

TITLE REPORT EXCEPTIONS

BASED UPON TITLE REPORT NO. 2202070449A-52/TX20214028, DATED MAY 6, 2022 AS PREPARED BY OLD TITLE COMPANY.

INDICATES TITLE REPORT EXCEPTION NUMBER.

COVENANTS, CONDITIONS AND RESTRICTIONS, AND GRANTS OF EASEMENTS IN AND OVER COMMON AREAS, BUT OMITTING ANY COVENANTS OR RESTRICTIONS IF ANY, BASED UPON AGE, RACE, COLOR, RELIGION, SEX, GENDER, GENDER IDENTITY, GENDER EXPRESSION, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, VETERAN OR MILITARY STATUS, GENETIC INFORMATION, NATIONAL ORIGIN, SOURCE OF INCOME AS DEFINED IN SUBDIVISION (P) OF SECTION 12955, OR ANCESTRY UNLESS AND ONLY TO THE EXTENT THAT SAID COVENANT (A) IS EXEMPT UNDER TITLE 42, SECTION 3607 OF THE UNITED STATES CODE OR (B) RELATES TO HANDICAP BUT DOES NOT DISCRIMINATE AGAINST HANDICAPPED PERSONS, RECORDED NOVEMBER 15, 1985 IN OFFICIAL RECORDS UNDER RECORDER'S SERIAL NUMBER 85122351. SAID COVENANTS, CONDITIONS AND RESTRICTIONS PROVIDE THAT A VIOLATION THEREOF SHALL NOT DEFEAT OR RENDER INVALID THE LIEN OF ANY MORTGAGE OR DEED OF TRUST MADE IN GOOD FAITH AND FOR VALUE. (BLANKET IN NATURE. SAME AS PARCEL TWO PER TITLE REPORT.)

AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR PUBLIC UTILITY AND LANDSCAPE PURPOSES AS SHOWN ON THE MAP FILED ON NOVEMBER 15, 1985 IN BOOK 114 OF OFFICIAL RECORDS, AT PAGE 15 THROUGH 20 (PLOTTED HEREON)

LEGEND:

- CENTER LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE / LEASE LINE
- EASEMENT LINE / SETBACK LINE
- APPROXIMATE LIMIT OF WORK LINE
- [Pattern] STANDARD DUTY CONCRETE PAVEMENT
- [Pattern] HEAVY DUTY CONCRETE PAVEMENT
- [Pattern] LANDSCAPE/PLANTER AREA
- [Pattern] HEAVY DUTY ASPHALT PAVEMENT
- [Pattern] DETECTABLE WARNING SYSTEM
- [Pattern] COLORED CONCRETE/ENHANCED PAVING
- [Symbol] ACCESSIBLE ROUTE (LOCATION PURPOSES ONLY, DO NOT PAINT)
- [Symbol] SIGN POST
- [Symbol] ACCESSIBLE PARKING SPACE
- [Symbol] NUMBER OF PARKING SPACES

LEGAL DESCRIPTION

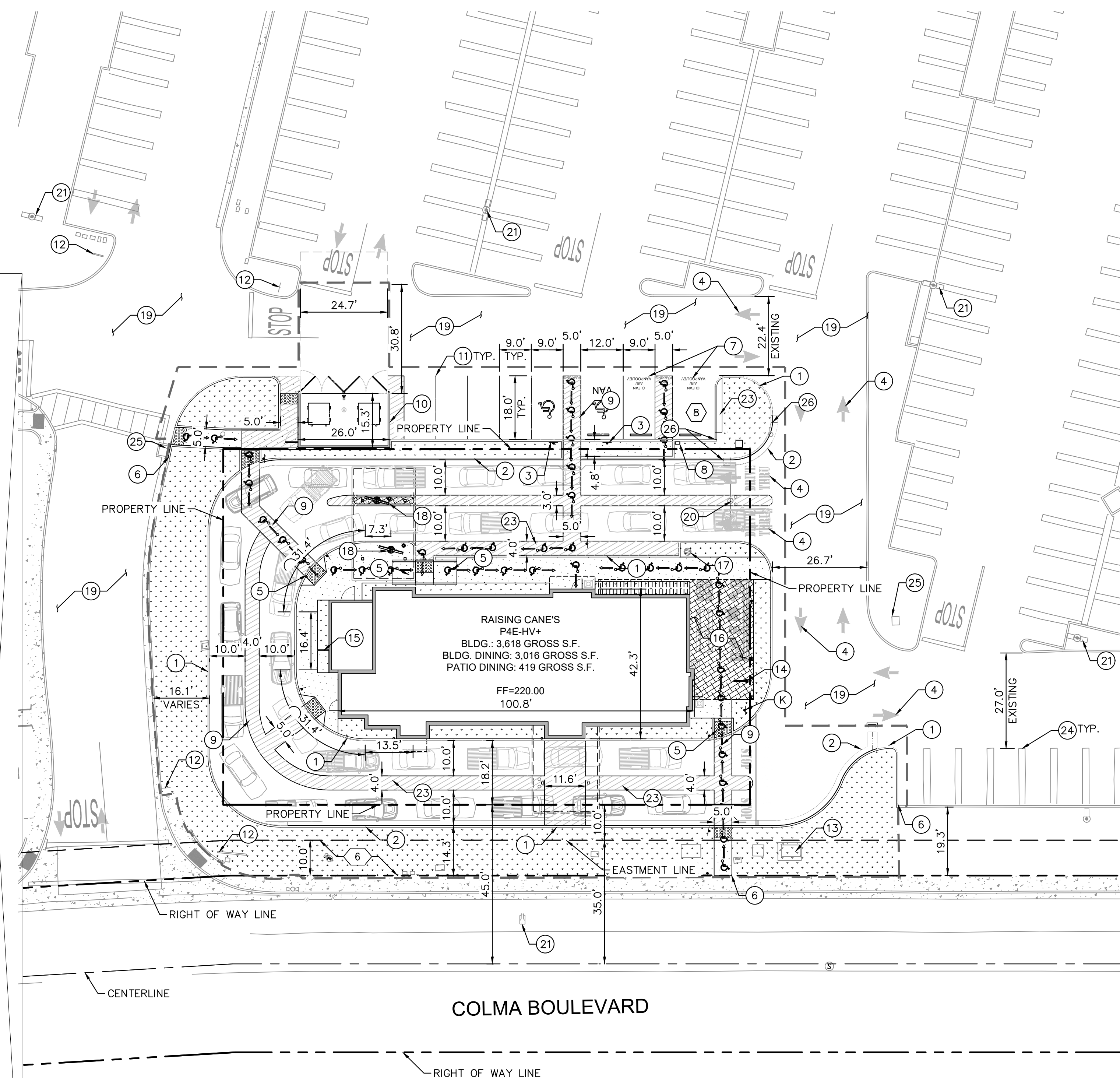
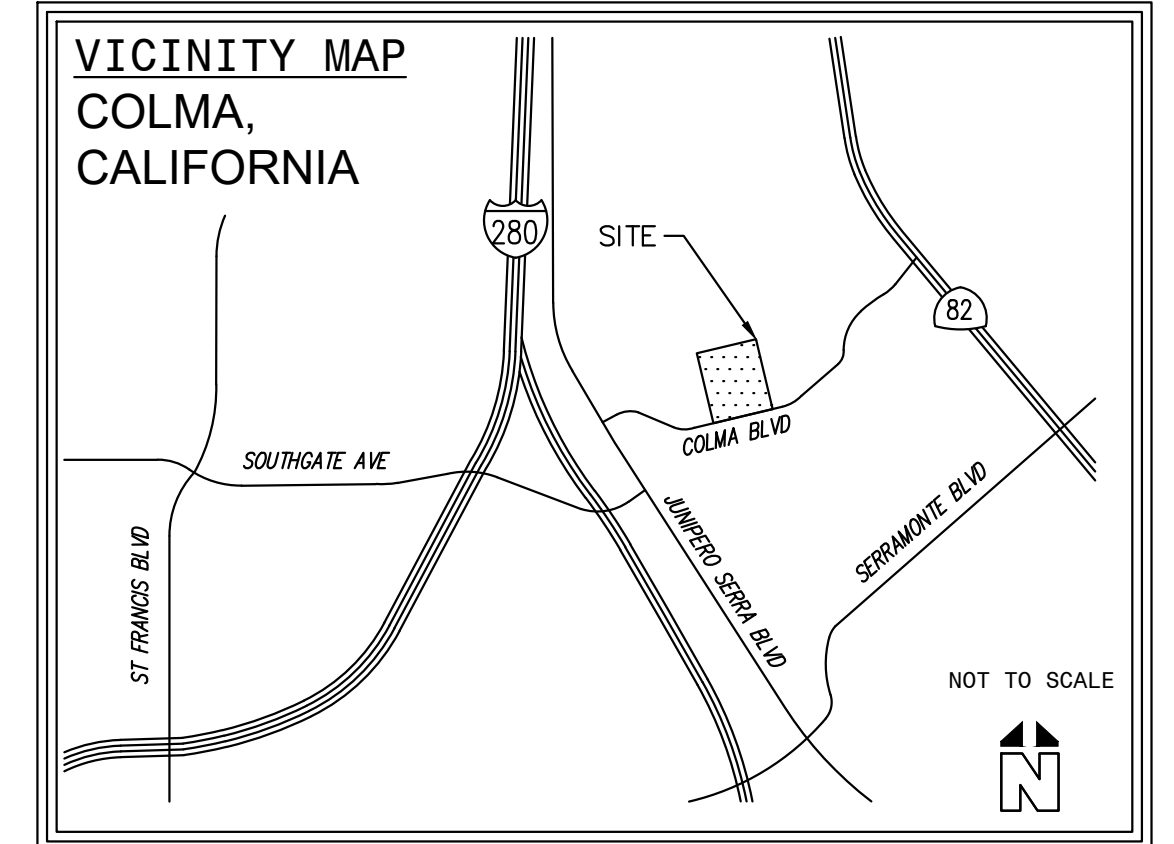
THE LAND REFERRED TO IS SITUATED IN THE COUNTY OF SAN MATEO, CITY OF COLMA, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

