

JTG ARCHITECTURE
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KIA SERRAMONTE
EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PLANNING PERMIT FOR: KIA SERRAMONTE NEW CONSTRUCTION 600 SERRAMONTE BLVD COLMA, CA 94014

DEMOLITION NOTES

- COMPLY WITH APPLICABLE LOCAL, STATE AND FEDERAL CODES AND REGULATIONS PERTAINING TO SAFETY OF PERSONS, PROPERTY AND ENVIRONMENTAL PROTECTION.
- PROVIDE AN MAINTAIN BARRICADES, LIGHTING, AND GUARDRAILS AS REQUIRED BY APPLICABLE CODES AND REGULATIONS TO PROTECT OCCUPANTS OF BUILDING AND WORKERS.
- ERECT AND MAINTAIN DUSTPROOF PARTITIONS AS REQUIRED TO PREVENT SPREAD OF DUST, FUMES AND SMOKE, ETC. TO OTHER PARTS OF THE BUILDING. ON COMPLETION, REMOVE PARTITIONS AND REPAIR DAMAGED SURFACES TO MATCH ADJACENT SURFACES.
- IF DEMOLITION IS PERFORMED IN EXCESS OF THAT REQUIRED, RESTORE AFFECTED AREAS AT NO COST TO THE OWNER.
- REMOVE FROM SITE DAILY AND LEGALLY DISPOSE OF REFUSE, DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- REMOVE DESIGNATED PARTITIONS, COMPONENTS, BUILDING EQUIPMENT AND FIXTURES AS REQUIRED FOR NEW WORK.
- REMOVE ABANDONED ELECTRICAL, TELEPHONE AND DATA CABLING AND DEVICES, UNLESS OTHERWISE NOTED.
- REMOVE EXISTING FLOOR FINISHES AND PREPARE SUB-FLOOR AS REQUIRED FOR NEW FLOOR FINISHES.
- SCOPE OF DEMOLITION INDICATED IS TO BE IN ITS ENTIRETY UNLESS NOTED OTHERWISE.

GENERAL CONTRACTOR NOTES

- MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED & PROTECTED TO PREVENT DAMAGE & DETERIORATION UNTIL USE. FAILURE TO PROTECT MATERIALS MAY BE CAUSE FOR REJECTION OF WORK
- VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING ANY WORK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES OF THESE PLANS AND SPECIFICATIONS
- MAINTAIN THE JOB SITE IN A CLEAN, ORDERLY CONDITION FREE OF DEBRIS AND LITTER. EACH SUB-CONTRACTOR IMMEDIATELY UPON COMPLETION OF EACH PHASE OF HIS WORK SHALL REMOVE ALL TRASH & DEBRIS AS A RESULT OF HIS OPERATIONS
- NO PORTION OF THE WORK REQUIRING A SHOP DRAWING OR SAMPLE SUBMISSION SHALL BE COMMENCED UNTIL THE SUBMISSION HAS BEEN REVIEWED & ACTED UPON BY THE ARCHITECT. ALL SUCH PORTIONS OF THE WORK SHALL BE IN ACCORDANCE W/ THE REVIEWED SHOP DRAWINGS & SAMPLES
- CONFINE OPERATIONS AT THE SITE TO AREAS PERMITTED BY LAW, ORDINANCES, PERMITS & THE CONTRACT DOCUMENTS, AND SHALL NOT UNREASONABLY ENCUMBER THE SITE WITH ANY MATERIALS OR EQUIPMENT
- SHOULD AN ERROR APPEAR IN THE NOTES, SPECIFICATIONS, OR DRAWINGS, OR IN WORK DONE BY OTHERS, AFFECTING THIS WORK, NOTIFY THE ARCHITECT AT ONCE FOR INSTRUCTIONS AS TO PROCEDURE. IF CONTRACTOR PROCEEDS W/ WORK AFFECTED WITHOUT INSTRUCTIONS FROM THE ARCHITECT, THE CONTRACTOR SHALL MAKE GOOD ANY RESULTING DAMAGE OR DEFECT
- SHOULD CONFLICT OCCUR IN OR BETWEEN DRAWINGS & SPECIFICATIONS, OR WHERE DETAIL REFERENCES ON CONTRACT DRAWINGS HAVE BEEN OMITTED, CONTRACTOR IS DEEMED TO HAVE ESTIMATED THE MOST EXPENSIVE MATERIALS AND CONSTRUCTION INVOLVED UNLESS HE SHALL HAVE ASKED FOR AND OBTAINED ANY WRITTEN DECISIONS FROM THE ARCHITECT AS TO WHICH METHOD OR MATERIALS WILL BE REQUIRED
- PATCHING, REPAIRING AND REPLACING OF MATERIAL SURFACES CUT OR DAMAGED IN EXECUTION OF WORK SHALL BE DONE W/ APPLICABLE MATERIALS SO THAT SURFACES REPLACED WILL, UPON COMPLETION, MATCH SURROUNDING SIMILAR SURFACES
- ALL MECHANICAL & ELECTRICAL EQUIPMENT SHALL HAVE A UL DESIGN LISTING NUMBER. ANY EQUIPMENT NOT LISTED WILL REQUIRE FIELD TESTING & CERTIFIED BY AN APPROVED TESTING AGENCY. IT IS THE RESPONSIBILITY OF THE OWNER & HIS DESIGN CONSTRUCTION TEAM TO NOTIFY THE BUILDING DEPARTMENT IF FIELD TESTING IS REQUIRED FOR ANY EQUIPMENT WITHOUT AN EQUIVALENT LISTED LABEL APPROVED BY THE LOCAL CITY BUILDING DEPARTMENT. PROOF OF EQUIPMENT CERTIFICATION SHALL BE SUBMITTED & APPROVED BEFORE A CERTIFICATE OF OCCUPANCY CAN BE ISSUED
- HAZARDOUS MATERIALS: THE ARCHITECT AND THE ARCHITECT'S CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO ASBESTOS OR HAZARDOUS OR TOXIC SUBSTANCES IN ANY FORM AT THE PROJECT SITE. PROFESSIONAL SERVICES RELATED OR IN ANY WAY CONNECTED WITH THE INVESTIGATION, DETECTION, ABATEMENT, REPLACEMENT, USE, SPECIFICATION, OR REMOVAL OF PRODUCTS, MATERIALS, OR PROCESSES CONTAINING ASBESTOS OR HAZARDOUS OR TOXIC MATERIALS ARE BEYOND THE SCOPE OF THIS AGREEMENT.
- IF PROJECT IS BID PRIOR TO RECEIVING ALL AGENCY APPROVALS FOR PERMIT, THE CONTRACTOR SHALL CARRY CONTINGENCIES IN BIDDING TO COVER CHANGES THAT MAY RESULT FROM PLAN CHECK COMMENTS. CONTRACTOR IS RESPONSIBLE FOR REVIEWING ALL DRAWINGS AND UPDATING THE BUDGET BASED ON PERMITTED DRAWINGS

PROJECT LAYOUT

- THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF THE PROJECT AND ALL OF ITS COMPONENT PARTS. LAYOUT ENGINEERING AND DIMENSIONAL INFORMATION, IN ADDITION TO THE INFORMATION CONTAINED ON THE CONTRACT DRAWINGS, THAT MAY BE DETERMINED BY THE CONTRACTOR AS NECESSARY TO ACCURATELY CONSTRUCT THE PROJECT IN CONFORMANCE WITH THE DESIGN INTENT AS SHOWN IN THE CONTRACT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR.

ABBREVIATIONS

AB	ANCHOR BOLT	JT.	JOINT
AC	ASPHALT CONCRETE	KP	KICK PLATE
AD	AREA DRAIN	KIT.	KITCHEN
ADJ.	ADJACENT		
AF	ABOVE FINISH FLOOR		
ALUM.	ALUMINUM	LAV.	LAVATORY
ALT.	ALTERNATE	LB	LAG BOLT
ARCH.	ARCHITECT/ARCHITECTURAL	LBS	POUND
AVG.	AVERAGE	LF	LINEAR FOOT
AWC	ACOUSTICAL WALL COVERING	LL	LIVE LOAD
		LS	LAG SCREW
		LVL	LAMINATED VENEER LUMBER
BD.	BOARD	MAX.	MAXIMUM
BLDG.	BUILDING	MB	MACHINE BOLT
BLKG.	BLOCKING	MECH.	MECHANICAL
BRNZE	BRONZE	MFD.	MANUFACTURED
BTM.	BOTTOM	MFR.	MANUFACTURER
BTWN.	BETWEEN	MICRO.	MICROWAVE
BUR	BUILT UP ROOFING	MIN.	MINIMUM
BW	BOTH WAYS	MISC.	MISCELLANEOUS
		MTD.	MOUNTED
		MTL.	METAL
CB	CATCH BASIN	(N)	NEW
CF	CUBIC FEET	NIC	NOT IN CONTRACT
CG	CORNER GUARD	NA	NOT APPLICABLE
CGJ	CONTROL JOINT	NTS	NOT TO SCALE
CLG.	CEILING		
CLR.	CLEAR	O/	OVER
CNU	CONCRETE MASONRY UNIT	OC	ON CENTER
CO.	CLEANOUT	OH	OVERHEAD
COTG.	CLEANOUT TO GRADE	OPNG.	OPENING
COL.	COLUMN		
CONC.	CONCRETE	PL.	PLATE
CONT.	CONTINUOUS	PLF	POUNDS PER LINEAL FOOT
CPT.	CARPET	PLAM.	PLASTIC LAMINATE
CTR.	CERAMIC TILE	PLYWD.	PLYWOOD
CTW	CENTER	PNT.	PAINT
DW	COLD WATER	PSF	POUNDS PER SQUARE FOOT
DBL.	DOUBLE	PSI	POUNDS PER SQUARE INCH
DEPT.	DEPARTMENT	PT	PRESSURE TREATED
DF.	DOUGLAS FIR	PVC.	POLYVINYLCHLORIDE
DIA.	DIAMETER	PVMT.	PAVEMENT
DIAG.	DIAGONAL	RA	RETURN AIR
DIM.	DIMENSION	RA.D.	RETURN AIR DOWN
DISP.	DISPENSER	RB	RUBBER BASE
DL	DEAD LOAD	RCP	REFLECTED CEILING PLAN
DN	DOWN	RD	ROOF DRAIN
DR.	DOOR	RWD.	REDWOOD
DWG.	DRAWING	REF.	REFERENCE
DW	DISHWASHER	REFR.	REFRIGERATOR
		REG.	REGISTER
(E)	EXISTING	REQD.	REQUIRED
EA.	EACH	REV.	REVISION
EB.	EXPANSION BOLT	RM.	ROOM
EFS	EXTERIOR INSULATION FINISH SYSTEM	RO	ROUGH OPENING
EXP.	EXPANSION JOINT	RWL	RAINWATER LEADER
ELEC.	ELECTRICAL	SCHED.	SCHEDULE
ELEV.	ELEVATOR/ELEVATION	SD	STORM DRAIN
ENCL.	EDGE NAILING	SEC.	SECTION
ENCL.	ENCLOSURE	SEE	SEE ELECTRICAL DRAWINGS
EP.	ELECTRICAL PANEL	S.F.	SQUARE FOOT
EQUIP.	EQUIPMENT	S.F.S.D.	SEE FOOT SERVICE DRAWINGS
EXT.	EXTERIOR	SHTG.	SHEATHING
FA	FIRE ALARM	SHWR.	SHOWER
FD	FLOOR DRAIN	SIM.	SIMILAR
FDC	FIRE DEPARTMENT CONNECTION	S.M.D.	SEE MECHANICAL DRAWINGS
FE	FIRE EXTINGUISHER	SPEC	SPECIFICATION
FEC	FIRE EXTINGUISHER CABINET	S.F.D.	SEE PLUMBING DRAWINGS
FF	FINISH FLOOR	S.S.D.	SEE STRUCTURAL DRAWINGS
FH	FIRE HYDRANT	S.S.	STAINLESS STEEL
FHC	FIRE HOSE CABINET	SS	SOLID SURFACE
FIN.	FINISH	S.T.C.	STANDARD TRANSMISSION COEFFICIENT
FLSHG.	FLASHING	STD.	STANDARD
FLR.	FLOOR	STL.	STEEL
FLUOR.	FLUORESCENT	STRUC.	STRUCTURAL
FMC	FACE OF CONCRETE	SUSP.	SUSPENDED
FOS	FACE OF STUD	SVS.	SYSTEM
FOV	FACE OF WALL	T.	TEMPERED
FRM.	FIBERGLASS REINFORCED PLASTIC FRAMING	TEL.	TELEPHONE
FRMG.	FRAMING	T.O.C.	TOP OF CURB
FT.	FOOT	T&G	TONGUE & GROOVE
GA.	GAUGE	TS	TUBE STEEL
GALV.	GALVANIZED	T.V.	TELEVISION
GC	GENERAL CONTRACTOR	TYP.	TYPICAL
GLB	GLUE LAMINATED BEAM		
GIR	GIRDER	U.O.N.	UNLESS OTHERWISE NOTED
GSM	GALVANIZED SHEET METAL	VCT	VINYL COMPOSITION TILE
GRB	GYPSUM WALL BOARD	VENT	VENTILATING/VENTILATOR
		VERT.	VERTICAL
HB	HOSE BIBB	V.I.F.	VESTIBULE
HD	HOLDOWN		
HDR.	HEADER	W/	WITH
HGR.	HANGER	WC	WATER CLOSET
HM.	HOLLOW METAL	WD.	WOOD
HORIZ.	HORIZONTAL	WH	WATER HEATER
HR	HOUR	WDW.	WINDOW
HT.	HEIGHT	WID	WITHOUT
HVAC	HEATING/VENTILATING/AIR CONDITIONING	WP.	WATERPROOF
HW	HOT WATER	WSCT.	WAINSCOT
		WT.	WEIGHT
IN.	INCH/INCHES	WWF	WELDED WIRE FABRIC
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		
JAN.	JANITOR		

MATERIAL SYMBOLS

BASE ROCK
CONCRETE
EARTH (SECTION)
EXISTING WALL SECTION
WOOD MEMBER (BLOCKING)
WOOD MEMBER (CONTINUOUS, NOMINAL SIZE INDICATED)
PLYWOOD
GYPSUM WALL BOARD SECTION
METAL (STEEL OR IRON)
RIGID INSULATION BOARD OR TILE

DRAWING SYMBOLS

COLUMN GRID LINE
SECTION
DETAIL
ELEVATION
INTERIOR ELEVATION
ELEVATION
ROOM IDENTIFICATION
INDICATES WINDOW TYPE
DOOR IDENTIFICATION
INDICATES WINDOW OPENING NUMBER
REVISION CLOUD
DELTA
FOLD/MATCH LINE

SYMBOLS

& AND ≥ GREATER THAN OR EQUAL TO
∠ ANGLE ≤ LESS THAN OR EQUAL TO
@ AT ± PLUS OR MINUS
○ CENTER LINE ± PROPERTY LINE OR PLATE
° DEGREES # POUND
Δ DELTA
∅ DIAMETER
ℓ FLOWLINE

PLUMBING FIXTURE ANALYSIS

SHOWROOM INTERIOR GROSS AREA = 12,215 SF

OCCUPANTS
8 OCCUPANTS = 7,560/150 = 51 MALE & FEMALE OCCUPANTS
TOTAL MALE OCCUPANTS = 26 | TOTAL FEMALE OCCUPANTS 26
5 OCCUPANTS = 6,990/4,000 = 2 MALE & FEMALE OCCUPANTS
TOTAL MALE OCCUPANTS = 1 | TOTAL FEMALE OCCUPANTS = 1

GRAND TOTAL MALE OCCUPANTS = 26 | GRAND TOTAL FEMALE OCCUPANTS = 26

FIXTURES REQUIRED
MALE = 1 WATER CLOSET, 1 URINAL & 1 SINK
FEMALE = 2 WATER CLOSET & 1 SINK

SERVICE GARAGE INTERIOR GROSS AREA = 5,417 SF

S-1 OCCUPANTS = 5,417/500 = 11 MALE & FEMALE OCCUPANTS
TOTAL MALE OCCUPANTS = 6 | TOTAL FEMALE OCCUPANTS = 6

FIXTURES REQUIRED
MALE = 1 WATER CLOSET, 1 URINAL & 1 SINK
FEMALE = 1 WATER CLOSET & 1 SINK

TOTAL FIXTURES REQUIRED
MALE = 2 WATER CLOSET, 2 URINALS & 2 SINK
FEMALE = 3 WATER CLOSET & 2 SINK

TOTAL FIXTURES PROVIDED
UNISEX = 3 TOILETS & 3 SINKS
MALE = 1 WATER CLOSET, 2 URINAL & 1 SINK
FEMALE = 1 WATER CLOSET & 1 SINK

FIRE DEPARTMENT NOTES

- APPROVED ADDRESS NUMBERS SHALL BE VISIBLE AND LEGIBLE FROM STREET FRONTAGE & SHALL CONTRAST W/ THEIR BACKGROUND
- PROVIDE AN EMERGENCY TELEPHONE ON THE JOB PRIOR TO ANY CONSTRUCTION
- A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK
- A MINIMUM NUMBER SETS OF DRAWINGS APPROVED BY THE CITY FIRE DEPARTMENT SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO COMMENCEMENT OF WORK
- KNOX BOX IS RECOMMENDED FOR BUILDINGS & REQUIRED FOR ALL FIRE DEPARTMENT ACCESS GATES. CONTACT LOCAL FIRE DEPARTMENT FOR ADDITIONAL INFORMATION
- FIRE DEPARTMENT ACCESS ROADWAYS SHALL BE MAINTAINED CLEAR & UNOBSTRUCTED. PROVIDE PROPER FIRE LANE SIGNAGE & CURB STRIPING PER THE VEHICLE CODE SECTION 22500.1. CONTACT THE FIRE DEPARTMENT FOR FIRE LANE PROGRAM GUIDELINES
- NO HAZARDOUS MATERIALS WILL BE STORED AND/OR USED WITHIN THE BUILDING, WHICH WILL EXCEED THE QUANTITIES LISTED IN CBC TABLES 3-D & 3-E

CONSULTANTS

CLIENT/TENANT
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COLMA, CA 94014

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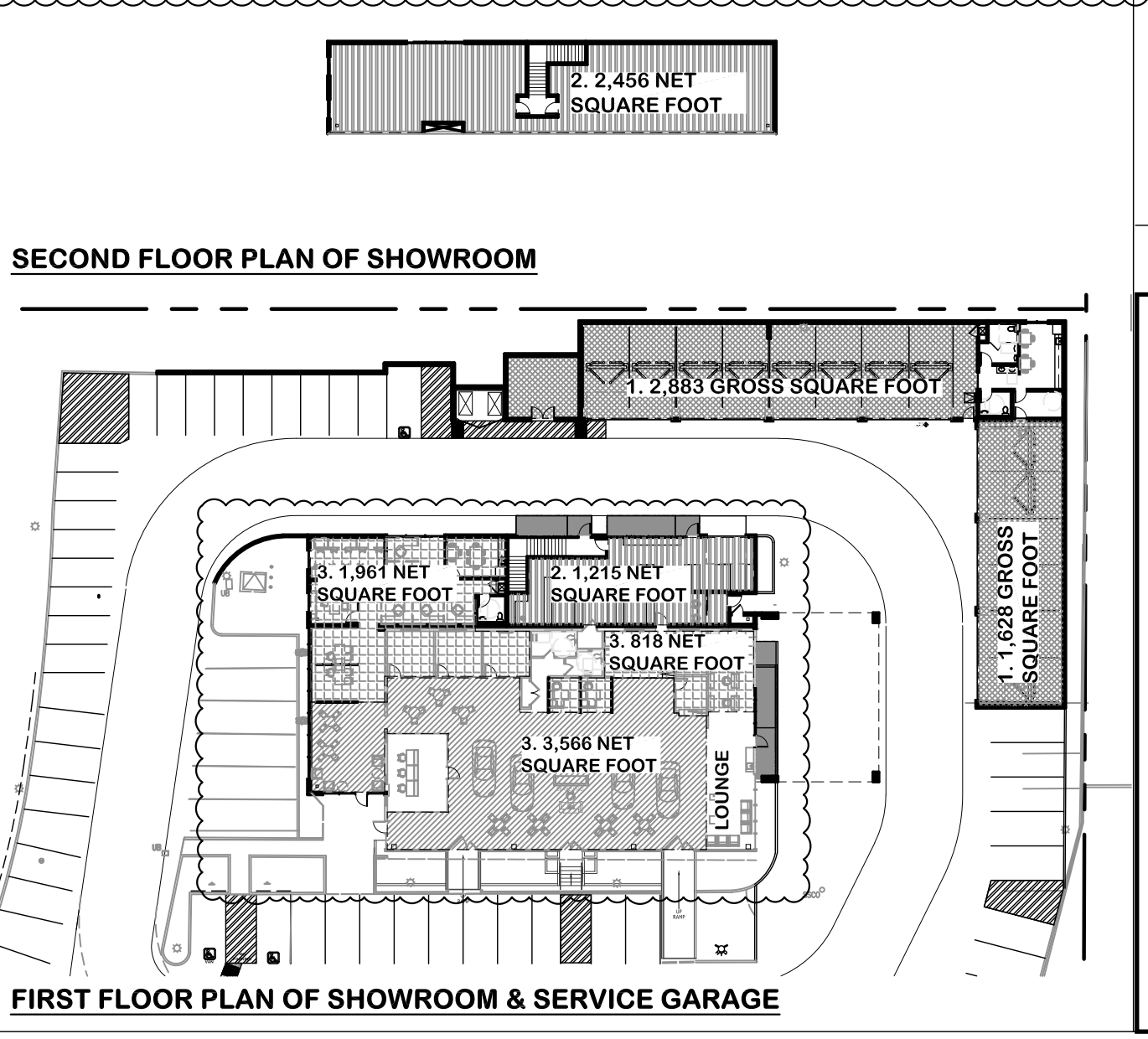
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E YUEXU_99@YAHOO.COM

PARKING ANALYSIS

VEHICULAR REPAIR AND SERVICE USES:
1 PARKING SPACE FOR EACH 200 SQUARE FEET OF GROSS BUILDING AREA
GROSS AREA = 12,224
19,550 / 200 = 98 SPACES

	PARKING COMPLIANCE	(E) & (N) AREA	PARKING REQUIRED	PARKING PROVIDED ON-SITE	PARKING PROVIDED OFF-SITE*
1. VEHICULAR REPAIR OR SERVICE	1 PER 200 SF	4,511 SF	23 CARS	16 CARS	7 CARS
2. NON-VEHICULAR REPAIR & SERVICE	1 PER EACH 5 REGULAR EMPLOYEES OR 1 PER 2,000 SF	3,671 SF	2 CARS	2 CARS	0 CARS
3. ENCLOSED SHOWROOM	1 PER 100 SF	3,566 SF	36 CARS	36 CARS	0 CARS
4. OFFICE	1 PER 300 SF	2,779 SF	10 CARS	4 CARS	6 CARS
TOTAL CAR PARKING REQUIRED			71 CARS	58 CARS	13 CARS
ACCESSIBLE PARKING REQUIRED			3 ACCESSIBLE (1 VAN)	3 ACCESSIBLE (1 VAN)	
ALLOWED COMPACT SPACES (30%)			18 CARS	18 CARS	

* OWNER HAS AN AGREEMENT WITH DALY CITY SERRAMONTE CENTER, LLC TO PROVIDE 550 PARKING SPACES AT 3 SERRAMONTE CENTER. SHUTTLES WILL BE PROVIDED AS NEED FOR EMPLOYEES
**SALES FLOOR AREA MAY EXCLUDE OFFICES, LOUNGES, RESTROOMS, MECHANICAL, ETC.



DRAWING INDEX

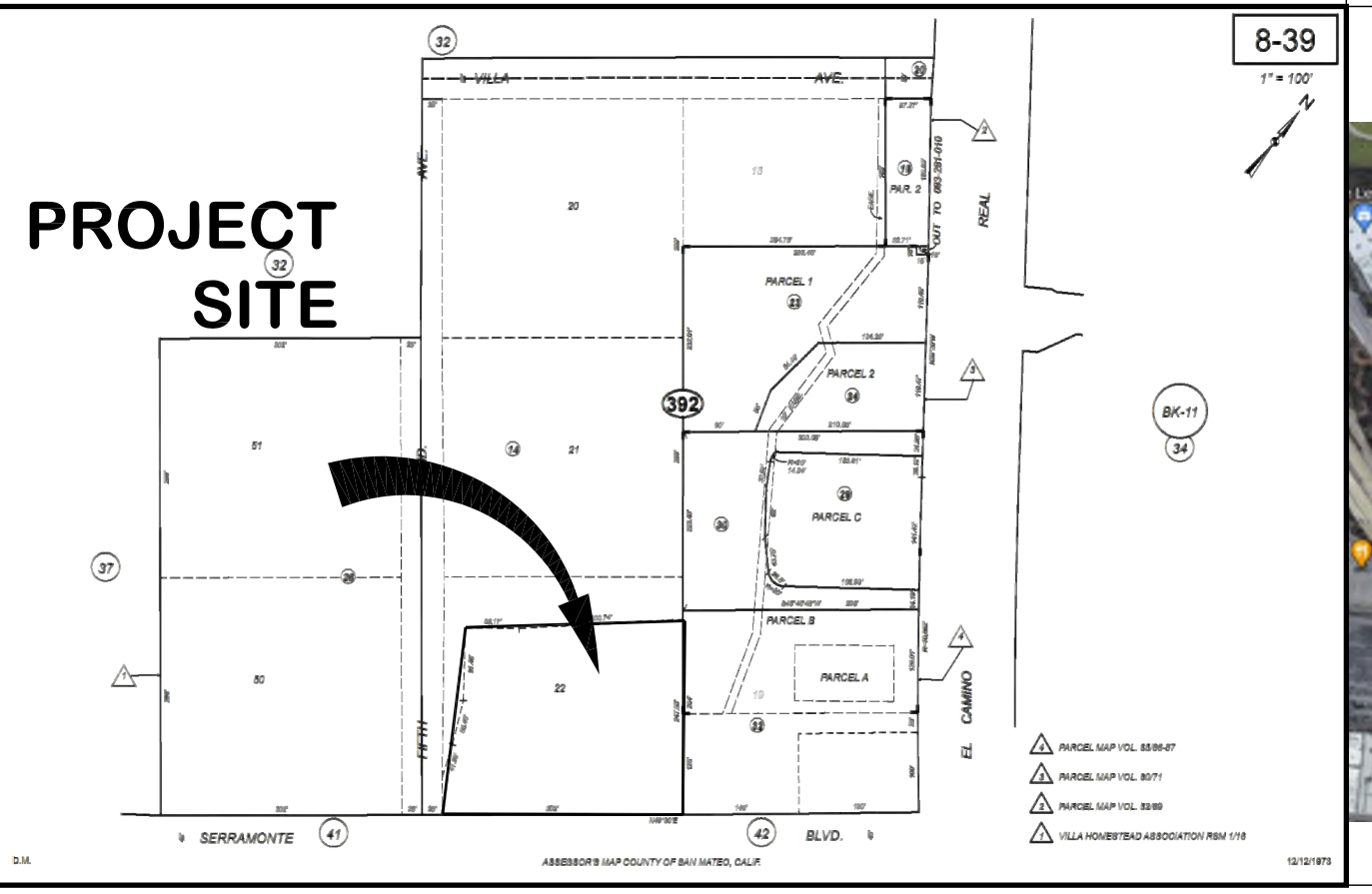
ARCHITECTURAL	CIVIL	STRUCTURAL - FOR REFERENCE ONLY
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A0.3	C-1.1	S3.0
A0.4	C-1.2	S4.0
A0.5	C-3	S5.1
A0.6	C-3.1	S7.0
A1.1	C-4	S7.1
A1.2	C-5	
A2.1		
A2.2		
A2.3		
A3.1		
A3.2		
A3.3		
A4.2		
A5.1		
A5.2		
A5.3		
A5.4		
A6.1		
A6.2		
A6.3		
A6.4		
A6.5		
A7.1		
A8.1		
A8.2		

CODE ANALYSIS

SINGLE BUILDING ANALYSIS
PROPOSED CONSTRUCTION TYPE: V-B WITH FIRE SPRINKLERS
SHOWROOM BUILDING: B & S1 = 12,215 SQUARE FEET
• EXISTING = 5,633 SQUARE FEET
• NEW = 6,582 SQUARE FEET
SERVICE GARAGE BUILDING: S1 = 5,417 SQUARE FEET
BUILDING TOTAL = 17,632 SQUARE FEET
• 1ST FLOOR = 15,164 SQUARE FEET
• 2ND FLOOR = 2,468 SQUARE FEET

SHOWROOM & SERVICE GARAGE BUILDINGS
TABLE 504.4
ALLOWABLE NUMBER OF STORIES
MAXIMUM B OCCUPANCY: 3 STORIES
MAXIMUM S-1 OCCUPANCY: 2
PROPOSED B & S-1 OCCUPANCY: 2 STORIES

TABLE 506.2
AREA ALLOWABLE FOR V-B BUILDING OF TWO OR MORE STORIES ABOVE GRADE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM:
MAXIMUM B OCCUPANCY: 27,000 SQUARE FEET PER FLOOR
MAXIMUM S-1 OCCUPANCY: 27,000 SQUARE FEET PER FLOOR
PROPOSED 1ST FLOOR B & S1 OCCUPANCY: 15,164 SQUARE FEET
PROPOSED 2ND FLOOR B & S1 = 2,468 SQUARE FEET



PROJECT DATA

PROPOSED USE - GROUND FLOOR	AREA (SQUARE FEET)
(14) SERVICE BAYS	4,488
UTILITY ROOM	341
PARTS STORAGE - RETAIL SALES - TECH PARTS (INCLUDING ENCLOSING (E) CANOPY)	2,942
EMPLOYEE AREAS & BATHROOMS	928
PROPOSED GROUND FLOOR TOTAL	8,699
PROPOSED USE - 2ND FLOOR	AREA (SQUARE FEET)
PARTS STORAGE	2,833
PROPOSED SECOND FLOOR TOTAL	2,833
PROPOSED CANOPY	1,413
PROPOSED NEW LOT COVERAGE	AREA (SQUARE FEET)
GROUND FLOOR	8,699
CANOPY	1,413
TOTAL	10,112
PROPOSED TOTAL LOT COVERAGE	AREA (SQUARE FEET)
EXISTING LOT COVERAGE	5,630
EXISTING CANOPY	975
PROPOSED NEW LOT COVERAGE	10,112
TOTAL	16,717
LOT COVERAGE	AREA (SQUARE FEET)
TOTAL LOT SIZE	70,800 (1.625 ACRES)
PROPOSED NEW LOT COVERAGE	16,717
PROPOSED TOTAL LOT COVERAGE PERCENTAGE	16,717/70,800 = 23.6%
FLOOR AREA RATIO (FAR) CALC	AREA (SQUARE FEET)
PROPOSED GROSS FLOOR AREA	16,717 + 2,833 = 19,550
PROPOSED NEW FAR PERCENTAGE	19,550/70,800 = 27.6%

APN: 008392140
LOT SIZE: 70,800 SQUARE FEET
EXISTING BUILDING: 5,633 SQUARE FEET
PROPOSED SHOWROOM BUILDING: 12,215 SQUARE FEET
PROPOSED SERVICE GARAGE BUILDING: 5,417 SQUARE FEET
SPRINKLER: YES
NO. OF STORIES: 2
TYPE OF CONSTRUCTION: TYPE V-B
TYPE OF OCCUPANCY: B & S1
PROJECT AREA: 16,000 SF
PROVIDED SITE PARKING: NO CHANGE
CODES USED: 2022: C.B.C., C.P.C., C.M.C., C.E.C., C.F.C., CALIFORNIA ENERGY CODE, CAL GREEN BUILDING STANDARDS CODE, HANDICAPPED ACCESSIBILITY REGULATIONS, AND ADOPTED CODES

PER SECTION 304:
BUSINESS GROUP B: MOTOR VEHICLE SHOWROOMS

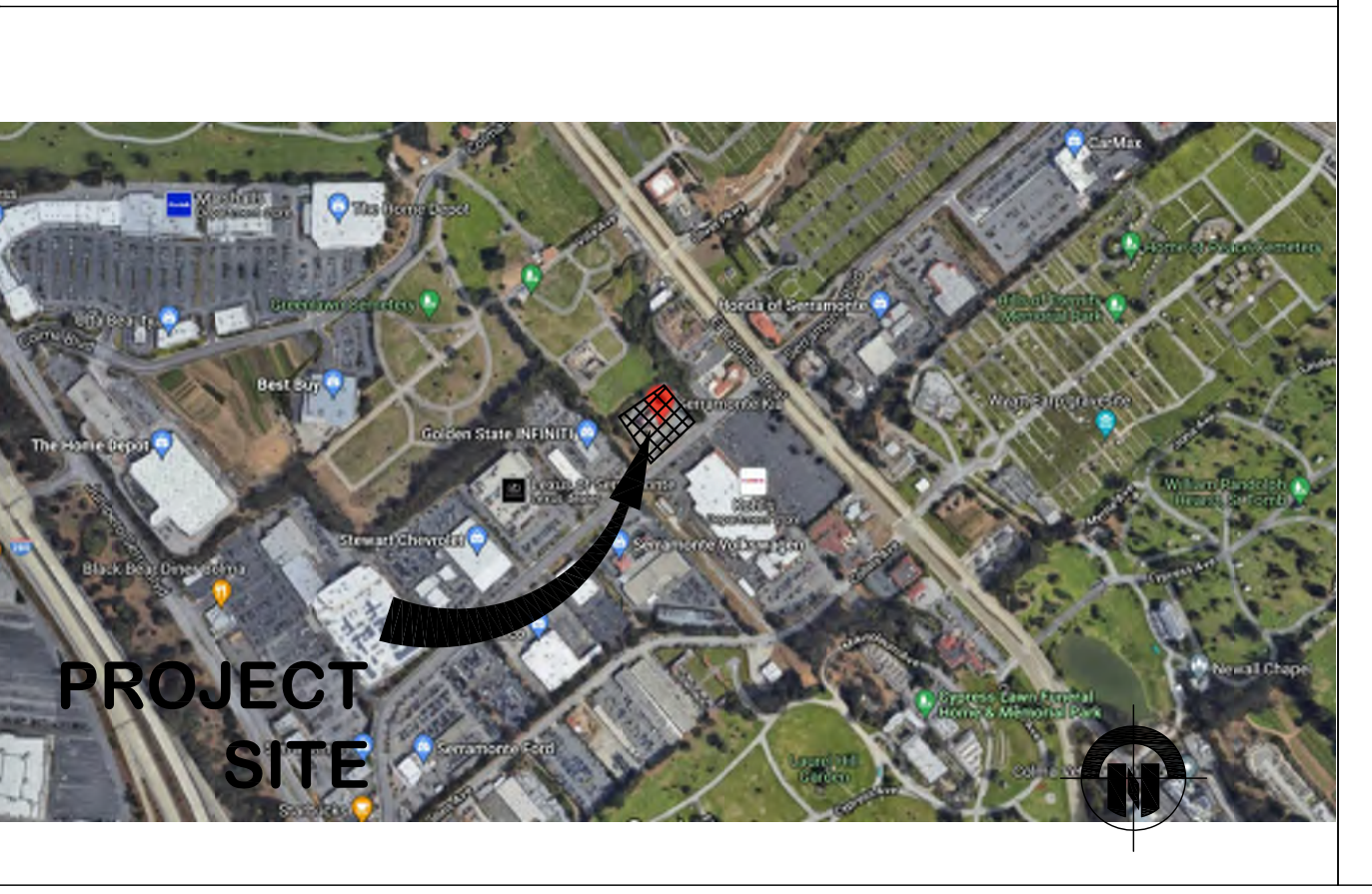
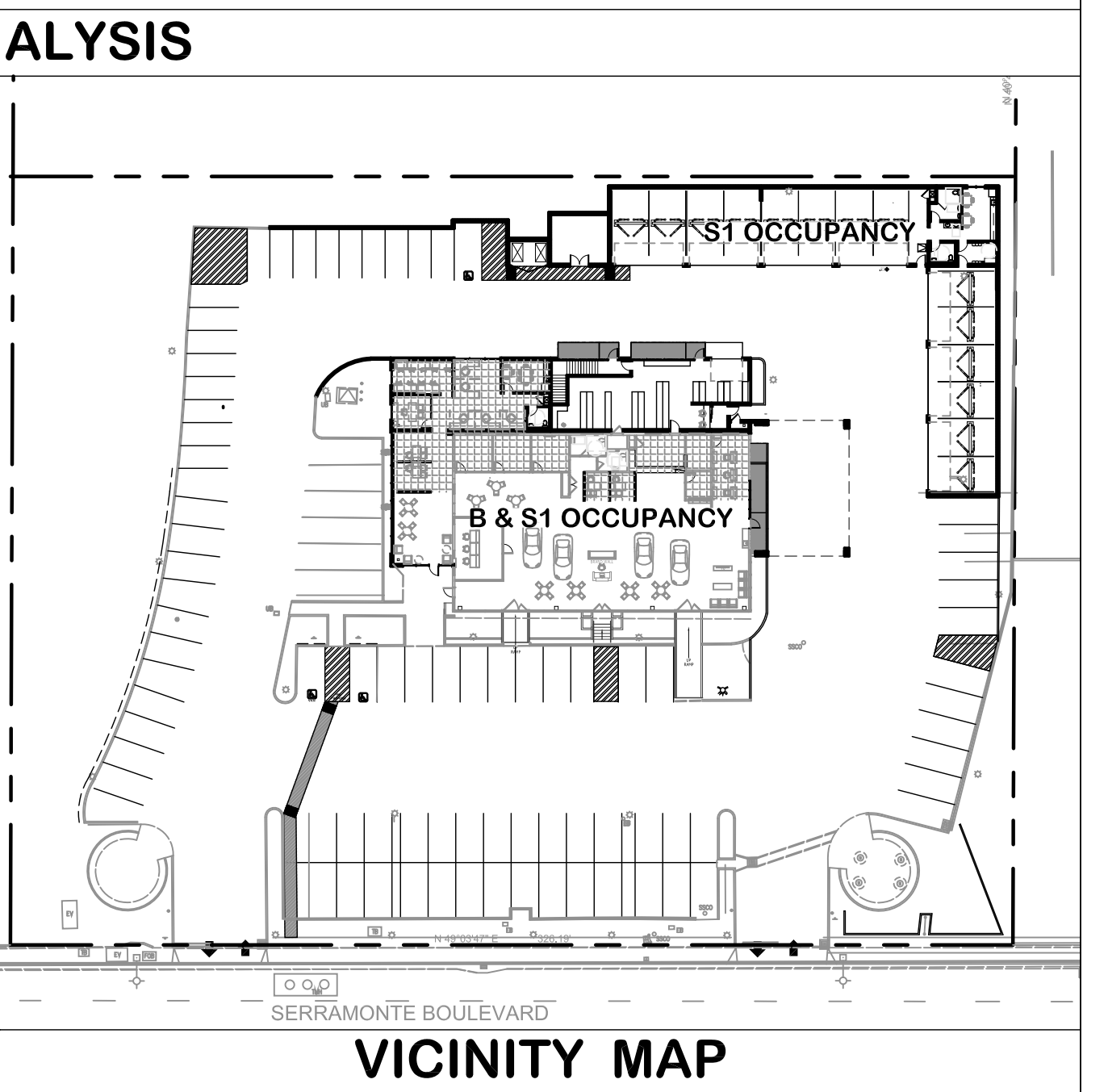
Re: Noise from Serramonte Kia- located 600 Serramonte Blvd
Tenant shall reduce noise from the dealership, to the Greek Orthodox Memorial Park by incorporating fast growing sound absorbing trees, shrubs or comparable plants. Plants will be replaced as needed. This agreement will be included as an addendum to the existing lease.

Matthew Enterprise, Inc.
Matthew Zaheri, President
Date: 8-10-23

Commerce Holding Company, Inc.
Steve Douglas, General Manager
Date: 8-10-2023

SCOPE OF WORK

- A 6,582 SQUARE FOOT ADDITION TO EXISTING SHOW ROOM BUILDING, THIS ADDITION WILL INCLUDE EXPANDING THE 1ST FLOOR AND ADDING A SMALLER 2ND FLOOR FOR PARTS STORAGE.
- A NEW SERVICE CANOPY FOR THE EXISTING SHOWROOM.
- A NEW 5,417 SERVICE GARAGE BUILDING WITH 14 SERVICE BAYS
- A NEW TRASH ENCLOSURE



APPROVAL STAMP

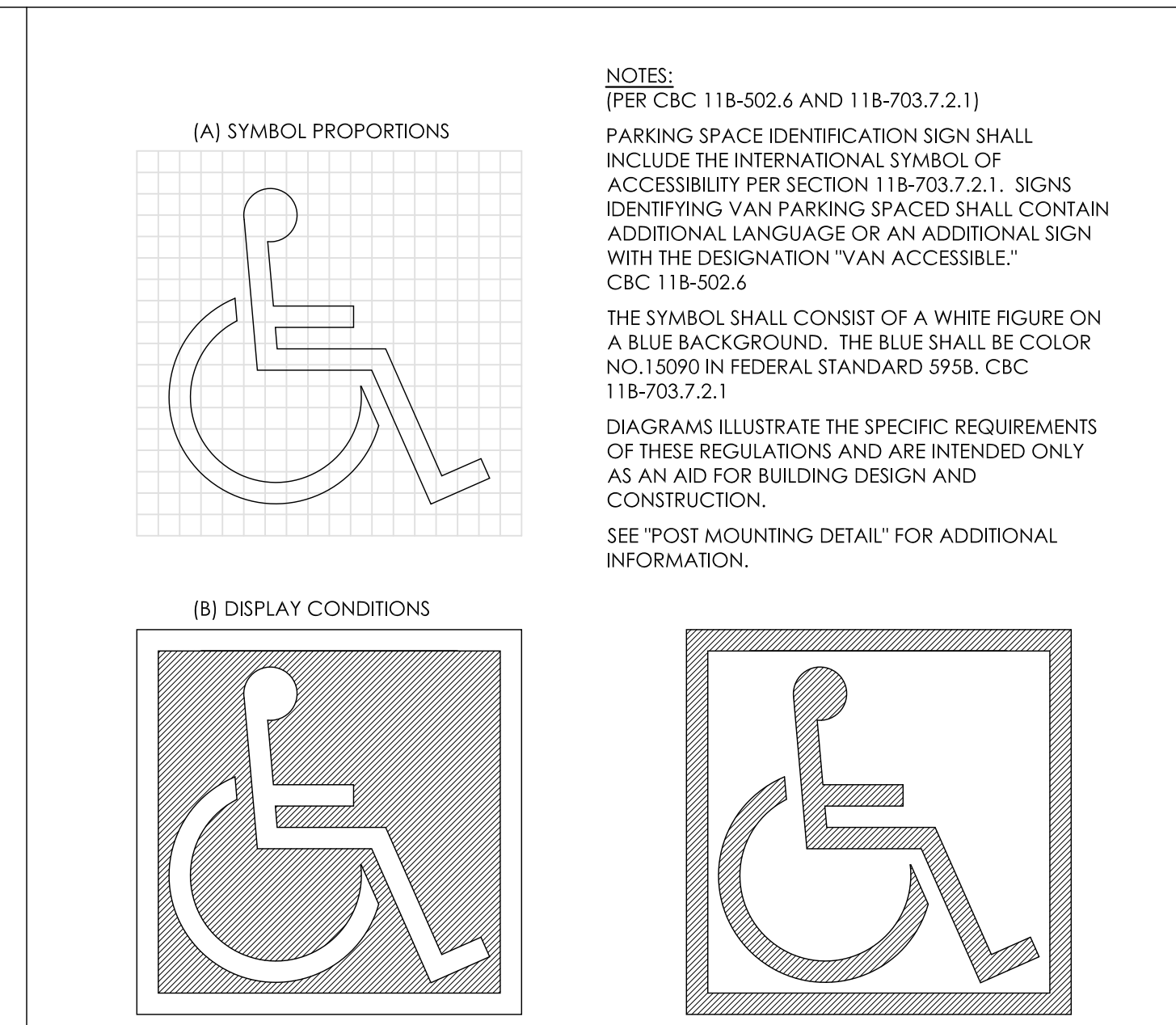
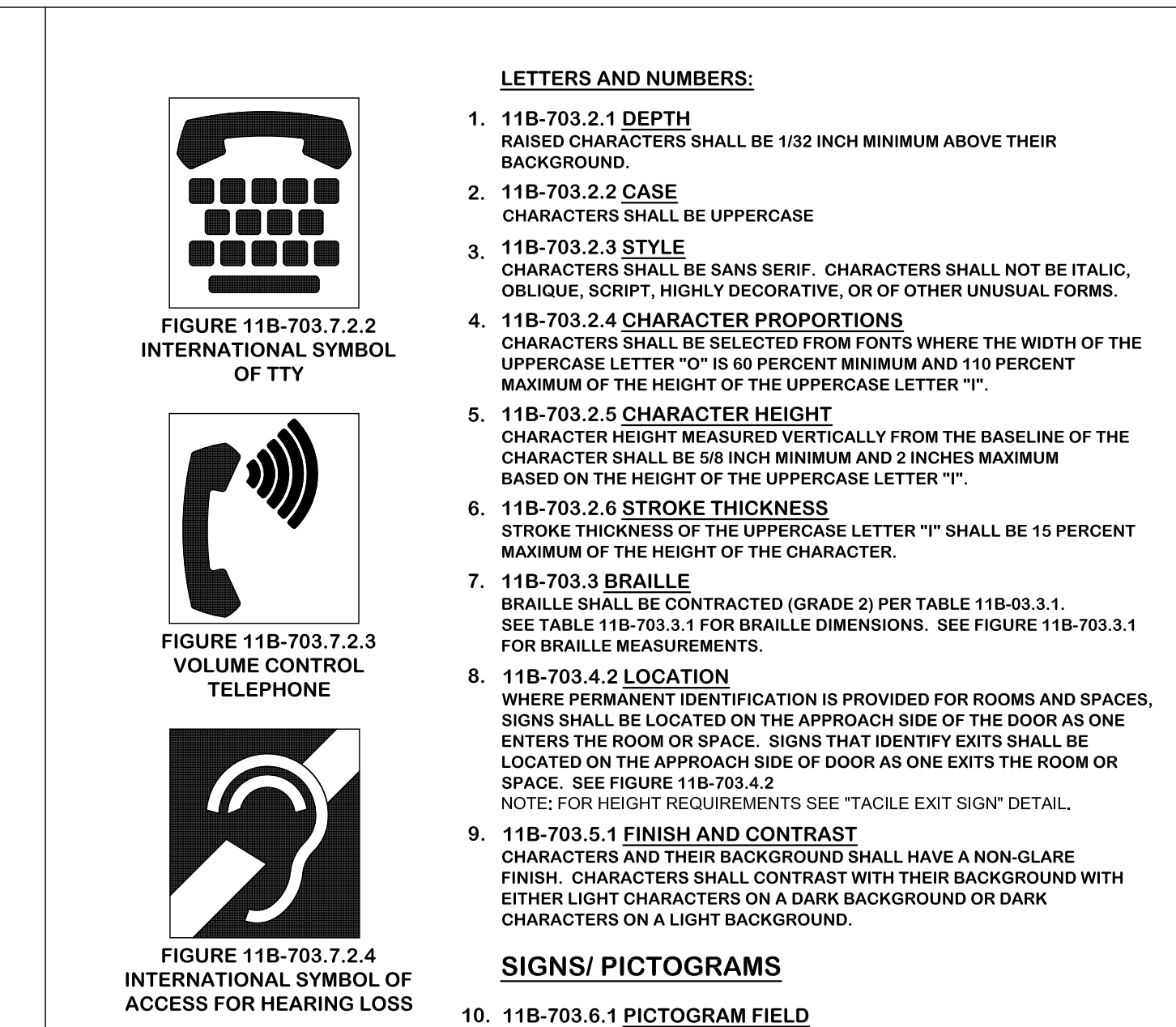
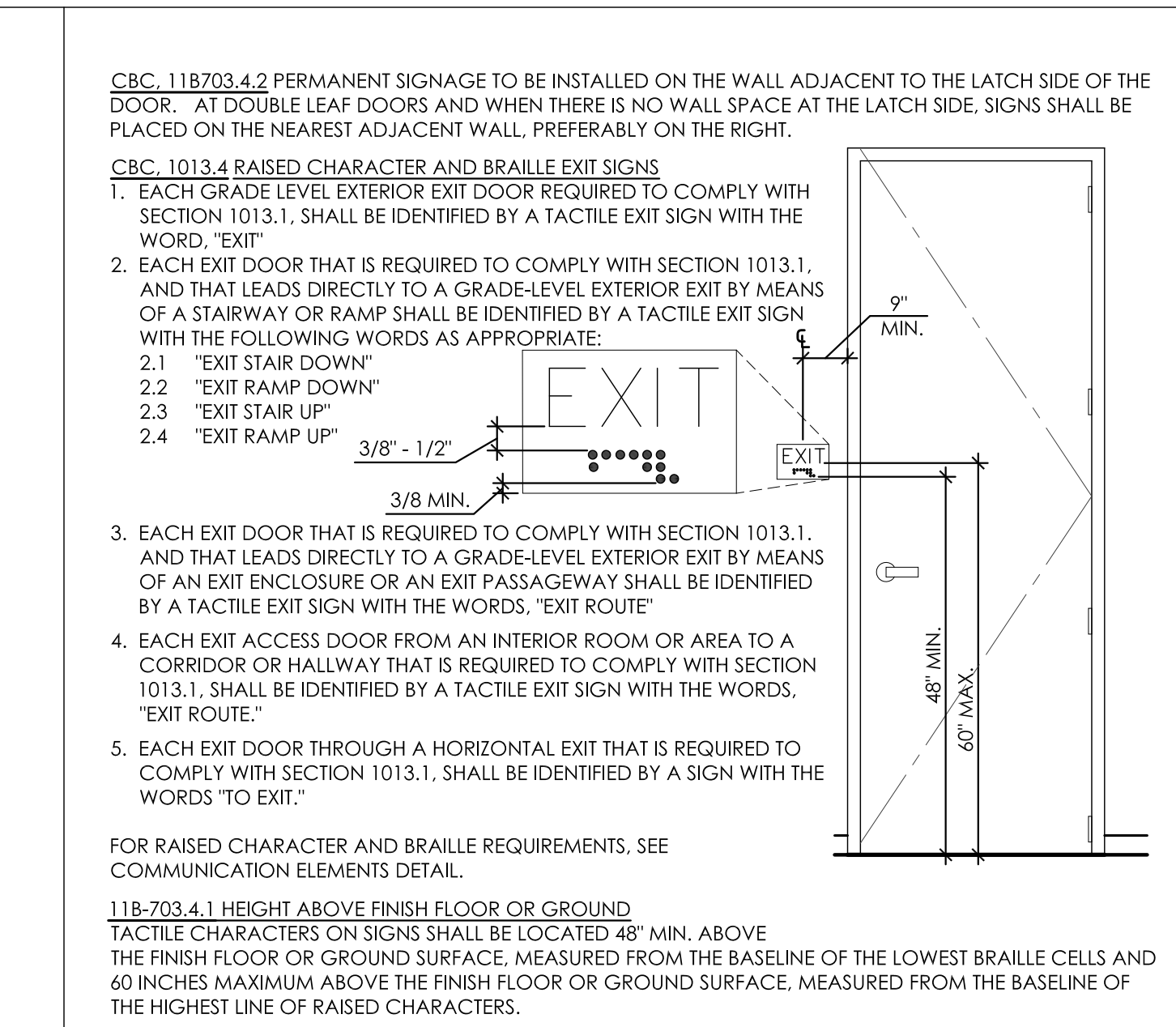
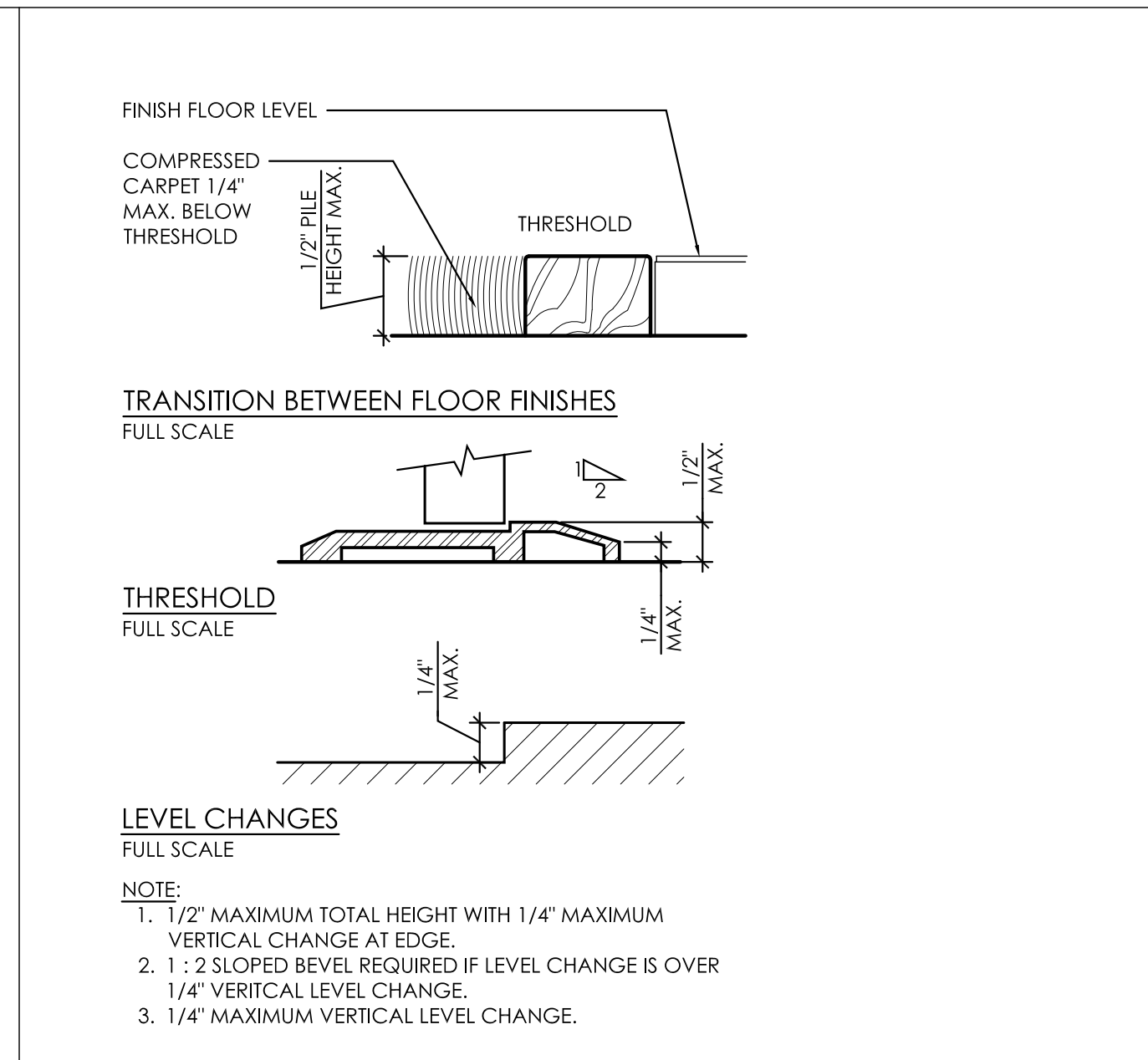
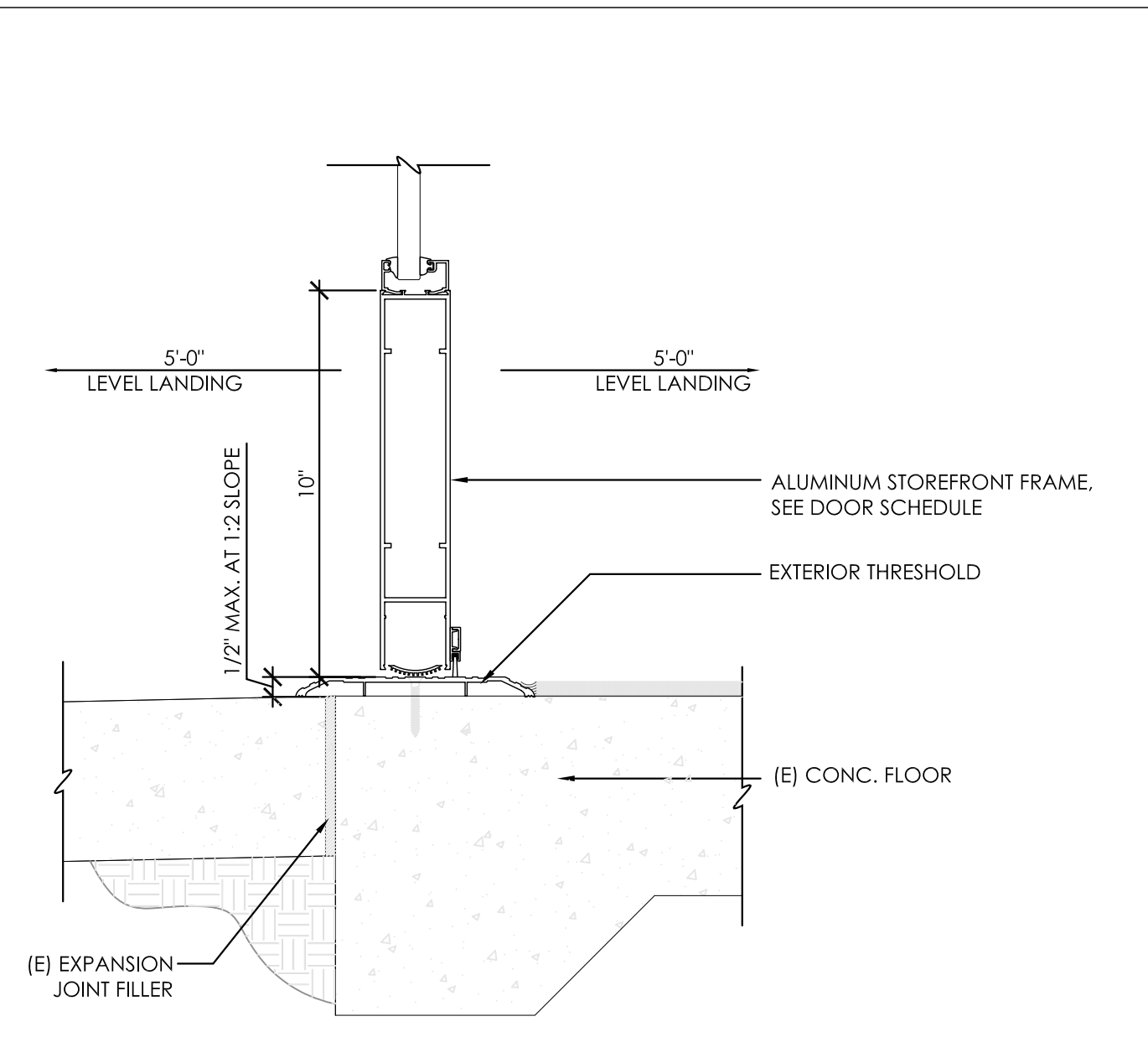
PL2023-005 & B2023-0043

CITY OF DALY CITY

COVER SHEET

DATE	SCALE
06.1.21	
DRAWN BY JTG	PROJECT NUMBER 21001-1

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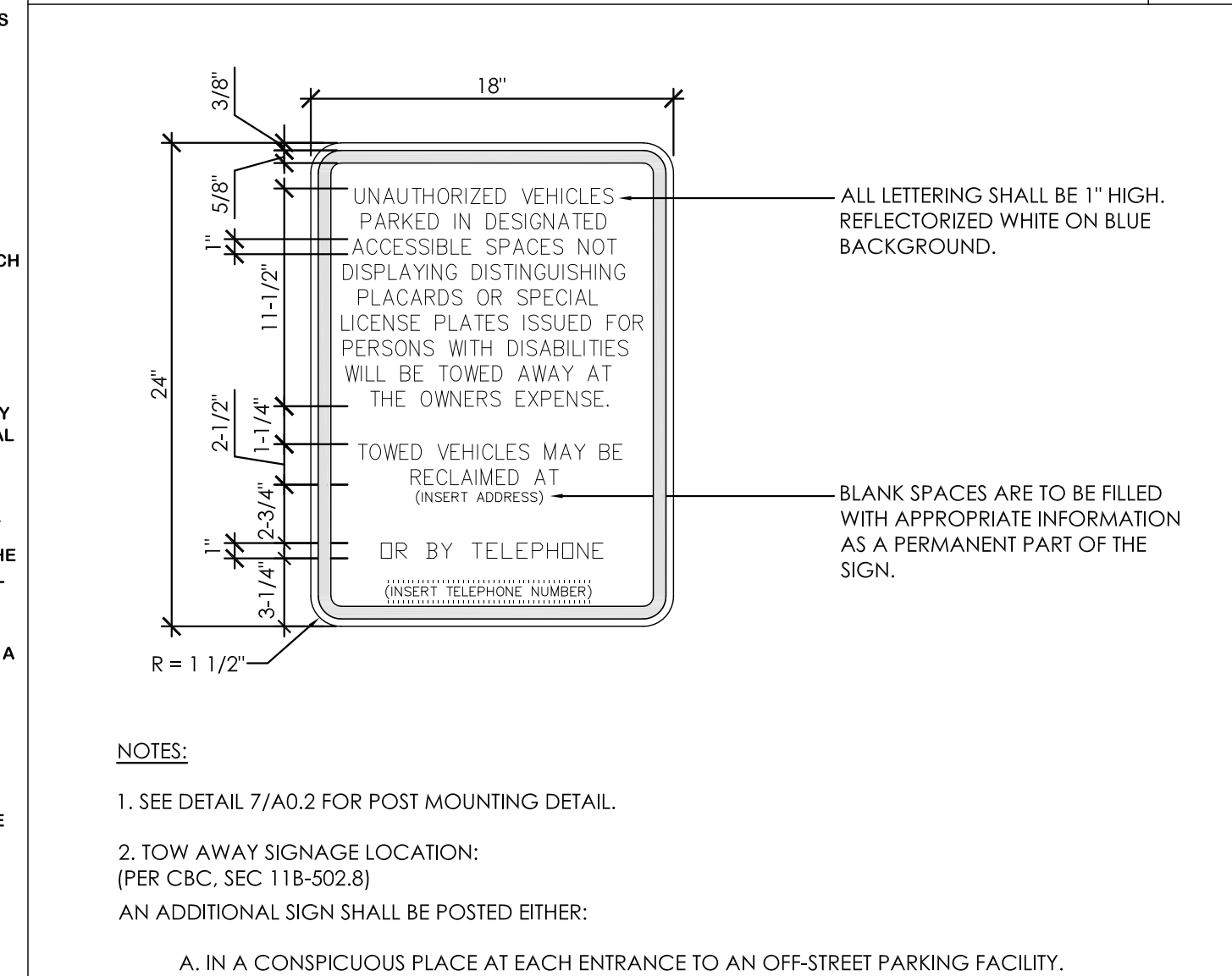
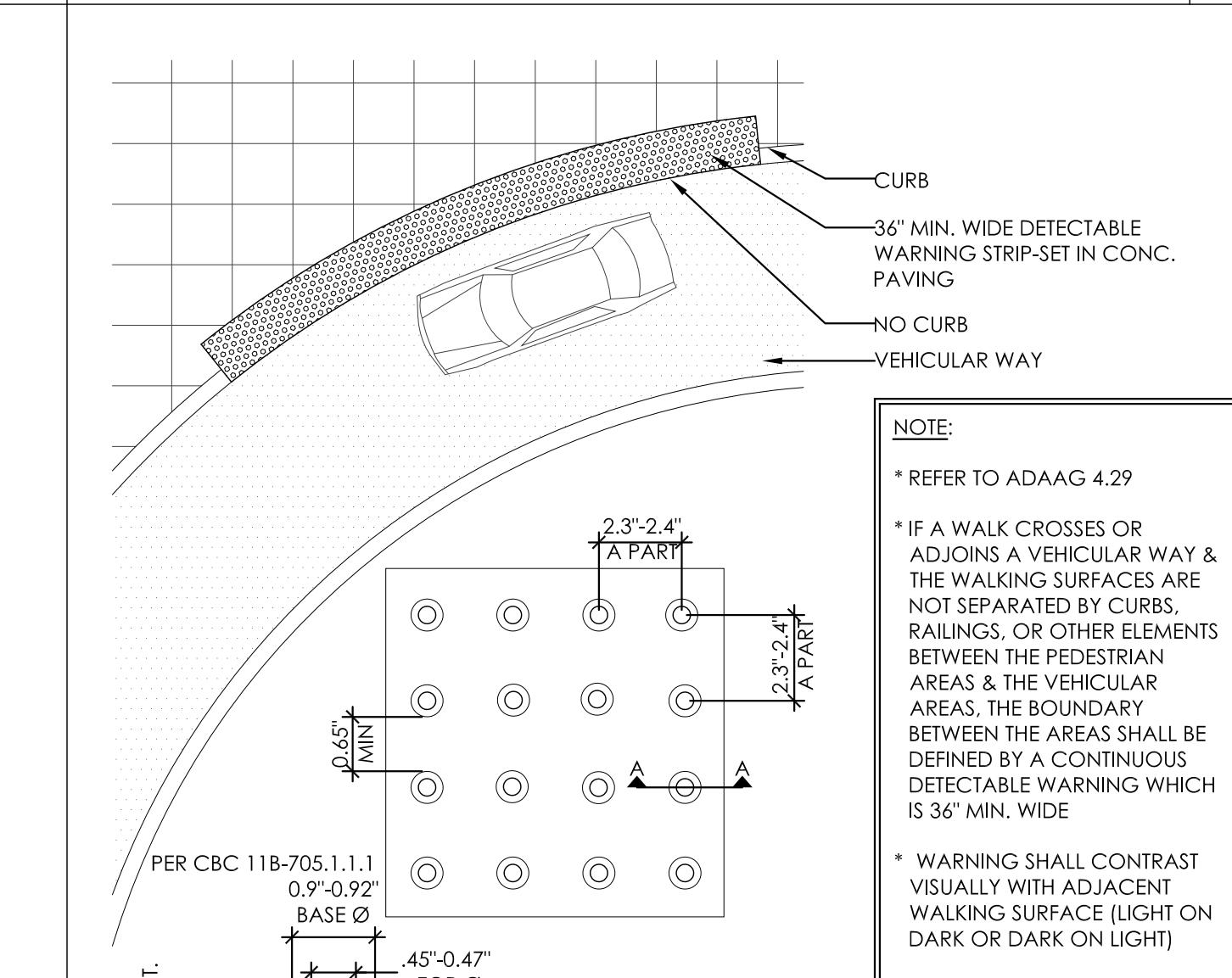
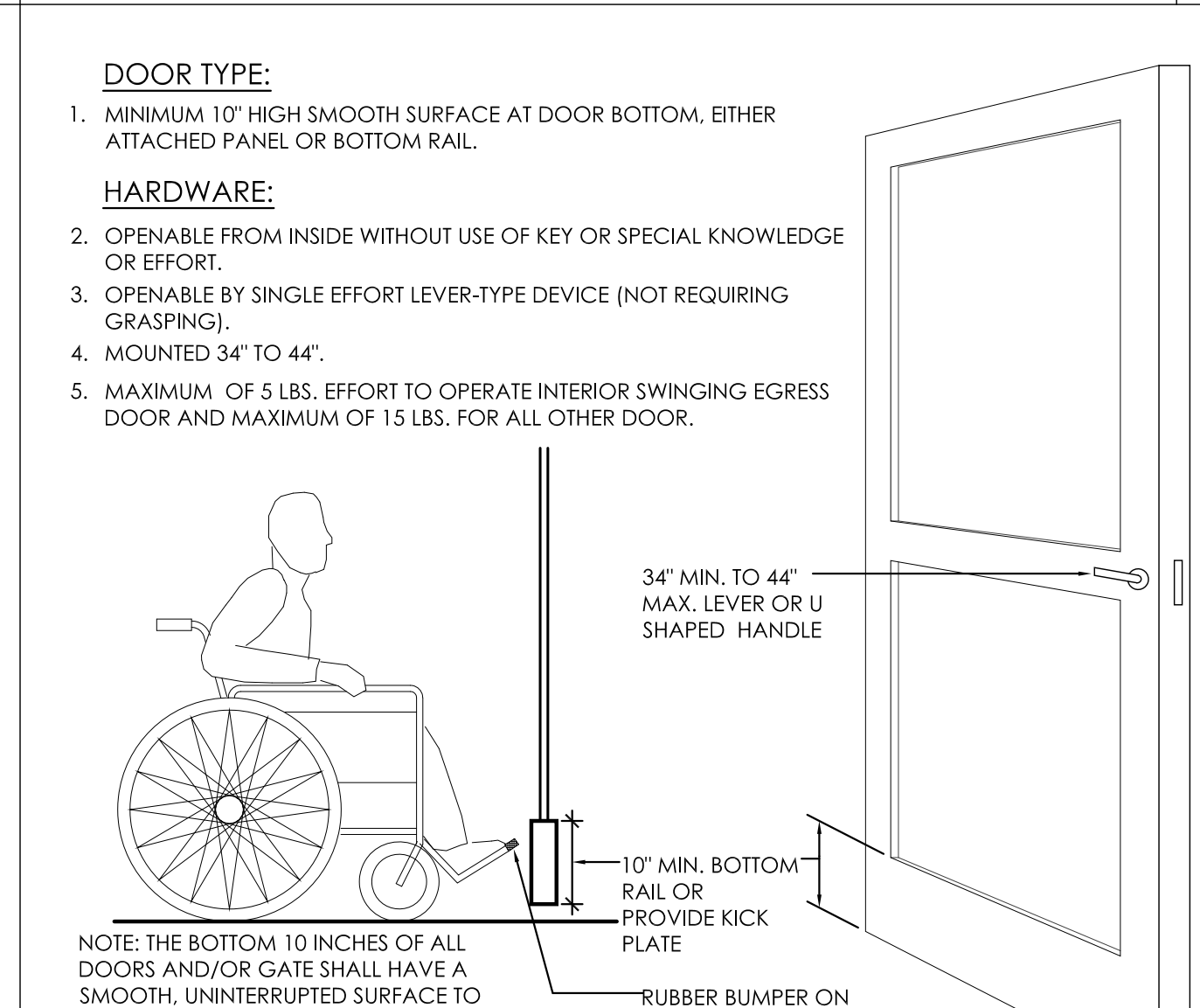
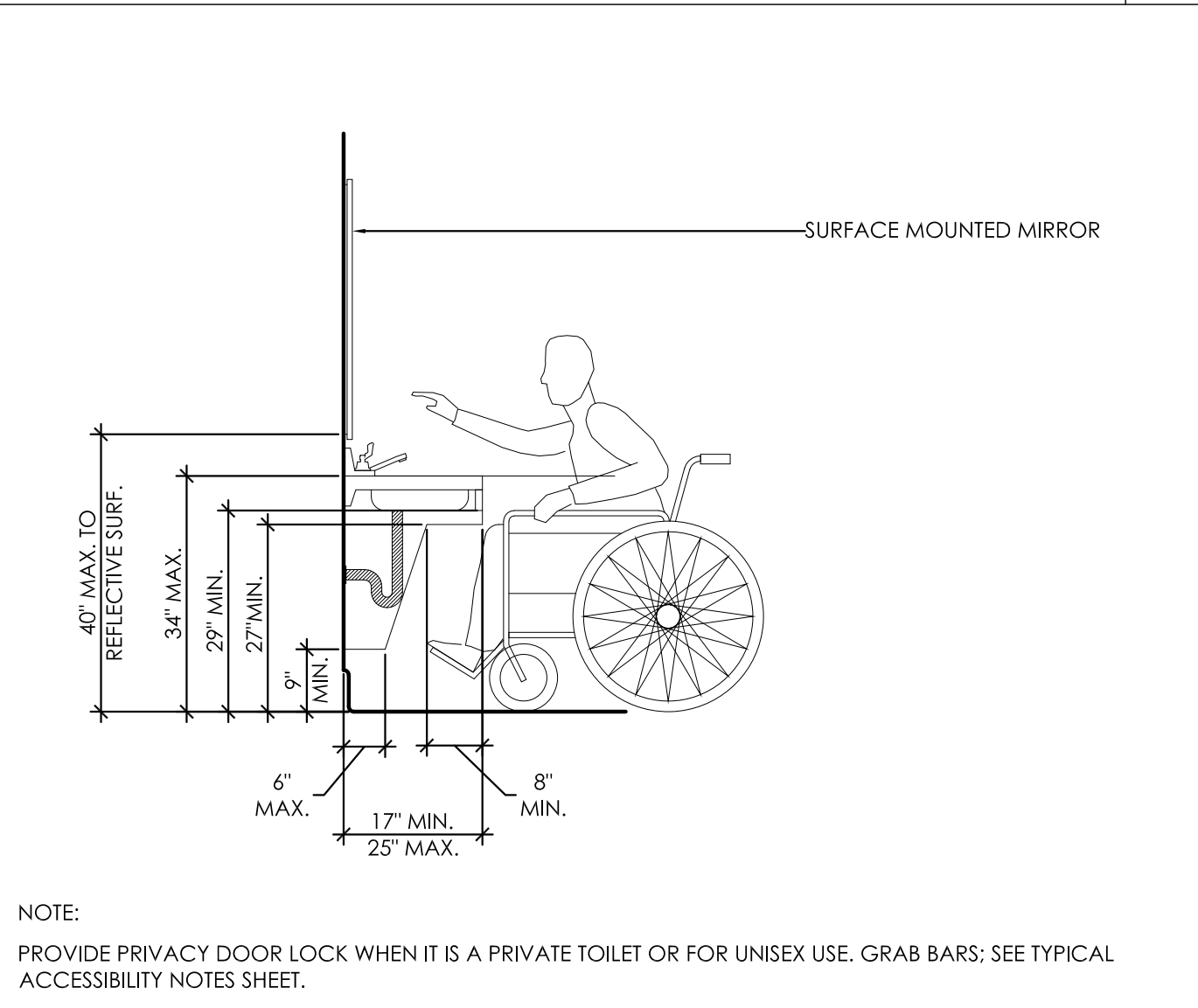
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SCALE: FULL SCALE
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N.T.S.
DET07_ADA01_TACTILEEXITSIGN

