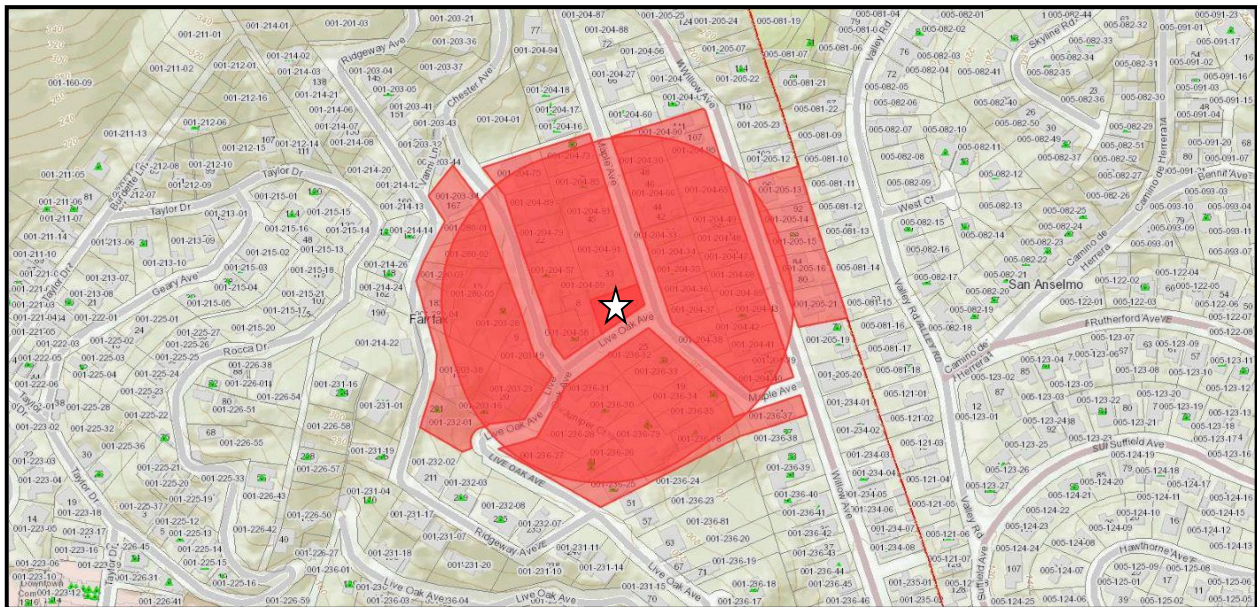


TOWN OF FAIRFAX STAFF REPORT

Department of Planning and Building Services

TO: Fairfax Planning Commission
DATE: April 18, 2024
FROM: Kara Spencer, Assistant Planner
LOCATION: 31 Maple Avenue; APN: 001-204-92
ZONING: RD 5.5-7 Residential Zone
PROJECT: Deck addition to a second-story accessory dwelling unit (ADU)
ACTION: Conditional Use Permit (CUP), Rear-yard Setback Variance, Combined Front/Rear-yard Setback Variance, and Minimum and Combined Side-yard Setback Variances; Application No. 24-02
APPLICANT: Bridget Fees
OWNER: Bridget Fees
CEQA STATUS: Categorically exempt, §15301(a) & § 15303(e).



31 MAPLE AVENUE

PROJECT DESCRIPTION

The project proposes the construction of an approximately 200 square foot second-story deck onto the side of an existing approximately 800 square foot, second-story, one-bedroom, one-bathroom Accessory Dwelling Unit (ADU) located above the primary residence's attached garage. The wooden deck would have a wood and hog wire railing to match the existing stairway to the ADU. The deck would be elevated approximately nine feet off the ground.

BACKGROUND

The project property is located within the RD 5.5-7 Residential Zone, High-Density District (RD 5.5-7 Zone). It is also located within a Wildland Urban Interface (WUI) Zone according to the Ross Valley Fire Department "Town of Fairfax Wildland-Urban Interface Zones" Map. The

project site is not within a quarter mile of a known Northern Spotted Owl (NSO) nesting site according to NSO nesting data from the Marin Audubon Society.

The approximately 6,250 square foot property slopes moderately up from Maple Avenue at an average rate of approximately 16 percent. It is developed with an approximately 1,735 square foot house with an approximately 445 square foot attached garage, and an approximately 800 square foot ADU located above the garage. There is approximately 2,331 square feet (37 percent) of impermeable surface area on the property (1,735 sf house footprint, 445 sf attached garage footprint, 57 sf front step area, 94 sf walkway in northern side-yard). The house and attached garage were constructed in 1995 in conformance with the setback, FAR, lot coverage, and height requirements. The front access stairway and walkway in the northern side-yard were installed after the house was constructed and cause the property to exceed the 35 percent lot coverage limitation. However, because the stairway and walkway did not require planning or building permits, the property owner was unaware that their installation resulted in the property exceeding the 35 percent lot coverage limitation and required approval of a variance.

The Planning Department approved the ADU in November 2022 and the building permit for the ADU was issued in January 2023. The ADU was approved with an approximate five and a half foot overhang at the western side supported by structural posts. It was also approved with an approximate four foot wide stairway attached to the western overhanging side to provide access to the second story ADU.

The approximate five and a half foot overhang enabled the property owner to maximize the size of the ADU and meet the four foot side/rear setback requirements for the ADU [Town Code § 17.048.010(F)(12)(a)], while ensuring that garage below maintained the required ten foot rear-yard setback and the 35 foot combined/front rear-yard setback required for a property in the RD 5.5-7 zone with a slope of greater than ten percent [Town Code § 17.084.070(B)(1)]. However, when the ADU was constructed, the building contractor built a solid wall under the western side of the ADU, instead of leaving the area open and supported by only structural posts. Doors were installed at either end of the enclosed area, creating an approximately 105 square foot enclosed walkway. A small area under the attached stairway with a footprint of approximately 75 square feet was also enclosed and is connected to the enclosed walkway by a doorway. There is approximately 32 square feet of usable storage area under the enclosed ADU stairway.

The project contractor constructed a solid wall under the edge of the ADU overhang to create more stability for the ADU and to make the structure more symmetrical. The construction of the solid wall underneath edge of the ADU overhang and the enclosure of the area underneath the ADU stairway makes the ADU/garage structure more symmetrical than it would have been with the ADU projecting past the side of the garage below with nothing other than structural support posts below the ADU and ADU stairway. This in turn helps create a unified design for the building with a sense of balance and harmony, similar to other structures found in the immediate neighborhood and throughout the Ridgeway Park Subdivision.

Staff initially thought that the enclosure of the area resulted in the primary residence maintaining a non-complying rear-yard and combined front/rear-yard setback and the property exceeding the lot coverage limitation, which is why the notice published for the April 18, 2024 Planning Commission meeting indicated the enclosed area needed to be legalized. However, since the publication of the notice Staff determined that the enclosed area under the ADU overhang does not need to be legalized. The wall under the ADU is part of the ADU and meets the four foot setback requirement for an ADU side/rear property boundary [Town Code § 17.048.010(F)(12)(a)] and the approximately 105 square foot enclosed walkway created by the

wall does not add any square footage to the ADU, attached garage, or primary residence; it creates a walkway for the ADU. The approximately 32 square feet of usable storage area under the ADU stairway creates additional storage for the ADU within the ADU’s building footprint and is within the 850 square foot limitation [Town Code § 17.048.010(F)(1)(a)] for a one bedroom ADU.

Town Code § 17.048.010(F)(1)(c) prohibits any sort of percent based development standard, such as lot coverage, from limiting the size of a one bedroom ADU to less than 850 square feet, which is why the approximately 800 square foot ADU was approved with the approximate five and half foot overhang. This section of the Town Code also applies to the the enclosed area that provides access to the ADU and does not create any additional square footage for the ADU, attached garage, or primary residence. Therefore, the additional impermeable area created by the ADU overhang and enclosing the area under the ADU overhang and ADU stairway does not count towards the lot coverage limitation of the property.

Table 1 below demonstrates property’s compliance with the regulations of the RD 5.5-7 Residential Zone, High-Density District. As indicated in Table 1, the existing property meets all setbacks, FAR, and building height requirements. After project implementation, the property would not comply with the rear-yard setback, the combined front/rear-yard setback, the northern side-yard setback, or the combined side-yard setback.

Table 1: 31 Maple Avenue Compliance with RD 5.5-7 Regulations

	Front Setback	Rear Setback	Combined Front/Rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Lot Coverage	Height
Required/ Permitted	6 ft.	10 ft.	35 ft.	5 ft. & 10 ft. ¹	20 ft.	0.40	0.35	28.5 ft., 3 stories
Existing	22 ft.	14 ft.	36 ft.	8 ft. & 12 ft.	20 ft.	0.28	0.37	21 ft., 2 stories
Proposed	No change	4 ft.	26 ft.	8 ft. & 7 ft.	15 ft.	No change	No change	No change

1. Town Code § 17.084.070(C) requires a ten foot setback for all street frontage on a corner lot.

DISCUSSION

Required Discretionary Approvals

Town Code § 17.084.050 specifies that any physical improvement on a property in the RD 5.5-7 zone that does not meet the minimum size or width requirements based on its slope requires approval of either a Conditional Use Permit (CUP) or a Hill Area Residential Development (HRD) Permit. Based on the approximate 16 percent slope of the project site, it would need to be 8,000 square feet in area and 68 feet wide to conform to the size and width requirements of Town Code § 17.084.050(C). At approximately 6,250 square feet in area and approximately 64 feet wide the property does not meet the minimum area or width required by the Town Code. The project does not require any excavation and would result in minimal site disturbance. Therefore, the HRD permit is not applicable and the proposed project requires the approval of a CUP.

The project requires Planning Commission approval of a Variance to the Rear-yard Setback and the Combined Front/Rear-yard Setback requirements [Town Code § 17.084.070(B)(1)] for an approximately two foot section of the proposed deck to maintain a rear-yard setback of

approximately four feet and a combined front/rear-yard setback of approximately 26 feet. Town Code § 17.044.070(A)(2) allows decks to project two feet into a required side-yard without Planning Commission approval of a Variance, as long as the deck does not come closer than three feet to a property line. The proposed deck would project approximately three feet into the ten foot minimum side-yard setback required for a corner lot (one foot over the allowable two foot projection), maintaining an approximate seven foot setback from Live Oak Avenue. It would also project approximately five feet into the 20 foot required combined side-yard setback (three feet over the allowable projection), maintaining a combined side-yard setback of approximately 15 feet. Consequently, the project requires Planning Commission approval of a Minimum Side-yard Setback Variance and a Combined Side-yard setback Variance.