PARCEL ONE: (LOT 11)

BEGINNING AT THE MOST SOUTHERLY CORNER OF SAID LOT 11, AS SAID LOT IS SHOWN ON THE AFOREMENTIONED MAP (114 MAPS, PAGES 15-20); THENCE LEAVING SAID POINT OF BEGINNING ALONG THE WESTERLY PROLONGATION OF THE SOUTHERLY LINE OF SAID LOT 11, SOUTH 76° 30' 39" WEST, 2.00 FEET TO A POINT ON A LINE PARALLEL WITH AND DISTANT 2.00 FEET MEASURED AT RIGHT ANGLES WESTERLY FROM THE WESTERLY LINE OF SAID LOT 11; THENCE ALONG SAID PARALLEL LINE NORTH 13° 29' 21" WEST, 100.60 FEET; THENCE AT RIGHT ANGLES NORTH 76° 30' 39" EAST, 149.00 FEET TO THE NORTHERLY CORNER OF SAID LOT 11; THENCE ALONG THE EASTERLY LINE OF SAID LOT, SOUTH 13° 29' 21" EAST, 100.60 FEET TO THE SOUTHEASTERLY CORNER OF SAID LOT; THENCE ALONG THE SOUTHERN LINE OF SAID LOT 11 SOUTH 76° 30' 39" WEST, 147.00 FEET TO THE POINT OF BEGINNING.

PARCEL TWO:

NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS, PARKING AND UTILITIES AND FOR THE DOING OF SUCH OTHER THINGS AS ARE AUTHORIZED OR REQUIRED TO BE DONE ON SUCH COMMON AREA PURSUANT TO THE TERMS OF THE CONSTRUCTION, OPERATION AND RECIPROCAL EASEMENT AGREEMENT 280 METRO CENTER, COLMA CALIFORNIA (REA), RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS FOR THE SAN MATEO COUNTY, CALIFORNIA, ON NOVEMBER 15, 1985, AS SERIES NO. 85122351, SAN MATEO COUNTY RECORDS, OVER COMMON AREA PARCEL A, AS SHOWN ON THAT CERTAIN MAP ENTITLED "280 METRO CENTER MAP NO. 1, TOWN OF COLMA, SAN MATEO COUNTY, CALIFORNIA", FILED IN THE OFFICE OF THE RECORDER OF DEEDS FOR SAN MATEO COUNTY, CALIFORNIA ON NOVEMBER 15, 1985 IN VOLUME 114 OF MAP BOOKS AT PAGE 15 TO 20, SAN MATEO COUNTY RECORDS, EXCEPTING THEREFROM THAT PORTION DESCRIBED IN PARCEL II ABOVE. (BLANKET IN NATURE OVER PARCEL "A" OF 280 METRO CENTER MAP NO. 1)



SITE DATA

PROJECT DESCRIPTION: DEMOLITION OF EXISTING PARKING LOT AND BUILDING. NEW CONSTRUCTION OF A RAISING CANE'S DRIVE THRU RESTAURANT AND PARKING LOT.

ADDRESS: 121 COLMA BOULEVARD, COLMA, CA 94014

APN: 008-322-510

ZONING DISTRICT: C - COMMERCIAL (EXISTING)
C - COMMERCIAL (PROPOSED)

ADJACENT ZONING DISTRICTS: N: P - PARK
S: C - COMMERCIAL
W: T - TRANSIT

LAND USE: COMMERCIAL

ADJACENT LAND USE: N: PARK
S: COMMERCIAL
W: TRANSIT

GENERAL PLAN DISTRICT: TOWN OF COLMA GENERAL PLAN

SPECIFIC PLAN: N/A

FLOOD ZONE: ZONE X - AREAS DETERMINED TO BE OUTSIDE THE 0.02% ANNUAL CHANCE FLOODPLAIN.

TOTAL DISTURBED AREA: 27,435 S.F. (0.63 AC)

TOTAL PAD AREA: 3,618 S.F. (0.08 AC)

TOTAL LOT AREA: 14,989 S.F. (0.34 AC)

LOT COVERAGE: 27,435 S.F. (0.63 AC) 100%

TOTAL SITE AREA: 3,618 S.F. (0.07 AC) 11.5%

BUILDING AREA: 20,861 S.F. (0.48 AC) 76.0%

LANDSCAPE AREA: 6,574 S.F. (0.15 AC) 24.0%

PARKING/LANDSCAPE BUFFER: 10.0'

FRONT: 0.0'

REAR: 0.0'

SIDE (N): 0.0'

SIDE (S): 10.0'

PARKING SUMMARY: RAISING CANE'S: 4,037 S.F. (5 STALLS/1,000 S.F.) = 21 STALLS REQ'D PER CITY CODE

- 3,618 S.F. (BUILDING); 419 S.F. (PATIO); 244 S.F. (CORRAL)
- ADA PARKING FOR 1-25 PARKING STALLS = 1 VAN ADA PARKING STALL REQUIRED, PER 2019 CBC.
- FUTURE EV FOR 10-25 PARKING STALLS = 1 FUTURE EV STALLS REQUIRED PER 2019 CALGREEN
- 1 FUTURE EV STALL MUST BE VAN ACCESSIBLE.
- NUMBER OF REQUIRED DESIGNATED STALLS FOR LOW-EMITTING, FUEL-EFFICIENT, CARPOOL/VANPOOL, AND ELECTRIC VEHICLES (PER 2019 CALIFORNIA GREEN BUILDING STANDARDS) = 1.