N.T.S.
DET01_ADA01_LOGO

N.T.S.
DET01_ADA01_LOGO



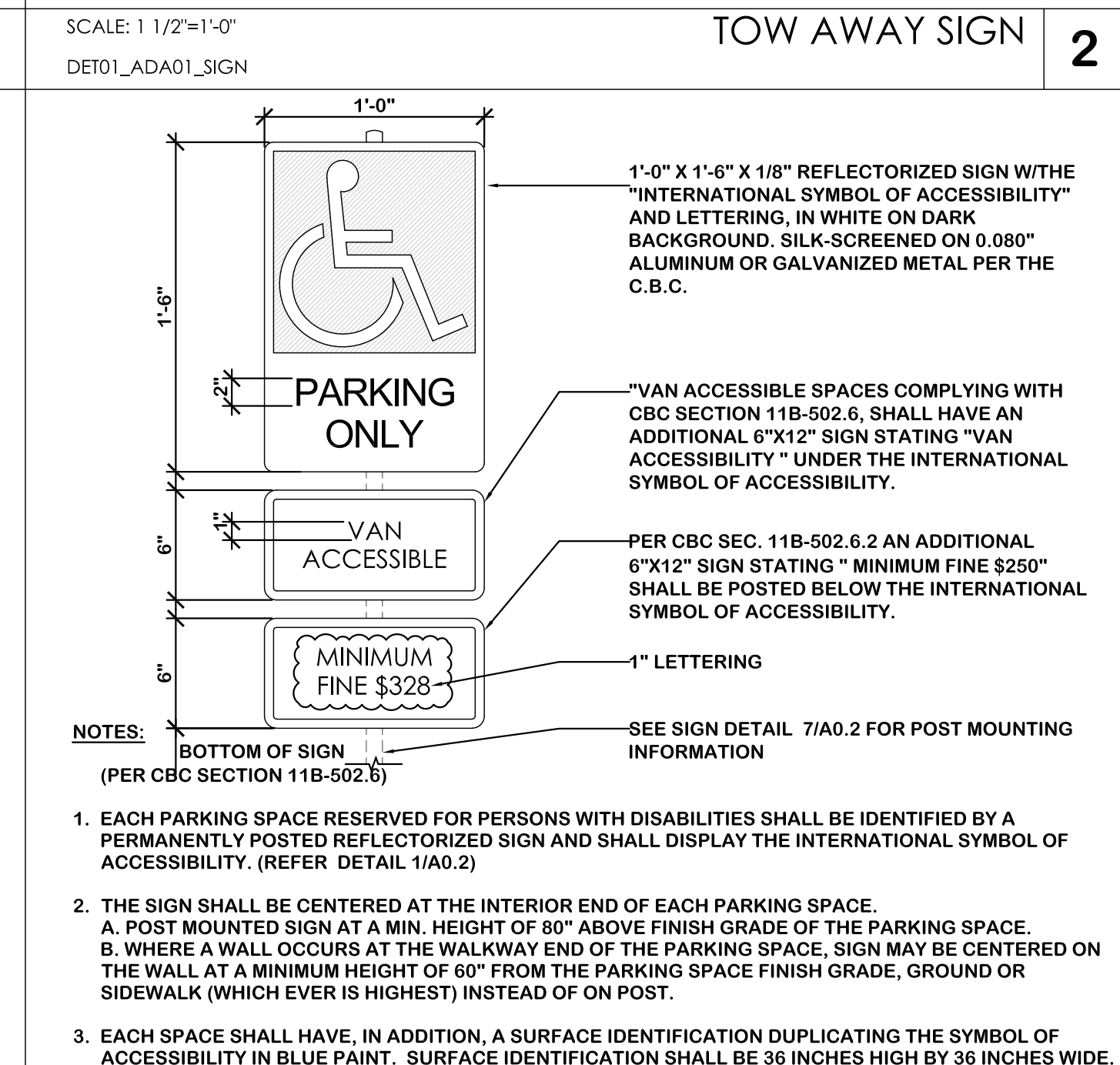
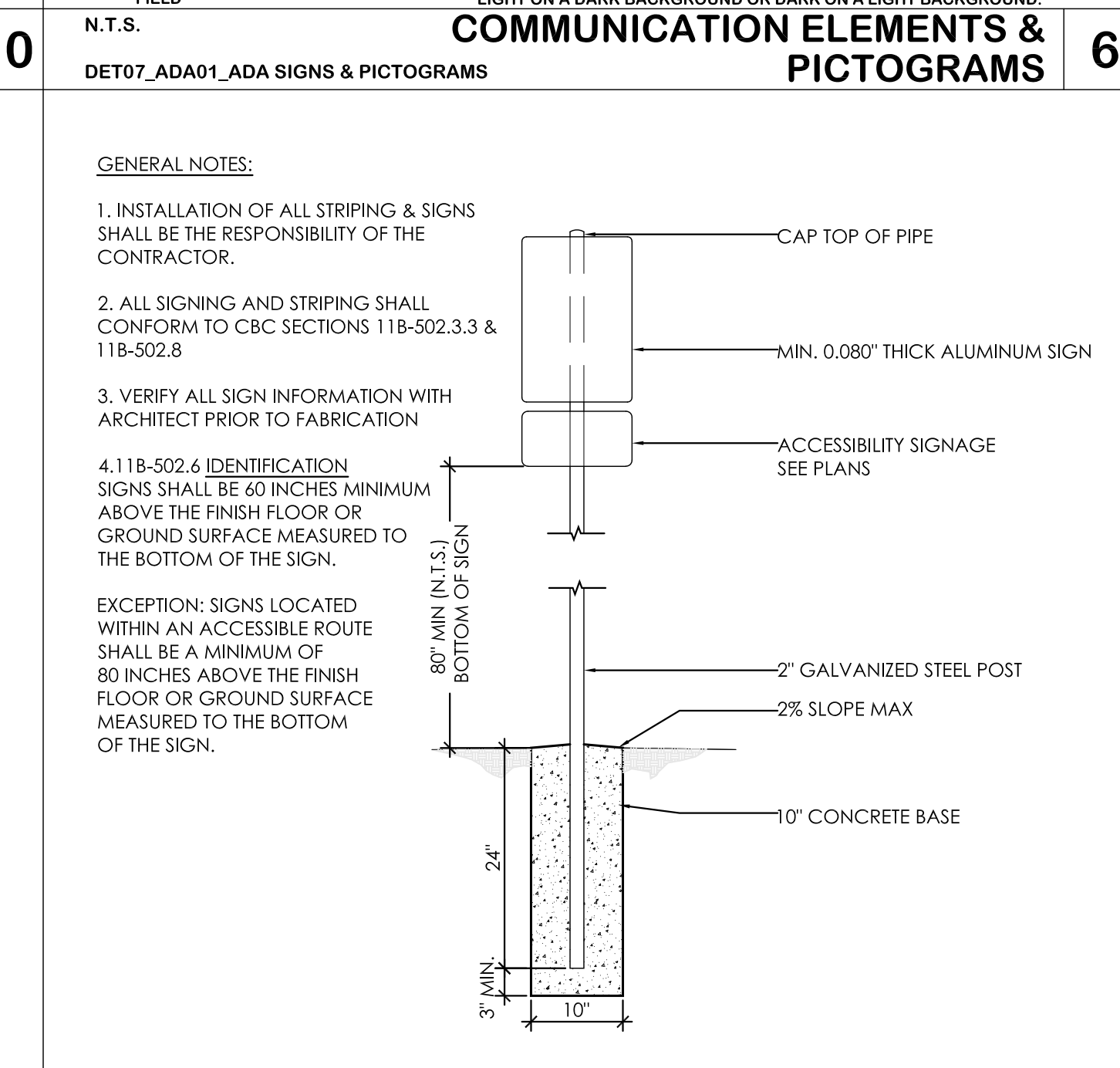
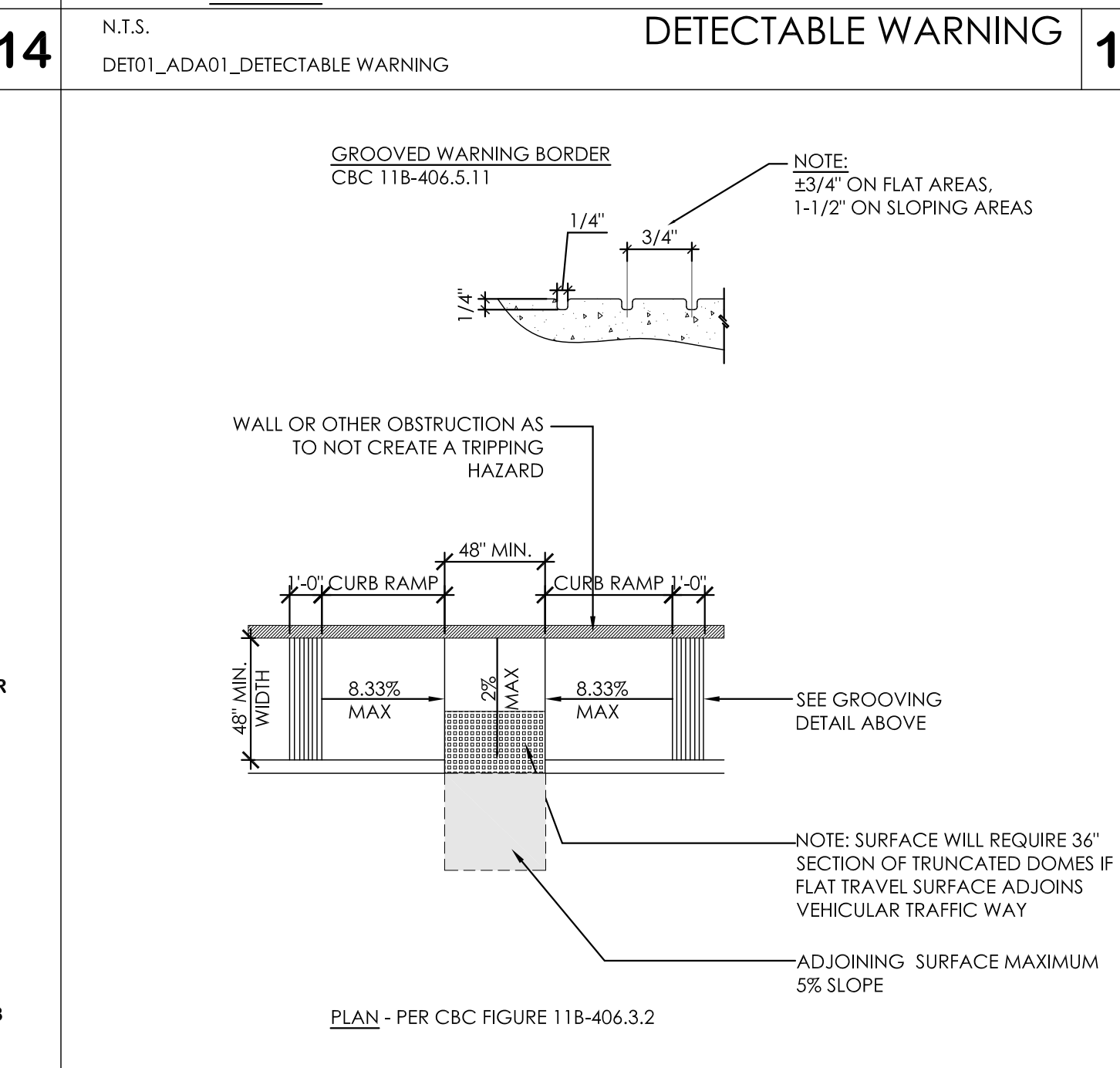
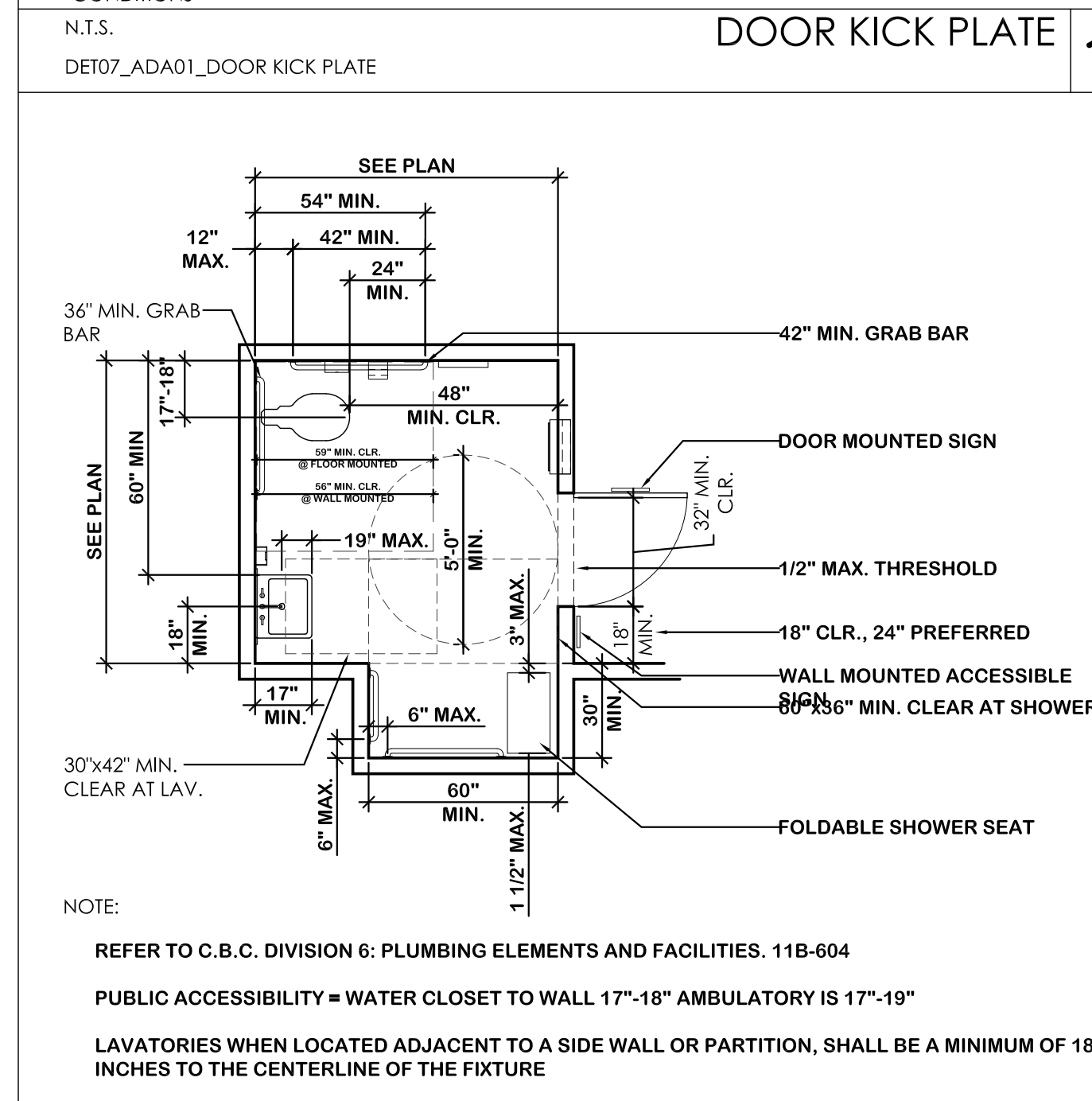
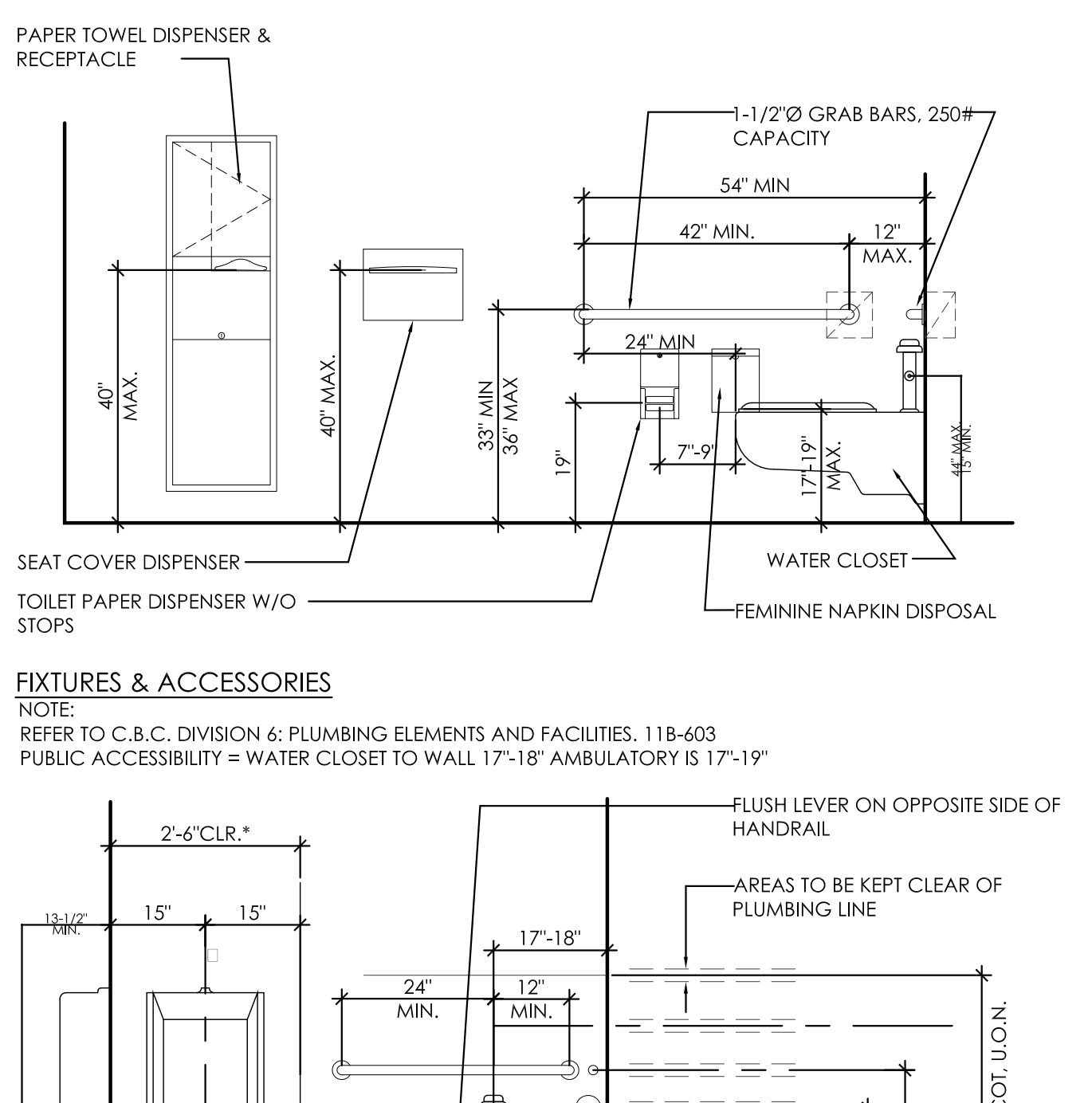
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N.T.S.
DET07_ADA01_DOOR KICK PLATE

N.T.S.
DET01_ADA01_DETECTABLE WARNING

N.T.S.
DET07_ADA01_ADA SIGNS & PICTOGRAMS

SCALE: 1 1/2"=1'-0"
DET01_ADA01_SIGN



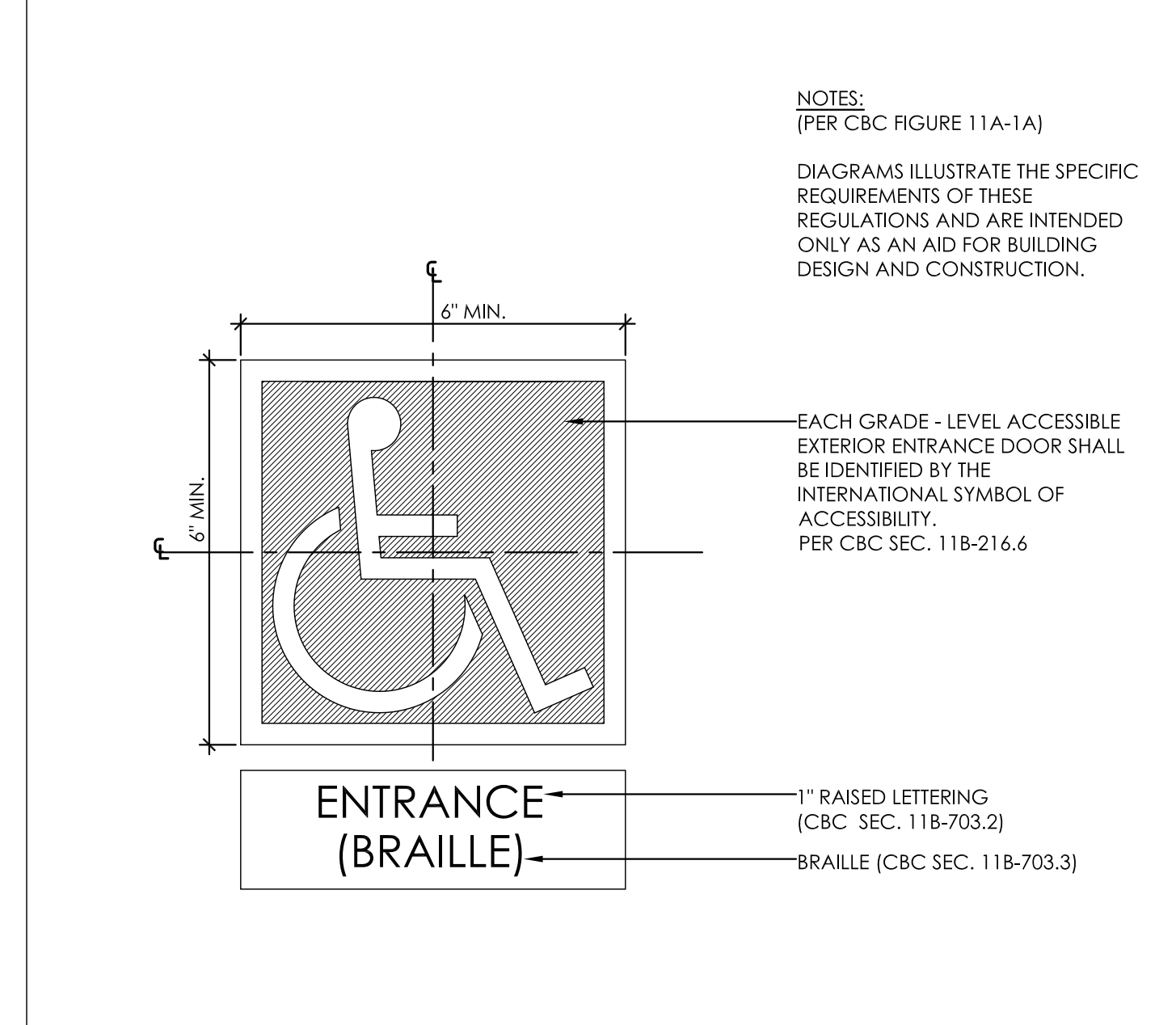
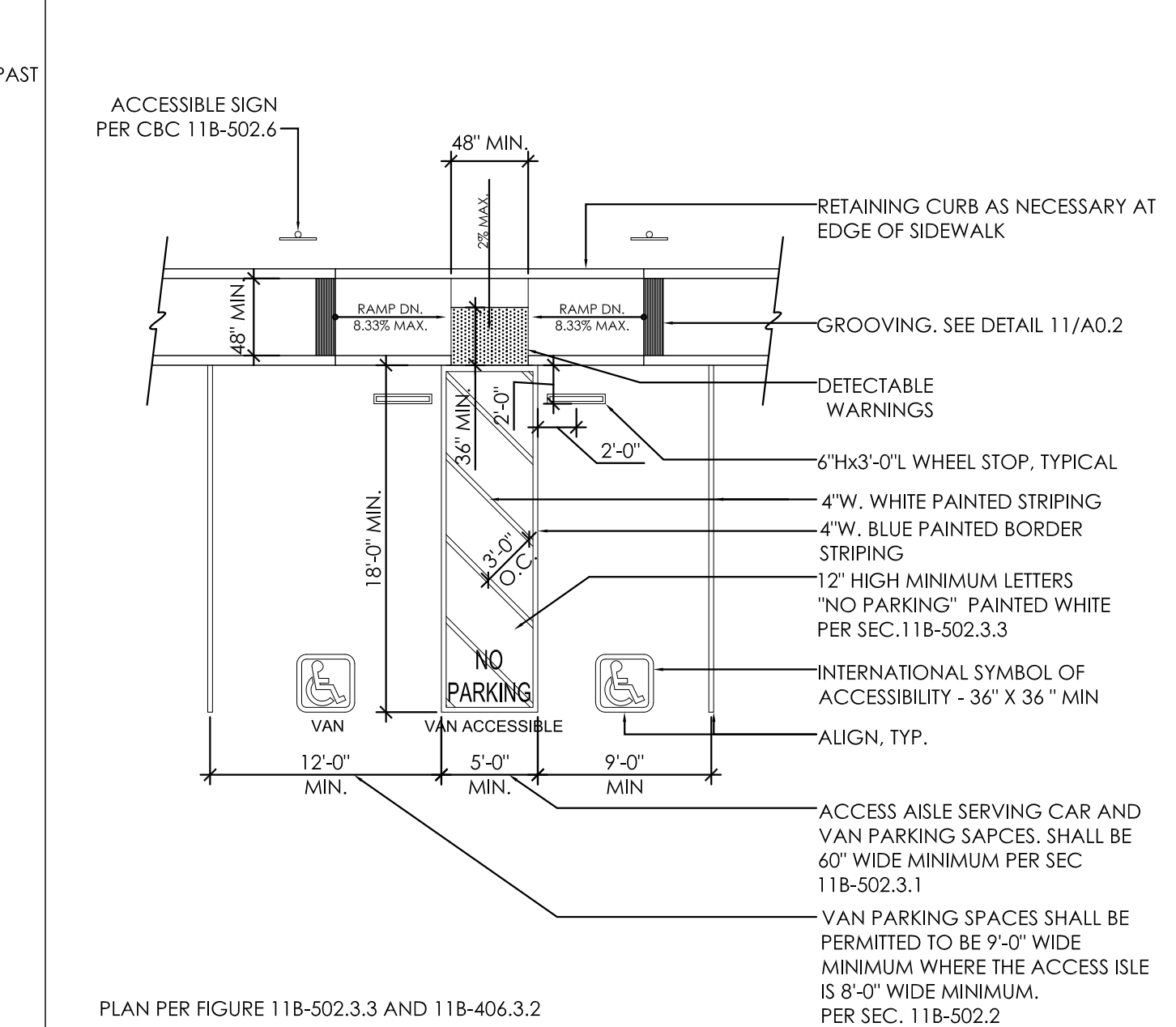
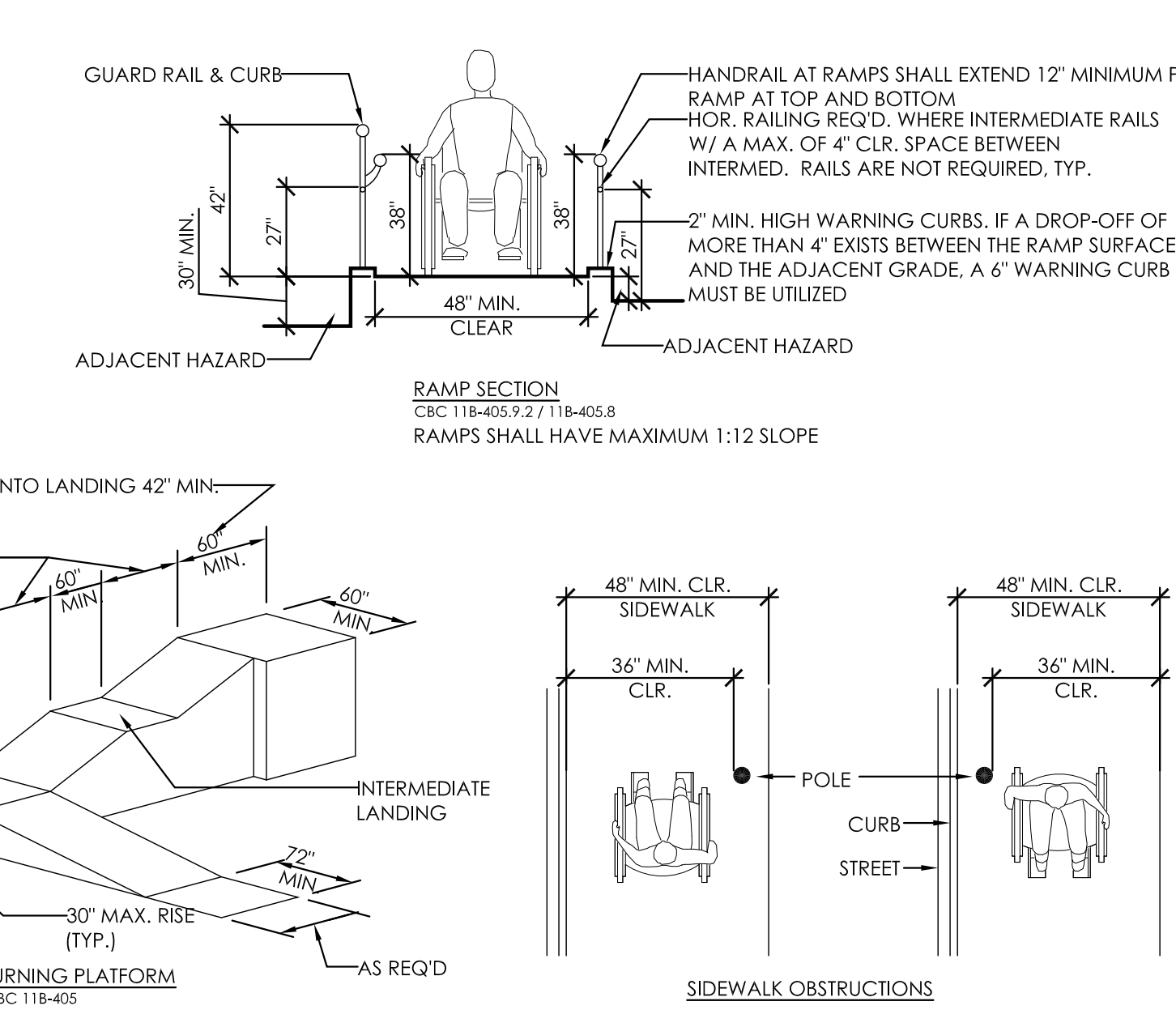
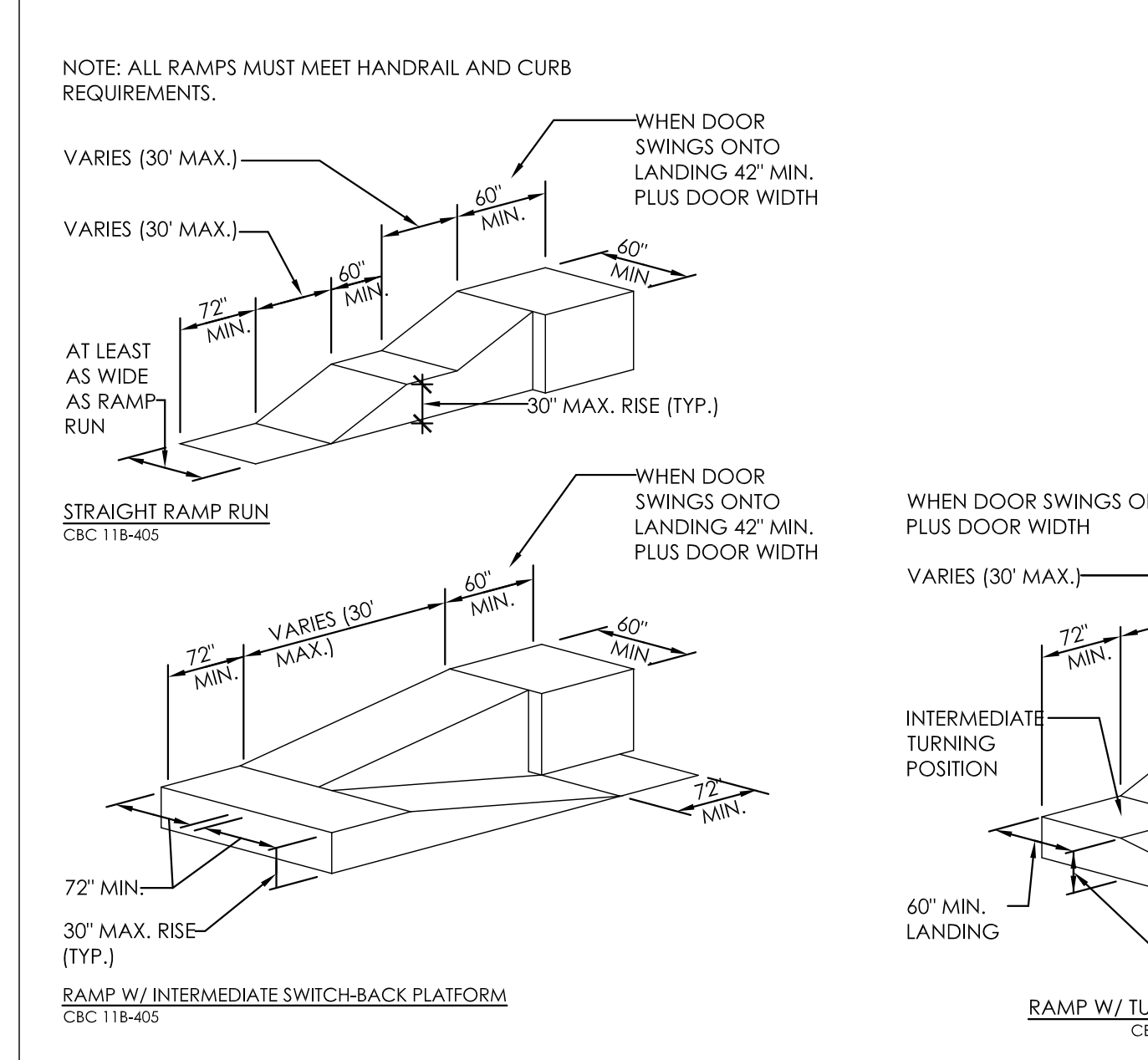
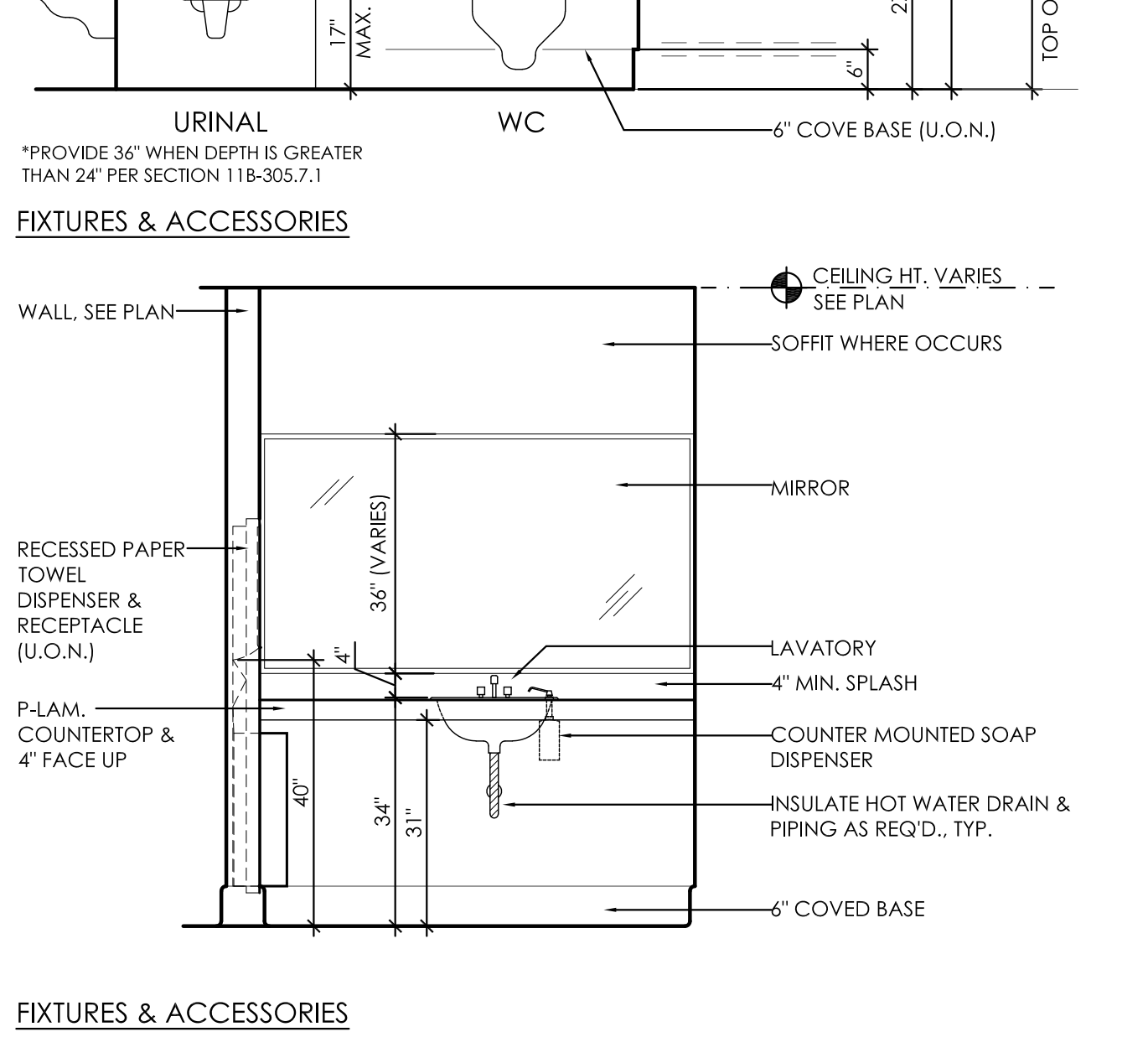
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DET01_ADA01_CURB RAMP02

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DET01_ADA01_POST MOUNTING

SCALE: 1-1/2"=1'-0"
DET_ADA01_SIGNAGE

SCALE: 1-1/2"=1'-0"
DET_ADA01_SIGNAGE



SCALE: 1/2"=1'-0"
DET07_ADA01_TYPICAL RESTROOM ELEVATIONS LAVATORY & COUNTERTOP

N.T.S.
DET01_ADA01_RAMP

N.T.S.
DET01_ADA01_PERPENDICULAR ACCESSIBLE PARKING STALL TYPICAL

N.T.S.
DET01_ADA01_BARRIER FREE SIGN

N.T.S.
DET01_ADA01_BARRIER FREE SIGN

JTG ARCHITECTURE
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PHONE: 612.481.2293
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KIA SERRAMONTE
EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS	
REV.	DESCRIPTION
02.14.22	RESUBMITTAL 1
03.02.22	RESUBMITTAL 2
03.15.22	RESUBMITTAL 3
03.21.22	RESUBMITTAL 4
08.09.22	PLANNING SUBMITTAL
09.02.22	PLANNING RE-SUBMITTAL
09.12.22	BUILDING SUBMITTAL
03.09.23	PLANNING SUBMITTAL
04.21.23	BUILDING SUBMITTAL
06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043

APPROVAL STAMP



TYPICAL ADA DETAILS	
DATE	SCALE
06.1.21	
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A0.1

TITLE 24 DOCUMENTS - ENERGY ANALYSIS



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BUILDING ENERGY ANALYSIS REPORT
PROJECT: Serramonte Blvd T1, 600 Serramonte Blvd, Colma, CA 94014
Project Designer: JTG Architecture
612-481-2293
Report Prepared by: Timothy Cantains, CEIA, HERS, GPR
2225 Bayview Heights Drive Suite E, Los Oaks, CA 94042
Job Number: 23-006810
Date: 06/2023

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600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS

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APPROVAL STAMP

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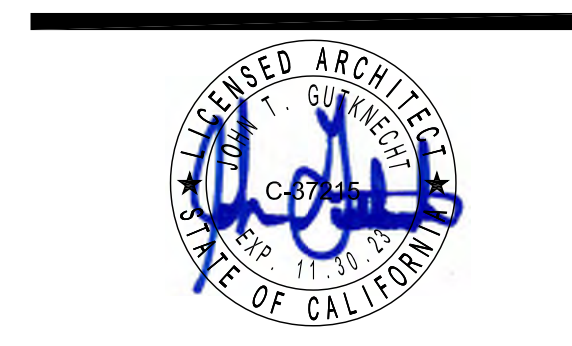
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T-24 ENERGY ANALYSIS

DATE: 06.1.21 SCALE:
DRAWN BY: JTG PROJECT NUMBER: 21001-1

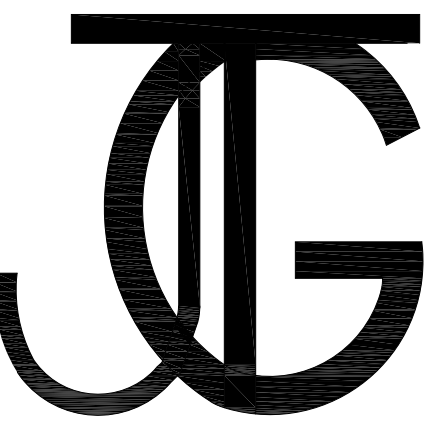
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2022 CALGREEN NON-RESIDENTIAL MANDATORY MEASURES CHECKLIST

SECTION 301 GENERAL	Y/N/A	RESPONSIBLE PARTY COMMENTS
301.1 SCOPE. BUILDINGS SHALL BE DESIGNED TO INCLUDE THE GREEN BUILDING MEASURES SPECIFIED AS MANDATORY IN THE APPLICATION CHECKLISTS CONTAINED IN THIS CODE. VOLUNTARY GREEN BUILDING MEASURES ARE ALSO INCLUDED IN THE APPLICATION CHECKLISTS AND MAY BE INCLUDED IN THE DESIGN AND CONSTRUCTION OF STRUCTURES COVERED BY THIS CODE, BUT ARE NOT REQUIRED UNLESS ADVISED BY A CITY, COUNTY, OR CITY AND COUNTY AS SPECIFIED IN SECTION 101.7.	Y	N/A SEE SHEETS A0.3, A0.4 & A0.5
301.3 NONRESIDENTIAL ADDITIONS AND ALTERATIONS. (BSC-CG) THE PROVISIONS OF INDIVIDUAL SECTIONS OF CHAPTER 5 APPLY TO NEWLY CONSTRUCTED BUILDINGS, BUILDING ADDITIONS OF 1,000 SQUARE FEET OR GREATER, AND/OR BUILDING ALTERATIONS WITH A PERMIT VALUATION OF \$200,000 OR ABOVE (FOR OCCUPANCIES WITHIN THE AUTHORITY OF CALIFORNIA BUILDING STANDARDS COMMISSION). CODE SECTIONS RELEVANT TO ADDITIONS AND ALTERATIONS SHALL ONLY APPLY TO THE PORTIONS OF THE BUILDING BEING ADDED OR ALTERED WITHIN THE SCOPE OF THE PERMITTED WORK.	Y	THE PROJECT INCLUDES NEW CONSTRUCTION & AN ADDITION GREATER THAN 1,000 SF.
A CODE SECTION WILL BE DESIGNATED BY A BANNER TO INDICATE WHERE THE CODE SECTION ONLY APPLIES TO NEWLY CONSTRUCTED BUILDINGS (N) OR TO ADDITIONS AND/OR ALTERATIONS (A). WHEN THE CODE SECTION APPLIES TO BOTH, NO BANNER WILL BE USED.		
301.3.1 NONRESIDENTIAL ADDITIONS AND ALTERATIONS THAT CAUSE UPDATES TO PLUMBING FIXTURES ONLY:		
NOTE: ON AND AFTER JANUARY 1, 2014, CERTAIN COMMERCIAL REAL PROPERTY, AS DEFINED IN CIVIL CODE SECTION 1101.3, SHALL HAVE ITS NONCOMPLIANT PLUMBING FIXTURES REPLACED WITH APPROPRIATE WATER-CONSERVING PLUMBING FIXTURES UNDER SPECIFIC CIRCUMSTANCES. SEE CIVIL CODE SECTION 1101.1 ET SEQ. FOR DEFINITIONS, TYPES OF COMMERCIAL REAL PROPERTY AFFECTED, EFFECTIVE DATES, CIRCUMSTANCES, AND CESSATING THE USE OF NONCOMPLIANT PLUMBING FIXTURES, AND DUTIES AND RESPONSIBILITIES FOR ENSURING COMPLIANCE.		
301.3.2 WASTE DIVERSION. THE REQUIREMENTS OF SECTION 5.408 SHALL BE REQUIRED FOR ADDITIONS AND ALTERATIONS WHENEVER A PERMIT IS REQUIRED FOR WORK.		
301.4 PUBLIC SCHOOLS AND COMMUNITY COLLEGES. (SEE GBSC)	N/A	
301.5 HEALTH FACILITIES. (SEE GBSC)	N/A	
SECTION 302 MIXED OCCUPANCY BUILDINGS	Y/N/A	RESPONSIBLE PARTY COMMENTS
302.1 MIXED OCCUPANCY BUILDINGS. IN MIXED OCCUPANCY BUILDINGS, EACH PORTION OF A BUILDING SHALL COMPLY WITH THE SPECIFIC GREEN BUILDING MEASURES APPLICABLE TO EACH SPECIFIC OCCUPANCY.	Y	THIS BUILDING IS B & S1 OCCUPANCIES
SECTION 303 PHASED PROJECTS	Y/N/A	RESPONSIBLE PARTY COMMENTS
303.1 PHASED PROJECTS. FOR SHELL BUILDINGS AND OTHERS CONSTRUCTED FOR FUTURE TENANT IMPROVEMENTS, ONLY THOSE CODE MEASURES RELEVANT TO THE BUILDING COMPONENTS AND SYSTEMS CONSIDERED TO BE NEW CONSTRUCTION (OR NEWLY CONSTRUCTED) SHALL APPLY.	N/A	THIS IS NOT A PHASED PROJECT
303.1.1 INITIAL TENANT IMPROVEMENTS. THE PROVISIONS OF THIS CODE SHALL APPLY ONLY TO THE INITIAL TENANT IMPROVEMENTS TO A PROJECT. SUBSEQUENT TENANT IMPROVEMENTS SHALL COMPLY WITH THE SCOPING PROVISIONS IN SECTION 301.3 NON-RESIDENTIAL ADDITIONS AND ALTERATIONS.		
ABBREVIATION DEFINITIONS: DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT BSC CALIFORNIA BUILDING STANDARDS COMMISSION DSA-SS DIVISION OF THE STATE ARCHITECT, STRUCTURAL SAFETY OSHPD OFFICE OF STATEWIDE HEALTH PLANNING AND DEVELOPMENT LR LOW RISE HR HIGH RISE AA ADDITIONS AND ALTERATIONS N NEW		
DIVISION 5.1 PLANNING AND DESIGN	Y/N/A	RESPONSIBLE PARTY COMMENTS
SECTION 5.101 GENERAL 5.101.1 SCOPE THE PROVISIONS OF THIS CHAPTER OUTLINE PLANNING, DESIGN AND DEVELOPMENT METHODS THAT INCLUDE ENVIRONMENTALLY RESPONSIBLE SITE SELECTION, BUILDING DESIGN, BUILDING SITING AND DEVELOPMENT TO PROTECT, RESTORE AND ENHANCE THE ENVIRONMENTAL QUALITY OF THE SITE AND RESPECT THE INTEGRITY OF ADJACENT PROPERTIES.		
SECTION 5.102 DEFINITIONS 5.102.1 DEFINITIONS THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 (AND ARE INCLUDED HERE FOR REFERENCE) CUTOFF LUMINAIRES. LUMINAIRES WHOSE LIGHT DISTRIBUTION IS SUCH THAT THE CANDELA PER 1000 LAMP LUMENS DOES NOT NUMERICALLY EXCEED 25 (25 PERCENT) AT AN ANGLE OF 90 DEGREES ABOVE NADIR, AND 100 (10 PERCENT) AT A VERTICAL ANGLE OF 80 DEGREES ABOVE NADIR. THIS APPLIES TO ALL LATERAL ANGLES AROUND THE LUMINAIRE.		
LOW-EMITTING AND FUEL EFFICIENT VEHICLES. ELIGIBLE VEHICLES ARE LIMITED TO THE FOLLOWING: 1. ZERO EMISSION VEHICLE (ZEV), ENHANCED ADVANCED TECHNOLOGY PZEV (ENHANCED AT ZEV) OR TRANSITIONAL ZERO EMISSION VEHICLES (TZEV) REGULATED UNDER CCP, TITLE 13, SECTION 1962. 2. HIGH-EFFICIENCY VEHICLES, REGULATED BY U.S. EPA, BEARING A FUEL ECONOMY AND GREENHOUSE GAS RATING OD 9 OE 10 AS REGULATED UNDER 40 CFR SECTION 600 SUBPART D.		
NEIGHBORHOOD ELECTRIC VEHICLE (NEV). A MOTOR VEHICLE THAT MEETS THE DEFINITION OF "LOW-SPEED VEHICLE" EITHER IN SECTION 385.5 OF THE VEHICLE CODE OR IN 49CFR571.500 (AS IT EXISTED ON JULY 1, 2000), AND IS CERTIFIED TO ZERO-EMISSION VEHICLE STANDARDS.		
TENANT-OCCUPANTS. BUILDING OCCUPANTS WHO INHABIT A BUILDING DURING ITS NORMAL HOURS OF OPERATION AS PERMANENT OCCUPANTS, SUCH AS EMPLOYEES, AS DISTINGUISHED FROM CUSTOMERS AND OTHER TRANSIENT VISITORS.		
VANPOOL VEHICLE. ELIGIBLE VEHICLES ARE LIMITED TO ANY MOTOR VEHICLE, OTHER THAN A MOTORTRUCK OR TRUCK TRACTOR, DESIGNED FOR CARRYING MORE THAN 10 BUT NOT MORE THAN 15 PERSONS INCLUDING THE DRIVER, WHICH IS MAINTAINED AND USED PRIMARILY FOR THE NONPROFIT WORK-RELATED TRANSPORTATION OF ADULTS FOR THE PURPOSE OF RIDESHARING.		
NOTE: SOURCE: VEHICLE CODE, DIVISION 1, SECTION 668 ZEV. ANY VEHICLE CERTIFIED TO ZERO-EMISSION STANDARDS.		
SECTION 5.106 SITE DEVELOPMENT	Y/N/A	RESPONSIBLE PARTY COMMENTS
5.106.1 STORM WATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURBS LESS THAN ONE ACRE OF LAND. NEWLY CONSTRUCTED PROJECTS AND ADDITIONS WHICH DISTURBS LESS THAN ONE ACRE OF LAND, AND ARE NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE, SHALL PREVENT THE POLLUTION OF STORM WATER RUNOFF FROM THE CONSTRUCTION ACTIVITIES THROUGH ONE OR MORE OF THE FOLLOWING MEASURES: 5.106.1.1 LOCAL ORDINANCE. COMPLY WITH A LEGALLY ENACTED STORM WATER MANAGEMENT AND/OR EROSION CONTROL ORDINANCE. 5.106.1.2 BEST MANAGEMENT PRACTICES (BMPs). PREVENT THE LOSS OF SOIL THROUGH WIND OR WATER EROSION BY IMPLEMENTING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROL AND GOOD HOUSEKEEPING BMPs. 1. SOIL LOSS BMPs THAT SHOULD BE CONSIDERED FOR IMPLEMENTATION AS APPROPRIATE FOR EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: a. SCHEDULING CONSTRUCTION ACTIVITY DURING DRY WEATHER, WHEN POSSIBLE. b. PRESERVATION OF NATURAL FEATURES, VEGETATION, SOIL, AND BUFFER AROUND SURFACE WATERS. c. DRAINAGE SWALES OR LINED DITCHES TO CONTROL STORMWATER FLOW. d. MULCHING OR HYDROSEEDING TO STABILIZE DISTURBED SOILS. e. EROSION CONTROL TO PROTECT SLOPES. f. PROTECTION OF STORM DRAIN INLETS (GRAVEL BAGS OR CATCH BASIN INSERTS). g. PERIMETER SEDIMENT CONTROL (PERIMETER SILT FENCE, FIBER ROLLS). h. SEDIMENT TRAP OR SEDIMENT BASIN TO RETAIN SEDIMENT ON SITE. i. STABILIZED CONSTRUCTION EXITS. j. WIND EROSION CONTROL. k. OTHER SOIL LOSS BMPs ACCEPTABLE TO THE ENFORCING AGENCY. 2. GOOD HOUSEKEEPING BMPs TO MANAGE CONSTRUCTION EQUIPMENT, MATERIALS, NON-STORMWATER DISCHARGES AND WASTES THAT SHOULD BE CONSIDERED FOR IMPLEMENTATION AS APPROPRIATE FOR EACH PROJECT INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: a. DEWATERING ACTIVITIES. b. MATERIAL HANDLING AND WASTE MANAGEMENT. c. BUILDING MATERIALS STOCKPILE MANAGEMENT. d. MANAGEMENT OF WASHOUT AREAS (CONCRETE, PAINTS, STUCCO, ETC.). e. CONTROL OF VEHICLE/EQUIPMENT FUELING TO CONTRACTOR'S STAGING AREA. f. VEHICLE AND EQUIPMENT CLEANING PERFORMED OFF SITE. g. SPILL PREVENTION AND CONTROL. h. OTHER HOUSEKEEPING BMPs ACCEPTABLE TO THE ENFORCING AGENCY.	Y	SEE CIVIL DRAINAGE ANALYSIS FOR EXTERIOR MODIFICATIONS TOTALS. ALTERATIONS ARE TO PROVIDE COMPLIANT ACCESSIBILITY, PATH TO PUBLIC WAY AND GRADING FOR NEW BUILDING & ADDITION. CONTRACTOR SHALL USE BMP TO CONTROL STORM WATER POLLUTION DUE TO CONSTRUCTION BY BUT NOT LIMITED TO PROTECTION OF STORM DRAIN INLETS, PERIMETER SEDIMENT CONTROL, & STABILIZED CONSTRUCTION EXITS. SEE SHEET A1.1 FOR ALTERED AREAS
5.106.2 STORMWATER POLLUTION PREVENTION FOR PROJECTS THAT DISTURBS ONE OR MORE ACRES OF LAND. COMPLY WITH ALL LAWFULLY ENACTED STORMWATER DISCHARGE REGULATIONS FOR PROJECTS THAT (1) DISTURBS ONE ACRE OR MORE OF LAND, OR (2) DISTURBS LESS THAN ONE ACRE OF LAND BUT ARE PART OF A LARGER COMMON PLAN OF DEVELOPMENT OR SALE. NOTE: PROJECTS THAT (1) DISTURBS ONE ACRE OR MORE OF LAND, OR (2) DISTURBS LESS THAN ONE ACRE OF LAND BUT ARE PART OF THE LARGER COMMON PLAN OF DEVELOPMENT OR SALE MUST COMPLY WITH THE POST-CONSTRUCTION REQUIREMENTS DETAILED IN THE APPLICABLE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT FOR STORMWATER AS WELL AS ANY REGULATIONS ASSOCIATED WITH THE CONSTRUCTION AND LAND DISTURBANCE ACTIVITIES ISSUED BY THE STATE WATER RESOURCES CONTROL BOARD OR THE LAHONTAN REGIONAL WATER QUALITY CONTROL BOARD (FOR PROJECTS IN THE LAKE TAHOE HYDROLOGIC UNIT). THE NPDES PERMITS REQUIRE POST-CONSTRUCTION RUNOFF (POST-PROJECT HYDROLOGY) TO MATCH THE PRE-CONSTRUCTION RUNOFF (PRE-PROJECT HYDROLOGY) WITH THE INSTALLATION OF POST-CONSTRUCTION STORMWATER MANAGEMENT MEASURES. THE NPDES PERMITS EMPHASIZE RUNOFF REDUCTION THROUGH ON-SITE STORMWATER USE, INTERCEPTION AND INFILTRATION THROUGH NONSTRUCTURAL CONTROLS, SUCH AS LOW IMPACT DEVELOPMENT (LID) PRACTICES, AND CONVERSATION DESIGN MEASURES. STORMWATER VOLUME THAT CANNOT BE ADDRESSED USING NONSTRUCTURAL PRACTICES IS REQUIRED TO BE CAPTURED IN STRUCTURAL PRACTICES AND BE APPROVED BY THE ENFORCING AGENCY. REFER TO THE CURRENT APPLICABLE PERMITS ON THE STATE WATER RESOURCES CONTROL BOARD WEBSITE AT: WWW.WATERBOARDS.CA.GOV/CONSTRUCTIONSTORMWATER. CONSIDERATION TO THE STORMWATER RUNOFF MANAGEMENT MEASURES SHOULD BE GIVEN DURING THE INITIAL DESIGN PROCESS FOR APPROPRIATE INTEGRATION INTO SITE DEVELOPMENT.	NA	THE ALTERATION OR ADDITION SHALL NOT GENERATE VISITOR TRAFFIC AND/OR ADD MORE THAN 9 VISITOR VEHICULAR PARKING SPACES.
5.106.4.1 BICYCLE PARKING. (BSC-CG) COMPLY WITH SECTIONS 5.106.4.1.1 AND 5.106.4.1.2 OR MEET THE APPLICABLE LOCAL ORDINANCE, WHICHEVER IS STRICTER. 5.106.4.1.1 SHORT-TERM BICYCLE PARKING. IF THE NEW PROJECT OR AN ADDITION OR ALTERATION IS ANTICIPATED TO GENERATE VISITOR TRAFFIC, PROVIDE PERMANENTLY ANCHORED BICYCLE RACKS WITHIN 200 FEET OF THE VISITORS' ENTRANCE, READILY VISIBLE TO PASSENGERS, FOR 5% OF NEW VISITOR MOTORIZED VEHICLE PARKING SPACES BEING ADDED, WITH A MINIMUM OF ONE TWO-BIKE CAPACITY RACK. EXCEPTION: ADDITIONS OR ALTERATIONS WHICH ADD NINE OR LESS VISITOR VEHICULAR PARKING SPACES.	NA	THE ALTERATION OR ADDITION SHALL NOT GENERATE VISITOR TRAFFIC AND/OR ADD MORE THAN 9 VISITOR VEHICULAR PARKING SPACES.

5.106.4.1 BICYCLE PARKING CONTINUED.	Y/N/A	RESPONSIBLE PARTY COMMENTS
5.106.4.1 BICYCLE PARKING CONTINUED. 5.106.4.1.2 LONG-TERM BICYCLE PARKING. FOR NEW BUILDINGS WITH TENANT SPACES THAT HAVE 10 OR MORE TENANT-OCCUPANTS, PROVIDE SECURE BICYCLE PARKING FOR 5 PERCENT OF THE TENANT-OCCUPANT VEHICULAR PARKING SPACES WITH A MINIMUM OF ONE BICYCLE PARKING FACILITY. 5.106.4.1.3 FOR ADDITIONS OR ALTERATIONS THAT ADD 10 OR MORE TENANT-OCCUPANT VEHICULAR PARKING SPACES, PROVIDE SECURE BICYCLE PARKING FOR 5 PERCENT OF THE TENANT VEHICULAR PARKING SPACES BEING ADDED, WITH A MINIMUM OF ONE BICYCLE PARKING FACILITY. 5.106.4.1.4 FOR NEW SHELL BUILDINGS IN PHASED PROJECTS PROVIDE SECURE BICYCLE PARKING FOR 5 PERCENT OF THE ANTICIPATED TENANT-OCCUPANT VEHICULAR PARKING SPACES WITH A MINIMUM OF ONE BICYCLE PARKING FACILITY. 5.106.4.1.5 ACCEPTABLE BICYCLE PARKING FACILITY FOR SECTIONS 5.106.4.1.2, 5.106.4.1.3, AND 5.106.4.1.4 SHALL BE CONVENIENT FROM THE STREET AND SHALL MEET ONE OF THE FOLLOWING: 1. COVERED, LOCKABLE ENCLOSURES WITH PERMANENTLY ANCHORED RACKS FOR BICYCLES. 2. LOCKABLE BICYCLE ROOMS WITH PERMANENTLY ANCHORED RACKS, OR 3. LOCKABLE, PERMANENTLY ANCHORED BICYCLE LOCKERS. NOTE: ADDITIONAL INFORMATION ON RECOMMENDED BICYCLE ACCOMMODATIONS MAY BE OBTAINED FROM SACRAMENTO AREA BICYCLE ADVOCATES.	NA	LONG TERM BICYCLE PARKING IS NOT IN SCOPE OF WORK
5.106.4.2 BICYCLE PARKING (DSA-SS) FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, COMPLY WITH SECTIONS 5.106.4.2.1 AND 5.106.4.2.2 5.106.4.2.1 STUDENT BICYCLE PARKING. PROVIDE PERMANENTLY ANCHORED BICYCLE RACKS CONVENIENTLY ACCESSED WITH A MINIMUM OF FOUR TWO-BIKE CAPACITY RACKS PER NEW BUILDING. 5.106.4.2.2 STAFF BICYCLE PARKING. PROVIDE PERMANENT, SECURE BICYCLE PARKING CONVENIENTLY ACCESSED WITH A MINIMUM OF TWO STAFF BICYCLE PARKING SPACES PER NEW BUILDING. ACCEPTABLE BICYCLE PARKING FACILITIES SHALL BE CONVENIENT FROM THE STREET OR STAFF PARKING AREA AND SHALL MEET ONE OF THE FOLLOWING: 1. COVERED, LOCKABLE ENCLOSURES WITH PERMANENTLY ANCHORED RACKS FOR BICYCLES; 2. LOCKABLE BICYCLE ROOMS WITH PERMANENTLY ANCHORED RACKS; OR 3. LOCKABLE, PERMANENTLY ANCHORED BICYCLE LOCKERS.	NA	THIS IS NOT A PUBLIC SCHOOL OR COMMUNITY COLLEGE
5.106.5.3 ELECTRIC VEHICLE (EV) CHARGING. (N) CONSTRUCTION TO PROVIDE ELECTRIC VEHICLE INFRASTRUCTURE AND FACILITATE ELECTRIC VEHICLE CHARGING SHALL COMPLY WITH SECTION 5.106.5.3.1 AND SHALL BE PROVIDED IN ACCORDANCE WITH REGULATIONS IN THE CALIFORNIA BUILDING CODE AND THE CALIFORNIA ELECTRICAL CODE. EXCEPTIONS: 1. ON A CASE-BY-CASE BASIS WHERE THE LOCAL ENFORCING AGENCY HAS DETERMINED COMPLIANCE WITH THIS SECTION IS NOT FEASIBLE BASED UPON ONE OF THE FOLLOWING CONDITIONS: a. WHERE THERE IS NO LOCAL UTILITY POWER SUPPLY b. WHERE THE LOCAL UTILITY IS UNABLE TO SUPPLY ADEQUATE POWER. c. WHERE THERE IS EVIDENCE SUITABLE TO THE LOCAL ENFORCEMENT AGENCY SUBSTANTIATING THE LOCAL UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS, DIRECTLY RELATED TO THE IMPLEMENTATION OF SECTION 5.106.5.3, MAY ADVERSELY IMPACT THE CONSTRUCTION COST OF THE PROJECT. 2. PARKING SPACES ACCESSIBLE ONLY BY AUTOMATED MECHANICAL CAR PARKING SYSTEMS ARE NOT REQUIRED TO COMPLY WITH THIS CODE SECTION 5.106.5.3.1 EV CAPABLE SPACES. (N) EV CAPABLE SPACES SHALL BE PROVIDED IN ACCORDANCE WITH TABLE 5.106.5.3.1 AND THE FOLLOWING REQUIREMENTS: 1. RACEWAYS COMPLYING WITH THE CALIFORNIA ELECTRICAL CODE AND NO LESS THAN 1-INCH (25 MM) DIAMETER SHALL BE PROVIDED AND SHALL ORIGINATE AT A SERVICE PANEL OR A SUBPANEL(S) SERVING THE AREA, AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV CAPABLE AND INTO A SUITABLE LISTED CABINET, BOX ENCLOSURE OR EQUIVALENT. A COMMON RACEWAY MAY BE USED TO SERVE MULTIPLE EV CHARGING SPACES. 2. A SERVICE PANEL OR SUBPANEL (S) SHALL BE PROVIDED WITH PANEL SPACE AND ELECTRICAL LOAD CAPACITY FOR A DEDICATED 208/240 VOLT, 40-AMPERE MINIMUM BRANCH CIRCUIT FOR EACH EV CAPABLE SPACE, WITH DELIVERY OF 30-AMPERE MINIMUM TO AN INSTALLED EVSE AT EACH EVCS. 3. THE ELECTRICAL SYSTEM AND ANY ON-SITE DISTRIBUTION TRANSFORMERS SHALL HAVE SUFFICIENT CAPACITY TO SUPPLY FULL RATED AMPERAGE AT EACH EV CAPABLE SPACE. 4. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE RESERVED OVERCURRENT PROTECTIVE DEVICES (SPACE(S)) AS "EV CAPABLE". THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE." NOTE: A PARKING SPACE SERVED BY ELECTRIC VEHICLE SUPPLY EQUIPMENT OR DESIGNED AS A FUTURE EV CHARGING SPACE SHALL COUNT AS AT LEAST ONE STANDARD AUTOMOBILE PARKING SPACE ONLY FOR THE PURPOSE OF COMPLYING WITH ANY APPLICABLE MINIMUM PARKING SPACE REQUIREMENTS ESTABLISHED BY AN ENFORCEMENT AGENCY. SEE VEHICLE CODE SECTION 22511.2 FOR FURTHER DETAILS.	NA	THERE ARE 3 EXISTING EV PARKING STALLS ONSITE
TABLE 5.106.5.3.1 TOTAL NUMBER OF ACTUAL PARKING SPACES NUMBER OF REQUIRED EV CAPABLE SPACES NUMBER OF EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE)*2		
0-9 0 0		
10-25 2 0		
26-50 8 2		
51-75 13 3		
76-100 17 4		
101-150 25 6		
151-200 35 9		
201 AND OVER 20% of total ¹ 25% of Ev capable spaces ¹		
1. WHERE THERE IS INSUFFICIENT ELECTRICAL SUPPLY. 2. THE NUMBER OF REQUIRED EVCS (EV CAPABLE SPACES PROVIDED WITH EVSE) IN COLUMN 3 COUNT TOWARDS THE TOTAL NUMBER OF REQUIRED EV CAPABLE SPACES SHOWN IN COLUMN 2.		
5.106.5.3.2 ELECTRIC VEHICLE CHARGING STATIONS (EVCS) EV CAPABLE SPACES SHALL BE PROVIDED WITH EVSE TO CREATE EVCS IN THE NUMBER INDICATED IN TABLE 5.106.5.3.1. THE EVCS REQUIRED BY TABLE 5.106.5.3.1 MAY BE PROVIDED WITH EVSE IN ANY COMBINATION OF LEVEL 2 AND DIRECT CURRENT FAST CHARGING (DCFC), EXCEPT THAT AT LEAST ONE LEVEL 2 EVSE SHALL BE PROVIDED. ONE EV CHARGER WITH MULTIPLE CONNECTORS CAPABLE OF CHARGING MULTIPLE EVS SIMULTANEOUSLY SHALL BE PERMITTED IF THE ELECTRICAL LOAD CAPACITY REQUIRED BY SECTION 5.106.5.3.1 FOR EACH EV CAPABLE SPACE IS ACCUMULATIVELY SUPPLIED TO THE EV CHARGER. THE INSTALLATION OF EACH DCFC EVSE SHALL BE PERMITTED TO REDUCE THE MINIMUM NUMBER OF REQUIRED EV CAPABLE SPACES BY FIVE AND REDUCE PROPORTIONALLY THE REQUIRED ELECTRICAL LOAD CAPACITY TO THE SERVICE PANEL OR SUBPANEL.	NA	THERE ARE 3 EXISTING EV PARKING STALLS ONSITE
5.106.5.3.3 USE OF AUTOMATIC LOAD MANAGEMENT SYSTEMS (ALMS). ALMS SHALL BE PERMITTED FOR EVCS. WHEN ALMS IS INSTALLED, THE REQUIRED ELECTRICAL LOAD CAPACITY SPECIFIED IN SECTION 5.106.5.3.1 FOR EACH EVCS MAY BE REDUCED WHEN SERVICED BY AN EVCS CONTROLLED BY AN ALMS. EACH EVCS CONTROLLED BY AN ALMS SHALL DELIVER A MINIMUM 30 AMPERES TO AN EV WHEN CHARGING ONE VEHICLE AND SHALL DELIVER A MINIMUM 3.3 KW WHILE SIMULTANEOUSLY CHARGING MULTIPLE EVS.	NA	THERE ARE 3 EXISTING EV PARKING STALLS ONSITE
5.106.5.3.4 ACCESSIBLE EVCS. WHEN EVSE IS INSTALLED, ACCESSIBLE EVCS SHALL BE PROVIDED IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, CHAPTER 11B, SECTION 11B-03.3. NOTE: FOR EVCS SIGNS, REFER TO CALTRANS TRAFFIC OPERATIONS POLICY DIRECTIVE 13-01 (ZERO EMISSION VEHICLE SIGNS AND PAVEMENT MARKINGS) OR ITS SUCCESSOR(S).	NA	THERE ARE 3 EXISTING EV PARKING STALLS ONSITE
5.106.5.4 ELECTRIC VEHICLE (EV) CHARGING: MEDIUM-DUTY AND HEAVY-DUTY (N) CONSTRUCTION SHALL COMPLY WITH SECTION 5.106.5.4.1 TO FACILITATE FUTURE INSTALLATION OF EVCS FOR VEHICLES ASSOCIATED WITH CONSTRUCTION FOR WAREHOUSES, GROCERY STORES AND RETAIL STORES WITH PLANNED OFF-STREET LOADING SPACES SHALL ALSO COMPLY WITH SECTION 5.106.5.4.1 FOR FUTURE INSTALLATION OF MEDIUM- AND HEAVY-DUTY EVSE. EXCEPTIONS: 1. ON A CASE-BY-CASE BASIS WHERE THE LOCAL ENFORCING AGENCY HAS DETERMINED COMPLIANCE WITH THIS SECTION IS NOT FEASIBLE BASED UPON ONE OF THE FOLLOWING CONDITIONS: a. WHERE THERE IS NO LOCAL UTILITY POWER SUPPLY. b. WHERE THE LOCAL UTILITY IS UNABLE TO SUPPLY ADEQUATE POWER. c. WHERE THERE IS EVIDENCE SUITABLE TO THE LOCAL ENFORCING AGENCY SUBSTANTIATING THAT ADDITIONAL LOCAL UTILITY INFRASTRUCTURE DESIGN REQUIREMENTS, DIRECTLY RELATED TO THE IMPLEMENTATION OF SECTION 5.106.5.3, MAY ADVERSELY IMPACT THE CONSTRUCTION COST OF THE PROJECT. WHEN EVSE(S) IS/ARE INSTALLED, IT SHALL BE IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE, THE CALIFORNIA ELECTRICAL CODE AND AS FOLLOWS:	NA	THERE ARE 3 EXISTING EV PARKING STALLS ONSITE
5.106.5.4.1 ELECTRIC VEHICLE CHARGING READINESS REQUIREMENTS FOR WAREHOUSE, GROCERY STORES AND RETAIL STORES WITH PLANNED OFF-STREET TRAFFIC AND/OR ADD MORE THAN 9 VISITOR VEHICULAR PARKING SPACES. (N) IN ORDER TO AVOID FUTURE DEMOLITION WHEN ADDING EV CHARGING SUPPLY AND DISTRIBUTION EQUIPMENT, SPARE RACEWAY(S) OR BUSWAY(S) AND ADEQUATE CAPACITY FOR TRANSFORMER(S), SERVICE PANEL(S) OR SUBPANEL(S) SHALL BE INSTALLED AT THE TIME OF CONSTRUCTION IN ACCORDANCE WITH THE CALIFORNIA ELECTRICAL CODE, CONSTRUCTION PLANS AND SPECIFICATIONS SHALL INCLUDE BUT ARE NOT LIMITED TO, THE FOLLOWING: 5.106.12 SHADE TREES (DSA-SS). SHADE TREES SHALL BE PLANTED TO COMPLY WITH SECTIONS 5.106.12.1, 5.106.12.2, AND 5.106.12.3. PERCENTAGES SHOWN SHALL BE MEASURED AT NOON ON THE SUMMER SOLSTICE. LANDSCAPE IRRIGATION NECESSARY TO ESTABLISH AND MAINTAIN TREE HEALTH SHALL COMPLY WITH SECTION 5.304.6.	NA	THERE ARE 3 EXISTING EV PARKING STALLS ONSITE


5.106.5.4.1 ELECTRIC VEHICLE CHARGING... CONTINUED.	Y/N/A	RESPONSIBLE PARTY COMMENTS			
1. THE TRANSFORMER, MAIN SERVICE EQUIPMENT AND SUBPANEL SHALL MEET THE MINIMUM POWER REQUIREMENT IN TABLE 5.106.5.4.1 TO ACCOMMODATE THE DEDICATED BRANCH CIRCUITS FOR THE FUTURE INSTALLATION OF EVSE 2. THE CONSTRUCTION DOCUMENTS SHALL INDICATE ON OR MORE LOCATION(S) CONVENIENT TO THE PLANNED OFF-STREET LOADING SPACE(S) RESERVED FOR MEDIUM- AND HEAVY-DUTY ZEV CHARGING CABINETS AND CHARGING DISPENSERS, AND A PATHWAY RESERVED FOR ROUTING OF CONDUIT FROM THE TERMINATION OF THE RACEWAY(S) OR BUSWAY(S) TO THE CHARGING CABINET(S) AND DISPENSER(S) AS SHOWN IN TABLE 5.106.5.4.1 3. RACEWAY(S) OR BUSWAY(S) ORIGINATING AT A MAIN SERVICE PANEL OR A SUBPANEL(S) SERVING THE AREA WHERE POTENTIAL FUTURE MEDIUM- AND HEAVY-DUTY EVSE WILL BE LOCATED AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE POTENTIAL FUTURE LOCATION OF THE CHARGING EQUIPMENTS FOR MEDIUM- AND HEAVY-DUTY VEHICLES. 4. THE RACEWAY(S) OR BUSWAY(S) SHALL BE SUFFICIENT SIZE TO CARRY THE MINIMUM ADDITIONAL SYSTEM LOAD TO THE FUTURE LOCATION OF THE CHARGING FOR MEDIUM- AND HEAVY-DUTY ZEVs AS SHOWN IN TABLE 5.106.5.4.1.	Y/N/A	RESPONSIBLE PARTY COMMENTS			
TABLE 5.106.5.4.1 RACEWAY CONDUIT AND PANEL POWER REQUIREMENTS FOR MEDIUM- AND HEAVY-DUTY EVSE (N)					
BUILDING TYPE BUILDING SIZE (SQ. FT.) NUMBER OF OFF-STREET LOADING SPACES ADDITIONAL CAPACITY REQUIRED (KVA) FOR RACEWAY & BUSWAY AND TRANSFORMER & PANEL					
GROCERY 10,000 to 90,000 1 or 2 200					
RETAIL 10,000 to 135,000 1 or Greater 400					
	Greater than 135,000 1 or 2 200				
WAREHOUSE 20,000 to 256,000 1 or Greater 400					
	Greater than 256,000 3 or Greater 400				
5.106.8 LIGHT POLLUTION REDUCTION (N) OUTDOOR LIGHTING SYSTEMS SHALL BE DESIGNED AND INSTALLED TO COMPLY WITH THE FOLLOWING: 1. THE MINIMUM REQUIREMENTS IN THE CALIFORNIA ENERGY CODE FOR LIGHTING ZONES 0-4 AS DEFINED IN CHAPTER 10, SECTION 10-11.4 OF THE CALIFORNIA ADMINISTRATIVE CODE; AND 2. BACKLIGHT (B) RATINGS AS DEFINED IN IES TM-15-11 (SHOWN IN TABLE A-1 IN CHAPTER 8). 3. UPLIGHT AND GLARE RATINGS AS DEFINED IN CALIFORNIA ENERGY CODE (SHOWN IN TABLES 130.2-A AND 130.2-B IN CHAPTER 8) AND 4. ALLOWABLE BUG RATINGS NOT EXCEEDING THOSE SHOWN IN TABLE 5.106.8.1, (N) OR COMPLY WITH A LOCAL ORDINANCE LAWFULLY ENACTED PURSUANT TO SECTION 101.7, WHICHEVER IS MORE STRINGENT. EXCEPTIONS: (N) 1. LUMINAIRES THAT QUALIFY AS EXCEPTIONS IN SECTIONS 130.2 (B) AND 140.7 OF THE CALIFORNIA ENERGY CODE. 2. EMERGENCY LIGHTING. 3. BUILDING FACADE MEETING THE REQUIREMENTS IN TABLE 140.7-8 OF THE CALIFORNIA ENERGY CODE, PART 6. 4. CUSTOM LIGHTING FEATURES AS ALLOWED BY THE LOCAL ENFORCING AGENCY, AS PERMITTED BY SECTION 101.8 ALTERNATE MATERIALS, DESIGNS AND METHODS OF CONSTRUCTION. 5. LUMINAIRES WITH LESS THAN 2,000 INITIAL LUMINAIRE LUMENS.	NA	NO NEW PARKING LIGHTS OR SIGN LIGHTS ARE PROPOSED. ONLY EGRESSINGRESS WALL PACK ARE PROPOSED			
TABLE 5.106.8 (N) MAXIMUM ALLOWABLE BACKLIGHT, UPLIGHT AND GLARE (BUG) RATINGS					
ALLOWABLE RATING LIGHTING ZONE L20 LIGHTING ZONE L21 LIGHTING ZONE L22 LIGHTING ZONE L23 LIGHTING ZONE L24					
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					
LUMINAIRE GREATER THAN 2 MOUNTING HEIGHTS (MH) FROM PROPERTY LINE	N/A	NO LIMIT	NO LIMIT	NO LIMIT	NO LIMIT
LUMINAIRE BACK HEMISPHERE IS 0.2 MH FROM PROPERTY LINE	N/A	B2	B3	B4	B4
LUMINAIRE BACK HEMISPHERE IS 0.5-1 MH FROM PROPERTY LINE	N/A	B1	B2	B3	B3
LUMINAIRE BACK HEMISPHERE IS LESS THAN 0.5 MH FROM PROPERTY LINE	N/A	B0	B0	B1	B2
MAXIMUM ALLOWABLE UPLIGHT RATING (U)					
FOR AREA LIGHTING	N/A	U0	U0	U0	U0
FOR ALL OTHER OUTDOOR LIGHTING, INCLUDING DECORATIVE LUMINAIRES	N/A	U1	U2	U3	UR
MAXIMUM ALLOWABLE GLARE RATING (G)					
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G1	G2	G3	G4
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G0	G1	G1	G2
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G0	G0	G1	G1
MAXIMUM ALLOWABLE GLARE RATING (G)	N/A	G0	G0	G0	G1
1. IESNA LIGHTING ZONES 0 AND 5 ARE NOT APPLICABLE; REFER TO LIGHTING ZONES AS DEFINED IN THE CALIFORNIA ENERGY CODE AND CHAPTER 10 OF THE CALIFORNIA ADMINISTRATIVE CODE. 2. FOR PROPERTY LINES THAT ADJUT PUBLIC WALKWAYS, BIKEWAYS, PLAZAS AND PARKING LOTS, THE PROPERTY LINE MAY BE CONSIDERED TO BE 5 FEET BEYOND THE ACTUAL PROPERTY LINE FOR PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION. FOR PROPERTY LINES THAT ADJUT PUBLIC ROADWAYS AND PUBLIC TRANSIT CORRIDORS, THE PROPERTY LINE MAY BE CONSIDERED TO BE THE CENTERLINE OF THE PUBLIC ROADWAY OR PUBLIC TRANSIT CORRIDOR FOR THE PURPOSE OF DETERMINING COMPLIANCE WITH THIS SECTION. 3. GENERAL LIGHTING LUMINAIRES IN AREAS SUCH AS OUTDOOR PARKING, SALES OR STORAGE LOTS SHALL MEET THESE REDUCED RATINGS. DECORATIVE LUMINAIRES LOCATED IN THESE AREAS SHALL MEET U/L VALUE LIMITS FOR "ALL OTHER OUTDOOR LIGHTING" 5.106.8.1 FACING- BACKLIGHT LUMINAIRES WITHIN 200' OF A PROPERTY LINE SHALL BE ORIENTED SO THAT THE NEAREST PROPERTY LINE IS BEHIND THE FIXTURE, AND SHALL COMPLY WITH THE BACKLIGHT RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT OF THAT PROPERTY LINE. EXCEPTION: CORNERS. IF TWO PROPERTY LINES (OR TWO SEGMENTS OF THE SAME PROPERTY LINE) HAVE EQUIDISTANT POINT TO THE LUMINAIRE, THEN THE LUMINAIRE MAY BE ORIENTED SO THAT THE INTERSECTION OF THE TWO LINES (THE CORNER) IS DIRECTLY BEHIND THE LUMINAIRE. THE LUMINAIRE ALL SHALL USE THE DISTANCE TO THE NEAREST POINT(S) ON THE PROPERTY LINES TO DETERMINE THE REQUIRED BACKLIGHT RATINGS.					
5.106.8.2 FACING-GLARE. FOR LUMINAIRES COVERED BY 5.106.8.1, IF A PROPERTY LINE ALSO EXISTS WITHIN OR EXTENDS INTO THE FRONT HEMISPHERE WITHIN 200' OF THE LUMINAIRE THEN THE LUMINAIRE SHALL COMPLY WITH THE MORE STRINGENT GLARE RATING SPECIFIED IN TABLE 5.106.8 BASED ON THE LIGHTING ZONE AND DISTANCE TO THE NEAREST POINT ON THE NEAREST PROPERTY LINE WITHIN THE FRONT HEMISPHERE. NOTE: (N) 1. SEE ALSO CALIFORNIA BUILDING CODE, CHAPTER 12, SECTION 1205.6 FOR COLLEGE CAMPUS LIGHTING REQUIREMENTS FOR PARKING FACILITIES AND WALKWAYS. 2. REFER TO CHAPTER 8 COMPLIANCE FORMS, WORKSHEETS AND REFERENCE MATERIAL) FOR IES TM-15-11 TABLE A-1, CALIFORNIA ENERGY CODE TABLES 130.2-A AND 130.2-B. 3. REFER TO THE CALIFORNIA BUILDING CODE FOR REQUIREMENTS FOR ADDITIONS AND ALTERATIONS.					
5.106.10 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS. EXAMPLES OF METHODS TO MANAGE SURFACE WATER INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: 1. SWALES. 2. WATER COLLECTION AND DISPOSAL SYSTEMS. 3. GROUNDWATER COLLECTION. 4. WATER RETENTION GARDENS. 5. OTHER WATER MEASURES WHICH KEEP SURFACE WATER AWAY FROM BUILDINGS AND AID IN GROUNDWATER RECHARGE. EXCEPTION: ADDITIONS AND ALTERATIONS NOT ALTERING THE DRAINAGE PATH.	Y	SEE CIVIL DRAWING FOR GRADING AND DRAINAGE INFORMATION.			