The project requires a Lot Coverage Variance to maintain a lot coverage of 37 percent.

Conditional Use Permit (Town Code Chapter 17.032)

Approval of the CUP to allow the property owner to add a second story deck onto the existing ADU located above the primary residence's attached garage would not constitute a grant of special privilege nor contravene the doctrines of equity and equal treatment. The property would continue to maintain similar setbacks, FAR, lot coverage, and height as other developed single family residential properties found in the immediate neighborhood and throughout the Ridgeway Park Subdivision, many of which also have second story decks that project into required setbacks (e.g., 4 and 6 Juniper Court and 41 Live Oak Avenue).

The proposed project would not create a public nuisance or cause excessive or unreasonable detriment to adjoining properties or premises. The approximate nine foot height of the deck would comply with Town Code height requirements. The proposed deck would be located approximately four feet from the neighboring driveway shared by the 8 and 10 Live Oak Avenue properties. However, due to the siting of the houses on the 8 and 10 Live Oak Avenue properties, the proposed deck would be approximately 28 feet forward of the house at 8 Live Oak Avenue and approximately 39 feet to the east of the house at 10 Live Oak Avenue. Due to the siting of the houses and their distances from each other, the wooden fence and retaining wall between the properties, and intervening vegetation, views between 31 Maple Avenue and the 8 and 10 Live Oak Avenue properties would not be impacted by the deck and the current level of privacy would be maintained. The proposed deck would be approximately 40 feet from 25 Maple Avenue which is located across Live Oak Avenue from the proposed second story deck addition. The approximate seven foot setback from Live Oak Avenue meets the intent of the of the required ten foot setback required for all street frontage on a corner lot, maintaining more than adequate visibility for pedestrians and vehicles using the Live Oak Avenue right-of-way.

One light is proposed on the deck and another light is proposed next to the doorway below the deck that would both be Dark Sky compliant. Two new lights on either side of the garage door would also be Dark Sky compliant.

The property's 0.02 percent exceedance of the lot coverage limitation is negligible and not anticipated to significantly increase stormwater flows from the property or create off-site flooding. However, staff has included a condition of project approval in the resolution approving the project that would require the property owner to remove the grout from between the pavers that comprise the 94 square foot walkway in northern side-yard. Removal of the grout would decrease the lot coverage from 37 percent to 36 percent, which meets the intent of the lot coverage limitation.

The second story ADU deck addition is not contrary to the objectives and goals contained within the 2010-2030 Fairfax General Plan. The variances requested to maintain smaller rear and side-yard setbacks are not in conflict with the intent of the Zoning Ordinance.

Due to the site topography and the siting of the existing house and attached garage/ADU on a corner lot, there is limited usable private outdoor living space for the occupants of the house and the occupants of the ADU. The proposed deck would create some additional usable private outdoor living space for the occupants of the ADU that would be located above the existing driveway in an area where there currently is no usable private outdoor living space. With implementation of the condition of project approval requiring the property owner to remove approximately one percent of the impermeable surface area on the property, the project would result in equal or better development of the site with minimal site disturbance, which is in the public interest.

Rear-yard, Combined Front and Rear-yard, Minimum Side-yard, and Combined Side-yard Setback Variances (Town Code Chapter 17.028)

The project site is a corner lot with two street frontages and two dwelling units. It has an irregular shape, relatively small size, narrow width, and a moderate approximate 16 percent slope. These characteristics make it difficult to meet the required setbacks and are the special circumstances that warrant granting the requested side-yard variances.

Adding the second story deck onto the existing ADU located above the primary residence's attached garage would not change the residential character of the property as stated above. Other property owners in the vicinity and under identical zone classification have various structures, such as second story decks (e.g., 4 and 6 Juniper Court and 41 Live Oak Avenue), buildings, and stairs, etc. within required setbacks. Therefore, the strict application of this title would deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification.

Compliance with the rear-yard, combined front and rear-yard, minimum side-yard, and combined side-yard setback requirements would be an unreasonable and excessive hardship for the property owner, as it would prohibit them from creating some additional usable private outdoor living space for the occupants of the ADU on a corner lot property with two street frontages, two dwelling units, and little usable private outdoor living space. The approximate 40 and 39 foot distances of the proposed second story deck from neighboring properties at 25 Maple Avenue and 10 Live Oak Avenue, respectively; and, its location approximately 28 feet forward of the house at 8 Live Oak Avenue and seven feet from the Live Oak Avenue right of way ensure that the project would not be detrimental to the neighbors or the public using Live Oak Avenue. As noted above the seven foot distance of the proposed deck from the Live Oak Avenue right of way meets the intent of the of the required ten foot setback required for all street frontage on a corner lot, as it would provide more than adequate visibility for pedestrians and vehicles using the Live Oak Avenue right-of-way.

OTHER DEPARTMENT/AGENCY COMMENTS/CONDITIONS OF APPROVAL

No comments or conditions were received from the Ross Valley Fire Department (RVFD), Marin Municipal Water District (MMWD), Ross Valley Sanitary District (RVSD) or the Town of Fairfax Police, Building, or Public Works Departments.

RECOMMENDATION

Conduct the public hearing. Move to approve application No. 24-02 by adopting the attached Resolution No. 2024-05 setting forth the findings and the conditions of project approval.

ATTACHMENTS

Attachment A – Resolution No. 2024-05

Attachment B – Project Plan Set

RESOLUTION NO. 2024-05

A Resolution of the Fairfax Planning Commission Approving Application No. 24-02 for a Conditional Use Permit, a Rear Yard Setback Variance, a Combined Front and Rear Yard Setback Variance, a Minimum Side-yard Setback Variance, and a Combined Side-yard Setback Variance for the Construction of an Approximately 200 Square Foot, Second Story Deck onto an Accessory Dwelling Unit (ADU) Located Above an Attached Garage at 31 Maple Avenue

WHEREAS, the Town of Fairfax received an application from Bridget Fees for the addition of an approximately 200 square-foot, second story deck onto an ADU located above an attached garage at 31 Maple Avenue; and

WHEREAS, the Planning Commission held a duly noticed Public Hearing on April 18, 2024, at which time the Planning Commission determined that the project complies with the Town Code and that findings can be made to grant the requested Conditional Use Permit, Rear Yard Setback Variance, Combined Front and Rear Yard Setback Variance, Minimum Side-yard Variance, and Combined Side-yard Variance; and

WHEREAS, based on the plans and other documentary evidence in the record the Planning Commission determined that the applicant met the burden of proof required to support the findings necessary to approve the discretionary Conditional Use Permit, Rear Yard Setback Variance, Combined Front and Rear Yard Setback Variance, Minimum Side-yard Variance, and Combined Side-yard Variance; and

WHEREAS, The project is exempt from the California Environmental Quality Act per Categorical Exemption § 15301(a) & § 15303(e); and

WHEREAS, the Planning Commission made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing characteristics of the Town's neighborhoods in their diverse architectural style, size, and mass.

Objective LU-7.2, Preserve, maintain, and enhance in a sustainable manner, the existing design aesthetic, scale, and quality of life in Fairfax's residential neighborhoods.

Policy LU-7.2.1: New and renewed development shall be compatible with the general design and scale of structures in the vicinity.

Policy LU-8.1.2: The Town of Fairfax shall permit construction of well-designed second units consistent with state law, zoning requirements, and building codes, parking requirements and street capacity.

Conditional Use Permit Findings (Town Code § 17.032.060)

1. The approval of the Conditional Use Permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment. Adding a second story deck onto the existing ADU located above the attached garage will not change the FAR, lot coverage, or height of the ADU/attached garage or the primary residence. The property will

ATTACHMENT A

continue to maintain similar setbacks, FAR, lot coverage, and height as other developed single family residential properties found in the immediate neighborhood and throughout the Ridgeway Park Subdivision, many of which also have second story decks that project into required setbacks (e.g., 4 and 6 Juniper Court and 41 Live Oak Avenue).

2. The proposed project will not create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the Conditional Use Permit. The proposed second story deck addition would project beyond the footprint of the existing ADU/attached garage, approximately nine feet above the driveway in compliance with height requirement. The approximate seven foot setback from the Live Oak Avenue frontage meets the intent of the ten foot setback required for all street frontage on a corner lot, maintaining more than adequate visibility for pedestrians and vehicles using the Live Oak Avenue right-of-way. No excavation is required to implement the project. No visual impacts are anticipated. The project does not propose any additional bedrooms and will not increase the use of public parking. The proposed deck would be approximately 28 feet forward of the house at 8 Live Oak Avenue, approximately 39 feet to the east of the house at 10 Live Oak Avenue, and approximately 40 from the property across Live Oak Avenue. Views between neighboring properties would not be negatively impacted and the current level of privacy would be maintained.
3. The proposed project maintains the single-family use of the site in compliance with the RD 5.5-7 Residential Zoning and the 2010-2030 Fairfax General Plan land use designation for the site. The project is compliant with Fairfax General Plan Policy LU-7.1.5: "New and renewed residential development shall preserve and enhance the existing characteristics of the Town's neighborhoods in their diverse architectural style, size, and mass," Land Use Objective LU-7.2, "Preserve, maintain, and enhance in a sustainable manner, the existing design aesthetic, scale and quality of life in Fairfax's residential neighborhoods," General Plan Policy LU-7.2.1, "New and renewed development shall be compatible with the general design and scale of structures in the vicinity," and General Plan Policy LU-8.1, "The Town of Fairfax shall permit construction of well-designed second units consistent with state law, zoning requirements, and building codes, parking requirements and street capacity." Approval of the Rear Yard Setback Variance, Combined Front and Rear Yard Setback Variance, Minimum Side-yard Variance, and Combined Side-yard Variance ensures that the project is consistent with the objectives, goals, and standards contained in the Zoning Ordinance and the 2010-2030 Fairfax General Plan.
4. The proposed deck would create some additional usable private outdoor living space for the occupants of the ADU that would be located above the existing driveway in an area where there currently is no usable private outdoor living space. Condition of Approval 13 below, requiring the removal of the grout between pavers in the walkway in the northern side-yard would reduce the existing approximately 37 percent lot coverage to approximately 36 percent. Therefore, approval of the Conditional Use Permit will result in equal or better development of the premises than would otherwise be the case, and the approval is in the public interest and for the protection and enhancement of the community.