TOTAL NUMBER OF PARKING SPACES PROVIDED = 9

PARKING TABLE:	RAISING CANE'S REQUIRED	PROVIDED
STANDARD	19	4
COMPACT (C)	-	-
MOTORCYCLE	1	2
DESIGNATED EV CHARGING	1	1
ACCESSIBLE TOTAL:	1	2
TOTAL:	21	8

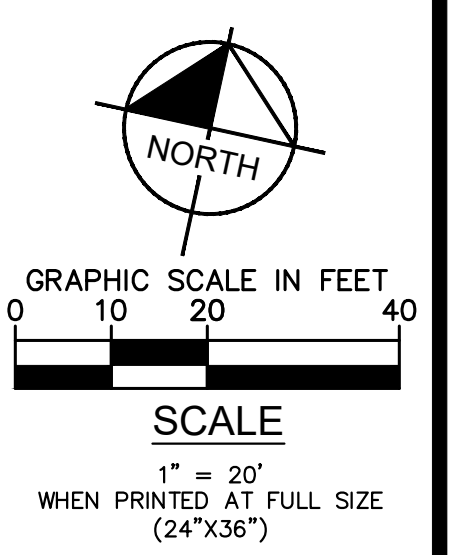
*SHARED PARKING ACCESS AVAILABLE, SEE TITLE REPORT EXCEPTION 5 HEREON.

CONSTRUCTION NOTES:

- 1 CONCRETE CURB
- 2 CONCRETE CURB AND GUTTER
- 3 ACCESSIBLE PARKING STALL SIGN
- 4 DIRECTIONAL MARKING PER PLAN
- 5 ACCESSIBLE RAMP WITH DETECTABLE WARNING (TRUNCATED DOMES)
- 6 JOIN EXISTING CURB, CURB & GUTTER, SIDEWALK.
- 7 "CLEAN AIR/VAN POOL/EV" IN 12" HIGH WHITE LETTERS AT THE END OF PARKING STALL
- 8 FUTURE E/V CHARGING STATION. CONDUIT TO BE RAN TO STALL FOR FUTURE CONNECTION
- 9 ADA PATH OF TRAVEL
- 10 COVERED TRASH ENCLOSURE AND RECYCLING BIN STORAGE
- 11 STANDARD 90° PARKING STALL STRIPING
- 12 EXISTING SIGN TO REMAIN
- 13 EXISTING TRANSFORMER TO REMAIN
- 14 SHORT TERM BIKE RACK
- 15 LONG TERM BIKE RACK
- 16 OUTDOOR COVERED PATIO TO BE STAINED STANDARD DUTY CONCRETE PAVEMENT
- 17 PREVIEW BOARD
- 18 ORDER BOARD
- 19 EXISTING DRIVEWAY TO REMAIN
- 20 HEIGHT DETECTOR POLE
- 21 EXISTING SITE LIGHTING TO REMAIN
- 22 ACCESSIBLE PATH OF TRAVEL STRIPING
- 18" WALK-OFF CURB
- 24 STANDARD 90° PARKING STALL TO REMAIN
- 25 CATCH BASIN TO REMAIN
- 26 2' WIDE CURB CUT

SIGN INFORMATION

- (K) CMUTCD SIGN R5-1 - "DO NOT ENTER"
- (L) CMUTCD SIGN R1-5 - "YIELD TO PEDESTRIANS"



ISSUE	DATE	DESCRIPTION
	09/09/2022	1ST PLANNING SUBMITTAL

DR
DRAWN BY NC
CHECKED BY CM
RECOMMENDED

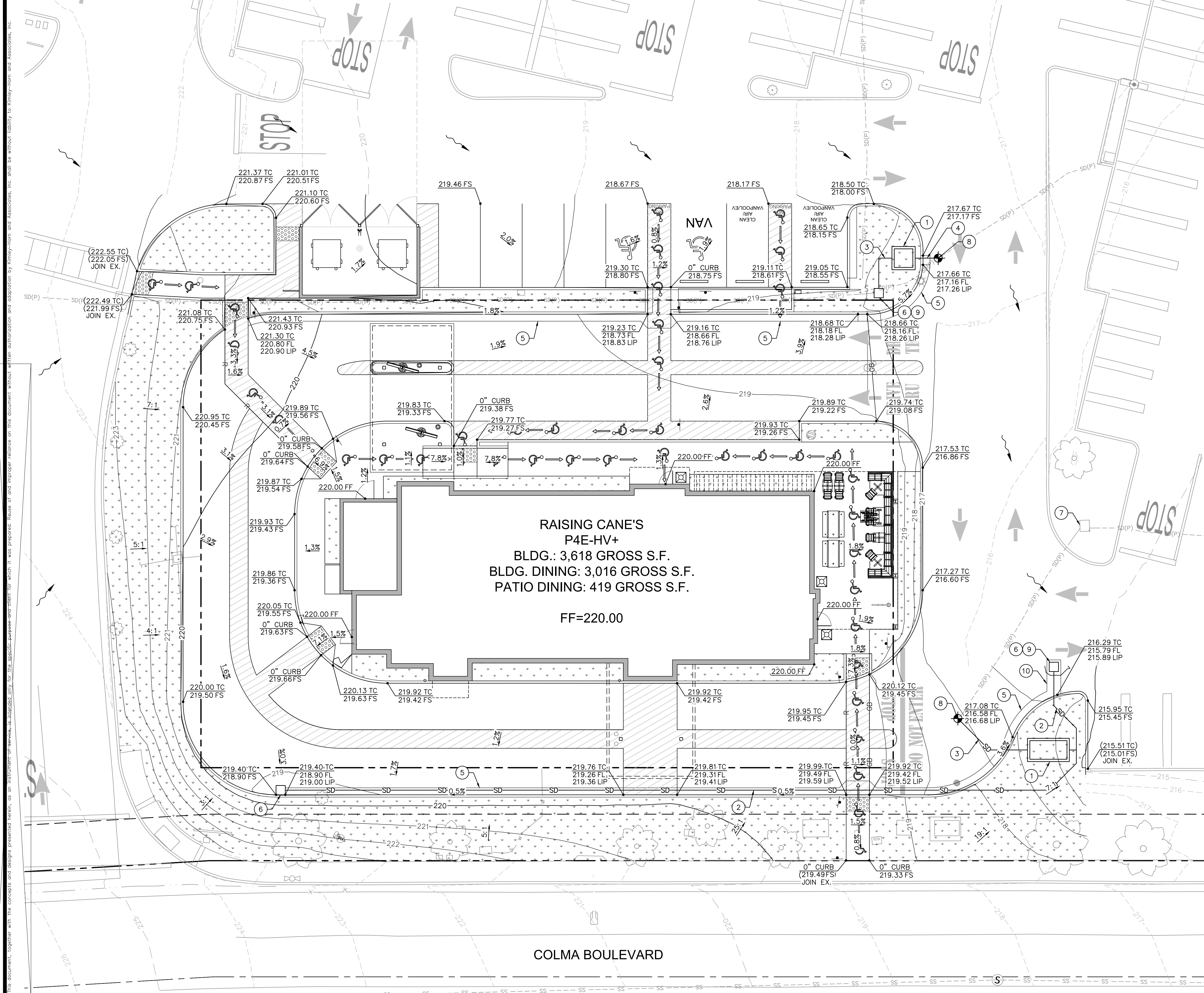
Kimley»Horn
555 CAPITOL MALL, SUITE 300
SACRAMENTO, CA 95814
916-858-8800
PREPARED UNDER THE DIRECT SUPERVISION OF:
Gregg McMillon DATE: 9/12/2022
GREGG McMILLON, R.C.E. NO. 92886 EXP. 12/31/2023