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PUBLISHED SETS	
REV.	DESCRIPTION
02.14.22	RESUBMITTAL 1
03.02.22	RESUBMITTAL 2
03.15.22	RESUBMITTAL 3
03.21.22	RESUBMITTAL 4
08.09.22	PLANNING SUBMITTAL
09.02.22	PLANNING RE-SUBMITTAL
09.12.22	BUILDING SUBMITTAL
03.09.23	PLANNING SUBMITTAL
04.21.23	BUILDING SUBMITTAL
06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043

APPROVAL STAMP



CALGREEN CHECKLIST

DATE	SCALE
06.1.21	AS SHOWN
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A0.3

2022 CALGREEN NON-RESIDENTIAL MANDATORY MEASURES CHECKLIST

Y/N/A	RESPONSIBLE PARTY COMMENTS	5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS CONTINUED	Y/N/A	RESPONSIBLE PARTY COMMENTS	5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING CONTINUED	Y/N/A	RESPONSIBLE PARTY COMMENTS
<p>5.106.12.1 SURFACE PARKING AREAS. SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL, SHALL BE INSTALLED TO PROVIDE SHADE OVER 50 PERCENT OF THE PARKING AREA WITHIN 15 YEARS.</p> <p>EXCEPTIONS: SURFACE PARKING AREA COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES WITH ROOFING MATERIALS THAT COMPLY WITH TABLE A5.106.11.2.2 IN APPENDIX A5 SHALL BE PERMITTED IN WHOLE OR IN PART IN LIEU OF SHADE TREE PLANTING.</p> <p>5.106.12.2 LANDSCAPE AREAS. SHADE TREES PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OF 20% OF THE LANDSCAPE AREA WITHIN 15 YEARS.</p> <p>EXCEPTIONS: PLAYFIELDS FOR ORGANIZED SPORT ACTIVITY ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION.</p> <p>1.106.12.3. HARDSCAPE AREAS. SHADE TREE PLANTINGS, MINIMUM #10 CONTAINER SIZE OR EQUAL SHALL BE INSTALLED TO PROVIDE SHADE OVER 20 PERCENT OF THE HARDSCAPE AREA WITHIN 15 YEARS.</p> <p>EXCEPTIONS: 1. WALKS, HARDSCAPE AREAS COVERED BY SOLAR PHOTOVOLTAIC SHADE STRUCTURES OR SHADE STRUCTURES WITH ROOFING MATERIALS THAT COMPLY WITH TABLE A5.106.11.2.2 IN APPENDIX A5 SHALL BE PERMITTED IN WHOLE OR IN PART IN LIEU OF SHADE TREE PLANTINGS. 2. DESIGNATED AND MARKED PLAY AREAS OF ORGANIZED SPORT ACTIVITY ARE NOT INCLUDED IN THE TOTAL AREA CALCULATION.</p>	<p>DIVISION 5.2 ENERGY EFFICIENCY</p> <p>SECTION 5.201 GENERAL 5.201.1 SCOPE [BSC-CG] CALIFORNIA ENERGY CODE (DCA-SS), FOR THE PURPOSES OF MANDATORY ENERGY EFFICIENCY STANDARDS. THE CALIFORNIA ENERGY COMMISSION WILL CONTINUE TO ADOPT MANDATORY BUILDING STANDARDS.</p>	<p>5.303.3.4.6 PRE-RINSE SPRAY VALVE WHEN INSTALLED, SHALL MEET THE REQUIREMENTS IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 20 (APPLIANCE EFFICIENCY REGULATIONS), SECTION 1605.1 (H)(4) TABLE H-2, SECTION 1605.5 (H)(1)(A), AND SECTION 1607 (D)(7), AND SHALL BE EQUIPPED WITH AN INTEGRAL AUTOMATIC SHUTOFF.</p> <p>FOR REFERENCE ONLY: THE FOLLOWING TABLE AND CODE SECTION HAVE BEEN REPRINTED FROM THE CALIFORNIA CODE OF REGULATIONS, TITLE 20 (APPLIANCE EFFICIENCY REGULATIONS), SECTION 1605.1 (H)(4) AND SECTION 1605.3 (H)(1)(A).</p> <p>5.303.4 COMMERCIAL KITCHEN EQUIPMENT.</p> <p>5.303.4.1 FOOD WASTE DISPOSERS. DISPOSERS SHALL EITHER MODULATE THE USE OF WATER TO NO MORE THAN 1 GPM WHEN THE DISPOSER IS NOT IN USE (NOT ACTIVELY GRINDING FOOD WASTE-LOAD) OR SHALL AUTOMATICALLY SHUT OFF AFTER NO MORE THAN 10 MINUTES OF INACTIVITY. DISPOSERS SHALL USE NO MORE THAN 8 GPM OF WATER. NOTE: THIS CODE SECTION DOES NOT AFFECT LOCAL JURISDICTION AUTHORITY TO PROHIBIT OR REQUIRE DISPOSER INSTALLATION.</p> <p>5.303.5 AREAS OF ADDITION OR ALTERATION. FOR THOSE OCCUPANCIES WITHIN THE AUTHORITY OF THE CALIFORNIA BUILDING STANDARDS COMMISSION AS SPECIFIED IN SECTION 103, THE PROVISIONS OF SECTION 5.303.3 AND 5.303.4 SHALL APPLY TO NEW FIXTURES IN ADDITIONS OR AREAS OF ALTERATION TO THE BUILDING.</p> <p>5.303.6 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE AND IN CHAPTER 6 OF THIS CODE.</p>	<p>SECTION 5.304 OUTDOOR WATER USE</p> <p>5.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. NONRESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.</p> <p>NOTES: 1. THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) IS LOCATED IN THE CALIFORNIA CODE OF REGULATIONS, TITLE 23, CHAPTER 2.7, DIVISION 2. 2. MWELO AND SUPPORTING DOCUMENTS, INCLUDING A WATER BUDGET CALCULATOR, ARE AVAILABLE AT: HTTPS://WWW.WATER.CA.GOV/.</p> <p>5.304.6 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. FOR PUBLIC SCHOOLS AND COMMUNITY COLLEGES, LANDSCAPE PROJECTS AS DESCRIBED IN SECTIONS 5.304.6.1 AND 5.304.6.2 SHALL COMPLY WITH THE CALIFORNIA DEPARTMENT OF WATER RESOURCES MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO) COMMENCING WITH SECTION 490 OF CHAPTER 2.7, DIVISION 2, TITLE 23, CALIFORNIA CODE OF REGULATIONS, EXCEPT THAT THE EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) SHALL BE 0.65 WITH AN ADDITIONAL WATER ALLOWANCE FOR SPECIAL LANDSCAPE AREAS (SLA) OF 0.35.</p> <p>EXCEPTION: ANY PROJECT WITH AN AGGREGATE LANDSCAPE AREA OF 2,500 SQUARE FEET OR LESS MAY COMPLY WITH THE PRESCRIPTIVE MEASURES CONTAINED IN APPENDIX D OF THE MWELO.</p> <p>5.304.6.1 NEWLY CONSTRUCTED LANDSCAPES. NEW CONSTRUCTION PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 300 SQUARE FEET.</p> <p>5.304.6.2 REHABILITATED LANDSCAPES. REHABILITATED LANDSCAPE PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 1,200 SQUARE FEET.</p>	<p>NO PRE-RINSE SPRAY IS IN SCOPE OF WORK</p> <p>THIS IS NOT A COMMERCIAL KITCHEN PROJECT</p> <p>NO LANDSCAPE AREAS ARE BEING MODIFIED</p>	<p>5.408.2 UNIVERSAL WASTE. (A) ADDITIONS AND ALTERATIONS TO A BUILDING OR TENANT SPACE THAT MEET THE SCOPING PROVISIONS IN SECTION 301.3 FOR NONRESIDENTIAL ADDITIONS AND ALTERATIONS, SHALL REQUIRE VERIFICATION THAT UNIVERSAL WASTE ITEMS SUCH AS FLUORESCENT LAMPS AND BALLAST AND MERCURY CONTAINING THERMOSTATS AS WELL AS OTHER CALIFORNIA PROHIBITED UNIVERSAL WASTE MATERIALS ARE DISPOSED OF PROPERLY AND ARE DIVERTED FROM LANDFILLS. A LIST OF PROHIBITED UNIVERSAL WASTE MATERIALS SHALL BE INCLUDED IN THE CONSTRUCTION DOCUMENTS.</p> <p>NOTE: REFER TO THE UNIVERSAL WASTE RULE LINK AT: HTTP://WWW.DTSC.CA.GOV/UNIVERSALWASTE</p> <p>5.408.3 EXCAVATED SOIL AND LAND CLEARING DEBRIS. 100 PERCENT OF TREES, STUMPS, ROCKS AND ASSOCIATED VEGETATION AND SOILS RESULTING PRIMARILY FROM LAND CLEARING SHALL BE REUSED OR RECYCLED. FOR A PHASED PROJECT, SUCH MATERIAL MAY BE STOCKPILED ON SITE UNTIL THE STORAGE SITE IS DEVELOPED.</p> <p>EXCEPTION: THIS RULE, EITHER ON OR OFF-SITE, OF VEGETATION OR SOIL CONTAMINATED BY DISEASE OR PEST INFESTATION.</p> <p>NOTES: 1. IF CONTAMINATION BY DISEASE OR PEST INFESTATION IS SUSPECTED, CONTACT THE COUNTY AGRICULTURAL COMMISSIONER AND FOLLOW ITS DIRECTION FOR RECYCLING OR DISPOSAL OF THE MATERIAL. 2. FOR A MAP OF KNOWN PEST AND/OR DISEASE QUARANTINE ZONES, CONSULT WITH THE CALIFORNIA DEPARTMENT OF FOOD AND AGRICULTURE. (WWW.CDFA.CA.GOV)</p>	<p>SECTION 5.410 BUILDING MAINTENANCE AND OPERATIONS</p> <p>5.410.1 RECYCLING BY OCCUPANTS. PROVIDE READILY ACCESSIBLE AREAS THAT SERVE THE ENTIRE BUILDING AND ARE IDENTIFIED FOR THE DEPOSITING, STORAGE AND COLLECTION OF NON-HAZARDOUS MATERIALS FOR RECYCLING, INCLUDING (AT A MINIMUM) PAPER, CORRUGATED CARDBOARD, GLASS, PLASTICS, ORGANIC WASTE, AND METALS OR MEET A LAWFULLY ENACTED LOCAL RECYCLING ORDINANCE, IF MORE RESTRICTIVE.</p> <p>EXCEPTION: RURAL JURISDICTIONS THAT MEET AND APPLY FOR THE EXEMPTION IN PUBLIC RESOURCE CODE 42649.82 (A)(2)(A) ET SEQ. SHALL ALSO BE EXEMPT FROM THE ORGANIC WASTE PORTION OF THIS SECTION.</p> <p>5.410.1.1 ADDITIONS. ALL ADDITIONS CONDUCTED WITHIN A 12-MONTH PERIOD UNDER SINGLE OR MULTIPLE PERMITS, RESULTING IN AN INCREASE OF 30% OR MORE IN FLOOR AREA, SHALL PROVIDE RECYCLING AREAS ON SITE.</p> <p>EXCEPTION: ADDITIONS WITHIN A TENANT SPACE RESULTING IN LESS THAN A 30% INCREASE IN THE TENANT SPACE FLOOR AREA.</p> <p>5.410.1.2 SAMPLE ORDINANCE. SPACE ALLOCATION FOR RECYCLING AREAS SHALL COMPLY WITH CHAPTER 18, PART 3, DIVISION 30 OF THE PUBLIC RESOURCES CODE, CHAPTER 18 IS KNOWN AS THE CALIFORNIA SOLID WASTE REUSE AND RECYCLING ACCESS ACT OF 1991 (ACT).</p> <p>NOTE: A SAMPLE ORDINANCE FOR USE BY LOCAL AGENCIES MAY BE FOUND IN APPENDIX A OF THE DOCUMENT AT THE CALRECYCLE'S WEB SITE.</p> <p>5.410.2 COMMISSIONING. (N) NEW BUILDINGS 10,000 SQUARE FEET AND OVER. FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESSES OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE DESIGNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. FOR OCCUPANCIES THAT ARE NOT REGULATED BY OSHPD OR FOR OCCUPANCIES AND OCCUPANCIES THAT ARE NOT REGULATED BY THE CALIFORNIA ENERGY CODE SECTION 100.0 SCOPE, ALL REQUIREMENTS IN SECTIONS 5.410.2 THROUGH 5.410.2.6 SHALL APPLY.</p> <p>NOTE: FOR ENERGY-RELATED SYSTEMS UNDER THE SCOPE (SECTION 100) OF THE CALIFORNIA ENERGY CODE, INCLUDING HEATING, VENTILATION, AIR CONDITIONING (HVAC) SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEMS AND CONTROLS, AS WELL AS WATER HEATING SYSTEMS AND CONTROLS, REFER TO CALIFORNIA ENERGY CODE SECTION 120.8 FOR COMMISSIONING REQUIREMENTS</p> <p>COMMISSIONING REQUIREMENTS SHALL INCLUDE: 1. OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. 2. BASIS OF DESIGN. 3. COMMISSIONING MEASURES SHOWN IN THE CONSTRUCTION DOCUMENTS. 4. COMMISSIONING PLAN. 5. FUNCTIONAL PERFORMANCE TESTING. 6. DOCUMENTATION AND TRAINING. 7. COMMISSIONING REPORT.</p> <p>EXCEPTIONS: 1. UNCONDITIONED WAREHOUSES OF ANY SIZE. 2. AREA CERTIFICATION OF COMMISSIONING PERSONNEL. AC 470 IS AVAILABLE TO THE AUTHORITY HAVING JURISDICTION AS A REFERENCE FOR QUALIFICATIONS OF COMMISSIONING PERSONNEL. AC 476 DOES NOT CERTIFY INDIVIDUALS TO CONDUCT FUNCTIONAL PERFORMANCE TESTS OR TO ADJUST AND BALANCE SYSTEMS.</p> <p>5.410.2.1 OWNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS (OPR). (N) THE EXPECTATIONS AND REQUIREMENTS OF THE BUILDING APPROPRIATE TO ITS PHASE SHALL BE DOCUMENTED BEFORE THE DESIGN PHASE OF THE PROJECT BEGINS. THIS DOCUMENTATION SHALL INCLUDE THE FOLLOWING: 1. ENVIRONMENTAL AND SUSTAINABILITY GOALS. 2. BUILDING SUSTAINABLE GOALS. 3. INDOOR ENVIRONMENTAL QUALITY REQUIREMENTS. 4. PROJECT PROGRAM, INCLUDING FACILITY FUNCTIONS AND HOURS OF OPERATION, AND NEED FOR AFTER HOURS OPERATION. 5. EQUIPMENT AND SYSTEMS EXPECTATIONS. 6. BUILDING OCCUPANT AND OPERATION AND MAINTENANCE (O&M) PERSONNEL EXPECTATIONS.</p> <p>5.410.2.2 BASIS OF DESIGN (BOD). (N) A WRITTEN EXPLANATION OF HOW THE DESIGN OF THE BUILDING SYSTEMS MEETS THE OPR SHALL BE COMPLETED AT THE DESIGN PHASE OF THE BUILDING PROJECT. THE BASIS OF DESIGN DOCUMENT SHALL COVER THE FOLLOWING SYSTEMS: 1. RENEWABLE ENERGY SYSTEMS. 2. LANDSCAPE IRRIGATION SYSTEMS. 3. WATER REUSE SYSTEM.</p> <p>5.410.2.3 COMMISSIONING PLAN. (N) PRIOR TO PERMIT ISSUANCE A COMMISSIONING PLAN SHALL BE COMPLETED TO DOCUMENT HOW THE PROJECT WILL BE COMMISSIONED. THE COMMISSIONING PLAN SHALL INCLUDE THE FOLLOWING: 1. GENERAL PROJECT INFORMATION. 2. COMMISSIONING GOALS. 3. SYSTEMS TO BE COMMISSIONED. PLANS TO TEST SYSTEMS AND COMPONENTS SHALL INCLUDE: A. AN EXPLANATION OF THE ORIGINAL DESIGN INTENT. B. EQUIPMENT AND SYSTEMS TO BE TESTED, INCLUDING THE EXTENT OF TESTS. C. FUNCTIONS TO BE TESTED. D. CONDITIONS UNDER WHICH THE TEST SHALL BE PERFORMED. E. MEASURABLE CRITERIA FOR ACCEPTABLE PERFORMANCE. 4. COMMISSIONING TEAM INFORMATION. 5. COMMISSIONING PROCESS ACTIVITIES, SCHEDULES AND RESPONSIBILITIES. PLANS FOR THE COMPLETION OF COMMISSIONING SHALL BE INCLUDED.</p> <p>5.410.2.4 FUNCTIONAL PERFORMANCE TESTING. (N) FUNCTIONAL PERFORMANCE TESTS SHALL DEMONSTRATE THE CORRECT INSTALLATION AND OPERATION OF EACH COMPONENT, SYSTEM AND SYSTEM-TO-SYSTEM INTERFACE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. FUNCTIONAL PERFORMANCE TESTING REPORTS SHALL CONTAIN INFORMATION ADDRESSING EACH OF THE BUILDING COMPONENTS TESTED, THE TESTING METHODS UTILIZED, AND INCLUDE ANY READINGS AND ADJUSTMENTS.</p> <p>5.410.2.5 DOCUMENTATION AND TRAINING. (N) A SYSTEMS MANUAL AND SYSTEMS OPERATIONS TRAINING ARE REQUIRED, INCLUDING OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA) REQUIREMENTS IN CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.</p> <p>5.410.2.5.1 SYSTEMS MANUAL. (N) DOCUMENTATION OF THE OPERATIONAL ASPECTS OF THE BUILDING SHALL BE COMPLETED WITHIN THE SYSTEMS MANUAL AND DELIVERED TO THE BUILDING OWNER OR REPRESENTATIVE. THE SYSTEMS MANUAL SHALL INCLUDE THE FOLLOWING: 1. SITE INFORMATION, INCLUDING FACILITY DESCRIPTION, HISTORY AND CURRENT REQUIREMENTS. 2. SITE CONTACT INFORMATION. 3. BASIC OPERATIONS AND MAINTENANCE, INCLUDING GENERAL SITE OPERATING PROCEDURES, BASIC TROUBLESHOOTING, RECOMMENDED MAINTENANCE REQUIREMENTS, SITE EVENTS LOG. 4. MAJOR SYSTEMS. 5. SITE EQUIPMENT INVENTORY AND MAINTENANCE NOTES. 6. A COPY OF VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE. 7. OTHER RESOURCES AND DOCUMENTATION, IF APPLICABLE.</p> <p>5.410.2.5.2 SYSTEMS OPERATIONS TRAINING. (N) A PROGRAM FOR TRAINING OF THE APPROPRIATE MAINTENANCE STAFF FOR EACH EQUIPMENT TYPE AND/OR SYSTEM SHALL BE DEVELOPED AND DOCUMENTED IN THE COMMISSIONING REPORT AND SHALL INCLUDE THE FOLLOWING: 1. SYSTEMS EQUIPMENT OVERVIEW (WHAT IT IS, WHAT IT DOES AND WITH WHAT OTHER SYSTEMS AND/OR EQUIPMENT IT INTERFACES). 2. REVIEW AND DEMONSTRATION OF SERVICING/PREVENTIVE MAINTENANCE. 3. REVIEW OF THE INFORMATION IN THE SYSTEMS MANUAL. 4. REVIEW OF THE RECORD DRAWINGS ON THE SYSTEMS EQUIPMENT.</p> <p>5.410.2.6 COMMISSIONING REPORT. (N) A REPORT OF COMMISSIONING PROCESS ACTIVITIES UNDERTAKEN THROUGH THE DESIGN AND CONSTRUCTION PHASES OF THE BUILDING PROJECT SHALL BE COMPLETED AND PROVIDED TO THE OWNER OR REPRESENTATIVE.</p>	
<p>DIVISION 5.3 WATER EFFICIENCY AND CONSERVATION</p> <p>SECTION 5.302 DEFINITIONS 5.302.1 DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 (AND ARE INCLUDED HERE FOR REFERENCE) EVAPOTRANSPIRATION ADJUSTMENT FACTOR (ETAF) [DCA-SS]. AN ADJUSTMENT FACTOR WHEN APPLIED TO REFERENCE EVAPOTRANSPIRATION THAT ADJUSTS FOR PLANT FACTORS AND IRRIGATION EFFICIENCY, WHICH ARE TWO MAJOR INFLUENCES ON THE AMOUNT OF WATER THAT NEEDS TO BE APPLIED TO THE LANDSCAPE. FOOTPRINT AREA [DCA-SS]. THE TOTAL AREA OF THE FURTHEST EXTERIOR WALL OF THE STRUCTURE PROJECTED TO NATURAL GRADE, NOT INCLUDING EXTERIOR AREAS SUCH AS STAIRS, COVERED WALKWAYS, PATIOS AND DECKS. METERING FAUCET. A SELF-CLOSING FAUCET THAT DISPENSES A SPECIFIC VOLUME OF WATER FOR EACH ACTUATION CYCLE. THE VOLUME OR CYCLE DURATION CAN BE FIXED OR ADJUSTABLE. GRAYWATER. PURSUANT TO HEALTH AND SAFETY CODE SECTION 17922.12, "GRAYWATER" MEANS UNTREATED WASTEWATER THAT HAS NOT BEEN CONTAMINATED BY ANY TOILET DISCHARGE, HAS NOT BEEN AFFECTED BY INFECTIOUS, CONTAMINATED, OR UNHEALTHY BODILY WASTES, AND DOES NOT PRESENT A THREAT FROM CONTAMINATION BY UNHEALTHFUL PROCESSING, MANUFACTURING, OR OPERATING WASTES. "GRAYWATER" INCLUDES, BUT IS NOT LIMITED TO WASTEWATER FROM BATHTUBS, SHOWERS, BATHROOM WASHBASINS, CLOTHES WASHING MACHINES AND LAUNDRY TUBS, BUT DOES NOT INCLUDE WASTE WATER FROM KITCHEN SINKS OR DISHWASHERS. MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO). THE CALIFORNIA ORDINANCE REGULATING LANDSCAPE DESIGN, INSTALLATION AND MAINTENANCE PRACTICES THAT WILL ENSURE COMMERCIAL, MULTIFAMILY AND OTHER DEVELOPER INSTALLED LANDSCAPES GREATER THAN 2500 SQUARE FEET MEET AN IRRIGATION WATER BUDGET DEVELOPED BASED ON LANDSCAPE AREA AND CLIMATOLOGICAL PARAMETERS. MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), (HCD) THE CALIFORNIA MODEL ORDINANCE (CALIFORNIA CODE OF REGULATIONS, TITLE 23, DIVISION 2, CHAPTER 2.7), REGULATING LANDSCAPE DESIGN, INSTALLATION AND MAINTENANCE PRACTICES. LOCAL AGENCIES ARE REQUIRED TO ADOPT THE UPDATED MWELO, OR ADOPT A LOCAL ORDINANCE AT LEAST AS EFFECTIVE AS THE MWELO. POTABLE WATER. WATER THAT IS DRINKABLE AND MEETS THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) DRINKING WATER STANDARDS. SEE DEFINITION IN THE CALIFORNIA PLUMBING CODE, PART 5. POTABLE WATER, (HCD) WATER THAT IS SATISFACTORY FOR DRINKING, CULINARY, AND DOMESTIC PURPOSES, AND MEETS THE U.S. ENVIRONMENTAL PROTECTION AGENCY (EPA) DRINKING WATER STANDARDS AND THE REQUIREMENTS OF THE HEALTH AUTHORITY HAVING JURISDICTION. RECYCLED WATER. WATER WHICH, AS A RESULT OF TREATMENT OF WASTE, IS SUITABLE FOR A DIRECT BENEFICIAL USE OR A CONTROLLED USE THAT WOULD NOT OTHERWISE OCCUR (WATER CODE SECTION 13050 (N)). SIMPLY PUT, RECYCLED WATER IS WATER TREATED TO REMOVE WASTE MATTER ATTAINING A QUALITY THAT IS SUITABLE TO USE THE WATER AGAIN. SUBMETER. (HCD 1) A SECONDARY DEVICE BEYOND A METER THAT MEASURES WATER CONSUMPTION OF AN INDIVIDUAL RENTAL UNIT WITHIN A MULTIFAMILY RESIDENTIAL STRUCTURE OR MIXED-USE RESIDENTIAL AND COMMERCIAL STRUCTURE. (SEE CIVIC CODE SECTION 1954.202 (G) AND WATER CODE SECTION 517 FOR ADDITIONAL DETAILS.) WATER BUDGET. IS THE ESTIMATED TOTAL LANDSCAPE IRRIGATION WATER USE WHICH SHALL NOT EXCEED THE MAXIMUM APPLIED WATER ALLOWANCE CALCULATED IN ACCORDANCE WITH THE DEPARTMENT OF WATER RESOURCES MODEL EFFICIENT LANDSCAPE ORDINANCE (MWELO).</p>	<p>SECTION 5.303 INDOOR WATER USE</p> <p>5.303.1 METERS. SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR THE USES DESCRIBED IN SECTIONS 503.1.1 AND 503.1.2.</p> <p>5.303.1.1 BUILDINGS IN EXCESS OF 50,000 SQUARE FEET. SEPARATE SUBMETERS SHALL BE INSTALLED AS FOLLOWS: 1. FOR EACH INDIVIDUAL LEASED, RENTED OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTED TO CONSUME MORE THAN 100 GALLONS (380 LITERS), INCLUDING, BUT NOT LIMITED TO, SPACES USED FOR LAUNDRY OR CLEANERS, RESTAURANT OR FOOD SERVICE, MEDICAL OR DENTAL OFFICE, LABORATORY, OR BEAUTY SALON OR BARBER SHOP. 2. WHERE SEPARATE SUBMETERS FOR INDIVIDUAL BUILDING TENANTS ARE UNFEASIBLE, FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS: a. MAKEUP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER THAN 500 GPM (30 L/S). b. MAKEUP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6 GPM (0.04 L/S). c. STEAM AND HOT WATER BOILERS WITH ENERGY INPUT MORE THAN 500,000 BTU/H (147 KW).</p> <p>5.303.1.2 EXCESS CONSUMPTION. A SEPARATE SUBMETER OR METERING DEVICE SHALL BE PROVIDED FOR ANY TENANT WITHIN A NEW BUILDING OR WITHIN AN ADDITION THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GALLON/DAY.</p> <p>5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING: 5.303.3.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. 5.303.3.2 URINALS. 5.303.3.2.1 WALL-MOUNTED URINALS. THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. 5.303.3.2.2 FLOOR-MOUNTED URINALS. THE EFFECTIVE FLUSH VOLUME OF FLOOR-MOUNTED OR OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH. 5.303.3.3 SHOWERHEADS. [BSC-CG] 5.303.3.3.1 SINGLE SHOWERHEAD. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. 5.303.3.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.</p> <p>5.303.3.4 FAUCETS AND FOUNTAINS. 5.303.3.4.1 NONRESIDENTIAL. LAVATORY FAUCETS. LAVATORY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.5 GALLONS PER MINUTE AT 60 PSI. 5.303.3.4.2 KITCHEN FAUCETS. KITCHEN FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. 5.303.3.4.3 WASH FOUNTAINS. WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE/20 (RIM SPACE (INCHES) AT 60 PSI). 5.303.3.4.4 METERING FAUCETS. METERING FAUCETS SHALL NOT DELIVER MORE THAN 0.20 GALLONS PER CYCLE. 5.303.3.4.5 METERING FAUCETS FOR WASH FOUNTAINS. METERING FAUCETS FOR WASH FOUNTAINS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 0.20 GALLONS PER MINUTE/20 (RIM SPACE (INCHES) AT 60 PSI). NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.</p>	<p>DIVISION 5.4 MATERIAL CONSERVATION AND RESOURCE EFFICIENCY</p> <p>SECTION 5.401 GENERAL 5.401.1 SCOPE. THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF ACHIEVING MATERIAL CONSERVATION AND RESOURCE EFFICIENCY THROUGH PROTECTION OF BUILDINGS FROM EXTERIOR MOISTURE, CONSTRUCTION WASTE DIVERSION, EMPLOYMENT OF TECHNOLOGIES TO REDUCE POLLUTION THROUGH RECYCLING OF MATERIALS, AND BUILDING COMMISSIONING OR TESTING AND ADJUSTING.</p> <p>SECTION 5.402 DEFINITIONS 5.402.1 DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 (AND ARE INCLUDED HERE FOR REFERENCE) ADJUST. TO REGULATE FLUID FLOW RATE AND AIR PATTERNS AT THE TERMINAL EQUIPMENT, SUCH AS TO REDUCE FAN SPEED OR ADJUST A DAMPER. BALANCE. TO PROPORTION FLOWS WITHIN THE DISTRIBUTION SYSTEM, INCLUDING SUB-MAINS, BRANCHES AND TERMINALS, ACCORDING TO DESIGN QUANTITIES. BUILDING COMMISSIONING. A SYSTEMATIC QUALITY ASSURANCE PROCESS THAT SPANS THE ENTIRE DESIGN AND CONSTRUCTION PROCESS, INCLUDING VERIFYING AND DOCUMENTING THAT BUILDING SYSTEMS AND COMPONENTS ARE PLANNED, DESIGNED, INSTALLED, TESTED, OPERATED AND MAINTAINED TO MEET THE OWNER'S PROJECT REQUIREMENTS. ORGANIC WASTE. FOOD WASTE, GREEN WASTE, LANDSCAPE AND PRUNING WASTE, NONHAZARDOUS WOOD WASTE, AND FOOD SOILED PAPER WASTE THAT IS MIXED IN WITH FOOD WASTE. ADJUST. A PROCEDURE TO DETERMINE QUANTITATIVE PERFORMANCE OF A SYSTEM OR EQUIPMENT</p> <p>SECTION 5.407 WATER RESISTANCE AND MOISTURE MANAGEMENT 5.407.1 WEATHER PROTECTION. PROVIDE A WEATHER-RESISTANT EXTERIOR WALL AND FOUNDATION ENVELOPE AS REQUIRED BY CALIFORNIA BUILDING CODE SECTION 1402.2 (WEATHER PROTECTION), MANUFACTURER'S INSTALLATION INSTRUCTIONS OR LOCAL ORDINANCE, WHICHEVER IS MORE STRINGENT.</p> <p>5.407.2 MOISTURE CONTROL. EMPLOY MOISTURE CONTROL MEASURES BY THE FOLLOWING METHODS. 5.407.2.1 SPRINKLERS. DESIGN AND MAINTAIN LANDSCAPE IRRIGATION SYSTEMS TO PREVENT SPRAY ON STRUCTURES. 5.407.2.2 ENTRIES AND OPENINGS. DESIGN EXTERIOR ENTRIES AND/OR OPENINGS SUBJECT TO FOOT TRAFFIC OR WIND-DRIVEN RAIN TO PREVENT WATER INTRUSION INTO BUILDINGS AS FOLLOWS: 5.407.2.2.1 EXTERIOR DOOR PROTECTION. PRIMARY EXTERIOR ENTRIES SHALL BE COVERED TO PREVENT WATER INTRUSION BY USING NONABSORBENT FLOOR AND WALL FINISHES WITHIN AT LEAST 2 FEET AROUND AND PERPENDICULAR TO SUCH OPENINGS PLUS AT LEAST ONE OF THE FOLLOWING: 1. AN INSTALLED AWNING AT LEAST 4 FEET IN DEPTH. 2. THE DOOR IS PROTECTED BY A ROOF OVERHANG AT LEAST 4 FEET IN DEPTH. 3. THE DOOR IS RECESSED AT LEAST 4 FEET. 4. OTHER METHODS WHICH PROVIDE EQUIVALENT PROTECTION. 5.407.2.2.2 FLASHING. INSTALL FLASHINGS INTEGRATED WITH A DRAINAGE PLANE.</p> <p>SECTION 5.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 5.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH SECTION 5.408.1.1, 5.408.1.2 OR 5.408.1.3, OR MEET A LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT.</p> <p>5.408.1.1 CONSTRUCTION WASTE MANAGEMENT PLAN. WHERE A LOCAL JURISDICTION DOES NOT HAVE A CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN THAT: 1. IDENTIFIES THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY EFFICIENT USAGE, RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE. 2. DETERMINES IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE-SEPARATED) OR BULK MIXED (SINGLE STREAM). 3. IDENTIFIES DIVERSION FACILITIES WHERE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN. 4. SPECIFICS THAT THE AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME, BUT NOT BY BOTH.</p> <p>5.408.1.2 WASTE MANAGEMENT COMPANY. UTILIZE A WASTE MANAGEMENT COMPANY THAT CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPLIES WITH THIS SECTION. NOTE: THE OWNER OR CONTRACTOR SHALL MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY. EXCEPTIONS TO SECTIONS 5.408.1.1 AND 5.408.1.2: 1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS. 2. ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST. 3. DEMOLITION WASTE MEETING LOCAL ORDINANCE OR CALCULATED IN CONSIDERATION OF LOCAL RECYCLING FACILITIES AND MARKETS.</p> <p>5.408.1.3 WASTE STREAM REDUCTION ALTERNATIVE. THE COMBINED WEIGHT OF NEW CONSTRUCTION DISPOSAL THAT DOES NOT EXCEED TWO POUNDS PER SQUARE FOOT OF BUILDING AREA MAY BE DEEMED TO MEET THE 65% MINIMUM REQUIREMENT AS APPROVED BY THE ENFORCING AGENCY.</p> <p>5.408.1.4 DOCUMENTATION. DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTIONS 5.408.1.1, THROUGH 5.408.1.3. THE WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE ACCESSIBLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING AGENCY. NOTES: 1. SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (NONRESIDENTIAL)" LOCATED WWW.DGS.CA.GOV/RESOURCES/PAGE-CONTENT/BUILDING-STANDARDS-COMMISSION-RESOURCES-LIST-FOLDER/CALGREEN MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THE WASTE MANAGEMENT PLAN. 2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY (CALRECYCLE).</p>	<p>WEATHER RESISTANT EXTERIOR WALLS AND FOUNDATION ARE PROVIDED, SEE SECTIONS ON SHEET AS</p> <p>PRIMARY DOORS PREVENT WATER INTRUSION</p> <p>CONTRACTOR TO PROVIDE WASTE MANAGEMENT PLAN</p>	<p>NEW CONSTRUCTION IS UNDER 10,000 SQUARE FEET</p> <p>NEW BUILDINGS 10,000 SQUARE FEET AND OVER. FOR NEW BUILDINGS 10,000 SQUARE FEET AND OVER, BUILDING COMMISSIONING SHALL BE INCLUDED IN THE DESIGN AND CONSTRUCTION PROCESSES OF THE BUILDING PROJECT TO VERIFY THAT THE BUILDING SYSTEMS AND COMPONENTS MEET THE DESIGNER'S OR OWNER REPRESENTATIVE'S PROJECT REQUIREMENTS. COMMISSIONING SHALL BE PERFORMED IN ACCORDANCE WITH THIS SECTION BY TRAINED PERSONNEL WITH EXPERIENCE ON PROJECTS OF COMPARABLE SIZE AND COMPLEXITY. FOR OCCUPANCIES THAT ARE NOT REGULATED BY OSHPD OR FOR OCCUPANCIES AND OCCUPANCIES THAT ARE NOT REGULATED BY THE CALIFORNIA ENERGY CODE SECTION 100.0 SCOPE, ALL REQUIREMENTS IN SECTIONS 5.410.2 THROUGH 5.410.2.6 SHALL APPLY.</p> <p>NOTE: FOR ENERGY-RELATED SYSTEMS UNDER THE SCOPE (SECTION 100) OF THE CALIFORNIA ENERGY CODE, INCLUDING HEATING, VENTILATION, AIR CONDITIONING (HVAC) SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEMS AND CONTROLS, AS WELL AS WATER HEATING SYSTEMS AND CONTROLS, REFER TO CALIFORNIA ENERGY CODE SECTION 120.8 FOR COMMISSIONING REQUIREMENTS</p>			
<p>SECTION 5.303 INDOOR WATER USE</p> <p>5.303.1 METERS. SEPARATE SUBMETERS OR METERING DEVICES SHALL BE INSTALLED FOR THE USES DESCRIBED IN SECTIONS 503.1.1 AND 503.1.2.</p> <p>5.303.1.1 BUILDINGS IN EXCESS OF 50,000 SQUARE FEET. SEPARATE SUBMETERS SHALL BE INSTALLED AS FOLLOWS: 1. FOR EACH INDIVIDUAL LEASED, RENTED OR OTHER TENANT SPACE WITHIN THE BUILDING PROJECTED TO CONSUME MORE THAN 100 GALLONS (380 LITERS), INCLUDING, BUT NOT LIMITED TO, SPACES USED FOR LAUNDRY OR CLEANERS, RESTAURANT OR FOOD SERVICE, MEDICAL OR DENTAL OFFICE, LABORATORY, OR BEAUTY SALON OR BARBER SHOP. 2. WHERE SEPARATE SUBMETERS FOR INDIVIDUAL BUILDING TENANTS ARE UNFEASIBLE, FOR WATER SUPPLIED TO THE FOLLOWING SUBSYSTEMS: a. MAKEUP WATER FOR COOLING TOWERS WHERE FLOW THROUGH IS GREATER THAN 500 GPM (30 L/S). b. MAKEUP WATER FOR EVAPORATIVE COOLERS GREATER THAN 6 GPM (0.04 L/S). c. STEAM AND HOT WATER BOILERS WITH ENERGY INPUT MORE THAN 500,000 BTU/H (147 KW).</p> <p>5.303.1.2 EXCESS CONSUMPTION. A SEPARATE SUBMETER OR METERING DEVICE SHALL BE PROVIDED FOR ANY TENANT WITHIN A NEW BUILDING OR WITHIN AN ADDITION THAT IS PROJECTED TO CONSUME MORE THAN 1,000 GALLON/DAY.</p> <p>5.303.3 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) SHALL COMPLY WITH THE FOLLOWING: 5.303.3.1 WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS. NOTE: THE EFFECTIVE FLUSH VOLUME OF DUAL FLUSH TOILETS IS DEFINED AS THE COMPOSITE, AVERAGE FLUSH VOLUME OF TWO REDUCED FLUSHES AND ONE FULL FLUSH. 5.303.3.2 URINALS. 5.303.3.2.1 WALL-MOUNTED URINALS. THE EFFECTIVE FLUSH VOLUME OF WALL-MOUNTED URINALS SHALL NOT EXCEED 0.125 GALLONS PER FLUSH. 5.303.3.2.2 FLOOR-MOUNTED URINALS. THE EFFECTIVE FLUSH VOLUME OF FLOOR-MOUNTED OR OTHER URINALS SHALL NOT EXCEED 0.5 GALLONS PER FLUSH. 5.303.3.3 SHOWERHEADS. [BSC-CG] 5.303.3.3.1 SINGLE SHOWERHEAD. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 60 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE U.S. EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS. 5.303.3.3.2 MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL THE SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.</p> <p>5.303.3.4 FAUCETS AND FOUNTAINS. 5.303.3.4.1 NONRESIDENTIAL. LAVATORY FAUCETS. 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2022 CALGREEN NON-RESIDENTIAL MANDATORY MEASURES CHECKLIST

Y	N/A	RESPONSIBLE PARTY COMMENTS
		5.410 BUILDING MAINTENANCE AND OPERATIONS CONTINUED
	Y	<p>5.410.4 TESTING AND ADJUSTING. NEW BUILDINGS LESS THAN 10,000 SQUARE FEET. TESTING AND ADJUSTING OF SYSTEMS SHALL BE REQUIRED FOR NEW BUILDINGS LESS THAN 10,000 SQUARE FEET OR NEW SYSTEMS TO SERVE AN ADDITION OR ALTERATION SUBJECT TO SECTION 303.1.</p> <p>5.410.4.2 (RESERVED)</p> <p>NOTE: FOR ENERGY-RELATED SYSTEMS UNDER THE SCOPE (SECTION 100) OF THE CALIFORNIA ENERGY CODE, INCLUDING HEATING, VENTILATION, AIR CONDITIONING (HVAC) SYSTEMS AND CONTROLS, INDOOR LIGHTING SYSTEM AND CONTROLS, AS WELL AS WATER HEATING SYSTEMS AND CONTROLS, REFER TO CALIFORNIA ENERGY CODE SECTION 120.8 FOR COMMISSIONING REQUIREMENTS AND SECTIONS 120.5, 120.6, 130.4, AND 140.9(B)3 FOR ADDITIONAL TESTING REQUIREMENTS OF SPECIFIC SYSTEMS.</p> <p>5.410.4.2 SYSTEMS. DEVELOP A WRITTEN PLAN OF PROCEDURES FOR TESTING AND ADJUSTING SYSTEMS. SYSTEMS TO BE INCLUDED FOR TESTING AND ADJUSTING SHALL INCLUDE AT A MINIMUM, AS APPLICABLE TO THE PROJECT:</p> <ol style="list-style-type: none"> RENEWABLE ENERGY SYSTEMS. LANDSCAPE IRRIGATION SYSTEMS. WATER REUSE SYSTEMS. <p>5.410.4.3 PROCEDURES. PERFORM TESTING AND ADJUSTING PROCEDURES IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND APPLICABLE STANDARDS ON EACH SYSTEM.</p> <p>5.410.4.3.1 HVAC BALANCING. IN ADDITION TO TESTING AND ADJUSTING, BEFORE A NEW SPACE-CONDITIONING SYSTEM SERVING A BUILDING OR SPACE IS OPERATED FOR NORMAL USE, THE SYSTEM SHALL BE BALANCED IN ACCORDANCE WITH THE PROCEDURES DEFINED BY THE TESTING ADJUSTING AND BALANCING BUREAU NATIONAL STANDARDS, THE NATIONAL ENVIRONMENTAL BALANCING BUREAU PROCEDURAL STANDARDS, ASSOCIATED AIR BALANCE COUNCIL NATIONAL STANDARDS OR AS APPROVED BY THE ENFORCING AGENCY.</p> <p>5.410.4.4 REPORTING. AFTER COMPLETION OF TESTING, ADJUSTING AND BALANCING, PROVIDE A FINAL REPORT OF TESTING SIGNED BY THE INDIVIDUAL RESPONSIBLE FOR PERFORMING THESE SERVICES.</p> <p>5.410.4.5 OPERATION AND MAINTENANCE (O & M) MANUAL. PROVIDE THE BUILDING OWNER OR REPRESENTATIVE WITH O & M OPERATING AND MAINTENANCE INSTRUCTIONS AND COPIES OF GUARANTEES/WARRANTIES FOR EACH SYSTEM. O & M INSTRUCTIONS SHALL BE CONSISTENT WITH OSHA REQUIREMENTS IN CCR, TITLE 8, SECTION 5142, AND OTHER RELATED REGULATIONS.</p> <p>5.410.4.5.1 INSPECTIONS AND REPORTS. INCLUDE A COPY OF ALL INSPECTION VERIFICATIONS AND REPORTS REQUIRED BY THE ENFORCING AGENCY.</p>

Y	N/A	RESPONSIBLE PARTY COMMENTS
		DIVISION 5.2 ENERGY EFFICIENCY
		SECTION 5.501 GENERAL
		5.501.1 SCOPE. THE PROVISIONS OF THIS CHAPTER SHALL OUTLINE MEANS OF REDUCING THE QUANTITY OF AIR CONTAMINANTS THAT ARE ODOROUS, IRRITATING, AND/OR HARMFUL TO THE COMFORT AND WELL-BEING OF A BUILDING'S INSTALLERS, OCCUPANTS AND NEIGHBORS.

Y	N/A	RESPONSIBLE PARTY COMMENTS
		SECTION 5.502 DEFINITIONS
		5.502.1 DEFINITIONS. THE FOLLOWING TERMS ARE DEFINED IN CHAPTER 2 (AND ARE INCLUDED HERE FOR REFERENCE)
		ARTERIAL HIGHWAY. A GENERAL TERM DENOTING A HIGHWAY PRIMARILY FOR THROUGH TRAFFIC USUALLY ON A CONTINUOUS ROUTE.
		A-WEIGHTED SOUND LEVEL (DBA). THE SOUND PRESSURE LEVEL IN DECIBELS AS MEASURED ON A SOUND LEVEL METER USING THE INTERNATIONALLY STANDARDIZED A-WEIGHTING FILTER OR AS COMPUTED FROM SOUND SPECTRAL DATA TO WHICH A-WEIGHTING ADJUSTMENTS HAVE BEEN MADE.
		1 BTU/HOUR. BRITISH THERMAL UNITS PER HOUR, ALSO REFERRED TO AS BTU, THE AMOUNT OF HEAT REQUIRED TO RAISE ONE POUND OF WATER ONE DEGREE FAHRENHEIT PER HOUR, A COMMON MEASURE OF HEAT TRANSFER RATE. A TON OF REFRIGERATION IS 12,000 BTU, THE AMOUNT OF HEAT REQUIRED TO MELT A TON (2,000 POUNDS) OF ICE AT 32° FAHRENHEIT.
		COMMUNITY NOISE EQUIVALENT LEVEL (CNEL). A METRIC SIMILAR TO THE DAY-NIGHT AVERAGE SOUND LEVEL (LDN), EXCEPT THAT A 5 DECIBEL ADJUSTMENT IS ADDED TO THE EQUIVALENT CONTINUOUS SOUND EXPOSURE LEVEL FOR EVENING HOURS (7PM TO 10PM) IN ADDITION TO THE 10 DB NIGHTTIME ADJUSTMENT USED IN THE LDN.
		COMPOSITE WOOD PRODUCTS. COMPOSITE WOOD PRODUCTS INCLUDE HARDWOOD PLYWOOD, PARTICLEBOARD AND MEDIUM DENSITY FIBERBOARD. "COMPOSITE WOOD PRODUCTS" DOES NOT INCLUDE HARDBOARD, STRUCTURAL PLYWOOD, STRUCTURAL PANELS, STRUCTURAL COMPOSITE LUMBER, ORIENTED STRAND BOARD, GLUED LAMINATED TIMBER, TIMBER, PREFABRICATED WOOD JOISTS OR FINGER-JOINTED LUMBER, ALL AS SPECIFIED IN CALIFORNIA CODE OF REGULATIONS (CCR), TITLE 17, SECTION 93120.1(A).
		NOTE: SEE CCR, TITLE 17, SECTION 93120.1.
		DAY-NIGHT AVERAGE SOUND LEVEL (LDN). THE A-WEIGHTED EQUIVALENT CONTINUOUS SOUND EXPOSURE LEVEL FOR A 24-HOUR PERIOD WITH A 10 DB ADJUSTMENT ADDED TO SOUND LEVELS OCCURRING DURING NIGHTTIME HOURS (10P.M. TO 7A.M.).
		DECIBEL (DB). A MEASURE ON A LOGARITHMIC SCALE OF THE MAGNITUDE OF A PARTICULAR QUANTITY (SUCH AS SOUND PRESSURE, SOUND POWER, SOUND INTENSITY) WITH RESPECT TO A REFERENCE QUANTITY.
		ELECTRIC VEHICLE (EV). AN AUTOMOTIVE-TYPE VEHICLE FOR ON-ROAD USE, SUCH AS PASSENGER AUTOMOBILES, BUSES, TRUCKS, VANS, NEIGHBORHOOD ELECTRIC VEHICLES, ELECTRIC MOTORCYCLES, AND THE LIKE, PRIMARILY POWERED BY AN ELECTRIC MOTOR THAT DRAWS CURRENT FROM A RECHARGEABLE STORAGE BATTERY, FUEL CELL, PHOTOVOLTAIC ARRAY, OR OTHER SOURCE OF ELECTRIC CURRENT. PLUG-IN HYBRID ELECTRIC VEHICLES (PHEV) ARE CONSIDERED ELECTRIC VEHICLES FOR PURPOSES OF THE CALIFORNIA ELECTRICAL CODE, OFF-ROAD, SELF-PROPELLED ELECTRIC VEHICLES, SUCH AS INDUSTRIAL TRUCKS, HOISTS, LIFTS, TRANSPORTS, GOLF CARTS, AIRLINE GROUND SUPPORT EQUIPMENT, TRACTORS, BOATS, AND THE LIKE, ARE NOT INCLUDED.
		ELECTRIC VEHICLE CHARGING STATION(S) (EVCS). ONE OR MORE SPACES INTENDED FOR CHARGING ELECTRIC VEHICLES.
		ELECTRIC VEHICLE SUPPLY EQUIPMENT (EVSE). THE CONDUCTORS, INCLUDING THE UNGROUNDED, GROUNDED, AND EQUIPMENT GROUNDING CONDUCTORS AND THE ELECTRIC VEHICLE CONNECTORS, ATTACHMENT PLUGS, AND ALL OTHER FITTINGS, DEVICES, POWER OUTLETS, OR APPARATUS INSTALLED SPECIFICALLY FOR THE PURPOSE OF TRANSFERRING ENERGY BETWEEN THE PREMISES WIRING AND THE ELECTRIC VEHICLE.
		ENERGY EQUIVALENT (NOISE) LEVEL (LEQ). THE LEVEL OF A STEADY NOISE WHICH WOULD HAVE THE SAME ENERGY AS THE FLUCTUATING NOISE LEVEL INTEGRATED OVER THE TIME OF PERIOD OF INTEREST.
		EXPRESSWAY. AN ARTERIAL HIGHWAY FOR THROUGH TRAFFIC WHICH MAY HAVE COMMON CONTROL OF ACCESS, BUT WHICH MAY OR MAY NOT BE DIVIDED OR HAVE GRADE SEPARATIONS AT INTERSECTIONS.
		FREEWAY. A DIVIDED ARTERIAL HIGHWAY WITH FULL CONTROL OF ACCESS AND WITH GRADE SEPARATIONS AT INTERSECTIONS.
		GLOBAL WARMING POTENTIAL (GWP). THE RADIATIVE FORCING IMPACT OF ONE MASS-BASED UNIT OF A GIVEN GREENHOUSE GAS RELATIVE TO AN EQUIVALENT UNIT OF CARBON DIOXIDE OVER A GIVEN PERIOD OF TIME. CARBON DIOXIDE IS THE REFERENCE COMPOUND WITH A GWP OF ONE.
		GLOBAL WARMING POTENTIAL VALUE (GWP VALUE). A 100-YEAR GWP VALUE PUBLISHED BY THE INTERGOVERNMENTAL PANEL ON CLIMATE CHANGE (IPCC) IN EITHER ITS SECOND ASSESSMENT REPORT (SAR) (IPCC, 1995) OR ITS FOURTH ASSESSMENT REPORT (AR4) (IPCC, 2007). THE SAR GWP VALUES ARE FOUND IN COLUMN "SAR (100-YR)" OF TABLE 2.14; THE AR4 GWP VALUES ARE FOUND IN COLUMN "100 YR" OF TABLE 2.14.
		HIGH-GWP REFRIGERANT. A COMPOUND USED AS A HEAT TRANSFER FLUID OR GAS THAT IS: (A) A CHLOROFLUOROCARBON, A HYDROCHLOROFLUOROCARBON, A HYDROFLUOROCARBON, A PERFLUOROCARBON, OR ANY COMPOUND OR BLEND OF COMPOUNDS, WITH A GWP VALUE EQUAL TO OR GREATER THAN 150, OR (B) ANY OZONE DEPLETING SUBSTANCE AS DEFINED IN TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 82, SEC. 82.3 (AS AMENDED MARCH 10, 2009).
		LONG RADIUS ELBOW. PIPE FITTING INSTALLED BETWEEN TWO LENGTHS OF PIPE OR TUBING TO ALLOW A CHANGE OF DIRECTION, WITH A RADIUS 1.5 TIMES THE PIPE DIAMETER.
		LOW-GWP REFRIGERANT. A COMPOUND USED AS A HEAT TRANSFER FLUID OR GAS THAT: (A) HAS A GWP VALUE LESS THAN 150, AND (B) IS NOT AN OZONE DEPLETING SUBSTANCE AS DEFINED IN TITLE 40 OF THE CODE OF FEDERAL REGULATIONS, PART 82, SEC. 82.3 (AS AMENDED MARCH 10, 2009).
		MERV. FILTER MINIMUM EFFICIENCY REPORTING VALUE, BASED ON ASHRAE 52.2-1999.
		MAXIMUM INCREMENTAL REACTIVITY (MIR). THE MAXIMUM CHANGE IN WEIGHT OF OZONE FORMED BY ADDING A COMPOUND TO THE "BASE REACTIVE ORGANIC GAS (ROG) MIXTURE" PER WEIGHT OF COMPOUND ADDED, EXPRESSED TO HUNDRETHS OF A GRAM (G O'G ROG).
		PRODUCT-WEIGHTED MIR (PWIR). THE SUM OF ALL WEIGHTED-MIR FOR ALL INGREDIENTS IN A PRODUCT SUBJECT TO THIS ARTICLE. THE PWIR IS THE TOTAL PRODUCT REACTIVITY EXPRESSED TO HUNDRETHS OF A GRAM OF OZONE FORMED PER GRAM OF PRODUCT (EXCLUDING CONTAINER AND PACKAGING).
		PSIG. POUNDS PER SQUARE INCH, GAUGE.
		REACTIVE ORGANIC COMPOUND (ROG). ANY COMPOUND THAT HAS THE POTENTIAL, ONCE EMITTED, TO CONTRIBUTE TO OZONE FORMATION IN THE TROPOSPHERE.
		SCHRADER ACCESS VALVES. ACCESS FITTINGS WITH A VALVE CORE INSTALLED.
		SHORT RADIUS ELBOW. PIPE FITTING INSTALLED BETWEEN TWO LENGTHS OF PIPE OR TUBING TO ALLOW A CHANGE OF DIRECTION, WITH A RADIUS 1.0 TIMES THE PIPE DIAMETER.
		SUPERMARKET. FOR THE PURPOSES OF SECTION 5.508.2, A SUPERMARKET IS ANY RETAIL FOOD FACILITY WITH 8,000 SQUARE FEET OR MORE CONDITIONED AREA, AND THAT UTILIZES EITHER REFRIGERATED DISPLAY CASES, OR WALK-IN COOLERS OR FREEZERS CONNECTED TO REMOTE COMPRESSOR UNITS OR CONDENSING UNITS.
		VOC. A VOLATILE ORGANIC COMPOUND BROADLY DEFINED AS A CHEMICAL COMPOUND BASED ON CARBON CHAINS OR RINGS WITH VAPOR PRESSURES GREATER THAN 0.1 MILLIMETERS OF MERCURY AT ROOM TEMPERATURE. THESE COMPOUNDS TYPICALLY CONTAIN HYDROGEN AND MAY CONTAIN OXYGEN, NITROGEN AND OTHER ELEMENTS. SEE CCR TITLE 17, SECTION 9400(A).

Y	N/A	RESPONSIBLE PARTY COMMENTS
		SECTION 5.503 FIREPLACES
		5.503.1 FIREPLACES. INSTALL ONLY A DIRECT-VENT SEALED-COMBUSTION GAS OR SEALED WOOD-BURNING FIREPLACE, OR A SEALED WOODSTOVE OR PELLET STOVE, AND REFER TO RESIDENTIAL REQUIREMENTS IN THE CALIFORNIA ENERGY CODE, TITLE 24, PART 6, SUBCHAPTER 7, SECTION 150. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL COMPLY WITH APPLICABLE LOCAL ORDINANCES.
		5.503.1.1 WOODSTOVES. WOODSTOVES AND PELLET STOVES SHALL COMPLY WITH U.S. EPA NEW SOURCE PERFORMANCE STANDARDS (NSPS) EMISSION LIMITS AS APPLICABLE, AND SHALL HAVE A PERMANENT LABEL INDICATING THEY ARE CERTIFIED TO MEET THE EMISSION LIMITS.

Y	N/A	RESPONSIBLE PARTY COMMENTS
		SECTION 5.504 POLLUTANT CONTROL
	Y	5.504.1 TEMPORARY VENTILATION. THE PERMANENT HVAC SYSTEM SHALL ONLY BE USED DURING CONSTRUCTION, AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE ALTERATION WITHIN THE REQUIRED TEMPERATURE RANGE FOR MATERIAL AND EQUIPMENT INSTALLATION. IF THE HVAC SYSTEM IS USED DURING CONSTRUCTION, USE RETURN AIR FILTERS WITH A MINIMUM EFFICIENCY REPORTING VALUE (MERV) OF 8, BASED ON ASHRAE 52.1-1992, OR AN AVERAGE EFFICIENCY OF 30% BASED ON ASHRAE 52.1-1992. REPLACE ALL FILTERS IMMEDIATELY PRIOR TO OCCUPANCY, OR, IF THE BUILDING IS OCCUPIED DURING ALTERATION, AT THE CONCLUSION OF CONSTRUCTION.
	Y	5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.
	Y	5.504.4 FINISH MATERIAL POLLUTANT CONTROL. FINISH MATERIALS SHALL COMPLY WITH SECTIONS 5.504.4.1 THROUGH 5.504.4.6.
	Y	5.504.4.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS: <ol style="list-style-type: none"> ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAGDM RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW. AEROSOL, ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT ^{1,2}	
LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER	CURRENT VOC LIMIT
ARCHITECTURAL APPLICATIONS	
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	70
MULTIPURPOSE CONSTRUCTION ADHESIVES	50
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CUR/HR/MLR1168.PDF

TABLE 5.504.4.2 - SEALANT VOC LIMIT	
Less Water and Less Exempt Compounds in Grams per Liter	CURRENT VOC LIMIT
SEALANTS	
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 5.504.4.3 PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.2.1, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.	
5.504.4.3.1 AEROSOL, PAINTS AND COATINGS. AEROSOL, PAINTS AND COATINGS SHALL MEET THE PWIR LIMITS FOR ROG IN SECTION 9452(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 9452(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE-49.	

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{1,2}	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150

Y	N/A	RESPONSIBLE PARTY COMMENTS
		SECTION 5.504.3 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. AT THE TIME OF ROUGH INSTALLATION AND DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL STARTUP OF THE HEATING, COOLING AND VENTILATION EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEETMETAL OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY TO REDUCE THE AMOUNT OF DUST, WATER AND DEBRIS WHICH MAY ENTER THE SYSTEM.

Y	N/A	RESPONSIBLE PARTY COMMENTS
		SECTION 5.504.4.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS, AND CAULKS USED ON THE PROJECT SHALL MEET THE REQUIREMENTS OF THE FOLLOWING STANDARDS: <ol style="list-style-type: none"> ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR SCAGDM RULE 1168 VOC LIMITS, AS SHOWN IN TABLES 5.504.4.1 AND 5.504.4.2. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS AS SPECIFIED IN SUBSECTION 2, BELOW. AEROSOL, ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN ONE POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

TABLE 5.504.4.1 - ADHESIVE VOC LIMIT ^{1,2}	
LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER	CURRENT VOC LIMIT
ARCHITECTURAL APPLICATIONS	
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	70
MULTIPURPOSE CONSTRUCTION ADHESIVES	50
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT SPECIFICALLY LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER, THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168, www.arb.ca.gov/DRDB/SC/CUR/HR/MLR1168.PDF

TABLE 5.504.4.2 - SEALANT VOC LIMIT	
Less Water and Less Exempt Compounds in Grams per Liter	CURRENT VOC LIMIT
SEALANTS	
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NONPOROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

NOTE: FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE THE VOC CONTENT SPECIFIED IN THESE TABLES, SEE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 1168.

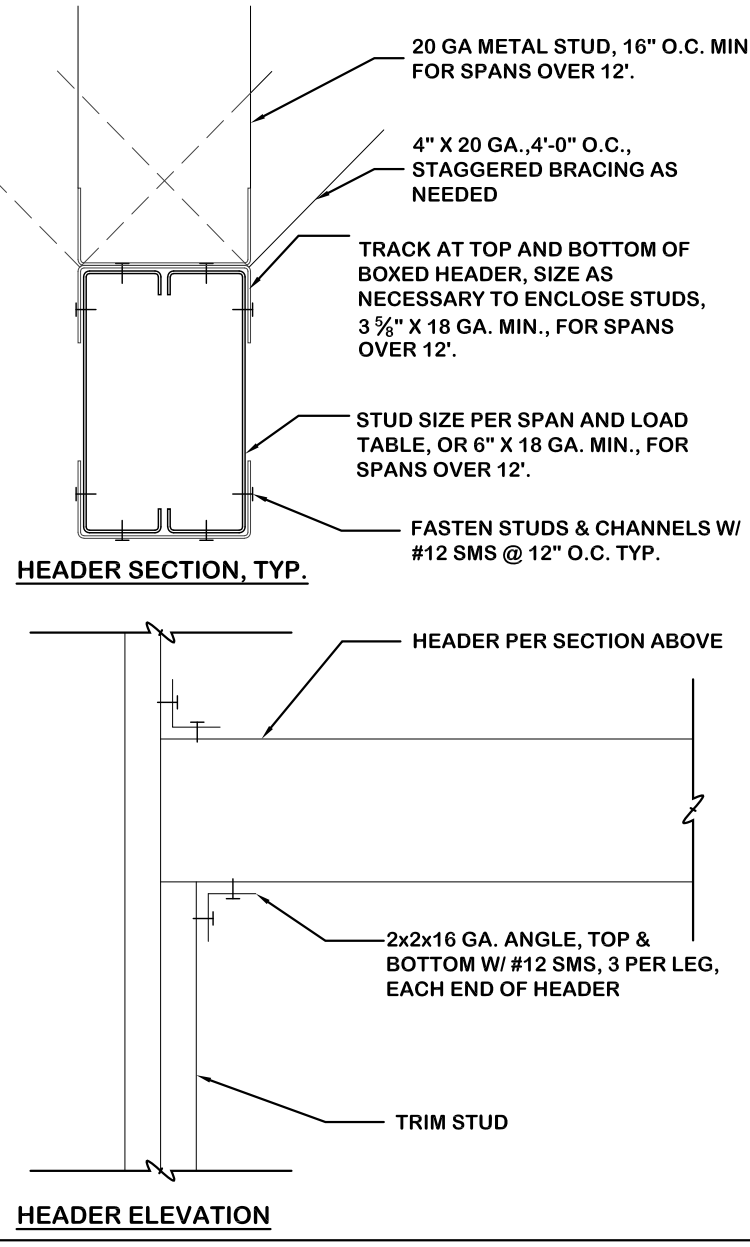
TABLE 5.504.4.3 PAINTS AND COATINGS. ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 5.504.4.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 5.504.4.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.2.1, 4.36 AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 5.504.4.3 SHALL APPLY.	
5.504.4.3.1 AEROSOL, PAINTS AND COATINGS. AEROSOL, PAINTS AND COATINGS SHALL MEET THE PWIR LIMITS FOR ROG IN SECTION 9452(A)(3) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 9452(C)(2) AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION 8 RULE-49.	

TABLE 5.504.4.3 - VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS ^{1,2}	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	CURRENT VOC LIMIT
FLAT COATINGS	50
NONFLAT COATINGS	100
NONFLAT HIGH GLOSS COATINGS	150

TABLE 5.504.4.3 - CONT.	
GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT COMPOUNDS	
COATING CATEGORY	CURRENT VOC LIMIT
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH-TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS:	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS:	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	

HEADER ALLOWABLE UNIFORM LOADS

THICKNESS TABLE			NON-BEARING HEADERS SPANNING < 4'-0" (SDHP - STANDARD DETAILS SFD #11.0 & S11.05-A)		HEADER ALLOWABLE UNIFORM LOADS (POUNDS PER LINEAR FOOT)							
DESIGNATION THICKNESS	DESIGN THICKNESS	REFERENCE GAUGE NO.	WALL UP TO:	JAMBS (# OF STUD) - MIL	HEADER FRAME FIGURE	MIL	STUD MEMBER	5' SPAN	6' SPAN	8' SPAN	10' SPAN	12' SPAN
18	0.0188	25	9'-0"	(1)-33	(1)-33	(1)-33	550S162-33	460.1e	319.5e	179.7e	115.0e	73.8e
27	0.0283	22	9'-0"	(2)-33	(2)-33	(2)-33	550S162-33	700.8e	486.6e	273.7e	164.6e	95.3e
33	0.0346	20	12'-0"	(2)-43	(2)-43	(2)-43	550S162-33	1254.5e	871.2e	396.8e	203.2	117.6
43	0.0451	18	16'-0"	(2)-43	(2)-43	(2)-43	600S137-33	437.8e	246.3e	157.6e	103.2e	75.8e
54	0.0538	16	16'-0"	(2)-43	(2)-43	(2)-43	600S137-33	504.9e	350.6e	197.2e	126.2e	87.6e
							600S200-33	510.5e	398.7e	224.2e	145.5e	99.7e
							600S162-43	535.6e	301.3e	192.8e	117.1e	
							600S200-43	569.9e	320.6e	205.2e	135.7e	
							600S137-54	786.7e	429.8e	220.1	127.3	
							600S162-54	959.3e	488.3e	250.0e	144.7	
							600S200-54	1014.2e	566.7e	290.1e	167.9	
							800S137-33	316.0e	223.2e	142.8e	99.2e	
							800S162-33	316.0e	237.0e	168.1e	116.7e	
							800S200-33	316.0e	237.0e	189.6e	134.5e	
							800S137-43	584.3e	328.7e	210.3e	146.1e	
							800S162-43	678.8e	381.8e	244.4e	169.7e	
							800S200-43	700.8e	437.2e	279.8e	194.3e	
							800S137-54	1054.5e	593.1e	379.6e	251.6e	
							800S162-54	1215.2e	683.6e	437.5e	283.3e	
							800S200-54	1384.1e	778.6e	498.3e	332.5e	



DOOR & EGRES SCHEDULE

EXISTING SHOWROOM & ADDITION												
DOOR NUMBER	ROOM	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	HARDWARE GROUP	HEAD DETAIL (SEE SHEET AND DETAIL)	FRAME MATERIAL	FIRE RATED	KICK PLATES (H)	REMARKS & NOTES	
104.1	SALES ADVISORS	3'-0" X 8'-0"	SF5	ALUM.	CLR. ANDODIZED	X	X	ALUM.	N		PROVIDE PANIC HARDWARE	
108.1	CASHIER	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	N			
121.1	LOUNGE	3'-0" X 8'-0"	SF1	ALUM.	CLR. ANDODIZED	X	X	ALUM.	N		PROVIDE PANIC HARDWARE	
124.1	MANAGER OFFICE	3'-0" X 8'-0"	SF7	ALUM.	CLR. ANDODIZED	X	X	ALUM.	N			
127.1	BREAK ROOM	3'-0" X 8'-0"	D4	HM	HM (PAINTED)	X	X	HM	N			
128.1	UNISEX	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	N			
129.1	JANITOR	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	N			
130.1	STAIR	3'-0" X 8'-0"	D1	HM	HM (PAINTED)	X	X	HM	N			
130.2	STAIR	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	60			
131.1	PARTS STORAGE	3'-0" X 8'-0"	D1	HM	HM (PAINTED)	X	X	HM	N			
131.2	PARTS STORAGE	10'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			
132.1	TECH PARTS	3'-0" X 8'-0"	D3	HM	HM (PAINTED)	X	X	HM	N			
133.1	FIRE RISER	3'-0" X 8'-0"	D1	HM	HM (PAINTED)	X	X	HM	N			
203.1	CORRIDOR	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	60			
203.2	CORRIDOR	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	60			

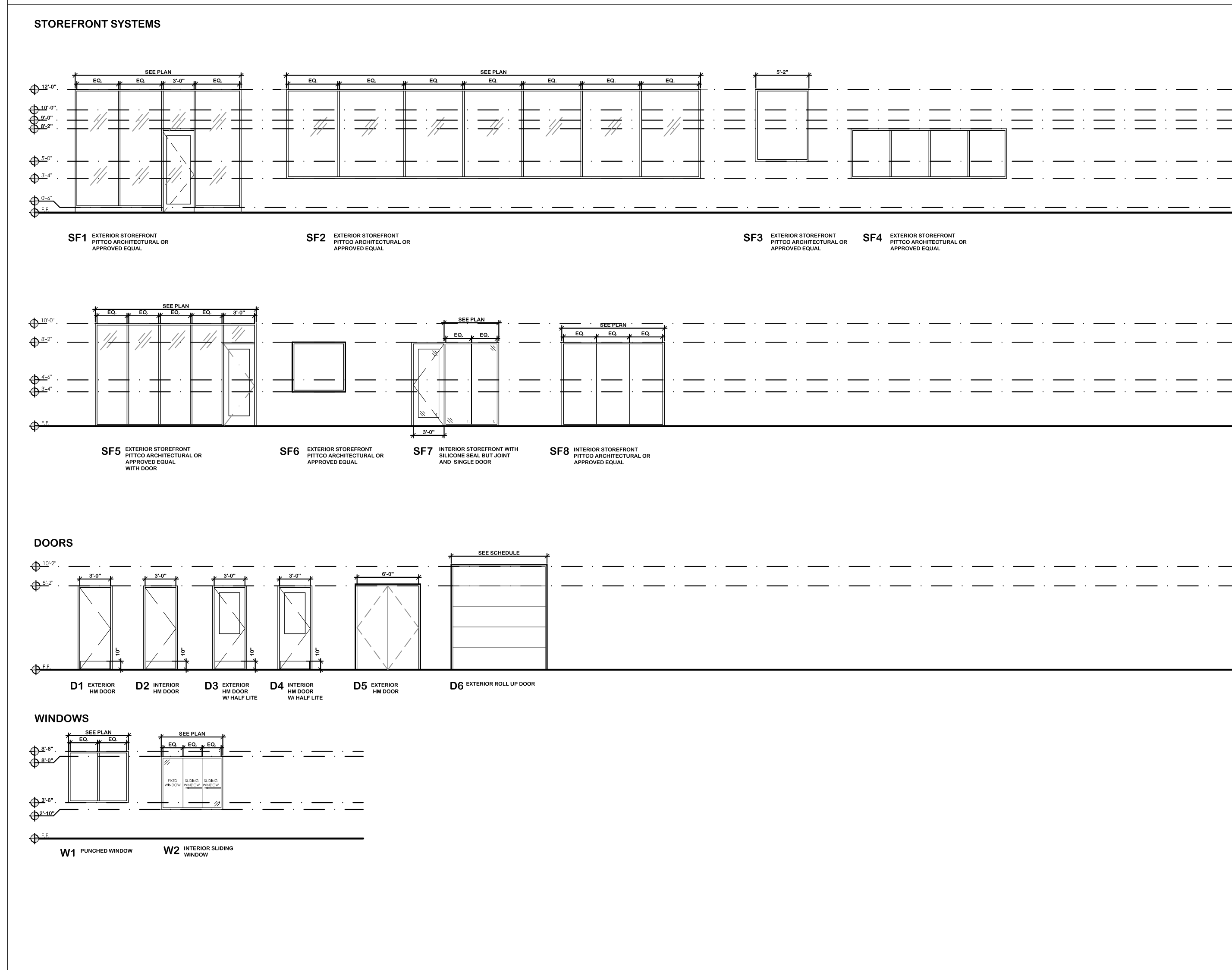
NEW SERVICE GARAGE												
DOOR NUMBER	ROOM	DOOR SIZE	DOOR TYPE	DOOR MATERIAL	DOOR FINISH	HARDWARE GROUP	HEAD DETAIL (SEE SHEET AND DETAIL)	FRAME MATERIAL	FIRE RATED	KICK PLATES (H)	REMARKS & NOTES	
101.1	SERVICE BAY	22'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			
103.1	SERVICE BAY	22'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			
105.1	SERVICE BAY	22'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			
107.1	SERVICE BAY	22'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			
108.1	PARTS STORAGE	3'-0" X 8'-0"	D1	HM	HM (PAINTED)	X	X	HM	N			
109.1	JANITOR	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	N			
110.1	MENS	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	N			
112.1	LOCKER ROOM	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	N			
113.1	WOMENS	3'-0" X 8'-0"	D2	HM	HM (PAINTED)	X	X	HM	N			
115.1	SERVICE BAY	22'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			
117.1	SERVICE BAY	22'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			
119.1	SERVICE BAY	22'-0" X 10'-0"	D6	MTL	MTL (PAINTED)	X	X	MTL	N			

WALL LEGEND

THICKNESS TABLE			WALL HEIGHT TABLE - GWB INTERIOR NON-STRUCTURAL			
DESIGNATION THICKNESS	DESIGN THICKNESS	REFERENCE GAUGE NO.	STUD MEMBER	STUD WIDTH	SPACING	5 PSF U240
18	0.0188	25	362S125-18	3-5/8"	16"	12'-2"
27	0.0283	22	362S125-27	3-5/8"	16"	9'-11"
33	0.0346	20	362S137-33	3-5/8"	24"	15'-0"
			362S137-33	3-5/8"	24"	13'-1"
			362S137-33	3-5/8"	16"	16'-0"
			362S162-33	3-5/8"	16"	17'-7"
			362S162-33	3-5/8"	24"	15'-4"
			362S200-33	3-5/8"	16"	18'-7"
			362S200-33	3-5/8"	24"	16'-2"
			600S137-33	6"	16"	24'-11"
			600S137-33	6"	24"	21'-9"
			600S162-33	6"	16"	26'-0"
			600S162-33	6"	24"	22'-9"
			600S200-33	6"	16"	27'-4"
			600S200-33	6"	24"	23'-10"

TYPE	PLAN	DESCRIPTION
1	INTERIOR	EXTERIOR CEMENT PLASTER OR METAL PANEL WALL EXTERIOR • 2x6 WOOD STUDS AT 16" O.C., S.S.D. • CEMENT PLASTER W/ ACRYLIC FINISH, SEE ELEVATIONS. • PROVIDE CONTROL JOINT MIN EVERY 144 SQ FT, SEE ELEVATIONS FOR ADDITIONAL INFORMATION • ALPOLIC ALUMINUM COMPOSITE PANEL, SEE ELEVATIONS 2 LAYERS GRADE 'D' PAPER • FIBERGLASS MAT SHEATHING, S.S.D. • R-19 BATT INSULATION, SEE BUILDING SHELL ENERGY CALCULATIONS INTERIOR • 1 LAYER 5/8" TYPE 'X' GWB SHEET SHEETS A5.1, A5.2, A5.3 FOR ADDITIONAL INFORMATION 1A HEAD DETAIL 11/A8.2 SILL DETAIL 12/A8.2 (ALUMINUM COMPOSITE PANEL) 1B HEAD DETAIL 15/A8.2 SILL DETAIL 16/A8.2 (7/8" CEMENT PLASTER) 1C HEAD DETAIL 15/A8.2 SIM. SILL DETAIL 16/A8.2 SIM. (NO EXTERIOR FINISH)
2	INTERIOR	INTERIOR 1 HR FIRE BARRIER WALL (EXIT PASSAGEWAY) FIRE LISTING: GA WPP 1350 OR UL #U432 STC RATING: 35-39 • 3-5/8" & 6" 20 GAUGE MINIMUM MTL STUDS AT 24" O.C. • 1 LAYER 5/8" TYPE 'X' GWB EACH SIDE • CWF FINISH SHALL BE LEVEL 4 SMOOTH • PROVIDE 1 HR SEALANT AT ALL PENETRATIONS • MINIMUM 60 MINUTE DOOR RATING • PENETRATIONS INTO AND OPENING THROUGH AN EXIT PASSAGEWAY ARE PROHIBITED EXCEPT FOR REQUIRED EXIT DOORS, EQUIPMENT/DUCTWORK NECESSARY FOR INDEPENDENT PRESSURIZATION, SPRINKLER PIPING, STANDPIPES, ELECTRICAL RACEWAY FOR FIRE DEPARTMENT COMMUNICATIONS AND THOSE SEVERING THE EXIT PASSAGEWAY
3	INTERIOR	INTERIOR FULL HEIGHT PARTITION WALL STC RATING: 45-49 • 3-5/8" & 6" 20 GAUGE MINIMUM MTL STUDS AT 24" O.C. • 1 LAYER 5/8" TYPE 'X' GWB EACH SIDE • CWF FINISH SHALL BE LEVEL 4 SMOOTH • SOUND ATTENUATION INSULATION WHERE OCCURS. 3A HEAD DETAIL 3/A8.2 SILL DETAIL 4/A8.2 (3-5/8" MTL STUDS) 3B HEAD DETAIL 3/A8.2 SILL DETAIL 4/A8.2 (6" MTL STUDS) 3C HEAD DETAIL 6/A8.2 SILL DETAIL 4/A8.2 (INFILL)
4	INTERIOR	INTERIOR WALL FURRING PARTITION WALL STC RATING: 45-49 • 3-5/8" & 6" 20 GAUGE MINIMUM MTL STUDS AT 24" O.C. • 1 LAYER 5/8" TYPE 'X' GWB ONE SIDE • CWF FINISH SHALL BE LEVEL 4 SMOOTH • SOUND ATTENUATION INSULATION WHERE OCCURS. 4 HEAD DETAIL SILL DETAIL (3-5/8" MTL STUDS)
5	INTERIOR	EXTERIOR 1 HR CEMENT PLASTER WALL UL LISTING #U303 (BEARING WALL) EXTERIOR • 2x6 WOOD FRAMING AT 16" O.C., S.S.D. • 15/32" MIN. STRUCTURAL SHEATHING, S.S.D. • 5/8" CEMENTITIOUS BACKER UNITS OVER SHEATHING • 7/8" CEMENT PLASTER PAINTED • PROVIDE CONTROL JOINT MIN EVERY 144 SQ FT, SEE ELEVATIONS FOR ADDITIONAL INFORMATION • 2 LAYERS GRADE 'D' PAPER • R-19 BATT INSULATION INTERIOR • 1 LAYER 5/8" TYPE 'X' GWB 5 HEAD DETAIL 7/A8.2 SILL DETAIL 8/A8.2