Rear-yard, Combined Front and Rear-yard, Minimum Side-yard, and Combined Side-yard Setback Variances [Town Code § § 17.028.070(A)(1) through (4)]

1. The corner lot configuration with two street frontages, irregular property shape, relatively small size, narrow width, and approximately 16 percent slope are the special circumstances

that make it difficult for the proposed deck to comply with setback requirements and warrant granting the setback variances.

2. The variance or adjustment will not constitute a grant of special privilege, is consistent with the limitations upon other properties in the vicinity and under identical zone classification and is consistent with the objectives of the Fairfax Zoning Ordinance. Other property owners in the vicinity and under identical zone classification have second story decks within required setbacks.
3. The strict application of the setback regulations would result in unreasonable hardship for the property owner since it would prohibit them from creating some additional usable private outdoor living space for the occupants of the ADU on a corner lot property with two street frontages, two dwelling units, and little usable private outdoor living space.
4. The approximate 40 and 39 foot distances of the proposed second story deck from neighboring properties at 25 Maple and 10 Live Oak Avenue, respectively; and, its location approximately 28 feet forward of the house at 8 Live Oak Avenue and approximately seven feet from the Live Oak Avenue right of way ensure that the project would not be detrimental to the neighbors or the public using Live Oak Avenue. The seven foot distance of the proposed deck from the Live Oak Avenue right of way meets the intent of the of the required ten foot setback required for all street frontage on a corner lot, as it would provide more than adequate visibility for pedestrians and vehicles using the Live Oak Avenue right-of-way.

WHEREAS, the Planning Commission approved the project subject to the applicant's compliance with the following conditions:

1. The project is approved per the plans prepared by Karina Andreeva received by the Town on 4/9/24.
2. The plans submitted for building permits shall include the final approved conditions of approval on one of the plan pages.
3. During the construction process the following shall be required:
 - a. All construction-related vehicles shall be situated off the travel lane of the adjacent public right(s)-of-way at all times. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.
 - b. Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
4. The Building Official shall field check the completed project to verify compliance with the approved plans and building code requirements.
5. The roadways shall be kept free of dust, gravel, and other construction materials by sweeping them, daily, if necessary.
6. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 24-02. Modifications that do not significantly change the project, the project design or the approved discretionary permits **may** be approved by either the Planning Commission or the Planning Director. Any construction based on job

plans that have been altered without the benefit of an approved modification of Application 24-02 will result in the job being immediately stopped and red tagged.

7. Any damage to the public portions of Maple Avenue, Live Oak Avenue, Willow Avenue, or other public roadway used to access the site resulting from construction-related activities shall be the responsibility of the property owner.
8. The applicant and their heirs, successors, and assigns shall, at their sole cost and expense, defend with counsel selected by the Town of Fairfax, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director, or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.
9. The applicant shall comply with all applicable local, county, state, and federal laws and regulations. Local ordinances which must be complied with include but are not limited to the following: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32, and the Americans with Disabilities Act.
10. In accordance with Town Code §8.20.060(C)(1) and (2), the operation of any tools or equipment used in construction or demolition work or in property maintenance work between the hours of 6:00 PM and 8:00 AM Monday through Friday, or on weekends and holidays between 4:00 PM and 9:00 AM is prohibited.
11. Conditions placed upon the project by outside agencies may be eliminated or amended with that agency's written notification to the Planning Department prior to issuance of the building permit.
12. The four exterior light fixture shall be Dark Sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or uplight panels) as well as compliant with color temperature to minimize blue rich lighting.
13. The grout between pavers in the walkway in the northern side-yard shall be removed to would reduce the existing approximately 37 percent lot coverage to approximately 36 percent.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Conditional Use Permit is in conformance with the 2010 – 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 18th day of April 2024 by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

Chair Robert Jansen

Attest:

Jeffrey Beiswenger, Director of Planning and Building Services

Conditional Use Permit

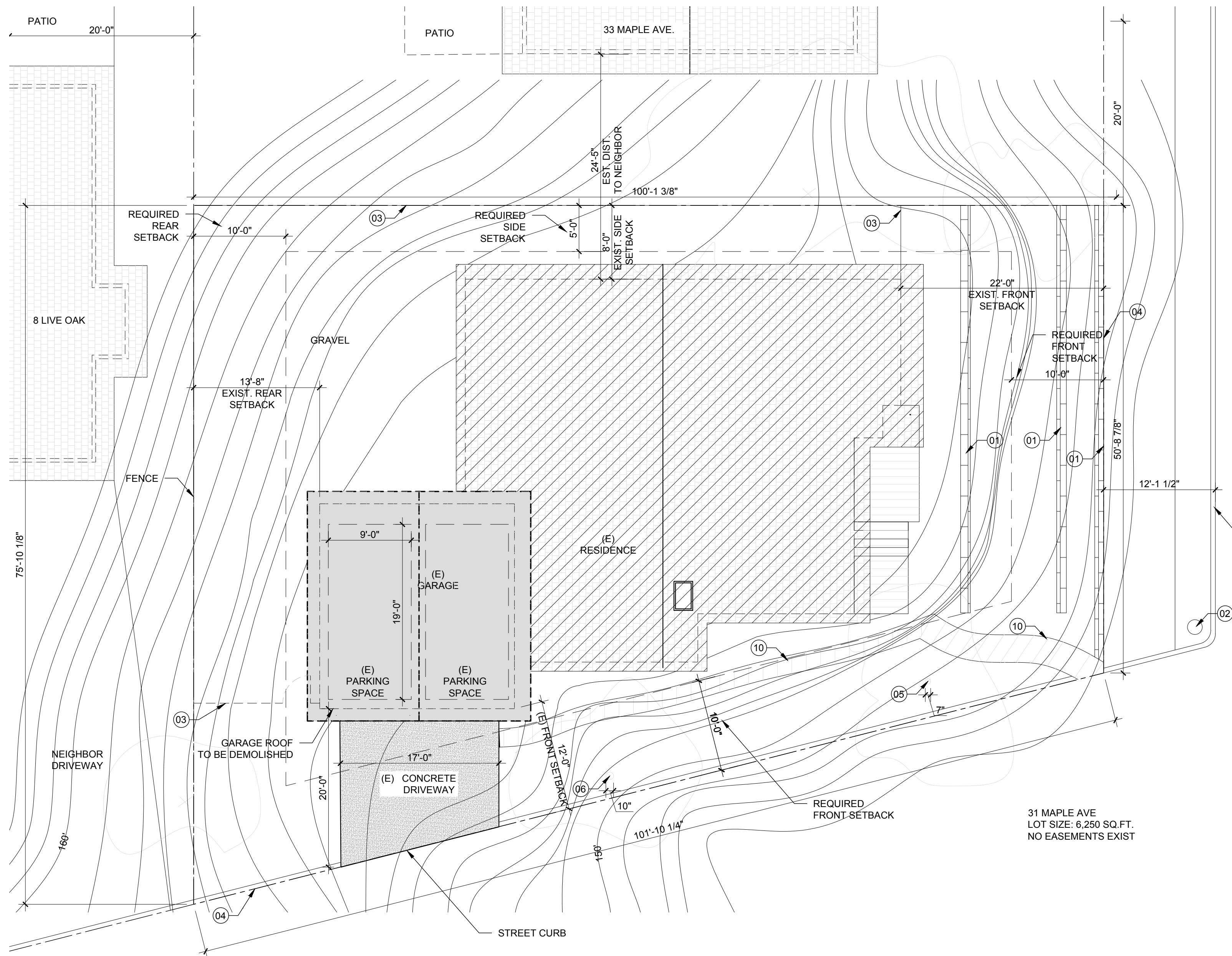
March 30, 2024

CUP for ADU Front Yard Deck

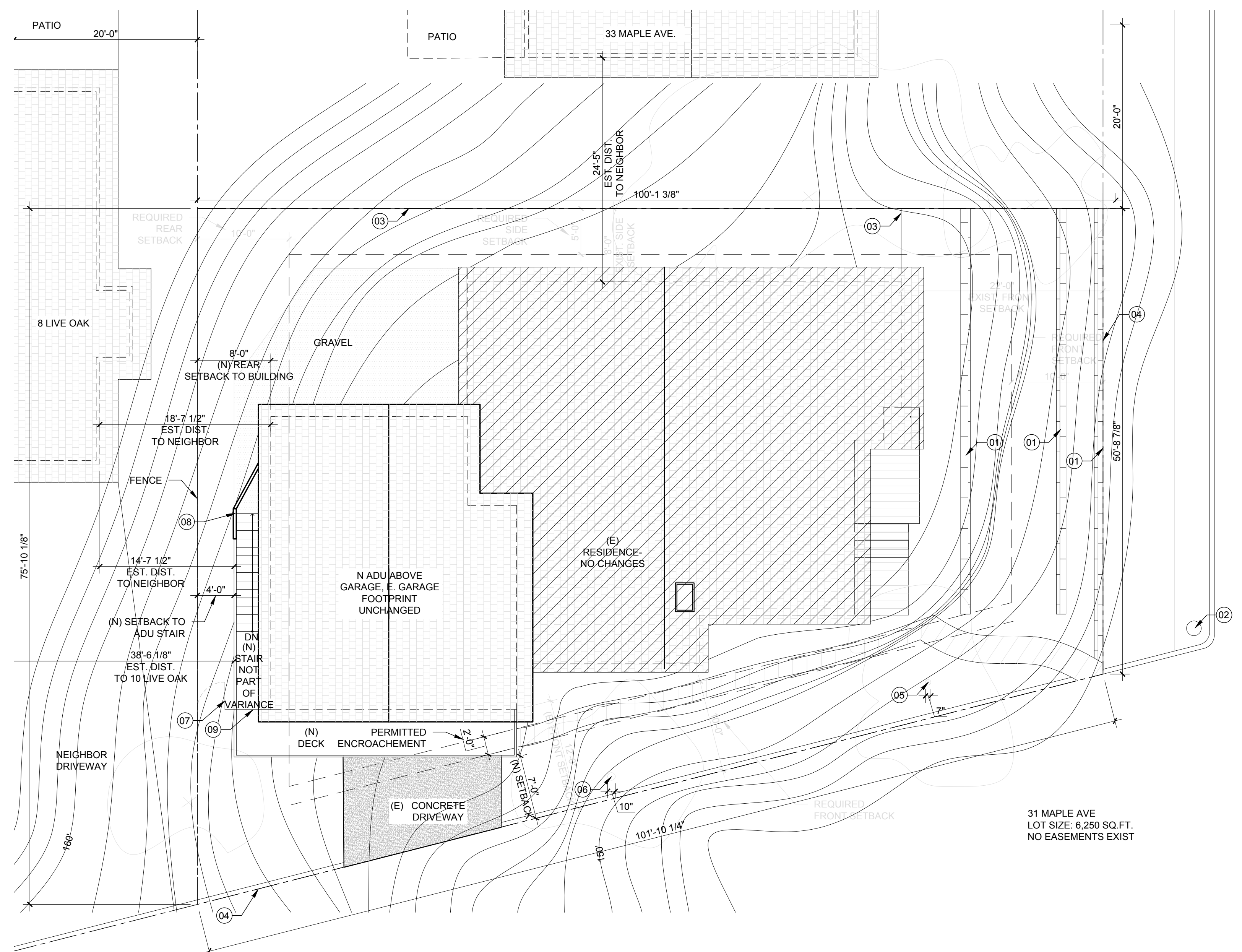
31 Maple Ave. Fairfax, CA 94930

Karina Andreeva
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GENERAL NOTES	LIST OF ABBREVIATIONS	DRAWING LIST	PROJECT DESCRIPTION																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
<p>1. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF APPLICABLE LOCAL CODES AND REGULATIONS LISTED IN THE PROJECT DATA TABLE.</p> <p>2. ALL WORK SHALL BE PERFORMED IN THE BEST TRADE PRACTICES AND IN ACCORDANCE WITH THE WORK DEFINED IN THESE DOCUMENTS. THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH REQUIREMENTS OF LOCAL AUTHORITIES.</p> <p>3. THE TERMS "CONTRACTOR", "GENERAL CONTRACTOR", "GC", "CONSTRUCTION CONTRACTOR", "TRADE CONTRACTOR" AND "CONSTRUCTION MANAGER" SHALL BE UNDERSTOOD TO BE THE SAME UNLESS SPECIFICALLY NOTED OTHERWISE.</p> <p>5. PROVIDE ALL MATERIALS AND LABOR FOR A COMPLETE, WORKING INSTALLATION, GUARANTEED FOR ONE YEAR FROM THE DATE OF ACCEPTANCE.</p> <p>6. THE CONTRACTOR SHALL REVIEW AND FAMILIARIZE HIMSELF WITH THE GENERAL NOTES AND SPECIFICATIONS ON THE DRAWINGS AND DETERMINE WHICH NOTES APPLY DIRECTLY TO HIS RESPONSIBILITY. EACH SUB TRADE WILL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF DRAWINGS AND NOTING THEIR WORK AS APPLICABLE. ALL WORK INDICATED OR INFERRED ON THE DRAWINGS WILL BE DEEMED AND INCLUDED IN ALL CONTRACTORS' WORK.</p> <p>7. ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE CONTRACTOR, AND HE SHALL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.</p> <p>8. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.</p> <p>9. THE TRADE CONTRACTORS SHALL VERIFY THE EXISTING SITE CONDITIONS AND FAMILIARIZE THEMSELVES WITH THE PROJECT DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION. NO ADDITIONAL COSTS WILL BE ALLOWED FOR ANY CHANGE ARISING FROM THE CONTRACTOR'S FAILURE TO MAKE A THOROUGH INSPECTION OF THESE CONDITIONS.</p> <p>10. PRIOR TO THE START OF ANY AND ALL WORK, THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND INFORM THE BUILDING OWNER OF ANY OMISSIONS OR DISCREPANCIES BETWEEN DRAWINGS AND EXISTING CONDITIONS WHICH COULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK.</p> <p>11. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN.</p> <p>12. THE CONTRACTOR SHALL LAY OUT HIS OWN WORK, AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES (PLUMBING, ELECTRICAL, ETC.).</p> <p>14. THE WORK OF EACH TRADE SHALL BE COORDINATED WITH THE CONSTRUCTION MANAGER AND WITH THE OTHER WORK OF OTHER TRADES FOR CLEARANCE, FIT AND ACCESSIBILITY AS REQUIRED.</p> <p>16. ALL ABANDONED PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED AND CLOSED.</p> <p>17. NO DRAWING SHALL BE SCALED. USE NOTED DIMENSIONS ONLY. ALL LOCATIONS FOR EQUIPMENT, ELECTRICAL, HVAC AND PLUMBING DEVICES SHALL BE COORDINATED BETWEEN ARCHITECTURAL AND MECHANICAL DOCUMENTS. LOCATIONS SHOWN ON ARCHITECTURAL PLANS AND ELEVATIONS SHALL GOVERN.</p> <p>18. THE TRADE CONTRACTOR SHALL BE RESPONSIBLE FOR EXECUTING ALL WORK SHOWN OR CALLED FOR ON DRAWINGS OR SPECIFICATIONS. HE WILL COORDINATE WITH THE CONSTRUCTION MANAGER AND WITH OTHER TRADES AND EXECUTE THE JOB IN ACCORDANCE WITH THE ACCEPTED STANDARD PRACTICE PREVAILING IN CALIFORNIA. THE TRADE CONTRACTOR SHALL INFORM THE OWNER AND OBTAIN APPROVAL FOR ANY DEVIATION, ADDITION OR OMISSION TO THE WORK DESCRIBED IN THE DRAWINGS AND SPECIFICATIONS BEFORE PROCEEDING.</p> <p>19. THE TRADE CONTRACTORS SHALL MAINTAIN ALL THE APPROPRIATE INSURANCE REQUIRED BY THE BUILDING OWNER, THE CONSTRUCTION MANAGER AND BY LAW, SUCH AS WILL PROTECT HIM FROM CLAIMS WHICH MAY ARISE OUT OF HIS OPERATIONS OR THE OPERATIONS OF HIS SUBORDINATES. THE TRADE CONTRACTOR SHALL HOLD HARMLESS THE OWNER FROM ANY CLAIMS ARISING OUT OF HIS OPERATIONS OR THE OPERATIONS OF HIS SUBCONTRACTORS DURING THE COURSE OF THE CONSTRUCTION.</p> <p>21. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL APPLY AND ARRANGE FOR REQUIRED DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS. THE CONTRACTOR SHALL PROVIDE ALL THE AS-BUILT DRAWINGS, COMPLETED PAPERWORK, AND CERTIFICATES OF INSPECTION.</p>	<table border="0"> <tr><td>ABV</td><td>ABOVE</td><td>GAL</td><td>GAUGE</td><td>QTY</td><td>QUANTITY</td></tr> <tr><td>AFF</td><td>ABOVE FINISHED FLOOR</td><td>GALL</td><td>GALLON</td><td>QT</td><td>QUARRY TILE</td></tr> <tr><td>ACC</td><td>ACCESSORIES</td><td>GALV</td><td>GALVANIZED</td><td>RAD/ R</td><td>RADIUS/ RISER(S)</td></tr> <tr><td>ACF</td><td>ACCESS FLOORING</td><td>GC</td><td>GENERAL CONTRACTOR</td><td>RTD</td><td>RATED</td></tr> <tr><td>AP</td><td>ACCESS PANEL</td><td>GL</td><td>GLASS</td><td>RCVG</td><td>RECEIVING</td></tr> <tr><td>ACT</td><td>ACOUSTICAL CEILING TILE</td><td>GR</td><td>GRAPHICS</td><td>RECP</td><td>RECEPTACLE</td></tr> <tr><td>AWT</td><td>ACOUSTICAL WALL TREATMENT</td><td>GND</td><td>GROUND</td><td>RECEP</td><td>RECEPTION</td></tr> <tr><td></td><td></td><td>GRT</td><td>GROUT</td><td>RE</td><td>REGARD/ REFERENCE</td></tr> 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<tr><td></td><td></td><td>LH</td><td>LEFT HAND</td><td>STRUC</td><td>STRUCTURAL/ STRUCTURE</td></tr> <tr><td></td><td></td><td>LT(G)</td><td>LIGHT(ING)</td><td>SUP</td><td>SUPPORT</td></tr> <tr><td></td><td></td><td>LWTG</td><td>LIGHTWEIGHT</td><td>SURF</td><td>SURFACE</td></tr> <tr><td></td><td></td><td>LF</td><td>LINEAR FOOT</td><td>SUSP</td><td>SUSPENDED</td></tr> <tr><td></td><td></td><td>LOC</td><td>LOCATION</td><td>SW</td><td>SWITCH</td></tr> <tr><td></td><td></td><td>LOCK</td><td>LOCKER</td><td>SYM</td><td>SYMMETRICAL</td></tr> <tr><td></td><td></td><td>LK</td><td>LONG LENGTH</td><td>TA</td><td>TABLE</td></tr> <tr><td></td><td></td><td>LGL</td><td>LONG LENGTH</td><td>TB</td><td>TACKBOARD</td></tr> <tr><td></td><td></td><td>MFR</td><td>MANUFACTURER</td><td>TEL</td><td>TELEPHONE</td></tr> <tr><td></td><td></td><td>MAS</td><td>MASONRY</td><td>TEMP</td><td>TEMPERATURE/ TEMPERED /TEMPORARY</td></tr> <tr><td></td><td></td><td>ML</td><td>MATCH LINE</td><td>THK</td><td>THICK(NESS)</td></tr> <tr><td></td><td></td><td>MATL</td><td>MATERIAL</td><td>THRES</td><td>THRESHOLD</td></tr> <tr><td></td><td></td><td>MAX</td><td>MAXIMUM</td><td>TBD</td><td>TO BE DETERMINED</td></tr> <tr><td></td><td></td><td>MECH</td><td>MECHANICAL</td><td>T&G</td><td>TONGUE AND GROOVE</td></tr> <tr><td></td><td></td><td>METL</td><td>METAL</td><td>TOS</td><td>TOP OF SLAB</td></tr> <tr><td></td><td></td><td>MID</td><td>MIDDLE</td><td>T</td><td>TREAD(S)</td></tr> <tr><td></td><td></td><td>MW</td><td>MILLWORK</td><td>TYP</td><td>TYPICAL</td></tr> <tr><td></td><td></td><td>MIN</td><td>MINIMUM</td><td>UC</td><td>UNDERCUT</td></tr> <tr><td></td><td></td><td>MISC</td><td>MISCELLANEOUS</td><td>UL</td><td>UNDERWRITER'S LABORATORIES</td></tr> <tr><td></td><td></td><td>MRB</td><td>MARBLE</td><td>UNFN</td><td>UNFINISHED</td></tr> <tr><td></td><td></td><td>MOD</td><td>MODULE</td><td>UNIF</td><td>UNIFORM</td></tr> 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SCALE</td><td>VEST</td><td>VESTIBULE</td></tr> <tr><td></td><td></td><td>NO.