CITY OF COLMA
APPROVED BY: _____ DATE: _____
CITY ENGINEER RCE # _____ EXP _____



CITY OF COLMA
PRELIMINARY SITE PLAN

C1.0



LEGEND

	CENTER LINE
	PROPERTY LINE
	RIGHT-OF-WAY LINE / LEASE LINE
	EASEMENT LINE / SETBACK LINE
	APPROXIMATE LIMITS OF DISTURBANCE
	PROPOSED RIDGE LINE
	PROPOSED GRADE BREAK LINE
	PROPOSED SPOT ELEVATION
	EXISTING SPOT ELEVATION
	PROPOSED FLOW LINE
	EXISTING STORM DRAIN LINE
	PROPOSED STORM DRAIN LINE
	EXISTING FLOW DIRECTION

- ### GRADING AND DRAINAGE NOTES
- 1 PROPRIETARY MODULAR WETLAND BIOFILTRATION SYSTEM FOR STORM WATER TREATMENT.
 - 2 6" SDR-35 PVC STORM DRAIN PIPE SLOPED AT 0.5% MIN.
 - 3 8" SDR-35 PVC STORM DRAIN PIPE SLOPED AT 0.5% MIN.
 - 4 12" SDR-35 PVC STORM DRAIN PIPE SLOPED AT 0.5% MIN.
 - 5 CONCRETE CURB AND GUTTER.
 - 6 24" X 24" JENSEN PRECAST DROP INLET WITH CATCH BASIN FILTER INSERT FOR TRASH CAPTURE.
 - 7 PLACE FILTER INSERT FOR TRASH CAPTURE IN EXISTING CATCH BASIN.
 - 8 CONNECT TO EXISTING STORM DRAIN PIPE.
 - 9 ADD "NO DUMPING DRAINS TO BAY" STENCIL.
 - 10 CONCRETE VALLEY GUTTER.

ESTIMATED EARTHWORK QUANTITIES

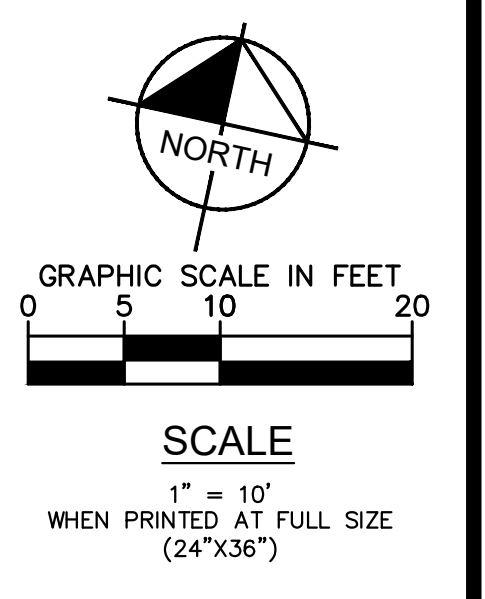
CUT:	84 CY
FILL:	282 CY
NET:	198 CY (IMPORT)

NOTE: THE ABOVE QUANTITIES ARE APPROXIMATE IN PLACE VOLUMES CALCULATED FROM THE EXISTING GROUND TO THE PROPOSED FINISHED GRADE. EXISTING GROUND IS DEFINED BY THE CONTOURS AND SPOT GRADES ON THE BASE SURVEY. PROPOSED FINISHED GRADE IS DEFINED AS THE FINAL GRADE AS INDICATED ON THE GRADING PLAN(S).

THE EARTHWORK QUANTITIES ABOVE ARE FOR PERMIT PURPOSES ONLY. THEY HAVE NOT BEEN FACTORED TO ACCOUNT FOR CHANGES IN VOLUME DUE TO BULKING, CLEARING AND GRUBBING, SHRINKAGE, OVER-EXCAVATION AND RE-COMPACTION, AND CONSTRUCTION METHODS. NOR DO THEY ACCOUNT FOR THE THICKNESS OF PAVEMENT SECTIONS, FOOTINGS, SLABS, REUSE OF PULVERIZED MATERIALS THAT WILL UNDERLIE NEW PAVEMENTS, ETC. THE CONTRACTOR SHALL RELY ON THEIR OWN EARTHWORK ESTIMATES FOR BIDDING PURPOSES.

**RAISING CANE'S
P4E-HV+
BLDG.: 3,618 GROSS S.F.
BLDG. DINING: 3,016 GROSS S.F.
PATIO DINING: 419 GROSS S.F.
FF=220.00**

COLMA BOULEVARD



ISSUE	DATE	DESCRIPTION
	09/09/2022	1ST PLANNING SUBMITTAL

DR	
DRAWN BY	NC
CHECKED BY	GM
RECOMMENDED	



Kimley-Horn
555 CAPITOL MALL, SUITE 300
SACRAMENTO, CA 95814
916-858-8800
PREPARED UNDER THE DIRECT SUPERVISION OF:
Gregg McMillon
GREGG McMILLON, R.C.E. NO. 92886 EXP. 12/31/2023
DATE: 9/12/2022

CITY OF COLMA
APPROVED BY: _____
CITY ENGINEER
RCE # _____ EXP _____ DATE _____

Raising Cane's
121 COLMA BOULEVARD
COLMA, CA 94014

CITY OF COLMA
**PRELIMINARY
GRADING PLAN**

C2.0

GENERAL EROSION CONTROL NOTES

1. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
2. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
3. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND MUST NOT CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
4. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
5. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
6. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR ANY OTHER MEANS.
7. ANY SLOPES WITH DISTURBED SOILS OR DENUED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
8. STORM WATER POLLUTION CONTROL REQUIREMENTS MUST BE INTEGRATED ONTO THE EROSION CONTROL PLANS FOR ANY CONSTRUCTION BETWEEN OCTOBER 1 AND APRIL 15. THE FOLLOWING NOTES AND BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE BEST MANAGEMENT PRACTICE HANDBOOK, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA 1993, OR THE LATEST REVISED EDITION MAY APPLY DURING THE CONSTRUCTION OF PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTIONS).
9. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE CONTRACTOR AND/OR THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES.
10. ALL STANDARDS REFERENCED FROM 2018 CASQA CONSTRUCTION BMP BOOK.