STOREFRONT, DOOR & WINDOW TYPES



DOOR & HARDWARE NOTES

- PROVIDE NEW LOCKSETS ON ALL NEW DOORS. MASTER KEY ALL LOCKS & COORDINATE MASTER KEY W/ PROPERTY OWNER & TENANT. REFER TO DOOR HARDWARE FOR TYPE.
- HARDWARE TO MEET CABO/ANSI STANDARDS AND REQUIREMENTS.
- MAXIMUM OPERATING POWER OF 15 LBS. FOR FIRE RATED DOORS, 5 LBS. FOR EXTERIOR DOORS, & 5 LBS. FOR INTERIOR DOORS.
- HAND ACTIVATED DOOR OPENING HARDWARE SHALL BE OPENABLE W/ A SINGLE EFFORT NOT REQUIRING GRASP TO OPEN, THE OPERABLE PART OF DOOR HARDWARE SHALL BE CENTERED BETWEEN MINIMUM 34" & MAXIMUM 44" A.F.F.
- COORDINATE W/ SECURITY CONTRACTOR (PROVIDED BY TENANT) FOR APPROPRIATE SECURITY SYSTEM.
- ALL (E) & (N) DOORS SHALL HAVE A MIN. WIDTH OF 36" (32" CLEAR WHEN DOOR IS OPEN).
- DOORS WITH PANIC HARDWARE SHALL HAVE LISTED EXIT HARDWARE.
- FIRE RATED DOORS THAT REQUIRE PANIC HARDWARE SHALL HAVE LISTED FIRE EXIT HARDWARE.
- UNDERCUT DOORS SO THAT THE BOTTOM OF THE DOOR IS 1/8" MINIMUM AND 1/4" MAXIMUM ABOVE FINISHED FLOOR MATERIAL.
- COORDINATE DOOR FRAME JAMB THROAT DIMENSION WITH PARTITION WIDTH, INCLUDING THE DEPTH OF ANY APPLIED FINISHES AND EXTRA LAYERS OF GYP. BOARD. FIELD MEASURE OPENINGS TO ASSURE PROPER FIT.
- TOUCH-UP AND REPAIR ALL IMPERFECTIONS IN METAL FRAMES.
- WHERE GARD READERS OCCUR, THE GENERAL CONTRACTOR SHALL COORDINATE WITH TENANT'S SECURITY VENDOR AND BE RESPONSIBLE FOR PREPARING DOORS TO RECEIVE ELECTRIFIED HARDWARE COMPONENTS. SEE NOTE #1 FOR EGRESS REQUIREMENTS.
- THRESHOLDS SHALL NOT HAVE A RISE GREATER THAN 1/2" IN COMPLIANCE W/ TITLE 24 & ADA STANDARDS, SECTION 1008.1.7, 2016 C.B.C.
- EXTERIOR DOORS TO BE WEATHERSTRIPPED & MADE WEATHER TIGHT
- UNLESS OTHERWISE NOTED, LOCATE HINGE SIDE OF ALL DOOR FRAMES 4" FROM ADJACENT PERPENDICULAR PARTITION.
- HANDLES, PULLS, LATCHES, LOCKS, AND OTHER OPERABLE PARTS ON DOORS AND GATES SHALL COMPLY WITH 11B-309.4 OPERATION. OPERABLE PARTS OF SUCH HARDWARE SHALL BE 34 INCHES MINIMUM AND 44 INCHES MAXIMUM ABOVE THE FINISH FLOOR OR GROUND, 11B-404.2.7
- SWINGING DOOR AND GATE SURFACES WITHIN 10 INCHES OF THE FLOOR FINISH OR GROUND MEASURED VERTICALLY SHALL HAVE A SMOOTH SURFACE ON THE PUSH SIDE EXTENDING THE FULL WIDTH OF THE DOOR OR GATE. PARTS CREATING HORIZONTAL OR VERTICAL JOINTS IN THESE SURFACES SHALL BE WITHIN 1/8 INCH OF THE SAME PLANE AS THE OTHER AND BE FREE OF SHARP OR ABRASIVE EDGES. CAVITIES CREATED BY ADDED KICK PLATES SHALL BE CAPPED. 11B-404.2.10

DOOR & HARDWARE

DOOR	WESTERN OREGON OR EQUAL
FRAMES	CECO, SERIES SU STEEL FRAMES OR EQUAL
LOCK, LATCH, PRIVACY SETS	SCHLAGE "ND" SERIES, SPARTA 626
OFFSET DOOR PULL	ROCKWOOD
RIM CYLINDERS	SCHLAGE
PANIC HARDWARE	VON DUPRIN
ELECTRIC STRIKE	VON DUPRIN
AUTO EQUALIZER	LOH
ACTUATOR	LCN 8310-3822TW
HINGES	HANGER 4.5" X 4.5"
CONT. HINGE	IVES
CLOSER	NORTON (ASSA ABL0Y) #8501
DOOR STOP, FLOOR	IVES, LOW DOME
DOOR STOP, OVERHEAD	GLYN JOHNSON
ASTRAGAL	
SMOKE SEALS	PEMKO, 588 DK. BRONZE
THRESHOLD	PEMKO
DOOR SWEEP	PEMKO
WEATHERSTRIPPING (SEALS)	HAGER

WINDOW NOTES

- ALL GLAZING SHALL MEET THE REQUIREMENTS OF CBC. PROVIDE TEMPERED GLASS WHERE GLAZING EDGE IS WITHIN 24 INCHES OF EITHER SIDE OF ANY DOOR WHERE THE BOTTOM EDGE OF GLAZING IS WITHIN 60 INCHES OF THE WALKING SURFACE.
- GLAZING IN DOORS, WITHIN A 24" ARC OF EITHER VERTICAL EDGE OF A DOOR, AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE AN ADJACENT WALKING SURFACE SHALL BE TEMPERED SECTION 2408.4, 2016 C.B.C.
- EXTERIOR STOREFRONT GLASS WALL SHALL BE DESIGNED TO WITHSTAND WIND FORCE OF EXPOSURE 'C', 85 MPH WIND SPEED
- STOREFRONT FRAMING SHALL BE DESIGNED BY STOREFRONT MANUFACTURER AND SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT FOR REVIEW

DOOR & HARDWARE NOTES



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03.09.23	PLANNING SUBMITTAL	
04.21.23	BUILDING SUBMITTAL	
06.16.23	PLANNING RESUBMITTAL	

PL2023-005 & B2023-0043
APPROVAL STAMP

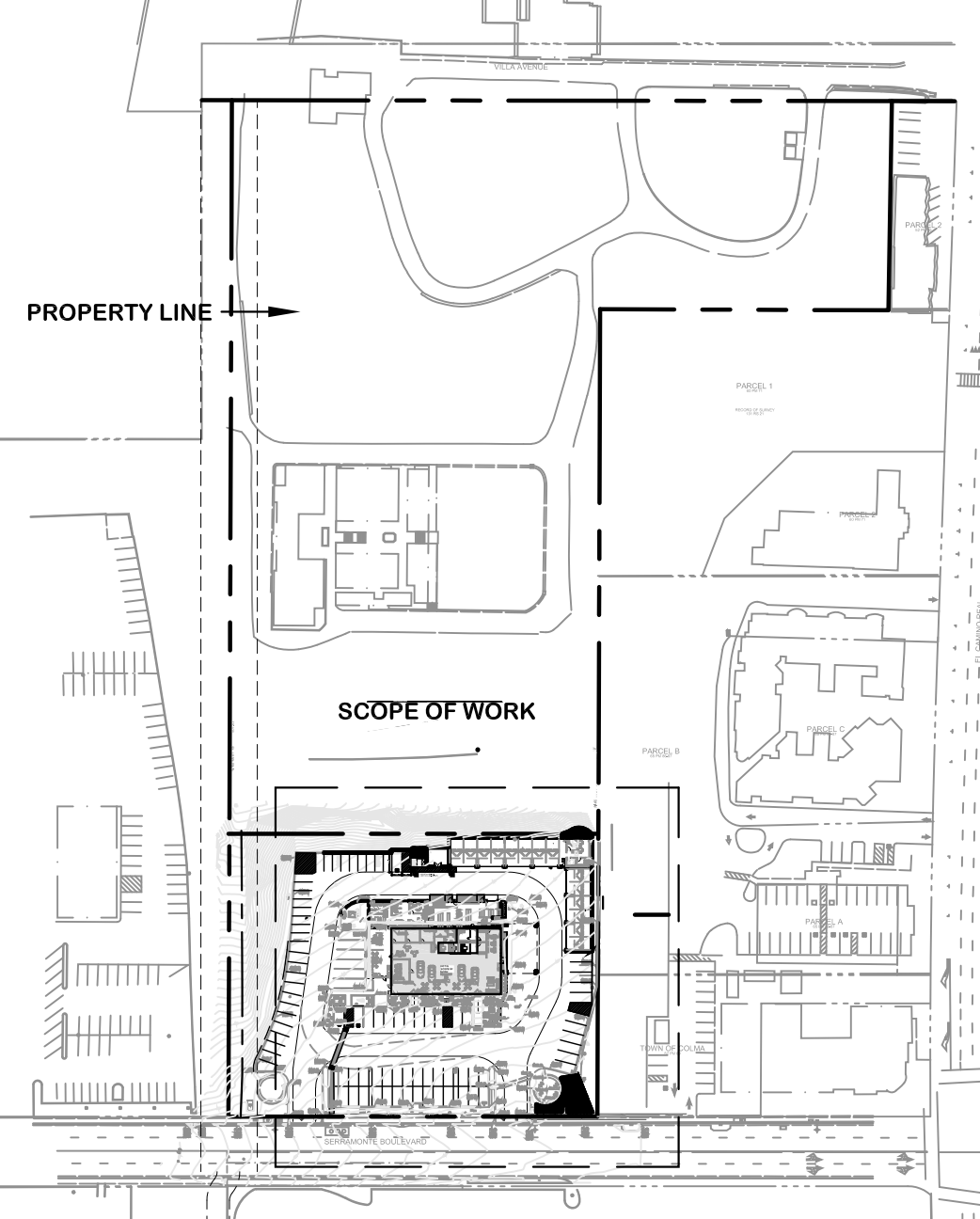


WALL AND DOOR SCHEDULES

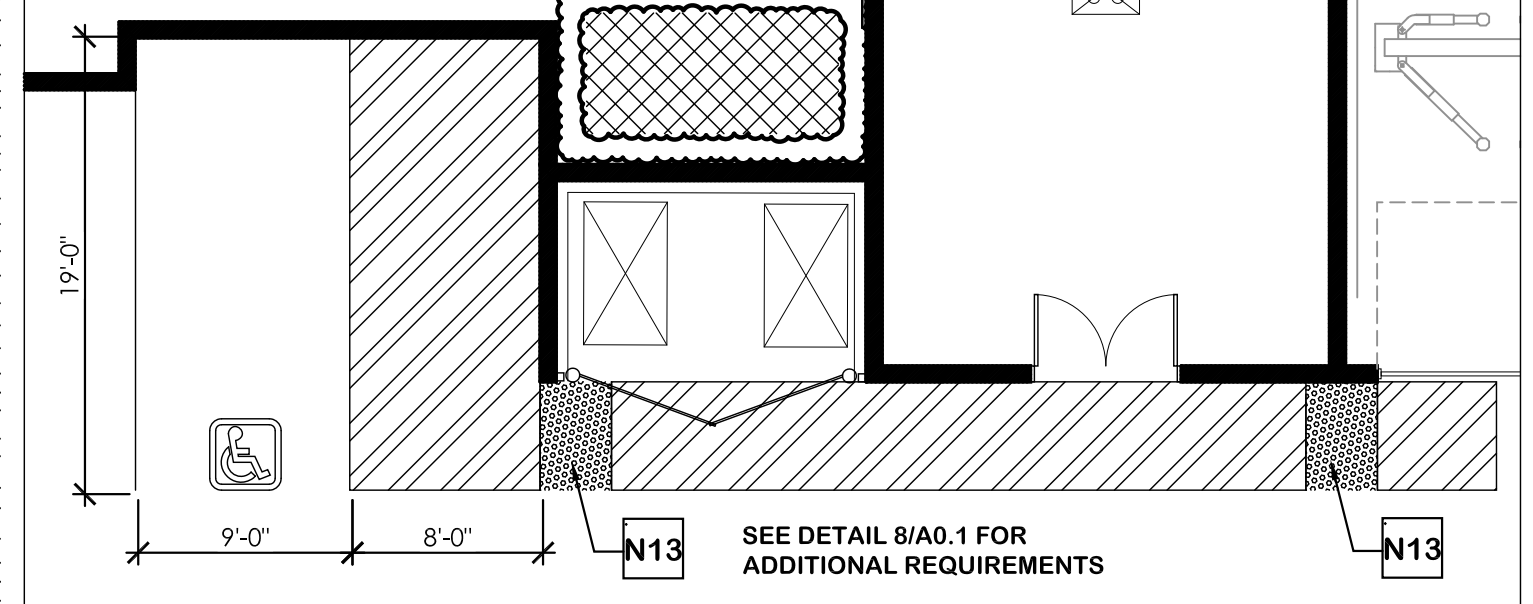
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06.1.21	
DRAWN BY JTG	PROJECT NUMBER 21001-1

A0.6

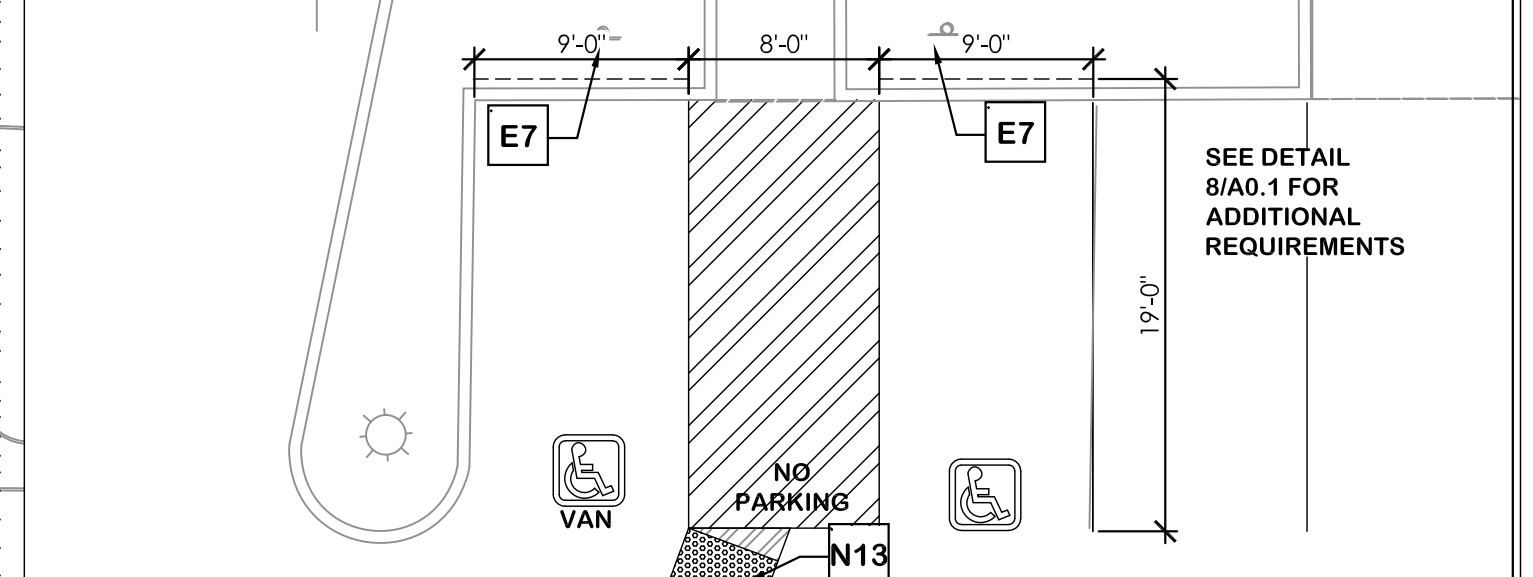
KEY PLAN



SERVICE GARAGE ACCESSIBLE PARKING



SHOWROOM ACCESSIBLE PARKING



GENERAL NOTES

WALKS AND SIDEWALKS SHALL BE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.

SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.

WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIAN RAMP.

ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.

SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.

ALL DAMAGED OR DETERIORATE FIRE LANE MARKING SHALL BE RE-STRIPED

ALL CURBS WHICH OUTLINE THE FIRE LANE SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING - FIRE LANE". THE TEXT SHALL BE FOUR INCHES TALL AND SHALL BE PLACED EVERY 30 FEET OR PORTION THEREOF, ON TOP OF DESIGNATED CURBING.

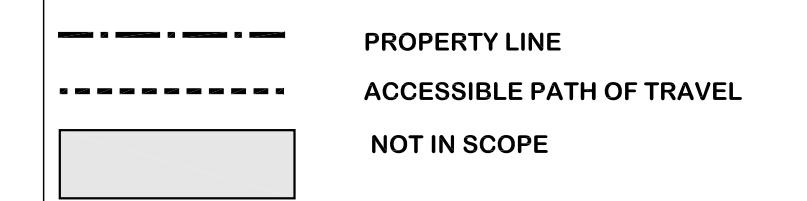
ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48.

WALKS AND SIDEWALKS SHALL BE AT LEAST 48" WIDE PER CBC 11B-403

KEY NOTES

- | | | |
|---|----------------------------------|---|
| E1 (E) ACCESSIBLE PATH OF TRAVEL | D1 REMOVE (E) CURB | N1 (N) SERVICE GARAGE |
| E2 (E) BUILDING | D2 REMOVE (E) SLOPED LANDSCAPING | N2 (N) SERVICE CANOPY |
| E3 (E) DRIVEWAY ENTRY | D3 REMOVE (E) TRASH ENCLOSURE | N3 ENCLOSE (E) CANOPY |
| E4 (E) PARKING STALLS | D4 REMOVE (E) PARKING STRIPING | N4 (N) TRASH ENCLOSURE WITH ROOF STRUCTURE |
| E5 NOT USED | | N5 (N) CONCRETE CURB |
| E6 (E) NOT USED | | N6 (N) PARKING STRIPING |
| E7 (E) ACCESSIBLE PARKING SIGN | | N7 (N) RETAINING WALL |
| E8 (E) SITE ACCESSIBLE TOW-AWAY SIGN | | N8 (N) PATH TO PUBLIC WAY |
| E9 (E) WALKWAY (LESS THAN OR EQUAL TO 5% SLOPE) | | N9 (N) FIRE HYDRANT |
| E10 28'-0" INSIDE TURNING RADIUS | | N10 (N) SERVICE GARAGE ACCESSIBLE PARKING STALL |
| E11 (E) STAIRS & HANDRAILS | | N11 (N) DOOR LANDING (2% MAX SLOPE ALL DIRECTIONS) |
| E12 (E) CONCRETE CURB | | N12 (N) WALKWAY (5% MAX SLOPE IN DIRECTION OF TRAVEL) |
| E13 (E) LANDSCAPING | | N13 (N) TRUNCATED DOMES, SEE DETAIL 10/A0.1 |
| E14 NOT USED | | |
| E15 (E) RTU | | |
| E16 (E) ROOF ACCESS | | |
| E17 FIRE LANE | | |
| E18 EV CHARGING STATION | | |
| E19 (E) WATER MAIN - REFER TO GPRS DRAWING FOR ADDITIONAL INFORMATION | | |

LEGEND



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PUBLISHED SETS

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10	06.16.23	PLANNING RESUBMITTAL

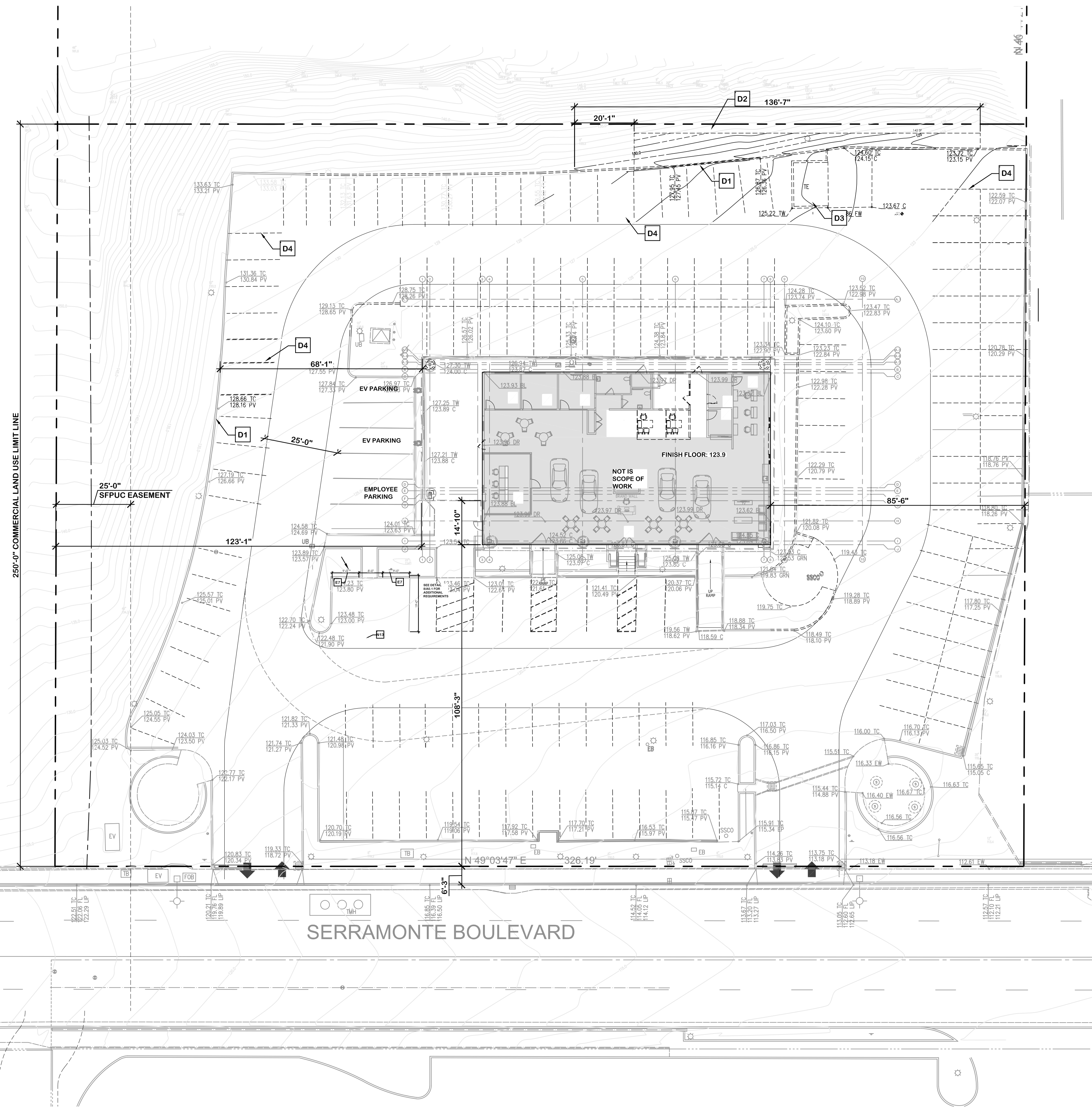
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APPROVAL STAMP



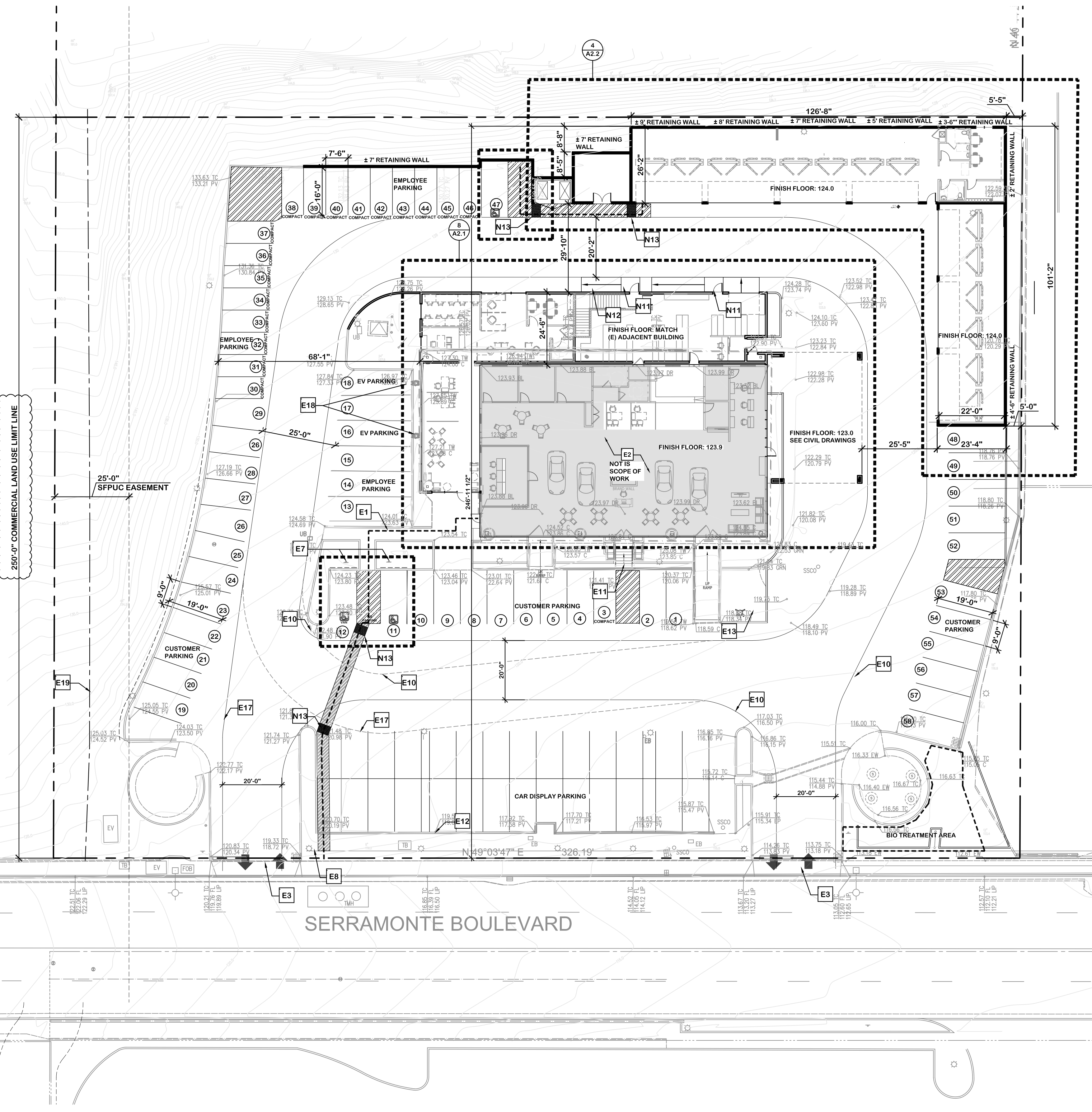
DEMO & PROPOSED SITE PLAN

DATE	SCALE
06.1.21	SEE PLAN
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A1.1



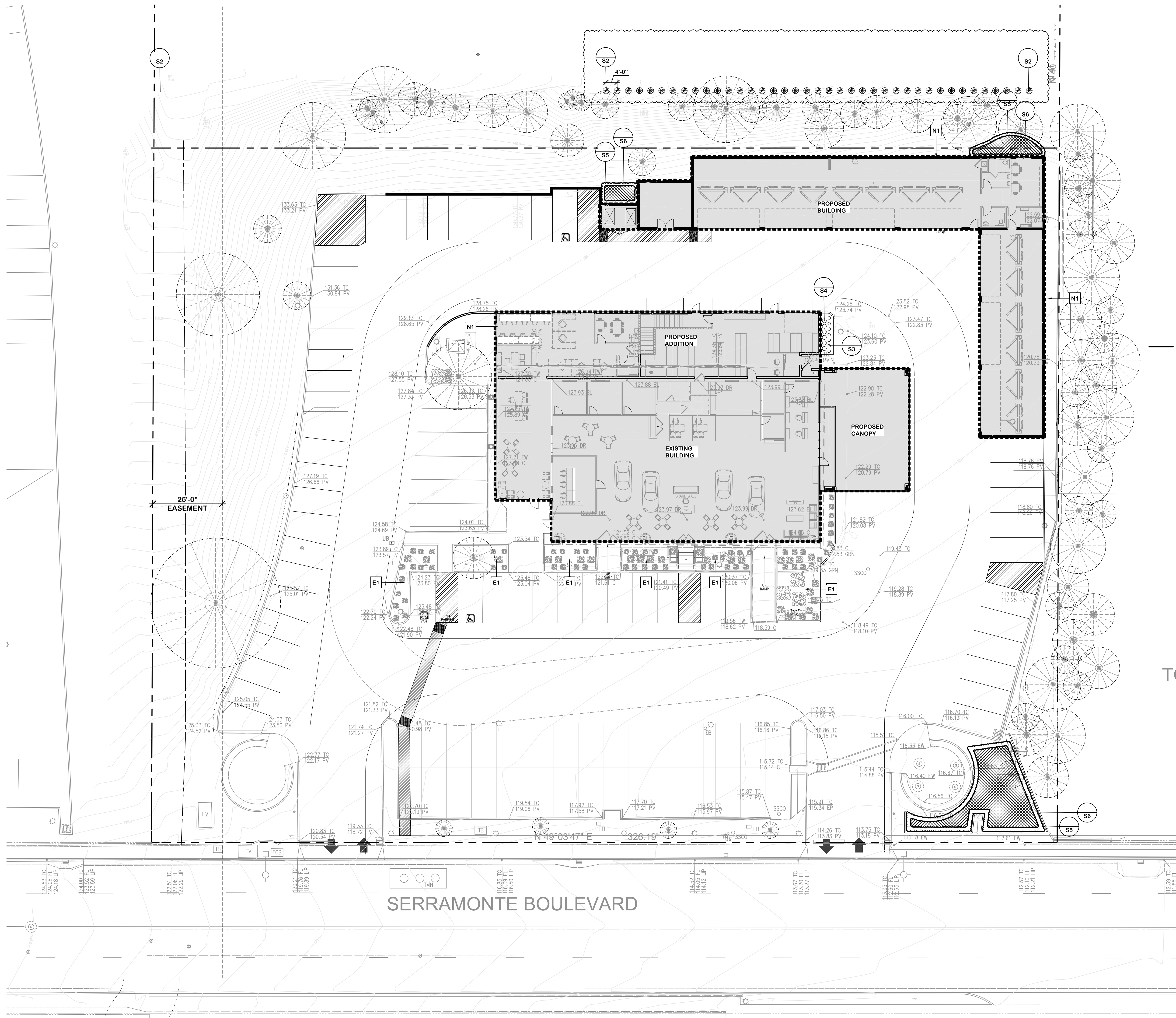
EXISTING & DEMO SITE PLAN 16



PROPOSED SITE PLAN 4

SCALE: 1" = 20'-0"

SCALE: 1" = 20'-0"

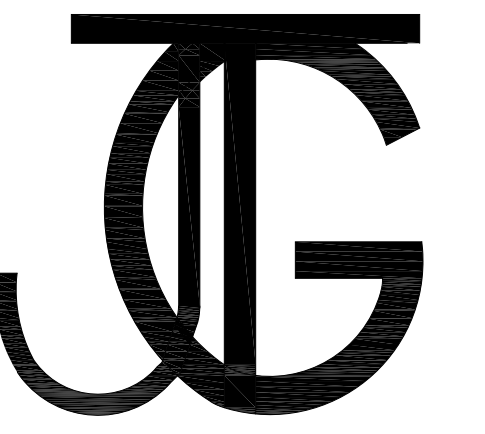


PLANTING LEGEND

- ONSITE AREA ADJACENT TO BUILDING
PLANTS TO BE 5 GALLON CONTAINER U.O.N.
- S2 LIGUSTRUM JAPONICUM "TEXANUM"
TEXAS PRIVET - 15 GALLON
 - S3 PHORMIUM HYBRID "JESTER"
FLAX
 - S4 STRELITZIA REGINAE
BIRD OF PARADISE
- STORMWATER TREATMENT AREA
PLANTS TO BE 1 GALLON CONTAINER AT 24" O.C.
- S5 MAHONIA AQUIFOLIUM "COMPACTA"
OREGON GRAPE
(LOW MASS PLANTING LOCATED IN BANK PLANTING ZONE PER C.3 STORMWATER
HANDBOOK, APPENDIX D)
 - S6 JUNCUS PATENS
CALIFORNIA GRAY RUSH
(GRASS GROUPING LOCATED IN BASIN PLATING ZONE PER C.3 STORMWATER
HANDBOOK, APPENDIX D)
- EXISTING TREE WITH DRIP LINE

KEYNOTES

- E1 (E) PLANTINGS TO REMAIN
- N1 (N) BUILDING REMAINS OUTSIDE OF (E) TREE DRIP LINE



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PL2023-005 & B2023-0043

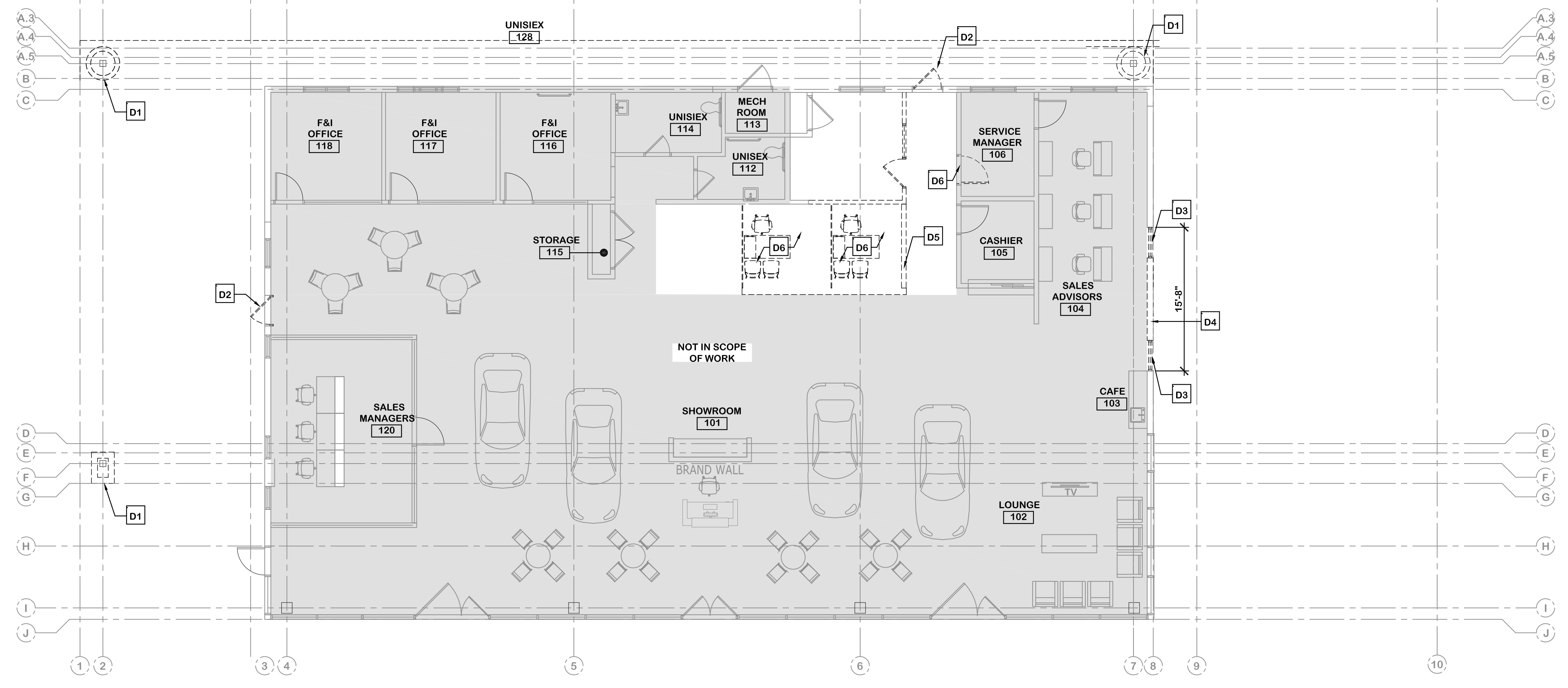
APPROVAL STAMP



LANDSCAPE SITE PLAN

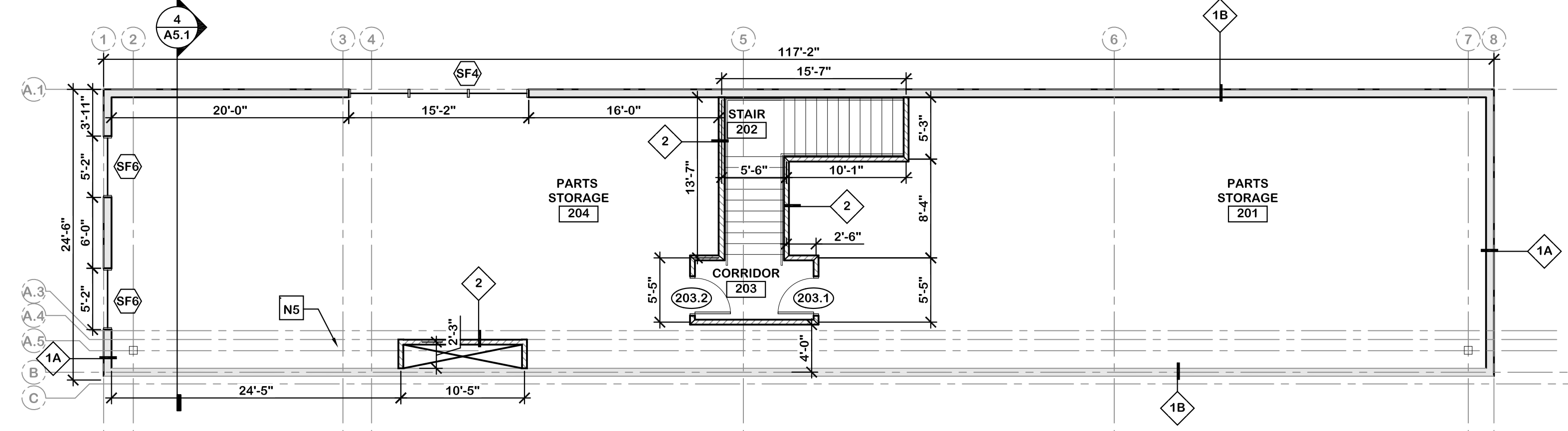
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PROJECT NUMBER: 21001-1

A1.2



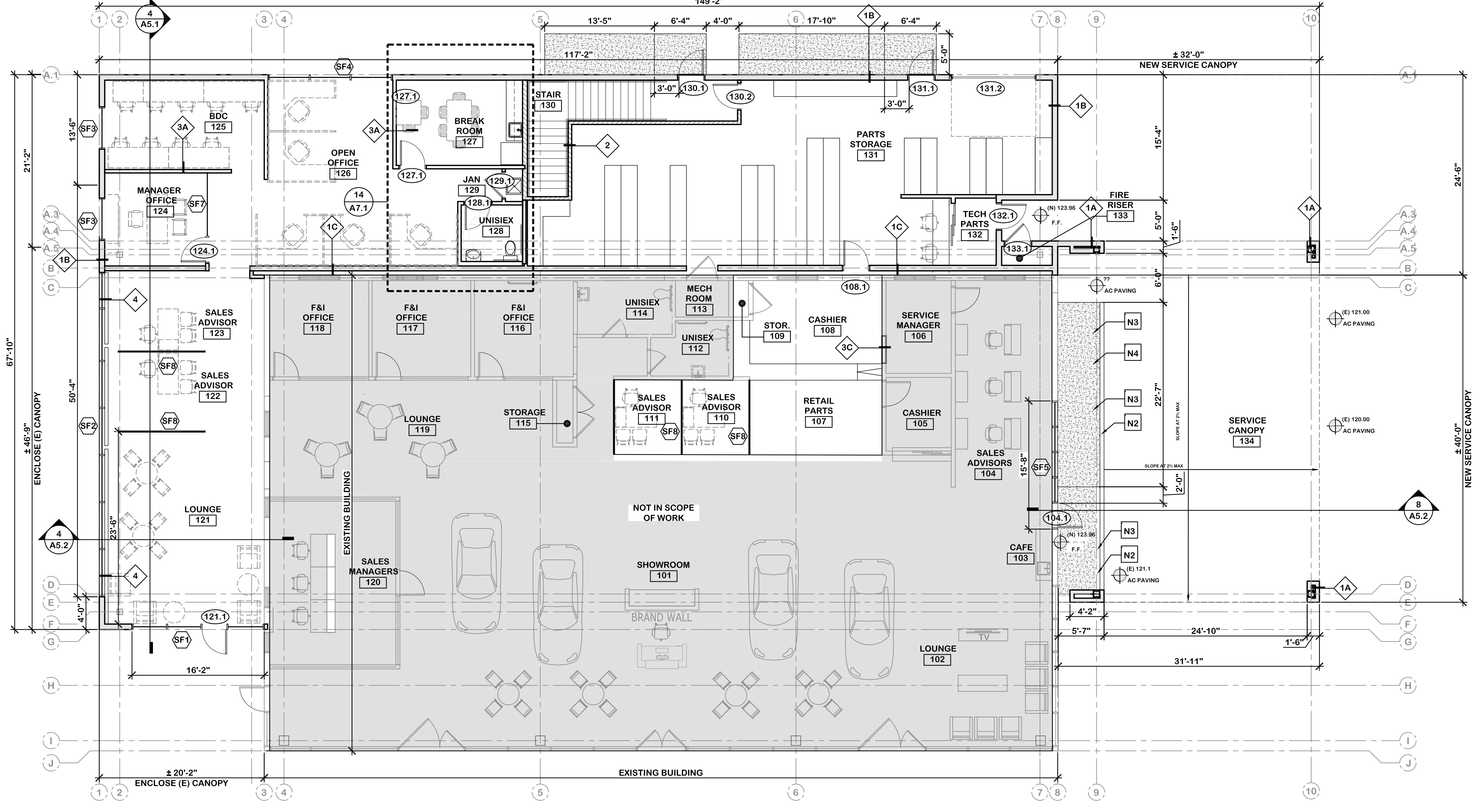
SCALE: 1/8" = 1'-0"

DEMO SHOW ROOM 1ST FLOOR FLOOR PLAN 5



SCALE: 1/8" = 1'-0"

PROPOSED SHOW ROOM 2ND FLOOR NOTATIONAL AND DIMENSIONAL FLOOR PLAN 6



SCALE: 1/8" = 1'-0"

PROPOSED SHOWROOM 1ST FLOOR PLAN NOTATIONAL AND DIMENSIONAL FLOOR PLAN 8

LEGEND

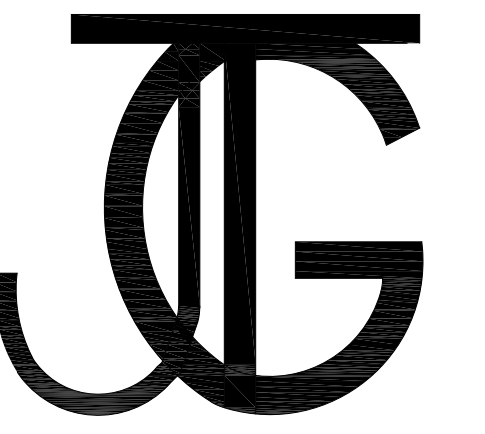
- NOT IN SCOPE OF WORK.
- (E) WALL TO REMAIN
- (E) WINDOW TO REMAIN
- (E) DOOR TO REMAIN
- (D) WALL
- (D) WINDOW
- (D) DOOR
- WALL TAG - SEE WALL LEGEND FOR ADDITIONAL INFORMATION.
- (N) WINDOW, SEE WINDOW SCHEDULE.
- (N) DOOR, SEE DOOR SCHEDULE.
- ROOM TAG
- ALIGN FINISH FACES OF (E) AND (N) CONSTRUCTION
- (N) FIRE EXTINGUISHER.

KEY NOTES

- D1 REMOVE (E) COLUMN FURRING
- D2 REMOVE (E) EXTERIOR DOOR
- D3 REMOVE (E) EXTERIOR WINDOW FOR NEW STOREFRONT SYSTEM
- D4 REMOVE (E) EXTERIOR WALL FOR NEW STOREFRONT SYSTEM
- D5 REMOVE (E) INTERIOR WALL
- D6 REMOVE (E) SERVICE ADVISORS
- D7 REMOVE (E) INTERIOR DOOR
- N1 NOT USED
- N2 (N) RETAINING WALL, S.S.D.
- N3 (N) CONCRETE LANDING
- N4 (N) CONCRETE STAIR & HANDRAIL, SEE DETAIL X8.3
- N5 (N) MECHANICAL SHAFT

GENERAL NOTES

1. WALKS AND SIDEWALKS SHALL BE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
3. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIANS RAMP.
4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMPS.
5. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.
6. ALL DAMAGED OR DETERIORATE FIRE LANE MARKING SHALL BE RE-STRIPED
7. ALL CURBS WHICH OUTLINE THE FIRE LANE SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING - FIRE LANE". THE TEXT SHALL BE FOUR INCHES TALL AND SHALL BE PLACED EVERY 30 FEET OR PORTION THEREOF, ON TOP OF DESIGNATED CURBING.
8. ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48.
9. WALKS AND SIDEWALKS SHALL BE AT LEAST 48" WIDE PER CBC 11B-403



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KIA SERRAMONTE
EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS

REV.	DATE	DESCRIPTION
△	02.14.22	RESUBMITTAL 1
	03.02.22	RESUBMITTAL 2
	03.15.22	RESUBMITTAL 3
	03.21.22	RESUBMITTAL 4
	08.09.22	PLANNING SUBMITTAL
	09.02.22	PLANNING RE-SUBMITTAL
	09.12.22	BUILDING SUBMITTAL
	03.09.23	PLANNING SUBMITTAL
	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

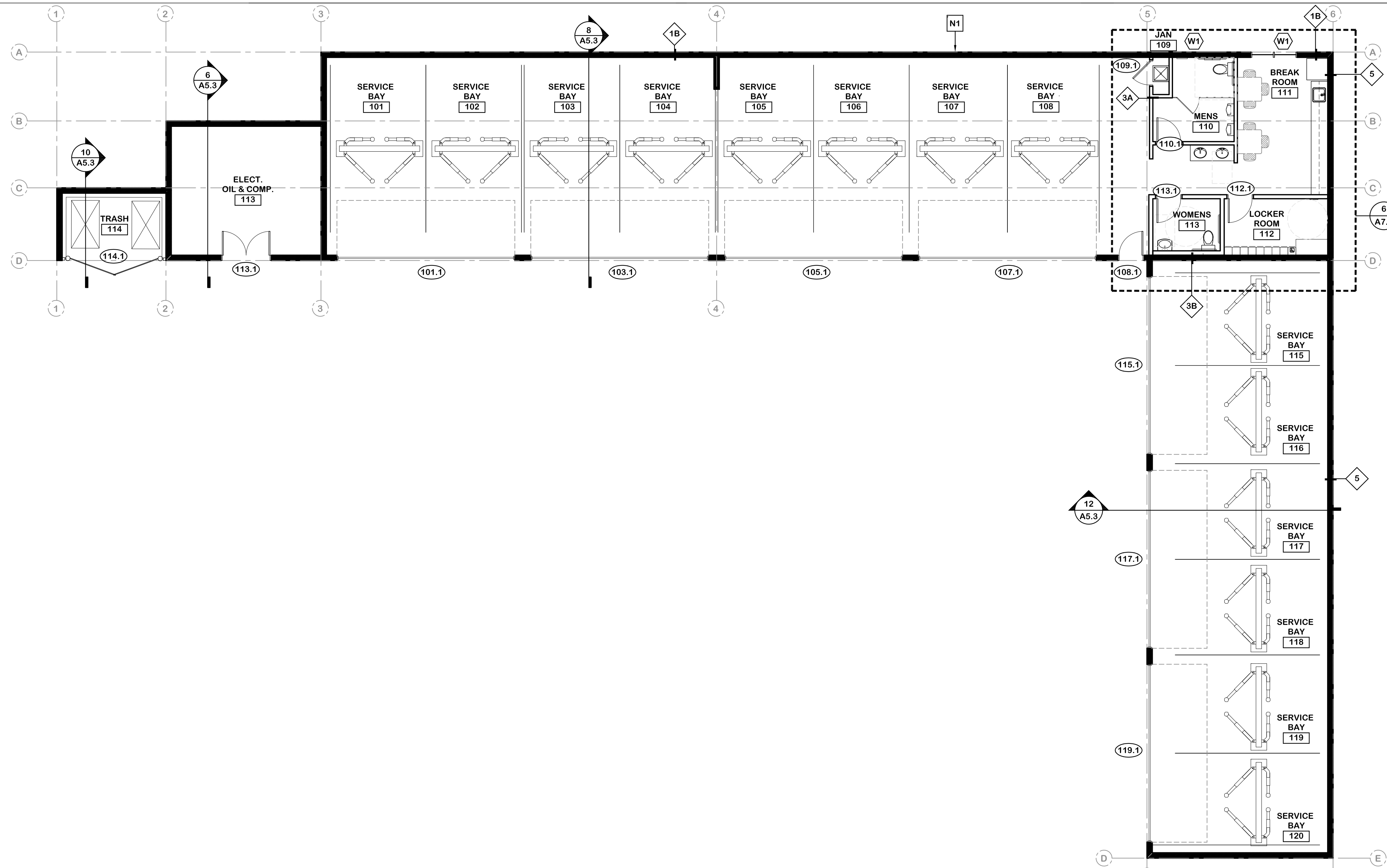
PL2023-005 & B2023-0043
APPROVAL STAMP



FLOOR PLANS SHOW ROOM

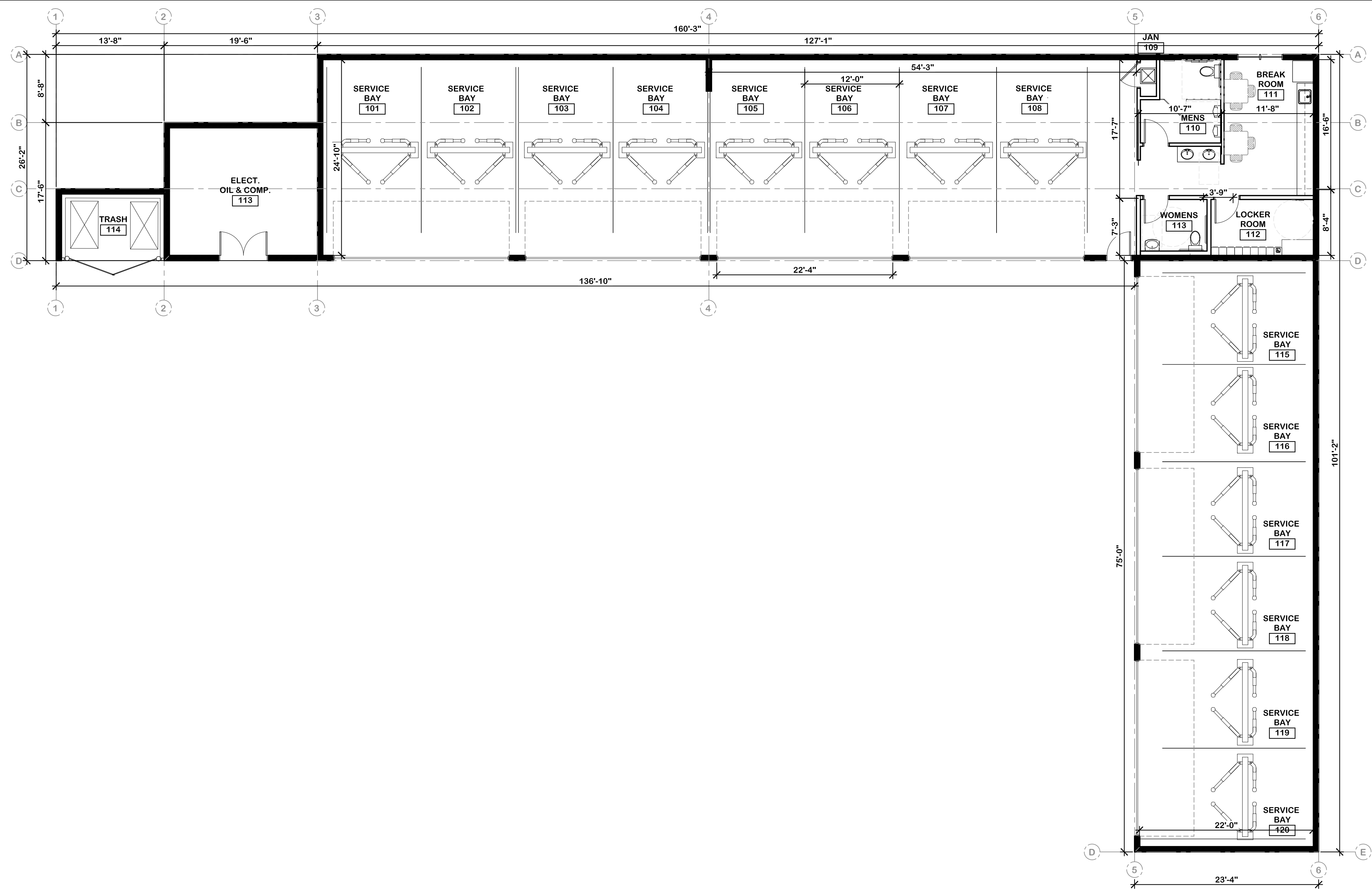
DATE 06.1.21 SCALE 1/8" = 1'-0"
DRAWN BY JTG PROJECT NUMBER 21001-1

A2.1



PROPOSED SERVICE GARAGE NOTATIONAL PLAN 6

SCALE: 1/8" = 1'-0"



PROPOSED SERVICE GARAGE DIMENSIONAL PLAN 8

SCALE: 1/8" = 1'-0"

LEGEND

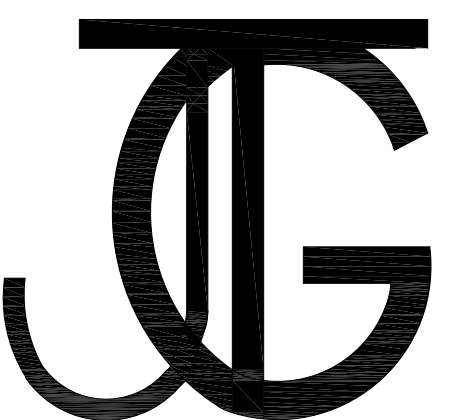
- NOT IN SCOPE OF WORK.
- (E) WALL TO REMAIN
- (E) WINDOW TO REMAIN
- (E) DOOR TO REMAIN
- WALL TAG - SEE WALL LEGEND FOR ADDITIONAL INFORMATION.
- (N) WINDOW, SEE WINDOW SCHEDULE.
- (N) DOOR, SEE DOOR SCHEDULE.
- ROOM TAG
- ALIGN FINISH FACES OF (E) AND (N) CONSTRUCTION
- (N) FIRE EXTINGUISHER.

KEY NOTES

- N1 STEPPED RETAINING WALL, S.C.D.

GENERAL NOTES

1. WALKS AND SIDEWALKS SHALL BE CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2 INCH, AND SHALL BE A MINIMUM OF 48 INCHES IN WIDTH.
2. SURFACE CROSS SLOPES SHALL NOT EXCEED 1/4 INCH PER FOOT.
3. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1:20 IT SHALL COMPLY WITH THE PROVISIONS FOR PEDESTRIANS RAMP.
4. ABRUPT CHANGES IN LEVEL ALONG ANY ACCESSIBLE ROUTE SHALL NOT EXCEED 1/2 INCH. WHEN CHANGES IN LEVEL DO OCCUR, THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THEN 1:2 EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/2 INCH NOT BE VERTICAL. WHEN CHANGES IN LEVELS GREATER THAN 1/2 INCH ARE NECESSARY THEY SHALL COMPLY WITH THE REQUIREMENTS FOR RAMP.
5. SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL NOT EXCEED 1/4 INCH PER FOOT IN ANY DIRECTION.
6. ALL DAMAGED OR DETERIORATE FIRE LANE MARKING SHALL BE RE-STRIPED
7. ALL CURBS WHICH OUTLINE THE FIRE LANE SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING - FIRE LANE". THE TEXT SHALL BE FOUR INCHES TALL AND SHALL BE PLACED EVERY 30 FEET OR PORTION THEREOF, ON TOP OF DESIGNATED CURBING.
8. ACCESSIBLE ROUTE SHALL HAVE A MAXIMUM RUNNING SLOPE OF 1:20 AND A MAXIMUM CROSS-SLOPE OF 1:48.
9. WALKS AND SIDEWALKS SHALL BE AT LEAST 48" WIDE PER CBC 11B-403



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PL2023-005 & B2023-0043

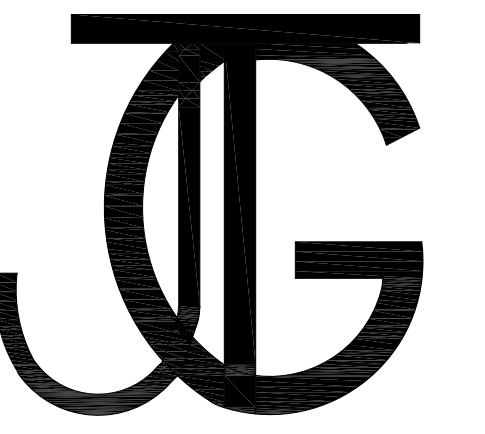
APPROVAL STAMP



FLOOR PLANS SERVICE GARAGE

DATE 06.1.21 SCALE 1/8" = 1'-0"
DRAWN BY JTG PROJECT NUMBER 21001-1

A2.2



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LEGEND

	B OCCUPANCY		MAXIMUM EXIT ACCESS TRAVEL DISTANCE = SEE PLAN (SEE EGRESS NOTES BELOW)
	S OCCUPANCY		MAXIMUM COMMON PATH OF EGRESS TRAVEL = SEE PLAN (SEE EGRESS NOTES BELOW)
	A OCCUPANCY (ACCESSORY OCCUPANCY)		
	EXIT SIGN W/ BATTERY BACK-UP		
	OCCUPANT LOAD		
	BUILDING ROOM NAME		
	FUNCTION OF SPACE AREA		
	AREA LOAD		
	FIRE EXTINGUISHER SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CFC 906. PROVIDE CLASS 2-A (MINIMUM 2-A-10-BC)		EGRESS NOTES: * MAXIMUM EXIT ACCESS TRAVEL DISTANCE ALLOWABLE (PER CBC 1010.1.6, 1010.1.7) OCCUPANCY W/ SPRINKLERS = 300 FT. AND "A" & "S-1" OCCUPANCIES W/ SPRINKLERS = 250 FT. * MAXIMUM COMMON PATH OF EGRESS TRAVEL ALLOWABLE (PER CBC 1014.3, EXC. 1), "B" OCCUPANCY W/ SPRINKLERS = 100 FT & "A" OCCUPANCY W/ SPRINKLERS = 75 FT
	1 HOUR FIRE SEPARATION		ACCESSIBLE PATH OF TRAVEL

FUNCTION PER 2022 CBC TABLE 1004.5

FUNCTION OF SPACE	S.F. PER PERSON	FUNCTION S.F. TYPE
ACCESSORY - STORAGE - S	300	GROSS
BUSINESS AREA - B	150	GROSS
ASSEMBLY - A	15	NET

EXIT #	REQUIRED	PROVIDED
EXIT #1	12x0.2 = 2.4" REQUIRED	32" CLEAR WIDTH PROVIDED
EXIT #2	27x0.2 = 5.4" REQUIRED	32" CLEAR WIDTH PROVIDED
EXIT #3	1x0.2 = 0.2" REQUIRED	32" CLEAR WIDTH PROVIDED
EXIT #4	4x0.2 = 0.8" REQUIRED	32" CLEAR WIDTH PROVIDED
EXIT #5	5x0.2 = 1.0" REQUIRED	68" CLEAR WIDTH PROVIDED
EXIT #6	4x0.2 = 0.8" REQUIRED	68" CLEAR WIDTH PROVIDED
EXIT #7	26x0.2 = 5.2" REQUIRED	32" CLEAR WIDTH PROVIDED

KEY NOTES

N1 PROVIDE TACTILE SIGNAGE, SEE DETAIL 9/A0.1

GENERAL NOTES

- THE PATH OF TRAVEL TO & WITHIN EXITS IN A BUILDING SHALL BE IDENTIFIED BY EXIT SIGNS CONFORMING TO THE REQUIREMENTS OF 2019 CBC SECT. 1013.1. EXIT SIGNS SHALL BE READILY VISIBLE FROM THE DIRECTION OF APPROACH. EXIT SIGNS SHALL BE LOCATED AS NECESSARY TO INDICATE THE DIRECTION OF EGRESS TRAVEL. NO POINT SHALL BE MORE THAN 100 FT. FROM THE NEAREST VISIBLE SIGN.
- FIRE BARRIERS AND REQUIRED OCCUPANCY SEPARATIONS SHALL COMPLY WITH SECTION 707.1 2019 CBC
- PROVIDE EXIT SIGN WITH 6" LETTERS OVER REQUIRED EXITS, WHERE SHOWN ON DRAWINGS. CONNECT EXIT SIGNS TO EMERGENCY POWER CIRCUITS.
- PROVIDE EMERGENCY LIGHTING OF ONE FOOT-CANDLE AT FLOOR LEVEL. COMPLY WITH BUILDING CODES.
- MAINTAIN AISLES AT LEAST 44" WIDE AT PUBLIC AREAS.
- EXIT DOORS SHALL SWING IN THE DIRECTION OF TRAVEL WHEN SERVING 50 OR MORE PERSONS AND IN ANY HAZARDOUS AREA.
- PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A WITHIN 75 FOOT TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR AND ADDITIONAL EXTINGUISHERS AS REQUIRED BY THE FIRE DEPARTMENT FIELD INSPECTOR
- FIRE EXTINGUISHERS SHALL BE PROVIDED AND LOCATED IN ACCORDANCE WITH FIRE DEPARTMENT REQUIREMENTS. SEE "F.E." OR "F.E.C." ON PLANS. EXTINGUISHER CABINET DOOR OPENING HARDWARE SHALL BE 48" MAX. ABOVE FINISHED FLOOR.
- FIRE EXTINGUISHER CABINETS SHALL NOT BREACH RATED WALLS UNLESS RATED THEMSELVES
- EXTINGUISHERS SHALL BE CONSPICUOUSLY LOCATED ALONG NORMAL PATHS OF EXITING
- PROVIDE FIRE DAMPERS OR DOORS WHERE AIR DUCTS PENETRATE FIRE-RATED WALLS OR CEILINGS.
- EXIT DOORS SHALL BE A MINIMUM OF 3'-0" X 6'-0" WITH A CLEAR WIDTH OF NOT LESS THAN 32" PER 2019 CBC
- EGRESS DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT. SECTION 1010.1.9, 2019 CBC THE FORCE FOR PUSHING OR PULLING OPEN INTERIOR SWINGING EGRESS DOORS, OTHER THAN FIRE DOORS, SHALL NOT EXCEED 5 POUNDS. FOR OTHER SWINGING DOORS, AS WELL AS SLIDING AND FOLDING DOORS, THE DOOR LATCH SHALL RELEASE WHEN SUBJECTED TO A 15-POUND FORCE. PER SECTION 1010.1.3, 2019 CBC
- EXIT DOORS SHALL BE SO MARKED THAT THEY ARE READILY DISTINGUISHABLE FROM THE ADJACENT CONSTRUCTION. SECTION 1010.1, 2019 C.B.C.
- PRIMARY ENTRANCES & REQUIRED EXITS FROM BUILDINGS & FACILITIES SHALL BE MADE ACCESSIBLE TO THE DISABLED
- PROVIDE SIGN ABOVE PRIMARY EXIT DOORS MOUNTED ON HORIZONTAL MILLION TO READ "THIS DOOR TO REMAIN UNLOCKED WHEN THIS SPACE IS OCCUPIED", IN COMPLIANCE W/ SECTION 1010.1.9.4, 2019 CBC
- DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE BY CHAPTER 11A OR 11B SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINCHING OR TWISTING OF THE WRIST TO OPERATE. PER SECTION 1010.1.9.1, 2019 CBC
- ROOMS OR AREAS LARGER THAN 100 SQUARE FEET SHALL BE PROVIDED WITH LEVEL SWITCHING TO ALLOW ILLUMINATION TO BE REDUCED BY ONE-HALF
- PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY AT MAIN ENTRANCE DOORS, COMPLY WITH TITLE 24 REQUIREMENTS
- PER CBC SECTION 303.1.2 SMALL ASSEMBLY SPACES. THE FOLLOWING ROOMS AND SPACES SHALL NOT BE CLASSIFIED AS ASSEMBLY OCCUPANCIES:
20.1. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES WITH AN OCCUPANT LOAD OF LESS THAN 50 PERSONS AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.
20.2. A ROOM OR SPACE USED FOR ASSEMBLY PURPOSES THAT IS LESS THAN 750 SQUARE FEET (70 M2) IN AREA AND ACCESSORY TO ANOTHER OCCUPANCY SHALL BE CLASSIFIED AS A GROUP B OCCUPANCY OR AS PART OF THAT OCCUPANCY.

MINIMUM FINISH FIRE CLASS

ROOM	FINISH	CLASS	REMARKS
LOUNGE 122	WALL	A	
LOUNGE 122	FLOOR	A	
LOUNGE 122	CEILING	A	
LOUNGE 122	DOOR	A	
LOUNGE 122	WALL	B	
LOUNGE 122	FLOOR	B	
LOUNGE 122	CEILING	B	
LOUNGE 122	DOOR	B	
LOUNGE 122	WALL	C	
LOUNGE 122	FLOOR	C	
LOUNGE 122	CEILING	C	
LOUNGE 122	DOOR	C	

PUBLISHED SETS

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1	02.14.22	RESUBMITTAL 1
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6	09.22.22	PLANNING RE-SUBMITTAL
7	09.12.22	BUILDING SUBMITTAL
8	03.09.23	PLANNING SUBMITTAL
9	04.21.23	BUILDING SUBMITTAL
10	06.16.23	PLANNING RESUBMITTAL

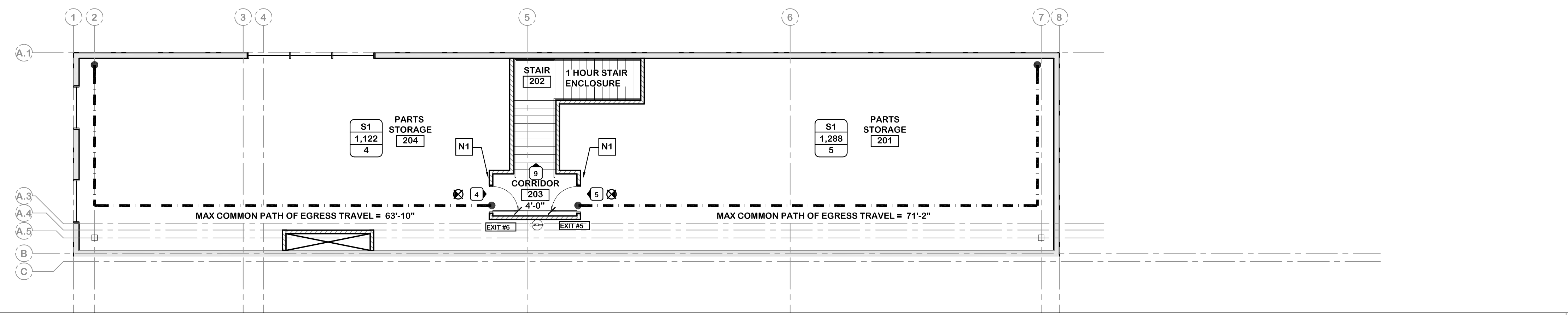
PL2023-005 & B2023-0043
APPROVAL STAMP



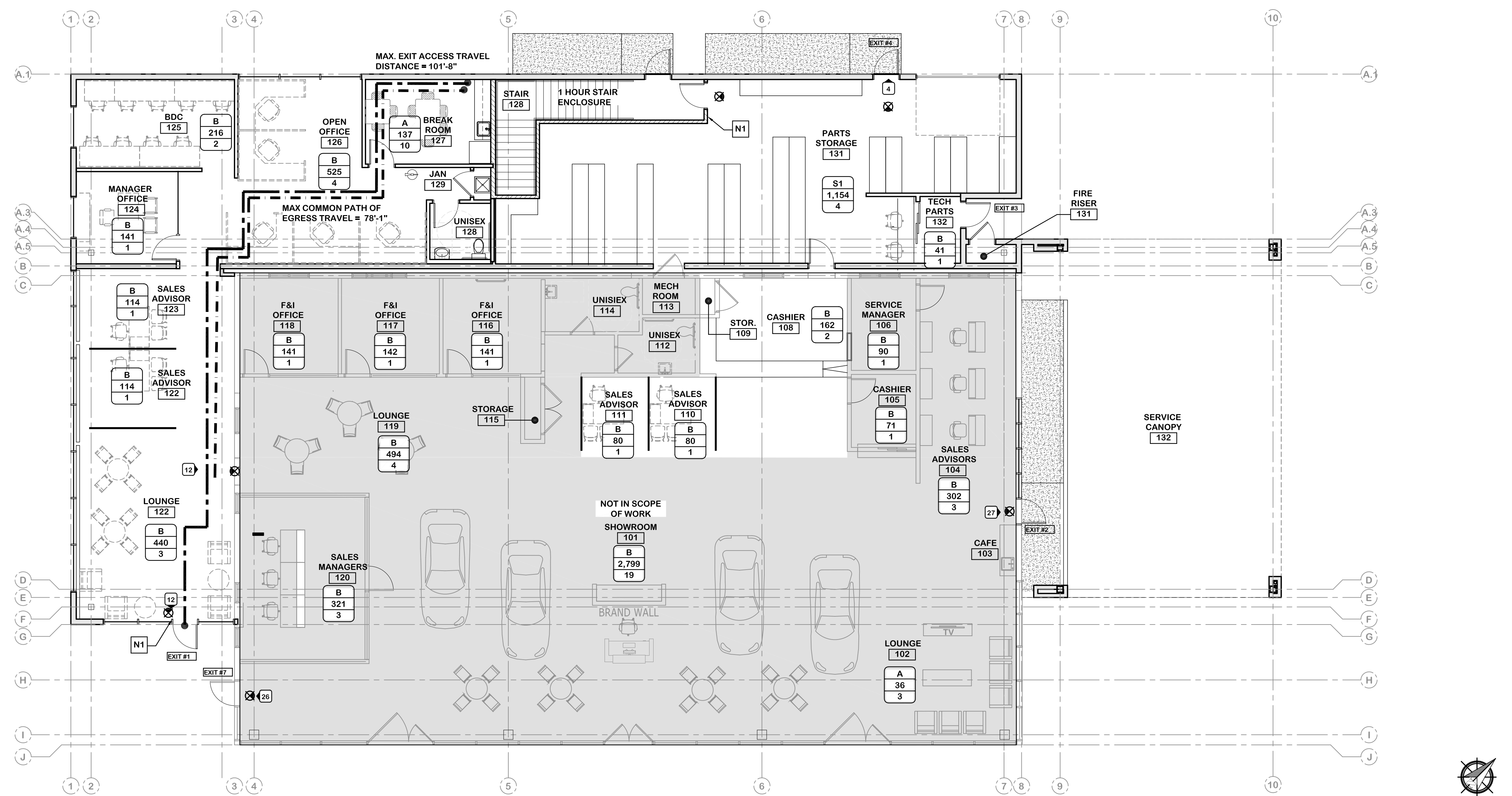
EGRESS PLANS SHOW ROOM

DATE: 06.1.21
SCALE: 1/8" = 1'-0"
DRAWN BY: JTG
PROJECT NUMBER: 21001-1

A2.3



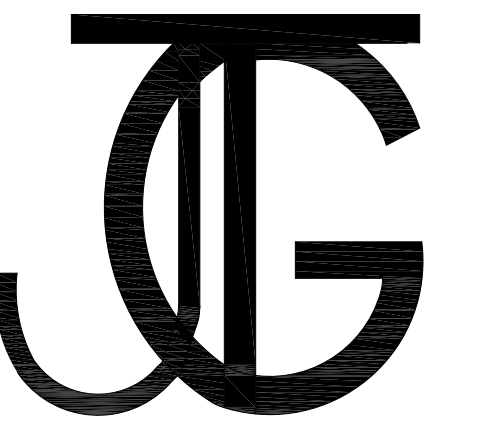
2nd FLOOR SHOW ROOM EGRESS PLAN 6



PROPOSED SHOWROOM EGRESS PLAN 8

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



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LEGEND

	B OCCUPANCY		MAXIMUM EXIT ACCESS TRAVEL DISTANCE = SEE PLAN (SEE EGRESS NOTES BELOW)
	S OCCUPANCY		MAXIMUM COMMON PATH OF EGRESS TRAVEL = SEE PLAN (SEE EGRESS NOTES BELOW)
	A OCCUPANCY (ACCESSORY OCCUPANCY)		
	EXIT SIGN W/ BATTERY BACK-UP		
	OCCUPANT LOAD		
	BUILDING ROOM NAME		
	FUNCTION OF SPACE AREA		
	AREA LOAD		
	FIRE EXTINGUISHER SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH CFC 906. PROVIDE CLASS 2-A (MINIMUM 2-A-10-BC)		
	1 HOUR FIRE SEPARATION		

EGRESS NOTES:
 * MAXIMUM EXIT ACCESS TRAVEL DISTANCE ALLOWABLE (PER CBC 1016), "B" OCCUPANCY, W/ SPRINKLERS = 300 FT. AND "A" & "S-1" OCCUPANCIES W/ SPRINKLERS = 250 FT.
 * MAXIMUM COMMON PATH OF EGRESS TRAVEL ALLOWABLE (PER CBC 1014.3, EXC. 1), "B" OCCUPANCY, W/ SPRINKLERS = 100 FT & "A" OCCUPANCY W/ SPRINKLERS = 75 FT
 * ACCESSIBLE PATH OF TRAVEL

FUNCTION PER 2022 CBC TABLE 1004.5

FUNCTION OF SPACE	S.F. PER PERSON	FUNCTION S.F. TYPE
ACCESSORY - STORAGE - S	300	GROSS
BUSINESS AREA - B	150	GROSS
ASSEMBLY - A	15	NET

EXIT #	REQUIRED	PROVIDED
EXIT #1	12x0.2 = 2.4" REQUIRED	32" CLEAR WIDTH PROVIDED
EXIT #2	24x0.2 = 4.8" REQUIRED	32" CLEAR WIDTH PROVIDED
EXIT #3	1x0.2 = 0.2" REQUIRED	32" CLEAR WIDTH PROVIDED
EXIT #4	4x0.2 = 0.8" REQUIRED	32" CLEAR WIDTH PROVIDED
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KEY NOTES

- N1 PROVIDE TACTILE SIGNAGE, SEE DETAIL 9/A0.1
- N2 ROLL UP DOORS ARE TO REMAIN OPEN DURING BUSINESS HOURS

GENERAL NOTES

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MINIMUM FINISH FIRE CLASS

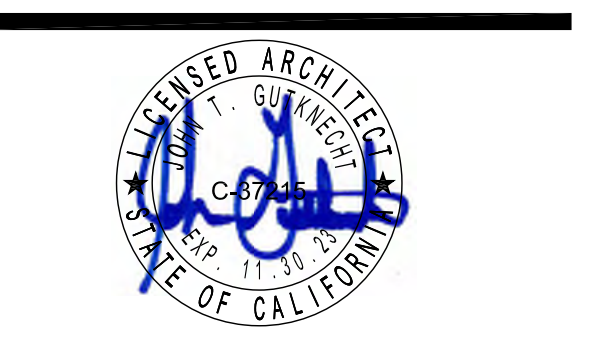
FINISH	INTERIOR WALL	INTERIOR CEILING	EXTERIOR WALL	EXTERIOR CEILING	ROOF
A	A	C	B	B	S-A & T-A
C	A	C	B	B	A-A, C-A, D-A &
C	B	C	C	B	M, B, B, T-R
C	B	C	C	C	B

