,062.3 square feet is below the 10,000 square foot threshold. The proposed service center will not involve the use of significant amounts of hazardous substances, the amount and type of substances used will be similar to auto-related uses in the surrounding area. Public services and facilities will be available as this is an expansion of an existing building. The surrounding area is not

¹ Colma is part of the San Francisco-Oakland urbanized area as determined by the U.S. Census Bureau

environmentally sensitive as there are no endangered, rare or threatened species in Colma or on the subject site. Colma Creek is channelized on the right side of the site and does not provide a habitat for endangered species.

Based on the findings above this project is Categorically Exempt from further environmental review.

Findings Relating to Granting an Amended Conditional Use Permit

Section 5.03.410(a) of the Colma Municipal Code requires that certain findings be made for approval of a Conditional Use Permit. These findings are also required for an amended Conditional Use Permit. These findings apply to the project as follows:

(a) The proposed Conditional Use Permit will be consistent with the provisions of the Colma General Plan and Zoning Ordinance.

The use is consistent with Colma General Plan vision for Serramonte Boulevard as described on pages LU 4, 25, and 26 of the 2040 General Plan. Specifically, the parcels where this business will operate are designated on the land use map for commercial use. Within the General Plan text, a list of appropriate retail and service uses are listed to serve the community. Auto-related use is listed as acceptable in the commercial land use category.

The Colma Zoning Code Commercial Zoning is specifically broad to encourage a wide range of commercial uses such as the proposed use. Thus, the proposed use is also consistent with the Town's Zoning provisions.

(b) Granting the Conditional Use Permit will not be detrimental to the public health, safety, or public welfare, or materially injurious to the properties or improvements in the vicinity.

This project will not create a significant impact on the surrounding area. Existing businesses and uses on this corridor are mostly auto dealerships (Golden Gate State Infiniti, Golden State Nissan, Serramonte Subaru, and Serramonte Volkswagen), commercial (Kohl's), cemetery (Greek Orthodox), public (Colma Town Hall), and residential (Creekside Villas). From a January 2020 report, Serramonte Boulevard and Collins Avenue Master Plan, states, "Both Serramonte Boulevard and Collins Avenue were found to have excess vehicular roadway capacity, meaning the width (in the case of Collins Avenue) or number (in the case of Serramonte Boulevard between Junipero Serra Boulevard and El Camino Real) of travel lanes in each case could be reduced without significant impacts to vehicle travel times." Based on the previous statement, Serramonte Boulevard should support the project without causing significant traffic to the surrounding area. Staff finds that the lot size and location are sufficient for the proposed use. To further mitigate any potential traffic impacts related to the project, a traffic control plan shall be submitted prior to any issuance of a building permit.

During construction, project traffic will include the use of heavy equipment for site improvements. Construction will require grading, concrete pouring, and materials delivery. The project will off-haul 1,044 cubic yards of material resulting in 52 trips in a 20 cubic yard container. To help mitigate construction-related impacts, as a condition of this use permit, per Colma Municipal Code 5.04.220(c), Standard Hours of Construction, within a radius of 500 feet of any residential unit, construction-related work including truck hauling is limited to Monday to Friday from 8:00 AM to

7:00 PM, Saturday, 9:00 AM to 5:00 PM, and Sunday from 12:00 PM to 5:00 PM. Furthermore, using the Town-adopted Best Management Practices (BMPs), dust control and stormwater pollution prevention will be implemented as a condition of the amended use permit.

(c) **Existing property uses, large or small, will not be detrimentally affected by the proposed use.**

The existing lot includes an auto dealership. Surrounding uses include auto dealerships, cemetery, commercial retail, a public building, and a residential community. As a condition of the use permit, auto-related service activity will be contained within a fully enclosed building except for auto sales and auto inventory. This condition will help mitigate any noise impacts to the neighboring Creekside Villas residences. The proposed use is found along Serramonte Boulevard and will not impact other automobile dealership, cemetery, retail, and public negatively.

(d) **The granting of the Use Permit will not constitute a grant of special privilege inconsistent with the limitations imposed by the Zoning Ordinance on the existing use of properties, large or small, within the Town of Colma.**

The Amended Conditional Use Permit will not constitute the grant of a special privilege since, as noted above, the proposed use is consistent with the existing Conditional Use Permit in the Commercial zone. The proposed use is a service center related to automobile located within an existing auto dealership lot. The proposed service center will be compatible with other uses in the surrounding area. In addition, similar uses are allowed on other parcels within the same Commercial zone illustrating that this is not a special privilege being granted, but is instead, consistent with other uses in the same zone.

(e) **The City Council is satisfied that the proposed use conforms to the purpose and intent of the General Plan and Zoning Ordinance.**

The proposed project is located on a lot zoned C for commercial use and complies with all applicable regulations of the Zoning Ordinance, including setbacks, lot coverage, height, and sign requirements. In addition, the proposed use is allowed in the C zone. The lot is located within the Town's auto row on Serramonte Boulevard and compliments nearby existing land uses. Therefore, the proposed project conforms to the purpose and intent of the General Plan and Zoning Ordinance.

(f) **The use will not constitute a nuisance to neighboring persons or properties.**

The proposed project meets all the standards identified in the Zoning Ordinance and the project site is in a commercial zone. Neighboring properties include additional automotive dealerships, retail uses, public, and residential community. The conditions of the Use Permit will ensure that all activities related to the uses will not negatively impact adjoining uses. To mitigate noise nuisances associated with the project, as a condition of this use permit, per Colma Municipal Code 5.04.220(c), *Standard Hours of Construction, within a radius of 500 feet of any residential unit, construction related work including truck hauling is limited to Monday to Friday from 8:00 AM to 7:00 PM, Saturday, 9:00 AM to 5:00 PM, and Sunday from 12:00 PM to 5:00 PM.*

Findings Related to Design Review

The project site is in the DR(S) Design Review Spanish Mediterranean Overlay Zone which all

plans for development in the portion of the DR zone that are designated with and "(S)" shall incorporate building, site and landscape design elements representing the Spanish/Mediterranean style.

However, Colma Municipal Code Section 5.03.300 (a)(1) states:

"5.03.300 Restrictions and Procedures Applicable to the "DR" Design Review Zone.

(a) Applicability. The requirements of this section shall apply to all site, landscape and building plans, whether submitted in connection with the construction of a new building or an alteration or modification to the structure or façade of an existing building, within the area described in Section 5.03.040(d) with the following exceptions:

(1) An addition or modification to an existing building where the addition or modification, if it were to conform to the DR standards, would clash with the building's established architectural theme."

The existing building consists of modern architectural design, and the proposed addition carries the same architectural design theme. By requiring the proposed service center to comply with Spanish Mediterranean architecture, staff finds that there would be a clash with the established architectural theme. Therefore, staff is recommending that the City Council grant an exception for the project to a modern design architecture.

In this project, there is no proposed landscaping, as the majority of the work will be located in the rear and side of the building. The trash enclosure will be consistent with the materials used on the existing and proposed building. The utility room will be enclosed and located on the west side of the building.

3. ORDER; CONDITIONS OF APPROVAL

The City Council approves the Amended Conditional Use Permit and Design Review to allow a 5,630 square foot auto dealership, 6,785.7 square foot service center, a 1,762.2 parts storage on the second floor, and a 1276.6 square foot canopy with business addressed as 600 Serramonte Boulevard, Colma, subject to the full and faithful performance of each of the general terms and conditions sets forth in this Resolution and the following project-specific conditions:

Conditions Related to the Amended Conditional Use Permit

- a) Approval. This approval applies specifically to the project plans submitted to the Planning Department dated August 10, 2022. All plans submitted for permits and subsequent construction, operation, and use on the site shall be in substantial compliance with these documents, subject to the changes and conditions set out herein. The Use Permit is valid for one year and will expire on September 29, 2023, if an associated building permit has not been issued. If this Use Permit is about to expire with no building permit being issued by the expiration date, the applicant may submit an application for one (1) year extension of the Use Permit to the planning department pursuant to Section 5.03.422 (b) of Colma Municipal Code.
- b) Allowed Uses. This Use Permit shall specifically allow the operations of an auto dealership which includes new and used automobiles, auto repair and servicing auto related retail sales, and offices at 600 Serramonte Boulevard, Colma as shown on final plans submitted on August

10, 2022, with the Planning Department. Car washing was not included in the application or set of plans and is not a permitted use unless approved by the City Planner or designee.

- c) Conditions of Approval with the Plan Sets. A copy of these conditions of approval shall be included in the building permit plan set. At least one copy of the stamped approved plans, along with the Approval Letter and Conditions of Approval and/or mitigations, shall be available at the job site at all times.
- d) All Uses Within a Building. The Permittee shall conduct any auto service related activity within a fully enclosed building, with the exception of automobile inventory and sales. The service canopy can also be included in auto service related activity.
- e) Nuisances. The Permittee shall not allow any nuisance to be maintained at the premises.
- f) Minor Changes. Minor changes to the approved use of the site may be approved administratively by the City Planner or designee.
- g) Parking. On site parking shall be designated for; new and used inventory, customer parking, customer vehicle parking in service, and employee parking. No off-site parking shall be allowed for customers and employees.
- h) Permits. The Permittee shall obtain all necessary permits, including but not limited to Building Permits, Sign Review for proposed Signage, and building permits for interior improvements and signage prior to construction.
- i) Plans and Documents. All plans and documents must be stamped and signed by all design professionals.
- j) California Building Code. All work must comply with the 2019 California Building Code edition.
- k) ADA. ADA improvement is required and must comply with 2019 California Building Code Chapter 11-B.
- l) Access for Delivery Trucks. Suitable access for delivery trucks shall be maintained, and at no time shall delivery trucks be allowed to park on Serramonte Boulevard or in the fire lanes during loading or unloading activities.
- m) Noise. If the Town receives verified noise complaints from adjacent building tenants, the Applicant shall modify business practices and/or install further noise control features, such as noise insulation, to the satisfaction of the City Planner and Building Official.
- n) ADA Compliance. Work must include compliance with the American with Disabilities Act requirements, including complying with 2019 CBC chapter 11B-202.4
- o) Building and Fire Code Compliance. All construction work must comply with 2019 California Building Code, 2019 California Mechanical Code, and 2019 California Fire Code.
- p) Trash Enclosure and Service. The permittee must subscribe to a regular refuse and recyclable items collection service (minimum pick-up of once per week and abide by the Town's Recycling Ordinance). Any outdoor trash enclosure proposed for use should be roofed and plumbed to the sanitary sewer system.

- q) Outdoor Material Storage. Outdoor material storage should be within enclosed and contained areas to prevent any non-stormwater discharges into the storm drainage system and waterways.
- r) Outdoor Use. All activities for the business shall be conducted within the building. Car washing and detailing is not an allowed activity under this use permit.
- s) Sewer Capacity. Additional sewer capacity fees may be payable to the sewer district (City of South San Francisco) because of change/modification in the use of the subject property. Additional information will be provided after consulting with the sewer district.

Conditions Related to Design Review

- t) Approved Plans. This approval is for the project presented in the approved Project Plans submitted to the Planning Department on August 10, 2022, prepared by JTG Architecture and on file in the office of the City Planner. All plans submitted for required permits and subsequent development, construction, operation and use on the site shall be in substantial compliance with these documents, subject to the changes and conditions set out herein.
- u) Standard Parking Spaces. Standard parking spaces in the customer and employee parking lot shall be no smaller than 9' wide and 18' long and compact spaces shall be no longer 8' by 16'. Disabled parking spaces shall meet ADA width and overhead clearance requirements. All parking spaces shall be served by an access aisle no smaller than 24' wide. Spaces and aisles are permitted to be narrower in the inventory area.
- v) Lighting Plans. Final lighting plans (with light measurements to the front property lines) shall be submitted to the Planning Department prior to the issuance of a building permit.
- w) Colors and Materials. Exterior colors and materials for the building must be consistent with the colors and materials noted in the approved architectural plan set.
- x) Clearly Labeled Address. The building shall be provided with an address that is clearly visible from the roadway to the satisfaction of the Building Official and Colma Fire Protection District.
- y) Signage. All signs to be used for identification of the business and directional signage shall be subject to required sign approvals from the Town. Any signage that is not included in the plans requires review and approval with an additional sign permit. Now hiring and now open banners are permitted for display only for 90 days after opening.
- z) Minor Changes. Minor changes to the approved project plans may be approved administratively by the City Planner or designee.

Grading, Drainage and Storm Water Pollution Prevention

- (aa) Stormwater Management and Treatment Plan. The project shall comply with Provision C.3 and C.6 of the Municipal Regional Stormwater Permit (MRP) for stormwater treatment, Low Impact Development and Trash Capture Devices. Consistent with the preliminary plans submitted on August 9, 2022, the permittee shall submit a storm water management-treatment plan showing site design, source control, storm water treatment, low impact development (LID), and

construction best management practices (BMP) for compliance with Provision C.3 of the Municipal Regional Storm Water Permit (MRP). Appropriate Site Design measures, Source Control measures, and Construction Best Management Practices (BMP's) shall be designed and shown on the project plans in accordance with the Stormwater Requirements Checklist for C.3 and C.6 Regulated Projects. Complete and submit the C.3 and C.6 Development Review Checklist (excel form) <https://www.flowstobay.org/preventing-stormwater-pollution/with-new-redevelopment/c-3-regulated-projects/> (under Forms and Checklists). Additional C.3 related comments may be provided after review of this checklist. The checklist shall be submitted along with the project plans.

(i) Improvement Plans. Improvement plans shall show drainage areas and location of Low Impact Development (LID) treatment measures; project watershed area; total project site area and total area of land disturbed; total new and/or replaced impervious area; treatment measures and hydraulic sizing calculations; a listing of source controls and site design measures to be implemented at the site; and supporting calculations.

(ii) Interior Floor Drains. Interior floor drains shall be plumbed to the sanitary sewer system/ treatment device acceptable to the City Engineer and shall not be connected to storm drains.

(iii) Fire Sprinkler Test Water. The project design and construction shall provide for fire sprinkler test water to be discharged into landscaped areas or the sanitary sewer system.

(iv) Air Conditioning Condensate. Condensate from air conditioning units shall be directed to landscape areas or connected to the sanitary sewer system. Any anti-algal or descaling agents must be properly disposed of.

(bb) Stormwater Maintenance Agreement. The property owner shall enter into a Stormwater Treatment Measures Maintenance Agreement accepting responsibility for the adequate installation/construction, operation, maintenance, inspection, and reporting of any on-site stormwater treatment measures being incorporated into the project until the responsibility is legally transferred to another entity. Storm drainage from all new and replaced hardscape areas shall be treated. The drainage from the building/downspouts and the replaced asphalt building frontage is treated before its connection to daylight/discharge point needs to be shown. The maintenance agreement shall be drafted to the satisfaction of the City Engineer and the agreement shall be recorded at the County Recorder's Office at the permittee's expense.

(cc) Stormwater Management Report. The Permittee shall submit a signed and stamped Stormwater Management report (this can be included in the site Hydrology and Hydraulics report) which includes the following:

- (i) Narrative summary of the existing and proposed drainage conditions
- (ii) Narrative summary of the proposed stormwater management approach
- (iii) Calculation of pre- and post-development flows
- (iv) Stormwater treatment calculations

(dd) Minimum Slopes. All slopes shall be shown on the plans and finished grades shall be designed to have a minimum slope of 1%. If a minimum 1% slope is not feasible, the applicant shall work with staff to design acceptable grades.

(ee) NOI and SWPPP. The permittee must obtain coverage under the General Construction Activity Storm Water Permit (General Construction Permit) issued by the State Water Resources Control Board (SWRCB). The permittee must file a notice of intent (NOI) with the SWRCB. The permittee will be required to prepare a stormwater pollution prevention plan (SWPPP) and submit the plan for review and approval by the City Engineer. Prior to the issuance of any construction-related permits, the permittee shall submit to the City Engineer a copy of the SWPPP and the WDID number.

(ff) Drain Inlets. On-site storm drain inlets shall be marked with the words "No Dumping! Flows to Bay" or equivalent.

(gg) Erosion and Sediment Control Plan. Project plans shall include a site-specific erosion and sediment control plan (ESC) and Construction Best Management Practices (BMP) plan sheet into the plan set. Erosion & Sediment Control Measures and Best Management Practices shall be implemented and maintained throughout the duration of construction.

(hh) Runoff. Runoff shall not be allowed to flow across lot lines or across property boundaries onto adjacent private property without an easement being recorded by the permittee at no cost to the Town.