</td><td>NUMBER</td><td>WTW</td><td>WALL TO WALL</td></tr> <tr><td></td><td></td><td>OFF</td><td>OFFICE</td><td>WC</td><td>WATER CLOSET</td></tr> <tr><td></td><td></td><td>OC</td><td>ON CENTER</td><td>WH</td><td>WATER HEATER</td></tr> <tr><td></td><td></td><td>OPNG</td><td>OPENING</td><td>WP</td><td>WATERPROOF</td></tr> <tr><td></td><td></td><td>OPP</td><td>OPPOSITE</td><td>WT</td><td>WEIGHT</td></tr> <tr><td></td><td></td><td>OPHD</td><td>OPPOSITE HAND</td><td>W</td><td>WIDTH/WEST</td></tr> <tr><td></td><td></td><td>OD</td><td>OUTSIDE DIAMTER</td><td>WNDW</td><td>WINDOW</td></tr> <tr><td></td><td></td><td>OF</td><td>OUTSIDE FACE</td><td>WW</td><td>WINDOW WALL</td></tr> <tr><td></td><td></td><td>OA</td><td>OVERALL</td><td>WT</td><td>WINDOW TREATMENT</td></tr> <tr><td></td><td></td><td>OVHD</td><td>OVERHEAD</td><td>W</td><td>WITH</td></tr> 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OPENING			HOUR	HOUR	RND	ROUND			HC	HOLLOW CORE	RJ	RUG			HW	HOT WATER	RUB	RUBBER			INCA/ND	INCANDESCENT	SCHED	SCHEDULE(D)			INCL	INCLUDE(D)(ING)	STG	SEATING			INFO	INFORMATION	SECT	SECTION			ID	INSIDE DIAMETER/ INSIDE DIMENSION	SERV	SERVICE			IG	ISOLATED GROUND	SHT	SHEET			INSUL	INSULATION	SIM	SIMILAR			INT	INTERIOR	SD	SMOKE DAMPER			JAN	JANITOR	SC	SOLID CORE			JT	JOINT	STC	SOUND TRANSMISSION CLASS			J-BOX	JUNCTION BOX	S	SOUTH			KPL	KICK PLATE	SPEC	SPECIFICATION/ SPECIAL			KIT	KITCHEN	SQ	SQUARE			KO	KNOCKOUT	SSI/ ST.STL	STAINLESS STEEL			LBL	LABEL	STD	STANDARD			LAM	LAMINATE(D)	SNT	SEALANT			LA	LAMP	STL	STEEL			LAV	LAVATORY	SO	SOFA			LQ	LACQUER	ST	STONE			LE	LEATHER	STOR	STORAGE			LH	LEFT HAND	STRUC	STRUCTURAL/ STRUCTURE			LT(G)	LIGHT(ING)	SUP	SUPPORT			LWTG	LIGHTWEIGHT	SURF	SURFACE			LF	LINEAR FOOT	SUSP	SUSPENDED			LOC	LOCATION	SW	SWITCH			LOCK	LOCKER	SYM	SYMMETRICAL			LK	LONG LENGTH	TA	TABLE			LGL	LONG LENGTH	TB	TACKBOARD			MFR	MANUFACTURER	TEL	TELEPHONE			MAS	MASONRY	TEMP	TEMPERATURE/ TEMPERED /TEMPORARY			ML	MATCH LINE	THK	THICK(NESS)			MATL	MATERIAL	THRES	THRESHOLD			MAX	MAXIMUM	TBD	TO BE DETERMINED			MECH	MECHANICAL	T&G	TONGUE AND GROOVE			METL	METAL	TOS	TOP OF SLAB			MID	MIDDLE	T	TREAD(S)			MW	MILLWORK	TYP	TYPICAL			MIN	MINIMUM	UC	UNDERCUT			MISC	MISCELLANEOUS	UL	UNDERWRITER'S LABORATORIES			MRB	MARBLE	UNFN	UNFINISHED			MOD	MODULE	UNIF	UNIFORM			MLDG	MOULDING	UNC	UNLESS OTHERWISE NOTED			MTG	MOUNTED	UTIL	UTILITY			MTG	MOUNTING	VB	VAPOR BARRIER			MUL	MULLION	VAR	VARIABLE/ VARIE(S)(D)			MP		VNR	VENEER			NRC	NOISE REDUCTION COEFFICIENT	VERT	VERTICAL			NOM	NOMINAL	VAT	VINYL ASBESTOS TILE			NA	NORTH	VCT	VINYL COMPOSITION TILE			NIC	NOT APPLICABLE	VIF	VERIFY IN FIELD			NTS	NOT IN CONTRACT	VWC	VINYL WALL COVERING			NTS	NOT TO SCALE	VEST	VESTIBULE			NO.	NUMBER	WTW	WALL TO WALL			OFF	OFFICE	WC	WATER CLOSET			OC	ON CENTER	WH	WATER HEATER			OPNG	OPENING	WP	WATERPROOF			OPP	OPPOSITE	WT	WEIGHT			OPHD	OPPOSITE HAND	W	WIDTH/WEST			OD	OUTSIDE DIAMTER	WNDW	WINDOW			OF	OUTSIDE FACE	WW	WINDOW WALL			OA	OVERALL	WT	WINDOW TREATMENT			OVHD	OVERHEAD	W	WITH			P/PT	PAINT	W/O	WITHOUT			P/PT	PAINTED	WD	WOOD/ WOOD VENEER			PTD	PANTEL	WDB	WOOD BASE			PNL	PANEL	YD	YARD			PTR	PRINTER					PTN	PARTITION					PED	PEDESTAL/ STAND					PL	PLATE					PLAS	PLASTER					PLAM	PLASTIC LAMINATE					PLYWD	PLYWOOD					POL	POLISHED					LBS	POUND(S)					PVC	POLY VINYL CHLORIDE					PSI	POUNDS PER SQUARE INCH			<table border="1"> <tr><td>G.001</td><td>COVER SHEET AND DRAWING LIST</td></tr> <tr><td>A.001</td><td>EXISTING & PROPOSED SITE PLAN</td></tr> <tr><td>A.002</td><td>SITE PHOTOS</td></tr> <tr><td>A.100</td><td>DEMO, PROPOSED GROUND FLOOR PLAN & STAIR DETAIL</td></tr> <tr><td>A.101</td><td>EXISTING & PROPOSED ELEVATIONS</td></tr> </table>	G.001	COVER SHEET AND DRAWING LIST	A.001	EXISTING & PROPOSED SITE PLAN	A.002	SITE PHOTOS	A.100	DEMO, PROPOSED GROUND FLOOR PLAN & STAIR DETAIL	A.101	EXISTING & PROPOSED ELEVATIONS	<p>NEW DECK FOR EXISTING ADU AT FRONT OF ADU, ABOVE GARAGE DOOR DECK IS 200 SQ.FT.</p>
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		<h3>LOCATION PLAN</h3>	<h3>SETBACKS</h3> <p>SETBACKS REQD.:</p> <p>FRONT + REAR CUMULATIVE: 35 FT. (FRONT >6 FT REAR > 10 FT)</p> <p>SIDE CUMULATIVE: 20 FT. (EACH >5 FT)</p> <p>CORNER LOTS: 10 FT FOR ALL STREET FRONTAGE</p> <p>SETBACKS EXISTING:</p> <p>FRONT + REAR CUMULATIVE: 36 FT. (FRONT 22 FT, REAR 14 FT)</p> <p>SIDE CUMULATIVE: 20 FT. (8 FT-AT MAPLE), 12 FT-AT OAK)</p> <p>SETBACKS PROPOSED:</p> <p>FRONT + REAR CUMULATIVE: 30 FT. (FRONT 22 FT, REAR 8 FT)</p> <p>SIDE CUMULATIVE: 15 FT. (8 FT-AT MAPLE, 7 FT-AT OAK)</p> <h3>BUILDING AREA</h3> <p>EXISTING BUILDING AREA:</p> <p>MAIN RESIDENCE: 1,735 SQ.FT. (PER COUNTY ASSESSOR)</p> <p>EXCLUDED: GARAGE: 445 SQ.FT.</p> <p>PROPOSED BUILDING AREA:</p> <p>MAIN RESIDENCE: 1,735 SQ.FT. (PER COUNTY ASSESSOR)</p> <p>EXCLUDED: GARAGE: 445 SQ.FT. ADU: 800 SQ.FT. AREA UNDER ADU: 105 SQ.FT. AREA UNDER ADU STAIRS: 75 SQ.FT.</p> <h3>FAR</h3> <p>FAR: PERMITTED 40% - 2,500 SQ.FT.</p> <p>EXISTING FAR: 28% 1,735 SQ.FT. (445 SQ.FT. GARAGE EXCLUDED)</p> <p>PROPOSED FAR 28%: 1,735 SQ.FT. (445 SQ.FT. GARAGE, 800 SQ.FT. ADU, AREA UNDER ADU 105 SQ.FT. AREA & 75 SQ.FT. UNDER ADU STAIRS EXCLUDED)</p> <h3>LOT COVERAGE</h3> <p>PERMITTED 35% - 2,187.5 SQ.FT.</p> <p>EXISTING LOT COVERAGE:</p> <p>MAIN RESIDENCE: 1,735 SQ.FT.</p> <p>GARAGE: 445 SQ.FT.</p> <p>FRONT STAIRS: 57 SQ.FT.</p> <p>SIDE-YARD WALKWAY: 94 SQ.FT.</p> <p>TOTAL: 2,331 SQ.FT. 37 %</p> <p>PROPOSED LOT COVERAGE: SAME AS EXISTING</p>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																
		<h3>APPLICABLE CODES</h3> <p>ALL WORK IS TO BE PERFORMED ACCORDING THE BUILDING CODES, ORDINANCES, AND LAWS OF THE AUTHORITY HAVING JURISDICTION FOR THE PROJECT.</p> <p>CRC - 2023 CALIFORNIA RESIDENTIAL BUILDING CODE.</p> <p>CEC - 2023 CALIFORNIA ELECTRICAL CODE.</p> <p>CMC - 2023 CALIFORNIA MECHANICAL CODE.</p> <p>CPC - 2023 CALIFORNIA PLUMBING CODE.</p> <p>CeC - 2023 CALIFORNIA ENERGY CODE.</p> <p>CalGreen - 2023 GREEN BUILDING CODE.</p> <p>FAIRFAX MUNICIPAL CODE.</p> <p>FAIRFAX PLANNING CODE.</p>	<h3>CLIENT</h3> <p>Bridget Fees 31 Maple Ave Fairfax, CA 94930 bfees@gmail.com</p> <h3>STRUCTURAL ENGINEER</h3> <p>Kelly Turbin P.E. Turbin Structural Engineering 244 Miller Avenue Mill Valley, CA 94941 kelly@turbinstructural.com 415.373.9472 x 105</p> <p>DISCLAIMER: ALL DRAWINGS WERE PERFORMED REMOTELY VIA PHOTOS FROM PROPERTY OWNER AND COORDINATION WITH FAIRFAX PLANNING DEPARTMENT.</p> <table border="1"> <thead> <tr> <th>No.</th> <th>Issue</th> <th>Date</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>Conditional Use Permit</td> <td>10/31/23</td> </tr> <tr> <td>1</td> <td>Conditional Use Permit Rev.1</td> <td>01/25/24</td> </tr> <tr> <td>2</td> <td>Conditional Use Permit Rev.2</td> <td>02/05/24</td> </tr> <tr> <td>3</td> <td>Conditional Use Permit Rev.3</td> <td>03/30/24</td> </tr> <tr> <td>4</td> <td>Conditional Use Permit Rev.4</td> <td>04/04/24</td> </tr> </tbody> </table> <p>PROJECT CUP for ADU front yard deck</p> <p>31 Maple Ave Fairfax, CA 94930</p> <p>Date: 04/04/24</p> <p>Scale: N.T.S.</p> <p>Sheet Title: Cover Sheet and Drawing List</p> <p>Sheet Number: G.000</p>	No.	Issue	Date	0	Conditional Use Permit	10/31/23	1	Conditional Use Permit Rev.1	01/25/24	2	Conditional Use Permit Rev.2	02/05/24	3	Conditional Use Permit Rev.3	03/30/24	4	Conditional Use Permit Rev.4	04/04/24																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
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01 Existing Site Plan
1/8"=1'-0"