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PL2023-005 & B2023-0043

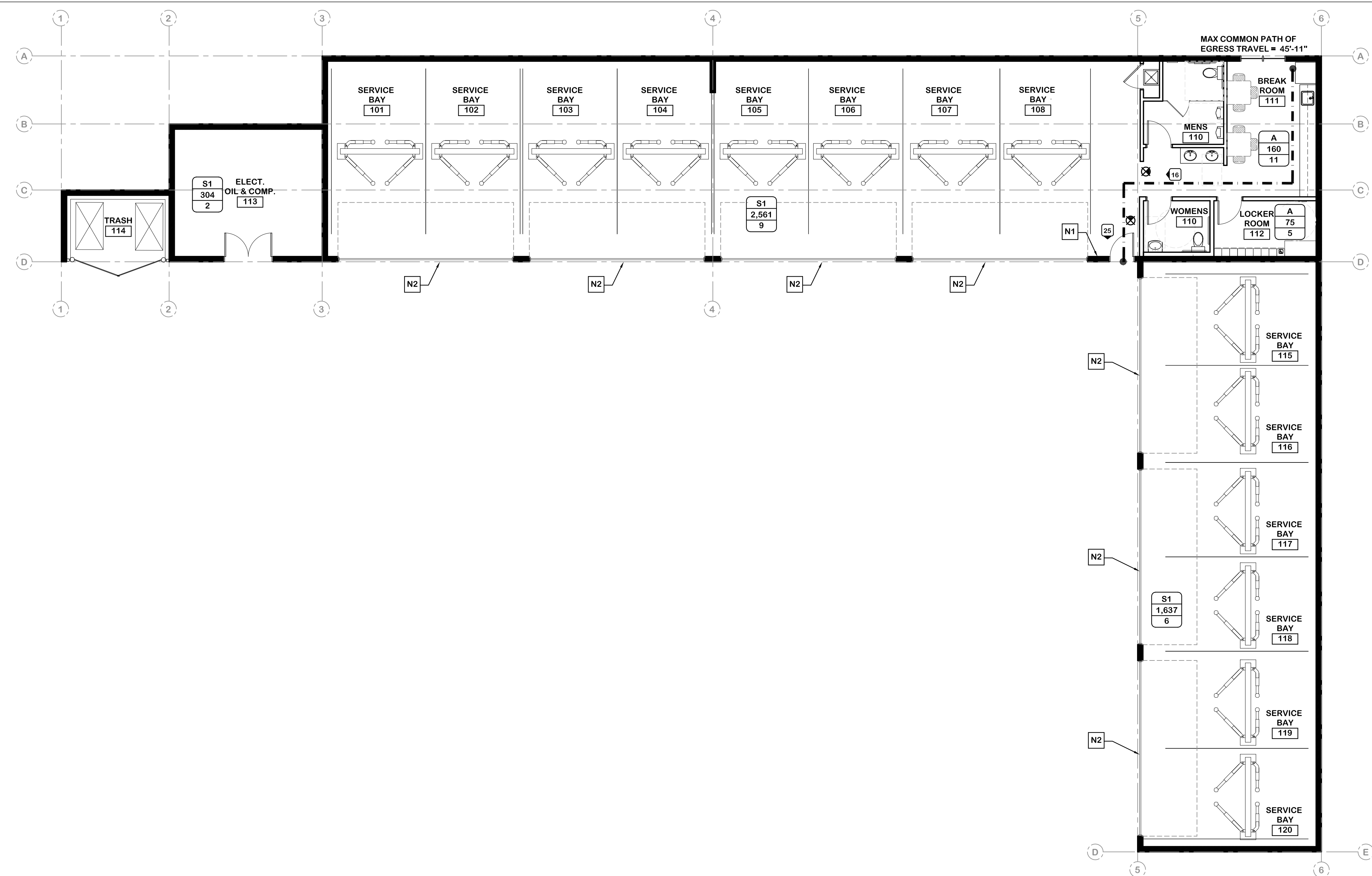
APPROVAL STAMP



EGRESS PLANS SERVICE GARAGE

DATE	SCALE
06.1.21	1/8" = 1'-0"
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A2.4

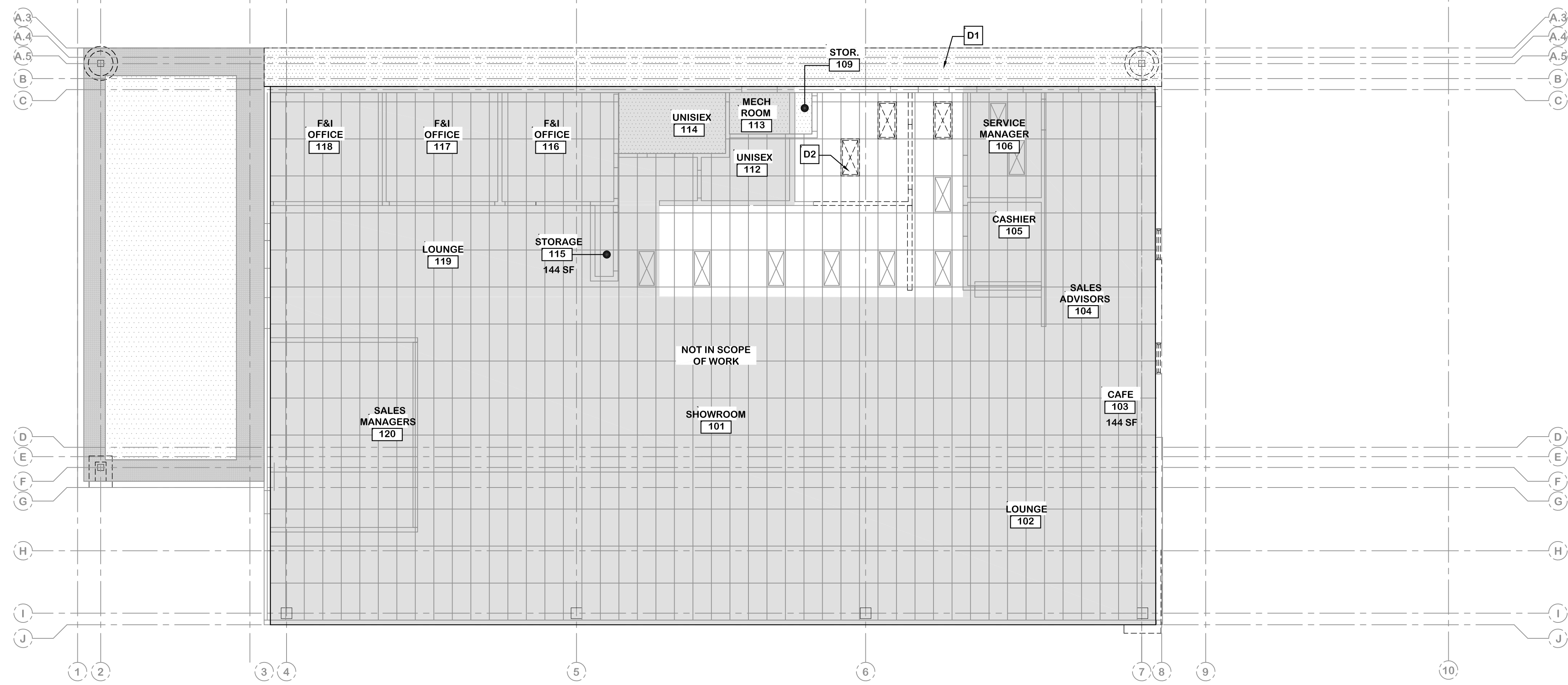


PROPOSED SERVICE GARAGE EGRESS PLAN

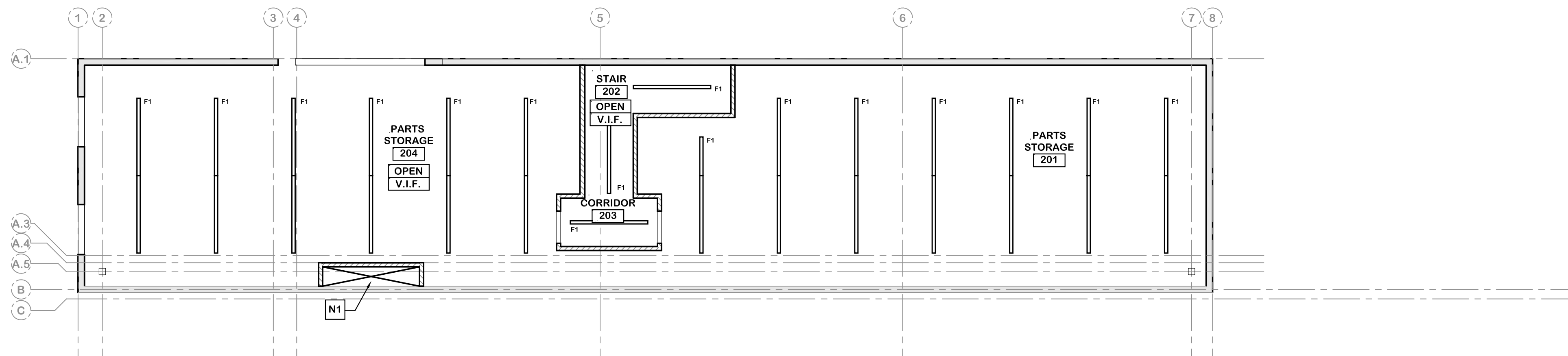
SCALE: 1/8" = 1'-0"

6

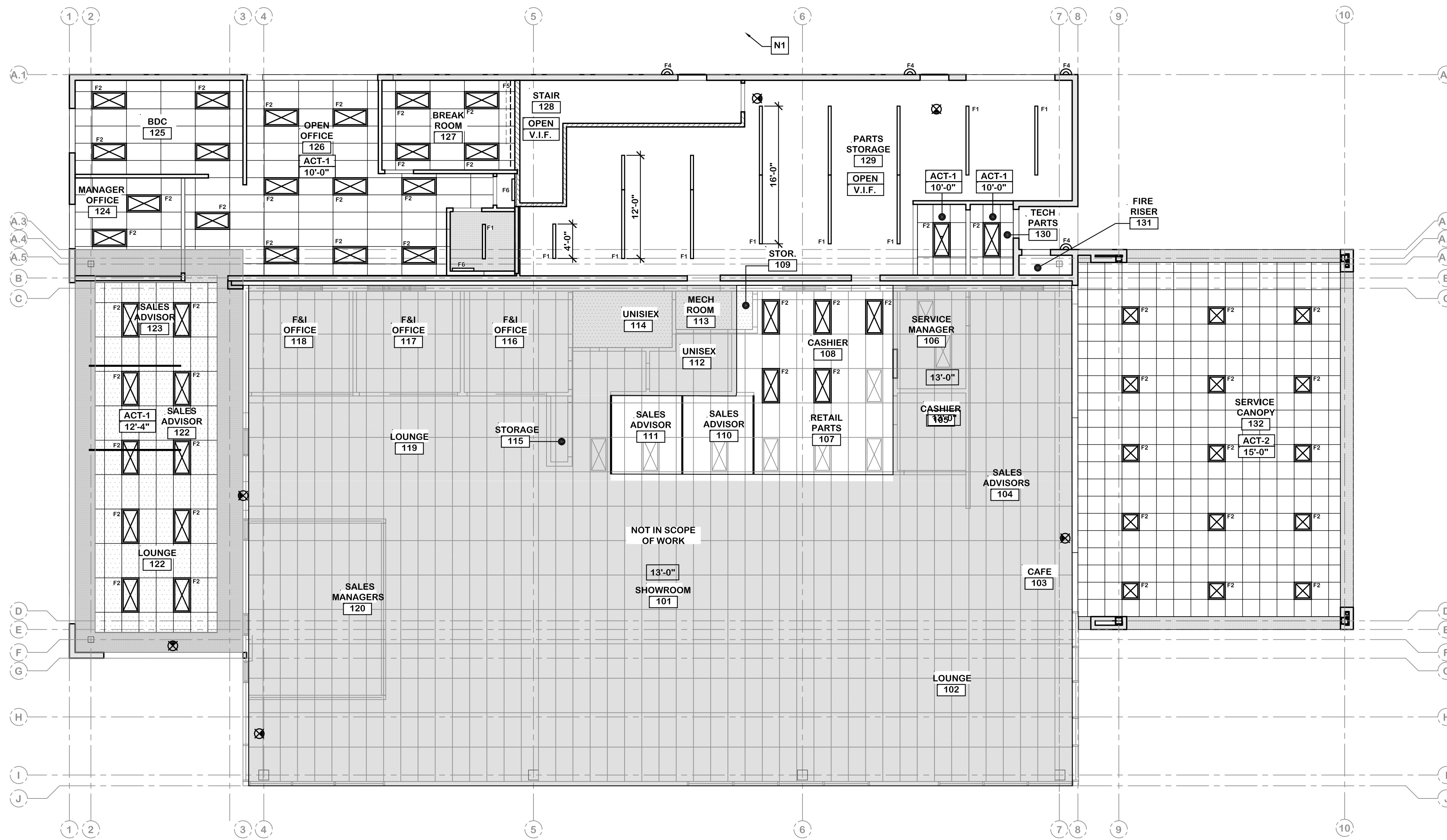
8



5 DEMO SHOWROOM 1ST FLOOR REFLECTED CEILING PLAN



6 PROPOSED SHOW ROOM 2ND FLOOR REFLECTED CEILING PLAN



8 PROPOSED SHOWROOM 1ST FLOOR REFLECTED CEILING PLAN

LEGEND

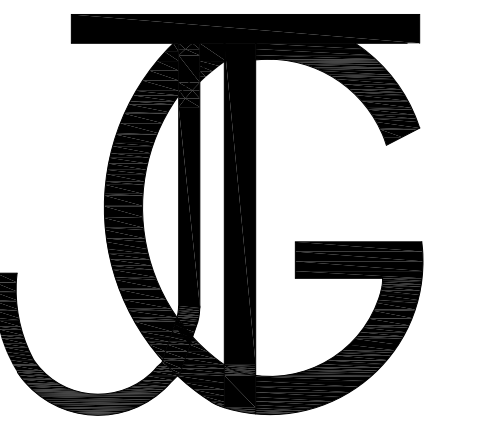
- (E) SOFFIT FRAMED WITH METAL STUD AND FINISHED WITH PAINTED GYPSUM OR PLASTER, PAINT TO MATCH (E) BUILDING STANDARD
- REMOVE (E) SOFFIT FRAMED WITH METAL STUD AND FINISHED WITH PAINTED GYPSUM OR PLASTER
- (N) SOFFIT FRAMED WITH METAL STUD AND FINISHED WITH PAINTED GYPSUM BOARD OR SMOOTH EXTERIOR PLASTER, PAINTED AS SPECIFIED ON PLANS SEE SHEET A8.1 FOR DETAILS AND SPAN TABLES.
- (N) 2x4 SUSPENDED CEILING SYSTEM, SEE SHEET A8.1 FOR DETAILS, USG, WHITE, 1516 SUSPENSION GRID, WHITE TO MATCH (E) CONDITION
- (N) 2x2 SUSPENDED CEILING SYSTEM, SEE SHEET A8.1 FOR DETAILS, USG, ZKLA26 OR APPROVED EQUAL
- F1 SURFACE WRAP AROUND DAY BRITE, NWL, WHITE, 48" X 4"
- F2 RECESS 2x4 DAY BRITE, ARIOSO, WHITE, 24" X 48"
- F3 LED CEILING GRID FIXTURE GARDCO: SLENDER FORM RECESSED CANOPY SFGR GEN 2 OR APPROVED EQUAL
- F4 LED EXTERIOR WALL PACK LITHONIA LIGHTING: WPX1 LED LIGHT OR APPROVED EQUAL
- F5 UNDER CABINET LIGHT TIVOLI, ELITE, CLEAR, LENGTH PER PLANS
- F6 VANITY LIGHT FIXTURE LITHONIA, CONTRACTOR SELECT, CHROME, 2'
- X-XX" CEILING HEIGHT OR LIGHT FIXTURE HEIGHT, OPEN TO ABOVE CEILING - SEE SHEETS BUILDING SECTIONS FOR ADDITIONAL INFORMATION.

KEY NOTES

- D1 REMOVE (E) EXTERIOR SOFFIT AND FRAMING
- D2 REMOVE OR RELOCATE (E) LIGHT FIXTURE

GENERAL NOTES

1. ALL RECESSED DOWNLIGHTS/WALL WASHERS SHALL BE CENTERED IN THE VISUAL TILE PATTERN, U.O.N.
2. ALL CEILING FIXTURES AND WIRING FOR LIGHT FIXTURES, EXIT SIGNS, OR OTHER ELECTRICAL DEVICES SHALL BE U.L. APPROVED, THERMALLY PROTECTED, AND SHALL BE INSTALLED IN CONDUIT OR OTHER WIRING METHOD APPROVED BY THE BUILDING DEPARTMENT.
3. WHERE AN EXISTING SUSPENDED CEILING SYSTEM IS TO BE RE-USED, REPLACE ALL DAMAGED CEILING TILES AND GRID MEMBERS THROUGHOUT AREA OF WORK TO ACHIEVE A NEW APPEARANCE.
4. THIS DRAWING IS FOR LAYOUT PURPOSES ONLY. ENGINEERING OF SWITCHING AND CIRCUITRY SHALL BE PROVIDED BY THE ELECTRICAL CONTRACTOR IN ACCORDANCE WITH APPLICABLE BUILDING AND ELECTRICAL CODES AND REGULATIONS FOR BUILDING LIFE SAFETY, EMERGENCY, EGRESS AND NIGHT LIGHTS.
5. WHEN AN ENTIRELY NEW CEILING GRID IS TO BE INSTALLED, SPRINKLER CONTRACTOR SHALL PROVIDE ESCUTCHEON RING EXTENSIONS WITH 2" CLEARANCE AROUND HEAD, OR ALTERNATELY INSTALL FLEX-HEAD CONNECTIONS AT ALL SPRINKLER HEADS IN AREA OF NEW CEILING.
6. MECHANICAL WORK SHALL BE DESIGNED AND BUILT IN ACCORDANCE WITH APPLICABLE CODES AND STANDARDS AND SHALL COMPLY WITH THE REQUIREMENTS OF CALIFORNIA ADMINISTRATIVE CODE, TITLE 24.
7. PROVIDE FIRE DAMPERS AT ALL PENETRATIONS OF FIRE RATED ASSEMBLIES AS REQUIRED. DAMPERS SHALL BE FIRE/SMOKE WITH SMOKE ACTIVATION AS REQUIRED BY 2022 CBC.



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EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS

REV. DATE	DESCRIPTION
02.14.22	RESUBMITTAL 1
03.02.22	RESUBMITTAL 2
03.15.22	RESUBMITTAL 3
03.21.22	RESUBMITTAL 4
08.09.22	PLANNING SUBMITTAL
09.02.22	PLANNING RE-SUBMITTAL
09.12.22	BUILDING SUBMITTAL
03.09.23	PLANNING SUBMITTAL
04.21.23	BUILDING SUBMITTAL
06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043

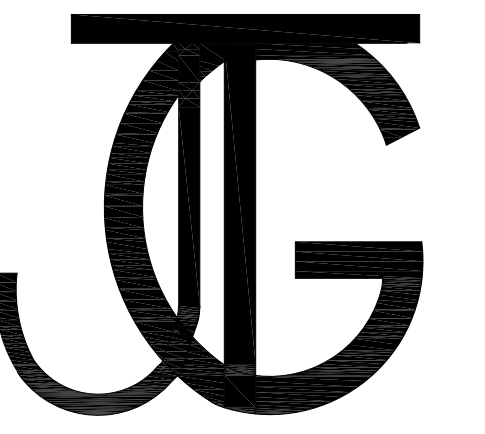
APPROVAL STAMP



REFLECTED CEILING SHOW ROOM

DATE	SCALE
06.1.21	1/8" = 1'-0"
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A3.1



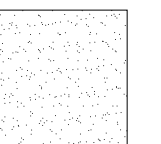
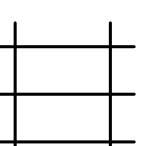
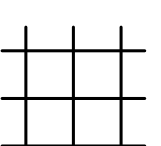
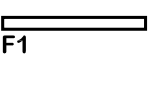






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 COLMA, CA 94014

LEGEND

-  (N) SOFFIT FRAMED WITH METAL STUD AND FINISHED WITH PAINTED GYPSUM BOARD OR SMOOTH EXTERIOR PLASTER, PAINTED AS SPECIFIED ON PLANS. SEE SHEET A8.1 FOR DETAILS AND SPAN TABLES.
-  (N) 2x4 SUSPENDED CEILING SYSTEM. SEE SHEET A8.1 FOR DETAILS. USG, WHITE 15/16 SUSPENSION GRID, WHITE TO MATCH (E) CONDITION.
-  (N) 2x2 SUSPENDED CEILING SYSTEM. SEE SHEET A8.1 FOR DETAILS. USG, ZKLA26 OR APPROVED EQUAL.
-  SURFACE WRAP AROUND DAY BRITE, NWL, WHITE, 48" X 4"
-  RECESS 2x4 DAY BRITE, ARIOSO, WHITE, 24" X 48"
-  LED CEILING GRID FIXTURE GARDCO; SLENDER FORM RECESSED CANOPY SFGR GEN 2 OR APPROVED EQUAL.
-  LED EXTERIOR WALL PACK LITHONIA LIGHTING; WPX1 LED LIGHT OR APPROVED EQUAL.
-  UNDER CABINET LIGHT TIVOLI, ELITE, CLEAR, LENGTH PER PLANS.
-  VANITY LIGHT FIXTURE LITHONIA, CONTRACTOR SELECT, CHROME, 2'.
-  CEILING HEIGHT OR LIGHT FIXTURE HEIGHT. OPEN TO ABOVE CEILING - SEE SHEETS' BUILDING SECTIONS FOR ADDITIONAL INFORMATION.

KEY NOTES

PUBLISHED SETS

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	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043

APPROVAL STAMP



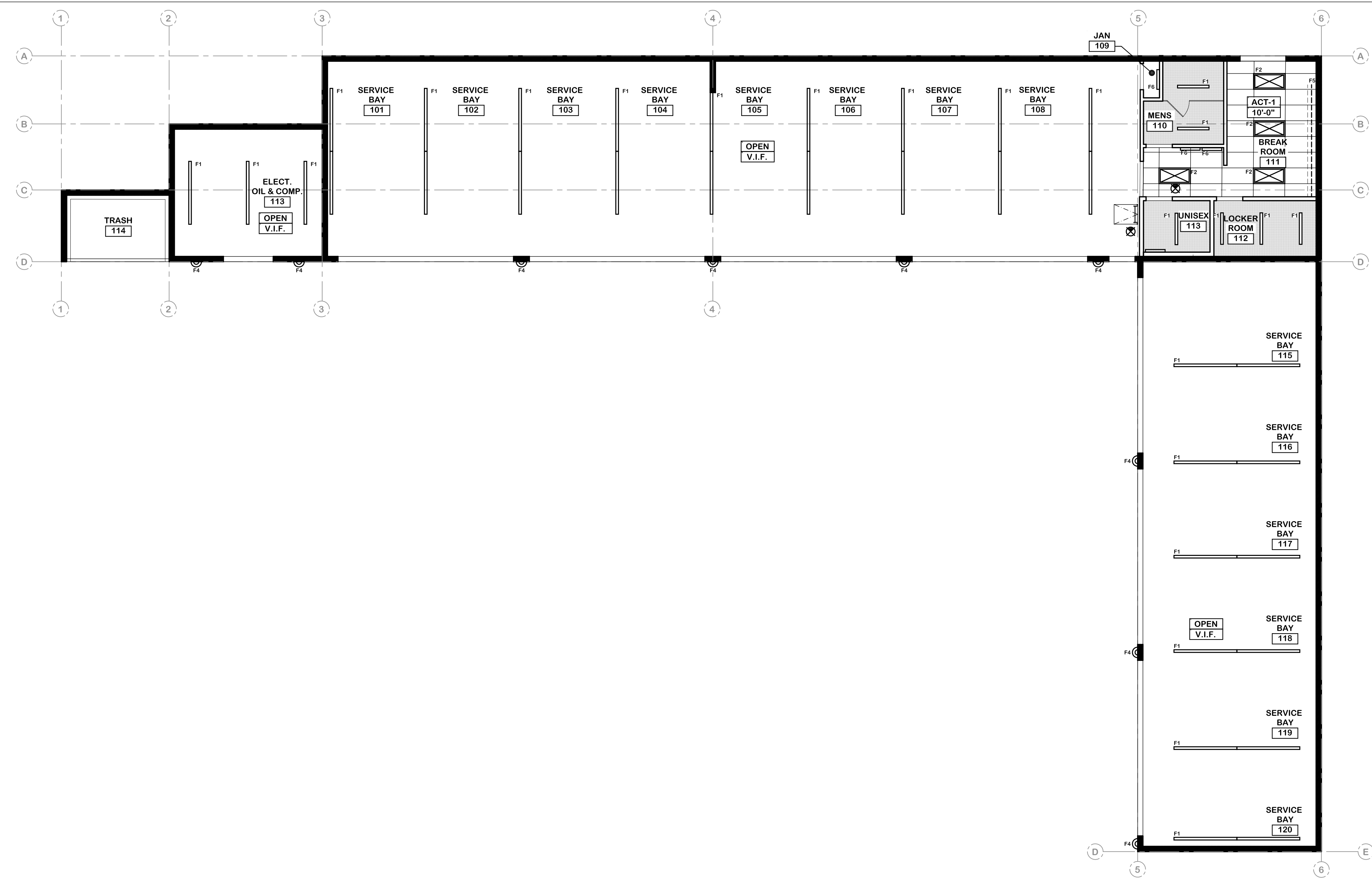
REFLECTED CEILING SERVICE GARAGE

DATE	SCALE
06.1.21	1/8" = 1'-0"
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A3.2

GENERAL NOTES

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7. PROVIDE FIRE DAMPERS AT ALL PENETRATIONS OF FIRE RATED ASSEMBLIES AS REQUIRED. DAMPERS SHALL BE FIRE/SMOKE WITH SMOKE ACTIVATION AS REQUIRED BY 2022 CBC.



PROPOSED SERVICE GARAGE REFLECTED CEILING PLAN

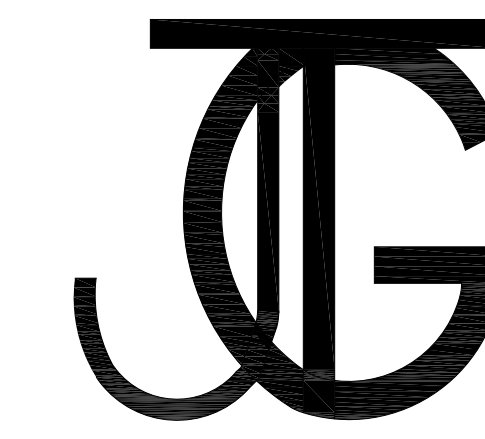
SCALE: 1/8" = 1'-0"

6

8

KEYNOTES

- E1 (E) MANSARD ROOF WITH CLAY TILES
- E2 (E) FLAT ROOF WITH BUILT UP ROOFING
- E3 (E) ROOF DRAIN
- E4 (E) ROOF TOP UNIT
- E5 (E) ROOF ACCESS HATCH
- D1 REMOVE (E) MANSARD ROOF TILE & STRUCTURE
- D2 REMOVE (E) TPO ROOF AND ROOF STRUCTURE
- D3 REMOVE (E) METAL WALL PANEL



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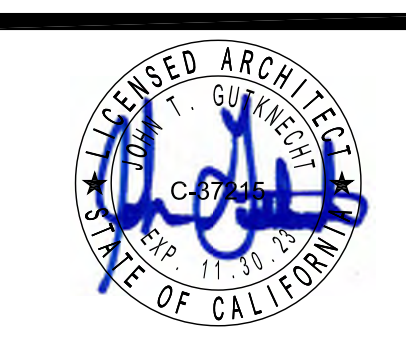
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	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

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APPROVAL STAMP



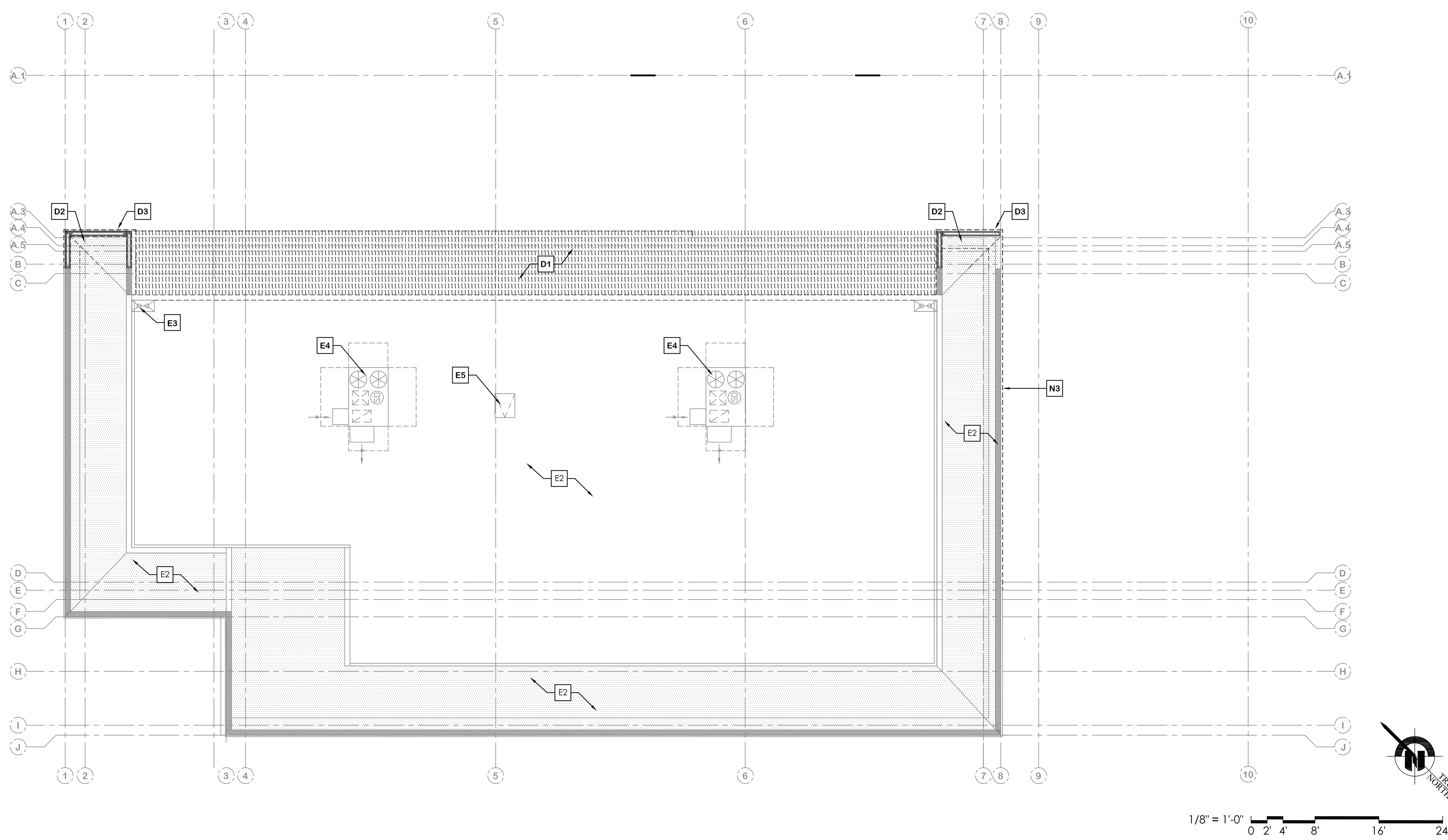
DEMO SHOWROOM ROOF PLAN

DATE: 06.1.21 SCALE: 1/8" = 1'-0"
 DRAWN BY: JTG PROJECT NUMBER: 21001-1

A4.1

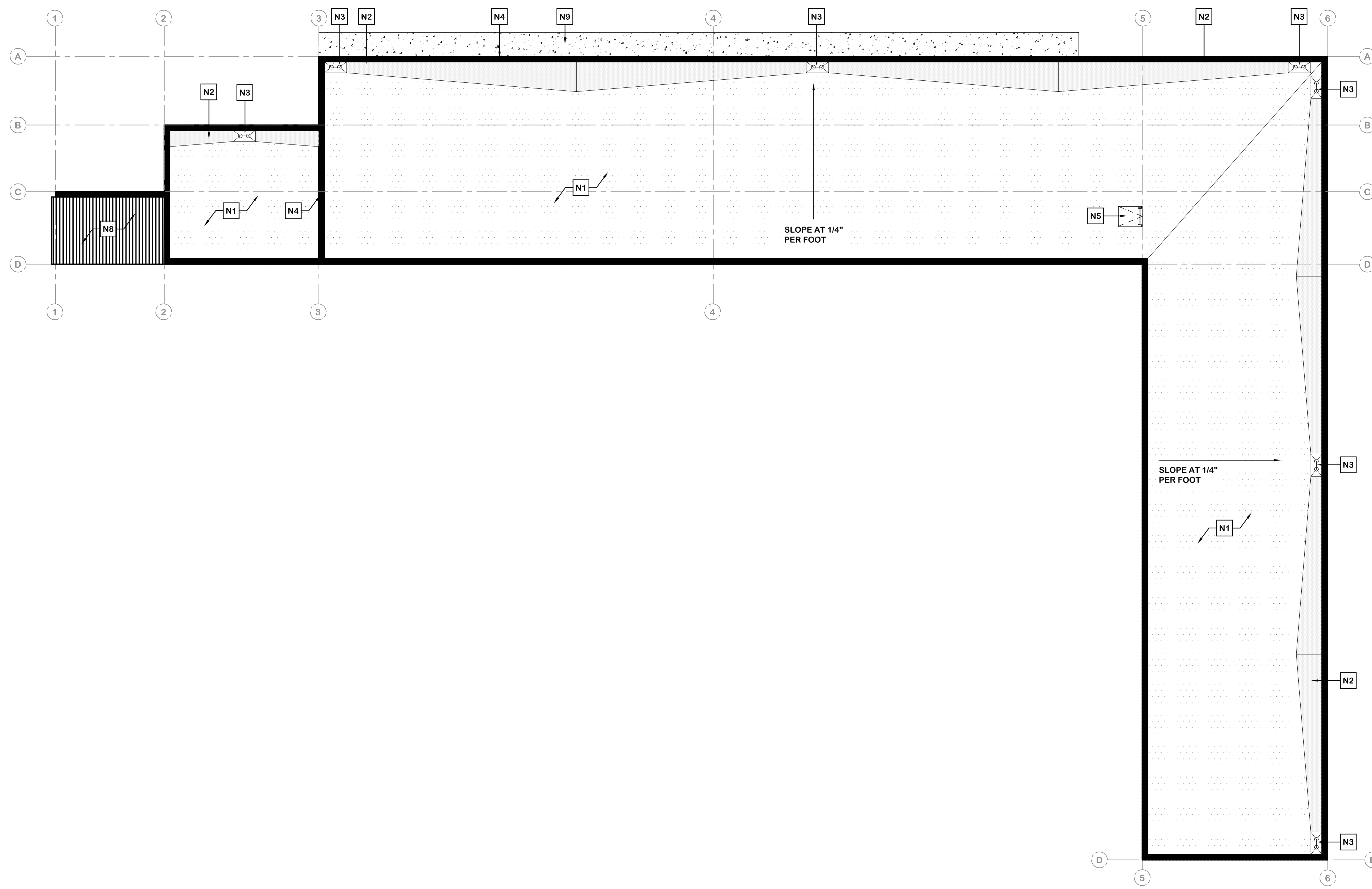
GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
2. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
3. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
4. ADJUST PARTITION THICKNESS AND CAVITY FOR INCLUSION OF INTERNAL ELEMENTS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC.
5. FINISH GYPSUM DRYWALL COMPLETELY TO WITHIN 1/4" OF FLOOR TO ENSURE A SOLID WALL BASE INSTALLATION.
6. AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. WHERE NEW PAINT OR OTHER NEW FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEW AND FINISHED APPEARANCE.
7. WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CEMENTITIOUS FILLER FLOATED TO A FEATHER EDGE. MIX AND APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.



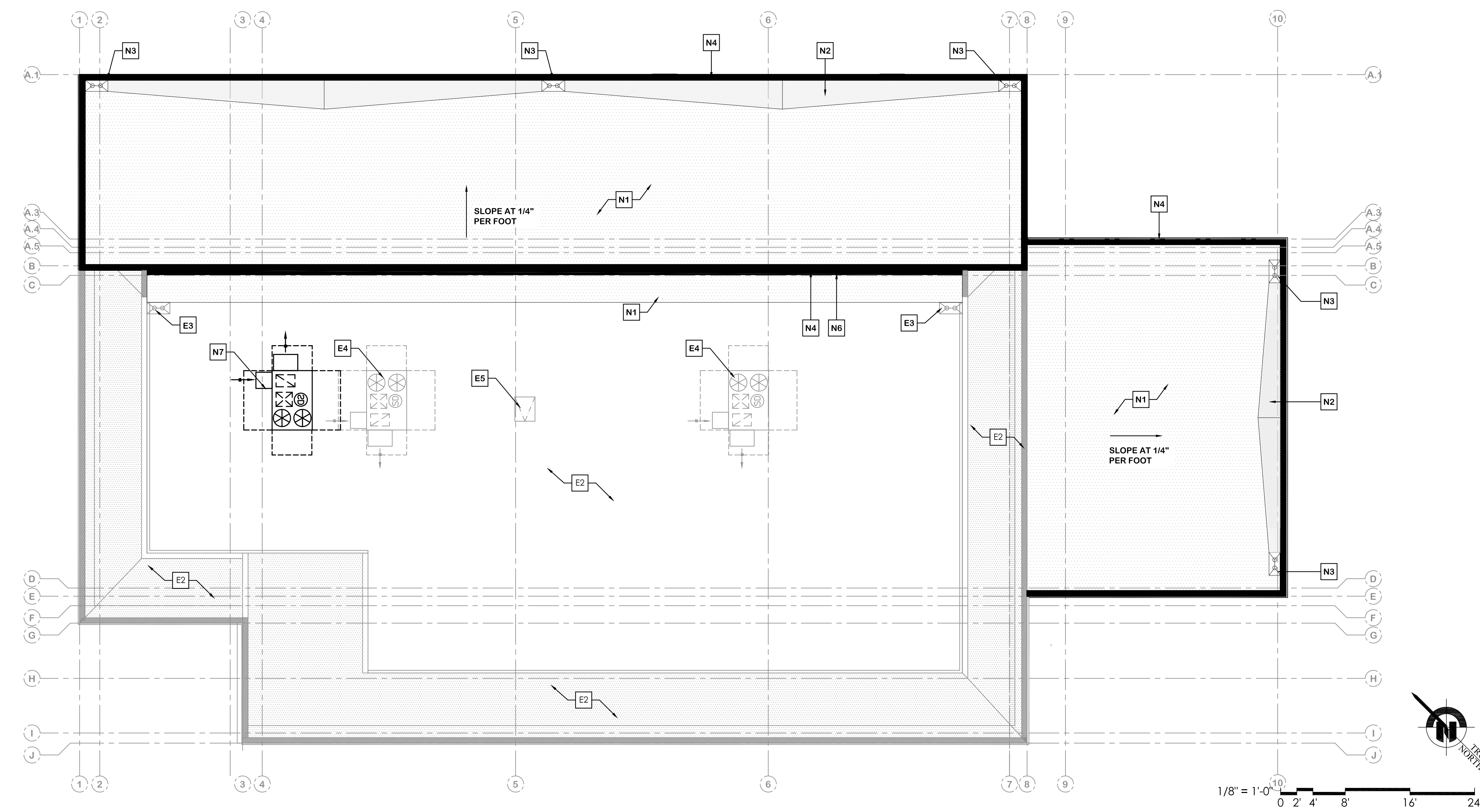
1/8" = 1'-0"
 0 2' 4' 8' 16' 24'

DEMO SHOWROOM ROOF PLAN



1/8" = 1'-0"

PROPOSED SERVICE GARAGE ROOF PLAN 6

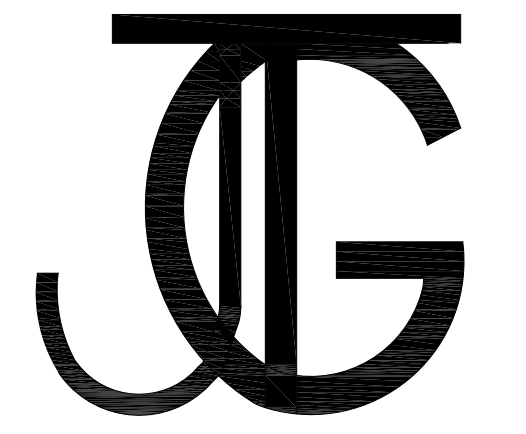


1/8" = 1'-0"

PROPOSED SHOWROOM ROOF PLAN 8

KEYNOTES

- E1 (E) MANSARD ROOF WITH CLAY TILES
- E2 (E) FLAT ROOF WITH BUILT UP ROOFING
- E3 (E) ROOF DRAIN
- E4 (E) ROOF TOP UNIT
- E5 (E) ROOF ACCESS HATCH
- N1 (N) TPO ROOF MEMBRANE, SEE DETAIL 9/A8.2
- N2 (N) CRICKETS, SLOPE AT 1/4" TO (N) ROOF DRAIN LOCATIONS
- N3 (N) 4" ROOF & OVERFLOW DRAIN, SEE DETAIL 10/A8.2
- N4 (N) PARAPET
- N5 (N) ROOF ACCESS LADDER & HATCH
- N6 (N) SEISMIC ROOF JOINT COVERING
- N7 (N) RTU
- N8 (N) STANDING SEAM METAL ROOF
- N9 (N) CONCRETE VALLEY GUTTER, S.C.D.



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	03.09.23	PLANNING SUBMITTAL
	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

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APPROVAL STAMP



SHOWROOM & SERVICE GARAGE ROOF PLAN

DATE: 06.1.21 SCALE: 1/8" = 1'-0"
 DRAWN BY: JTG PROJECT NUMBER: 21001-1

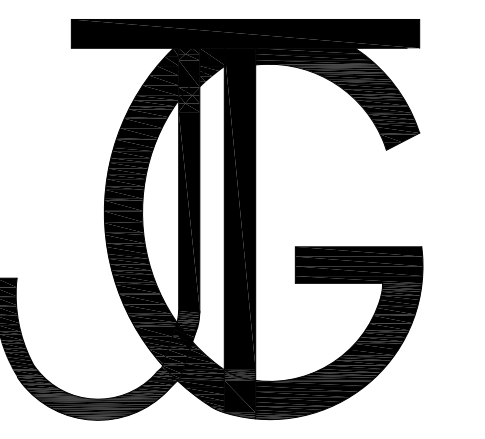
GENERAL NOTES

1. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO CONSTRUCTION.
2. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
3. "SIMILAR" SHALL MEAN COMPARABLE CHARACTERISTICS FOR THE CONDITION NOTED. VERIFY DIMENSIONS AND ORIENTATION ON PLANS AND ELEVATIONS.
4. ADJUST PARTITION THICKNESS AND CAVITY FOR INCLUSION OF INTERNAL ELEMENTS, SUCH AS PLUMBING, AND FOR CORRECT INSTALLATION OF FIXTURES, PANELS, BOXES, ETC.
5. FINISH GYPSUM DRYWALL COMPLETELY TO WITHIN 1/4" OF FLOOR TO ENSURE A SOLID WALL BASE INSTALLATION.
6. AT ALTERED CONSTRUCTION, REPAIR CUT EDGES, REPLACE CONSTRUCTION AND FIT NEW TO EXISTING CONSTRUCTION AS REQUIRED TO MATCH EXISTING WORK. WHERE NEW PAINT OR OTHER NEW FINISHES ARE JOINED, CARRY TO NEAREST BREAK IN SURFACES, CORNER, OR OTHER BREAK IN CONSTRUCTION AS REQUIRED FOR NEW AND FINISHED APPEARANCE.
7. WHERE CONCRETE FLOORS REQUIRE LEVELING, PROVIDE SELF LEVELING CEMENTITIOUS FILLER FLOATED TO A FEATHER EDGE. MIX AND APPLY IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

A4.2

KEY NOTES

- E1 (E) ROOF FRAMING TO REMAIN
- E2 (E) ROOFING MEMBRANE TO REMAIN
- E3 (E) EXTERIOR FINISH TO REMAIN
- E4 (E) FOUNDATION TO REMAIN
- E5 (E) RETAINING WALL TO REMAIN
- E6 (E) AC PAVING TO REMAIN
- E7 (E) CONCRETE FLOOR SLAB TO REMAIN
- N1 (N) ROOF FRAMING, S.S.D.
- N2 (N) TPO ROOFING, SEE DETAIL XA8.2
- N3 (N) EXPANSION JOINT, SEE DETAIL XA8.2
- N4 (N) ACM PANEL, SEE ELEVATIONS FOR ADDITIONAL INFORMATION
- N5 (N) STUCCO FINISH
- N6 (N) RETAINING WALL, S.S.D
- N7 (N) CONCRETE WALKWAY/LANDING
- N8 (N) AC PAVING AS REQUIRED FOR NEW CONSTRUCTION
- N9 (N) EXTERIOR WALL, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N10 (N) INTERIOR WALL FURRING, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N11 (N) EXTERIOR STOREFRONT, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N12 (N) SUSPENDED CEILING GRID SYSTEM, SEE RCP FOR ADDITIONAL INFORMATION
- N13 (N) CONCRETE CURB OVER EXISTING CONCRETE SLAB



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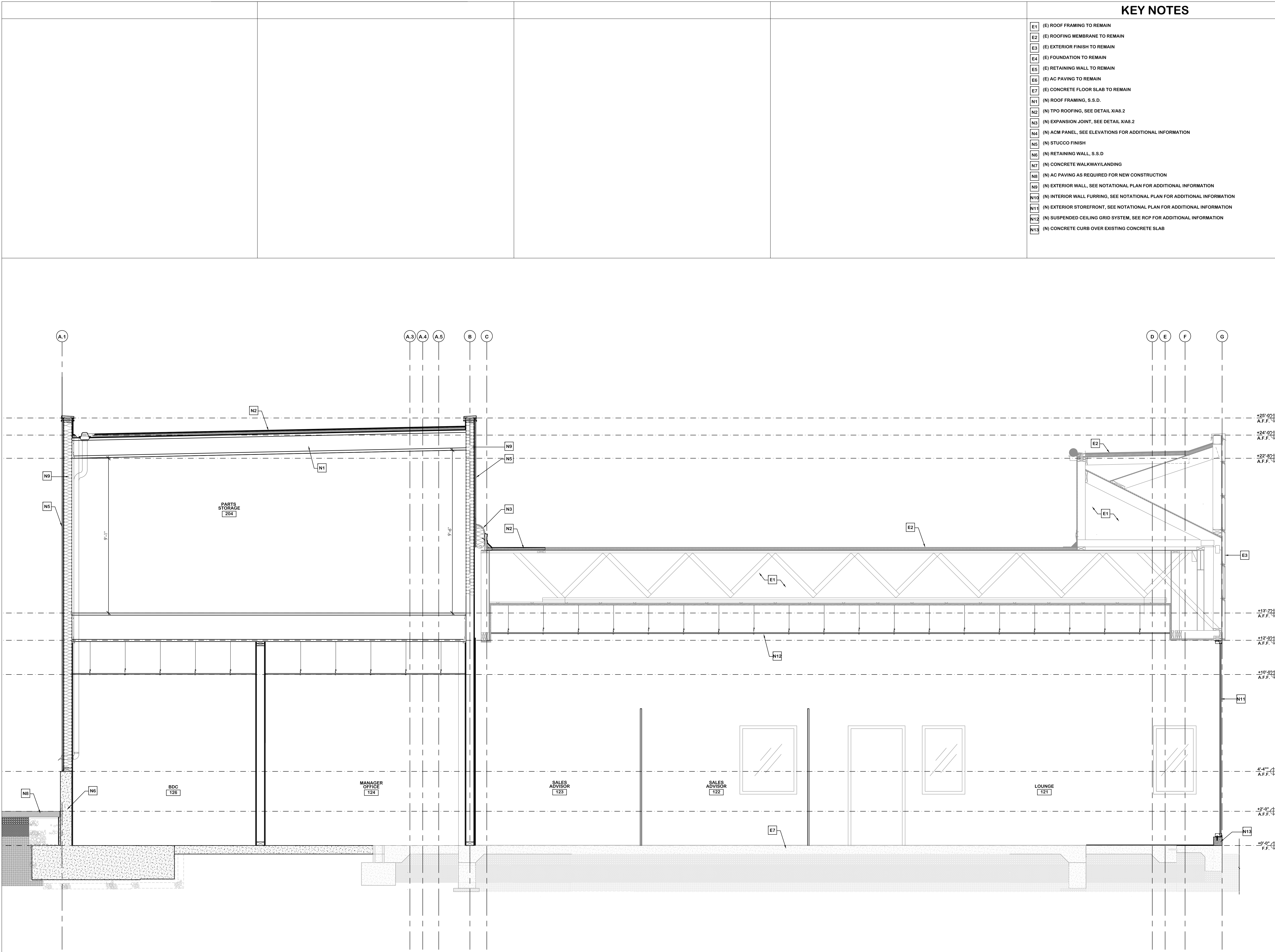
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WALL SECTIONS

DATE: 06.1.21 SCALE: 1/2" = 1'-0"
 DRAWN BY: JTG PROJECT NUMBER: 21001-1

A5.1

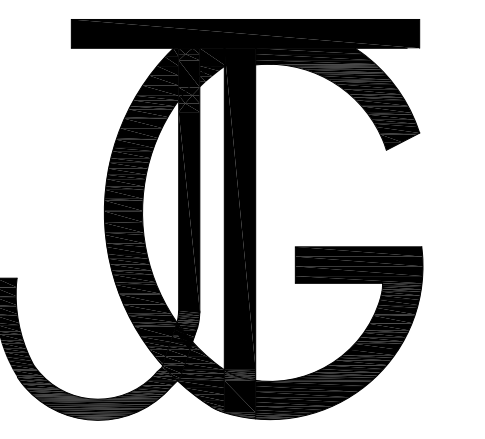


1/2" = 1'-0"

(E) SERVICE CANOPY
 LONGITUDINAL SECTION 4

KEY NOTES

- E1 (E) ROOF FRAMING TO REMAIN
- E2 (E) ROOFING MEMBRANE TO REMAIN
- E3 (E) EXTERIOR FINISH TO REMAIN
- E4 (E) FOUNDATION TO REMAIN
- E5 (E) RETAINING WALL TO REMAIN
- E6 (E) AC PAVING TO REMAIN
- E7 (E) CONCRETE FLOOR SLAB TO REMAIN
- N1 (N) ROOF FRAMING, S.S.D.
- N2 (N) TPO ROOFING, SEE DETAIL X/A8.2
- N3 (N) EXPANSION JOINT, SEE DETAIL X/A8.2
- N4 (N) ACM PANEL, SEE ELEVATIONS FOR ADDITIONAL INFORMATION
- N5 (N) STUCCO FINISH
- N6 (N) RETAINING WALL, S.S.D
- N7 (N) CONCRETE WALKWAY/LANDING
- N8 (N) AC PAVING AS REQUIRED FOR NEW CONSTRUCTION
- N9 (N) EXTERIOR WALL, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N10 (N) INTERIOR WALL FURRING, SEE NOTATIONAL PLAN WALL TYPE 4 FOR ADDITIONAL INFORMATION
- N11 (N) EXTERIOR STOREFRONT, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N12 (N) SUSPENDED CEILING GRID SYSTEM, SEE RCP FOR ADDITIONAL INFORMATION
- N13 (N) CONCRETE CURB OVER EXISTING CONCRETE SLAB



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	06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043

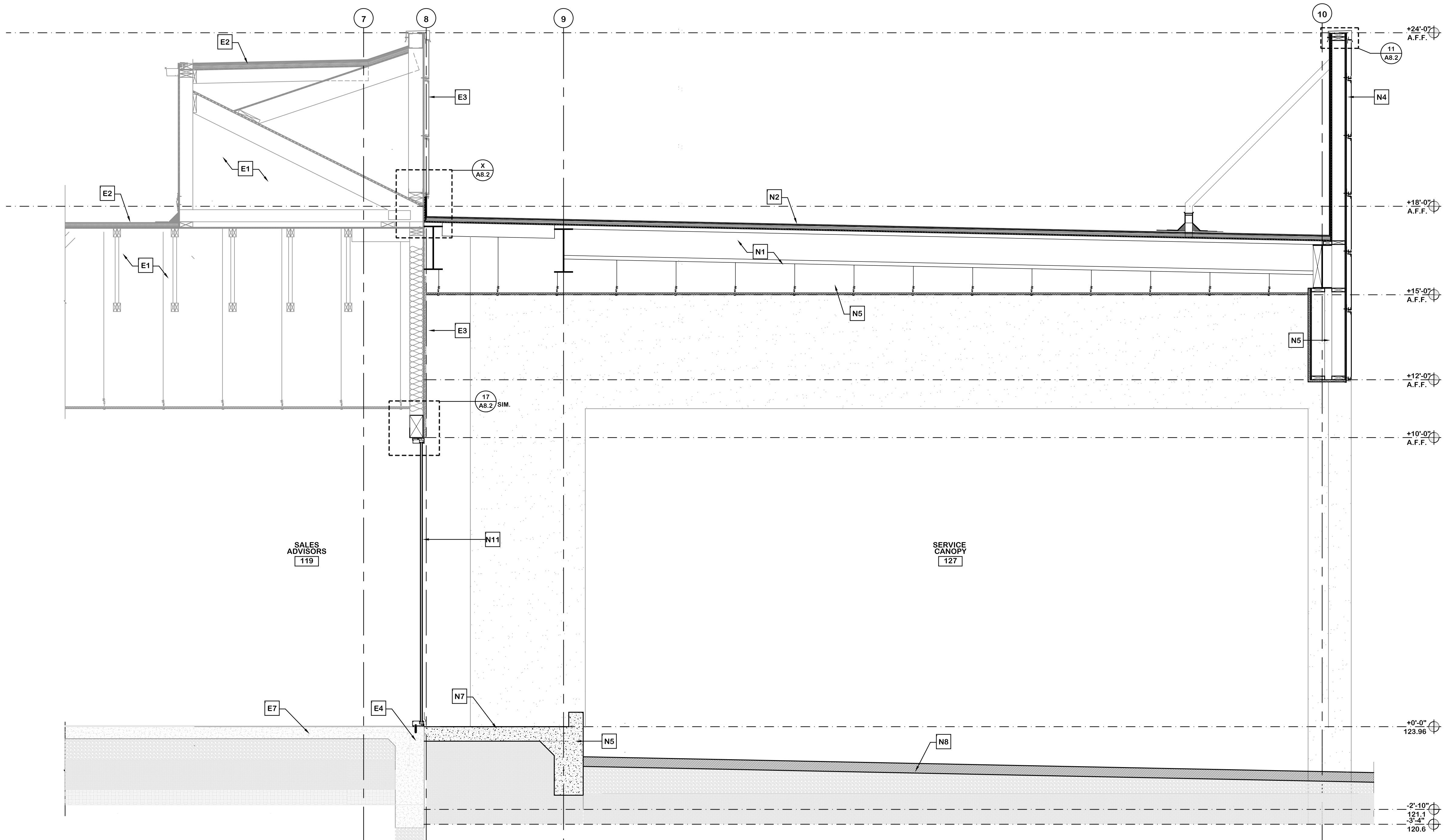
APPROVAL STAMP



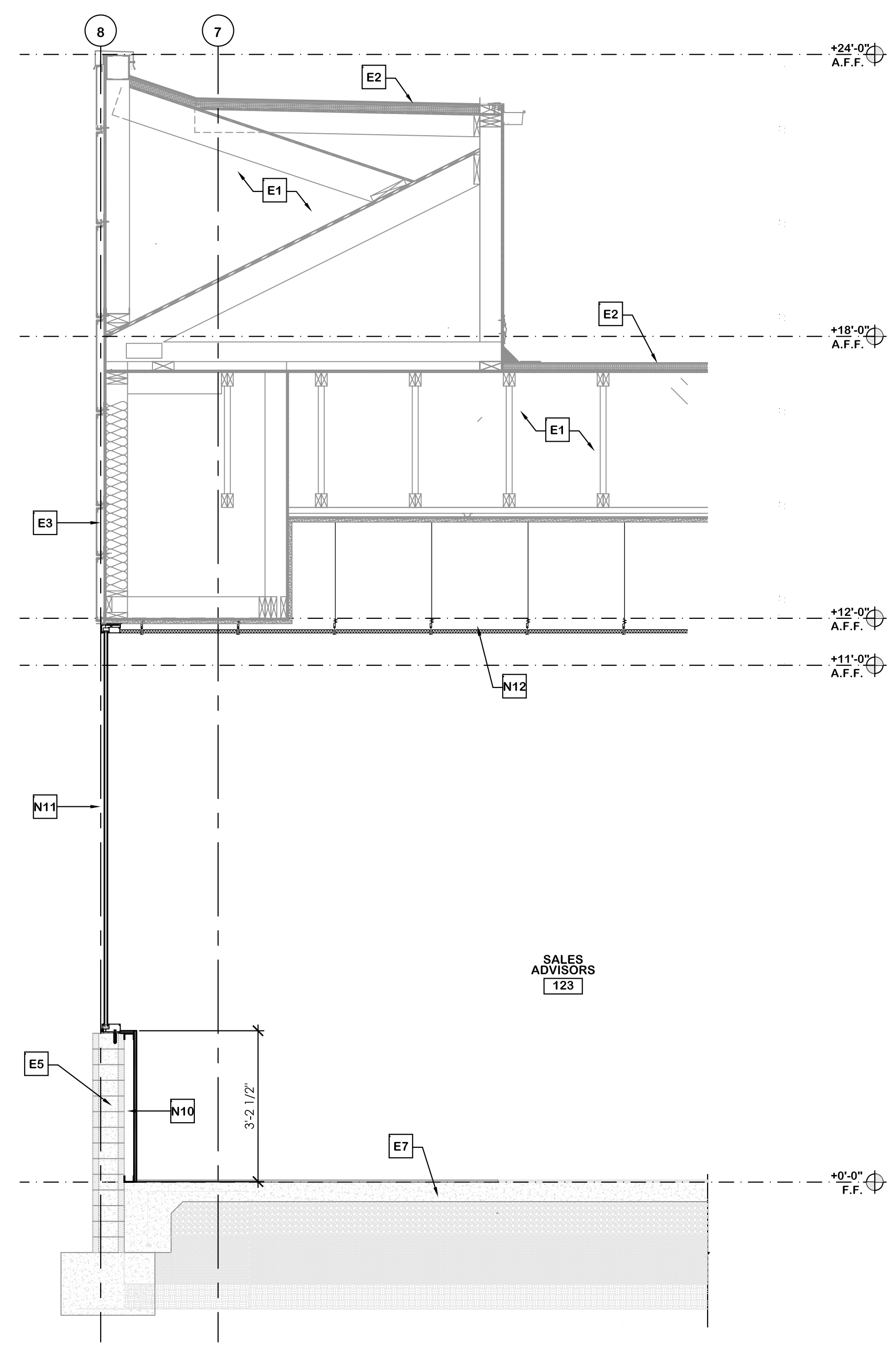
WALL SECTIONS

DATE: 06.1.21 SCALE: 1/2" = 1'-0"
 DRAWN BY: JTG PROJECT NUMBER: 21001-1

A5.2



(N) SERVICE CANOPY CROSS SECTION 8



(E) SERVICE CANOPY CROSS SECTION 4

1/2" = 1'-0"

1/2" = 1'-0"

KEY NOTES

- N1 (N) ROOF FRAMING, S.S.D.
- N2 (N) TPO ROOFING, SEE DETAIL X/A8.2
- N3 (N) ROOF SCREEN, S.S.D.
- N4 (N) RTU, S.M.D
- N5 (N) ACM PANEL, SEE ELEVATIONS FOR ADDITIONAL INFORMATION
- N6 (N) STUCCO FINISH
- N7 (N) ROOF DRAIN, SEE DETAIL X/A8.2
- N8 (N) WALL ROOF DRAIN & OVERFLOW WITH ESCUTCHEON
- N9 (N) EXTERIOR WALL, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N10 (N) CONCRETE FLOOR SLAB, S.S.D
- N11 NOT USED
- N12 (N) CORRUGATED METAL ROOF, SEE DETAIL X/A8.2
- N13 NOT USED
- N14 (N) EXTERIOR DOOR, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N15 (N) EXTERIOR ROLL-UP DOOR, SEE NOTATIONAL PLAN FOR ADDITIONAL INFORMATION
- N16 NOT USED
- N17 (N) TRASH ENCLOSURE SWING DOOR
- N18 (N) AC PAVING
- N19 (E) RETAINING WALL
- N20 (E) CONCRETE VALLEY GUTTER



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 600 SERRAMONTE BLVD
 COLMA, CA 94014

PUBLISHED SETS

REV.	DATE	DESCRIPTION
△	02.14.22	RESUBMITTAL 1
	03.02.22	RESUBMITTAL 2
	03.15.22	RESUBMITTAL 3
	03.21.22	RESUBMITTAL 4
	08.09.22	PLANNING SUBMITTAL
	09.02.22	PLANNING RE-SUBMITTAL
	09.12.22	BUILDING SUBMITTAL
	03.09.23	PLANNING SUBMITTAL
	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043

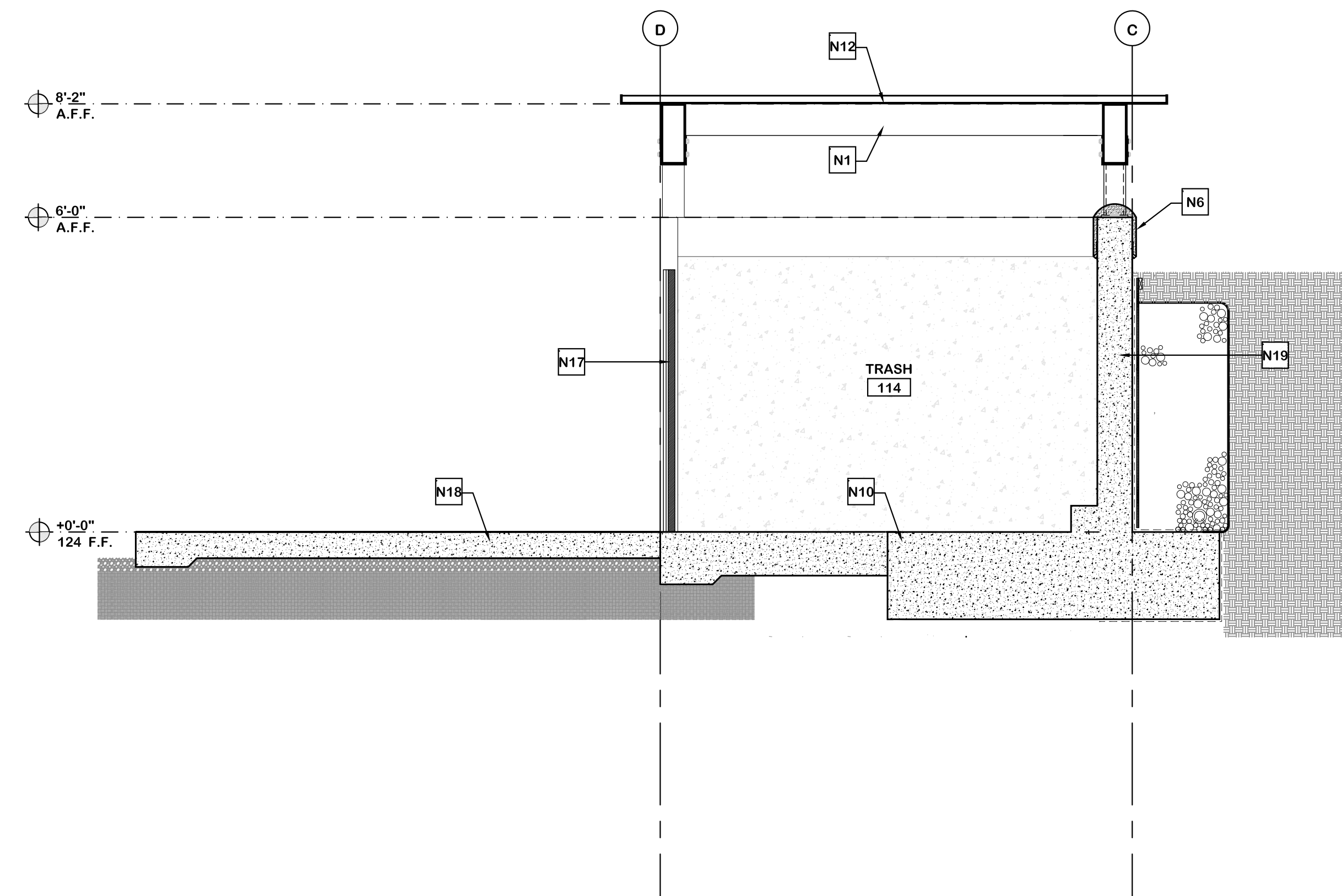
APPROVAL STAMP



SERVICE GARAGE SECTIONS

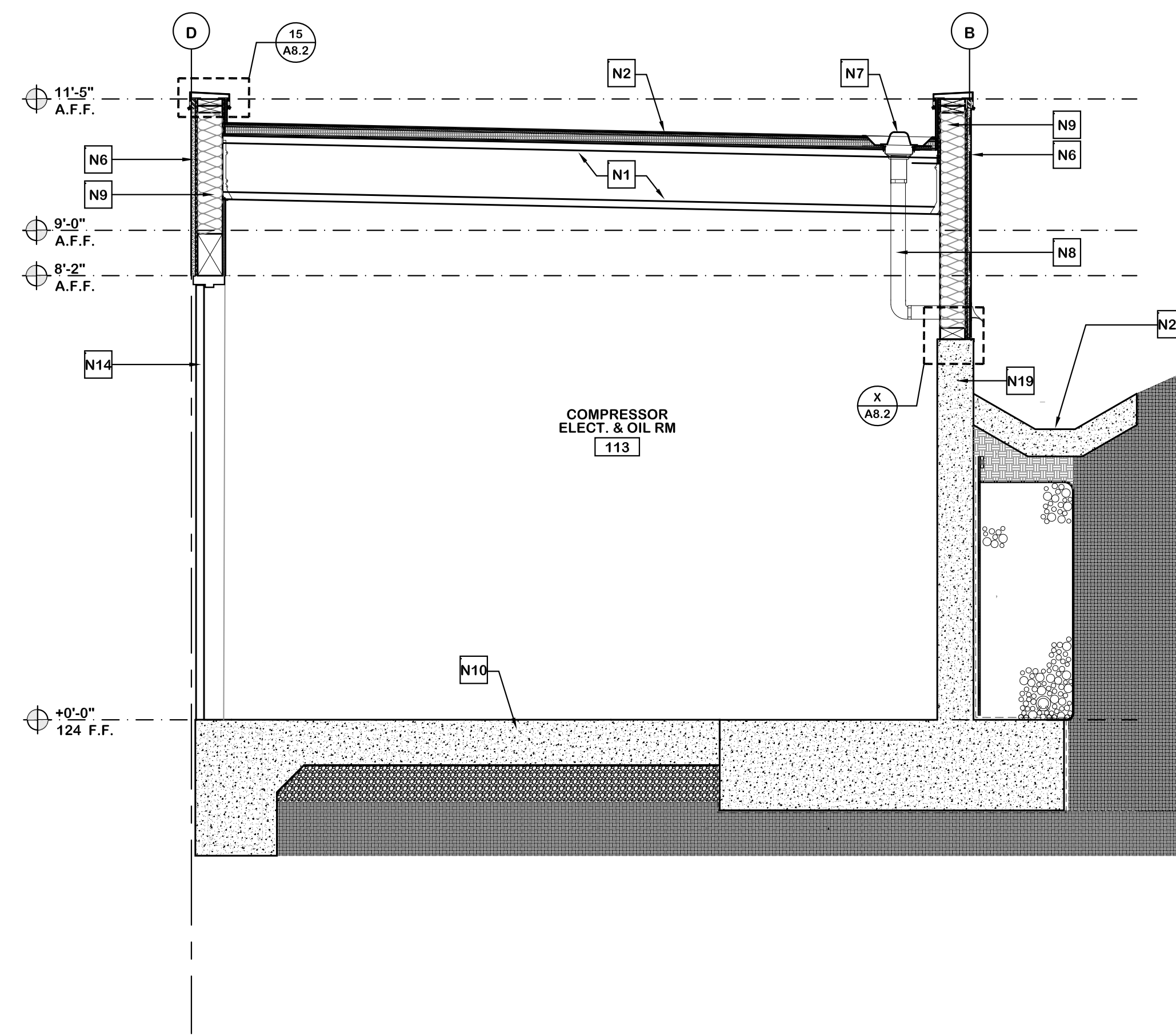
DATE: 06.1.21 SCALE: 1/2" = 1'-0"
 DRAWN BY: JTG PROJECT NUMBER: 21001-1

A5.3



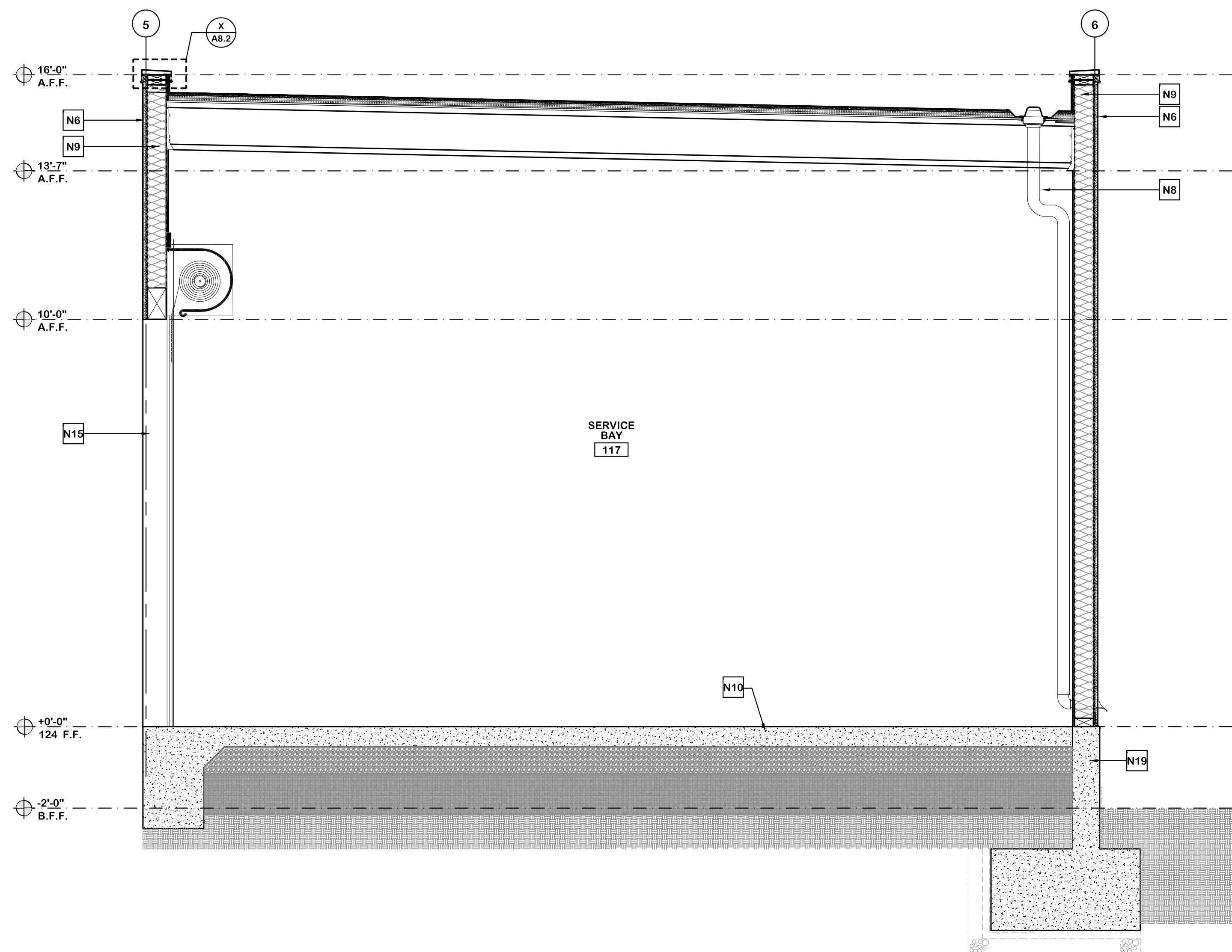
SERVICE GARAGE - TRASH ENCLOSURE CROSS SECTION 10

1/2" = 1'-0"



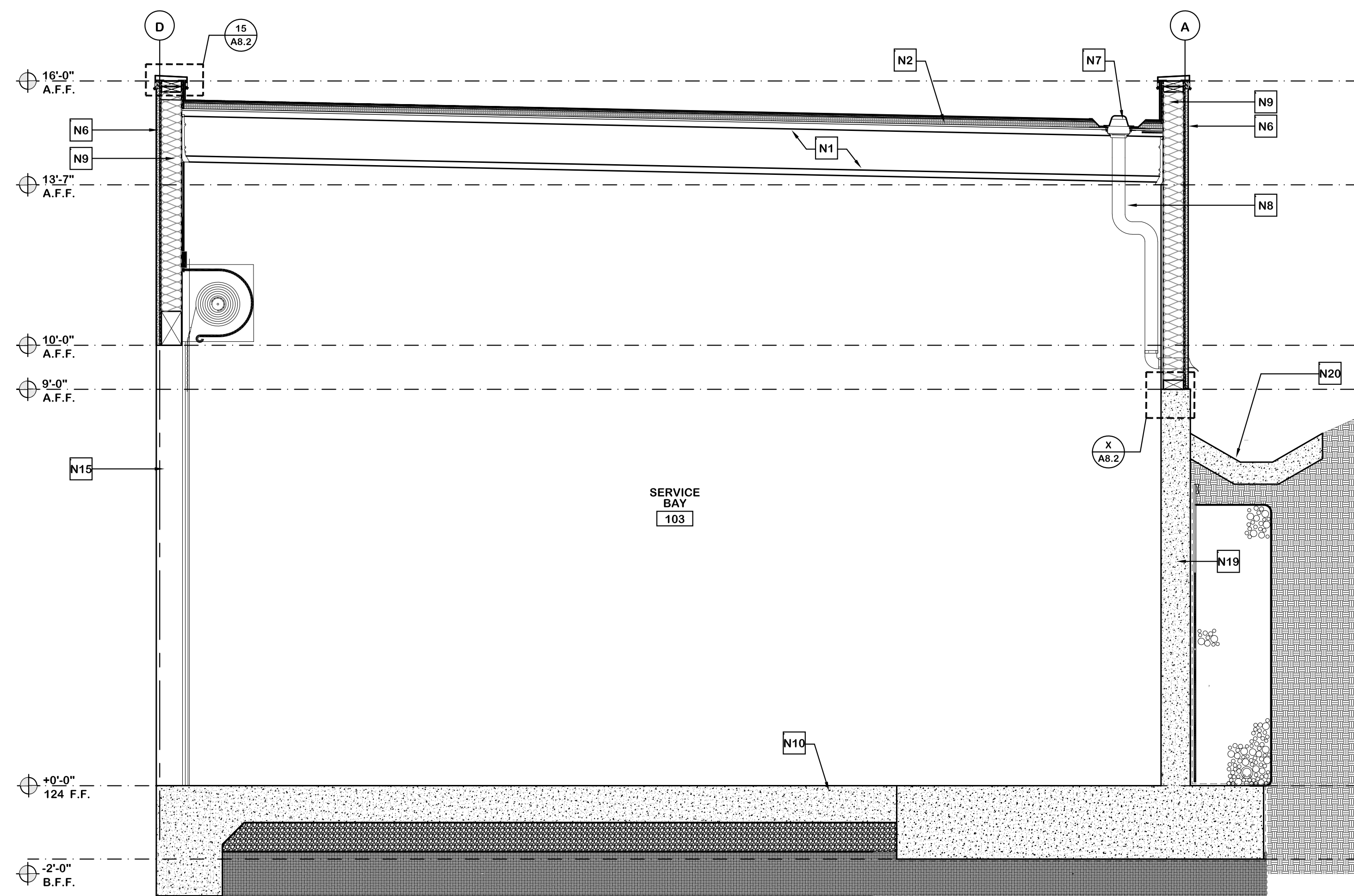
SERVICE GARAGE - COMPRESSOR ROOM CROSS SECTION 6

1/2" = 1'-0"



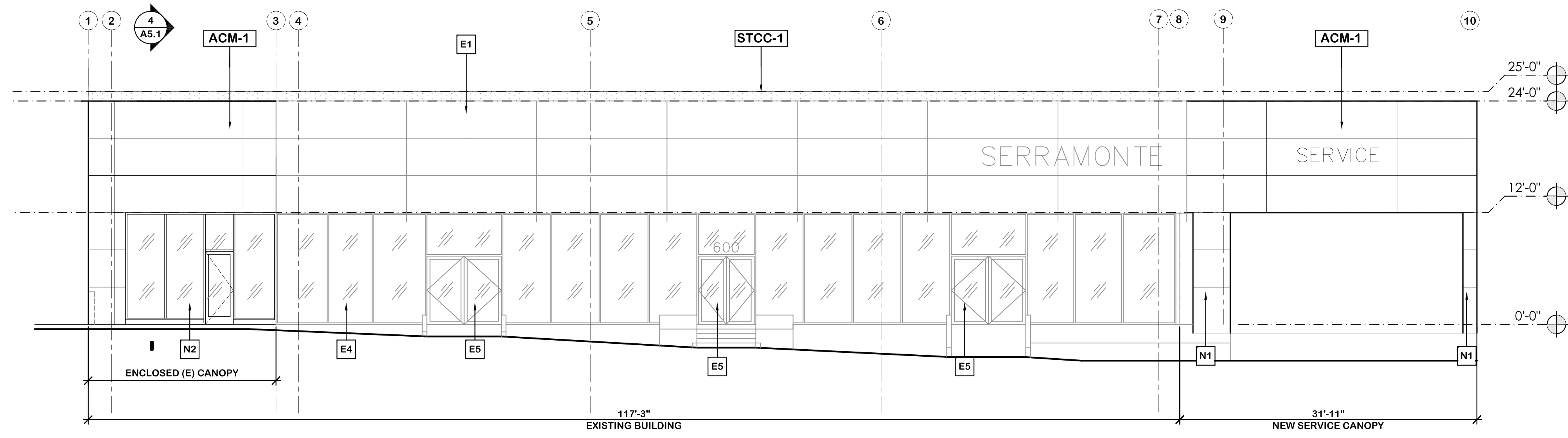
SERVICE GARAGE CROSS SECTION 12

1/2" = 1'-0"



SERVICE GARAGE CROSS SECTION 8

1/2" = 1'-0"



SCALE: 1/8"=1'-0"

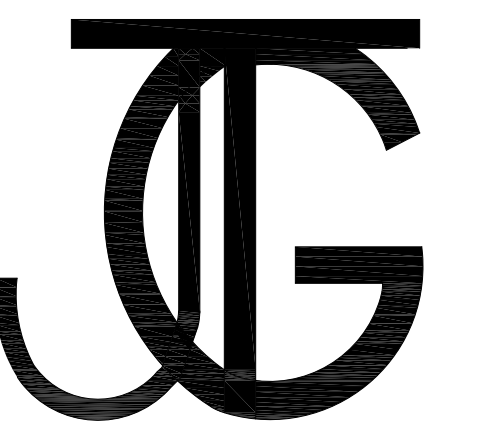
SHOWROOM ELEVATION FRONT (SOUTH) ELEVATION 5