(ii) Hazardous Materials. Prior to commencing any work on the project, the Permittee must remove all hazardous materials and remediate all contaminated soil conditions documented in the report to the satisfaction of San Mateo County. Prior to the issuance of building permits, the Permittee shall submit certification to the City Engineer that hazardous materials have been removed and that any contaminated soil conditions have been remediated

(i) The project environmental consultant shall confirm that iron oxide and manganese found in geotechnical borings do not pose a hazard, even with the use of infiltration onsite.

(ii) Conduct sampling and testing to verify the absence of any hazardous contaminants in the soil. This work should be done under the direction of the project geotechnical engineer and environmental consultant.

(iii) Inspect the existing transformers for leaks, stains, or other evidence of PCB discharge, and establish the age of the existing transformer.

(iv) Infiltration shall be prohibited if soil contamination is found to be present onsite, or if the site operations would introduce contamination.

(jj) Grading and Drainage Plan. The Permittee shall submit a site Grading and Drainage Plan in cubic yards (cut and fill, include basis of quantity calculations), total area of land disturbed square footage of new and replaced impervious areas to the City Engineer for review and approval and obtain permit(s) prior to commencing any work on the project, including demolition or grading work. The Plan shall include cross-sections through all graded areas and show stabilization of the slope and disturbed areas behind the new building. The Plan shall include all recommendations

contained in the Final Soils and Geotechnical Report(s). The Plan shall be prepared by a licensed civil engineer and shall be approved by the project Soils Engineer.

Construction Activities

(kk) Conditions of Approval with Plan Sets. The conditions of approval shall be reproduced on the first page of the plans submitted for demolition, grading or building permits. Additional pages may be used if necessary. At least one copy of the stamped approved plans, along with the Approval Letter and Conditions of Approval and/or mitigations, shall be available for review at the job site at all times.

(ll) Underground Service Alert. Prior to commencing construction, the applicant will request for an Underground Service Alert (USA) of the construction site.

(mm) San Francisco Public Utilities Commission (SFPUC). The applicant shall submit shoring plan for the retaining wall construction to the SFPUC for review

(nn) Traffic Control Plan. The permittee shall submit a Traffic Control Plan to the City Engineer for review and approval prior to commencing any work on the project, including demolition or grading work, for control procedures during the construction of the project. The Plan shall include at least the following: the route(s) that construction trucks shall use to access the property, identification of the access point(s) to the site, any proposed staging area for trucks waiting to enter the site, traffic management for any work within the improved portion of a public right-of-way, and any proposed traffic controls, such as the use of flag persons, to ensure the safe entry and exit of trucks accessing the project site. Throughout the construction period for the project, the permittee must faithfully implement the approved Traffic Control Plan.

(oo) Construction Staging Plan. Prior to the issuance of any demolition, building, or grading permit, the permittee shall submit a construction staging plan for the review and approval of the City Planner. The plan shall show where construction materials will be stockpiled prior to use, where construction debris will be collected, how frequently the debris will be removed, and where parking will be provided for construction equipment and construction workers. Construction activity on the project site shall be in compliance with the approved construction staging plan.

(pp) Construction Signage. Prior to commencing any work on the project, including demolition or grading work, the permittee shall post on the project site in clear view of the public right-of-way, a sign indicating hours of construction and a phone number of the permittee to call for noise complaints.

(qq) Construction Hours. Per Colma Municipal Code 5.04.220(c), Standard Hours of Construction, within a radius of 500 feet of any residential unit, construction related work including truck hauling is limited to Monday to Friday from 8:00 AM to 7:00 PM, Saturday, 9:00 AM to 5:00 PM, and Sunday from 12:00 PM to 5:00 PM.

(rr) Approved Haul Route. The Permittee shall submit proposed haul route to and from the project site, which route shall be subject to review and approval by the Public Works Director or his Designee. All contractors and suppliers shall be advised to use the approved haul route in moving materials and equipment to and from the project site.

(ss) *Permitted Grading Season.* Grading work shall be limited to the period between May 1st and September 30th unless an alternative schedule is approved in writing by the City Engineer in conjunction with the approval of an Erosion and Sediment Control Plan

(tt) *Repairs to Public Improvements.* The Permittee shall be responsible for the cost of repairs to any improvements within the public right-of-way that are damaged during construction. The permittee shall submit documentation of the existing condition of the approved haul route and the public improvements along the project's frontage, including but not limited to trees, tree grates, signs, light poles, drainage inlets, curbs, gutters, etc. to the satisfaction of the City Engineer prior to issuance of a grading or building permit. This survey shall be submitted to the City Engineer prior to issuance of a grading or building permit. This survey shall be submitted to the City Engineer for review and approval. All damage shall be repaired to the satisfaction of the Public Works Director or his Designee Public Work Director or his Designee at no cost to the Town prior to approval of final occupancy. Notwithstanding for the foregoing, all damage that is a threat to public health or safety, as determined by the Public Works Director, shall be repaired immediately.

(uu) *Storage of Materials in the Public Roadway.* No material or equipment shall be stored on the improved portion of any public roadway at any time.

(vv) *Litter Control.* Prior to the end of each workday during construction, the contractor or contractors shall pick up and properly dispose of all litter resulting from or related to the project, whether located on the property, within the public rights-of-way, or properties of adjacent or nearby neighbors.

(ww) *Reduce Particulate Emissions.* To reduce particulate matter emissions during project demolition and construction phases, the permittee shall require the construction contractors to comply with the dust control strategies developed by the Bay Area Air Quality Management District (BAAQMD) and shall include in construction contracts the following requirements:

- i. Cover the load area of all trucks hauling construction and demolition debris from the site;
- ii. Water all exposed or disturbed soil surfaces at least twice daily, or as required;
- iii. Use watering to control dust generation during demolition of structures or break-up of pavement;
- iv. Pave, apply water three times daily, at a minimum, or apply (non-toxic) soil stabilizers on all unpaved parking areas, staging areas, and areas used for vehicle access within the site;
- v. Sweep daily all paved parking areas and staging areas during the earthwork phases of construction;
- vi. Provide daily clean-up of mud and dirt carried onto paved streets from the site;
- vii. Enclose, cover, water twice daily, or as needed, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.);

- viii. Limit traffic speeds on unpaved roads to 15 mph;
- ix. Install and maintain sandbags or other erosion control measures to prevent silt runoff to public roadways; and
- x. Replant vegetation in disturbed areas as quickly as possible.
- xi. Reduce Air Pollutants Related to Vehicle Operation

ww) Reduce Air Pollutants Related to Vehicle Operation. The Permittee shall ensure that the contractors shall implement measures to reduce the emissions of pollutants generated by heavy-duty diesel-powered equipment operating at the Project Site during project demolition, excavation and construction phases. The permittee shall include in construction contracts the following requirements or measures shown to be equally effective:

- xii. Keep all construction equipment in proper tune in accordance with manufacturer's specifications;
- xiii. Use late model heavy-duty diesel-powered equipment at the Project Site to the extent that it is readily available in the San Francisco Bay Area;
- xiv. Use diesel-powered equipment that has been retrofitted with after-treatment products (e.g., engine catalysts) to the extent that it is readily available in the San Francisco Bay Area;
- xv. Use low-emission diesel fuel for all heavy-duty diesel-powered equipment operating and refueling at the Project Site to the extent that it is readily available and cost effective in the San Francisco Bay Area (this does not apply to diesel-powered trucks traveling to and from the site);
- xvi. Utilize alternative fuel construction equipment (i.e., compressed natural gas, liquid petroleum gas, and unleaded gasoline) to the extent that the equipment is readily available and cost effective in the San Francisco Bay Area;
- xvii. Limit truck and equipment idling time to five minutes or less;
- xviii. Rely on the electricity infrastructure surrounding the construction sites rather than electrical generators powered by internal combustion engines to the extent feasible.

xx) Air Quality Provisions in Contractor Agreements. The Permittee shall incorporate the following practices into the construction documents to be implemented by the project contractor and submit evidence of compliance to the City Planner for approval prior to the issuance of any construction permit, including a grading permit. The physical separation between noise generators and noise receptors shall be maximized. Such practices include, but are not limited to, the following measures:

- xix. Use heavy-duty mufflers for stationary equipment and barriers around particularly noisy areas of the site or around the entire site;

- xx. Use shields, impervious fences, or other physical sound barriers to inhibit transmission of noise to sensitive receptors;
- xxi. Locate stationary equipment on portions of the project site distant from nearby residential areas to minimize noise impacts on the community;
- xxii. Minimize backing movements of equipment;
- xxiii. Select and use the quieter from among available construction equipment whenever possible;

yy) Staking of Property Boundaries and Building Corners. Prior to commencing any work on the project, the permittee shall have the property boundaries staked by a California-licensed land surveyor or a California-registered qualified engineer. For new buildings, the written verification that the placement of the retaining walls and building comply with the approved site plan, prepared by a California-licensed surveyor or civil engineer licensed to practice surveying, shall be submitted and found acceptable by the Building Official prior to pouring of any foundation.

zz) Temporary Power Poles. Applicant shall use temporary power poles instead of generators where feasible.

aaa) Vector Control. Prior to commencing any grading or building demolition, the permittee shall consult with County Environmental Health regarding vector control to reduce the displacement of mice and rats from the project site to adjacent properties. The permittee shall carry out a program of vector reduction within 30 days prior to commencing construction activities. Additionally, the permittee shall distribute information to the owners of properties within 300 feet of the project site boundaries with information about what to check to reduce the likelihood of vectors entering their property and buildings.

bbb) Rerouting of Irrigation Laterals. If applicable, existing irrigation lateral lines servicing existing Town landscaping shall be rerouted to the satisfaction of the Public Works Department prior to construction of new driveways if the driveways conflict with the existing lines.

ccc) Temporary Construction Easement. If applicable, the Permittee shall obtain a Temporary Construction Easement from adjacent/affected property owners for any construction taking place on a property line.

Financial Guarantees

ddd) Financial Guarantees. The Permittee must post a security bond, cash deposit or letter of credit in an amount not less than 100% of the estimated cost of all off-site and/or on-site public improvements to guarantee to the Town the faithful performance of all work and all conditions contained or described in the Permit. The financial guarantee shall also include a two-year maintenance provision that provides for 10% of the bond to be held for two years to make any repairs or corrections to the public improvements identified within two years of the improvements being accepted as complete by the City. The estimated cost of the off-site public improvements shall be determined by the City Engineer, and the security must be in a form reasonably satisfactory to the City Attorney.

Colma Fire Protection District Requirements.

The requirements of the Colma Fire Protection District shall be met prior to the issuance of building permit(s) for the project. For further information on the requirements of the District, the applicant may contact the Deputy Fire Marshall, Bill Pardini at bpardini@colmafd.org or (650)740-2023. A separate review fee is required as part of the building permit plan check process. These comments include:

eee) Address Numbers 12-inch address numbers on the front of the building above the main door to the showroom.

fff) Emergency Lighting: Testing of the exit and emergency lighting fixtures must be completed prior to issuance of a building permit.

ggg) Fire Alarm: Complete plans for the fire alarm system must submitted prior to issuance of a building permit.

hhh) Fire Extinguisher: All fire extinguishers must be serviced. Fire extinguishers signs must be installed at the appropriate height designated by the Fire Marshall.

iii) Fire Sprinkler: Submit plans for fire sprinkler system showing which fire sprinkler heads were changed with the showroom expansion. Prior to occupancy of the unit a 5-year test of the whole fire sprinkler system shall be conducted.

jjj) Knox Box: The existing Knox Box located in the main building should be relocated to the new building.

kkk) Fire Access: No vehicles shall block any required fire lane or driveways for access.

lll) Fire Riser Room: A Fire Riser room is required.

mmm) Fire Hydrant: A Fire hydrant is required on site.

nnn) Fire Department Connection: The existing Fire Department Connection required relocation designated by the Fire Marshall.

4. GENERAL CONDITIONS

(a) This Conditional Use Permit shall run with the land and be freely and automatically transferred to each user of the property described herein, subject to each of the specific and general conditions herein. As used in this Conditional Use Permit, the word "Permittee" shall mean each person using the property pursuant to the permit granted herein, including successors to the person first obtaining the permit.

(b) The Permittee must comply with all applicable federal, state and municipal laws, codes and regulations, including the California Building and Fire Codes. Nothing herein shall be construed as authorizing any approvals under, or any exceptions to any other law, code or regulation, or as authorizing any change to the occupancy classification of the premises or any buildings thereon as defined on the California Building Code. Without limiting the generality of the foregoing:

i. The Permittee shall maintain an annual Colma Business Registration;

- ii. Prior to issuance of a Business Registration, the Permittee shall arrange for the project site to be inspected for Fire and Life Safety requirements of California Fire Code by the Colma Fire Protection District; and
- (c) Indemnification. Permittee and its heirs, successors, and permitted assigns shall, at its sole cost and expense, indemnify, defend, protect, release, and hold harmless the Town and any agency or instrumentality thereof, including any of its officers, employees, commissions, and agents (collectively, "Indemnitees"), from and against any and all claims, actions, or proceedings (collectively, "Claims") arising out of or in any way relating to the processing and/or approval of this Project, the purpose of which is to attack, set aside, void, or annul the approval of this Project and any environmental determination that accompanies it. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the Permittee, third parties and the Indemnitees, arising out of or in connection with the approval of this Project and/or any environmental determination that accompanies it. Permittee agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such costs of defense, including but not limited to, court costs, attorney fees, and time referenced herein. The Town, in its sole and absolute discretion, may elect, and the Applicant hereby agrees, to have the Applicant provide the defense of the Indemnitees subject to the Town's approval of defense council. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. Permittee's defense and indemnification of the Indemnitees as set forth herein shall remain in full force and effect throughout all stages of any litigation challenging the Project, including any and all appeals of any lower court judgments rendered in the proceeding.
- (d) The Conditional Use Permit may be modified or revoked should it be determined that:
 - i. The property is being operated or maintained in a manner that is detrimental to the public health or welfare, is materially injurious to property or improvements in the vicinity, constitutes a public nuisance, or is contrary to any law, code or regulation;
 - ii. If the Permittee fails to comply with and satisfy the conditions herein; or
 - iii. As otherwise allowed by law.
- (e) The Permittee must agree to comply with every term and condition herein by countersigning a copy of this approval.

//

//

//

//

Certification of Adoption

I certify that the foregoing Resolution No. 2022-## was duly adopted at a regular meeting of said City Council held on September 28, 2022, by the following vote:

Name	Voting		Present, Not Voting		Absent
	Aye	No	Abstain	Not Participating	
Helen Fisicaro, Mayor	X				
Joanne F. del Rosario	X				
John Irish Goodwin	X				
Diana Colvin	X				
<i>Voting Tally</i>	4	0			

Dated _____

Helen Fisicaro, Mayor

Attest: _____
Caitlin Corley, City Clerk

NOTICE OF RIGHT TO PROTEST

The Conditions of Project Approval set forth herein include certain fees, dedication requirements, reservation requirements, and other exactions. Pursuant to Government Code Section 66020(d)(1), these Conditions constitute written notice of a statement of the amount of such fees, and a description of the dedications, reservations, and other exactions. You are hereby further notified that the 90-day approval period in which you may protest these fees, dedications, reservations, and other exactions, pursuant to Government Code Section 66020(a), began on date of adoption of this resolution. If you fail to file a protest within this 90-day period complying with all of the requirements of Section 66020, you will be legally barred from later challenging such exactions.

AGREEMENT

Property Owner of 600 Serramonte Boulevard

The undersigned agrees to use the property on the terms and conditions set forth in this resolution.

Dated: _____

Name (printed) _____

For: Greek Orthodox Memorial, Property Owner,
600 Serramonte Boulevard

Permittee of KIA Serramonte at 600 Serramonte Boulevard

The undersigned agrees to use the property on the terms and conditions set forth in this resolution.