01 Proposed Site Plan
1/8"=1'-0"

GENERAL NOTES

- A. ALL NON-LABELLED AREAS OF SITE ARE DIRT/GRASS
- B. ALL LANDSCAPE STEPS AND PAVERS ARE POUROUS
- C. THERE ARE NO EASEMENTS ON THE SITE

KEY NOTES

- 01 EXISTING LANDSCAPE WALL
- 02 UTILITY POLE
- 03 E FENCE TO BE DEMOLISHED
- 04 PROPERTY LINE
- 05 TREE: PRUNUS x YEDOENSIS 'AKEBONO'
- 06 TREE: PRUNUS SERRULATA 'PINK CLOUD'
- 07 NEW FENCE
- 08 NEW RETAINING WALL
- 09 LINE OF NEW DECK
- 10 POROUS PAVERS - SEE A.002

PLAN LEGEND

- AREA TO REMAIN
- AREA TO BE DEMOLISHED
- WALL TO BE DEMOLISHED

No.	Issue	Date
0	Conditional Use Permit	10/31/23
1	Conditional Use Permit Rev. 1	01/25/24
2	Conditional Use Permit Rev. 2	02/05/24
3	Conditional Use Permit Rev. 3	03/30/24
4	Conditional Use Permit Rev. 4	04/04/24

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PROJECT
CUP for ADU front yard deck
31 Maple Ave
Fairfax, CA 94930

Date: 04/04/24
Scale: 1/8" = 1'-0"

Sheet Title:
Existing & Proposed Site Plan
Sheet Number:

A.001

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415.373.9472 x 105

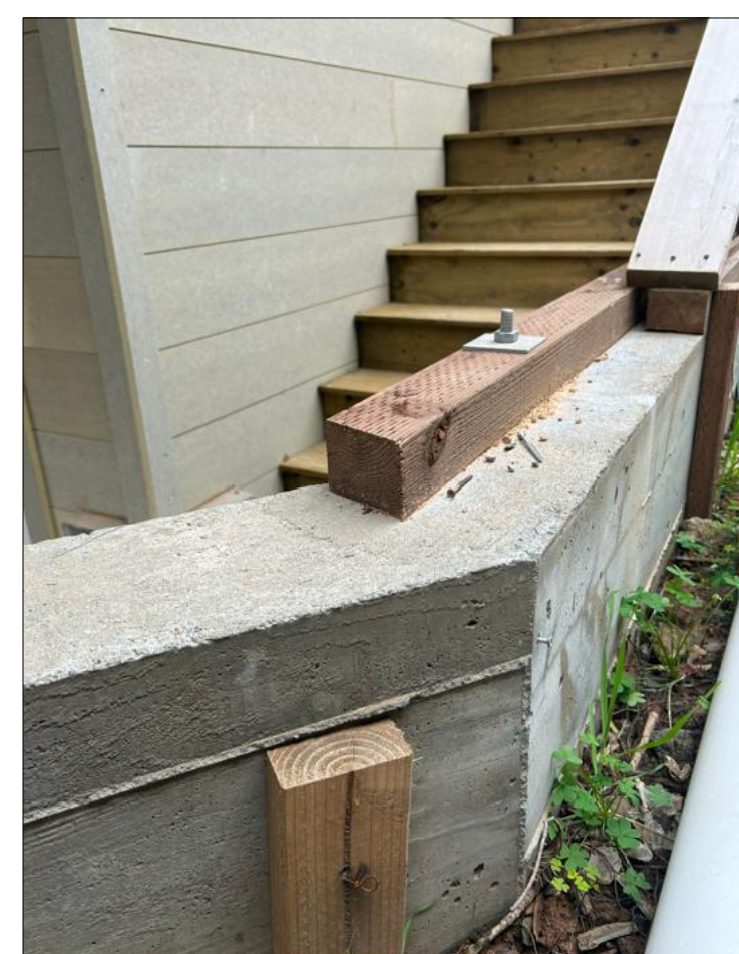
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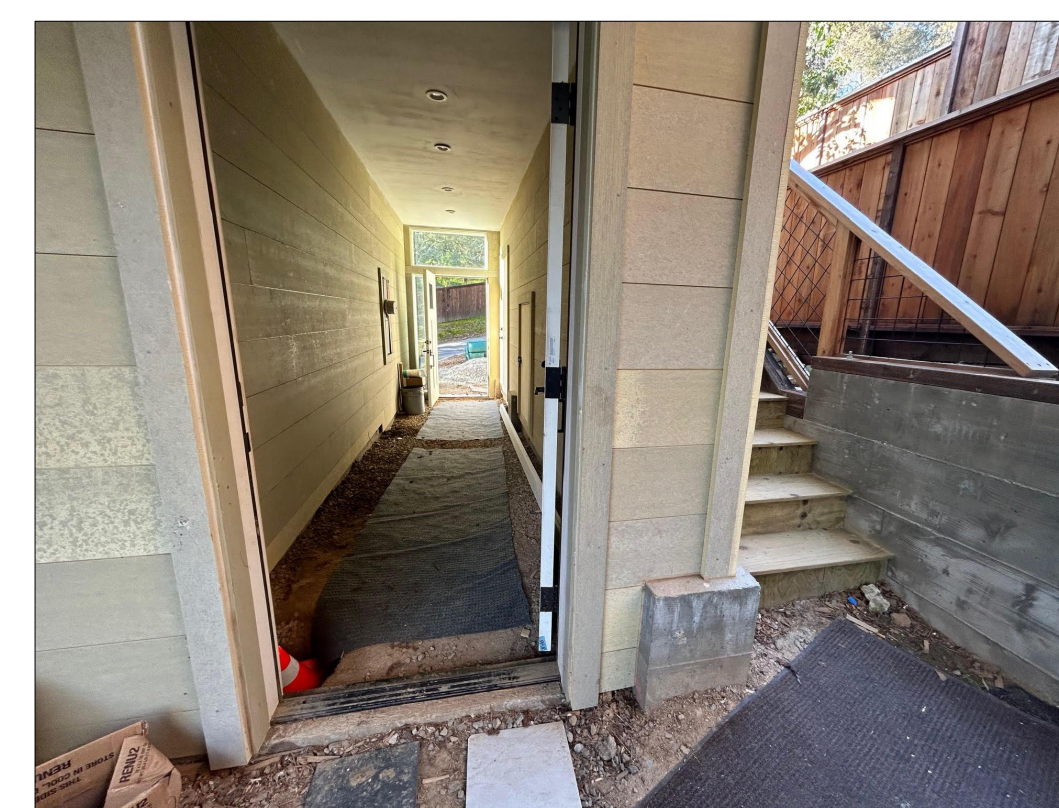
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RETAINING WALL AT BACK