KEYNOTE

- E1 (E) METAL PANEL FINISH TO REMAIN
- E2 (E) MANSARD ROOF WITH CLAY TILES
- E3 (E) STUCCO FINISHED EXTERIOR WALL/SOFFIT
- E4 (E) WINDOW
- E5 (E) DOOR
- N1 (N) ACM PANEL, SEE FINISH SCHEDULE
- N2 (N) STOREFRONT WINDOW AND OR DOOR
- N3 (N) MTL FRAMED ENCLOSURE GATES
- N4 (N) 4X4 TS ABOVE CMU WALL
- N5 (N) 6" ROOF STRUCTURE TO SLOPE AT 12.5%
- N6 (N) HOLLOW METAL DOOR
- N7 (N) ROLL UP DOOR
- N8 (N) DOOR LANDING - 2% MAX SLOPE
- N9 (N) WALKWAY - 5% MAX SLOPE
- N10 (N) SLOPED DRIVE

FINISH SCHEDULE

- ACM-1 ALUMINUM COMPOSITE METAL, ALPOLIC T08 BLACK
- STCC-1 STUCCO FINISH, DRYVIT, CCP 2, DEMANDIT DEMANDIT AVANTAGE, CUSTOM COLOR: BENJAMIN MOORE CONVENTRY GRAY
- CW-1 STOREFRONT SYSTEM - CRL US ALUMINUM, FRONT LOADED CURTAIN WALL, SERIES 2100, CLEAR ANODIZED
- GLZ-1 GLAZING - SOLARBAN 90 (2) CLEAR + CLEAR
- MTL-1 ASC BUILDING PRODUCTS, METAL ROOF, DELTA RIB III, OLD TOWN GRAY



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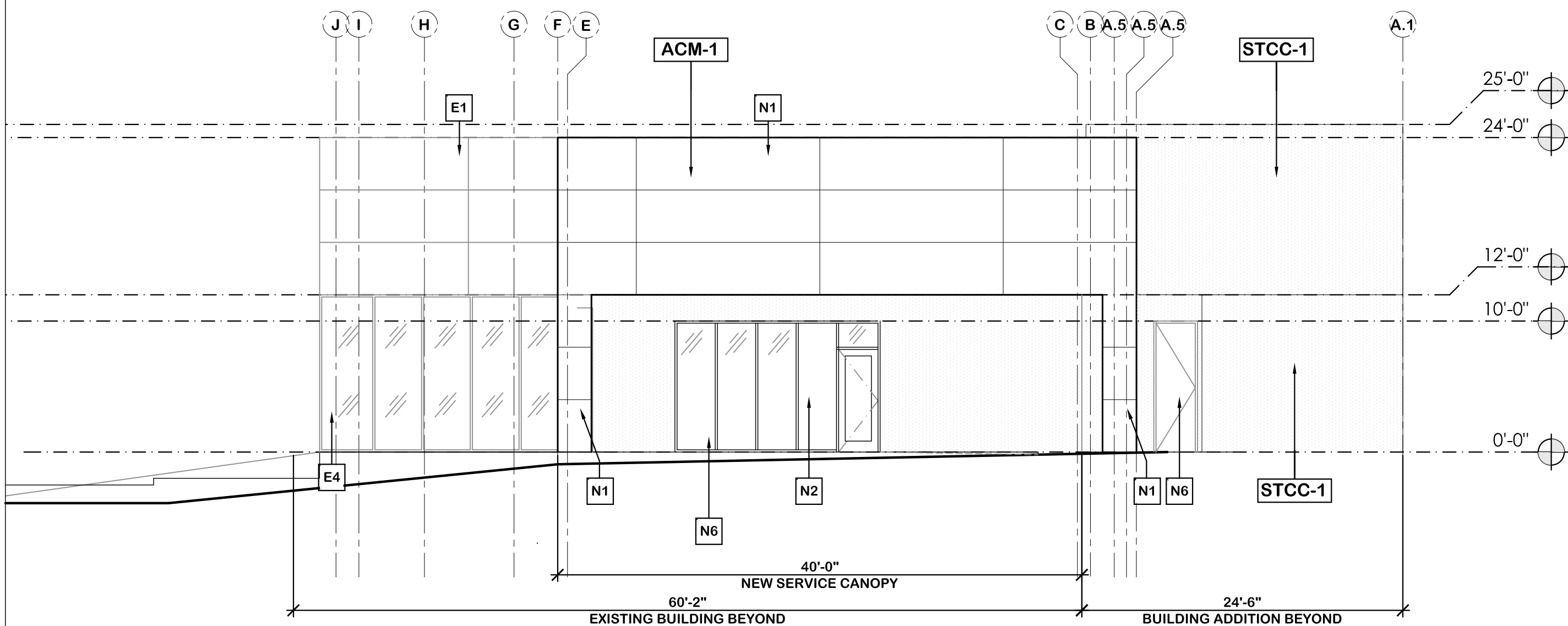
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	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

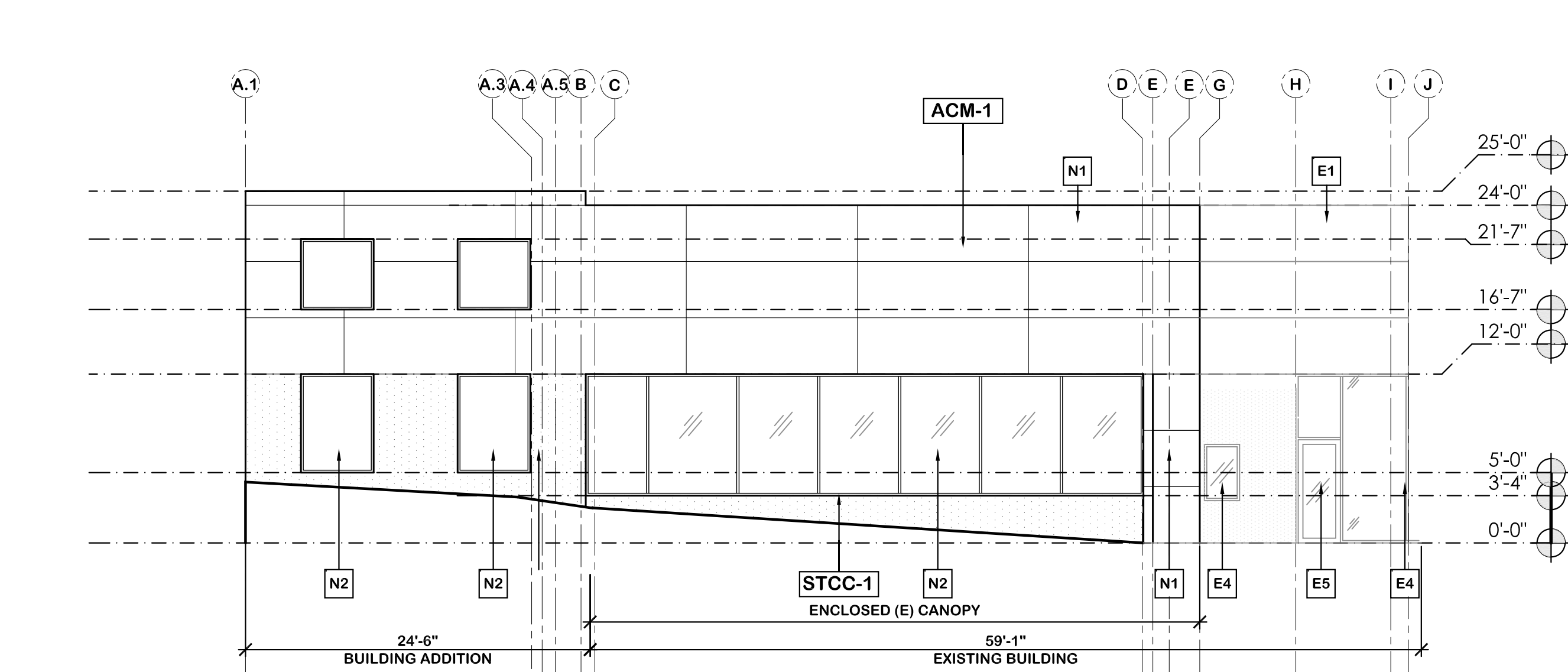
PL2023-005 & B2023-0043

APPROVAL STAMP



SCALE: 1/8"=1'-0"

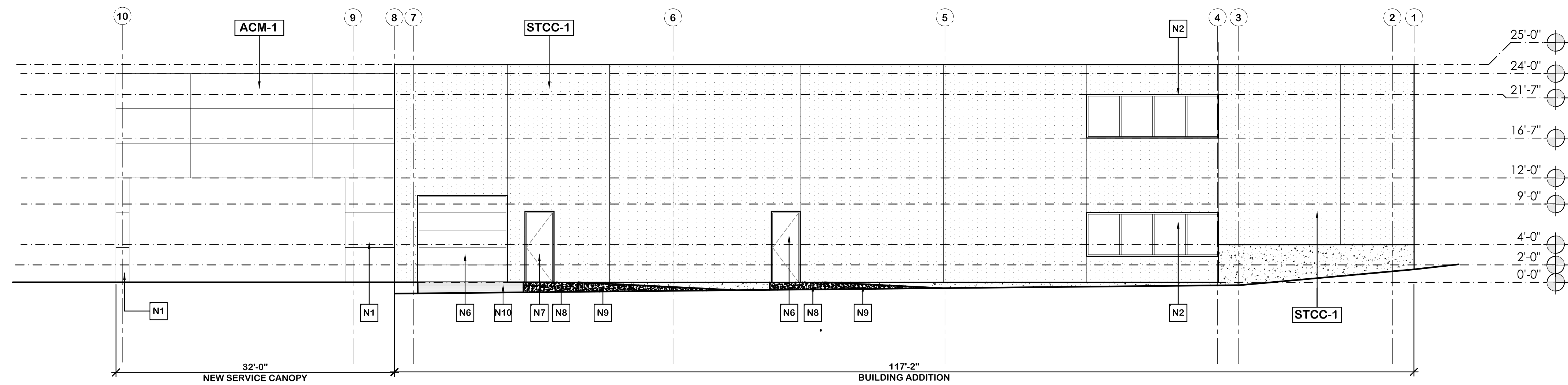
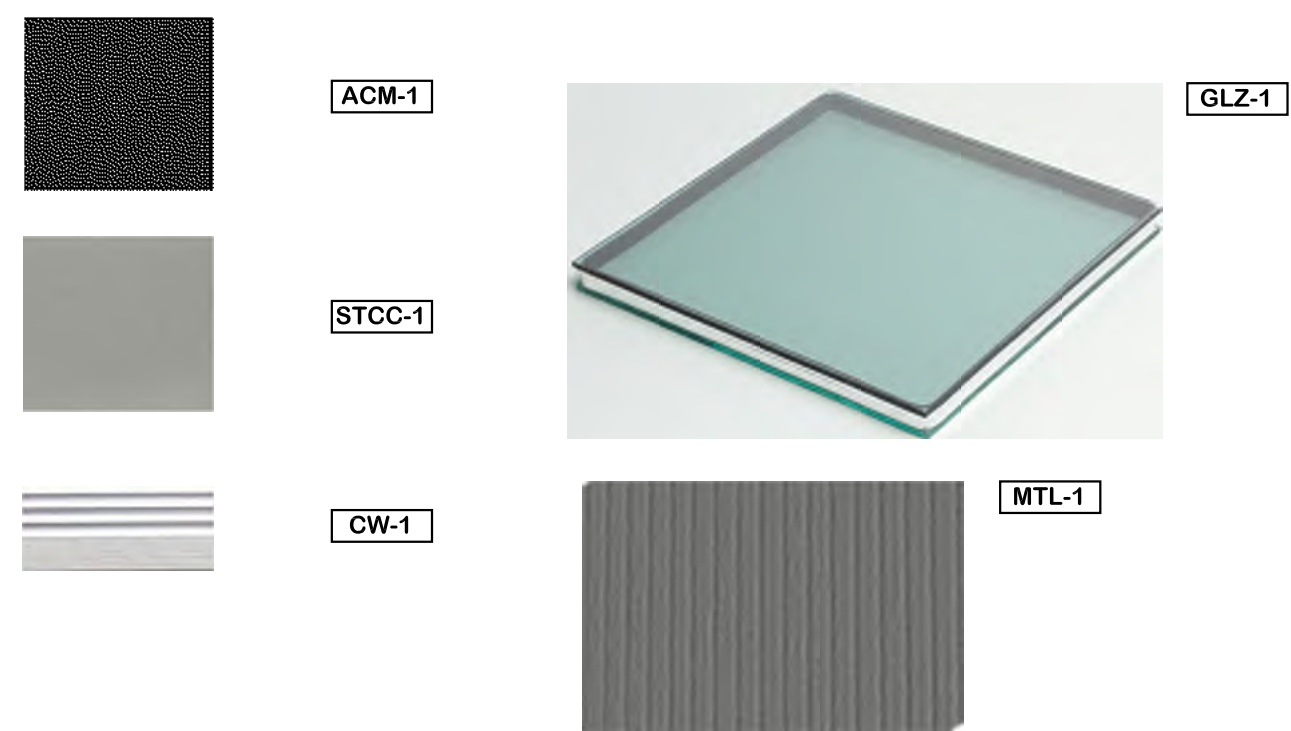
SHOWROOM ELEVATION SIDE (WEST) ELEVATION 14



SCALE: 1/8"=1'-0"

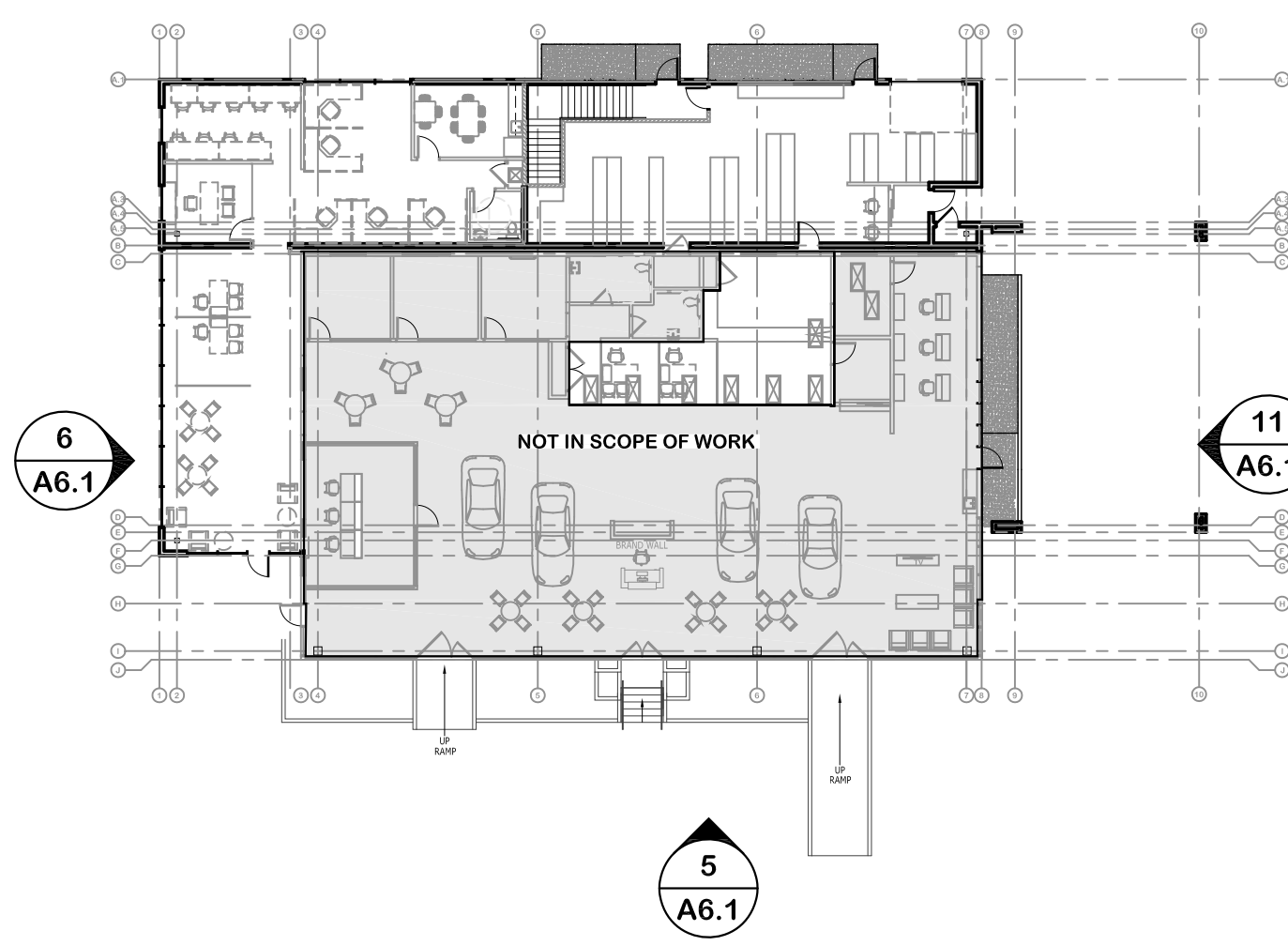
SHOWROOM ELEVATION SIDE (EAST) ELEVATION 6

FINISH MATERIALS



SCALE: 1/8"=1'-0"

SHOWROOM ELEVATION REAR (NORTH) ELEVATION 7



8 NTS

SHOWROOM FLOOR PLAN FOR REFERENCE ONLY 4



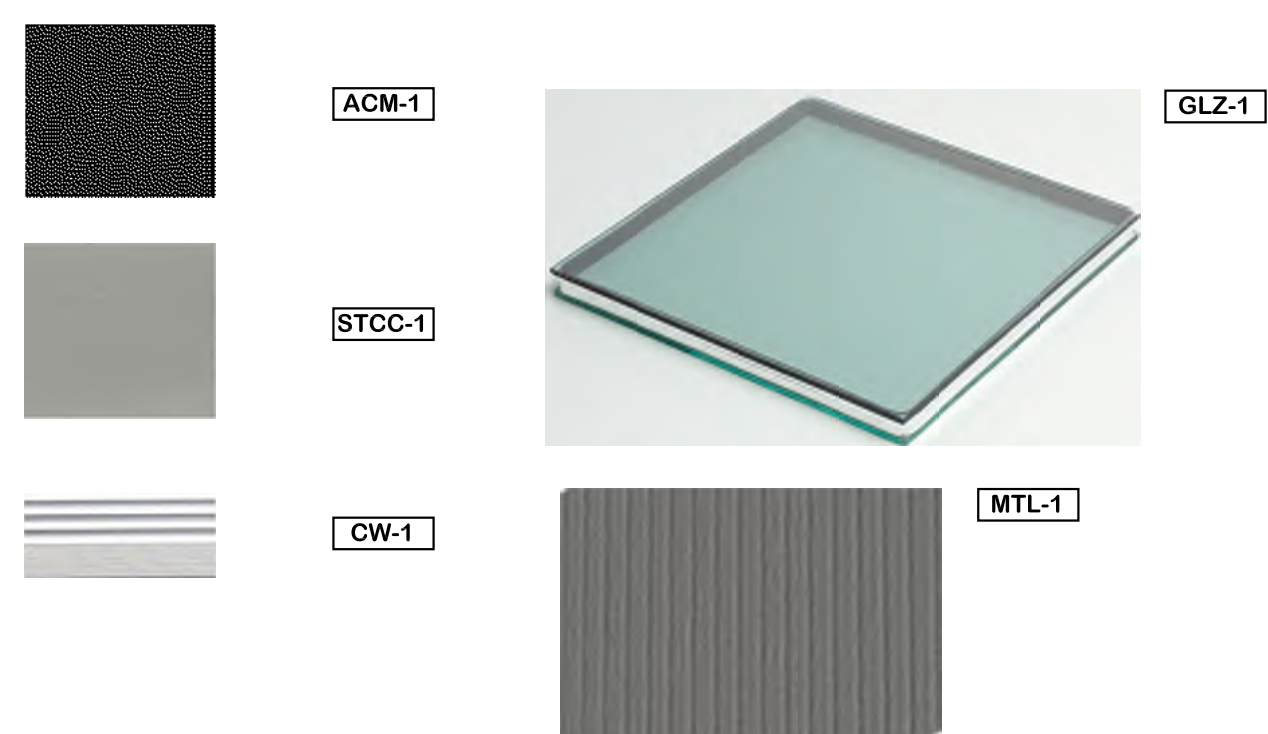
EXTERIOR ELEVATION

DATE: 06.1.21
DRAWN BY: JTG

SCALE: 1/8" = 1'-0"
PROJECT NUMBER: 21001-1

A6.1

FINISH MATERIALS

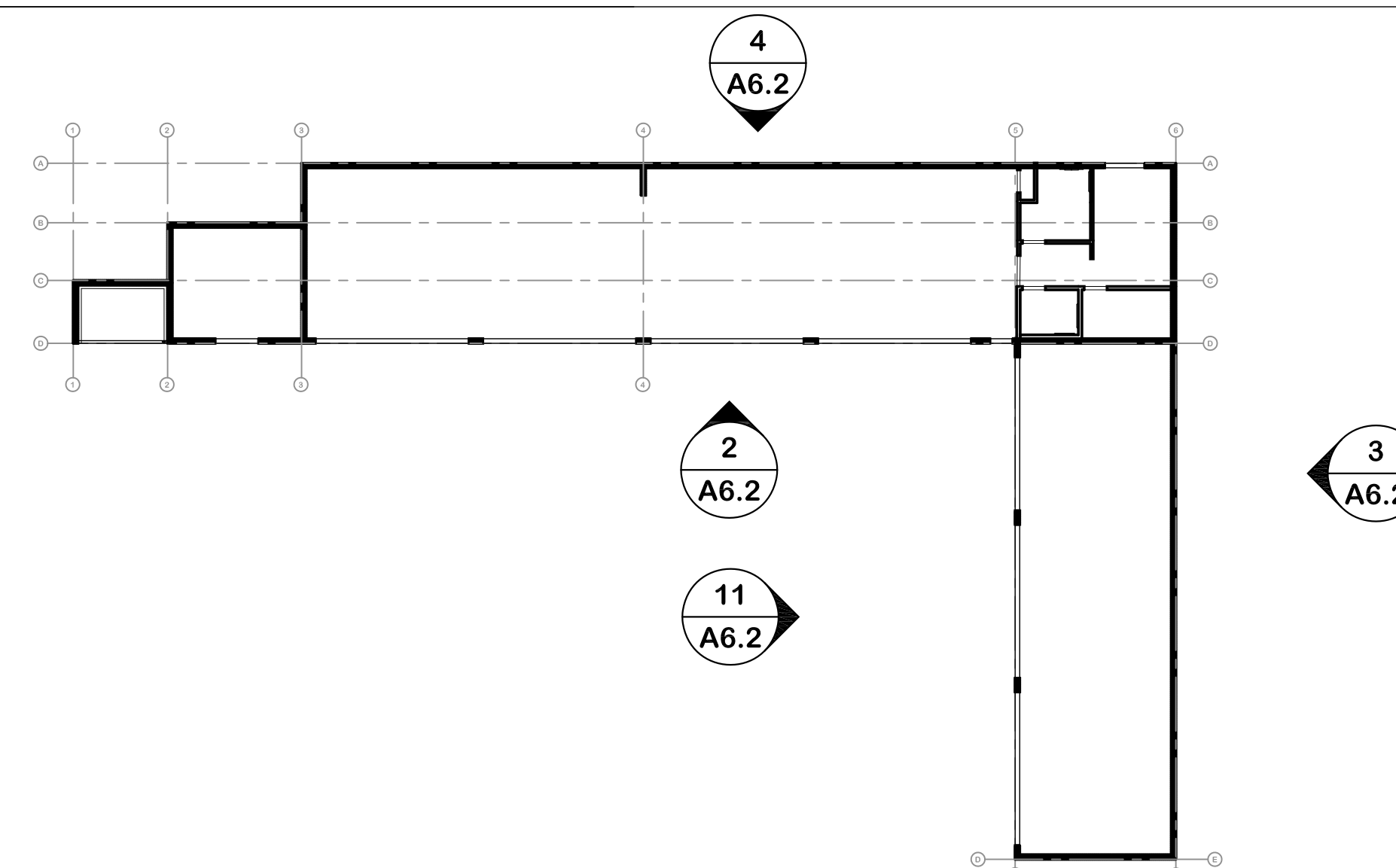


FINISH SCHEDULE

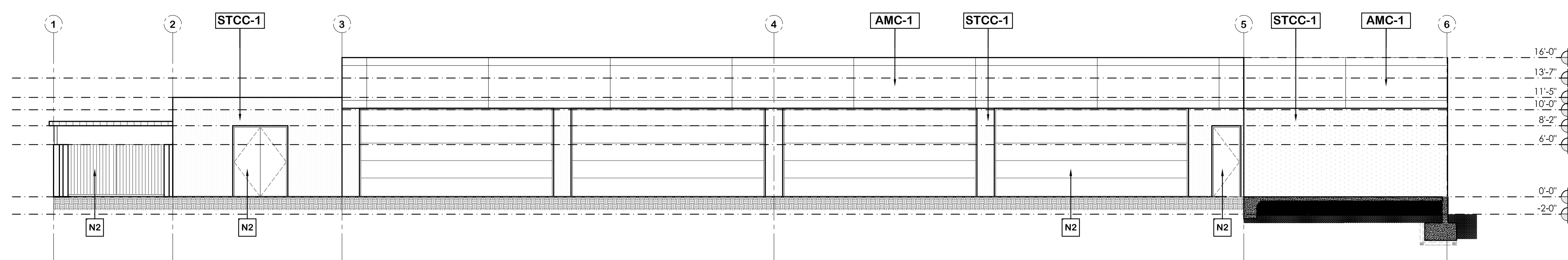
- ACM-1 ALUMINUM COMPOSITE METAL, ALPOLIC TOB BLACK
- STCC-1 STUCCO FINISH, DRYVIT, CCP 2, DEMANDIT DEMANDIT AVANTAGE, CUSTOM COLOR: BENJAMIN MOORE CONVENTRY GRAY
- CW-1 STOREFRONT SYSTEM - CRL US ALUMINUM, FRONT LOADED CURTAIN WALL, SERIES 2100, CLEAR ANODIZED
- GLZ-1 GLAZING - SOLARBAN 90 (2) CLEAR + CLEAR
- MTL-1 ASC BUILDING PRODUCTS, METAL ROOF, DELTA RIB III, OLD TOWN GRAY

KEYNOTE

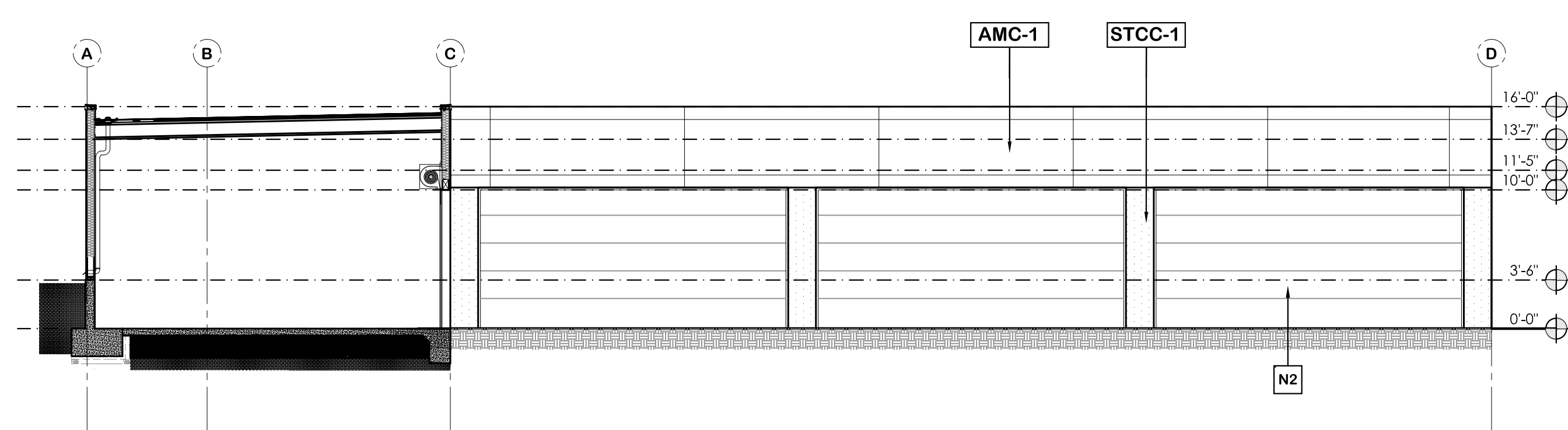
- N1 (N) STUCCO, SEE FINISH SCHEDULE
- N2 (N) WINDOW AND OR DOOR
- N3 (N) RETAINING WALL
- N4 (N) BUILDING BEYOND
- N5 (N) BIO TREATMENT AND RETENTION AREA
- N6 (N) RAIN WATER GUTTER



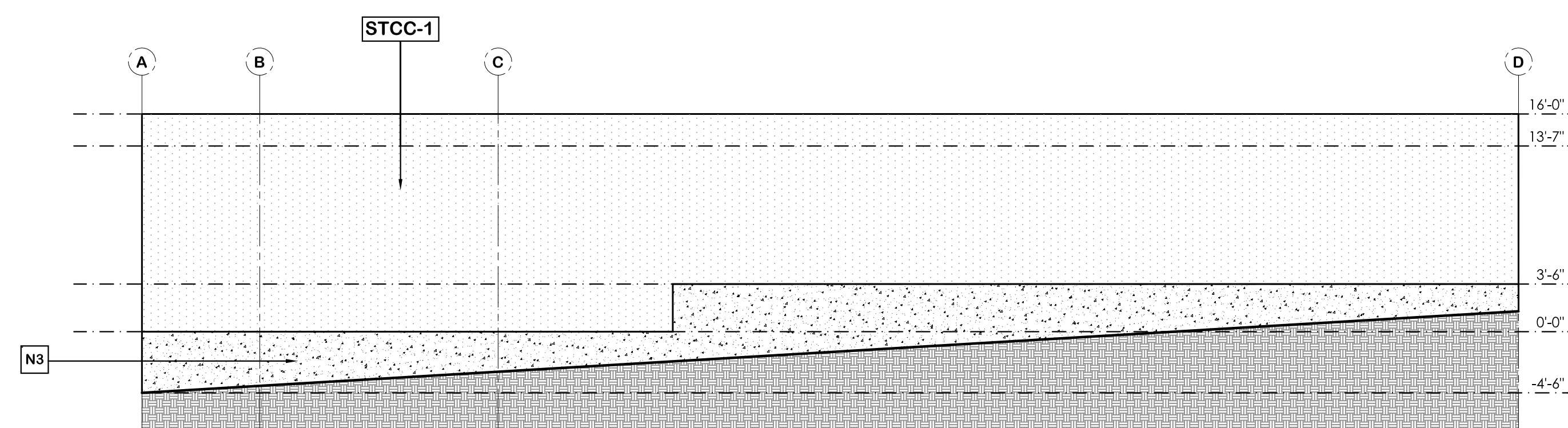
SERVICE GARAGE FLOOR PLAN FOR REFERENCE ONLY 1



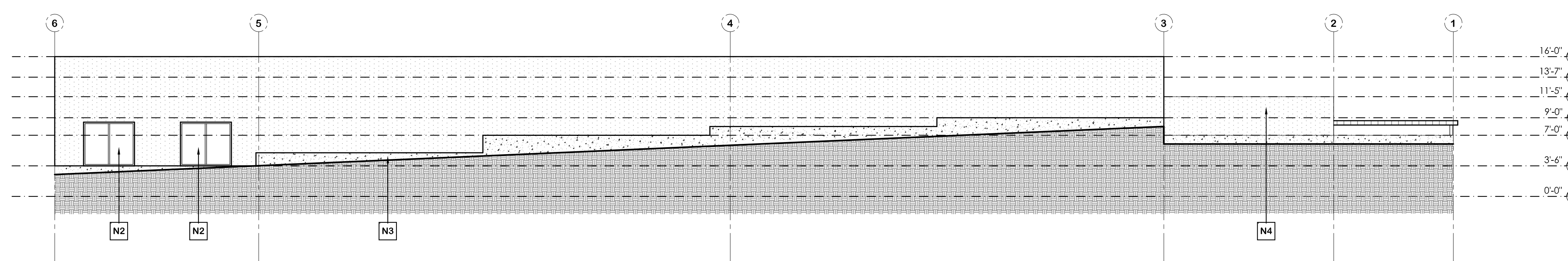
(N) SERVICE GARAGE ELEVATION FRONT (SOUTH) ELEVATION 2



(N) SERVICE GARAGE ELEVATION SIDE (EAST) ELEVATION 11



(N) SERVICE GARAGE ELEVATION SIDE (WEST) ELEVATION 3



(N) SERVICE GARAGE ELEVATION REAR (NORTH) ELEVATION 4



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	03.09.23	PLANNING SUBMITTAL
	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043
APPROVAL STAMP



EXTERIOR ELEVATION

DATE: 06.1.21 SCALE: 1/8" = 1'-0"
DRAWN BY: JTG PROJECT NUMBER: 21001-1

A6.2

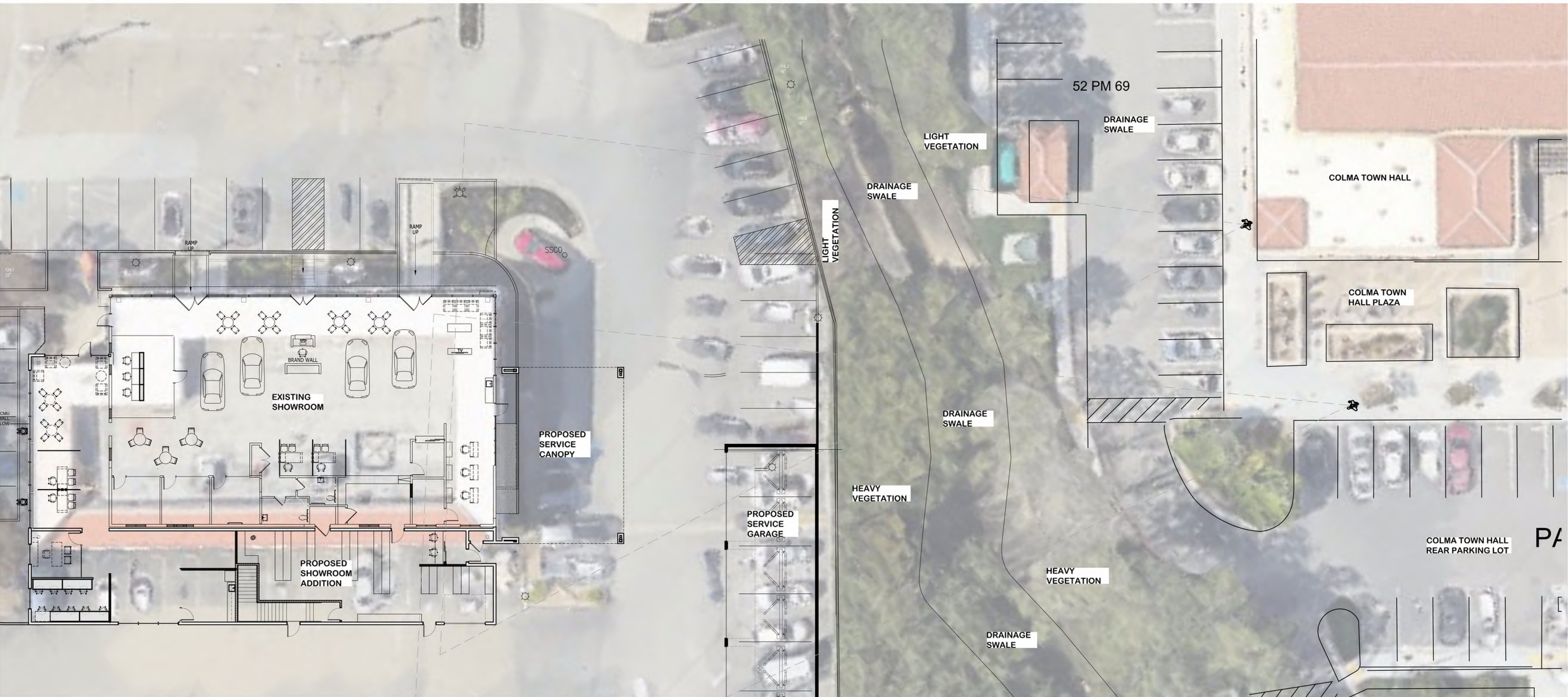
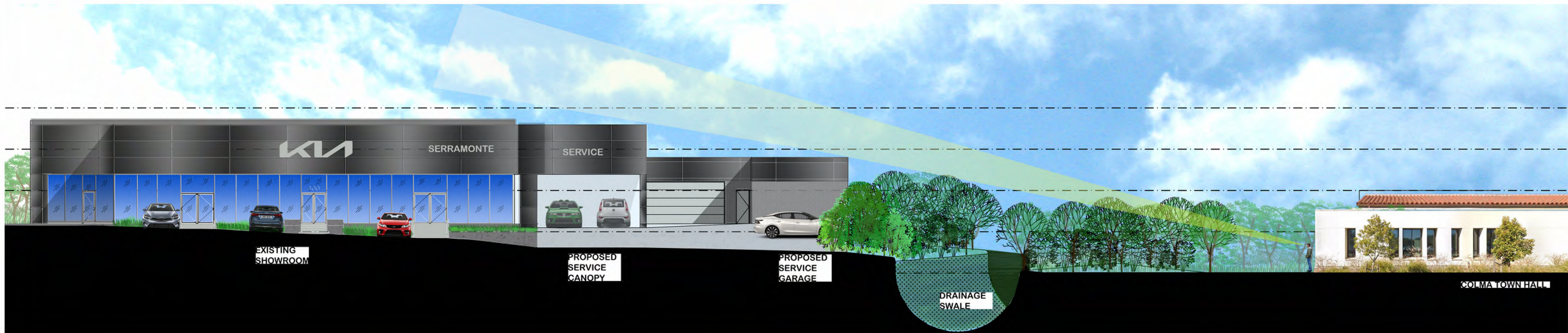


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09.02.22	PLANNING RE-SUBMITTAL
09.12.22	BUILDING SUBMITTAL

APPROVAL STAMP



KIA - TOWN HALL DIAGRAM

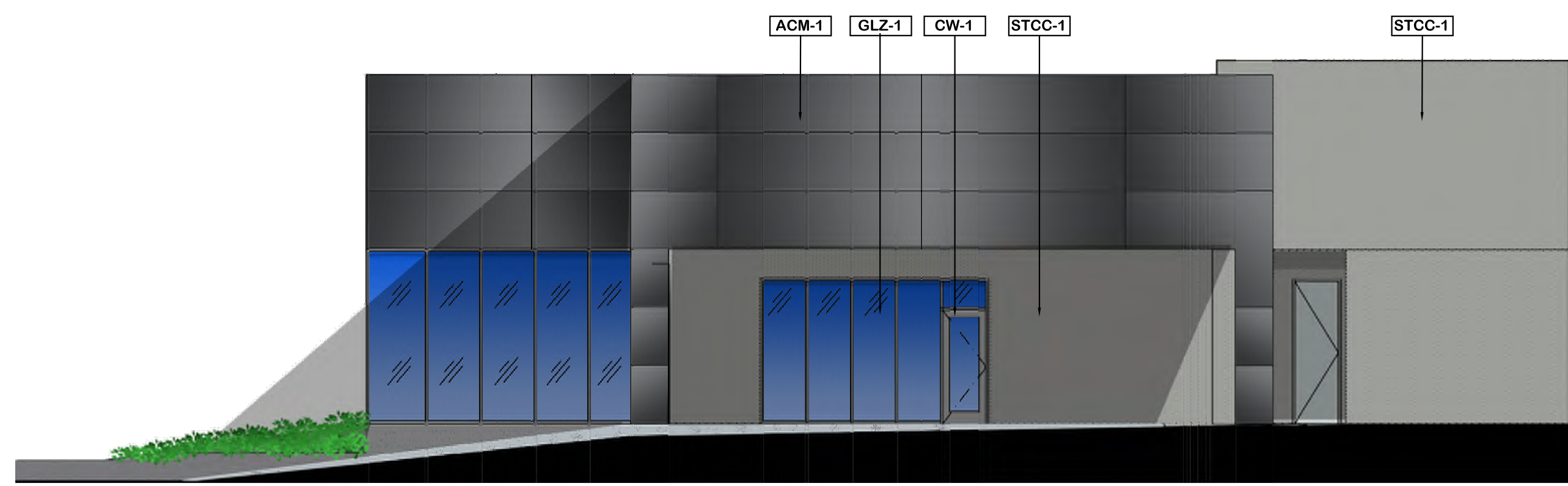
DATE: 06.1.21 SCALE: 1/8" = 1'-0"
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A6.3



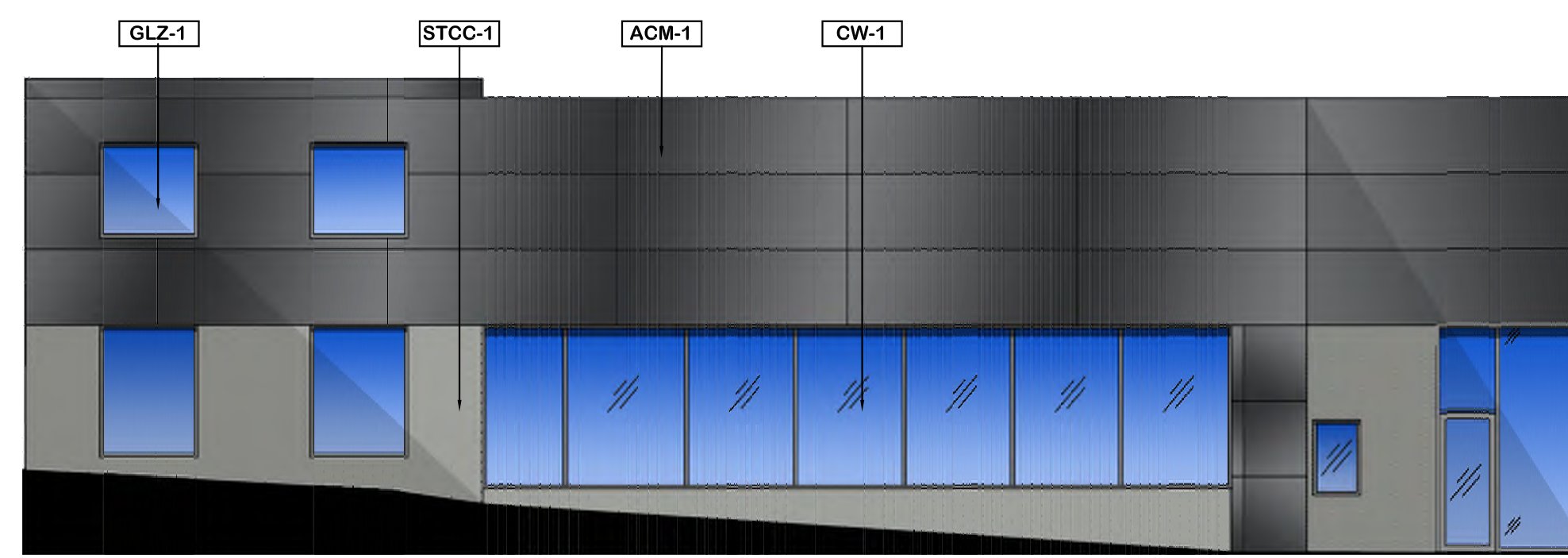
SCALE: 1/8"=1'-0"

SHOWROOM ELEVATION FRONT (SOUTH) ELEVATION 5



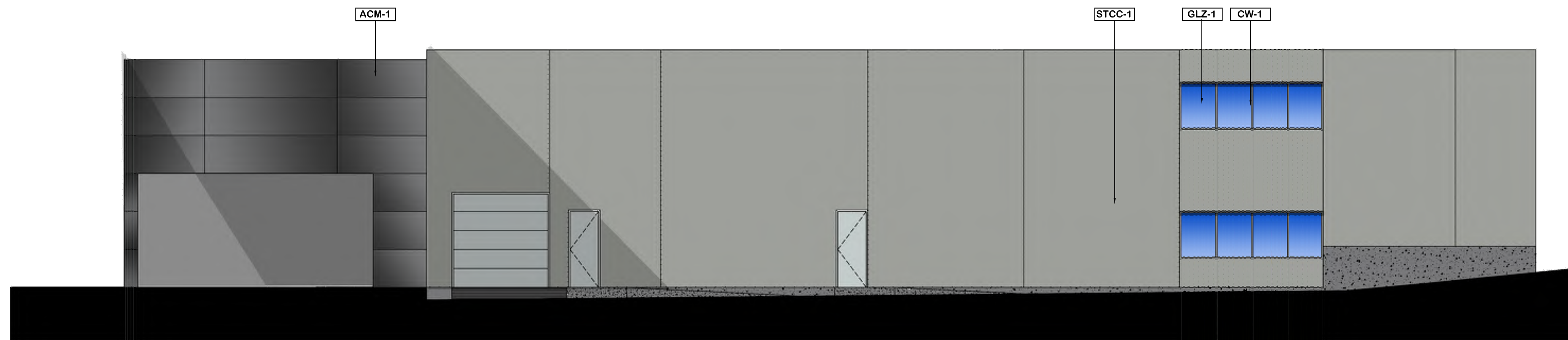
SCALE: 1/8"=1'-0"

SHOWROOM ELEVATION SIDE (WEST) ELEVATION 14



1/8" = 1'-0"

SHOWROOM ELEVATION SIDE (EAST) ELEVATION 6



SCALE: 1/8"=1'-0"

SHOWROOM ELEVATION REAR (NORTH) ELEVATION 7



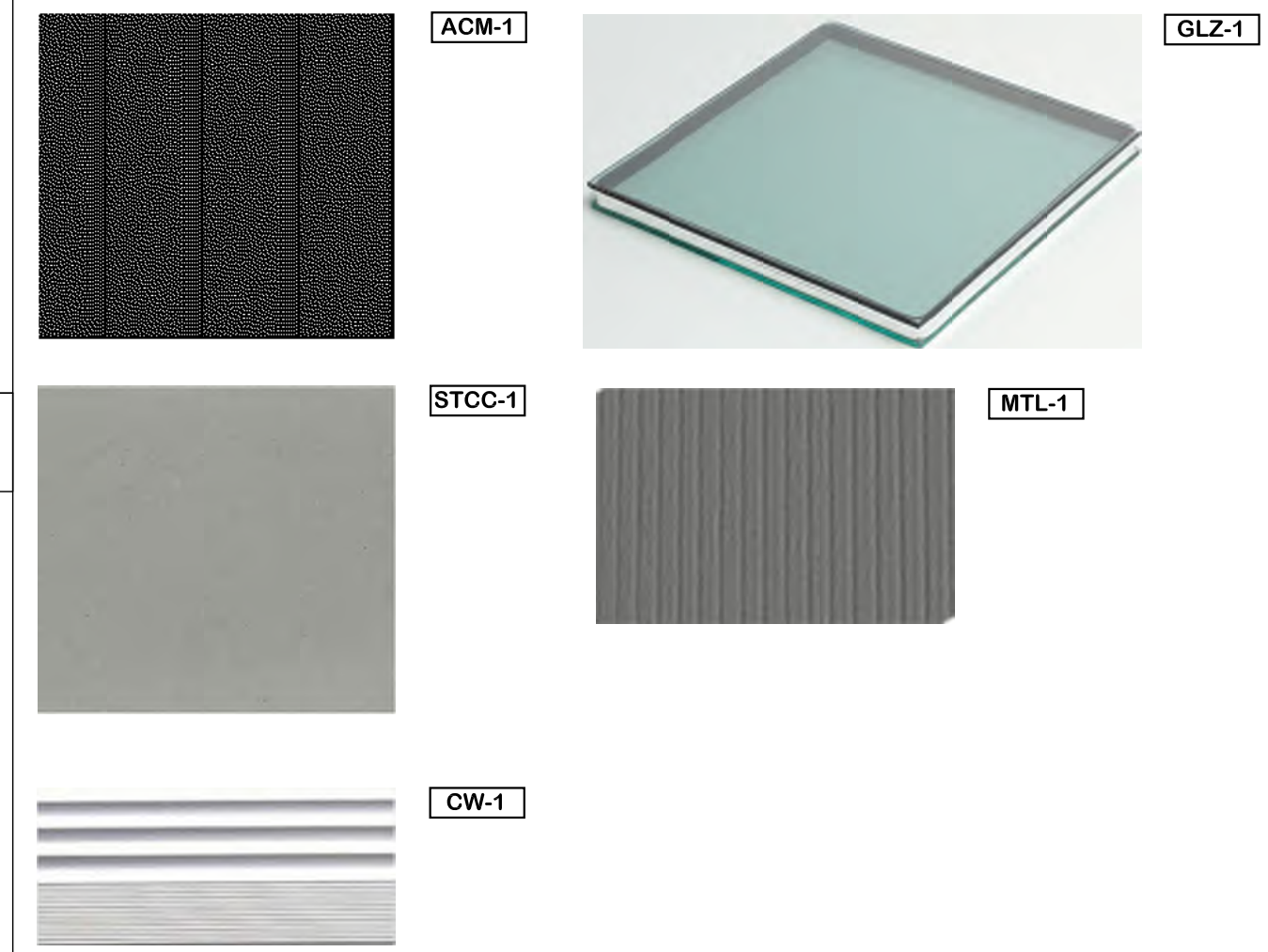
1/8" = 1'-0"

(N) SERVICE GARAGE ELEVATION FRONT (SOUTH) ELEVATION 8

FINISH SCHEDULE

- ACM-1 ALUMINUM COMPOSITE METAL, ALPOLIC T08 BLACK
- STCC-1 STUCCO FINISH, DRYVIT, CCP 2, DEMANDIT DEMANDIT AVANTAGE, CUSTOM COLOR: BENJAMIN MOORE CONVENTRY GRAY
- CW-1 STOREFRONT SYSTEM - CRL US ALUMINUM, FRONT LOADED CURTAIN WALL, SERIES 2100, CLEAR ANODIZED
- GLZ-1 GLAZING - SOLARBAN 90 (2) CLEAR + CLEAR
- MTL-1 ASC BUILDING PRODUCTS, METAL ROOF, DELTA RIB III, OLD TOWN GRAY

FINISH MATERIALS



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	03.09.23	PLANNING SUBMITTAL
	04.21.23	BUILDING SUBMITTAL
	06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043

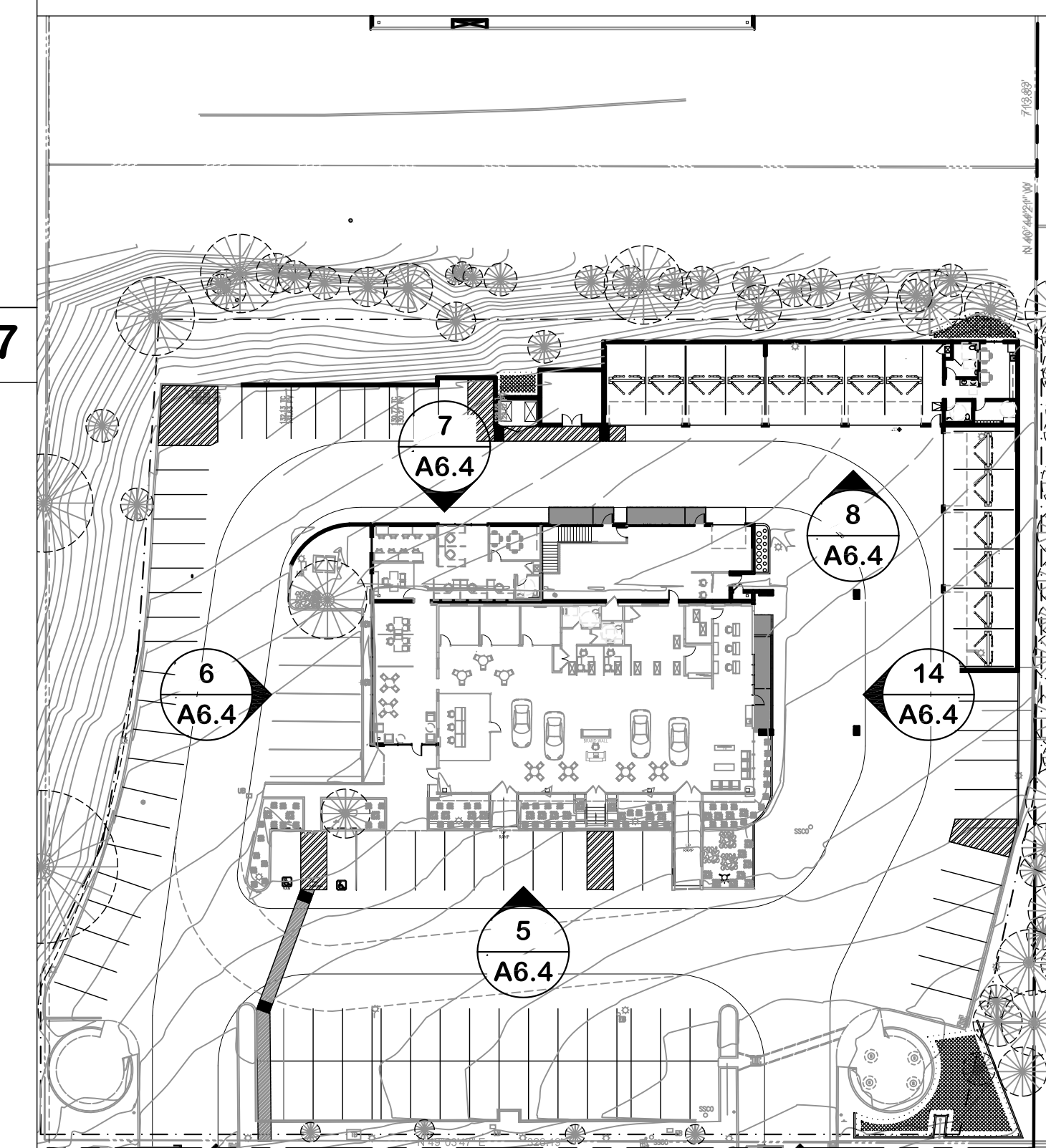
APPROVAL STAMP



COLOR EXTERIOR ELEVATION

DATE 06.1.21 SCALE 1/8" = 1'-0"
DRAWN BY JTG PROJECT NUMBER 21001-1

A6.4



NTS

SHOWROOM FLOOR PLAN FOR REFERENCE ONLY 4



PROJECT PROPERTY
(E) WEST SIDE DRIVE AISLE 7



PROJECT PROPERTY
(E) NORTH REAR DRIVE AISLE 4



PROJECT PROPERTY
(E) EAST SIDE DRIVE AISLE 1



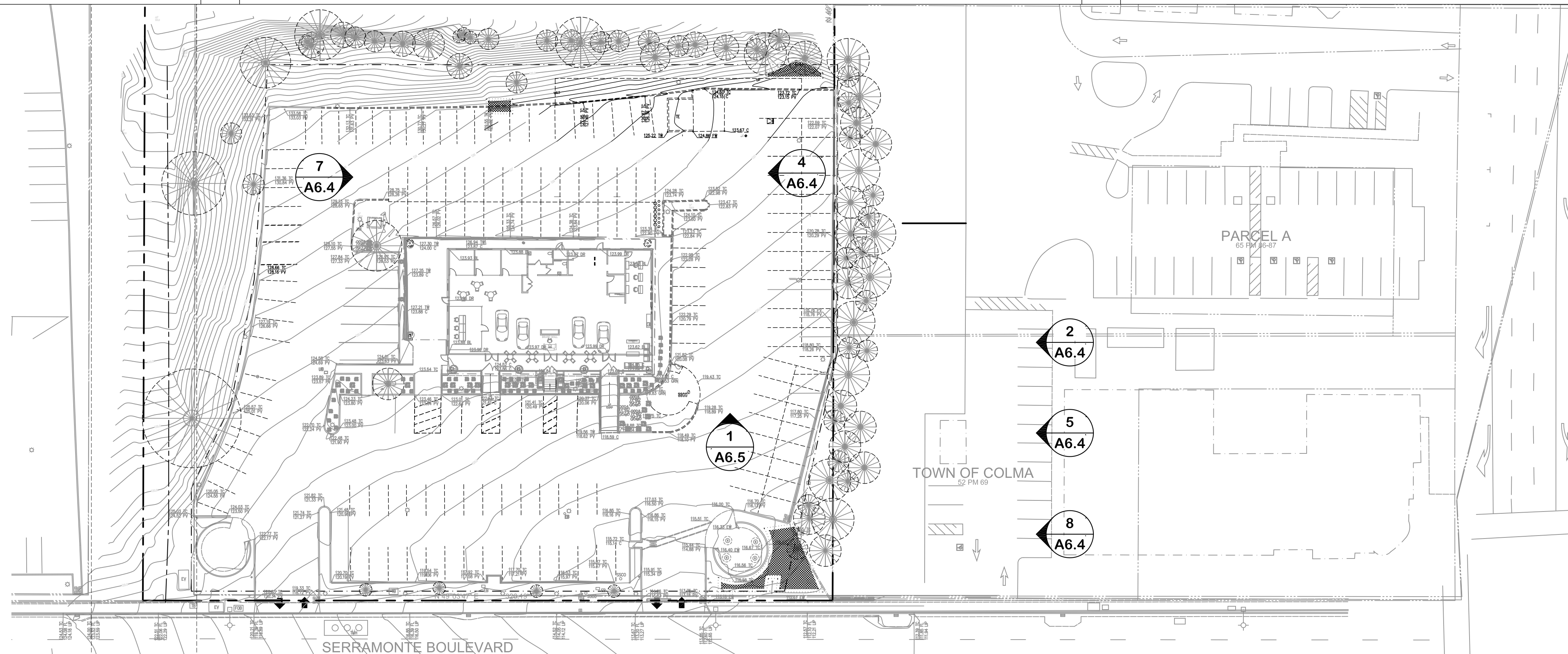
COLMA TOWN HALL
DRIVE ENTRY 8



COLMA TOWN HALL
SIDWALK 5



COLMA TOWN HALL
PLAZA 2



SITE PLAN
FOR REFERENCE ONLY 3

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	06.16.23	PLANNING RESUBMITTAL

PL2023-005 & B2023-0043
APPROVAL STAMP



**EXISTING
PHOTOS**

DATE: 06.1.21 SCALE: 1/8" = 1'-0"
DRAWN BY: JTG PROJECT NUMBER: 21001-1

A6.5

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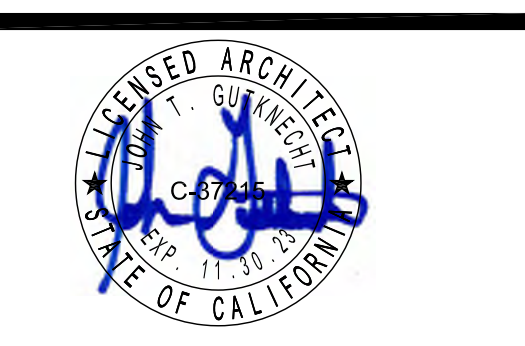
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INTERIOR ELEVATIONS & DETAILS

DATE	SCALE
06.1.21	SEE DETAIL
DRAWN BY	PROJECT NUMBER
JTG	21001-1

A7.1

KEY NOTE

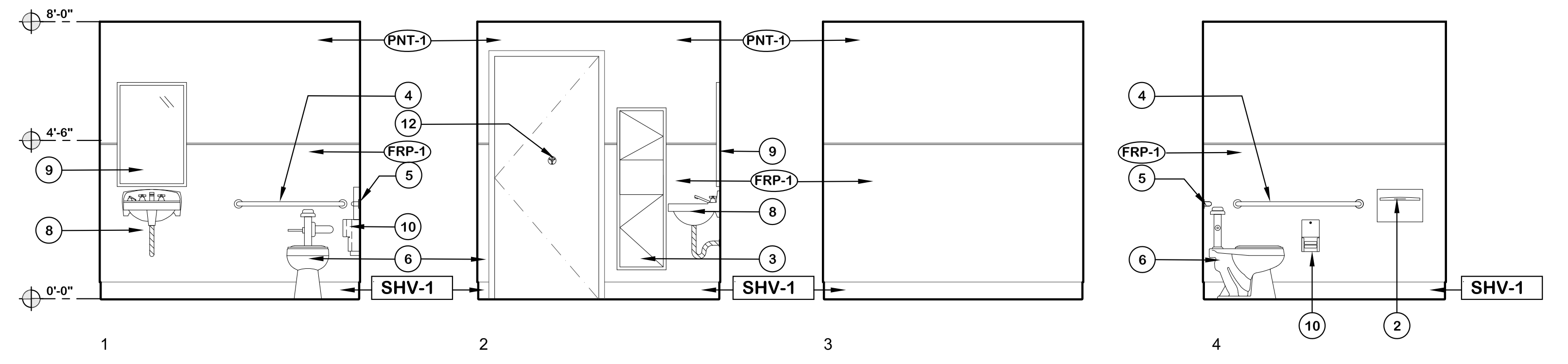
1 NOT USED

PLUMBING FIXTURE SPECIFICATIONS

- 2 URINAL COMPARTMENT PARTITIONS
ASI GLOBAL PARTITIONS OR APPROVED EQUAL
STYLE: FLOOR ANCHORED WITH OVERHEAD BRACE
COLOR: BRUSHED STAINLESS STEEL
- 3 SURFACE MOUNTED SEAT COVER DISPENSER
BOBRICK
PART NUMBER: B-221
COLOR: STAINLESS STEEL
- SEMI-RECESSED PAPER TOWEL DISPENSER AND DISPOSAL
BOBRICK
PART NUMBER: B-43944
COLOR: STAINLESS STEEL
- 4 ACCESSIBLE GRAB BAR, 42"
BOBRICK
PART NUMBER: B-5806x42
COLOR: STAINLESS STEEL
- 5 ACCESSIBLE GRAB BAR, 36"
BOBRICK
PART NUMBER: B-5806x36
COLOR: STAINLESS STEEL
- 6 FLOOR MOUNTED TOILET
KOHLER
STYLE: HIGHCLIFF ULTRA
PART NUMBER: #K-PR96057-T4D-NA ADA FLOOR MOUNTED BOWL
TOUCHLESS FLUSHOMETER: KOHLER, TRIPPOINT
PART NUMBER: #K-10700N1-0, 1.28 GPF
SEAT COVER BY KOHLER, STRONGHOLD
PART NUMBER: #K-4731-C-0
NOTE: FLUSH CONTROLS SHALL BE LOCATED ON THE OPEN SIDE OF WATER CLOSET
- 7 URINAL
KOHLER
STYLE: BRANDON
PART NUMBER: K-4991-ET, ADA WALL MOUNTED
TOUCHLESS FLUSHOMETER: KOHLER
PART NUMBER: #K-7528-CP, 0.125 GPF, POLISHED CHROME
- 8 RESTROOM SINK
KOHLER
UNDERMOUNT LAVATORY: KOHLER, VERTICYL
PART NUMBER: #K-2882, ADA MOUNTED, WHITE
TOUCHLESS FAUCET: KOHLER, SCULPTED
PART NUMBER: #K-13460-CP, 0.5 GPM, POLISHED CHROME
NOTE 1: LAV-GUARD-2 BY TRUEBRO UNDER SINK PROTECTIVE PIPE KIT
NOTE 2: PROVIDE BACKING SUPPORT FOR LAVATORY
NOTE 3: PROVIDE IN COUNTER SOAP DISPENSER BOBRICK B-8231
- 9 FULL WIDTH MIRROR
- 10 TOILET TISSUE DISPENSER
BOBRICK
PART NUMBER: B-686
COLOR: STAINLESS STEEL
- 11 ACCESSIBLE SIGNAGE ON RESTROOM DOORS
- 12 COAT HOOK
BOBRICK
STYLE: #B-542
COLOR: SATIN FINISH
- 13 BREAKROOM SINK
ELKAY/KOHLER
STYLE: ELKAY DAYTON STAINLESS STEEL
PART NUMBER: D22519
COLOR: STAINLESS STEEL
FAUCET: SIMPLICE
PART NUMBER: K-596-CP
- 14 JANITOR'S MOP SINK
MUSTEE
STYLE: 63M (24X24)
FAUCET: SERVICE MOP FAUCET
STYLE: 63 600A
- 15 RESTROOM SINK
KOHLER
WALL MOUNT LAVATORY: KOHLER, KINGSTON
PART NUMBER: #K-2005, ADA MOUNTED, WHITE
TOUCHLESS FAUCET: KOHLER, SCULPTED
PART NUMBER: #K-13460-CP, 0.5 GPM, POLISHED CHROME

GENERAL NOTES

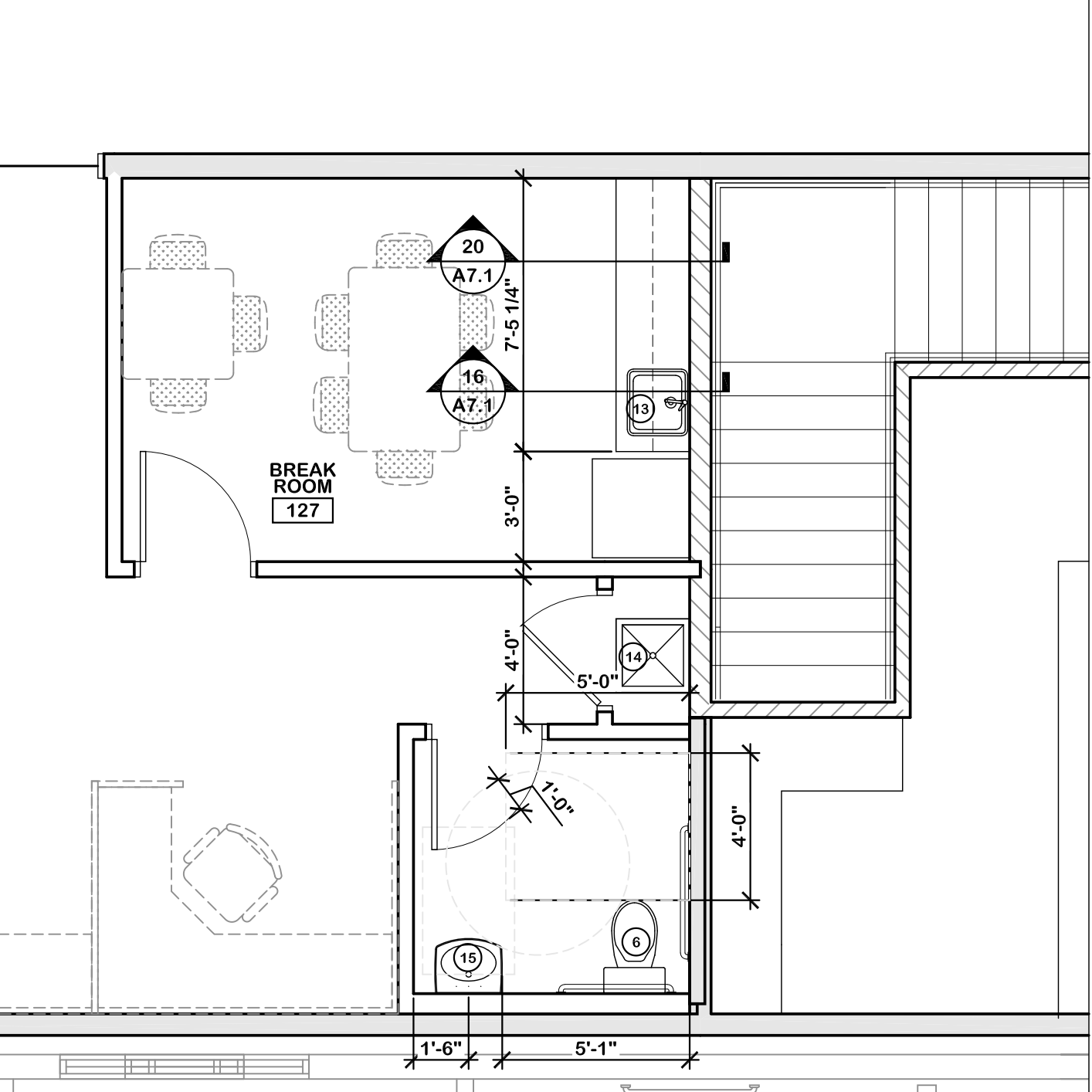
1. THE TOPS OF DINING SURFACES AND WORK SURFACES SHALL BE 28" MIN. AND 34" MAXIMUM ABOVE THE FINISH FLOOR



UNISEX 110 ELEVATIONS 5

17

3/8" = 1'-0"



14

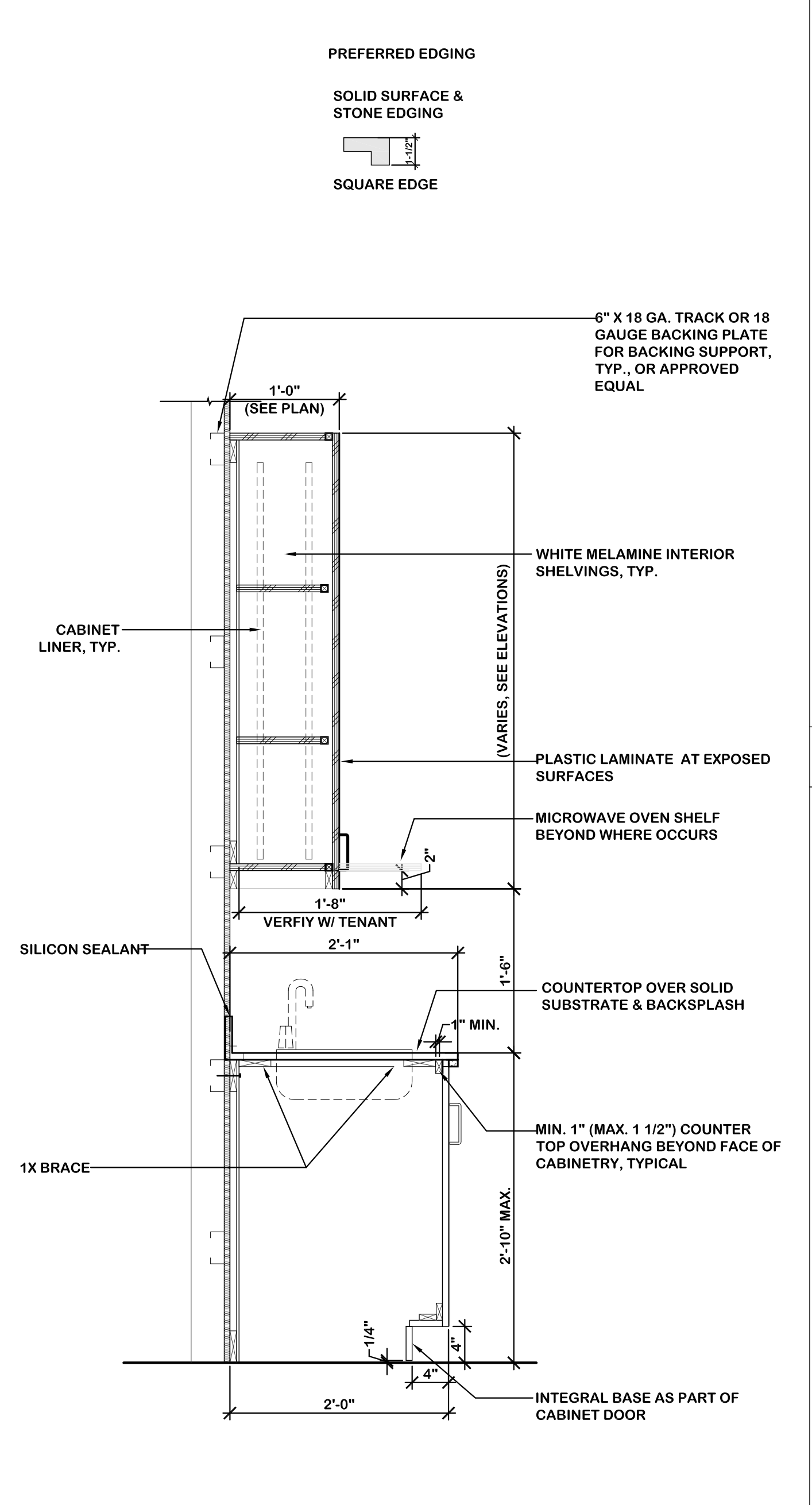
1/4" = 1'-0"



ENLARGED PLAN SERVICE GARAGE 6

18

1/4" = 1'-0"



16

1" = 1'-0"

COUNTER W/ SINK CABINET SECTION 12

11

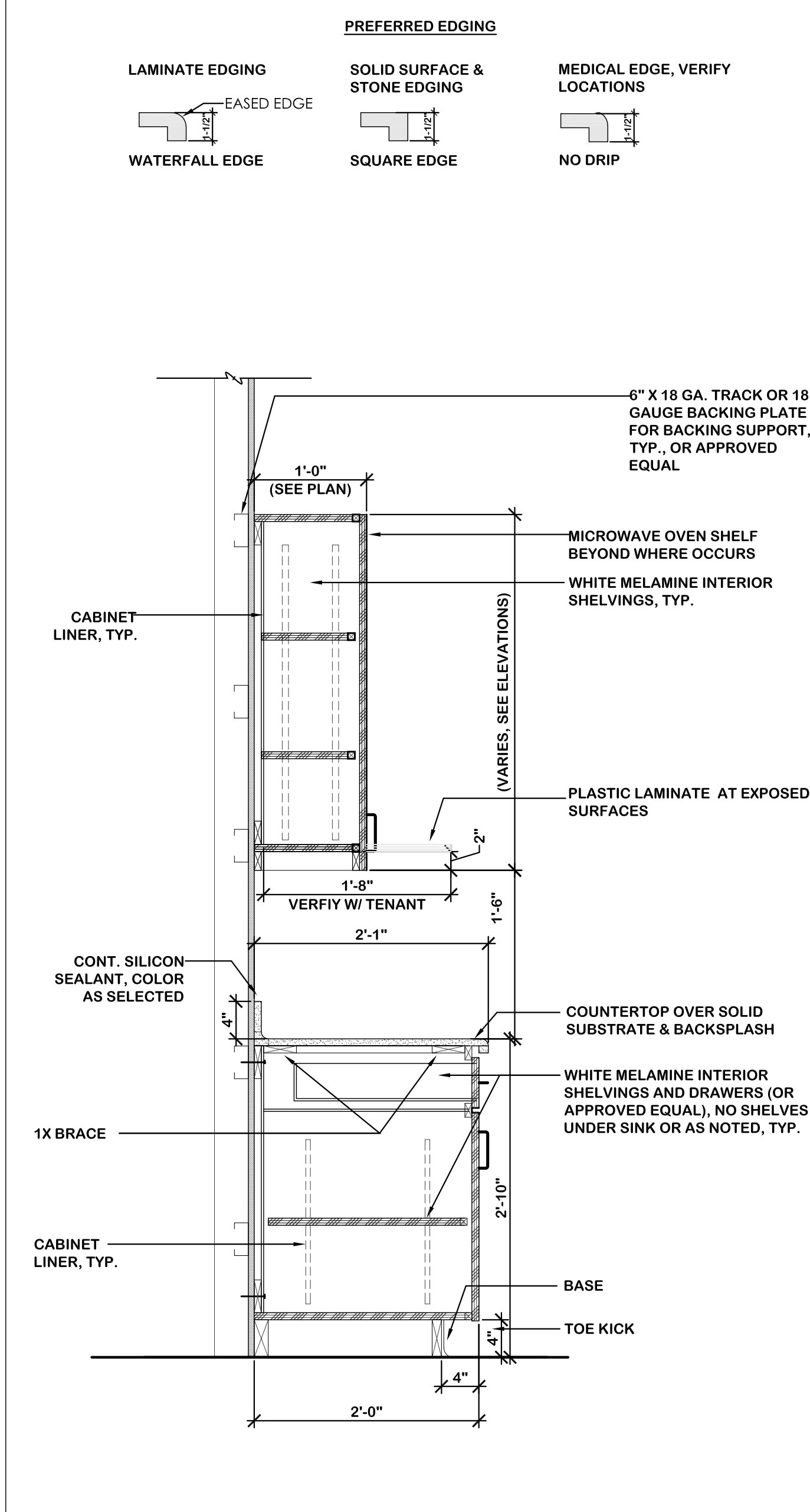


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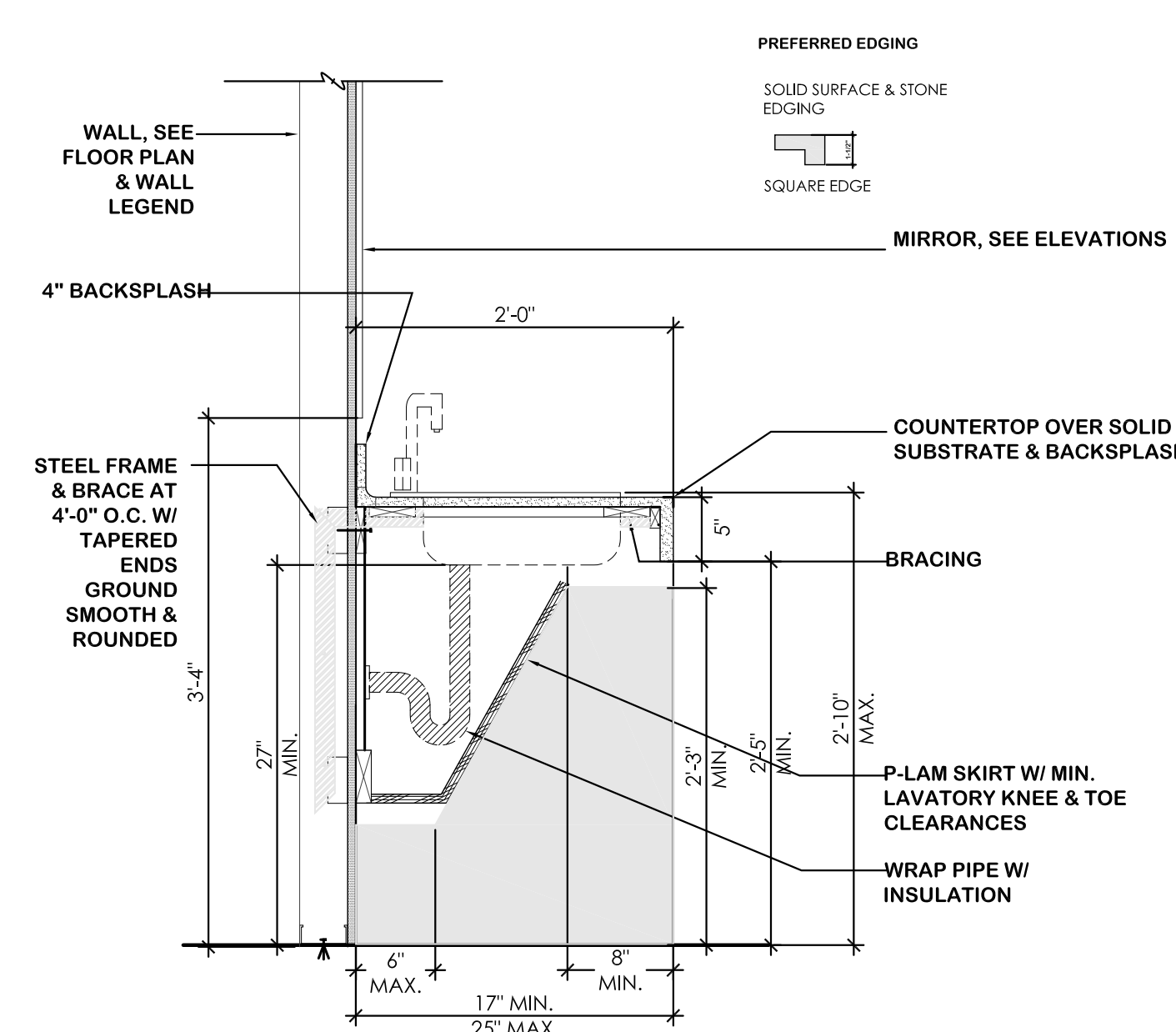
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CABINET SECTION UPPER & LOWER W/ 1-DRAWER