Dated: _____

Mathew Zaheri, Permittee, KIA Serramonte at 600
Serramonte Boulevard



ABBREVIATIONS		DEMOLITION NOTES	
AB	ANCHOR BOLT	JT.	JOINT
AC	ASPHALT CONCRETE	KP	KICK PLATE
ADJ.	ADJACENT	KIT.	KITCHEN
AFF	ABOVE FINISH FLOOR	LAV.	LAVATORY
ALUM.	ALUMINUM	LB	LAG BOLT
ALT.	ALTERNATE	LBS	POUND
ARCH.	ARCHITECT/ARCHITECTURAL	LF	LINEAR FOOT
AVG.	AVERAGE	LL	LIVE LOAD
AWC	ACOUSTICAL WALL COVERING	LS	LAG SCREW
		LVL	LAMINATED VENEER LUMBER
BD.	BOARD	MAX.	MAXIMUM
BLDG.	BUILDING	MB	MACHINE BOLT
BLKG.	BLOCKING	MECH.	MECHANICAL
BRZ.	BRONZE	MFD.	MANUFACTURED
BTM.	BOTTOM	MFR.	MANUFACTURER
BTWN.	BETWEEN	MICRO.	MICROWAVE
BUR	BUILT UP ROOFING	MIN.	MINIMUM
BW	BOTH WAYS	MISC.	MISCELLANEOUS
		MTD.	MOUNTED
CB	CATCH BASIN	MTL.	METAL
CF	CUBIC FEET	(N)	NEW
CG	CORNER GUARD	NIC	NOT IN CONTRACT
CJ	CONTROL JOINT	NA	NOT APPLICABLE
CLKG.	CAULKING	NTS	NOT TO SCALE
CLG.	CEILING		
CLR.	CLEAR	O	OVER
CMU	CONCRETE MASONRY UNIT	OC	ON CENTER
CO	CLEANOUT	OH	OVERHEAD
COTG.	CLEANOUT TO GRADE	OPNG.	OPENING
COL.	COLUMN		
CONC.	CONCRETE	PL	PLATE
CONT.	CONTINUOUS	PLF	POUNDS PER LINEAL FOOT
CPT.	CARPET	PLAM.	PLASTIC LAMINATE
CT	CERAMIC TILE	PLYWD.	PLYWOOD
CTR.	CENTER	PNT.	PAINT
CW	COLD WATER	PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
DBL.	DOUBLE	PT	PRESSURE TREATED
DEPT.	DEPARTMENT	PVC.	POLYVINYLCHLORIDE
DF.	DOUGLAS FIR	PVMT.	PAVEMENT
DIA.	DIAMETER		
DIAG.	DIAGONAL	RA	RETURN AIR
DIM.	DIMENSION	RAD.	RETURN AIR
DISP.	DISPENSER	RB	RUBBER BASE
DL	DEAD LOAD	RCP	REFLECTED CEILING PLAN
DN.	DOWN	RD	ROOF DRAIN
DR.	DOOR	RWD.	REDWOOD
DWG.	DRAWING	REF.	REFERENCE
DW	DISHWASHER	REFR.	REFRIGERATOR
(E)	EXISTING	REG.	REGISTER
EA.	EACH	REQD.	REQUIRED
EB.	EXPANSION BOLT	REV.	REVISION
EFS	EXTERIOR INSULATION FINISH SYSTEM	RM.	ROOM
EJ.	EXPANSION JOINT	RO	ROUGH OPENING
ELEC.	ELECTRIC/ELECTRICAL	RWL	RAINWATER LEADER
ELEV.	ELEVATOR/ELEVATION		
EN	EDGE NAILING	SCHED.	SCHEDULE
ENCL.	ENCLOSURE	SD	STORM DRAIN
EP	ELECTRICAL PANEL	SEC.	SECTION
EQUIP.	EQUIPMENT	S.E.D	SEE ELECTRICAL DRAWINGS
EXT.	EXTERIOR	S.F.	SQUARE FOOT
FA	FIRE ALARM	S.F.S.D.	SEE FOOD SERVICE DRAWINGS
FD	FLOOR DRAIN	SHTG.	SHEATHING
FDC	FIRE DEPARTMENT CONNECTION	SHWR.	SHOWER
FE	FIRE EXTINGUISHER	SIM.	SIMILAR
FEC	FIRE EXTINGUISHER CABINET	S.M.D.	SEE MECHANICAL DRAWINGS
FF	FINISH FLOOR	SPEC.	SPECIFICATION
FH	FIRE HYDRANT	S.P.D.	SEE PLUMBING DRAWINGS
FHC	FIRE HOSE CABINET	S.S.D.	SEE STRUCTURAL DRAWINGS
FIN.	FINISH	S.S.	STAINLESS STEEL
FL	FLOW LINE	SS	SOLID SURFACE
FLSHG.	FLASHING	S.T.C.	SOUND TRANSMISSION COEFFICIENT
FLR.	FLOOR	STD.	STANDARD
FLUOR.	FLUORESCENT	STL.	STEEL
FOS	FACE OF CONCRETE	STRUCT.	STRUCTURAL
FOW	FACE OF STUD	SUSP.	SUSPENDED
FRP	FIBERGLASS REINFORCED PLASTIC	SYS.	SYSTEM
FRMG.	FRAMING		
FT.	FOOT	T.	TEMPERED
FTG.	FOOTING	TEL.	TELEPHONE
		T.O.C.	TOP OF CURB
GA.	GAUGE	T&G	TONGUE & GROOVE
GALV.	GALVANIZED	TS	TUBE STEEL
GC	GENERAL CONTRACTOR	T.V.	TELEVISION
GLB	GLUE LAMINATED BEAM	TYP.	TYPICAL
GRDR.	GIRDER	U.O.N.	UNLESS OTHERWISE NOTED
GSM	GALVANIZED SHEET METAL	VCT	VINYL COMPOSITION TILE
GWB	GYP SUM WALL BOARD	VENT.	VENTILATION/VENTILATOR
		VERT.	VERTICAL
HB	HOSE BIBB	V.I.F.	VESTIBULE
HD	HOLDOWN		
HDR.	HEADER	W	WITH
HGR.	HANGER	WC	WATER CLOSET
HM.	HOLLOW METAL	WD.	WOOD
HORIZ.	HORIZONTAL	WH	WATER HEATER
HR.	HOUR	WDW.	WINDOW
HT.	HEIGHT	WIO	WITHOUT
HVAC	HEATING/VENTILATING/AIR CONDITIONING	WP.	WATERPROOF
HW	HOT WATER	WSCOT.	WAINSCOT
		WT.	WEIGHT
IN.	INCH/INCHES	WWF	WELDED WIRE FABRIC
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		

GENERAL CONTRACTOR NOTES		CONSULTANTS		DRAWING INDEX		PROJECT DATA			
1. MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK.		CLIENT/TENANT SERRAMONTE KIA CONTACT: MATT ZAHERI 600 SERRAMONTE BLVD. COLMA, CA. 94014		ARCHITECT JTG ARCHITECTS CONTACT: JOHN GUTKNECHT 4322 PANORAMA DRIVE DUBLIN, CA. 94568 T 612-481-2293 E JOHN@JTGARCHITECTURE.COM		ARCHITECTURAL A0.0 COVER SHEET & GENERAL NOTES A1.1 DEMO & PROPOSED SITE PLAN A2.1 PROPOSED FLOOR PLANS A6.1 SHOWROOM BUILDING ELEVATIONS A6.2 SERVICE GARAGE ELEVATIONS CIVIL C-0 TOPOGRAPHIC SURVEY C-1.0 GRADING & DRAINAGE PLAN C-1.1 UTILITY PLAN C-2 EROSION & SEDIMENT CONTROL AND C.O.P PLAN C-3 CIVIL DETAILS C-4 CONSTRUCTION BMP CHECKLIST		APN 008392140 LOT SIZE 67,447 SQUARE FEET EXISTING BUILDING 4,862 SQUARE FEET PROPOSED BUILDING 5,630 SQUARE FEET SPRINKLER YES NO. OF STORIES 1 TYPE OF CONSTRUCTION TYPE V-B TYPE OF OCCUPANCY B PROJECT AREA 16,000 SF PROVIDED SITE PARKING NO CHANGE CODES USED 2019: C.B.C., C.P.C., C.M.C., C.E.C., C.F.C., CALIFORNIA ENERGY CODE, CAL GREEN BUILDING STANDARDS CODE, HANDICAPPED ACCESSIBILITY REGULATIONS, AND ADOPTED CODES PER SECTION 304: BUSINESS GROUP B: MOTOR VEHICLE SHOWROOMS	
2. VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OF THESE PLANS AND SPECIFICATIONS		CONTRACTOR ASE CONSULTING ENGINEERING CONTACT: MASOUD MODJTEHEDI T: 408-499-1551 E: MASOUDMOD@GMAIL.COM		CIVIL CLIFF BECHTEL & ASSOCIATES, LLC CONTACT: CLIFF BECHTEL 1321 254TH PLACE, SE SAMMAMISH, WA 98075 C 850-333-0183 E CLIFFBECHTEL1@COMCAST.NET		SCOPE OF WORK			
3. MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF HIS OPERATIONS		12. THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF THE PROJECT AND ALL OF ITS COMPONENT PARTS. LAYOUT ENGINEERING AND DIMENSIONAL INFORMATION, IN ADDITION TO THE INFORMATION CONTAINED ON THE CONTRACT DRAWINGS, THAT MAY BE DETERMINED BY THE CONTRACTOR AS NECESSARY TO ACCURATELY CONSTRUCT THE PROJECT IN CONFORMANCE WITH THE DESIGN INTENT AS SHOWN IN THE CONTRACT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR.		ASSASSOR'S MAP		VICINITY MAP			
4. NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED & ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE W/ THE REVIEWED SHOP DRAWINGS & SAMPLES		1. APPROVED ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTAGE & SHALL CONTRAST W/ THEIR BACKGROUND		PROJECT SITE					
5. CONFINED OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMEN		2. PROVIDE AN EMERGENCY TELEPHONE ON THE JOB PRIOR TO ANY CONSTRUCTION							
6. SHOULD AN ERROR APPEAR IN THE NOTES, SPECIFICATIONS, OR DRAWINGS, OR IN WORK DONE BY OTHERS, AFFECTING THIS WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS AS TO PROCEDURE. IF CONTRACTOR PROCEEDS W/ WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT		3. A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK							
7. SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE ARCHITECT AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED		4. A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK							
8. PATCHING, REPAIRING AND REPLACING OF MATERIAL SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES		5. FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE MAINTAINED CLEAR & UNOBSTRUCTED. PROVIDE PROPER FIRE LANE SIGNAGE & CURB STRIPING PER THE VEHICLE CODE SECTION 22500.1. CONTACT THE FIRE DEPARTMENT FOR FIRE LANE PROGRAM GUIDELINES							
9. ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING/ NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFIED BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & HIS DESIGN/ CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED		7. NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING, WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLES 3-0 & 3-E							

MATERIAL SYMBOLS		DRAWING SYMBOLS	
	BASE ROCK		COLUMN GRID LINE
	CONCRETE		SECTION
	EARTH (SECTION)		DETAIL
	EXISTING WALL SECTION		ELEVATION
	WOOD MEMBER (BLOCKING)		INTERIOR ELEVATION
	WOOD MEMBER (CONTINUOUS, NOMINAL SIZE INDICATED)		ELEVATION
	PLYWOOD		ROOM IDENTIFICATION
	GYP SUM WALL BOARD SECTION		INDICATES WINDOW TYPE
	METAL (STEEL OR IRON)		DOOR IDENTIFICATION
	RIGID INSULATION BOARD OR TILE		INDICATES WINDOW OPENING NUMBER
SYMBOLS			REVISION CLOUD
& AND	≥ GREATER THAN OR EQUAL TO		DELTA
/ ANGLE	≤ LESS THAN OR EQUAL TO		FOLD/MATCH LINE
@ AT	± PLUS OR MINUS		
¢ CENTER LINE	¢ PROPERTY LINE OR PLATE		
° DEGREES	# POUND		
Δ DELTA			
Ø DIAMETER			
≡ FLOWLINE			

ATTACHMENT B
-SITE PLANS

KIA SERRAMONTE
EXTERIOR IMPROVEMENTS
600 SERRAMONTE BLVD
COLMA, CA 94014

KIA
SERRAMONTE
EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS

REV.	DATE	DESCRIPTION
	02.14.22	RESUBMITTAL 1
	03.02.22	RESUBMITTAL 2
	03.15.22	RESUBMITTAL 3
	03.21.22	RESUBMITTAL 4
	08.09.22	PLANNING SUBMITTAL

APPROVAL STAMP

COVER SHEET

DATE	SCALE
06.1.21	
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A0.0

GENERAL NOTES

1. WALKS AND SIDEWALKS SHALL BE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
3. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIANS RAMP.
4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THEN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.
5. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.
6. ALL DAMAGED OR DETERIORATE FIRE LANE MARKING SHALL BE RE-STRIPED
7. ALL CURBS WHICH OUTLINE THE FIRE LANE SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING - FIRE LANE". THE TEXT SHALL BE FOUR INCHES TALL AND SHALL BE PLACED EVERY 30 FEET OR PORTION THEREOF, ON TOP OF DESIGNATED CURBING.
8. ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48.
9. WALKS AND SIDEWALKS SHALL BE AT LEAST 48" WIDE PER CBC 11B-403

KEY NOTES

- E1

(E) ACCESSIBLE PATH OF TRAVEL
- E2

(E) BUILDING
- E3

(E) DRIVEWAY ENTRY
- E4

(E) PARKING STALLS
- E5

NOT USED
- E6

(E) NOT USED
- E7

(E) ACCESSIBLE PARKING SIGN
- E8

(E) SITE ACCESSIBLE TOW-AWAY SIGN
- E9

(E) WALKWAY (LESS THAN OR EQUAL TO 5% SLOPE)
- E10

28'-0" INSIDE TURNING RADIUS
- E11

(E) STAIRS & HANDRAILS
- E12

(E) CONCRETE CURB
- E13

(E) LANDSCAPING
- E14

NOT USED
- E15

(E) RTU
- E16

(E) ROOF ACCESS
- E17

FIRE LANE

D1

REMOVE (E) CURB

D2

REMOVE (E) SLOPED LANDSCAPING

D3

REMOVE (E) TRASH ENCLOSURE

D4

REMOVE (E) PARKING STRIPING

N1

(N) SERVICE GARAGE

N2

(N) SERVICE CANOPY

N3

ENCLOSE (E) CANOPY

N4

(N) TRASH ENCLOSURE WITH ROOF STRUCTURE

N5

(N) CONCRETE CURB

N6

(N) PARKING STRIPING

N7

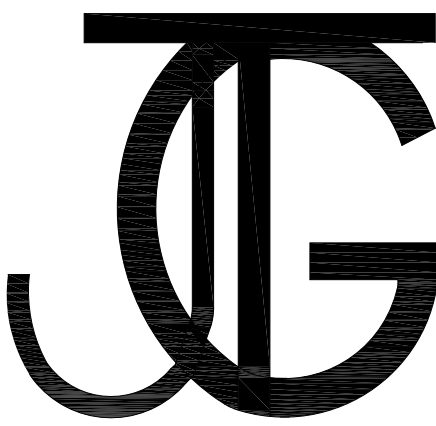
(N) RETAINING WALL

N8

(N) PATH TO PUBLIC WAY

LEGEND

- PROPERTY LINE
- ACCESSIBLE PATH OF TRAVEL
- NOT IN SCOPE



JOHN GUTKNECHT
PHONE: 612.481.2293
EMAIL: JOHN@JTGARCHITECTURE.COM

This drawing is an instrument of service only, and is, and shall remain, the property of JTG Architects. No reproduction or other use shall be made by any person or firm without written permission of JTG Architects. Unauthorized use shall void the professional seal and signature hereon and no professional responsibility will remain.

Written dimensions on this drawing shall have precedence over any scaled dimension. Do not scale this drawing for accurate dimensions, and notify JTG Architects of any discrepancies.