MAINTENANCE NOTES

- ALL MEASURES STATED ON THE EROSION AND SEDIMENT CONTROL PLAN, AND IN THE STORM WATER POLLUTION PREVENTION PLAN, SHALL BE MAINTAINED IN FULLY FUNCTIONAL CONDITION UNTIL NO LONGER REQUIRED FOR A COMPLETED PHASE OF WORK OR FINAL STABILIZATION OF THE SITE. ALL EROSION AND SEDIMENTATION CONTROL MEASURES MAY BE CHECKED BY A QUALIFIED PERSON ON A SCHEDULE THAT MEETS OR EXCEEDS THE GOVERNING REQUIREMENTS, AND CLEANED AND REPAIRED IN ACCORDANCE WITH THE FOLLOWING:
1. INLET PROTECTION DEVICES AND BARRIERS SHALL BE REPAIRED OR REPLACED IF THEY SHOW SIGNS OF UNDERMINING, OR DETERIORATION.
 2. FILTREXX SILT/SOXXS OR APPROVED EQUAL SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS IF DAMAGED. SEDIMENT SHALL BE REMOVED FROM THE FILTREXX SILT/SOXXS OR APPROVED EQUAL WHEN IT REACHES ONE-HALF THE HEIGHT OF THE FILTREXX SILT/SOXX OR APPROVED EQUAL.
 3. THE CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOW OF MUD ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE CONSTRUCTION ENTRANCES AS CONDITIONS DEMAND.
 4. THE TEMPORARY PARKING AND STORAGE AREA SHALL BE KEPT IN GOOD CONDITION (SUITABLE FOR PARKING AND STORAGE). THIS MAY REQUIRE PERIODIC TOP DRESSING OF THE TEMPORARY PARKING AS CONDITIONS DEMAND.
 5. ALL MAINTENANCE OPERATIONS SHALL BE DONE IN A TIMELY MANNER.

LEGEND

- CENTER LINE
- - - - - PROPERTY LINE
- - - - - RIGHT-OF-WAY LINE/LEASE LINE
- - - - - EASEMENT / SETBACK LINE
- - - - - APPROXIMATE CIVIL LIMIT OF WORK LINE
- ○ ○ ○ ○ FILTREXX SILT/SOXX OR APPROVED EQUAL
- X- CONSTRUCTION FENCE WITH GREEN SCREEN
- SD- PROPOSED STORM DRAIN LINES
- SD- EXISTING STORM DRAIN LINES
- PROPOSED STORM DRAIN INLET
- INLET PROTECTION
- ▨ CONSTRUCTION ENTRANCE
- ▨ STOCKPILE AREA
- ▨ SANITARY AREA, TRASH STORAGE, HAZARDOUS MATERIAL, CONCRETE MANAGEMENT, VEHICLE MAINTENANCE AND EQUIPMENT STORAGE AREA
- ▨ MATERIAL STORAGE AND DELIVERY
- DIRECTION OF FLOW
- ▨ LIMITS OF EARTHWORK PREPARATION FOR PROPOSED BUILDING AND TRASH ENCLOSURE. REFER TO EARTHWORK SECTION ON GEOTECHNICAL REPORT FOR MORE INFORMATION.

BMP NOTES

THE FOLLOWING BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BMP HANDBOOK DATED NOVEMBER 2018, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THE PROJECT. ADDITIONAL MEASURES MAY BE REQUIRED AS NEEDED:

- EC-1, SCHEDULING
- EC-2, PRESERVATION OF EXISTING VEGETATION
- WE-1, WIND EROSION CONTROL
- NS-1, WATER CONSERVATION PRACTICES
- NS-3, PAVING AND GRINDING OPERATIONS
- NS-7, POTABLE WATER/IRRIGATION
- NS-12, CONCRETE CURING
- NS-13, CONCRETE FINISHING
- WM-4, SPILL PREVENTION AND CONTROL
- WM-7, CONTAMINATED SOIL MANAGEMENT
- WM-9, SANITARY/SEPTIC WASTE MANAGEMENT
- WM-10, LIQUID WASTE MANAGEMENT
- SE-7, STREET SWEEPING AND VACUUMING

CONTRACTOR RESPONSIBLE FOR TRAFFIC CONTROL AND PEDESTRIAN CONTROL WHILE PERFORMING WORK IN THE PUBLIC RIGHT-OF-WAY.

SITE PREPARATION SHOULD BE IN ACCORDANCE WITH GEOTECHNICAL INVESTIGATION

CONTRACTOR TO USE BEST MANAGEMENT PRACTICES TO ENSURE COMPLIANCE WITH NPDES AND WATER MANAGEMENT DISTRICT REGULATIONS FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES AND DEWATERING OPERATIONS.