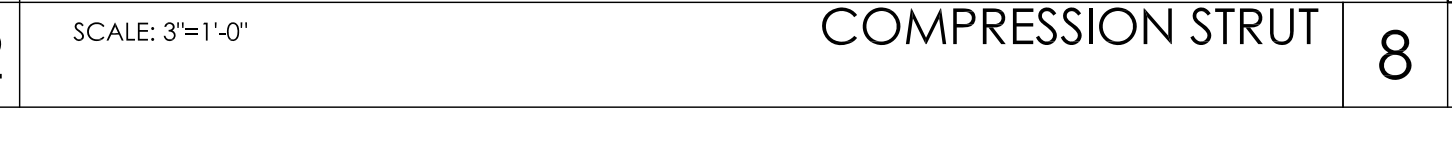
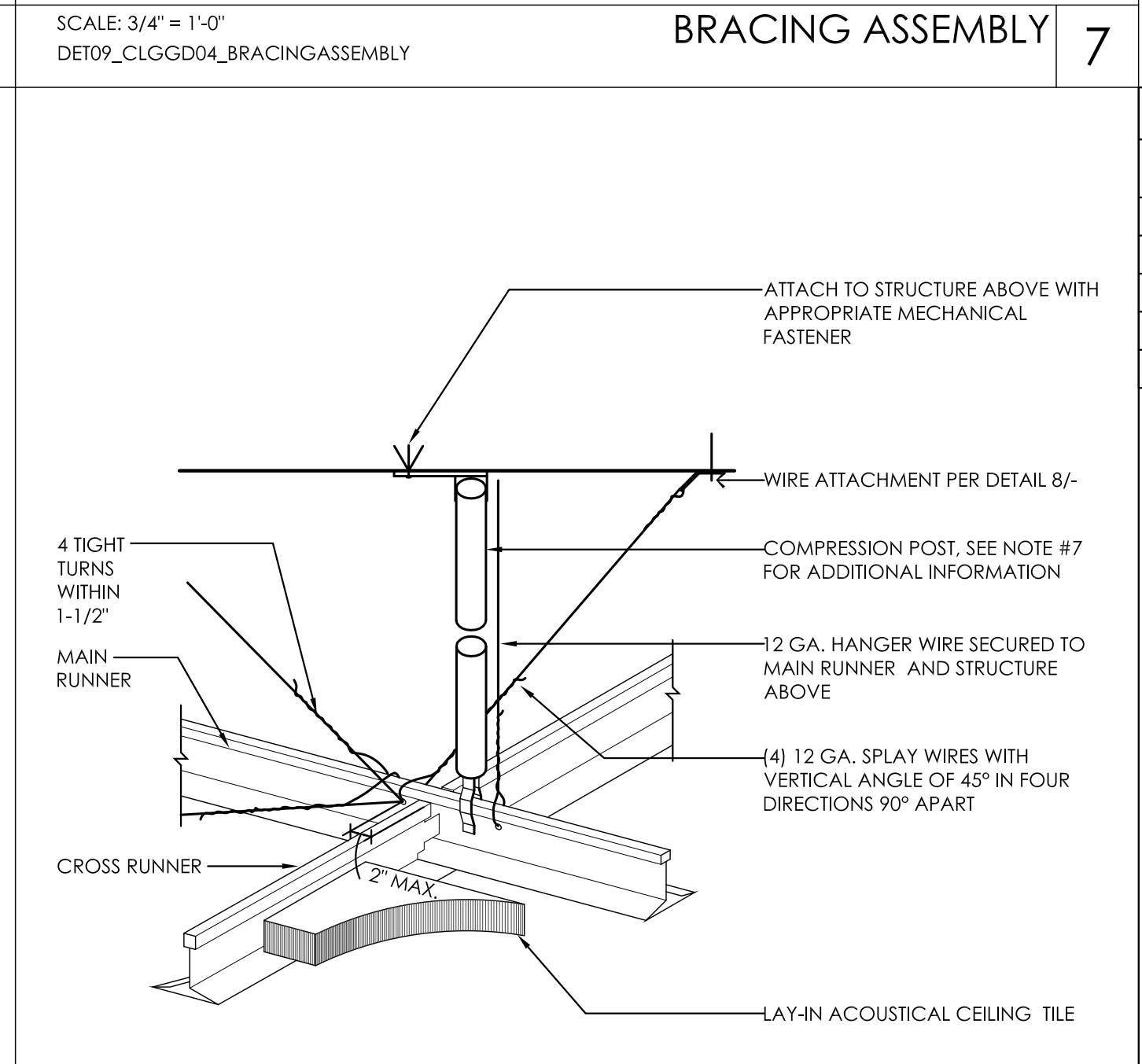
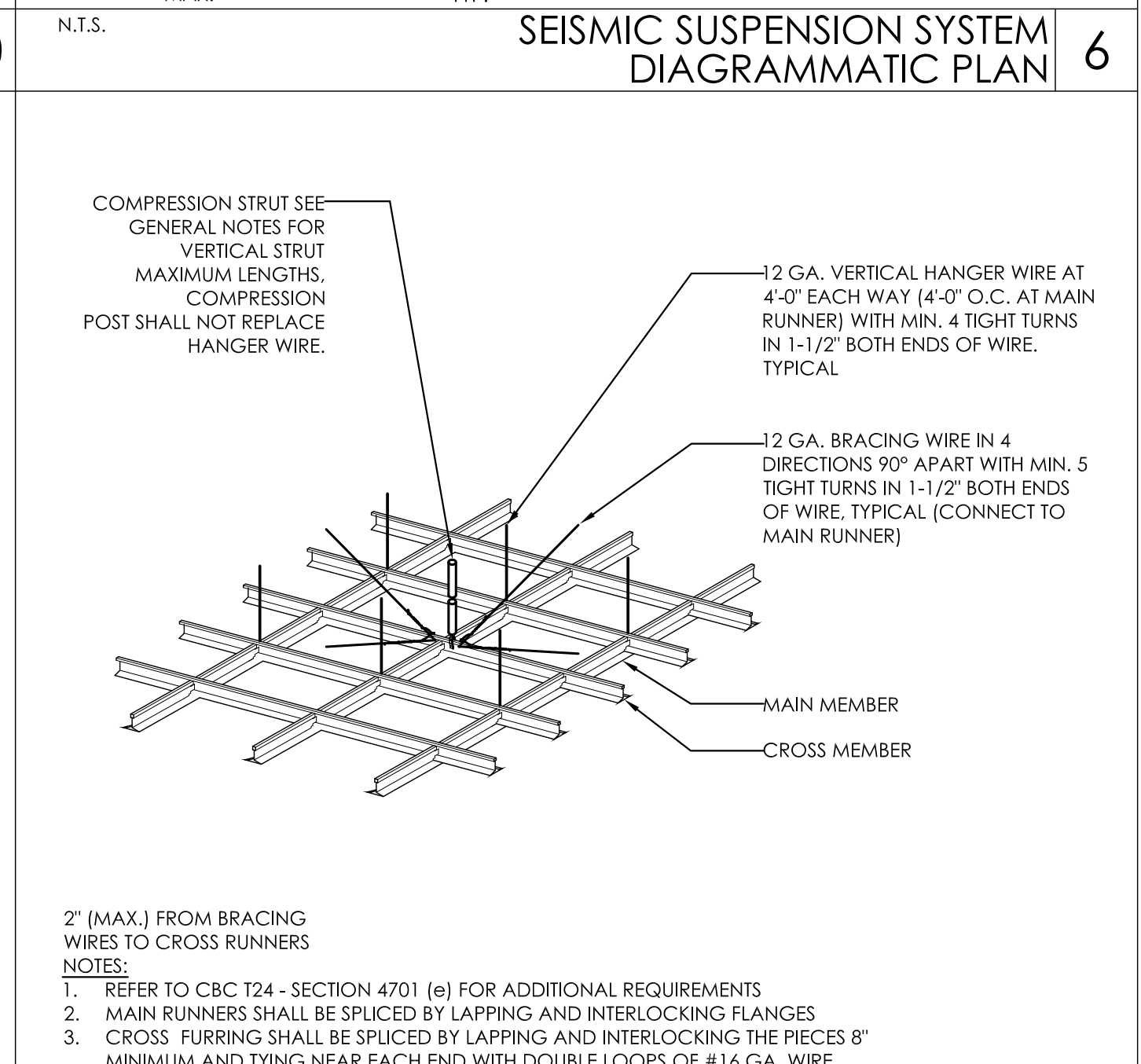
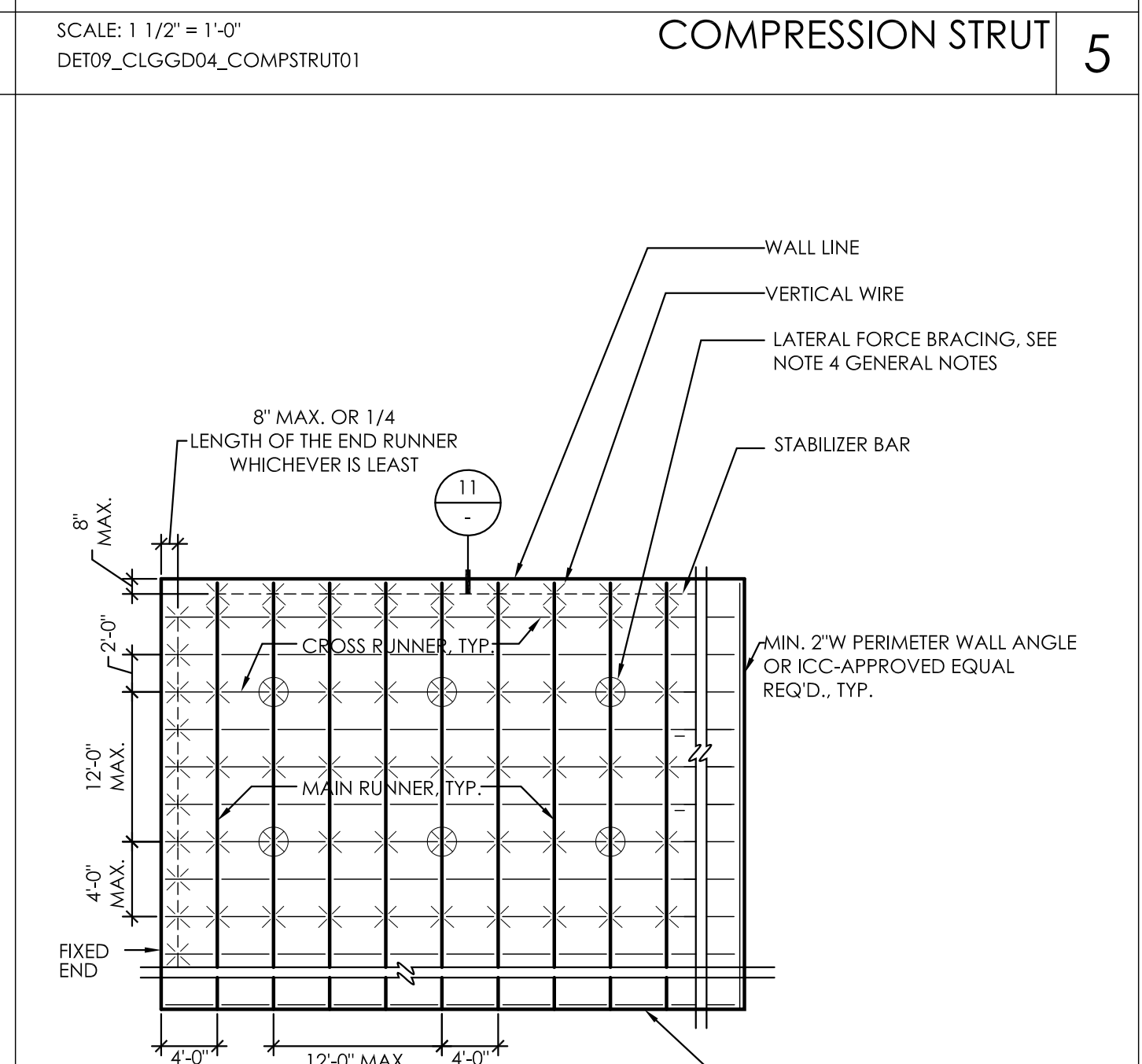
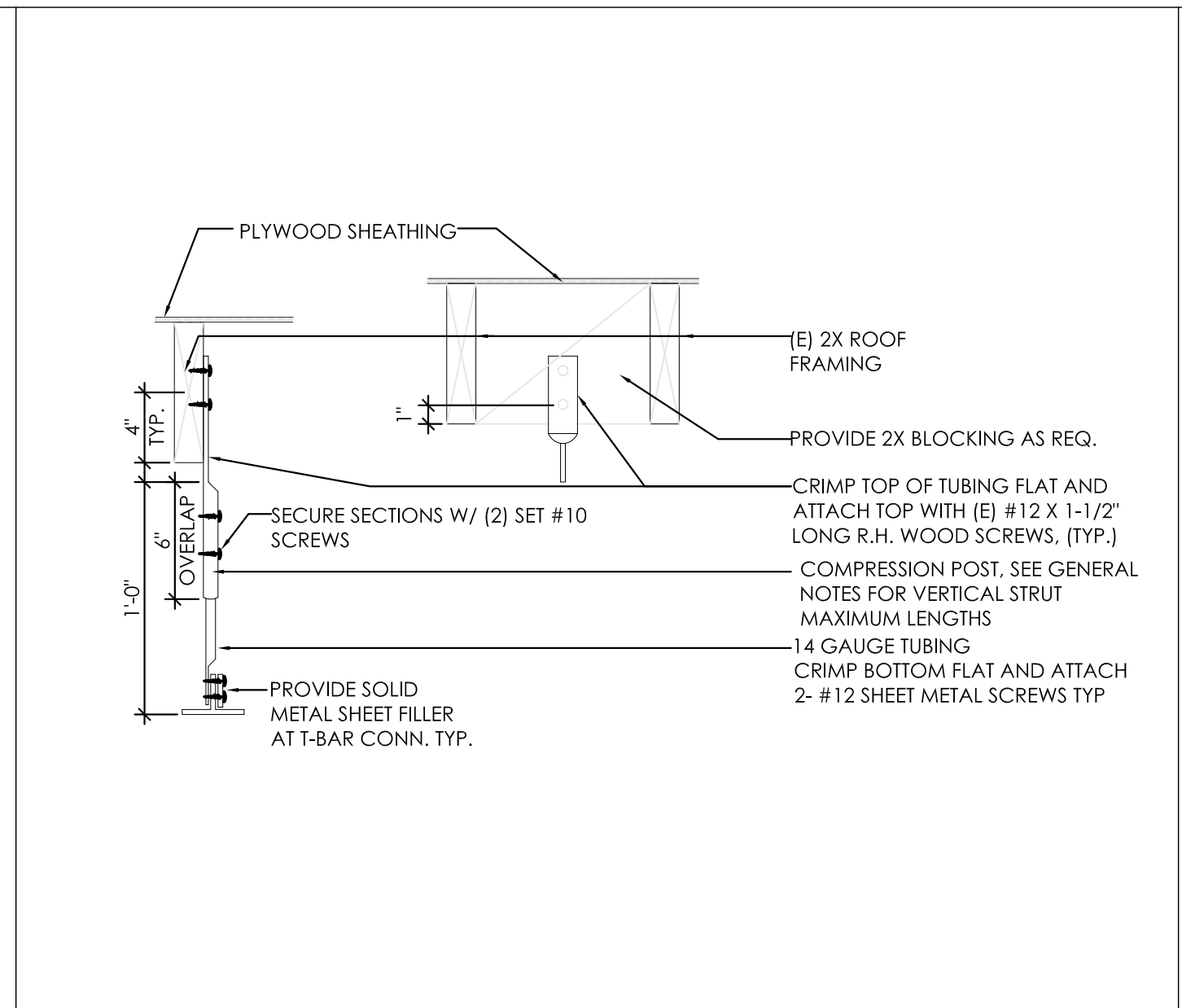
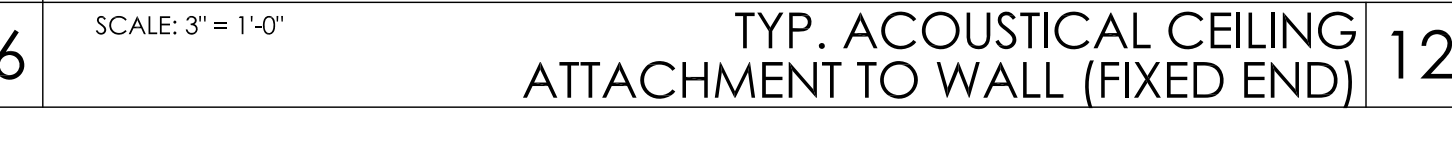
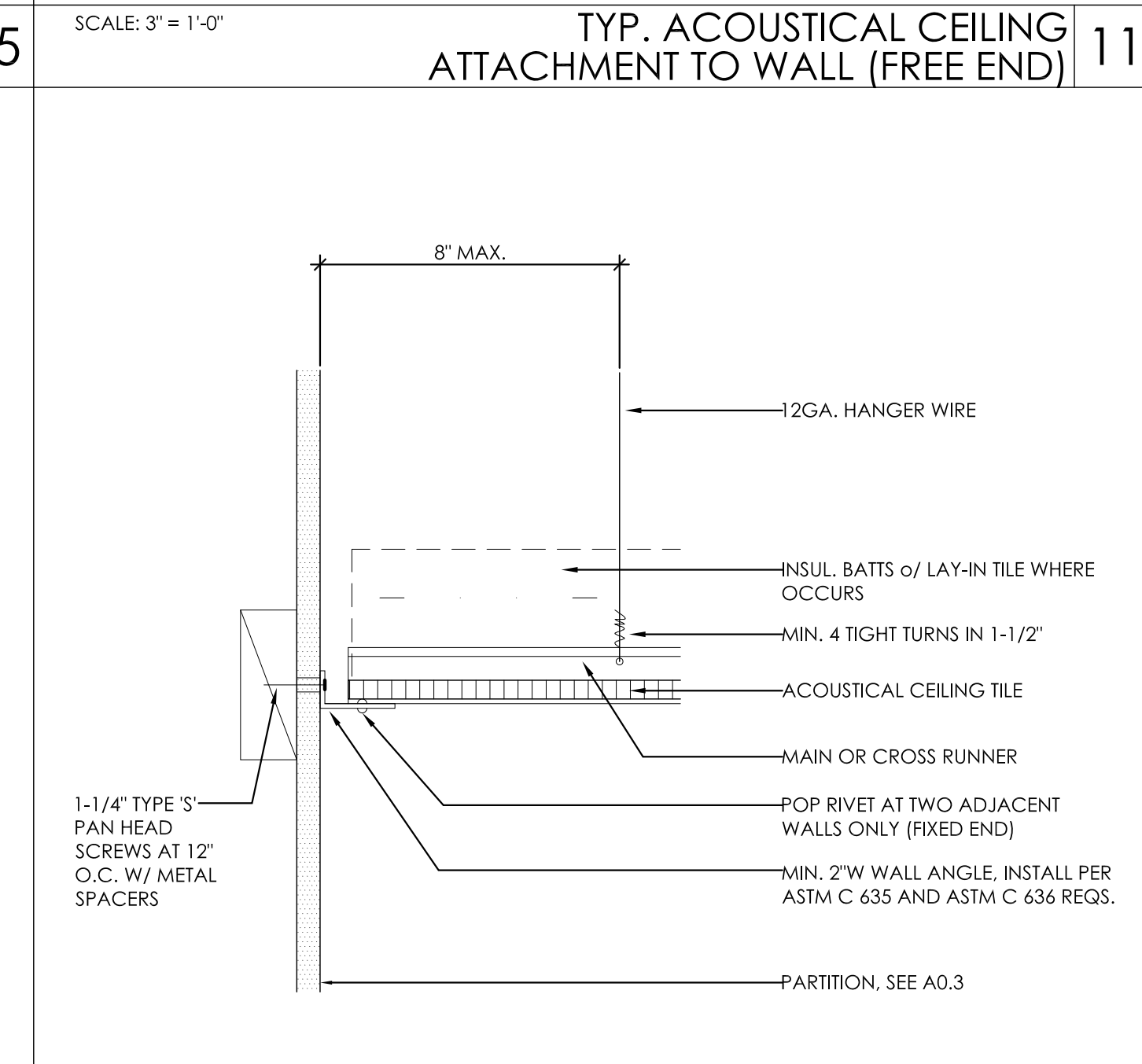
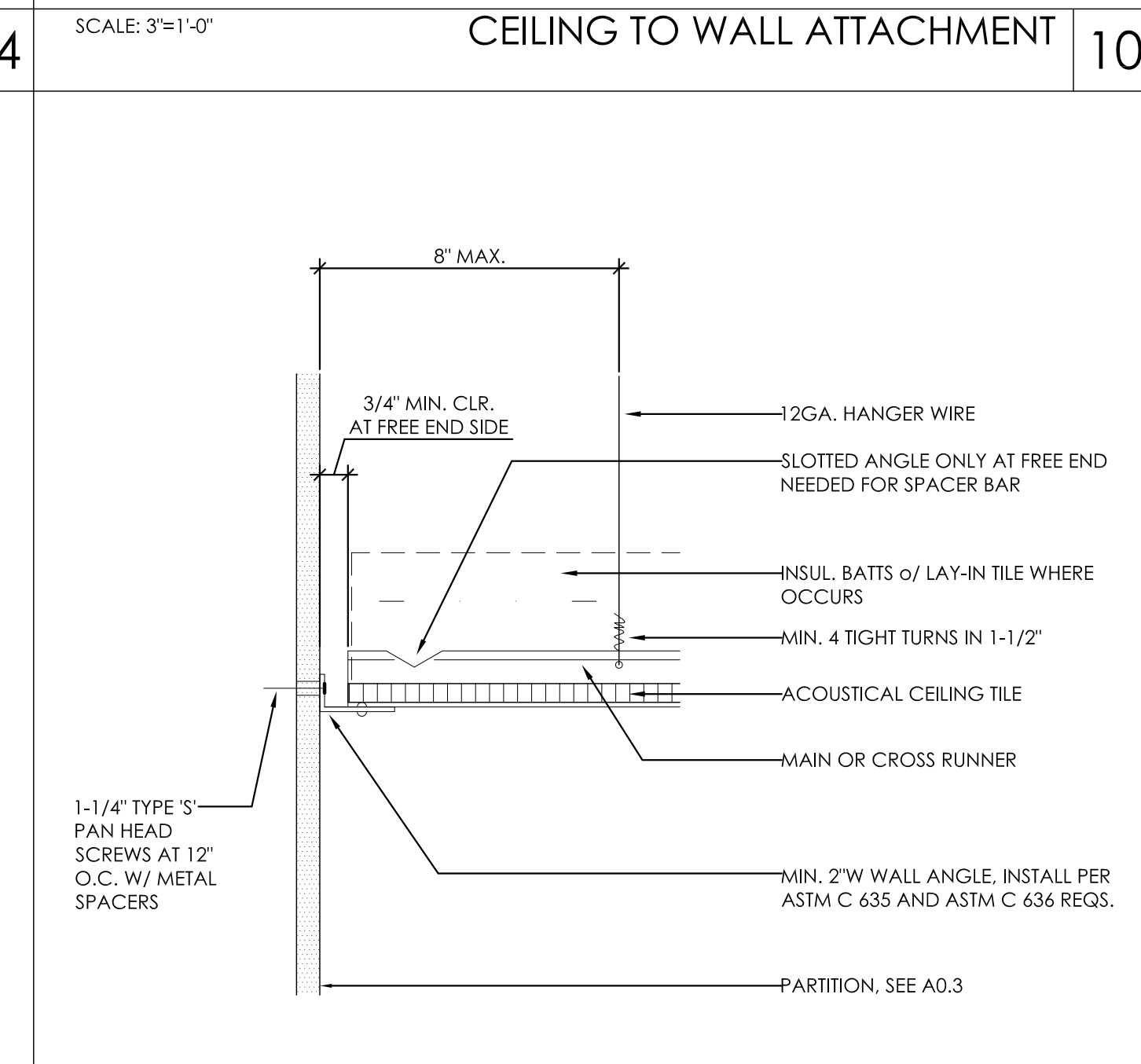
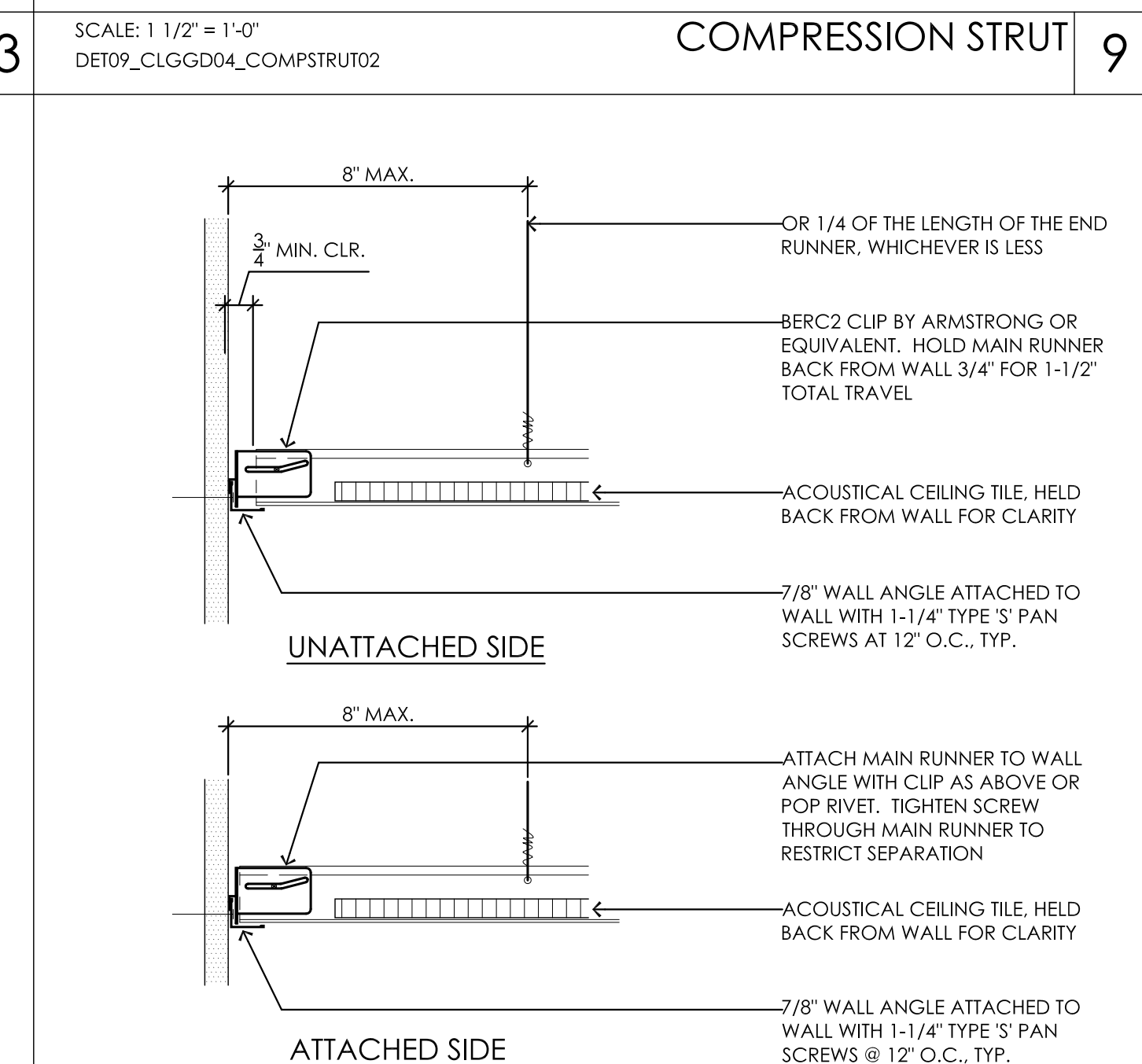
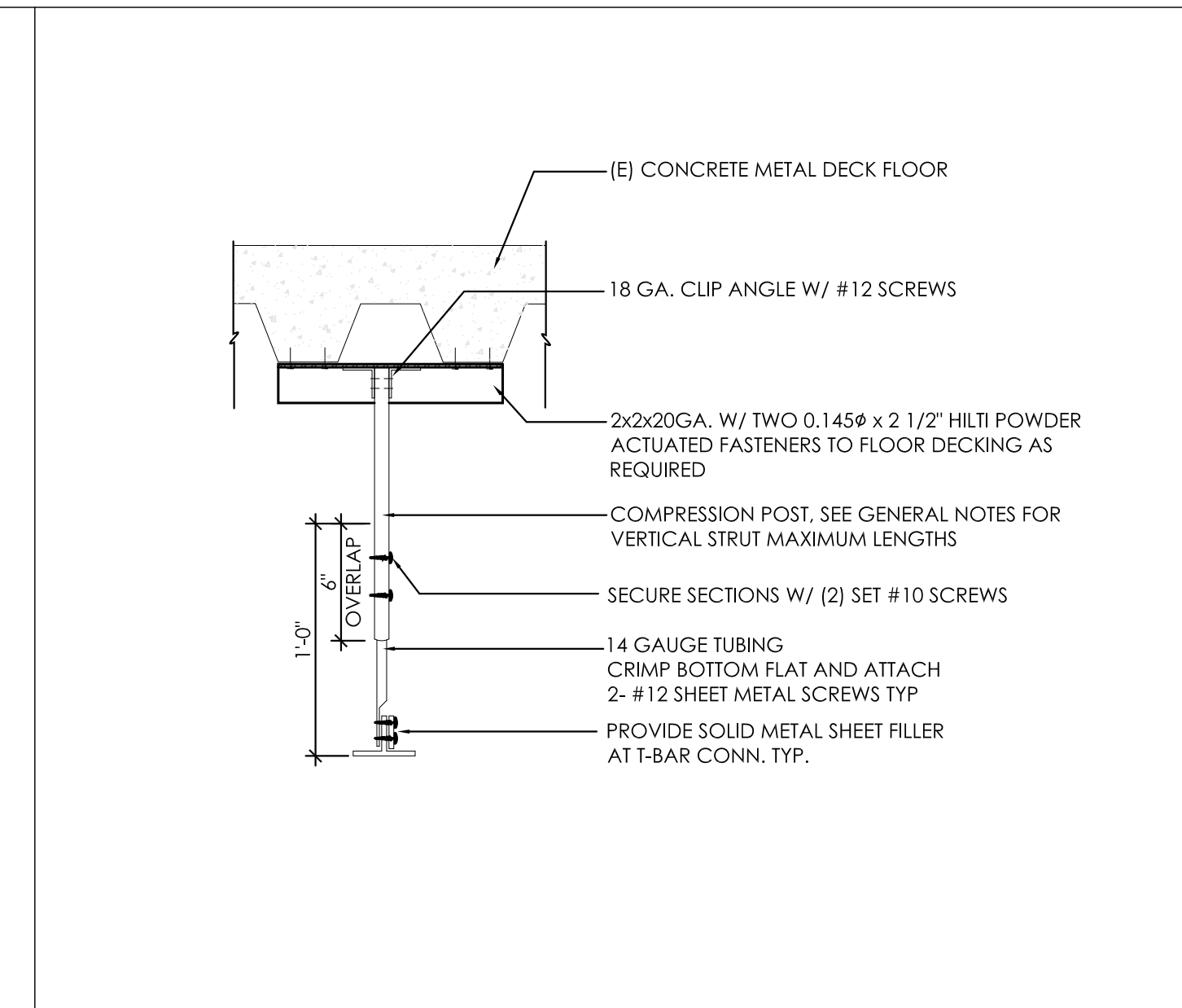
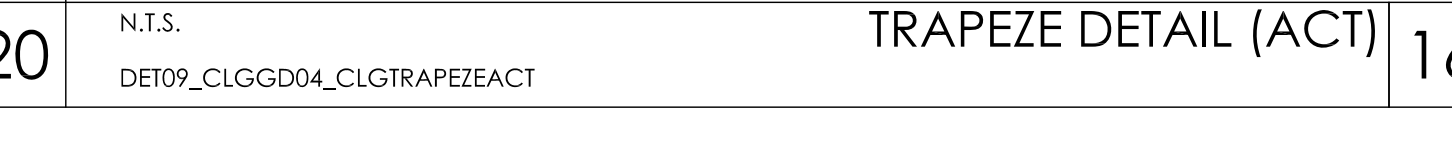
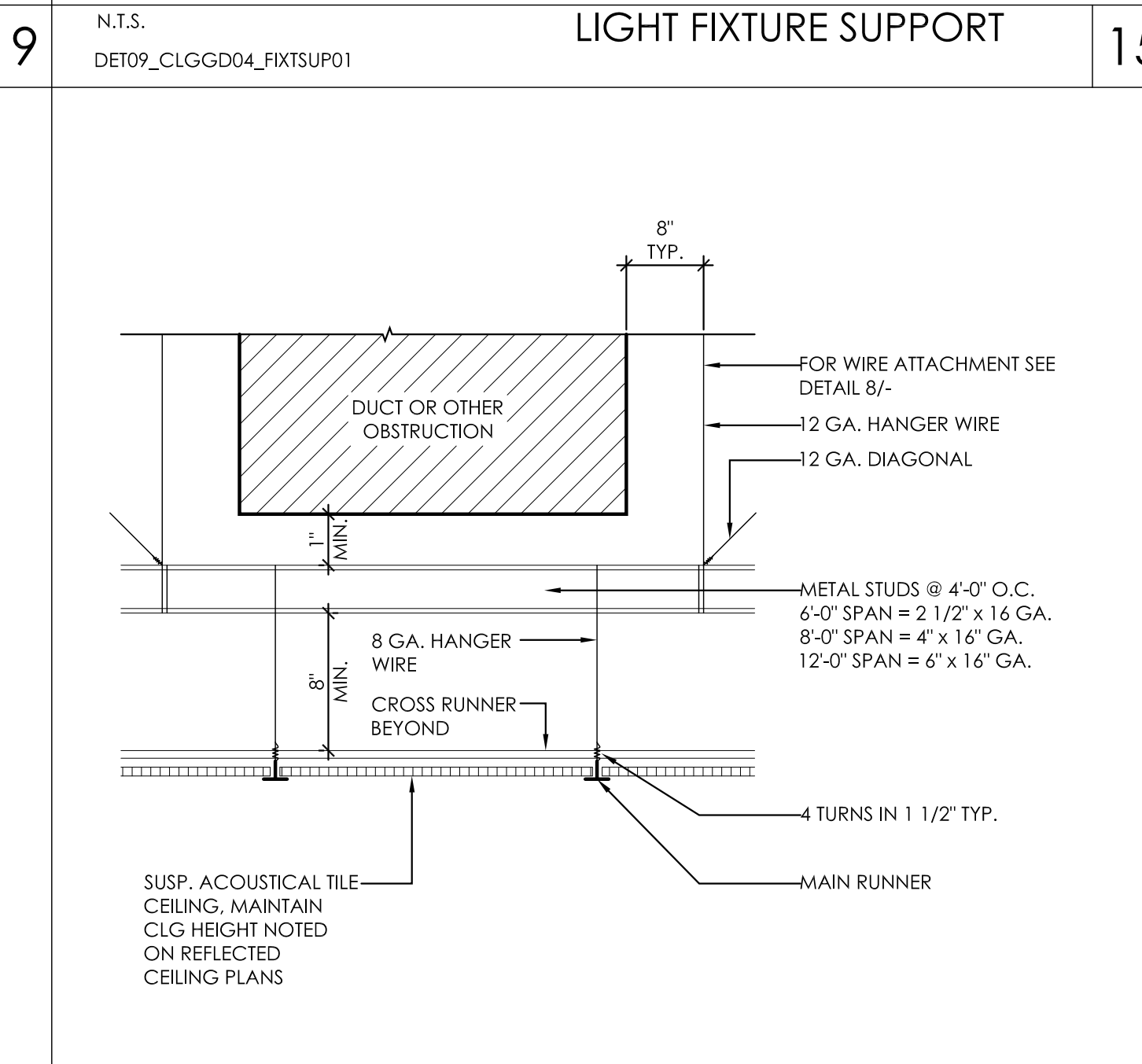
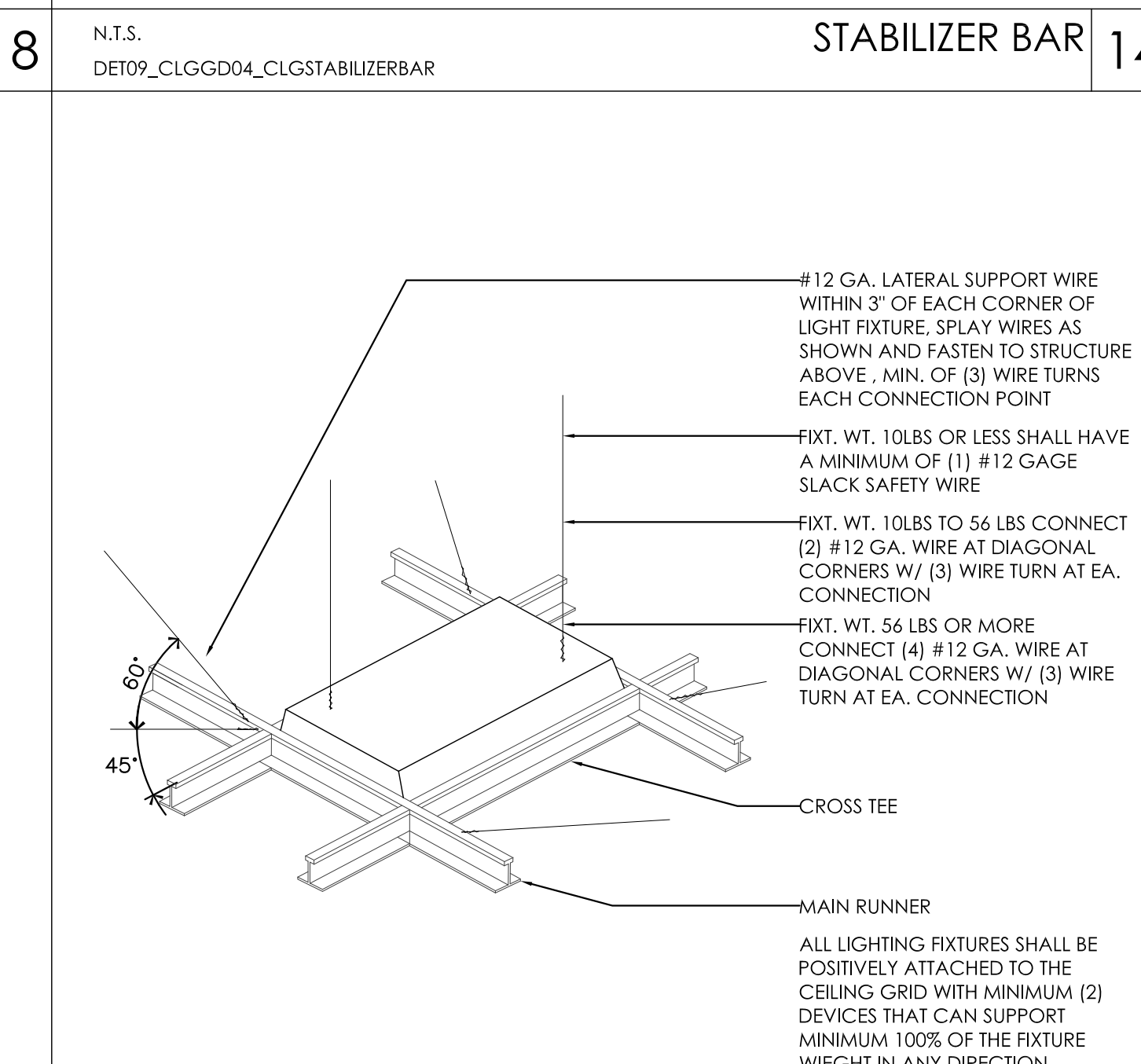
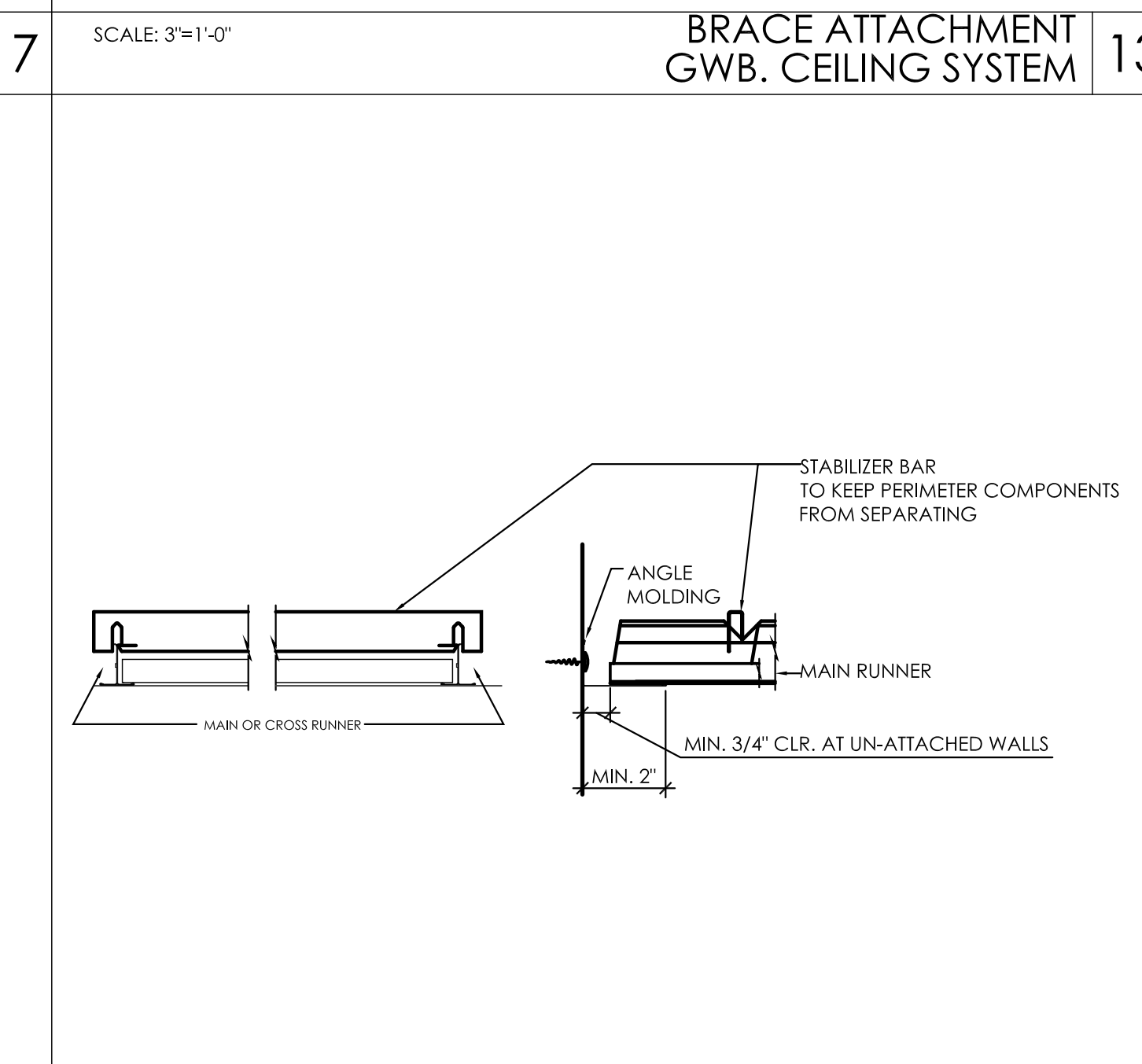
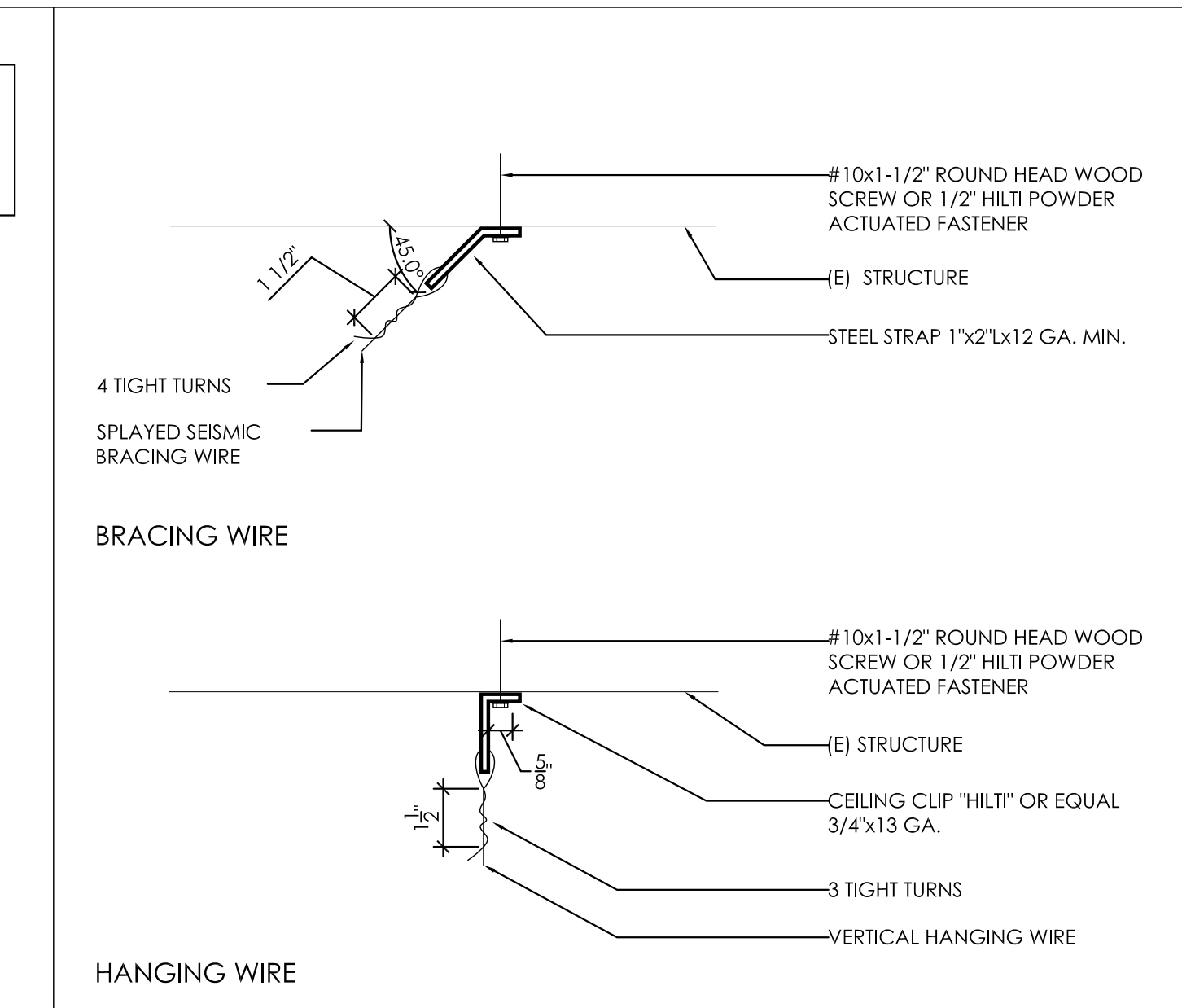
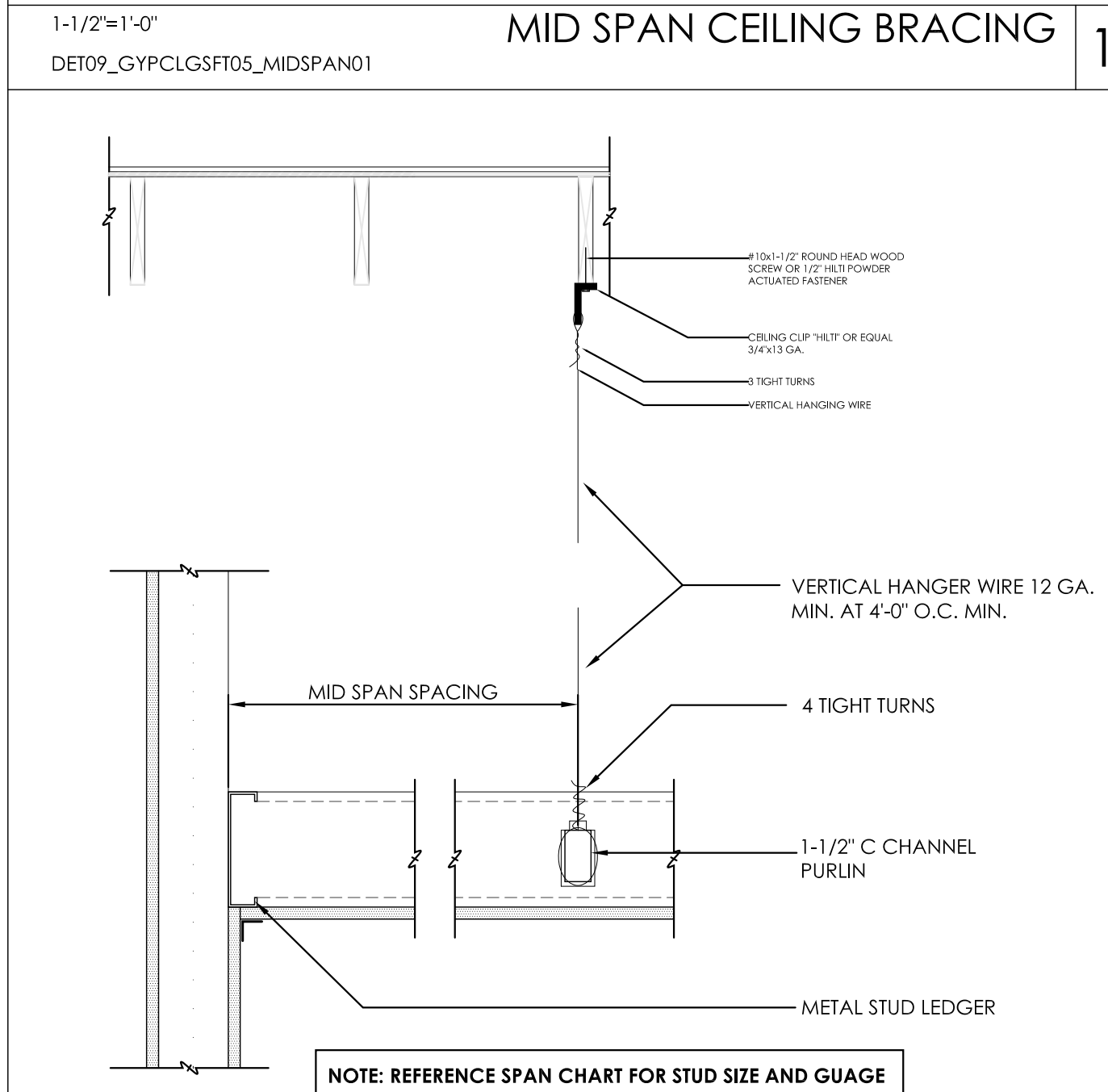
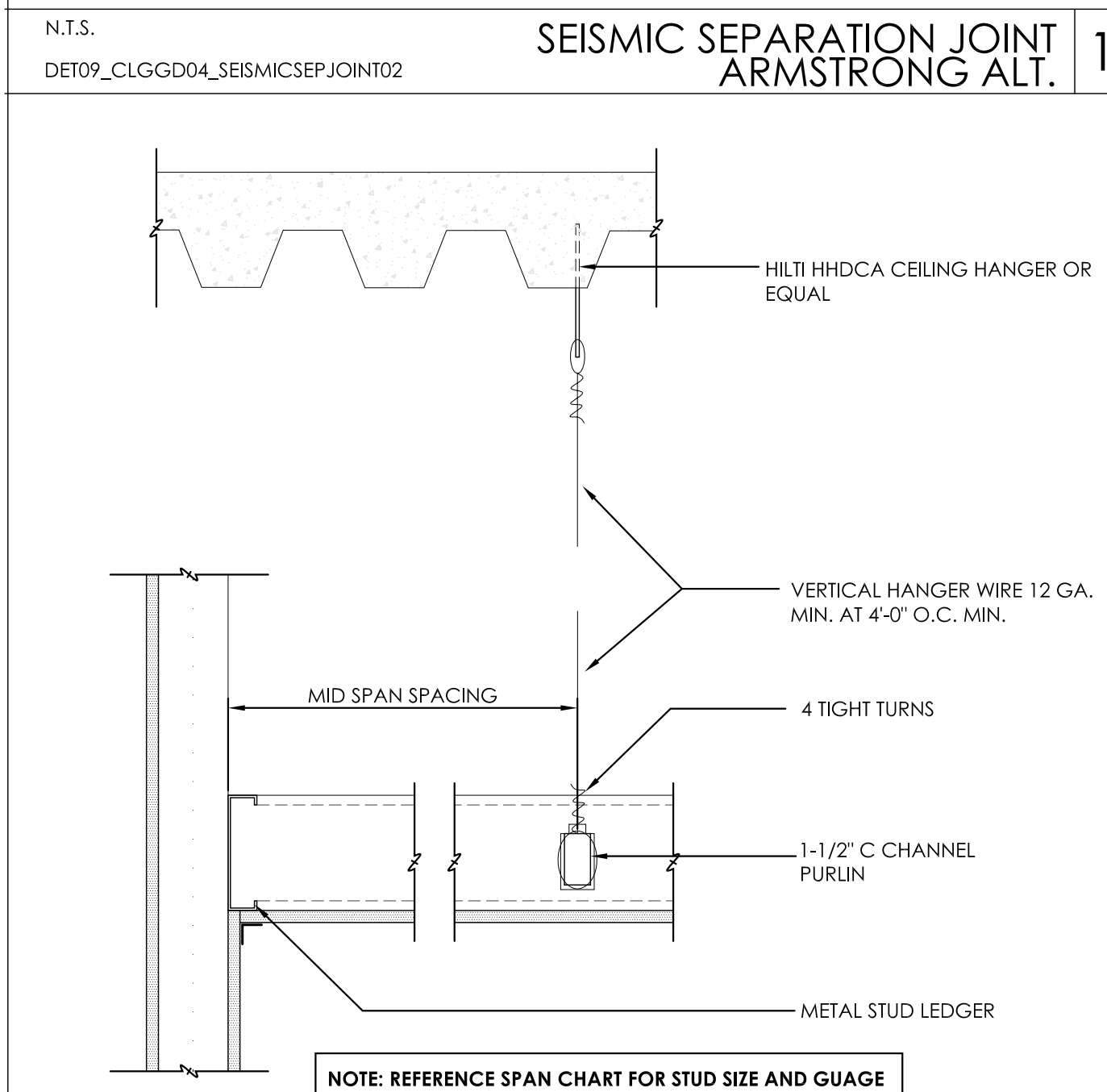
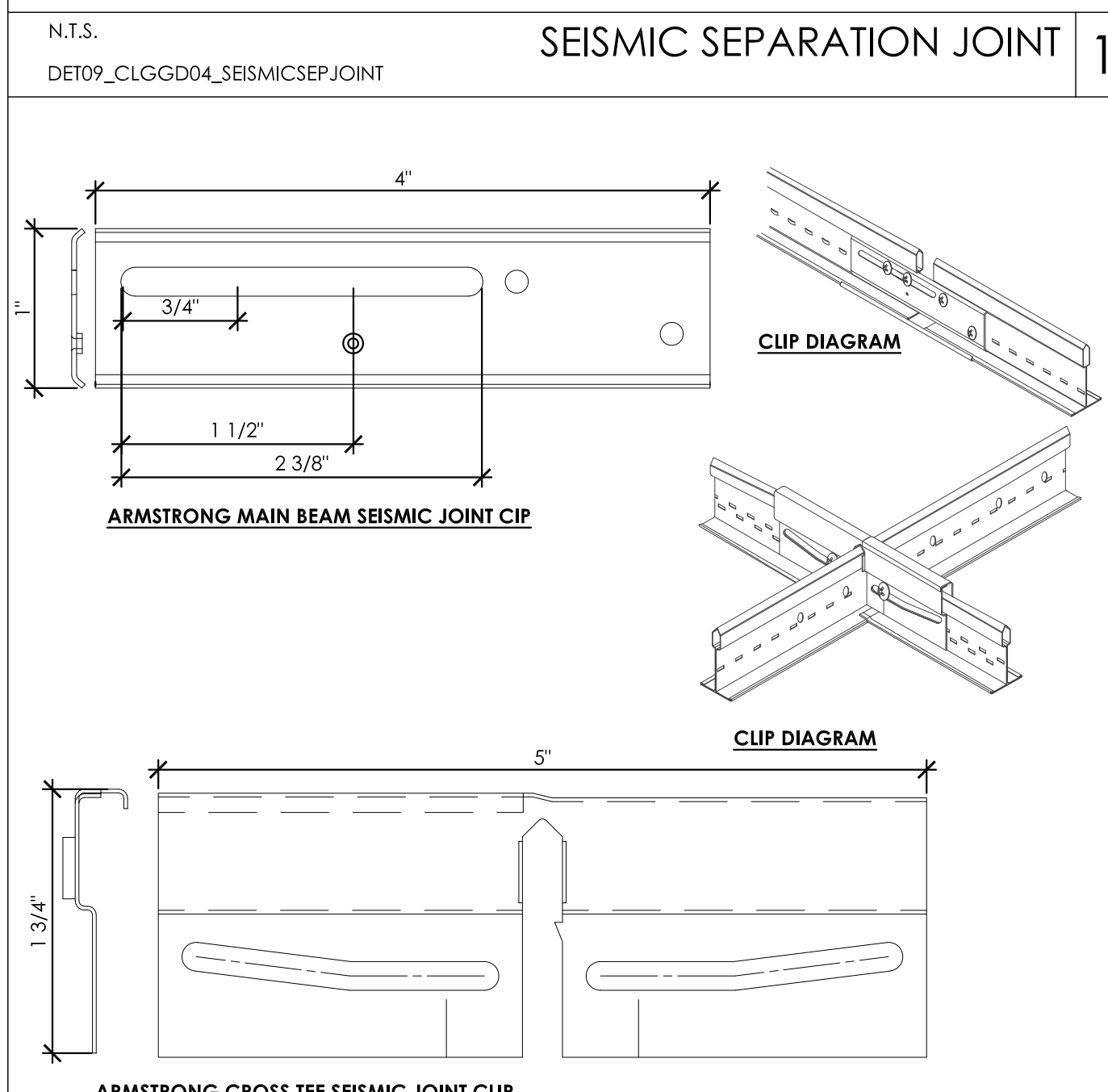
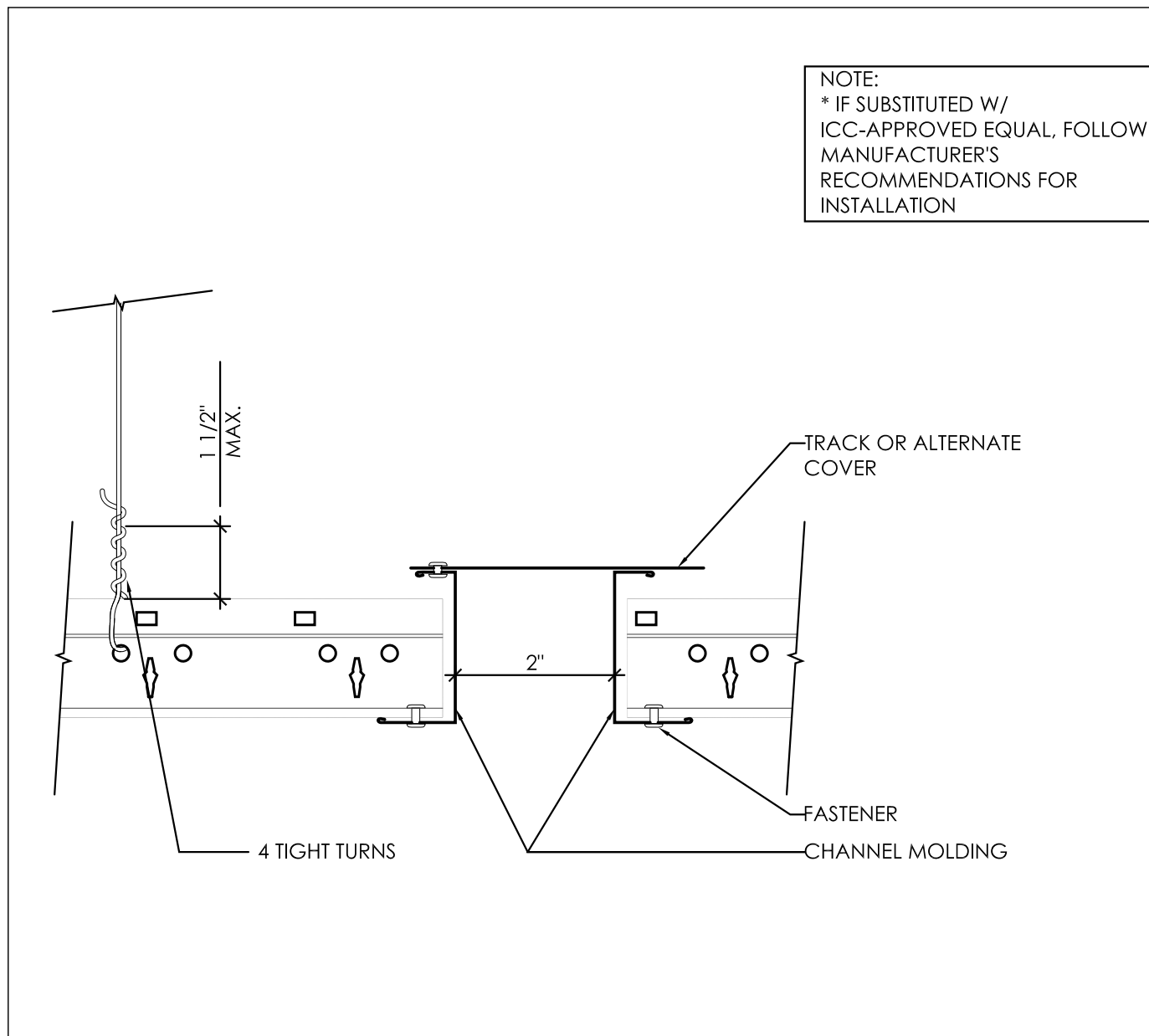
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DET07_MILL02_CASESECT01



SCALE: 1" = 1'-0"

DET07_RR03_COUNTERSECT01



- GENERAL NOTES FOR SUSPENDED ACOUSTICAL CEILING:**
- SUSPENDED ACOUSTICAL CEILING IN SEISMIC ZONES 3-4 AND FOR SEISMIC DESIGN CATEGORIES D, E AND F, MUST FOLLOW ASTM C636, ASCE 7 SECTION 13.5.6 AND EITHER THE CISCA GUIDELINES FOR AREAS SUBJECT TO SEVERE EARTHQUAKE RISK (ZONES 3-4) OR ASTM E580.
 - THESE NOTES ARE INTENDED FOR SUSPENDED CEILING INCLUDING GRID, PANEL OR TILE, LIGHT FIXTURES AND AIR TERMINALS WEIGHING NO MORE THAN 4 POUNDS PER SQUARE FOOT. (ASCE 7-10 SECTION 13.5.6.1 AND CBC 2019, 1615.10.13 SECTION 13.5.6.1).
 - CEILINGS CONSTRUCTED OF LATH AND PLASTER OR GYPSUM BOARD, SCREW OR NAIL ATTACHED TO SUSPENDED MEMBERS THAT SUPPORT A CEILING ON ONE LEVEL EXTENDING FROM WALL TO WALL SHALL BE EXEMPT FROM THE LATERAL FORCE BRACING REQUIREMENTS. (CISCA ZONES 3-4)
 - LATERAL FORCE BRACING IS THE USE OF VERTICAL STRUTS (COMPRESSION POSTS) AND SPRAY WIRES. SPRAY WIRE BRACING IS CLUSTERS OF FOUR WIRES ATTACHED TO THE MAIN RUNNER WITHIN TWO INCHES OF INTERSECTION WITH A CROSS RUNNER.
 - SEISMIC SPRAY WIRES ARE TO BE FOUR 12 GAUGE WIRES ATTACHED TO THE MAIN RUNNER. WIRES ARE ARRAYED 90° FROM EACH OTHER AND AT AN ANGLE NOT EXCEEDING 45° FROM THE PLANE OF CEILING. AT MAX. 12X12" O.C. RIGID BRACING MAY BE USED IN LIEU OF SPAY WIRES.
 - VERTICAL STRUTS MUST BE POSITIVELY ATTACHED TO THE SUSPENSION SYSTEMS AND STRUCTURE ABOVE.
 - VERTICAL STRUT MAXIMUM LENGTHS:
 - EMT CONDUIT
 - 1/2" EMT UP TO 5'-10"
 - 3/4" EMT UP TO 7'-8"
 - 1" EMT UP TO 9'-8"
 - METAL STUDS
 - SINGLE 1-5/8" METAL STUD (20 GAUGE) UP TO 12'-0"
 - BACK-TO-BACK 1-5/8" METAL STUD (20 GAUGE) UP TO 15'-0"
 - SINGLE 2-1/2" METAL STUD (20 GAUGE) UP TO 13'-6"
 - BACK-TO-BACK 2-1/2" METAL STUD (20 GAUGE) UP TO 15'-0"
 - ENGINEERING DESIGN IS REQUIRED WHEN STRUTS ARE MORE THAN 15 FEET IN LENGTH.
 - SUSPENDED CEILING WITH AREA GREATER THAN 1,000 SQUARE FEET MUST HORIZONTAL RESTRAINT OF THE CEILING TO THE STRUCTURAL SYSTEM (LATERAL FORCE BRACING).
 - LATERAL FORCE BRACING SHALL BE 12 FEET ON CENTER (MAXIMUM) AND BEGIN NO FURTHER THAN 6 FEET FROM WALLS. (CISCA ZONES 3-4)
 - SUSPENDED CEILING WITH AREA GREATER THAN 2,500 SQUARE FEET MUST HAVE SEISMIC SEPARATION JOINTS.
 - THE CEILING GRID SYSTEM MUST BE RATED HEAVY DUTY AS DEFINED BY ASTM C636.
 - A. SUSPENDED CEILING SYSTEMS WITH CEILING GRID LENGTHS OF 14 FEET OR LESS, BETWEEN LATERALLY BRACED WALLS CONNECTED DIRECTLY TO THE STRUCTURE ABOVE, DO NOT REQUIRE BRACING ASSEMBLIES WHEN ATTACHED TO TWO ADJACENT WALLS.
 - B. SUSPENDED CEILING SYSTEMS WITH CEILING GRID LENGTHS OF 20 FEET OR GREATER, SHALL BE LATERALLY BRACED.
 - C. SUSPENDED CEILING SYSTEMS WITH CEILING GRID LENGTHS FROM 14 FEET TO LESS THAN 20 FEET MUST HAVE ONE ROW OF SPRAY AND STRUT BRACING AT MID-LENGTH.
 - EXCEPTION: ROOMS OR HALLWAYS 10 FEET OR LESS IN WIDTH AND SURROUNDED BY BRACED WALLS.
 - MAIN AND CROSS RUNNERS MUST BE SUPPORTED WITHIN 8 INCHES OF EACH WALL WITH 12 GAUGE WIRE OR APPROVED WALL SUPPORT.
 - RIGID BRACING MAY BE USED INSTEAD OF DIAGONAL SPRAY WIRES. RIGID BRACING MUST LIMIT CEILING MOVEMENT TO LESS THAN 1/4" AT THE POINT OF ATTACHMENT TO THE STRUCTURE ABOVE SHOULD SUPPORT THE GREATER OF 200 POUNDS OR THE ACTUAL DESIGN LOAD WITH SAFETY FACTOR OF TWO.
 - WALL MOLDINGS (PERIMETER CLOSURE ANGLES) ARE REQUIRED TO HAVE A HORIZONTAL FLANGE 2 INCHES WIDE.
 - GRID MUST BE ATTACHED TO TWO ADJACENT WALLS (POP RIVETS OR APPROVED METHOD) AND OPPOSITE WALLS MUST HAVE A 1/4" CLEARANCE FROM THE WALL AND FREE TO SLIDE.
 - CEILINGS WITHOUT RIGID BRACING MUST HAVE A 2-INCH OVERSIZED TRIM RING FOR SPRINKLERS AND OTHER PENETRATIONS.
 - CHANGES IN THE CEILING PLANE MUST HAVE POSITIVE BRACING.
 - CABLE TRAYS AND ELECTRICAL CONDUITS MUST BE INDEPENDENTLY SUPPORTED AND BRACED.
 - PARTITIONS THAT ARE TIED TO THE CEILING AND ALL PARTITIONS GREATER THAN 6 FEET IN HEIGHT SHALL BE LATERALLY BRACED TO THE STRUCTURE. BRACING SHALL BE INDEPENDENT OF THE CEILING WIRE BRACING SYSTEM. (PER ASCE 7-05 SECTION 13.5.8.1)
 - VERTICAL HANGER WIRES ARE TO BE:
 - a. NOT MORE THAN 4 FEET ON CENTER;
 - b. MUST NOT HANG MORE THAN 1-6 OUT OF PLUMB;
 - c. TIED WITH FOUR TIGHT TURNS AROUND ITSELF WITHIN ONE AND A HALF INCHES.
 - SPREADER (SPACER) BARS SHALL BE USED TO PREVENT THE ENDS OF THE MAIN BEAMS AND CROSS TEES AT PERIMETER WALLS FROM SPREADING OPEN DURING SEISMIC EVENT. PERIMETER WIRES SHALL NOT BE IN LIEU OF SPREADER BARS.
 - SPREADER BARS ARE NOT REQUIRED AT PERIMETERS WHERE RUNNERS ARE ATTACHED DIRECTLY TO CLOSURE ANGLES.
 - WIRE TYING IS AN ACCEPTABLE ALTERNATIVE TO SPREADER BARS.
 - SPREADER BARS ARE NOT REQUIRED IF A 90 DEGREE INTERSECTING CROSS OR MAIN RUNNER IS WITHIN 8 INCHES OF THE PERIMETER WALL.
 - PENDANT MOUNTED FIXTURES SHALL BE DIRECTLY SUPPORTED FROM THE STRUCTURE ABOVE USING A 9 GAUGE WIRE OR AN APPROVED ALTERNATIVE SUPPORT. THEY MAY NOT USE THE CEILING SUSPENSION SYSTEM FOR SUPPORT.
 - LIGHT FIXTURES MUST BE POSITIVELY ATTACHED TO THE SUSPENDED SYSTEM. ATTACHED DEVICE MUST BE ABLE TO WITHSTAND 100% OF THE FIXTURE WEIGHT.
 - IF LIGHT FIXTURE IS 56 POUNDS OR LESS, MUST HAVE TWO 12-GAUGE WIRES ATTACHED AT DIAGONAL CORNERS. IF MORE THAN 56 POUNDS, MUST BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE. SEE DETAIL 15A8.1.
 - MECHANICAL TERMINALS OR SERVICES WEIGHING 56 POUNDS OR LESS MUST HAVE TWO 12-GAUGE WIRES ATTACHED AT DIAGONAL CORNERS. IF MORE THAN 56 POUNDS, MUST BE INDEPENDENTLY SUPPORTED FROM THE BUILDING STRUCTURE.
 - PROVIDE TRAPEZE OR OTHER SUPPLEMENTARY SUPPORT MEMBERS AT OBSTRUCTIONS TO MAIN HANGER SPACING. SEE DETAIL 16A8.1
 - PRIOR TO COMMENCING CEILING WORK THE CEILING CONTRACTOR AND OTHER CONTRACTORS WHOSE WORK IS RELATED TO THE CEILING INSTALLATION SHALL DESIGNATE AREAS OF POTENTIAL INTERFERENCE BETWEEN REQUIRED CEILING SUSPENSION COMPONENTS AND COMPONENTS OF OTHER TRADES.
 - UNLESS JUSTIFIED BY ENGINEERING CALCULATION, THE SUSPENDED CEILING SYSTEM SHALL BE ATTACHED TO 2X6 MINIMUM ROOF RAFTERS HAVING A MAXIMUM SPAN OF 8 FEET.
 - WHEN AN EXISTING CEILING IS ALTERED AND THE EXISTING CEILING IS NOT SEISMICALLY BRACED, THE AREA OF ALTERATION MUST BE BROUGHT UP TO CURRENT BRACING STANDARDS. A CEILING IS ALTERED WHEN THE GRID OF FRAMING IS ALTERED.

THICKNESS TABLE

DESIGNATION	THICKNESS	DESIGN GAUGE NO.	REFERENCE
18	0.0188	25	4 PSF
27	0.0283	22	W/ MIDSPAN SUPPORT
33	0.0346	20	
43	0.0451	18	
54	0.0538	16	

INTERIOR ALLOWABLE CEILING OR SOFFIT SPANS

STUD MEMBER	STUD WIDTH	SPACING	4 PSF (1 LAYER GWB) L/240	4 PSF (1 LAYER GWB W/ MIDSPAN SUPPORT) L/240
3625125-18	3-5/8"	12	9'-3"	12'-8"
		16	8'-7"	11'-7"
		24	7'-7"	10'-0"
		12	10'-8"	15'-0"
		16	9'-10"	13'-11"
		24	8'-10"	12'-4"
3625125-27	3-5/8"	12	11'-5"	16'-2"
		16	10'-7"	14'-10"
		24	9'-5"	13'-3"
		12	12'-8"	17'-9"
		16	11'-8"	16'-5"
		24	10'-5"	14'-8"
6005125-27	6"	12	12'-5"	17'-11"
		16	11'-6"	16'-6"
		24	10'-4"	14'-9"
		12	13'-2"	18'-11"
		16	12'-3"	17'-7"
		24	11'-0"	15'-10"
6005125-33	6"	12	14'-6"	20'-6"
		16	13'-4"	19'-0"
		24	11'-11"	17'-0"

THICKNESS TABLE

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3625125-18	3-5/8"	12	9'-3"	12'-8"
		16	8'-7"	11'-7"
		24	7'-7"	10'-0"
		12	10'-8"	15'-0"
		16	9'-10"	13'-11"
		24	8'-10"	12'-4"
3625125-27	3-5/8"	12	11'-5"	16'-2"
		16	10'-7"	14'-10"
		24	9'-5"	13'-3"
		12	12'-8"	17'-9"
		16	11'-8"	16'-5"
		24	10'-5"	14'-8"
6005125-27	6"	12	12'-5"	17'-11"
		16	11'-6"	16'-6"
		24	10'-4"	14'-9"
		12	13'-2"	18'-11"
		16	12'-3"	17'-7"
		24	11'-0"	15'-10"
6005125-33	6"	12	14'-6"	20'-6"
		16	13'-4"	19'-0"
		24	11'-11"	17'-0"

GENERAL NOTES:

- "V" DENOTES WEB SPANNERS ARE REQUIRED AT ENDS.
- METAL STUDS STUD SIZES AND GAUGES CALLED FOR ARE MINIMUM. CONSULT WITH STUD MANUFACTURER REQUIREMENTS FOR SPANS AND LOADS.
- SEE INTERIOR ELEVATIONS AND FINISH PLAN FOR EXTENT OF FINISH.
- PRECAST CONSTRUCTION: CONSTRUCT PRECAST CEILING IN COMPLIANCE WITH THE BRACING REQUIREMENTS. INSTALL PRECAST BRACING AND THE BRACING CONFORMANCE TO CODE REQUIREMENTS.