KIA
SERRAMONTE
EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS

REV.	DATE	DESCRIPTION
1	02.14.22	RESUBMITTAL 1
	03.02.22	RESUBMITTAL 2
	03.15.22	RESUBMITTAL 3
	03.21.22	RESUBMITTAL 4
	08.09.22	PLANNING SUBMITTAL

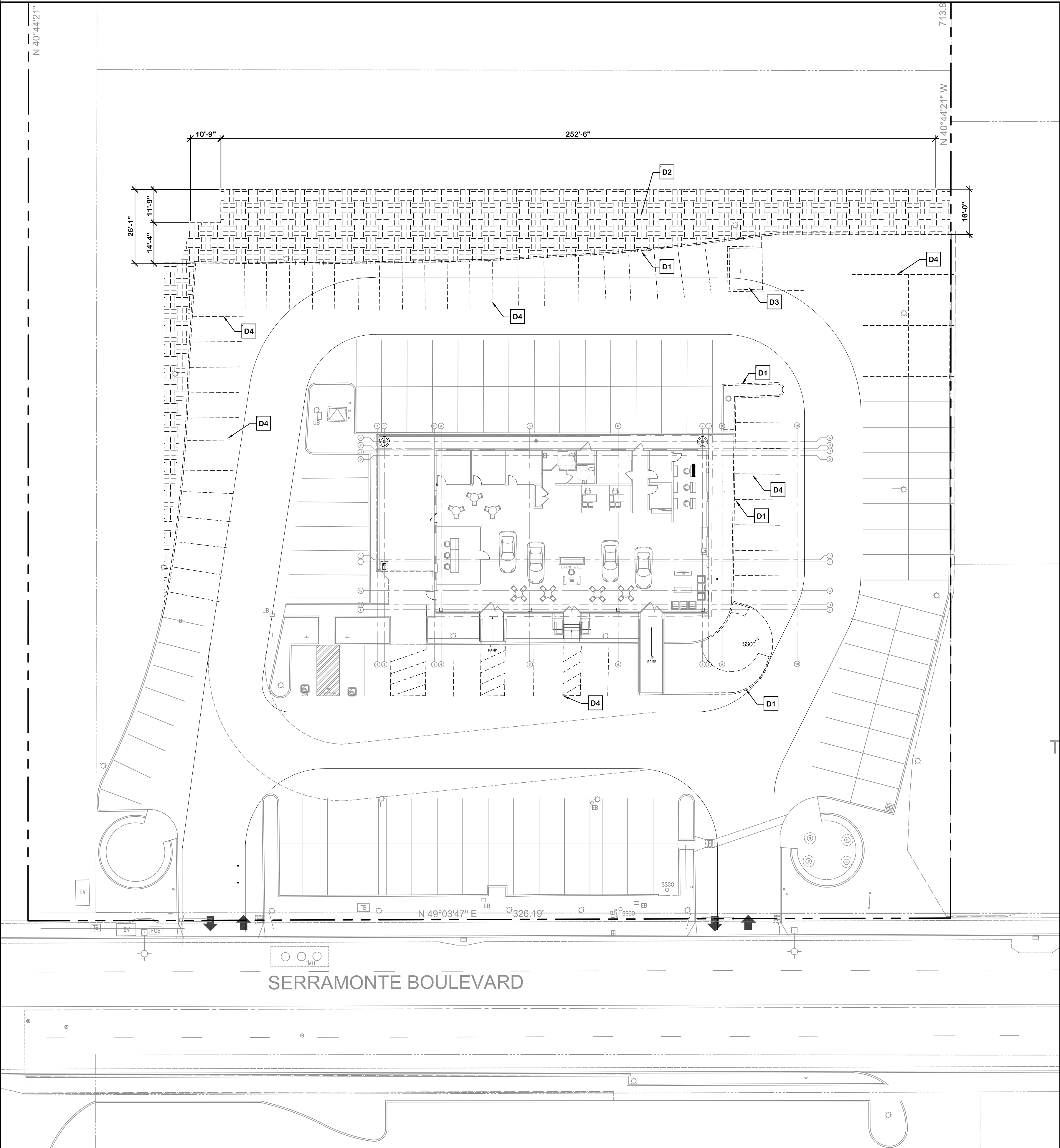
APPROVAL STAMP



NEW SITE &
DEMO SITE
PLANS

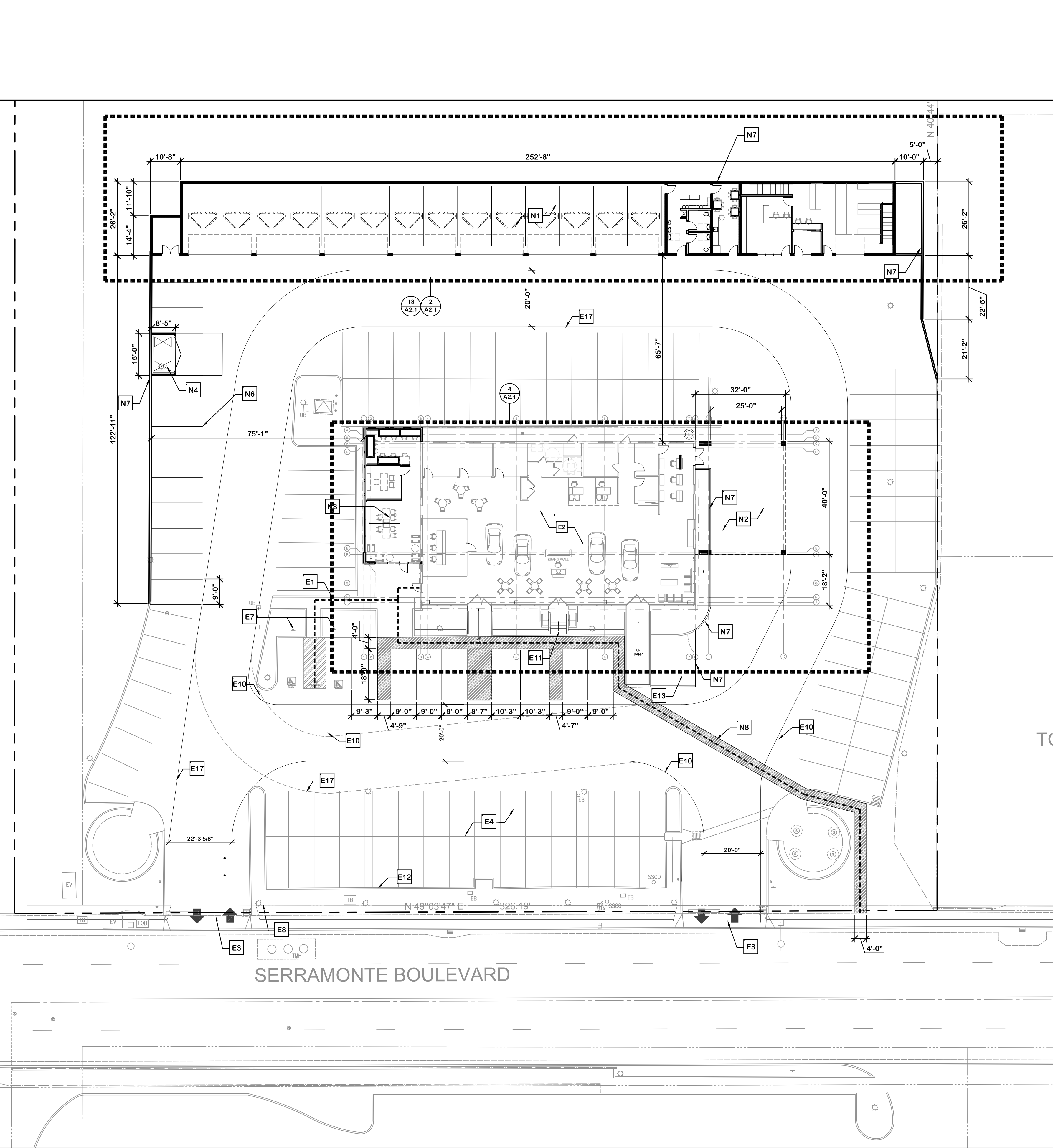
DATE: 06.1.21
DRAWN BY: JTG
SCALE: SEE PLAN
PROJECT NUMBER: 21001-1

A1.1



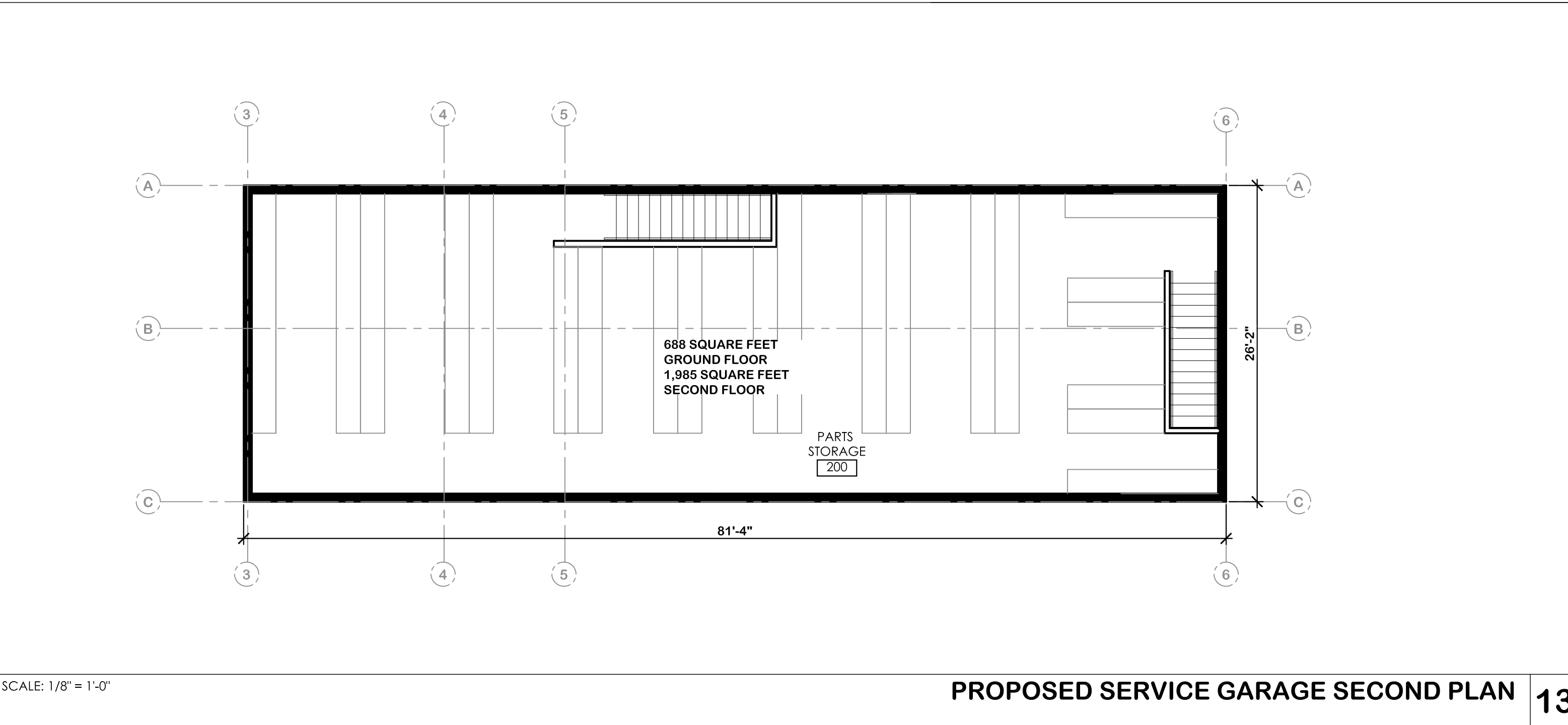
DEMO SITE PLAN

16



PROPOSED SITE PLAN

4

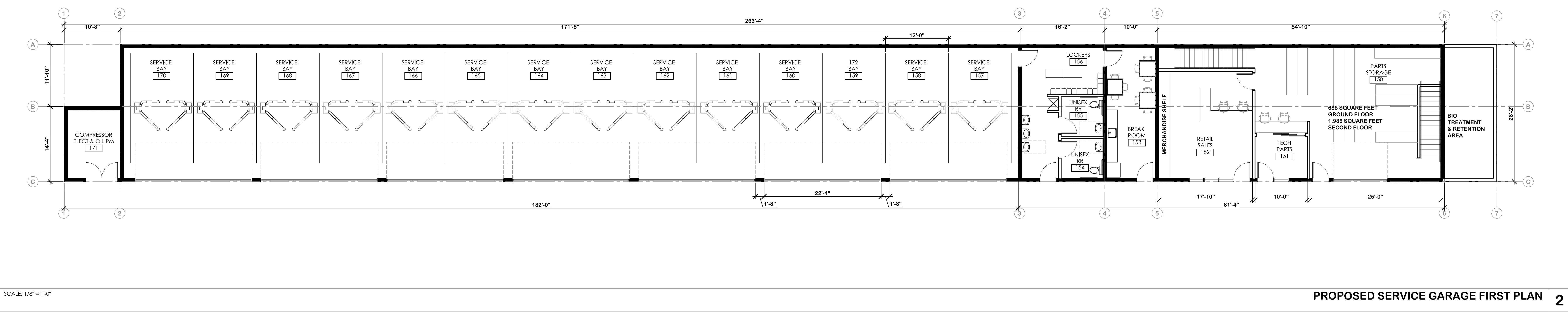


- ### GENERAL NOTES
1. WALKS AND SIDEWALKS SHALL BE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
 2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
 3. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIANS RAMP.
 4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THEN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMP.
 5. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.
 6. ALL DAMAGED OR DETERIORATE FIRE LANE MARKING SHALL BE RE-STRIPED
 7. ALL CURBS WHICH OUTLINE THE FIRE LANE SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING - FIRE LANE". THE TEXT SHALL BE FOUR INCHES TALL AND SHALL BE PLACED EVERY 30 FEET OR PORTION THEREOF, ON TOP OF DESIGNATED CURBING.
 8. ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48.
 9. WALKS AND SIDEWALKS SHALL BE AT LEAST 48" WIDE PER CBC 11B-403

- ### KEY NOTES

LEGEND

--- PROPERTY LINE
--- ACCESSIBLE PATH OF TRAVEL
■ NOT IN SCOPE

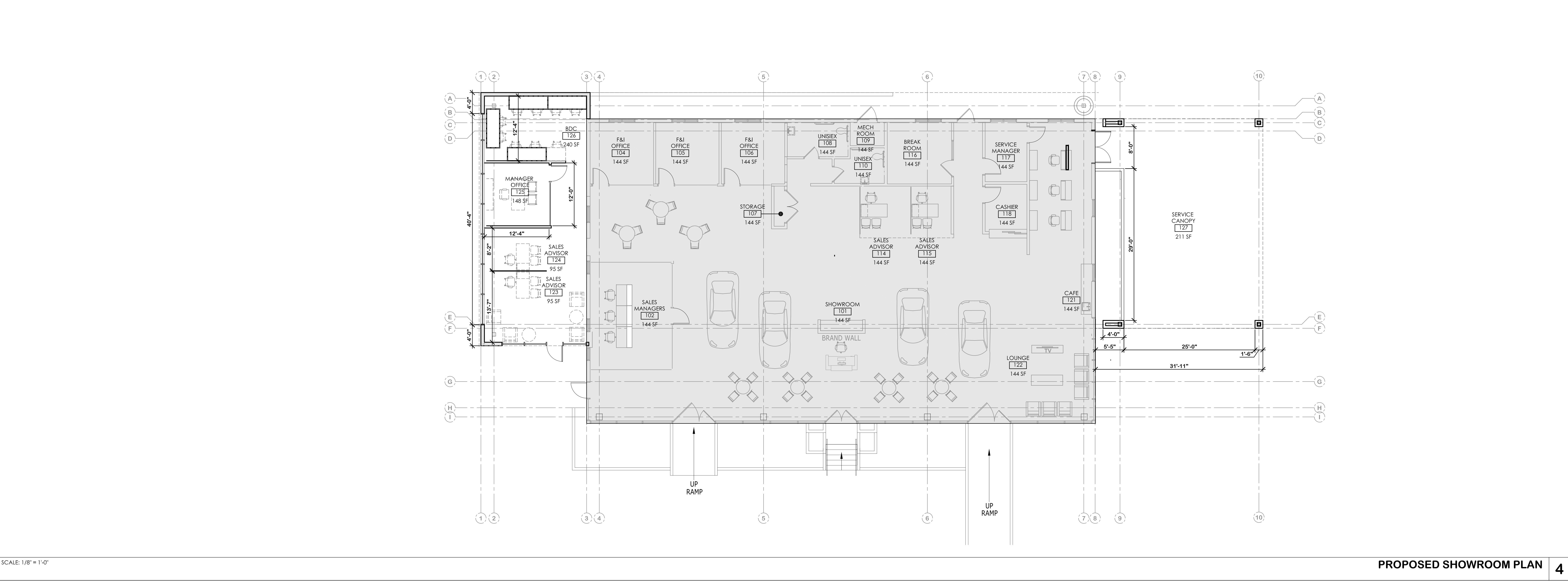


KIA SERRAMONTE

EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS

REV.	DATE	DESCRIPTION
1	02.14.22	RESUBMITTAL 1
	03.02.22	RESUBMITTAL 2
	03.15.22	RESUBMITTAL 3
	03.21.22	RESUBMITTAL 4
	08.09.22	PLANNING SUBMITTAL