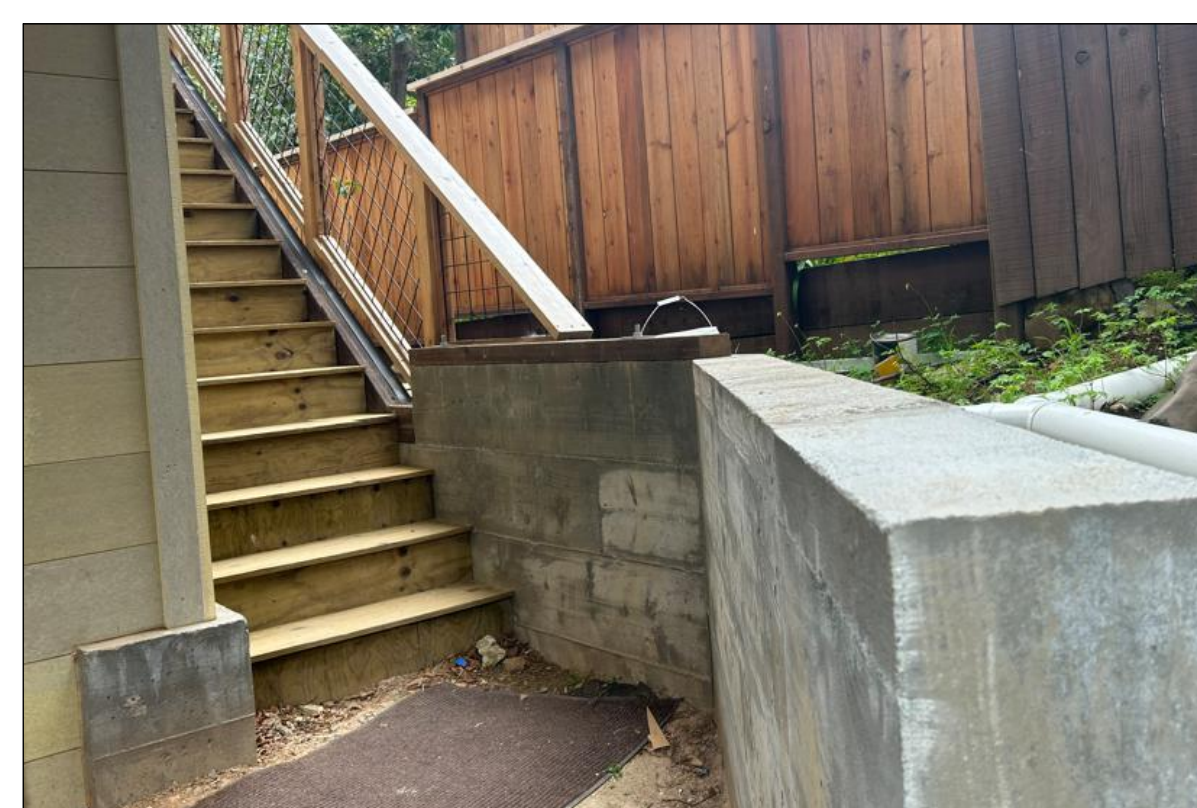
ADU AND GARAGE AT REAR



AREA UNDER ADU FROM REAR



PAVERS



RETAINING WALL AT BACK



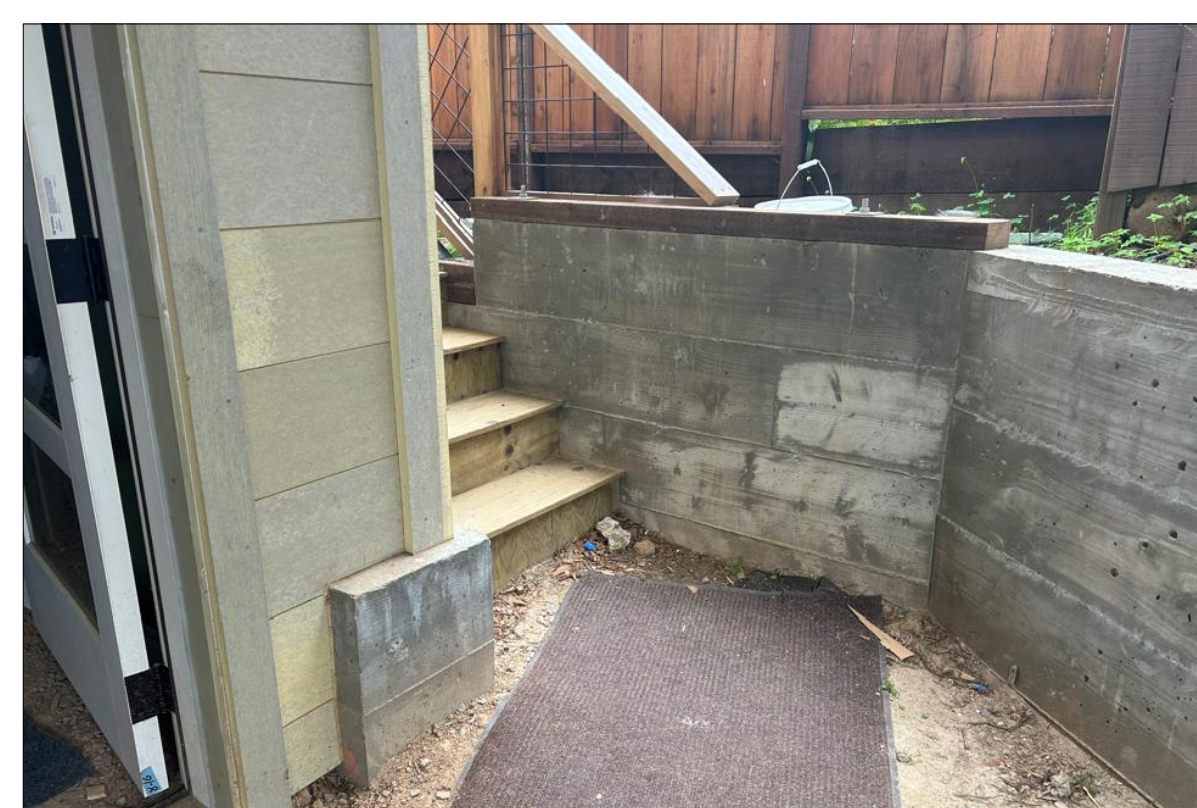
STAIR FROM SIDE



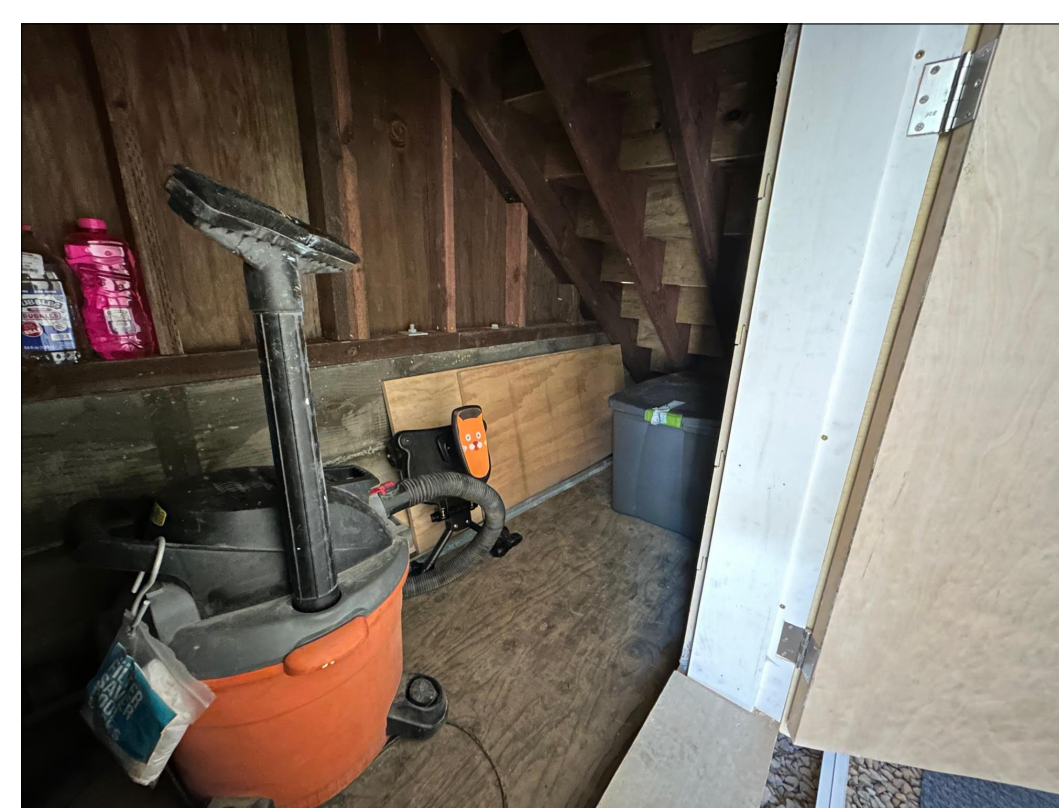
UNDER ADU AND STAIR AT FRONT



PAVERS



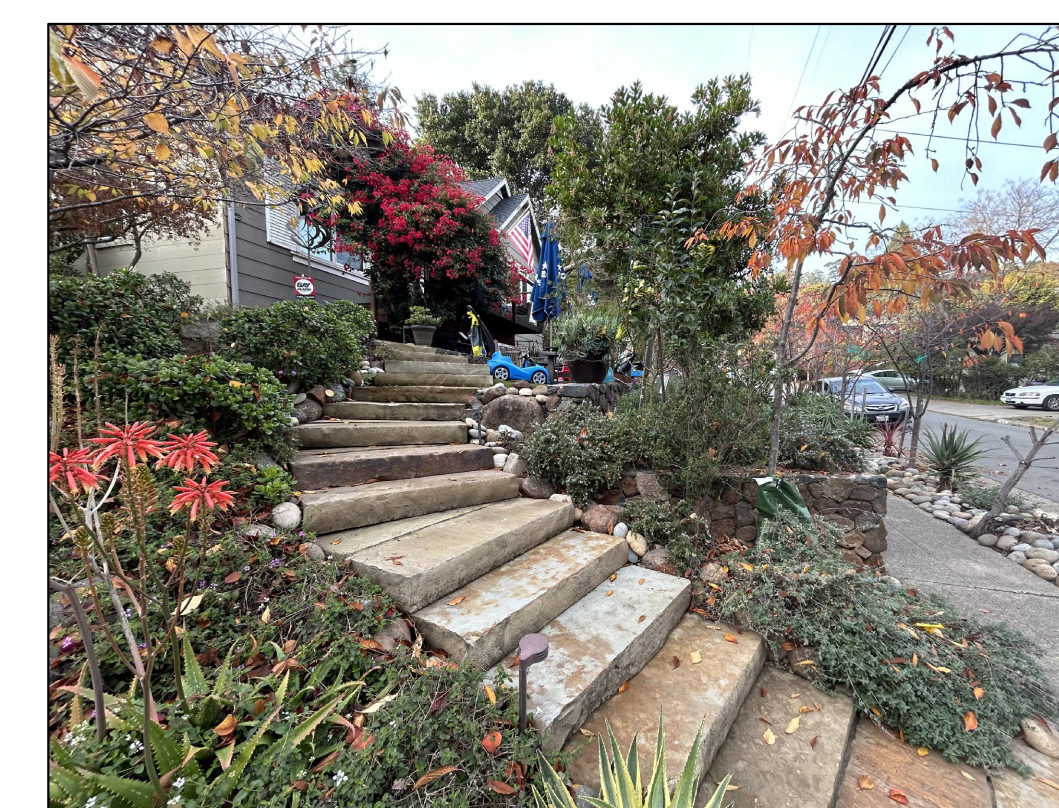
RETAINING WALL AT BACK



STORAGE UNDER STAIRS



FRONT OF ADU AND GARAGE



PAVERS

No.	Issue	Date
0	Conditional Use Permit	10/31/23
1	Conditional Use Permit Rev.1	01/25/24