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EXTERIOR IMPROVEMENT
600 SERRAMONTE BLVD
COLMA, CA 94014

PUBLISHED SETS	
REV.	DESCRIPTION
02.14.22	RESUBMITTAL 1
03.02.22	RESUBMITTAL 2
03.15.22	RESUBMITTAL 3
03.21.22	RESUBMITTAL 4
08.09.22	PLANNING SUBMITTAL
09.02.22	PLANNING RE-SUBMITTAL
09.12.22	BUILDING SUBMITTAL
03.09.23	PLANNING SUBMITTAL
04.21.23	BUILDING SUBMITTAL
06.16.23	PLANNING RESUBMITTAL

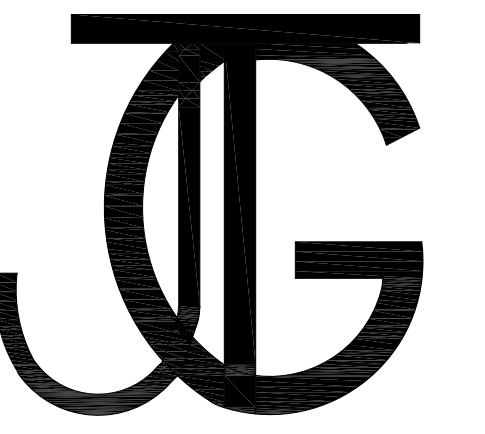
PL2023-005 & B2023-0043

APPROVAL STAMP

CEILING DETAILS

DATE	SCALE
06.1.21	SEE DETAIL
DRAWN BY JTG	PROJECT NUMBER 21001-1

A8.1



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PUBLISHED SETS

REV.	DATE	DESCRIPTION
02.14.22	RESUBMITTAL 1	
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03.21.22	RESUBMITTAL 4	
08.09.22	PLANNING SUBMITTAL	
09.02.22	PLANNING RE-SUBMITTAL	
09.12.22	BUILDING SUBMITTAL	
03.09.23	PLANNING SUBMITTAL	
04.21.23	BUILDING SUBMITTAL	
06.16.23	PLANNING RESUBMITTAL	

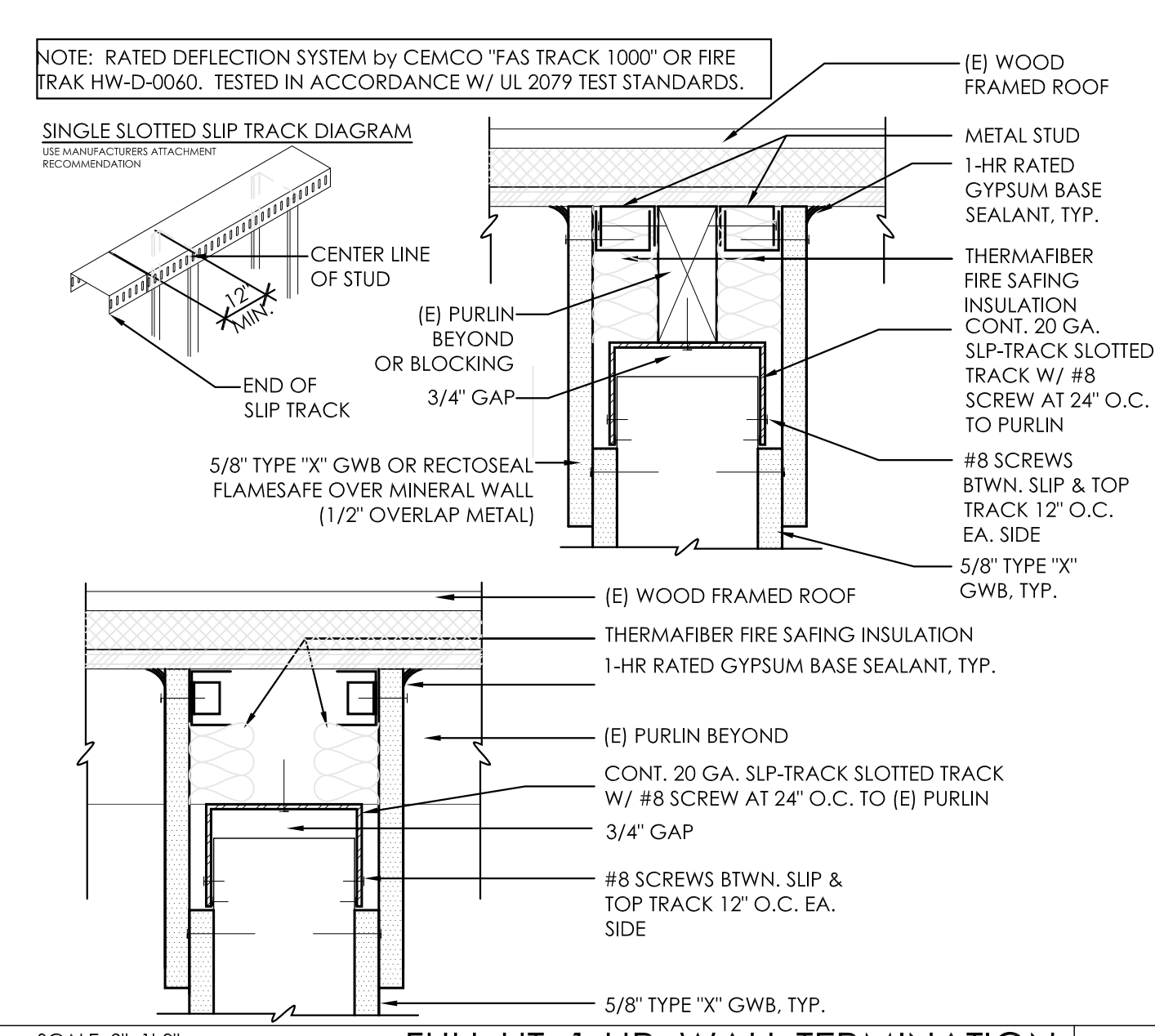
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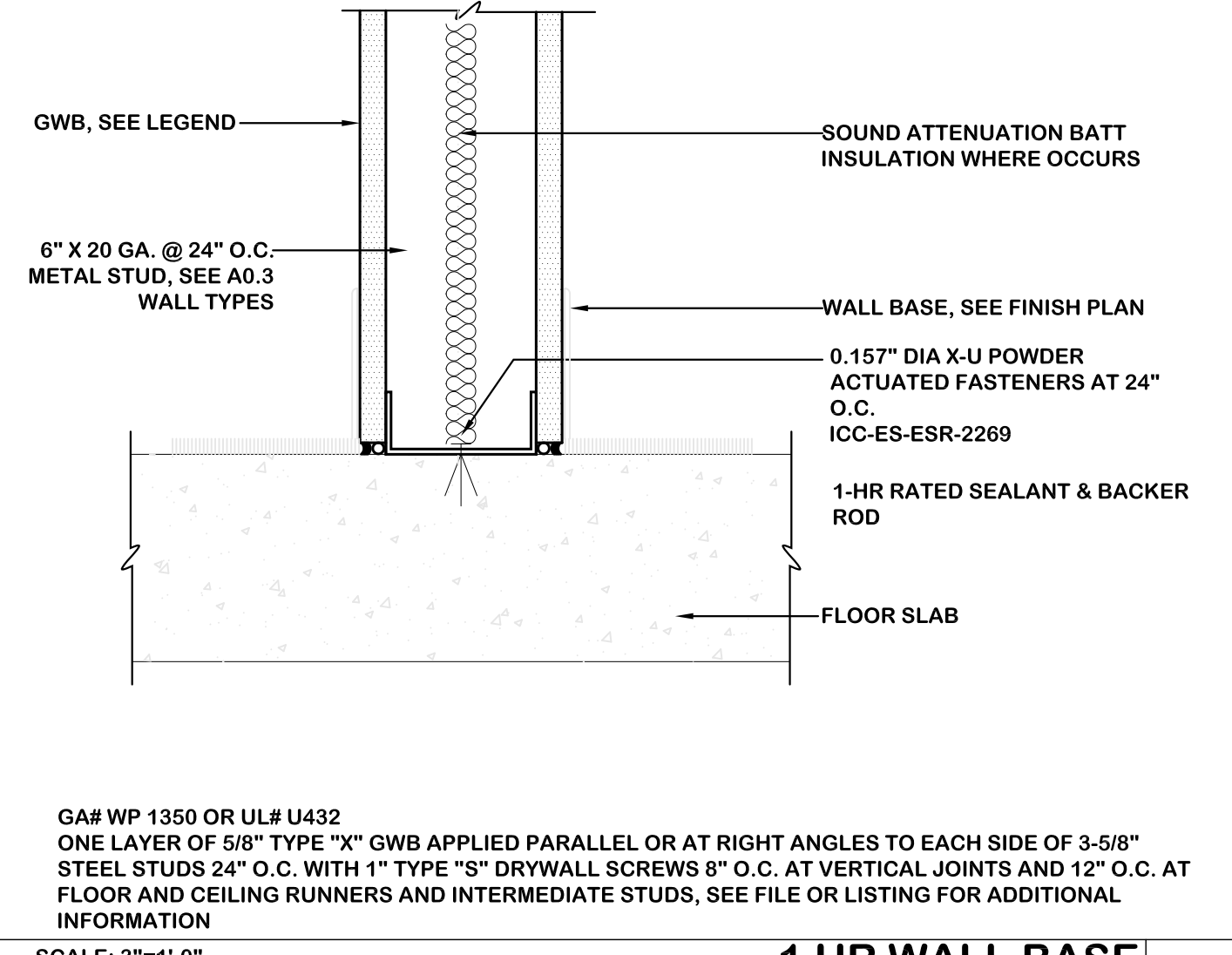
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DRAWN BY	PROJECT NUMBER
JTG	21001-1

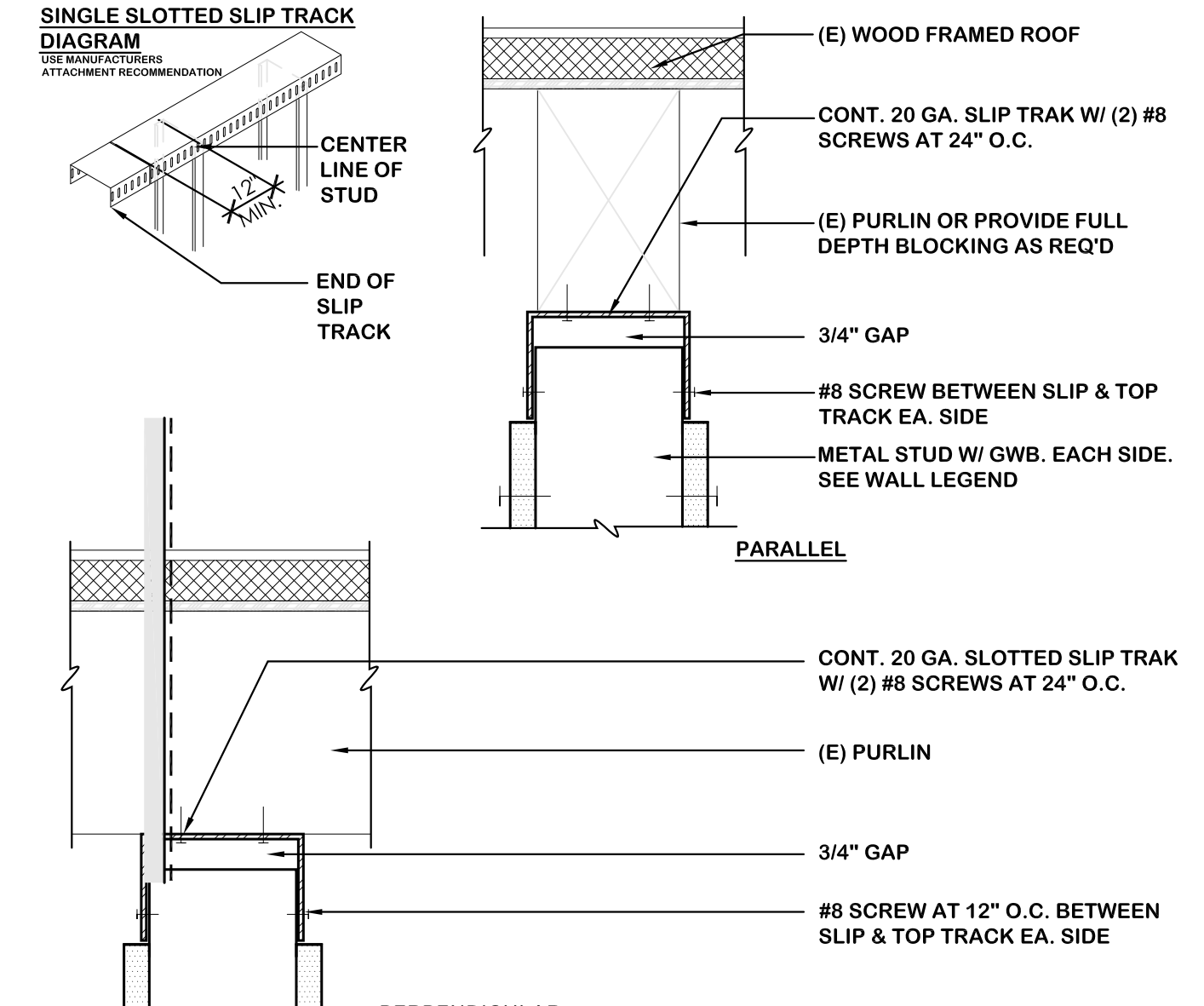
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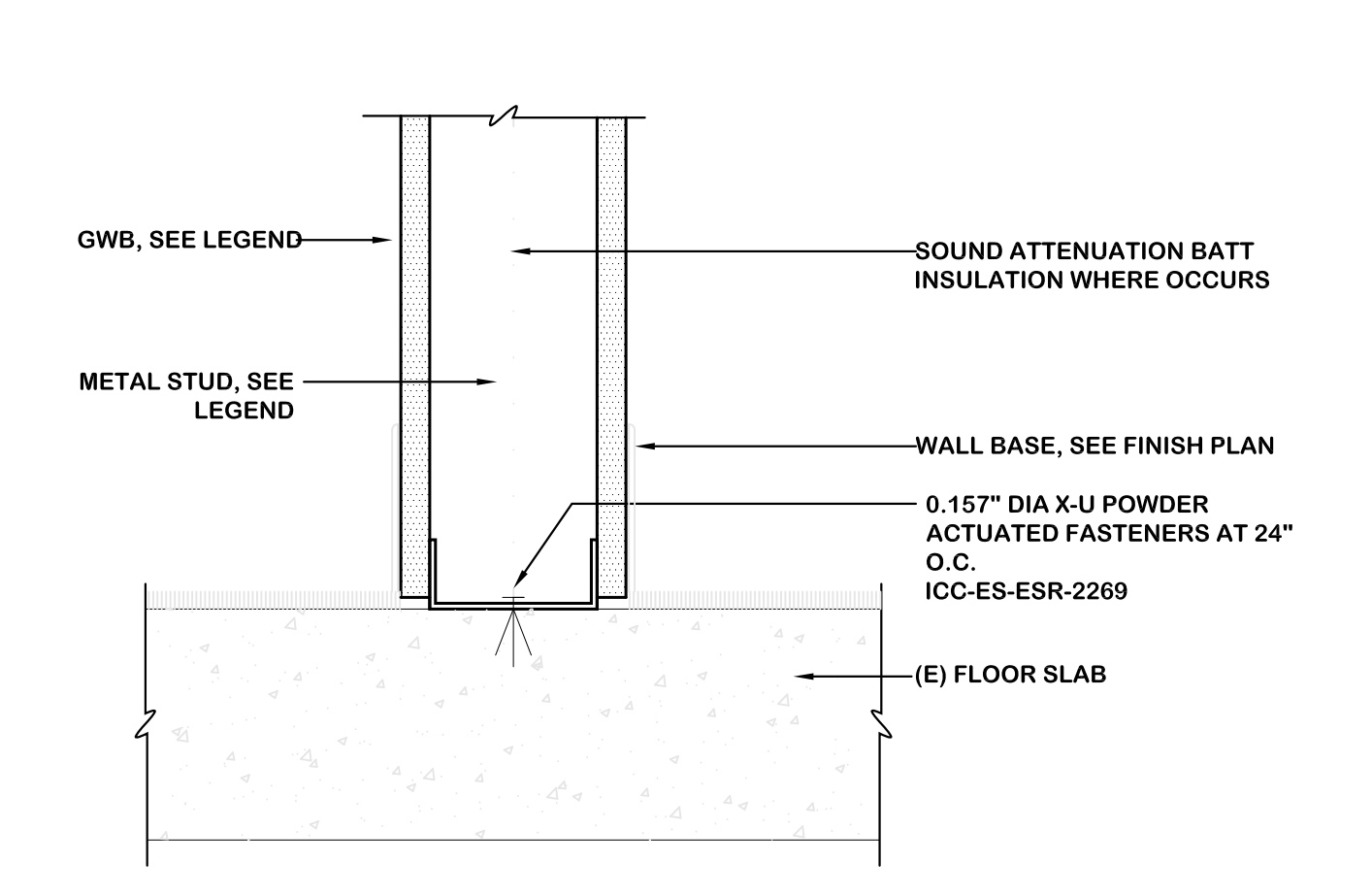
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DET03_INT02_HEAD16 **FULL HT. 1-HR. WALL TERMINATION TO WOOD FRAMED STRUCTURE 1**



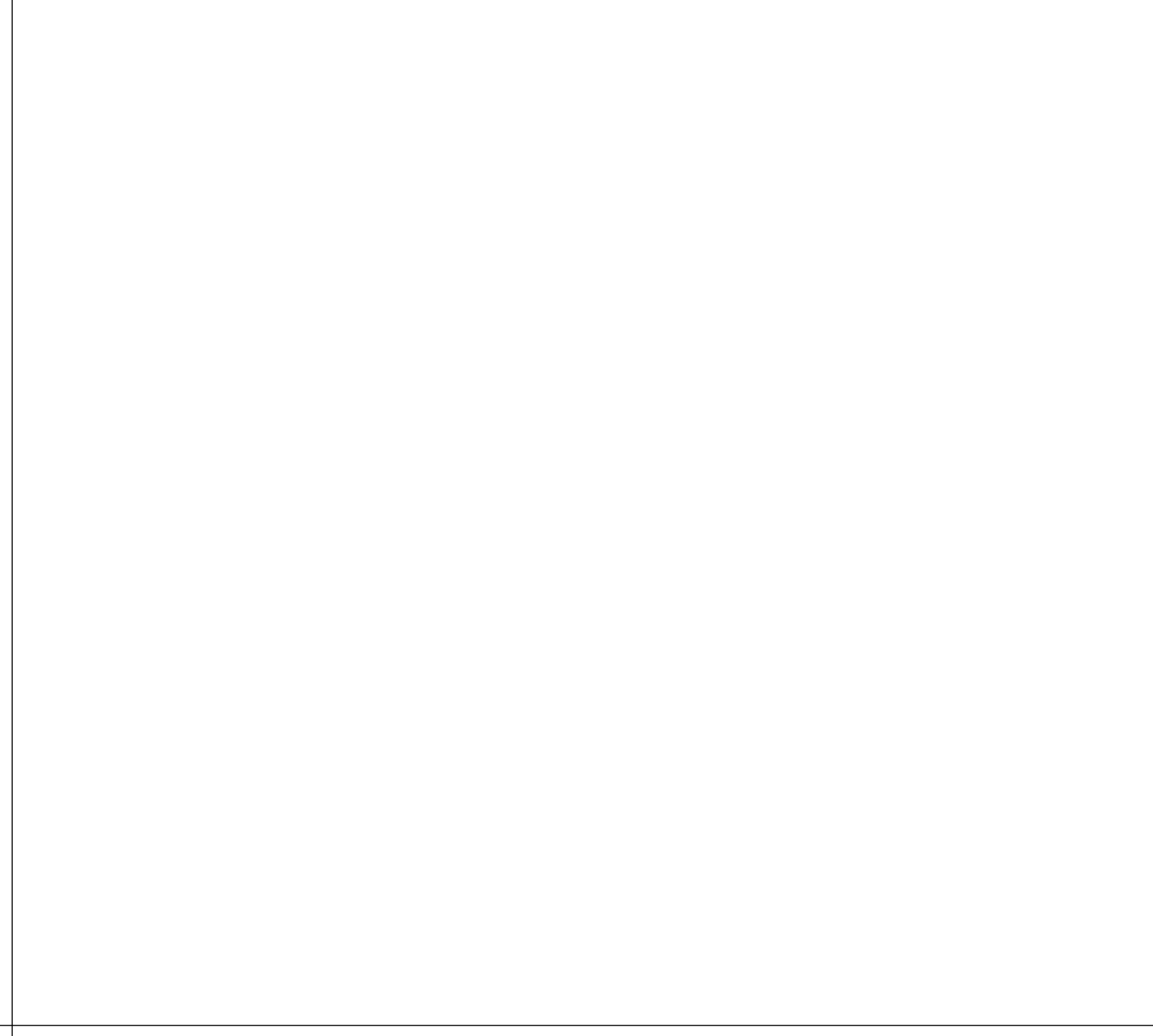
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DET03_INT02_SILL02 **1 HR WALL BASE METAL STUD TO CONCRETE SLAB 2**



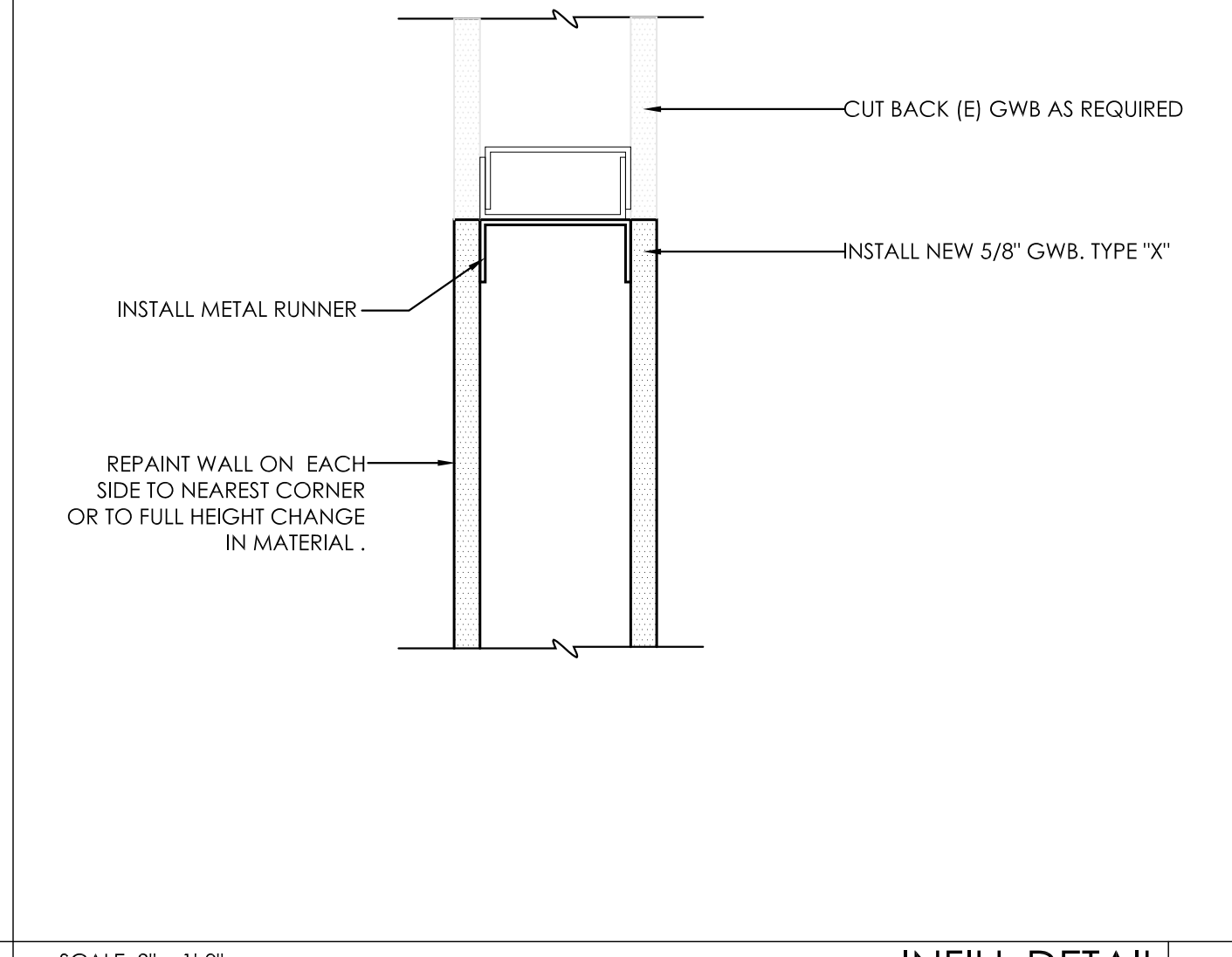
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DET03_INT02_HEAD13 **FULL HEIGHT WALL TERMINATION AT WOOD FRAMED STRUCTURE 3**



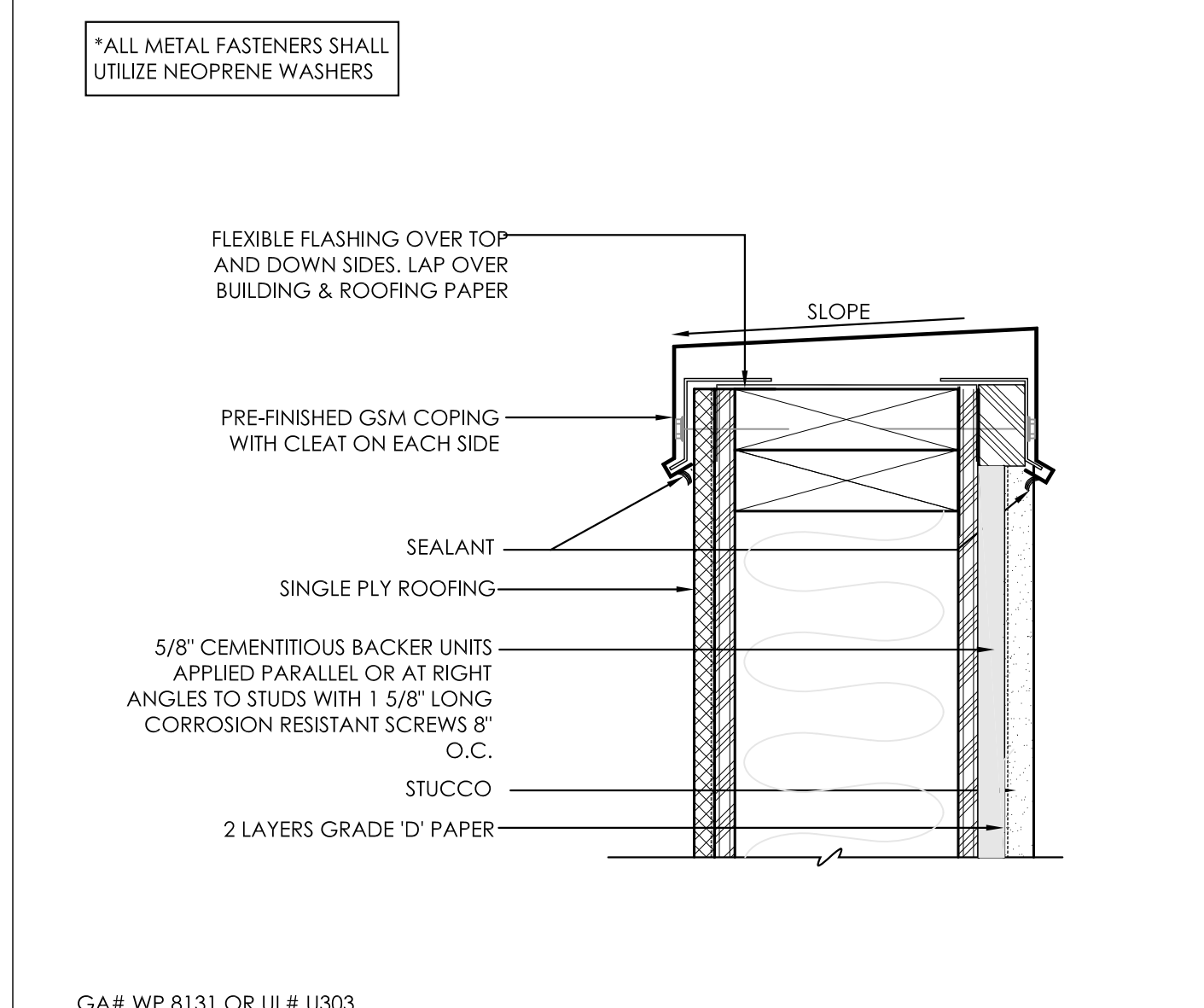
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DET03_INT02_SILL01 **WALL BASE METAL STUD TO CONCRETE SLAB 4**



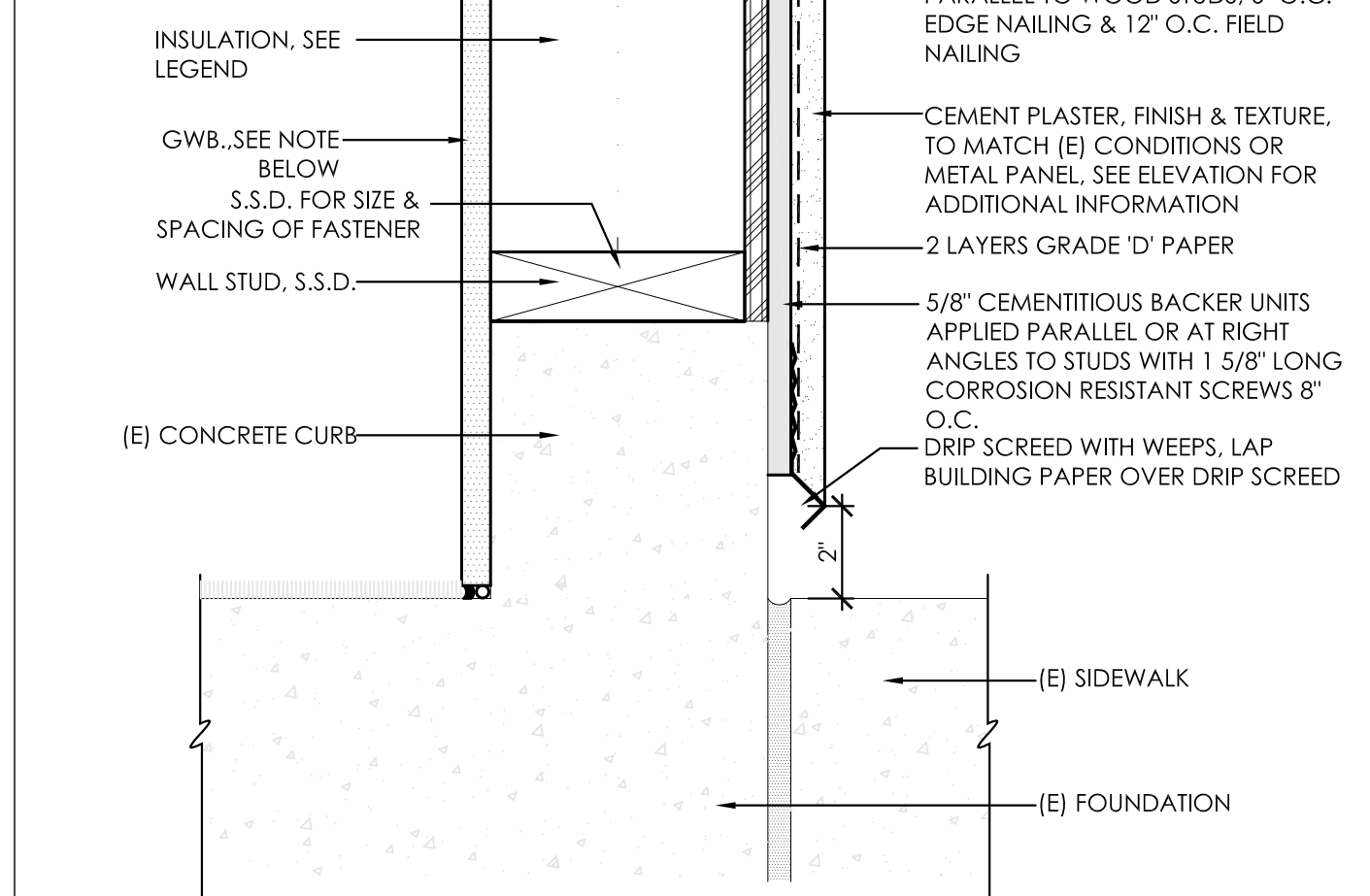
SCALE: 3"=1'-0"
DET08_MBN01_TPO01 **TPO SINGLE PLY ROOFING 9**



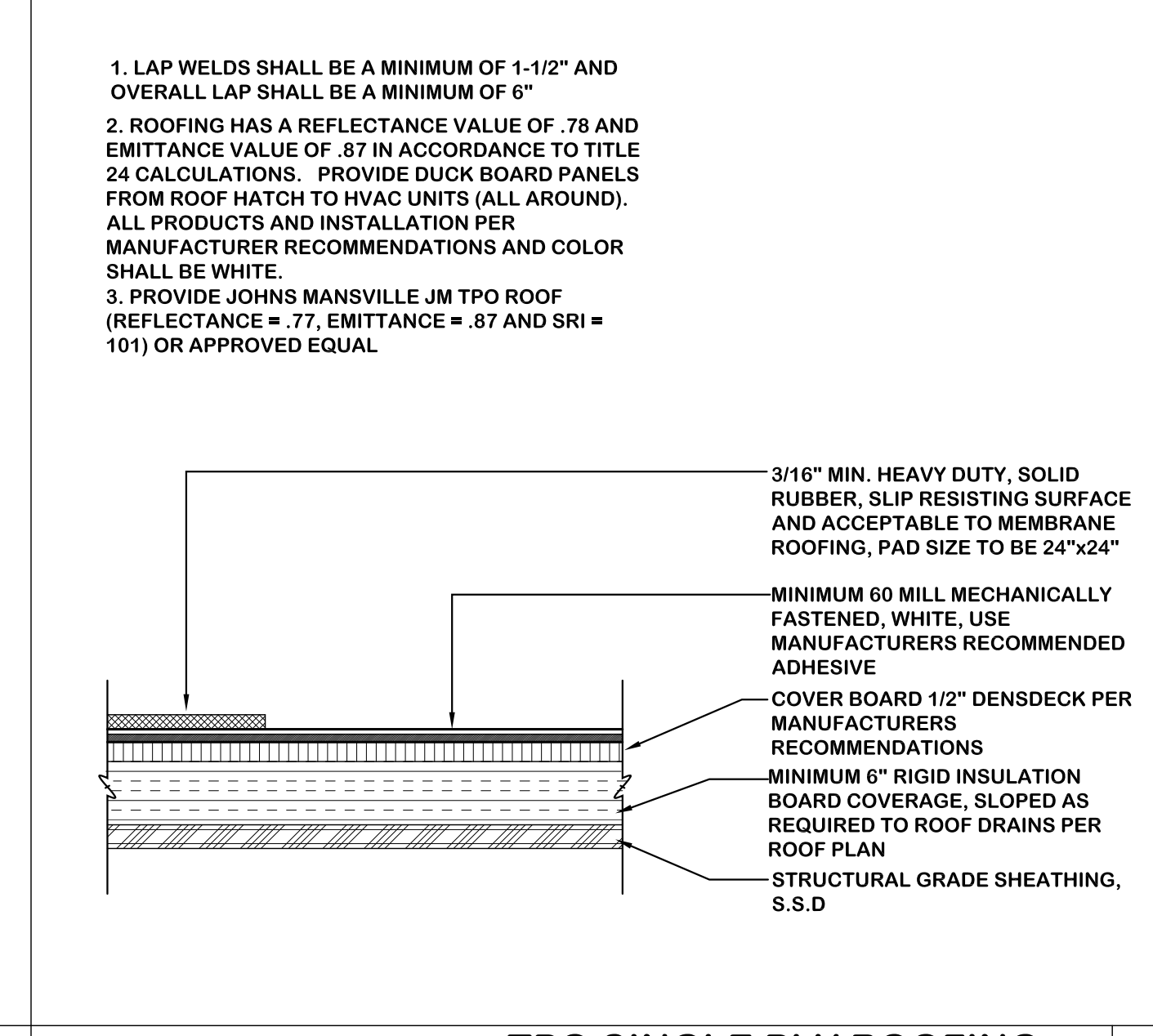
SCALE: 3"=1'-0"
DET03_INT02_HEAD27 **ROOF DRAIN & OVERFLOW 10**



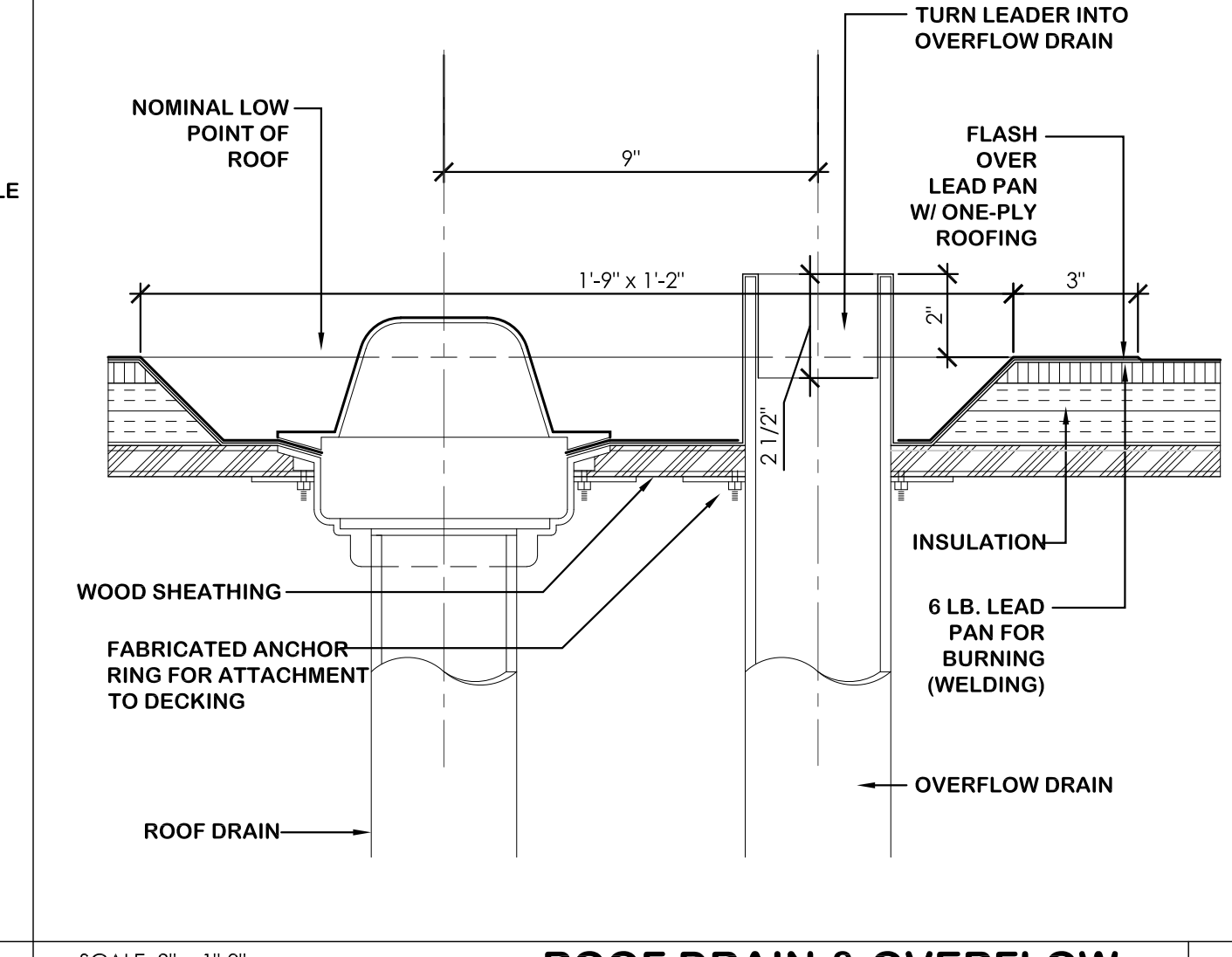
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DET08_CPG04_COPING05 **1 HOUR RATED PARAPET COPING 7**



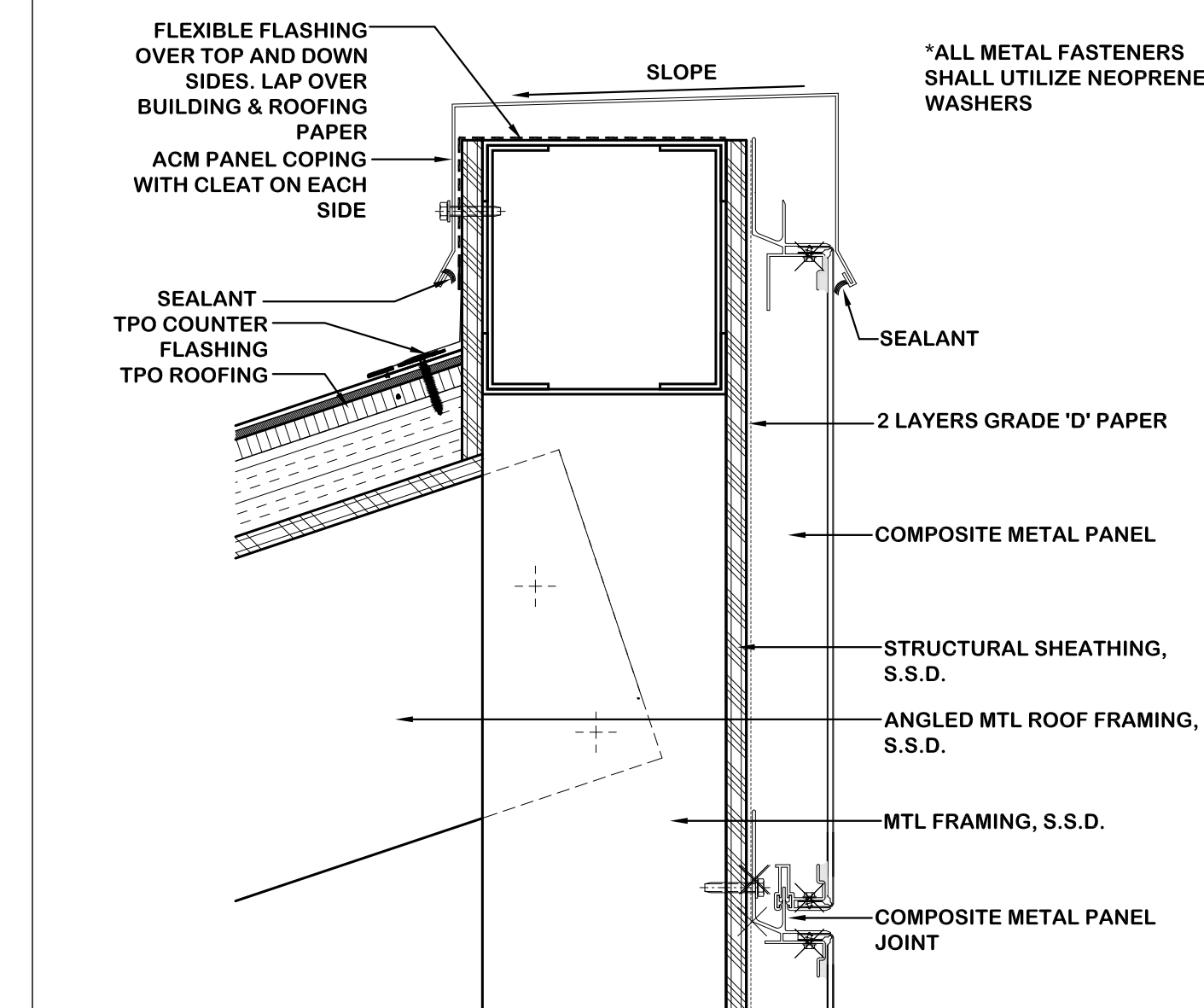
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DET03_EXH04_SILL07 **EXTERIOR WALL BASE - 1 HR WOOD STUD TO CONCRETE CURB 8**



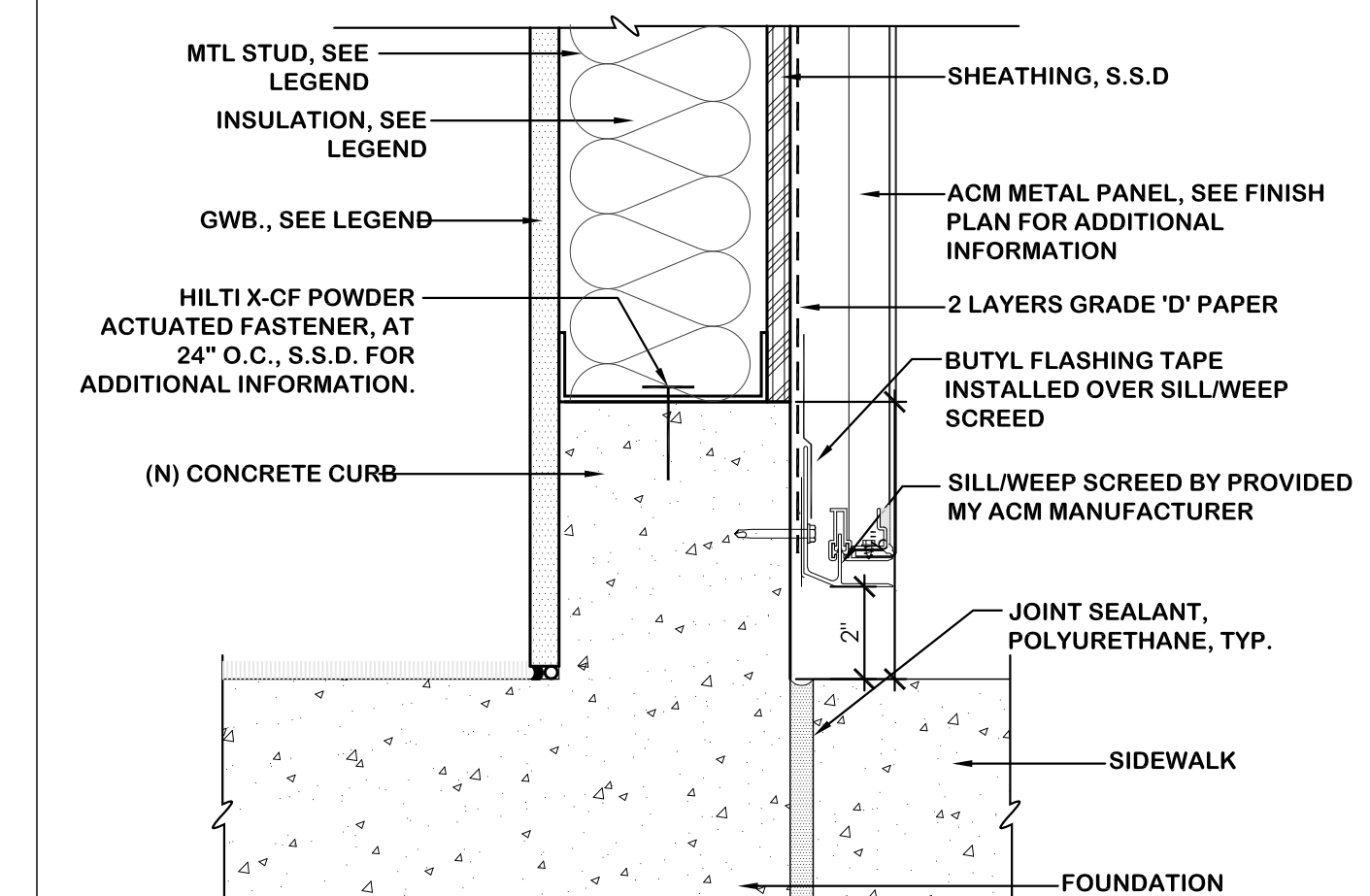
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DET04_EXT02_HDR01 **HM DOOR HEADER EXTERIOR DOOR 17**



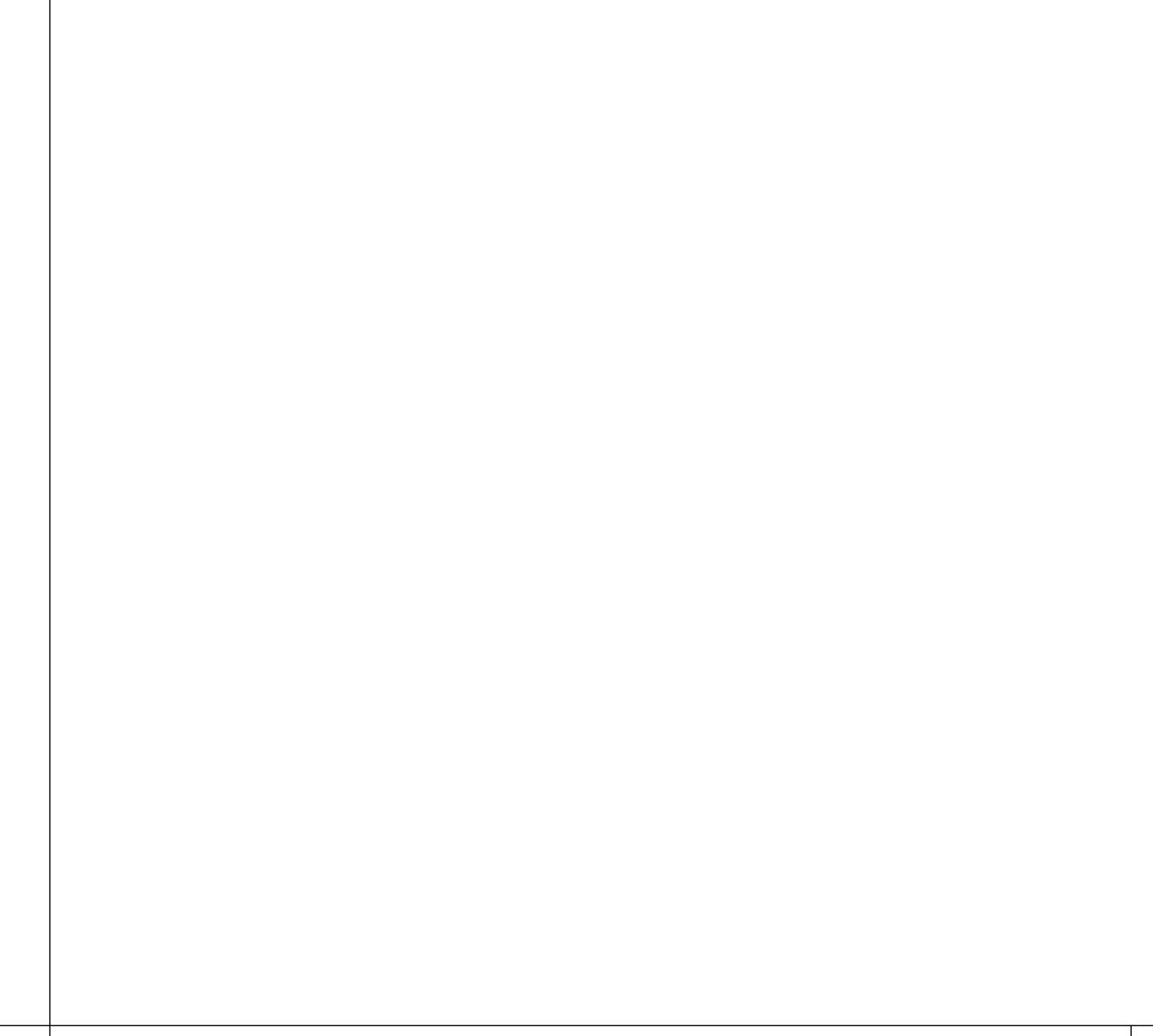
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DET04_INT01_FRM01 **DOOR ANCHORAGE 14**



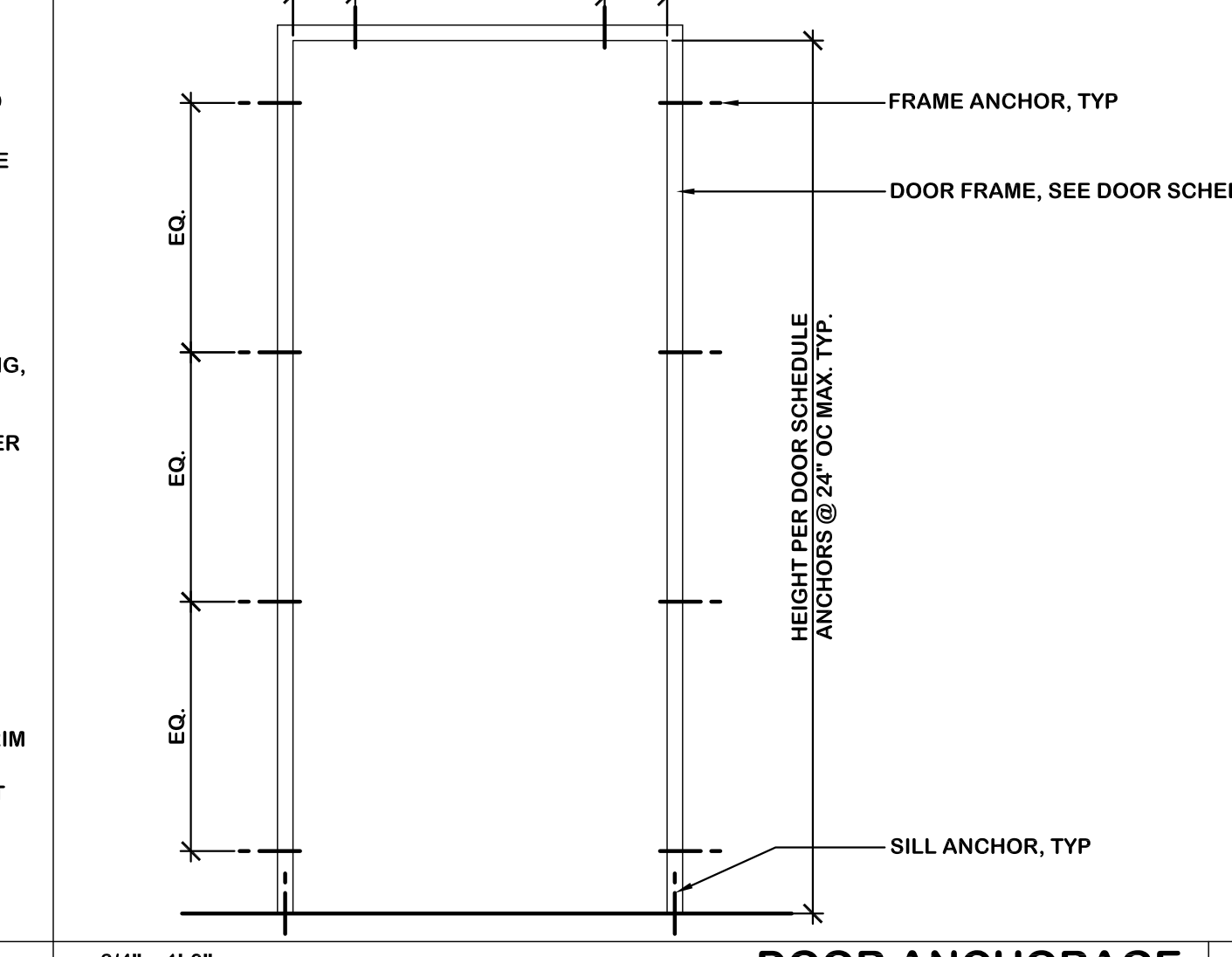
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DET08_CPG04_COPING03 **PARAPET COPING 15**



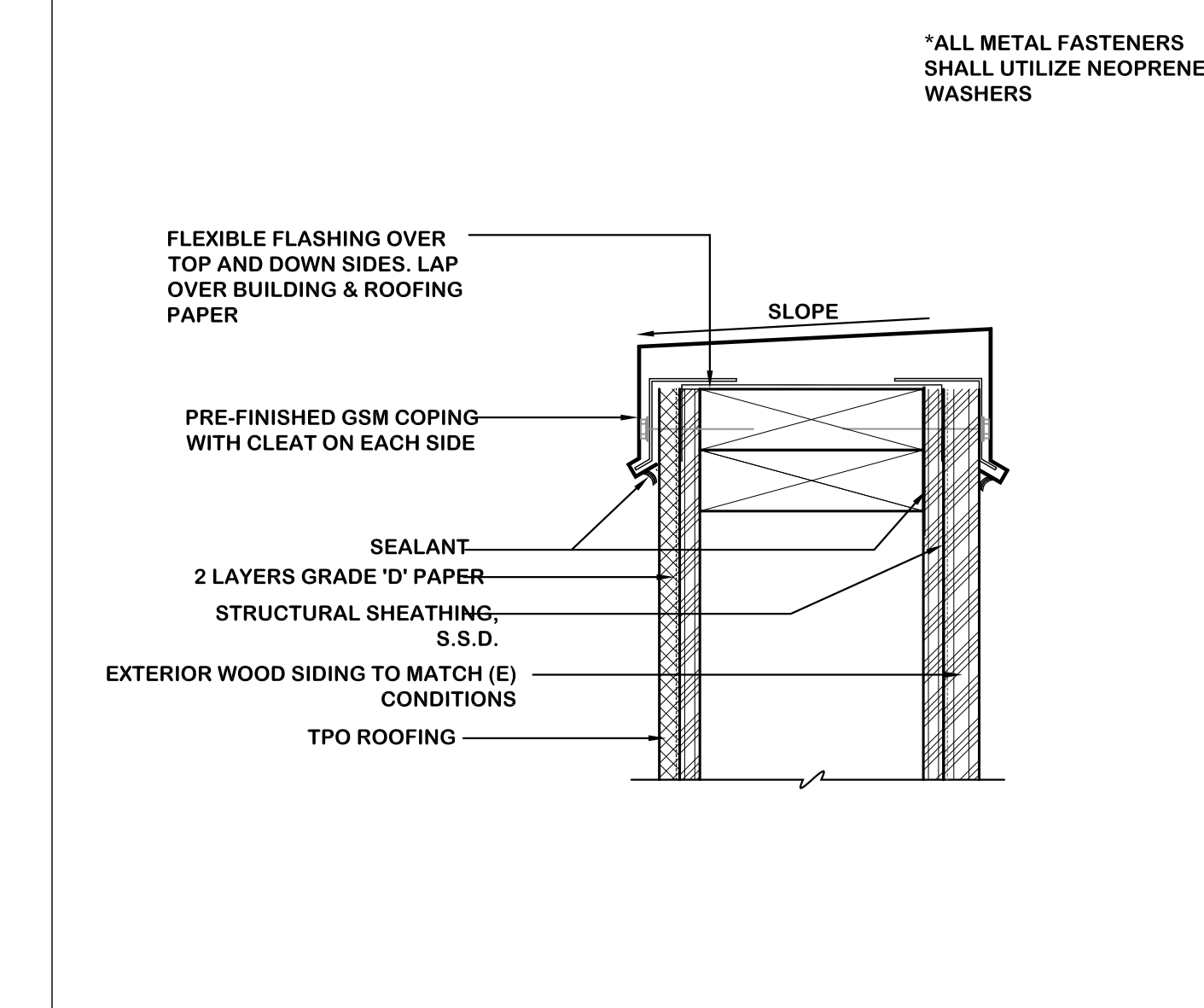
SCALE: 3/8"=1'-0"
DET03_EXH04_SILL06 **EXTERIOR WALL BASE MTL STUD TO CONCRETE CURB 16**



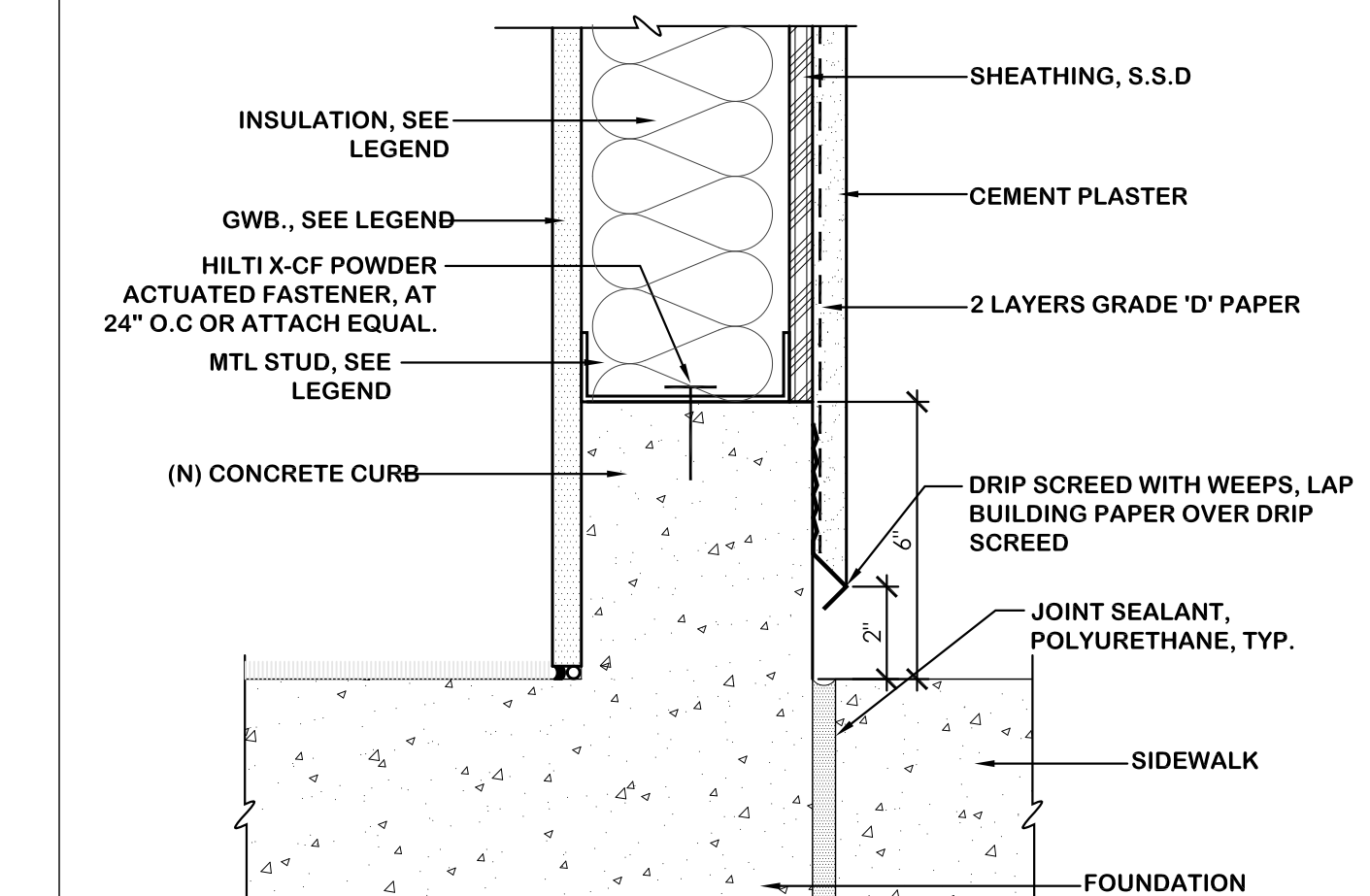
SCALE: 3"=1'-0"
DET04_NONTYE03_OVRH002 **ROLL-UP DOOR WALL MOUNTED 18**



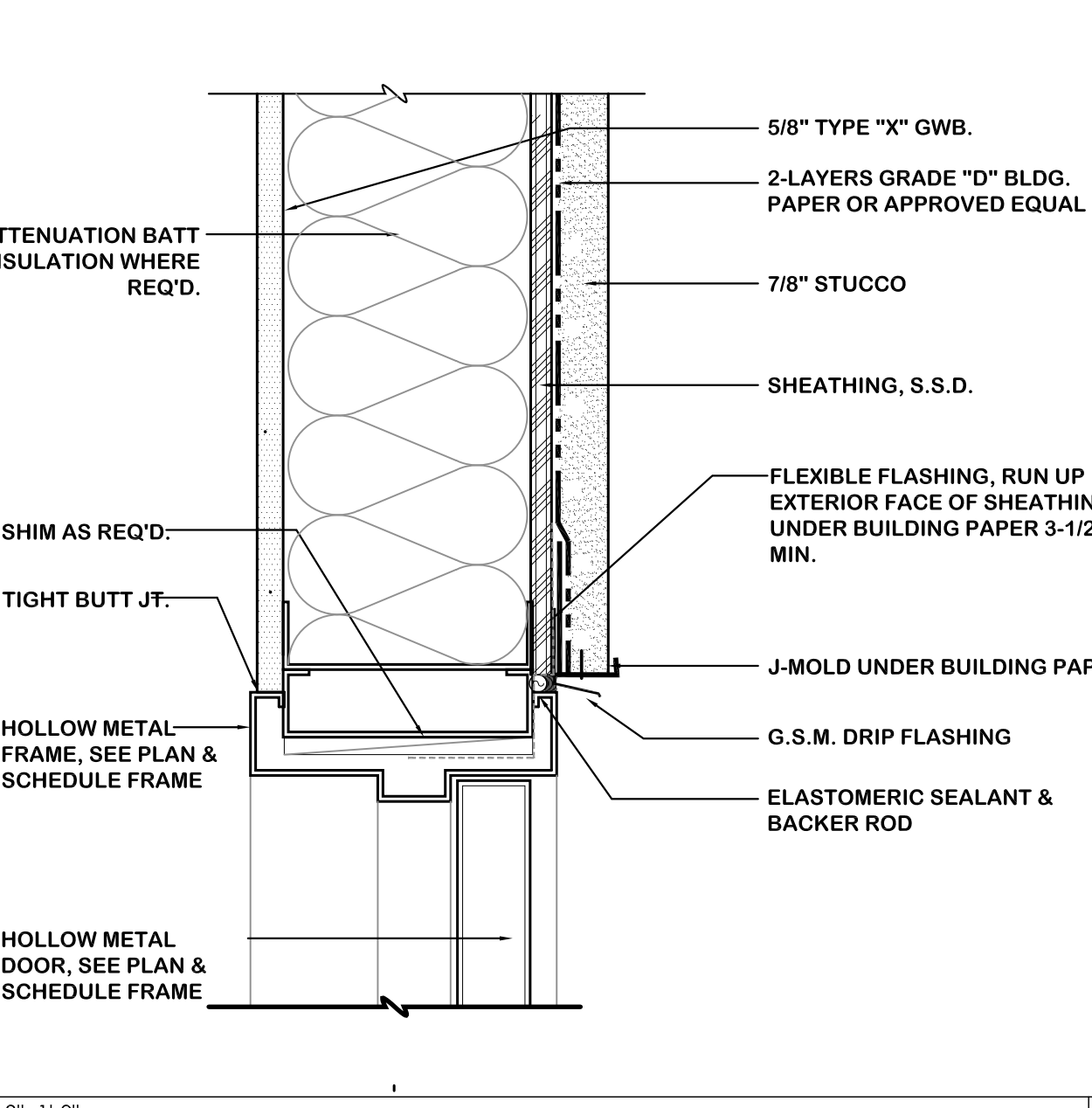
SCALE: 3"=1'-0"
DET04_EXT02_THRSHLD02 **STOREFRONT DOOR THRESHOLD 19**



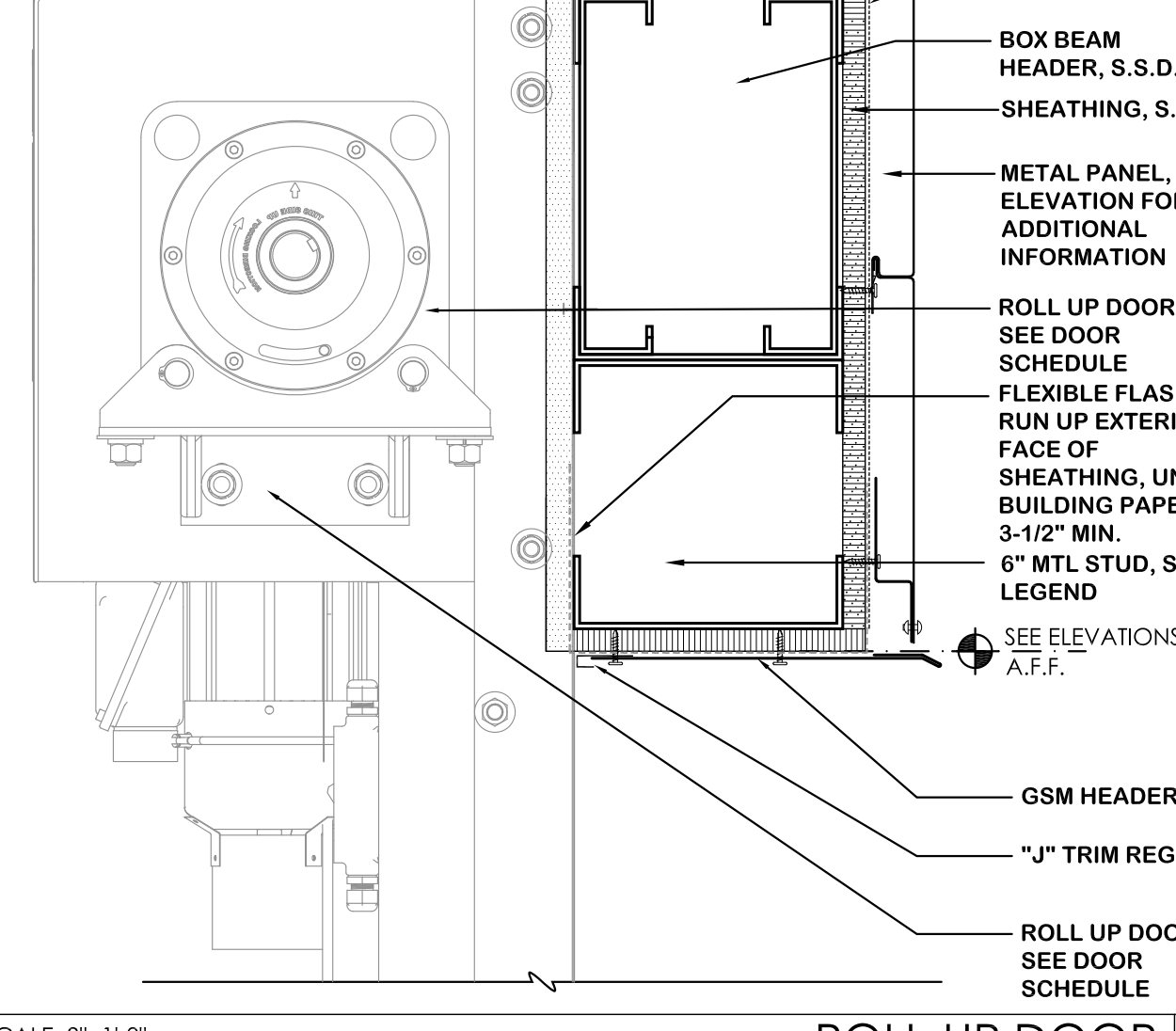
SCALE: 3"=1'-0"
DET06_EXT02_ALUM05 **EXTERIOR FRONT LOADED STOREFRONT CONCRETE WOOD FRAMED 20**



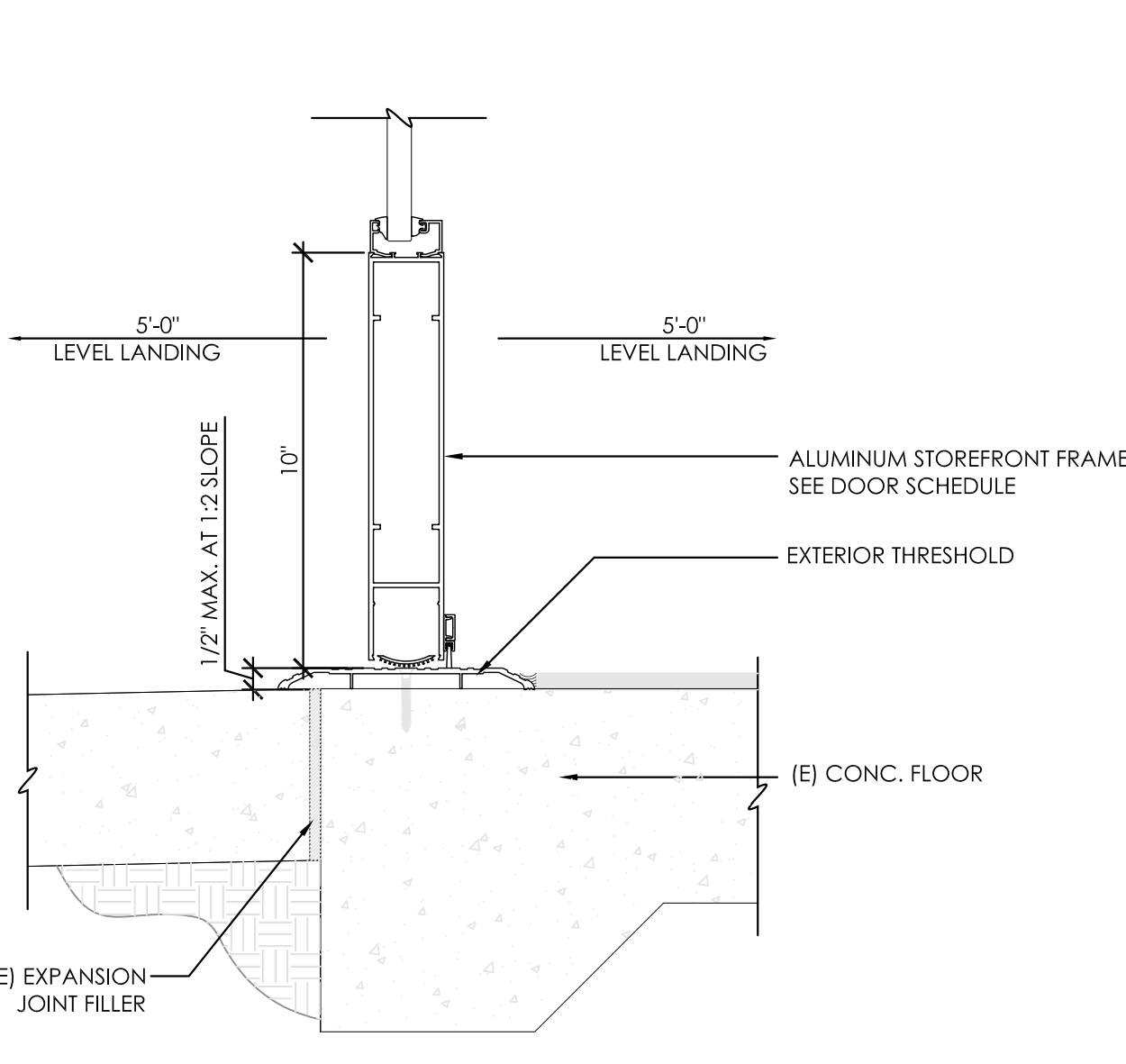
SCALE: 3/8"=1'-0"
DET03_EXH04_SILL06 **EXTERIOR WALL BASE MTL STUD TO CONCRETE CURB 16**



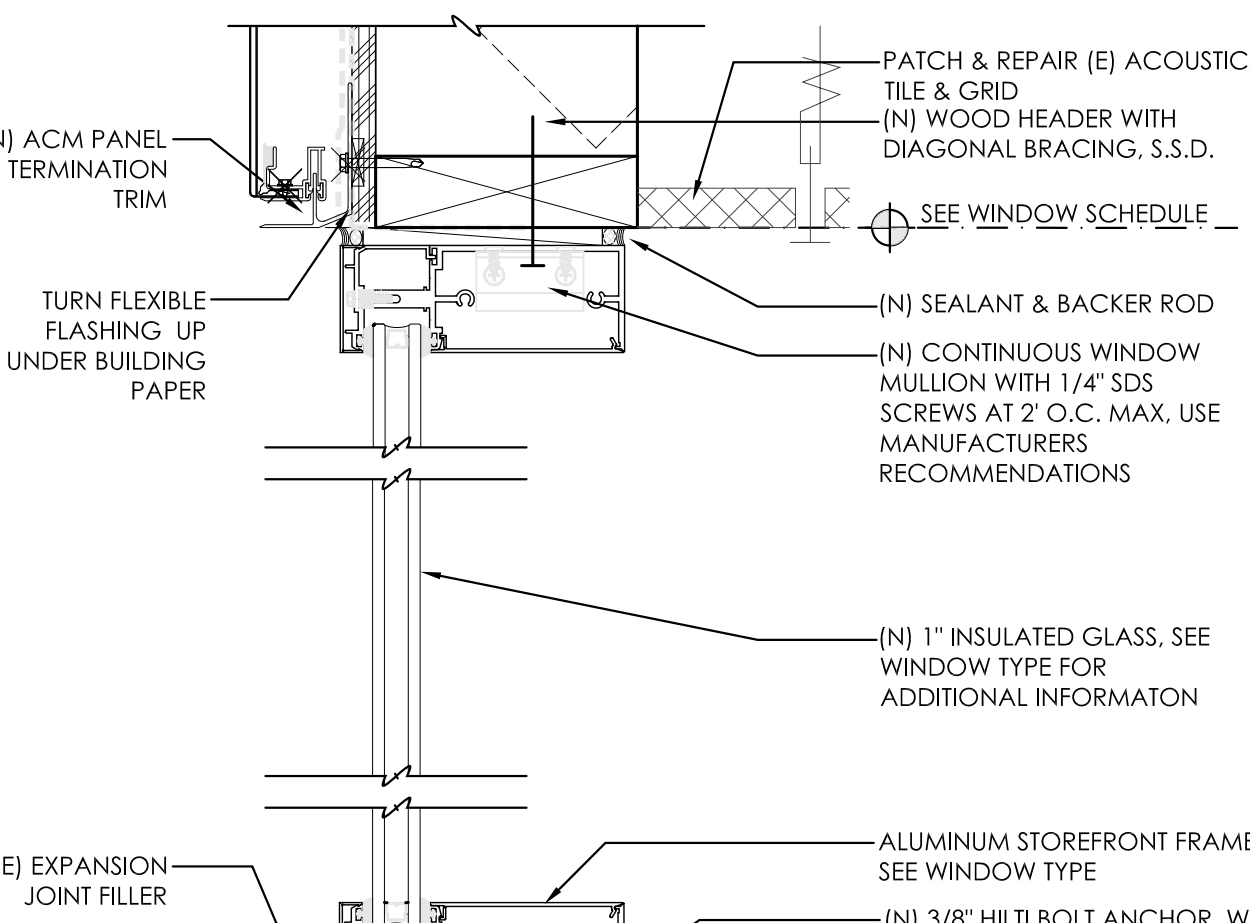
SCALE: 3"=1'-0"
DET04_EXT02_HDR01 **HM DOOR HEADER EXTERIOR DOOR 17**



SCALE: 3"=1'-0"
DET04_INT01_FRM01 **DOOR ANCHORAGE 14**



SCALE: 3"=1'-0"
DET08_CPG04_COPING03 **PARAPET COPING 15**



SCALE: 3/8"=1'-0"
DET03_EXH04_SILL06 **EXTERIOR WALL BASE MTL STUD TO CONCRETE CURB 16**

SCALE: 3"=1'-0"
DET06_EXT02_ALUM05 **EXTERIOR FRONT LOADED STOREFRONT CONCRETE WOOD FRAMED 20**