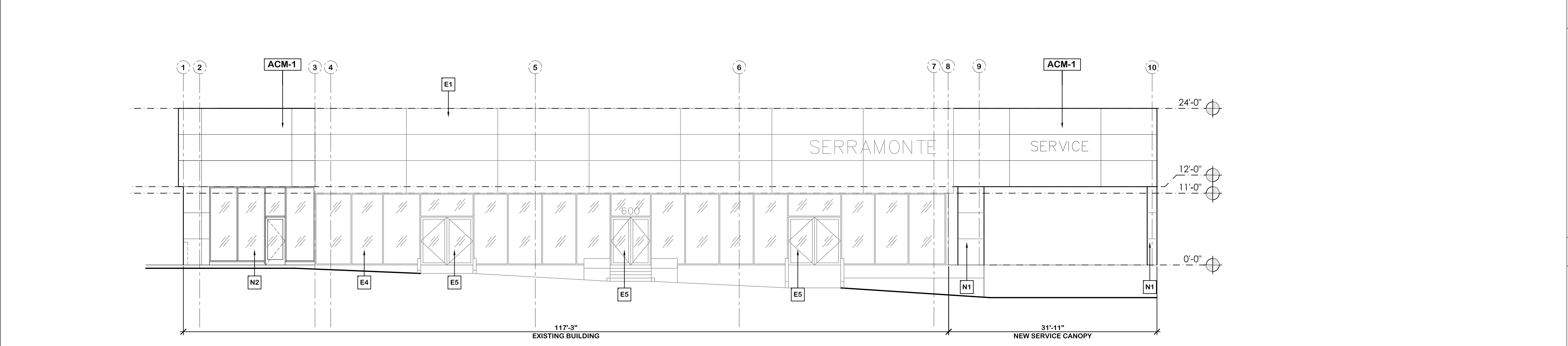
APPROVAL STAMP

PROPOSED FLOOR PLANS

DATE	SCALE
06.1.21	1/8" = 1'-0"

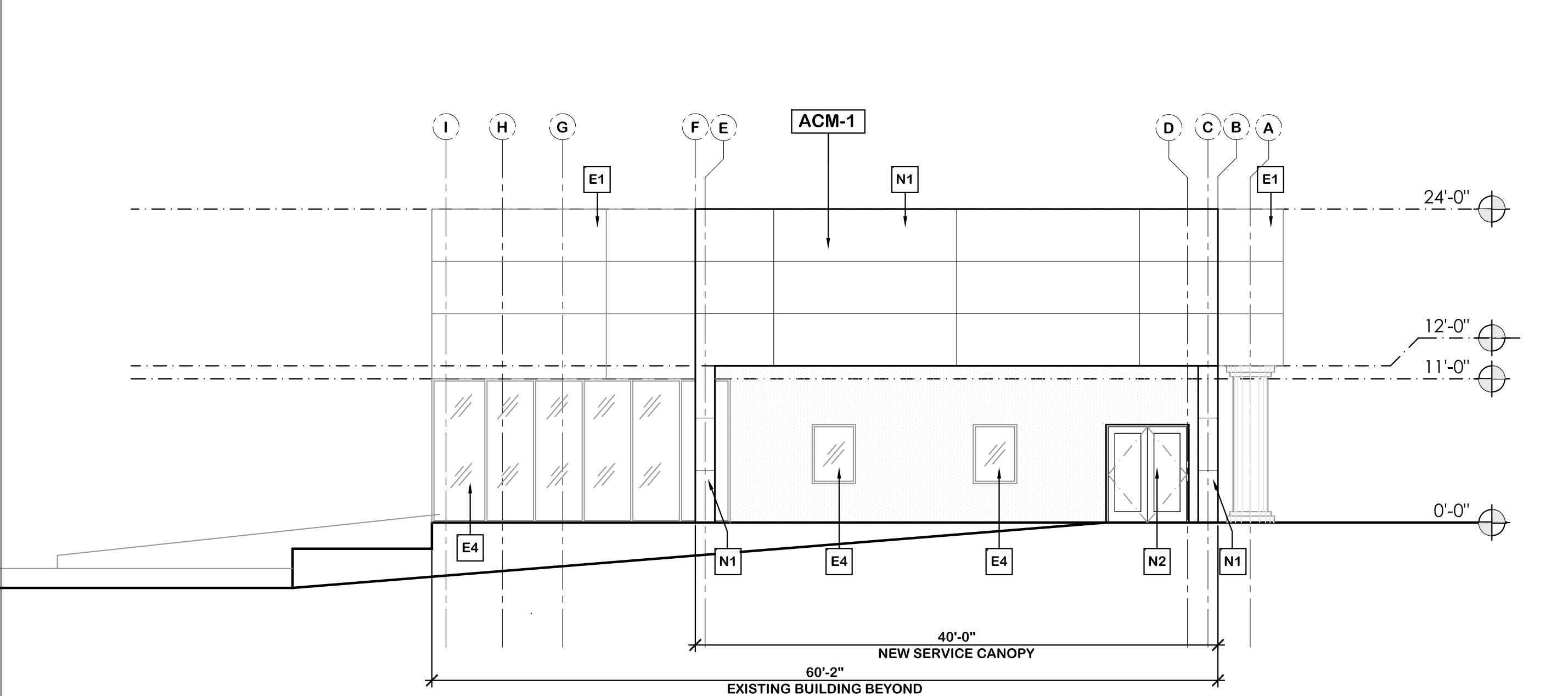
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A2.1



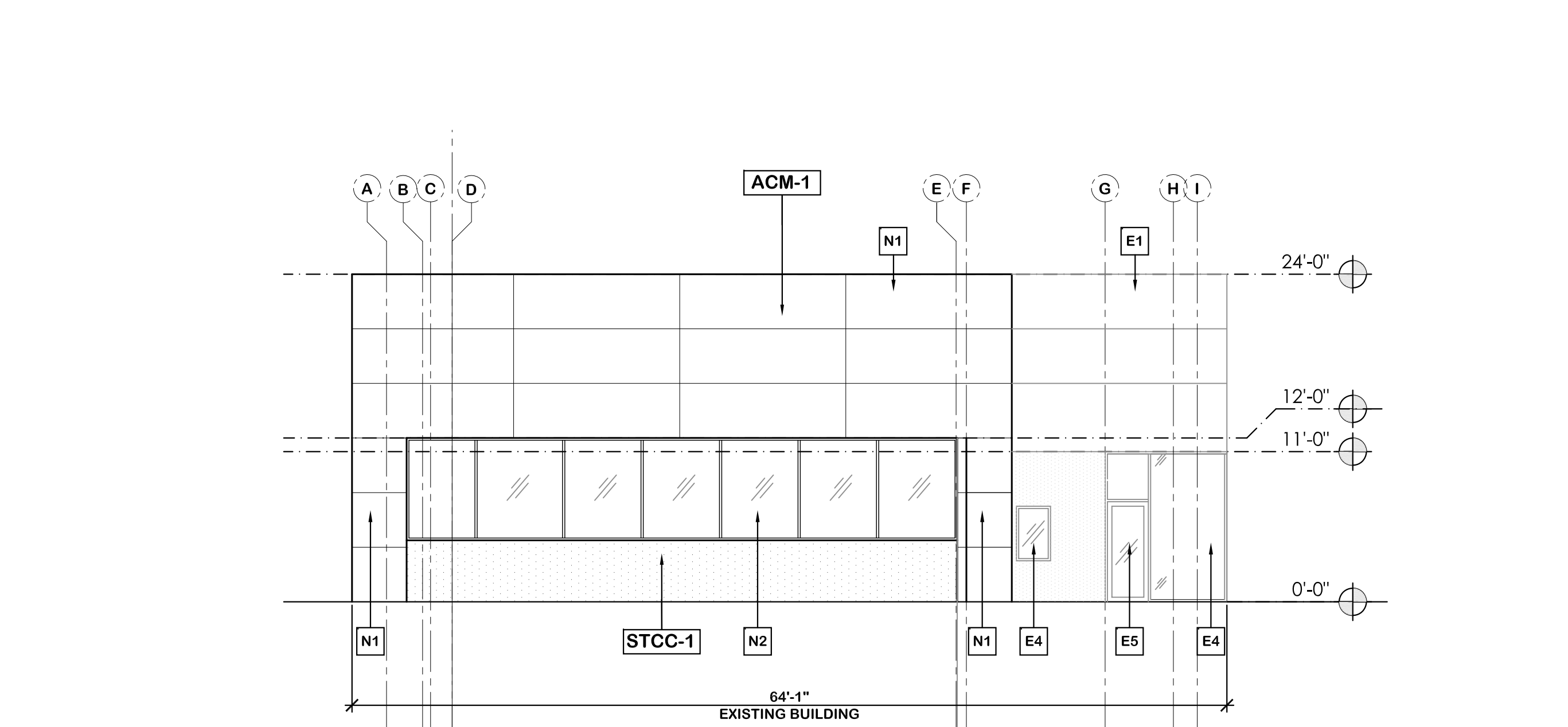
(N) EXTERIOR SOUTH
FRONT ELEVATION

5



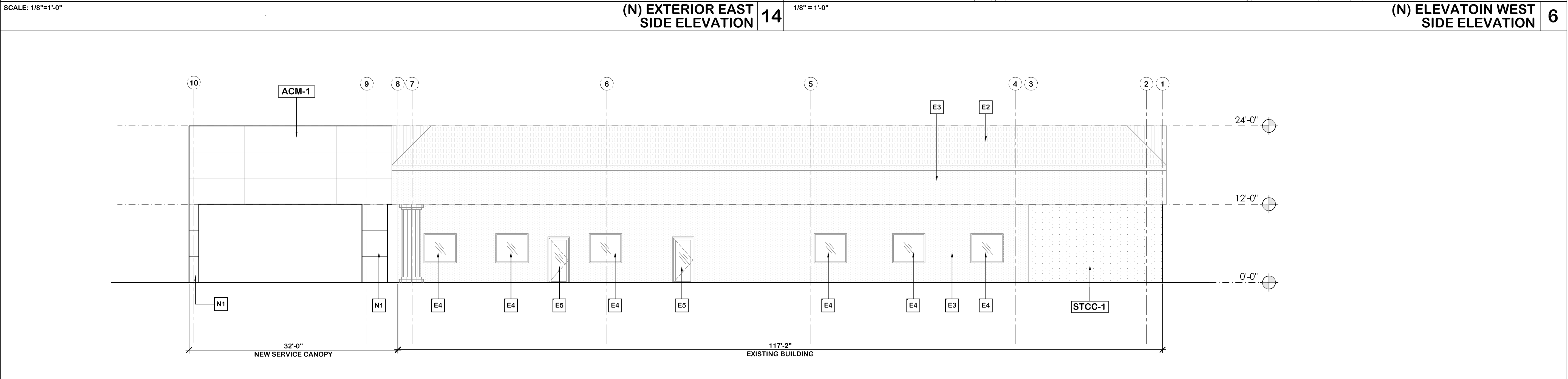
(N) EXTERIOR EAST
SIDE ELEVATION

14



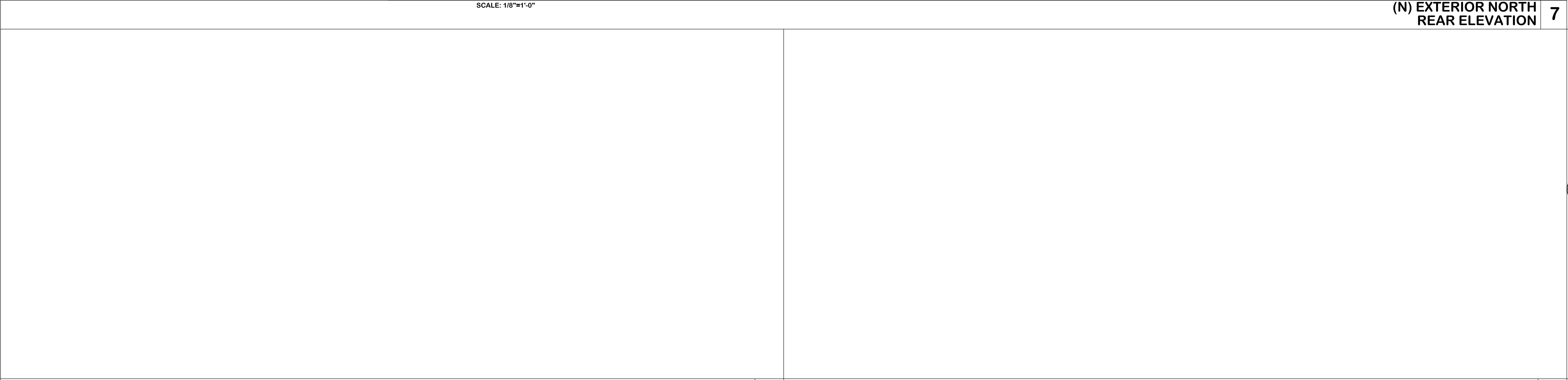
(N) ELEVATOIN WEST
SIDE ELEVATION

6



(N) EXTERIOR NORTH
REAR ELEVATION

7



16

KEYNOTE

E1

(E) METAL PANEL FINISH TO REMAIN

E2

(E) MANSARD ROOF WITH CLAY TILES

E3

(E) STUCCO FINISHED EXTERIOR WALL/SOFFIT

E4

(E) WINDOW

E5

(E) DOOR

N1

(N) ACM PANEL, SEE FINISH SCHEDULE

N2

(N) STOREFRONT WINDOW AND OR DOOR

FINISH SCHEDULE

ACM-1

ALUMINUM COMPOSITE METAL, ALPOLIC TOB BLACK

STCC-1

STUCCO FINISH, TO MATCH (E) FINISH AND COLOR

APPROVAL STAMP

APPROVED ARCHITECT

JOHN GUTKNECHT

STATE OF CALIFORNIA

EXTERIOR
ELEVATION

DATE

06.1.21

DRAWN BY

JTG

SCALE

1/8" = 1'-0"

PROJECT NUMBER

21001-1

A6.1

6

7

11

5

NO INTERIOR WORK

FLOOR PLAN
FOR REFERENCE ONLY

8

NTS

4

This drawing is an instrument of service only, and is, and shall remain, the property of JTG Architects. No reproduction or other use shall be made by any person or firm without written permission of JTG Architects. Unauthorized use shall void the professional seal and signature hereon and no professional responsibility will remain.

Written dimensions on this drawing shall have precedence over any scaled dimension. Do not scale this drawing for accurate dimensions, and notify JTG Architects of any discrepancies.

PUBLISHED SETS		
REV.	DATE	DESCRIPTION
△	02.14.22	RESUBMITTAL 1
	03.02.22	RESUBMITTAL 2
	03.15.22	RESUBMITTAL 3
	03.21.22	RESUBMITTAL 4
	08.09.22	PLANNING SUBMITTAL



**EXTERIOR
ELEVATION**

DATE 06.1.21
DRAWN BY JTG

SCALE 1/8" = 1'-0"
PROJECT NUMBER 21001-1

A6.1



Written dimensions on this drawing shall have precedence over any scaled dimension. Do not scale this drawing for accurate dimensions, and notify JTG Architects of any discrepancies.