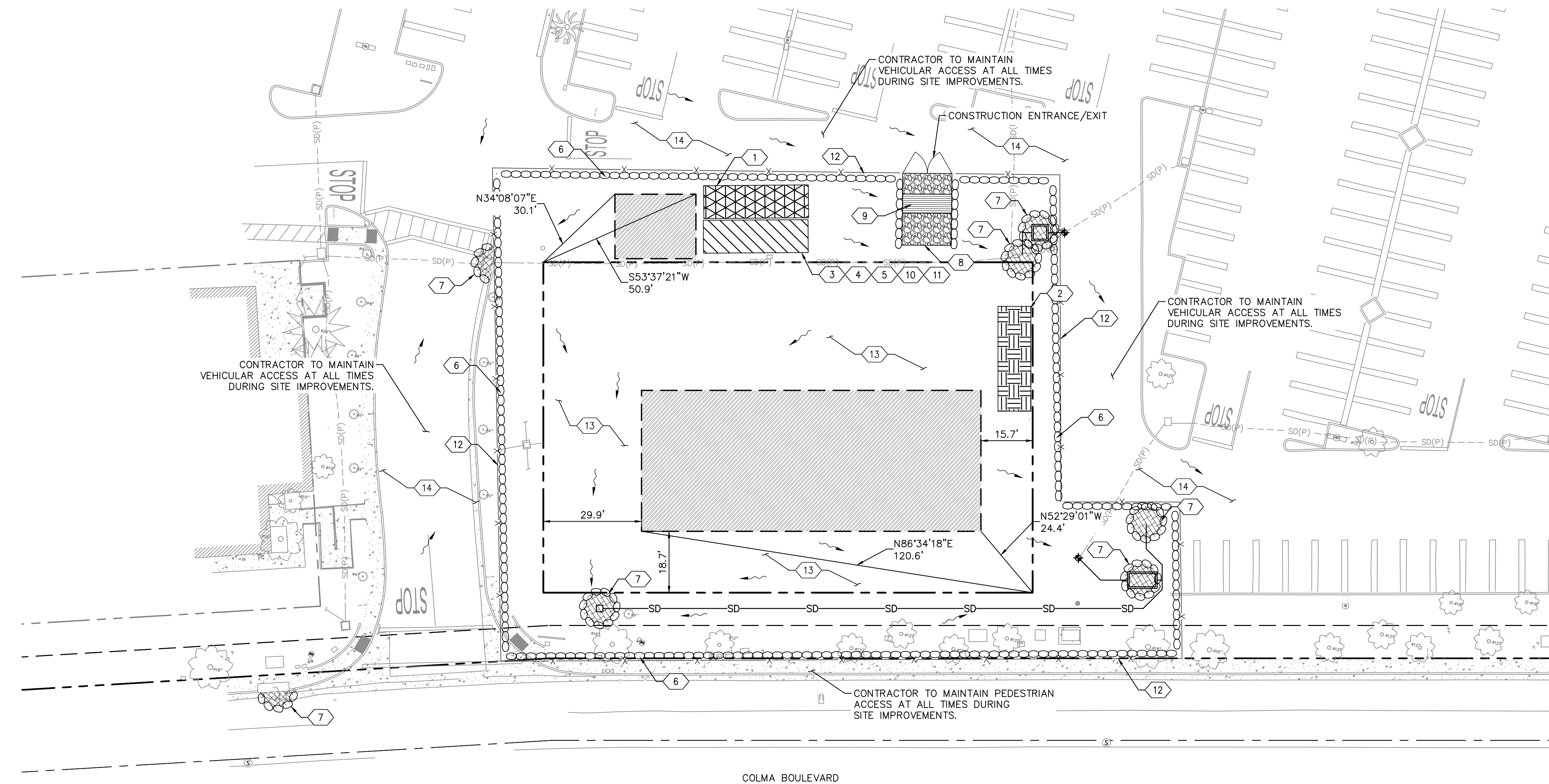
EROSION CONTROL NOTES

- ① WM-1, MATERIAL DELIVERY AND STORAGE.
- ② WM-3, STOCKPILE MANAGEMENT, CONTRACTOR TO SET UP STOCKPILE AREA.
- ③ WM-5, SANITARY AREA.
- ④ WM-6, HAZARDOUS WASTE MANAGEMENT.
- ⑤ WM-8, CONCRETE WASTE MANAGEMENT.
- ⑥ SE-5, INSTALL FILTREXX SILT/SOXX OR APPROVED EQUAL. REFER TO SHEET C3.1 FOR MORE INFORMATION.
- ⑦ SE-10, STORM DRAIN INLET PROTECTION. INSTALL PIG SEDIMENT DRAIN INLET FILTER AT ALL DROP INLETS AND ERTEC CURB INLET GUARD AT CURB INLETS OR APPROVED EQUAL.
- ⑧ TC-1, STABILIZED CONSTRUCTION ENTRANCE/EXIT; REFER TO DETAIL 1, SHEET C3.1.
- ⑨ TC-3, ENTRANCE/OUTLET TIRE WASH; REFER TO DETAIL 2, SHEET C3.1.
- ⑩ NS-10, VEHICLE AND EQUIPMENT MAINTENANCE.
- ⑪ SD-32, TRASH STORAGE AREA.
- ⑫ CONSTRUCTION FENCE WITH GREEN SCREEN
- ⑬ WE-1, WIND EROSION CONTROL
- ⑭ SE-7, VACUUM SWEEPING OF ADJACENT STREETS.

SEQUENCE OF CONSTRUCTION

UPON IMPLEMENTATION AND INSTALLATION OF THE FOLLOWING AREAS: TRAILER, PARKING, LAYDOWN, PORTA-POTTY, WHEEL WASH, CONCRETE WASHOUT, FUEL AND MATERIAL STORAGE CONTAINERS, SOLID WASTE CONTAINERS, ETC., IMMEDIATELY DENOTE THEM ON THE SITE MAPS AND NOTE ANY CHANGES IN LOCATION AS THEY OCCUR THROUGHOUT THE CONSTRUCTION PROCESS.

- PHASE 1:
1. CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE (1) AND CHAIN LINK FENCE WITH GREEN SCREEN AND THEN FILTREXX SILT/SOXX OR APPROVED EQUAL (OR GRAVEL BAGS) WHERE SHOWN ON PLAN.
 2. INSTALL INLET PROTECTION AT EXISTING INLET(S).
 3. PREPARE CLEARING AND GRUBBING OF THE SITE, IF APPLICABLE.
- PHASE 2:
4. PERFORM MASS GRADING. ROUGH GRADE TO ESTABLISH PROPOSED DRAINAGE PATTERNS.
 5. START CONSTRUCTION OF THE BUILDING PAD AND STRUCTURES.
 6. TEMPORARILY SEED WITH PURE LIVE SEED, THROUGHOUT CONSTRUCTION, DISTURBED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE OR AS REQUIRED BY GENERIC PERMIT.



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DR
DRAWN BY
NC
CHECKED BY
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RECOMMENDED