**KIA
SERRAMONTE**
EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS		
REV.	DATE	DESCRIPTION
1	02.14.22	RESUBMITTAL 1
	03.02.22	RESUBMITTAL 2
	03.15.22	RESUBMITTAL 3
	03.21.22	RESUBMITTAL 4
	08.09.22	PLANNING SUBMITTAL

APPROVAL STAMP



EXTERIOR ELEVATION

DATE	SCALE
06.1.21	1/8" = 1'-0"
RAWN BY	PROJECT NUMBER
JTG	21001-1

A6.2

ENGINEER'S STATEMENT

The existing fixed works and Topographic Survey shown hereon, as defined in Section 6731.1 of the Business and Professions Code (Professional Engineers Act), was provided by, or under the direct supervision of George K. Marinakis

3/5/2022
DATE

GEORGE K. MARINAKIS, RCE 77629

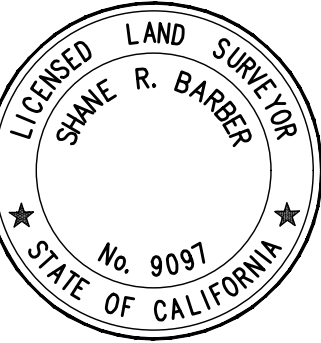


SURVEYOR'S STATEMENT

The existing boundary lines, easements and encumbrances shown hereon, as defined in Section 8726 of the Business and Professions Code (Professional Land Surveyor's Act) , was provided by, or under the direct supervision of Shane R. Barber

3/5/2022
DATE

SHANE R. BARBER L.S. 9097



SERRAMONTE BOULEVARD

PARCEL 1
50 PM 50

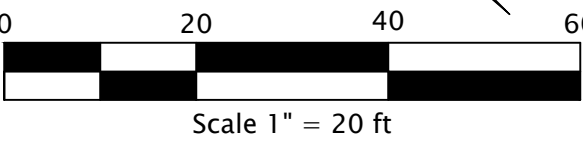
N 40°44'21" W 907.63'

LEGEND

PROPERTY LINE	
ADJACENT PROPERTY LINE	
CENTERLINE	
MONUMENT LINE	
BUILDING LINE W/ DOOR	
BUILDING OVERHANG	
FOUND MONUMENT AS NOTED	
FOUND IRON PIPE OR AS NOTED	
BOLLARD LIGHT	
LIGHT	
STREET LIGHT	
TRAFFIC SIGNAL POLE	
TRANSFORMER	
FIRE HYDRANT	
STORM DRAIN MANHOLE	
SANITARY SEWER MANHOLE	
CLEAN OUT	
GAS METER	
UTILITY POLE W/ GUY WIRE	
VALVE	
CATCH BASIN / DROP INLET	
WATER METER	
FIRE DEPARTMENT CONNECTION	
BACK FLOW PREVENTER	
POST INDICATOR VALVE	
UTILITY BOX (SIZE VARIES)	
MONITORING WELL	
SIGN	
FLAG POLE	
RECORD INFORMATION W/ REFERENCE	
TREE W/ SIZE AND ELEVATION	
SPOT ELEVATION	
CONTOUR	
INDEX CONTOUR	
CURB	
CURB & GUTTER	
CONCRETE	
FENCE	
RETAINING WALL	
EDGE OF PAVEMENT	
SANITARY SEWER	
STORM DRAIN	
WATER	
FIRE SERVICE	
RECLAIMED WATER	
GAS	
UNDERGROUND ELECTRIC	
TELEPHONE	
OVERHEAD	
JOINT TRENCH	
LIGHTING CONDUIT	
FIBER OPTIC CABLE	
CABLE TV	
NITROGEN PIPE LINE	

ABBREVIATIONS

BL	BUILDING
DR	DOOR
EL	ELECTROLIER
EP	EDGE OF PAVEMENT
EW	EDGE OF WALK
FL	FLOW LINE
FW	FACE OF WALL
GRN	GROUND
LIP	LIP OF GUTTER
PM	UNKNOWN_ABBR
PV	PAVEMENT
TC	TOP OF CURB
TW	TOP OF WALL



GKM Engineering
CIVIL ENGINEERING • SURVEYING • LAND PLANNING
16185 Los Gatos Blvd, Suite#205
Los Gatos, CA. 95032
(408) 656 5917
GKMENGINEERING.COM

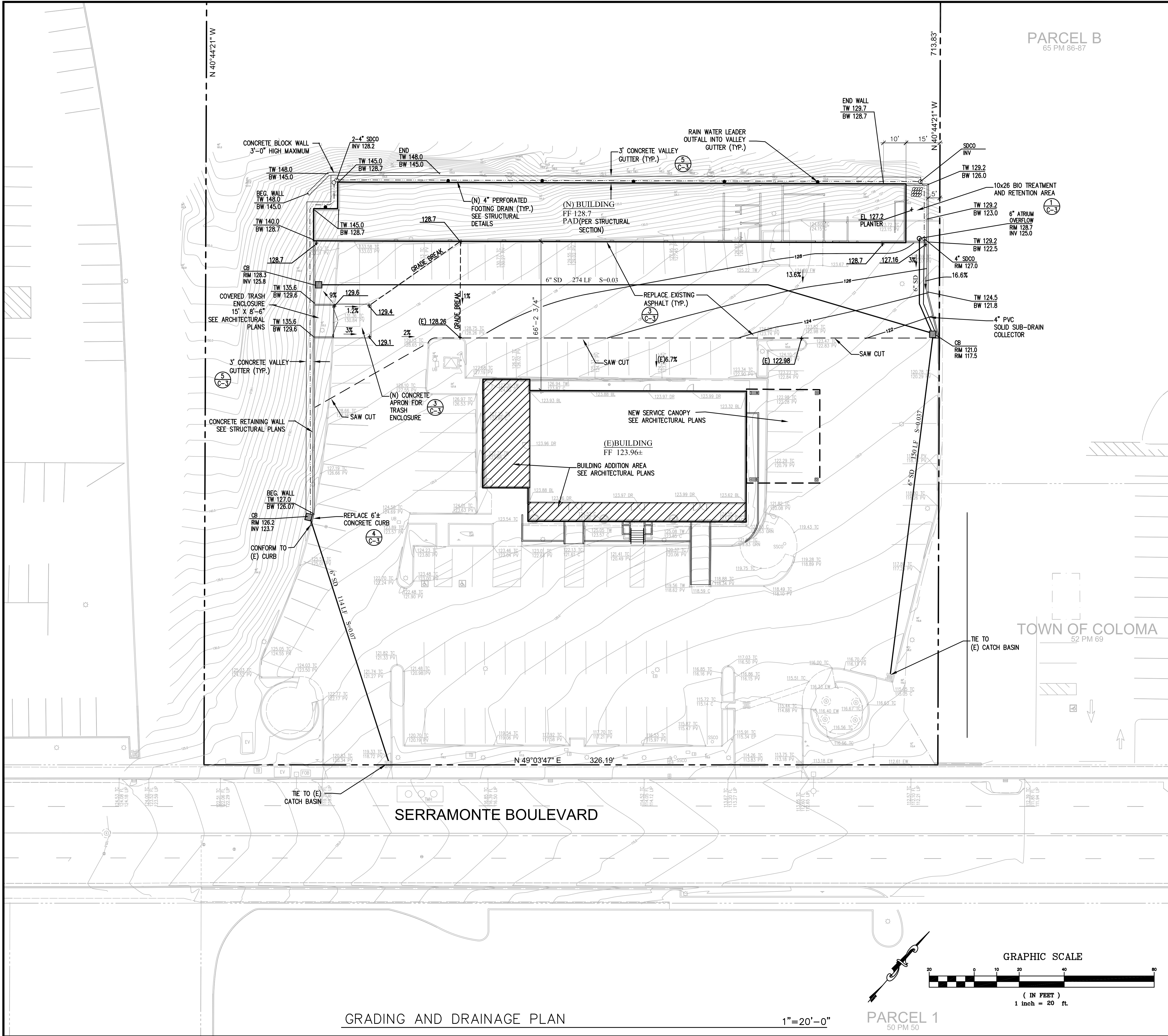
KIA SERRAMONTE
630 SERRAMONTE BLVD.
COLMA/CALIFORNIA

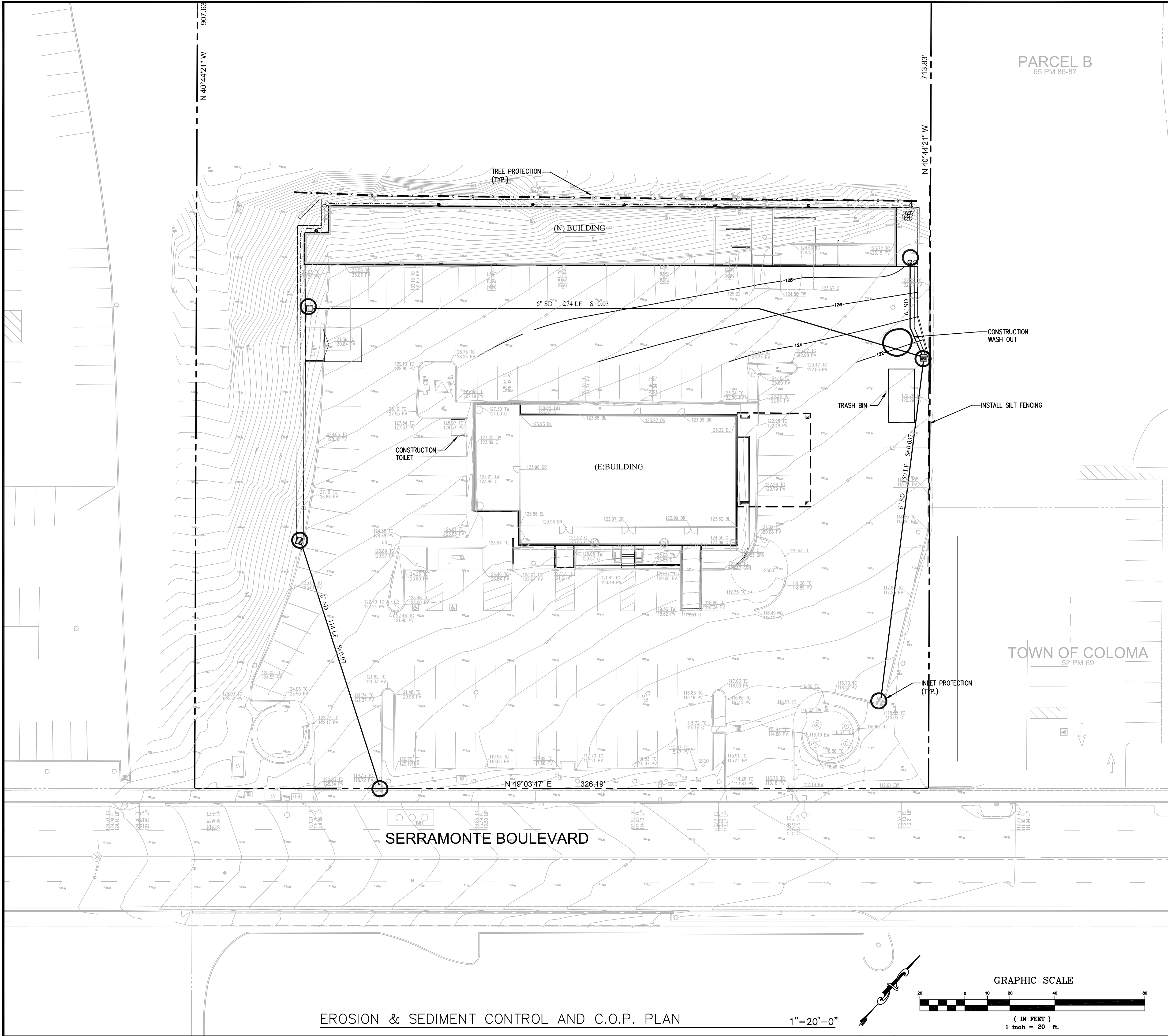
TOPOGRAPHIC SURVEY

DATE	REMARKS
3/5/2022	

PA / PM:	GM
DRAWN BY:	SB
JOB NO.:	A220116


SHEET
C-0



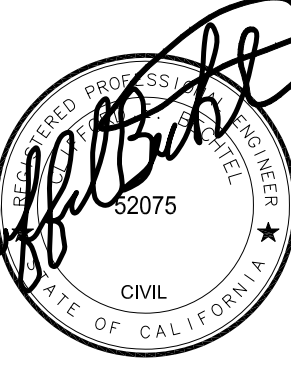


- EROSION AND SEDIMENT CONTROL NOTES:**
1. STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET FILTERS.
 2. A STABILIZED CONSTRUCTION ENTRANCE SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE COMPLETION OF ALL LANDSCAPING.
 3. SILT FENCE OR FIBER ROLL(S) SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
 4. DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/ OR SOIL TRACKED ON TO SERRAMONTE BOULEVARD. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
 5. THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.
 6. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
 7. ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.
 8. CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY THE CITY'S ENGINEER.
 9. IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE CITY'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
 10. CONTRACTOR SHALL PROTECT ALL DISTURBED SLOPES AS FOLLOW:
FLAT TO 3:1 STRAW OR REDWOOD MULCH
3:1 AND GREATER WITH EROSION CONTROL BLANKET
(NOT JUTE NETTING)
ALL PROTECTION SHALL REMAIN IN PLACE UNTIL LANDSCAPE MATERIAL HAS BEEN ESTABLISHED.
 11. THE CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR.
 12. SITE CONDITIONS AT THE TIME OF PLACEMENT OF EROSION CONTROL MEASURE WILL VARY. THE CONTRACTOR SHALL ADJUST EROSION CONTROL MEASURES AS THE SITE CONDITIONS CHANGE AND AS THE NEED SHIFTS TO PREVENT EROSION AND SEDIMENTATION FROM LEAVING THE SITE.
 13. THE CONTRACTOR SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES (BMP) FOR SEDIMENTATION PREVENTION AND EROSION CONTROL TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE TOWN OR COUNTY STORM DRAIN SYSTEMS.
 14. THE CONTRACTOR MUST INSTALL ALL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN THE MEASURES UNTIL THE COMPLETION OF ALL LANDSCAPING.
 15. THE CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION, METHOD OF STREET CLEANING SHALL BE BY SWEEPING OF ALL PAVED AREAS. NO STOCKPILING OF BUILDING MATERIALS WITHIN THE CITY'S RIGHT-OF-WAY.
 16. SEDIMENTS AND OTHER MATERIALS SHALL NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONTRACTOR SHALL INSTALL A STABILIZED CONSTRUCTION ENTRANCE PRIOR TO THE INCEPTION OF ANY WORK ON-SITE AND MAINTAIN IT FOR THE DURATION OF THE CONSTRUCTION PROCESS SO AS TO INHIBIT, SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY UNTIL THE COMPLETION OF ALL LANDSCAPING.
 17. EXCESS OR WASTE CONCRETE MUST NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
 18. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
 19. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST NOT BE WASHED INTO THE DRAINAGE SYSTEM.

- STAGING NOTES:**
1. CONTRACTOR AND OWNERS SHALL INFORM ALL WORKS, SUBS, AND EMPLOYEES THAT ALL PARKING SHALL BE ON SITE. PARKING ON SERRAMONTE BOULEVARD IS FOR TEMPORARY PURPOSES ONLY.
 2. CONTRACTOR AND SUBS ARE RESPONSIBLE TO SECURE ALL BUILDING MATERIALS AND TOOLS IN THE STAGING AREA OR AS DESIGNATED BY CONTRACTOR.
 3. STAGING PLAN SHOWN IS CONCEPTUAL. CONTRACTOR SHALL REVIEW STAGING WITH CITY'S BUILDING INSPECTOR, IF PLANS CHANGE.
 4. ALL DEBRIS/GARBAGE CONTAINERS SHALL BE PLACED ON PROPERTY. IN A SITUATION WHERE THAT IS NOT POSSIBLE, AN ENCROACHMENT PERMIT IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT FOR PLACING DEBRIS/GARBAGE CONTAINERS IN THE PUBLIC RIGHT OF WAY. NO WET GARBAGE FLUID SHALL ENTER PUBLIC RIGHT OF WAY OR THE STORM DRAIN SYSTEM.



Engineering and Project Management
1321 254th Place, SE
SAMMAMISH, WA 98075
650-333-0103
cliffbechtel@comcast.net



KIA SERRAMONTE
600 SERRAMONTE BLVD.
SAN MATEO COUNTY

Colma

CONTENTS:

EROSION & SEDIMENT CONTROL AND C.O.P. PLAN

DATE 08/09/22

SCALE AS NOTED

REVISIONS:

DRAWN J.G.

CHECKED C.B.

JOB No. 2022807

SHEET NO. C-2

OF 6 SHEETS



California

KIA SERRAMONTE
600 SERRAMONTE BLVD.
SAN MATEO COUNTY

Colma

CONTENTS:

CIVIL
DETAILS

DATE 08/09/22

SCALE AS NOTED

REVISIONS:

DRAWN J.G.

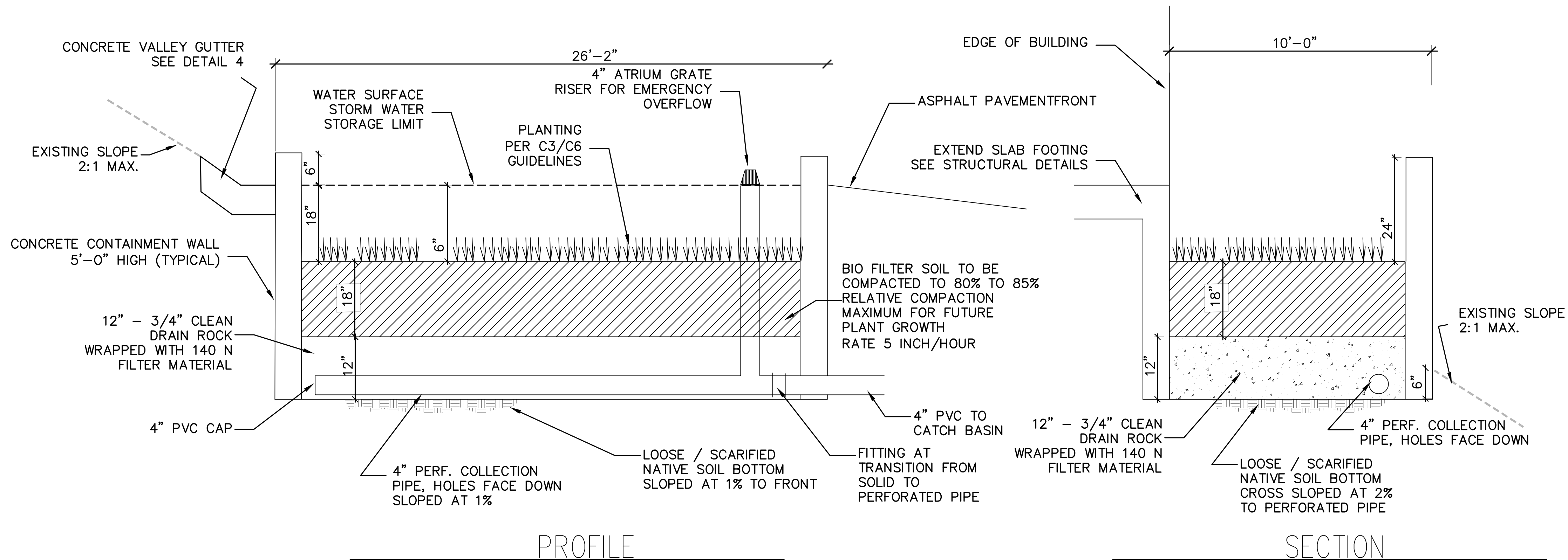
CHECKED C.B.

JOB No. 2022807

SHEET NO.

C-3

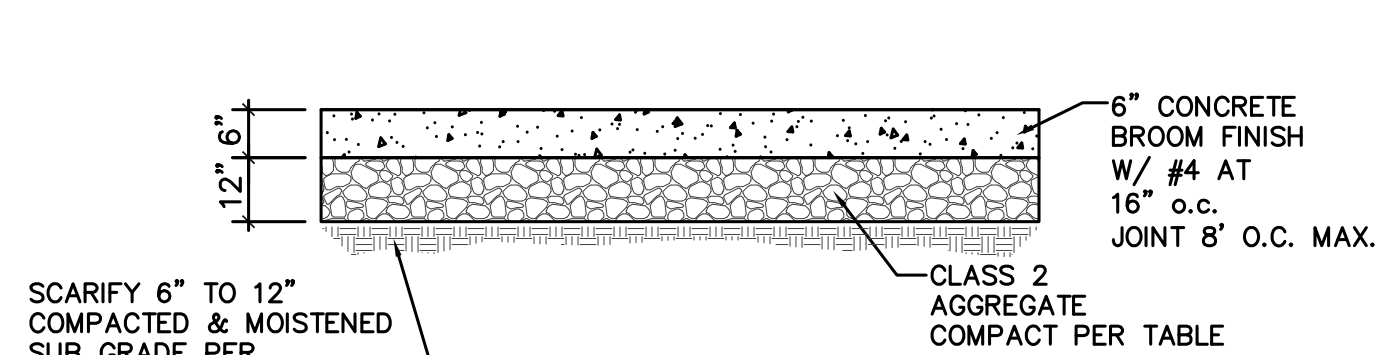
OF 6 SHEETS



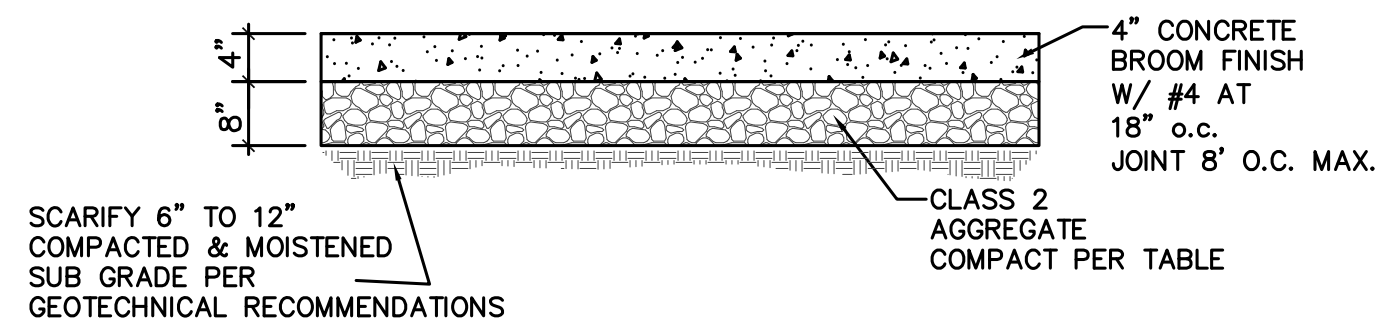
PROFILE

SECTION

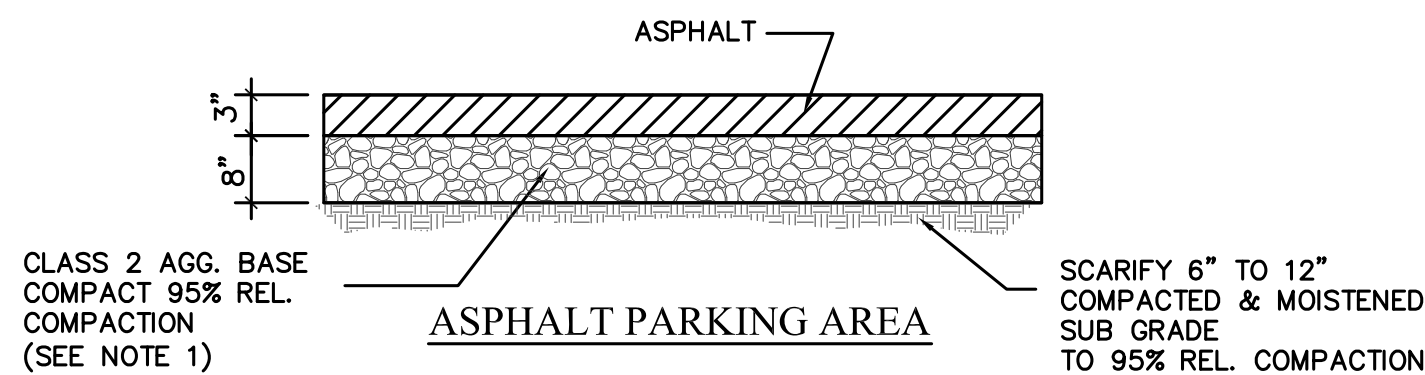
1 BIO TREATMENT AND RETENTION AREA
C-3 NOT TO SCALE



CONCRETE TRASH PAD AND APRON



CONCRETE PARKING & WALKS

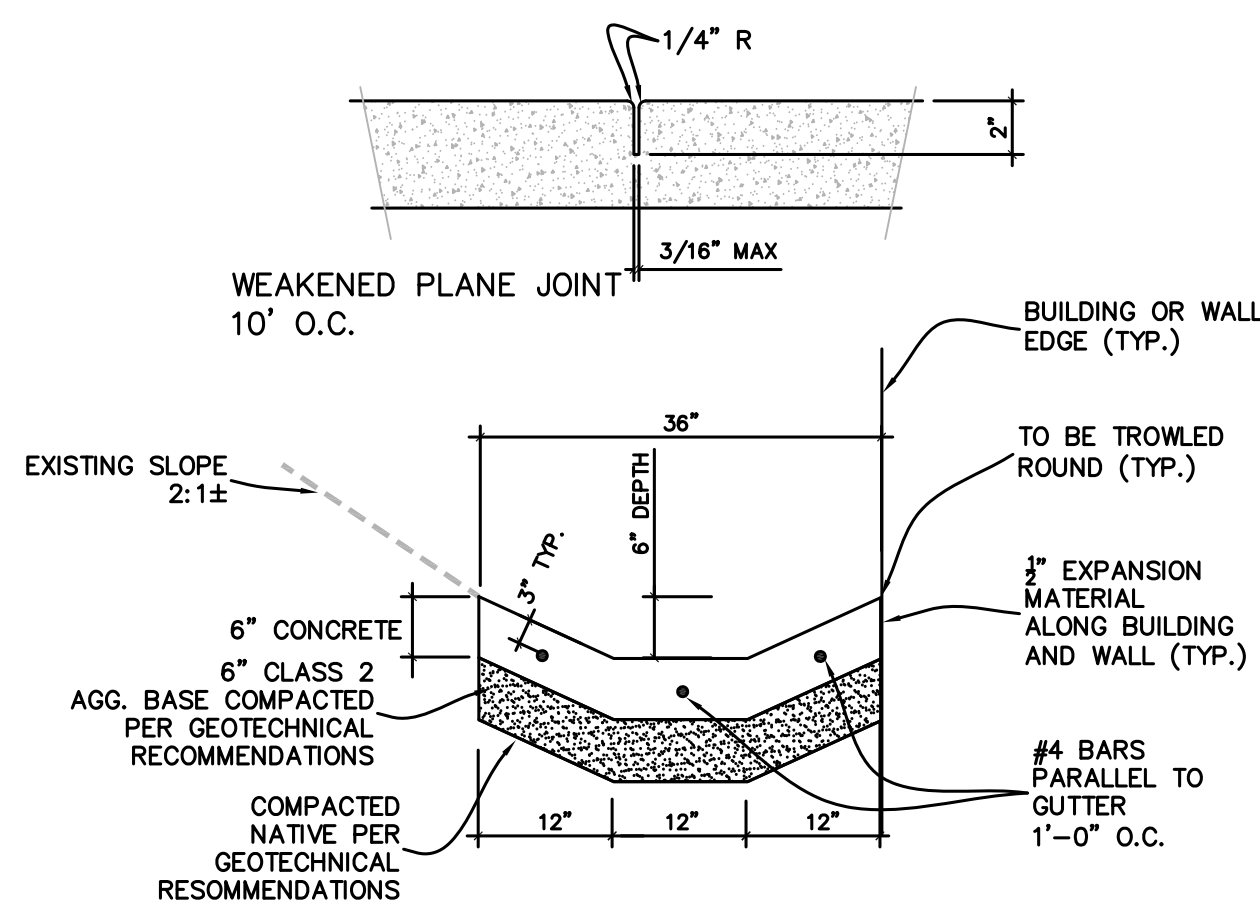


ASPHALT PARKING AREA

NOTES

- CONTRACTOR TO REMOVE EXISTING ASPHALT AND REVIEW EXISTING BASE WITH PROJECT GEOTECHNICAL ENGINEER. EXISTING BASE TO BE RETAINED IF POSSIBLE.

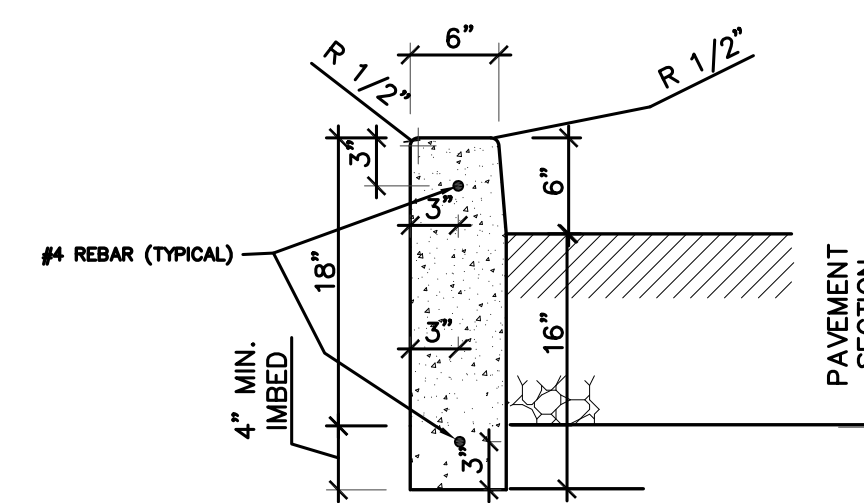
3 PAVEMENT SECTIONS
C-3 NOT TO SCALE



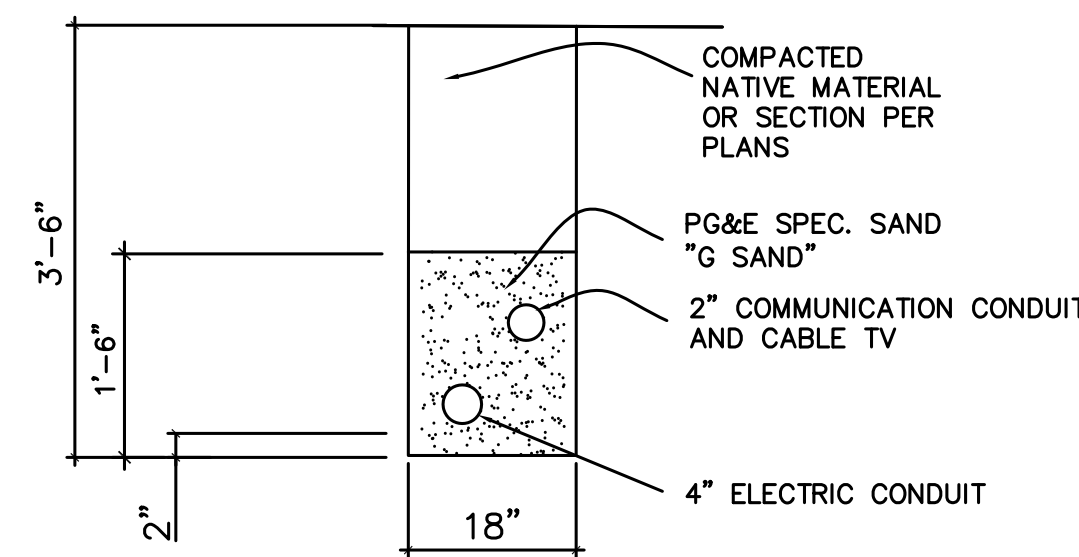
CONCRETE VALLEY GUTTER AND CURB NOTES

- PORTLAND CEMENT CONCRETE (P.C.C.) SHALL BE CLASS "A" (6 SACK) AS SPECIFIED IN CALTRANS STANDARD SPECIFICATIONS.
- BASE THICKNESS SHALL BE 4" COMPACTED CLASS II A.B.
- EXPANSION JOINTS SHALL BE CONSTRUCTED AT ENDS OF CURB RETURNS, CURB INLETS, OTHER STRUCTURES & AT 20' INTERVALS. JOINTS SHALL MATCH ADJACENT IMPROVEMENTS. DO NOT USE FELT FOR EXPANSION JOINTS.
- WEAKENED PLANE JOINTS SHALL BE CONSTRUCTED AT 10' INTERVALS.
- DOWEL & EPOXY TWO (2) #4 BARS 8" INTO EXISTING CONCRETE CURB & GUTTER & 8" INTO NEW.
- TO UTILIZE PROPER FORMWORK, A 12" SAW-CUT IN THE EXISTING A.C. PAVEMENT (STREET SIDE) IS REQUIRED, UNLESS OTHERWISE DIRECTED BY THE PUBLIC WORKS INSPECTOR.
- FORMWORK SHALL CONSIST OF A 2' x 6' FORM FOR THE BACK OF CURB, & A 2' x 6' FORM FOR THE FACE OF CURB, UNLESS OTHERWISE DIRECTED BY THE PUBLIC WORKS INSPECTOR.
- PRIOR TO PLACEMENT OF THE CONCRETE, THE ENGINEERING INSPECTOR REQUIRES AN INSPECTION OF THE FORM WORK. A FINAL INSPECTION IS REQUIRED ONCE CONCRETE HAS BEEN PLACED.