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 555 CAPITOL MALL, SUITE 300
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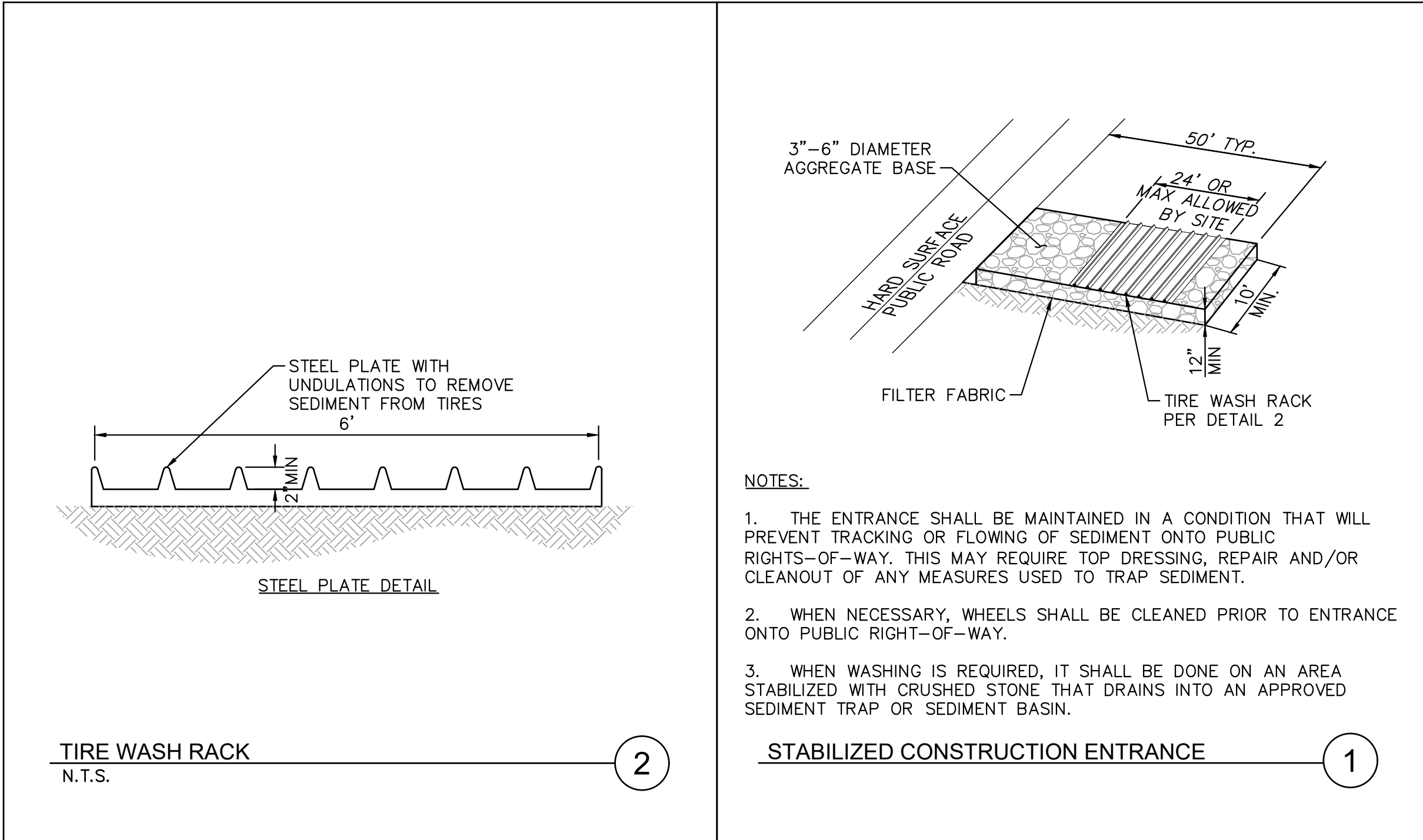
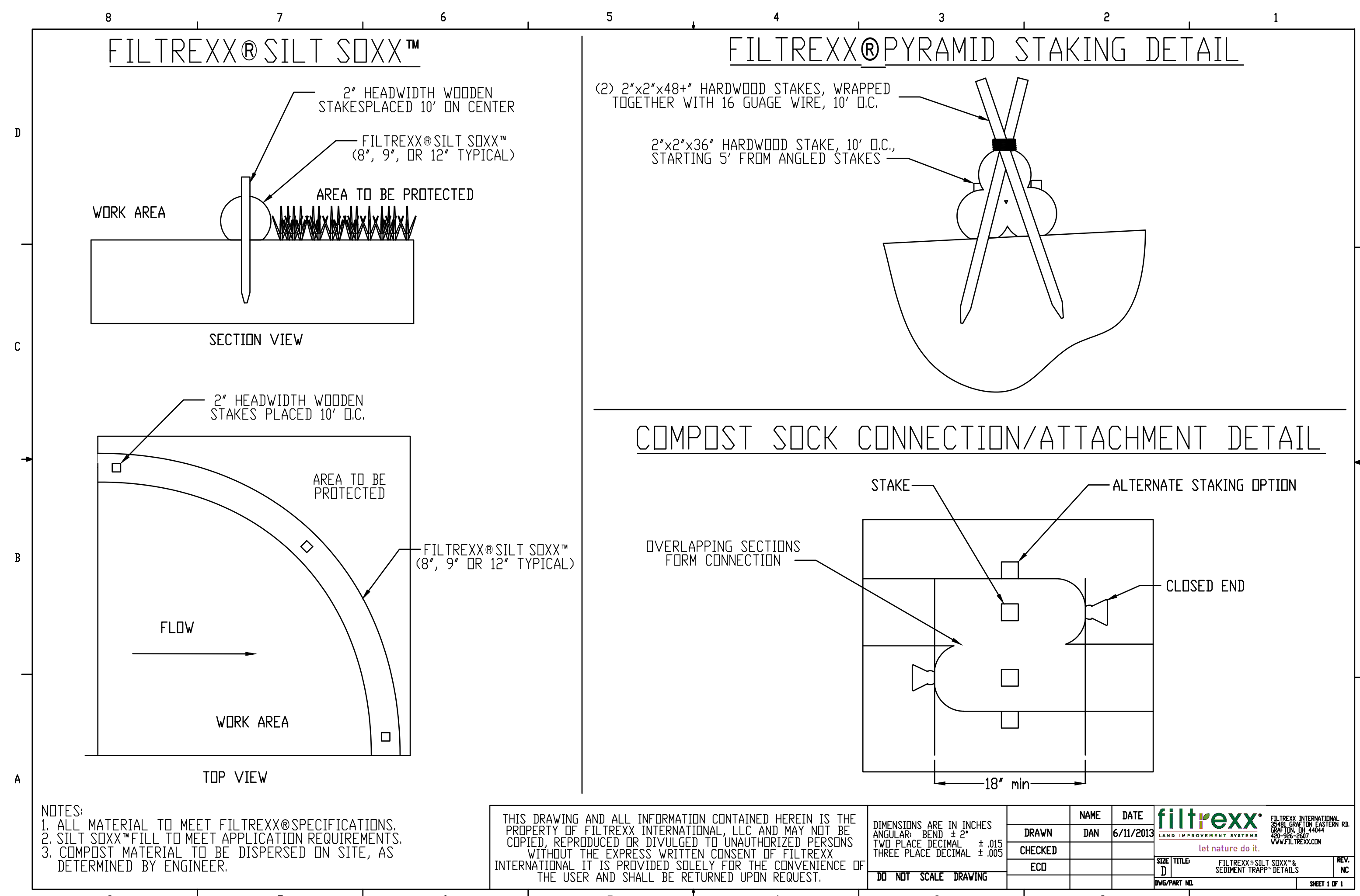
CITY OF COLMA
 APPROVED BY: _____ DATE: _____
 CITY ENGINEER RCE # _____ EXP _____



CITY OF COLMA
PRELIMINARY EROSION CONTROL PLAN

C3.0

This document, together with the concept and design presented herein, is an instrument of service, and shall be without liability to Kimley-Horn and Associates, Inc. until it is prepared, issued, and accepted by the applicable public authority for the specific purpose and project for which it was prepared. Use of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



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	09/09/2022	1ST PLANNING SUBMITTAL

ENGINEERS SEAL

DR
 DRAWN BY
 NC
 CHECKED BY
 GM
 RECOMMENDED

Kimley»Horn

555 CAPITOL MALL, SUITE 300
 SACRAMENTO, CA 95814
 916-858-5800

PREPARED UNDER THE DIRECT SUPERVISION OF:
Gregg McMillon DATE: 9/12/2022
 GREGG McMILLON, R.C.E. NO. 92886 EXP. 12/31/2023

CITY OF COLMA

APPROVED BY: _____ DATE: _____

CITY ENGINEER RCE # _____ EXP _____



CITY OF COLMA

PRELIMINARY EROSION CONTROL DETAILS

C3.1

TITLE REPORT EXCEPTIONS

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INDICATES TITLE REPORT EXCEPTION NUMBER.

6 AN EASEMENT AFFECTING THAT PORTION OF SAID LAND FOR PUBLIC UTILITY AND LANDSCAPE PURPOSES AS SHOWN ON THE MAP FILED ON NOVEMBER 15, 1985 IN BOOK 114 OF OFFICIAL RECORDS, AT PAGE 15 THROUGH 20.

LEGEND

- CENTER LINE
- - - - - PROPERTY LINE
- - - - - EASEMENT LINE
- - - - - RIGHT-OF-WAY LINE
- - - - - APPROXIMATE LIMIT OF WORK LINE
- - - - - EXISTING WATER LINE
- - - - - EXISTING SANITARY SEWER LINE
- - - - - EXISTING STORM DRAIN LINE
- - - - - PROPOSED WATER LINE
- - - - - PROPOSED FIRE WATER LINE
- - - - - PROPOSED SANITARY SEWER LINE
- - - - - PROPOSED GREASE WASTE LINE
- - - - - PROPOSED STORM DRAIN LINE
- - - - - EXISTING UTILITIES TO BE REMOVED
- ○ ○ ○ GREASE WASTE INTERCEPTOR

WATER NOTES

- W1 DOMESTIC WATER POINT OF CONNECTION.
- W2 FIRE WATER POINT OF CONNECTION.
- W3 FIRE WATER BACKFLOW PREVENTER.
- W4 2" PVC SCH. 80 DOMESTIC WATER LINE.
- W5 6" PVC C-900 CLASS 150 FIRE WATER LINE.
- W6 BUILDING POINT OF CONNECTION (5-FT FROM BUILDING FACE).
- W7 3/4" HOT / COLD WATER TO HOSE BIB IN TRASH ENCLOSURE.
- W8 PROPOSED FIRE HYDRANT.
- W9 EXISTING FIRE HYDRANT TO REMAIN.
- W10 1" PVC SCH. 80 IRRIGATION WATER LINE.
- W11 4" PVC C-900 CLASS 150 FIRE WATER LINE.
- W12 EXISTING REMOTE FIRE DEPARTMENT CONNECTION (FDC) AND PIV TO REMAIN.
- W13 2" DOMESTIC WATER BACKFLOW PREVENTER.
- W14 1" IRRIGATION WATER BACKFLOW PREVENTER.