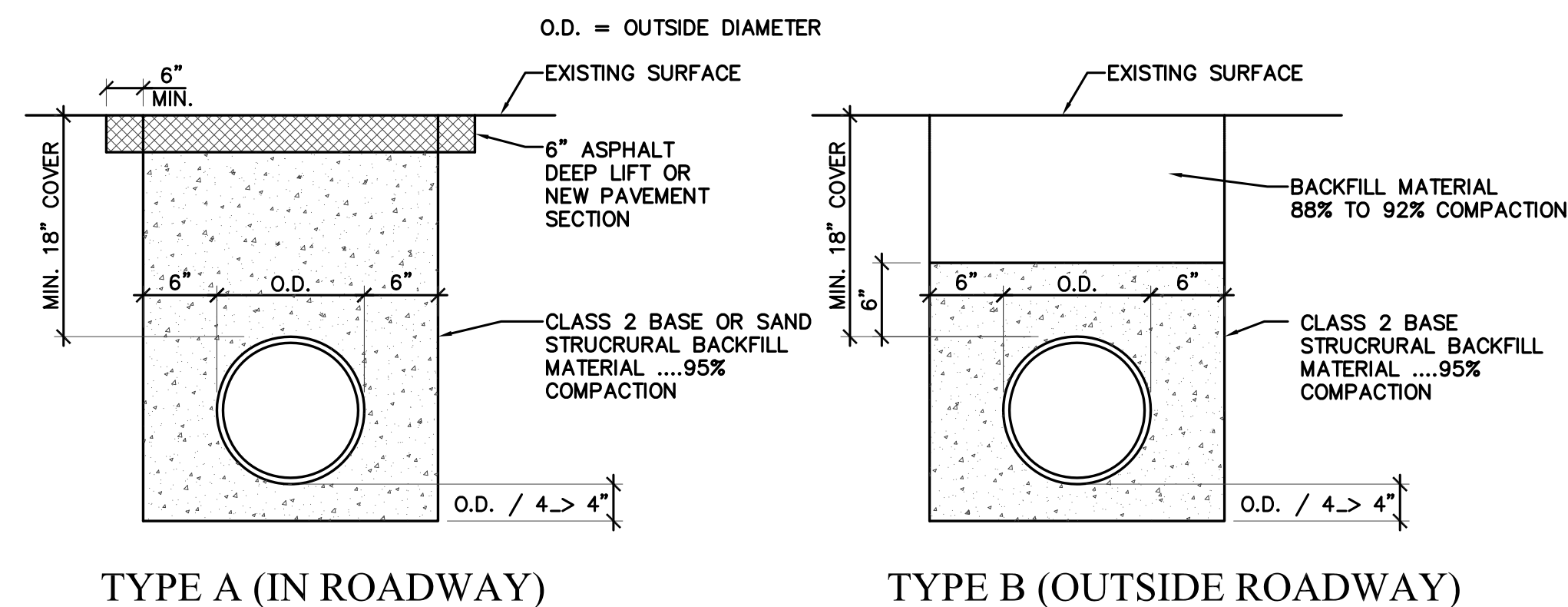
4 CONCRETE VALLEY GUTTER
C-3 NOT TO SCALE



5 CONCRETE CURB
C-3 NOT TO SCALE



6 PRIVATE JOINT TRENCH
C-3 NOT TO SCALE



TYPE A (IN ROADWAY)

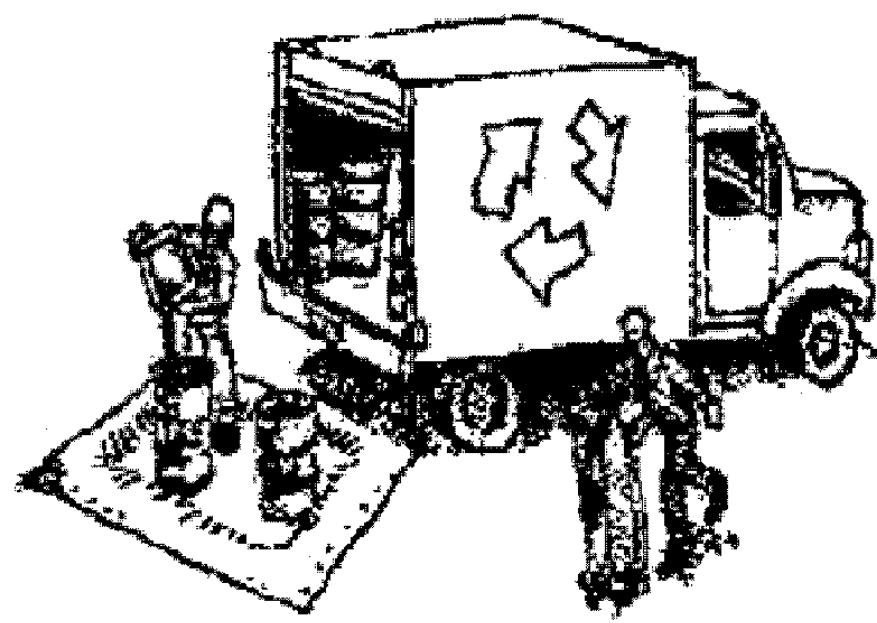
TYPE B (OUTSIDE ROADWAY)

7 TRENCH SECTIONS
C-3 NOT TO SCALE

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

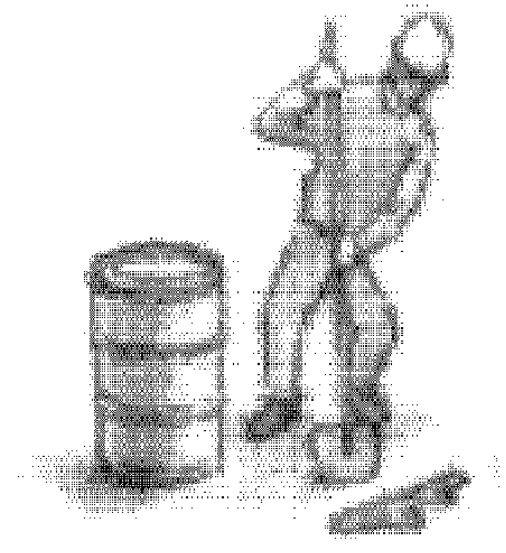
Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

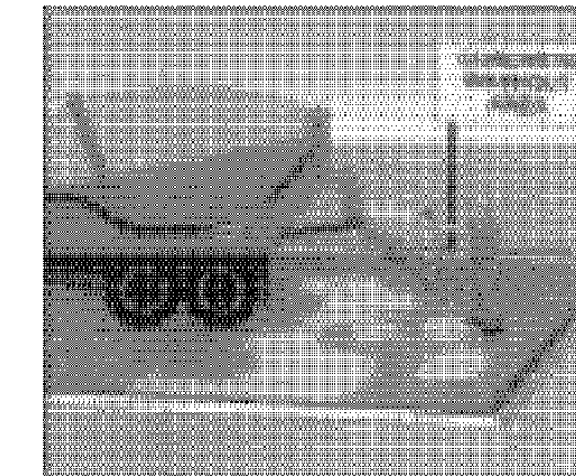


- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

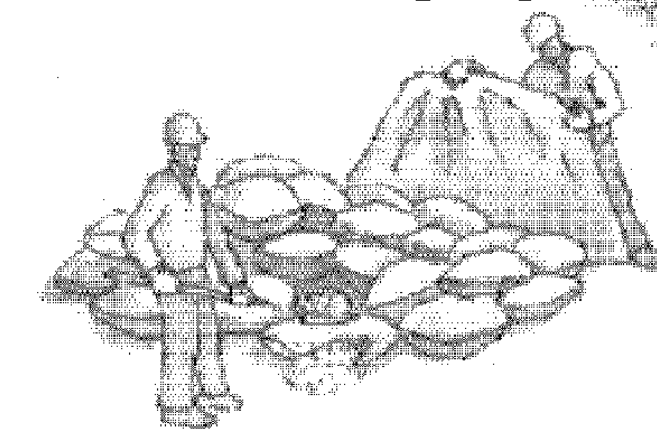
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



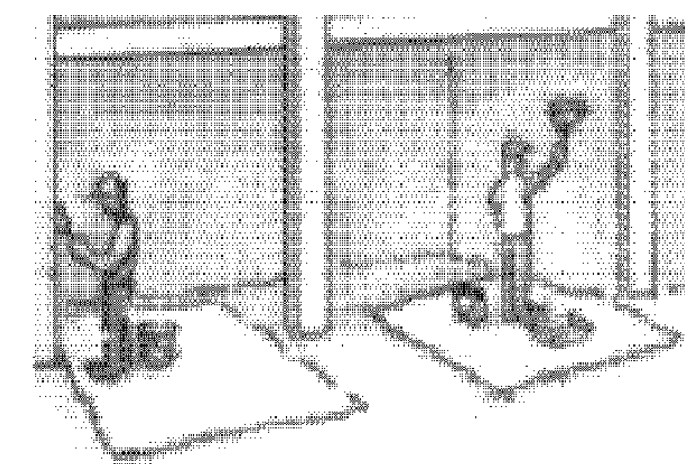
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

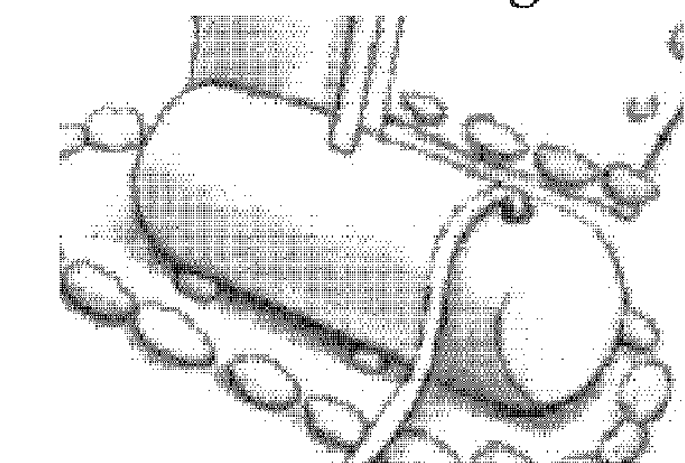
Painting & Paint Removal



Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



ATTACHMENT C - Public Comments

From: Wilson, Joanne <jwilson@sewater.org>
Sent: Wednesday, September 21, 2022 12:50 PM
To: Alvin Jen
Cc: Read, Emily; Herman, Jane; Feng, Stacie; Wong, Christopher J; Rodgers, Heather; Brad Donohue; Farhad Mortazavi
Subject: RE: 600 Serramonte Blvd., Colma

Thanks very much. Stacie Feng will follow-up with her comments, if any.
Joanne

From: Alvin Jen <alvinj@csgengr.com>
Sent: Wednesday, September 21, 2022 12:27 PM
To: Wilson, Joanne <jwilson@sewater.org>
Cc: Read, Emily <ERead@sewater.org>; Herman, Jane <jherman@sewater.org>; Feng, Stacie <SFeng@sewater.org>; Wong, Christopher J <CJWong@sewater.org>; Rodgers, Heather <HeRodgers@sewater.org>; Brad Donohue <brad@csgengr.com>; Farhad Mortazavi <farhadm@csgengr.com>
Subject: RE: 600 Serramonte Blvd., Colma

CAUTION: This email originated from **outside** of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Joanne,

I have attached the structural calculations for the retaining wall as well as the geotechnical report. Please let me know if these documents will provide the information that the Senior Engineer is inquiring about.

Best,

Alvin Jen

Associate Planner, CSG Consultants



Town of Colma
Planning Department
1198 El Camino Real, Colma, CA 94014
www.colma.ca.gov
ajen@colma.ca.gov
650.757.8888 main
650.997.8314 direct
650.757.8890 fax

From: Wilson, Joanne <jwilson@sewater.org>
Sent: Wednesday, September 21, 2022 12:04 PM
To: Alvin Jen <alvinj@csgengr.com>
Cc: Read, Emily <ERead@sewater.org>; Herman, Jane <jherman@sewater.org>; Feng, Stacie <SFeng@sewater.org>; Wong, Christopher J <CJWong@sewater.org>; Rodgers, Heather

<HeRodgers@sfwater.org>; Brad Donohue <brad@csgengr.com>; Farhad Mortazavi <farhadm@csgengr.com>

Subject: RE: 600 Serramonte Blvd., Colma

Hi Alvin: Upon further review, our senior engineer would like more information regarding the proposed retaining wall. Please have the project sponsor or contractor contact Stacie Feng, Senior Engineer, at sfeng@sfwater.org or (650) 871-2037. She has asked our surveyors to mark the SFPUC pipelines adjacent to the project.

The current plan doesn't show how the retaining wall will be built. Please have the project sponsor or contractor provide the shoring plan for the retaining wall construction. Ms. Feng will want to make sure that if soil nailing is employed, the construction will take place within the subject property and will not extend beyond the property line and/or under the SFPUC's pipeline.

Thanks very much.

Joanne

From: Wilson, Joanne

Sent: Tuesday, September 20, 2022 11:04 AM

To: Alvin Jen <alvinj@csgengr.com>

Cc: Read, Emily <ERead@sfwater.org>; Herman, Jane <jherman@sfwater.org>; Feng, Stacie <SFeng@sfwater.org>; Wong, Christopher J <CJWong@sfwater.org>; Rodgers, Heather <HeRodgers@sfwater.org>; Brad Donohue <brad@csgengr.com>; Farhad Mortazavi <farhadm@csgengr.com>

Subject: RE: 600 Serramonte Blvd., Colma

Hi Alvin: Our Right-of-Way Manager and Senior Engineer reviewed the plans for 600 Serramonte Boulevard and have no comments, except that we request that the following be required:

- The project sponsor and/or its contractor will request an Underground Service Alert (USA) prior to commencing construction. Please visit <http://usanorth811.org/> or call 811.

Thanks very much.

Joanne

From: Wilson, Joanne

Sent: Monday, September 19, 2022 5:20 PM

To: Alvin Jen <alvinj@csgengr.com>

Cc: Read, Emily <ERead@sfwater.org>; Herman, Jane <jherman@sfwater.org>; Feng, Stacie <SFeng@sfwater.org>; Wong, Christopher J <CJWong@sfwater.org>; Rodgers, Heather <HeRodgers@sfwater.org>; Brad Donohue <brad@csgengr.com>; Farhad Mortazavi <farhadm@csgengr.com>

Subject: RE: 600 Serramonte Blvd., Colma

Thanks Alvin – I'll run it by our engineers to see if they have any concerns.

Joanne

From: Alvin Jen <alvinj@csgengr.com>
Sent: Monday, September 19, 2022 4:59 PM
To: Wilson, Joanne <jwilson@sfwater.org>
Cc: Read, Emily <ERead@sfwater.org>; Herman, Jane <jherman@sfwater.org>; Feng, Stacie <SFeng@sfwater.org>; Wong, Christopher J <CJWong@sfwater.org>; Rodgers, Heather <HeRodgers@sfwater.org>; Brad Donohue <brad@csgengr.com>; Farhad Mortazavi <farhadm@csgengr.com>
Subject: RE: 600 Serramonte Blvd., Colma

CAUTION: This email originated from **outside** of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Joanne,

I've attached the plans for your review. Unfortunately, we have not updated our current project list on the website. Please feel free to reach out to me for further assistance.

Best,

Alvin Jen

Associate Planner, CSG Consultants



**Town of Colma
Planning Department**
1198 El Camino Real, Colma, CA 94014
www.colma.ca.gov
ajen@colma.ca.gov
650.757.8888 main
650.997.8314 direct
650.757.8890 fax

From: Wilson, Joanne <jwilson@sfwater.org>
Sent: Monday, September 19, 2022 3:40 PM
To: AJen@colma.ca.gov
Cc: Read, Emily <ERead@sfwater.org>; Herman, Jane <jherman@sfwater.org>; Feng, Stacie <SFeng@sfwater.org>; Wong, Christopher J <CJWong@sfwater.org>; Rodgers, Heather <HeRodgers@sfwater.org>
Subject: 600 Serramonte Blvd., Colma

Hello Alvin: I'm writing to request more information about the proposed auto dealership expansion to add a new service center at 600 Serramonte Boulevard in Colma. I checked the Town of Colma Planning Department website and did not see this proposal under "Current Projects".

The SFPUC has three water transmission pipelines on the east side of the subject property. I am interested in knowing the location of any proposed construction work to evaluate whether or not these

pipelines might be impacted. Please send the proposed plans to me via email (or send me a link when the plans have been posted on your website).

Thank you very much.

Joanne Wilson

Joanne Wilson
Senior Land and Resources Planner
[Natural Resources and Lands Management Division](#)
[Water Enterprise](#)
1657 Rollins Road
Burlingame, CA 94010

[Please consider the environment before printing this email.](#)

Hetch Hetchy Regional Water System
Operated by San Francisco Water, Power and Sewer | Services of the San Francisco Public
Utilities Commission