SANITARY SEWER NOTES

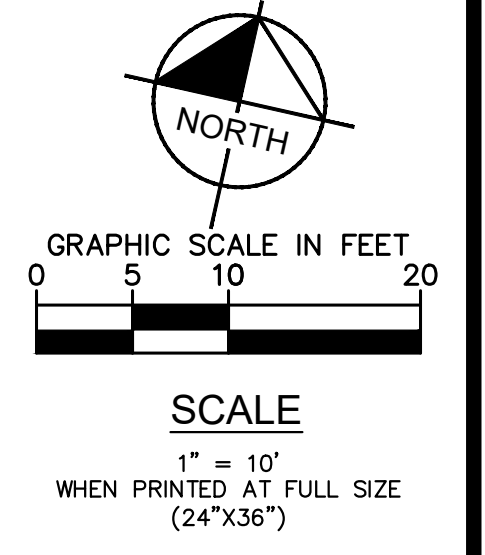
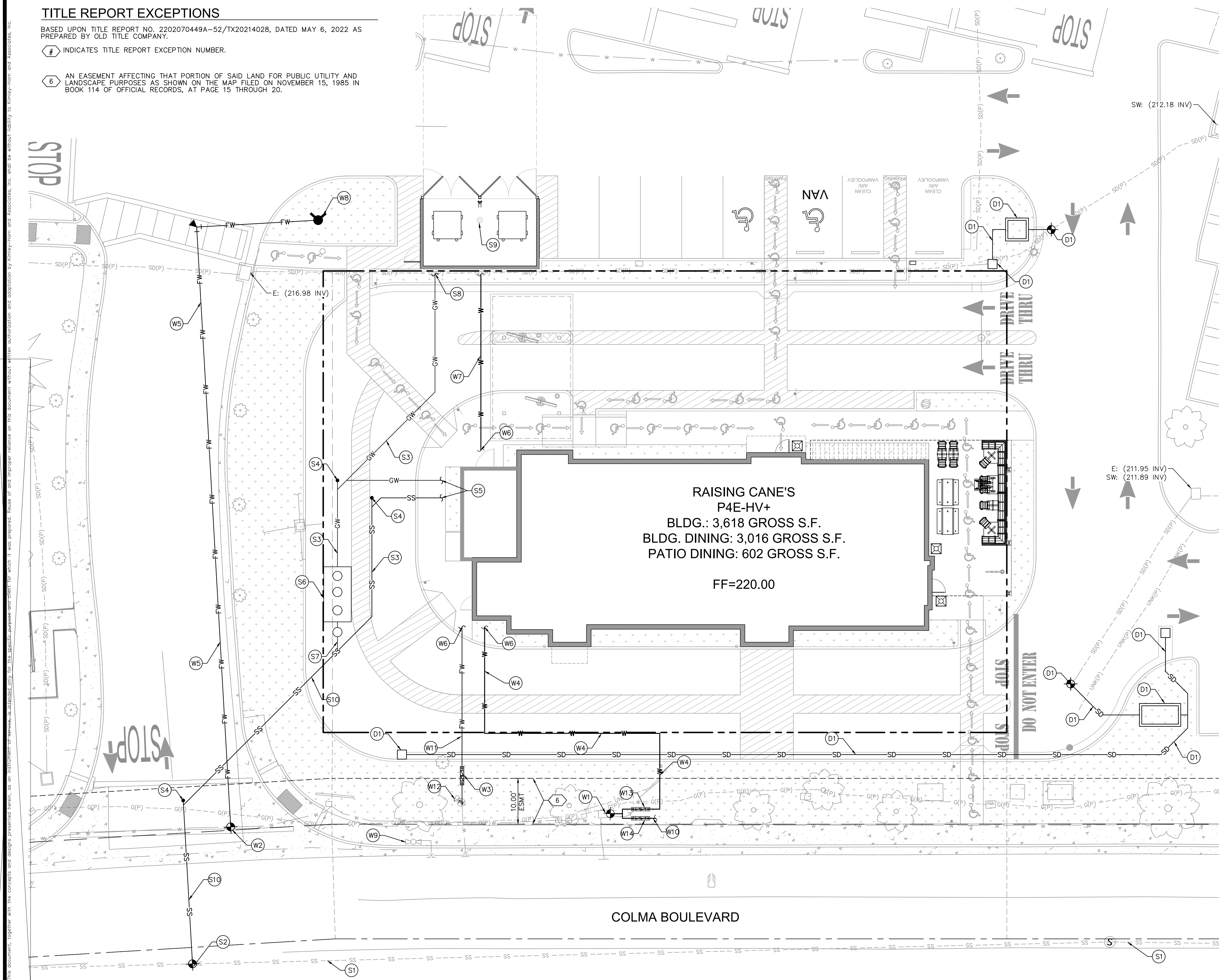
- S1 EXISTING SEWER MAIN.
- S2 CONNECT TO EXISTING SEWER MAIN.
- S3 4" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE.
- S4 SEWER CLEAN-OUT.
- S5 BUILDING POINT OF CONNECTION.
- S6 JENSEN PRECAST 1500 GAL. GREASE INTERCEPTOR.
- S7 JENSEN PRECAST SAMPLE BOX.
- S8 GREASE WASTE LINE POINT OF CONNECTION AT TRASH ENCLOSURE.
- S9 DRAIN IN TRASH ENCLOSURE. DRAIN TO SEWER.
- S10 8" SDR-35 PVC SEWER PIPE AT MINIMUM 2% SLOPE.

STORM DRAIN NOTES

- D1 REFER TO SHEETS 2 & 3 FOR ON-SITE STORM DRAIN SYSTEM INFORMATION.

GENERAL NOTES

1. THE EXISTING UTILITIES SHOWN ON THE PLAN ARE BASED ON AVAILABLE RECORDS. A TOPOGRAPHICAL AND UNDERGROUND SURVEY WILL BE REQUIRED TO DETERMINE THE FINAL LOCATION OF ALL EXISTING AND PROPOSED UTILITY ROUTINGS.
2. COORDINATION WITH UTILITY PURVEYORS WILL BE REQUIRED TO DETERMINE FINAL LOCATION OF ALL PROPOSED CONNECTIONS TO PUBLIC MAIN LINES.



ISSUE	DATE	DESCRIPTION
	09/09/2022	1ST PLANNING SUBMITTAL

DR
DRAWN BY
NC
CHECKED BY
GM
RECOMMENDED



Kimley-Horn
555 CAPITOL MALL, SUITE 300
SACRAMENTO, CA 95814
916-858-8800
PREPARED UNDER THE DIRECT SUPERVISION OF:
Gregg McMillon DATE: 9/12/2022
GREGG McMILLON, R.C.E. NO. 92886 EXP. 12/31/2023

CITY OF COLMA
APPROVED BY:
CITY ENGINEER RCE # _____ DATE _____
EXP _____

Raising Cane's
121 COLMA BOULEVARD
COLMA, CA 94014

CITY OF COLMA
PRELIMINARY UTILITY PLAN

C4.0