2	Conditional Use Permit Rev.2	02/05/24
3	Conditional Use Permit Rev.3	03/30/24
4	Conditional Use Permit Rev.4	04/04/24

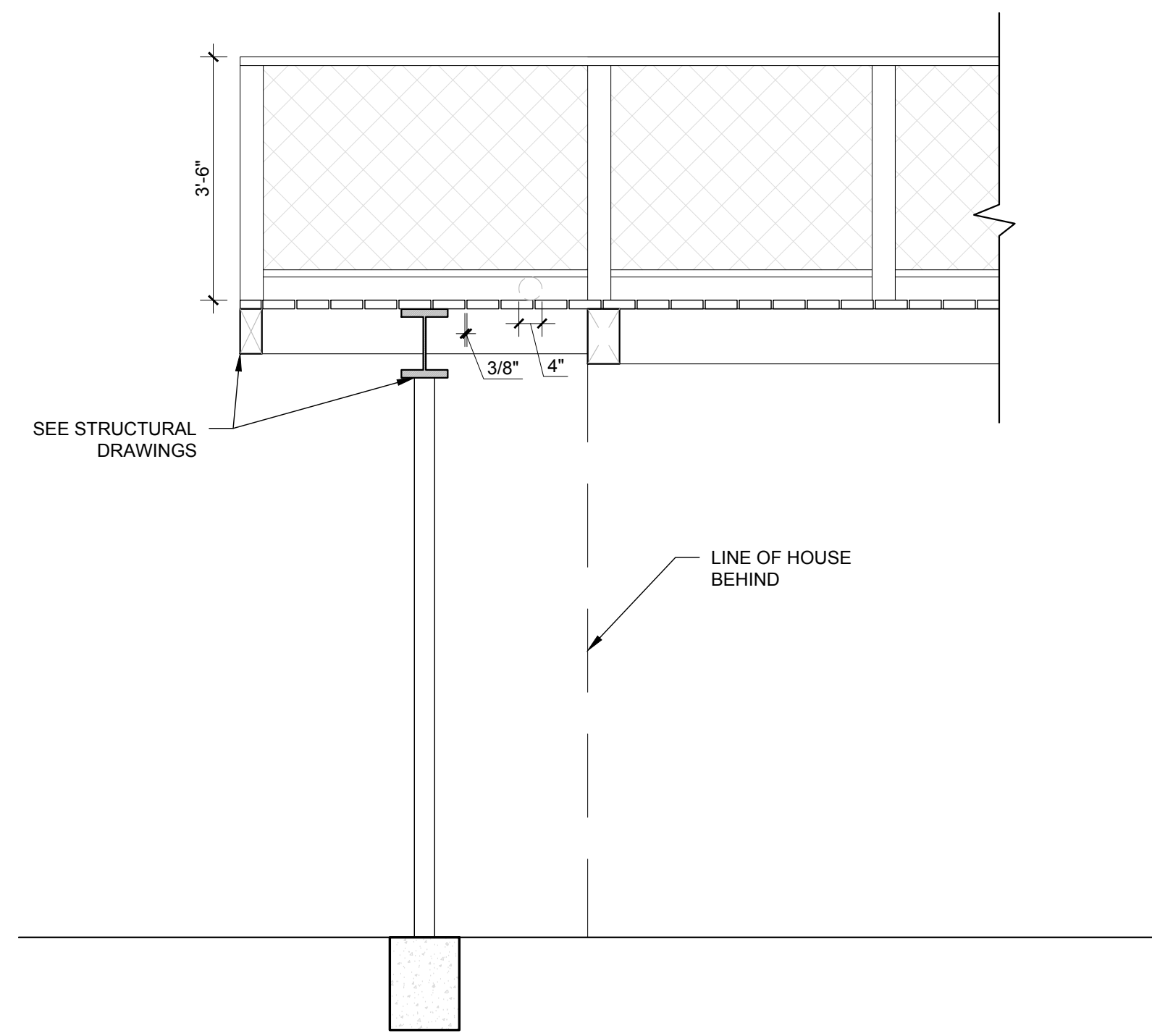
PROJECT
CUP for ADU front yard deck
31 Maple Ave
Fairfax, CA 94930

Date: 04/04/24
Scale: N.T.S.

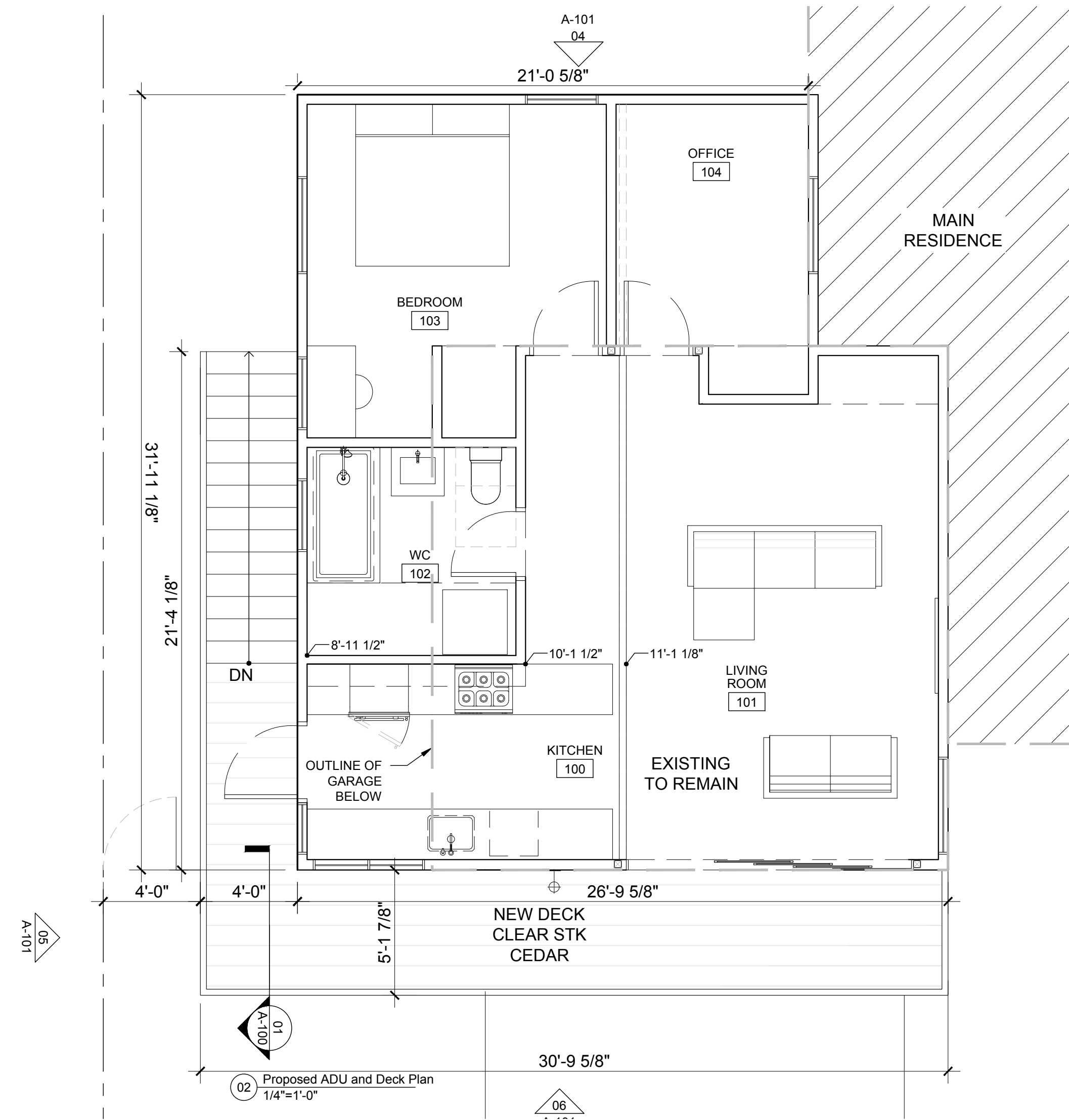
Sheet Title:
Site Photos

Sheet Number:

A.002



01 Detail Section of Deck
1/2"=1'-0"



02 Proposed ADU and Deck Plan
1/4"=1'-0"

PLAN LEGEND

AREA TO REMAIN

WALL TO BE DEMOLISHED

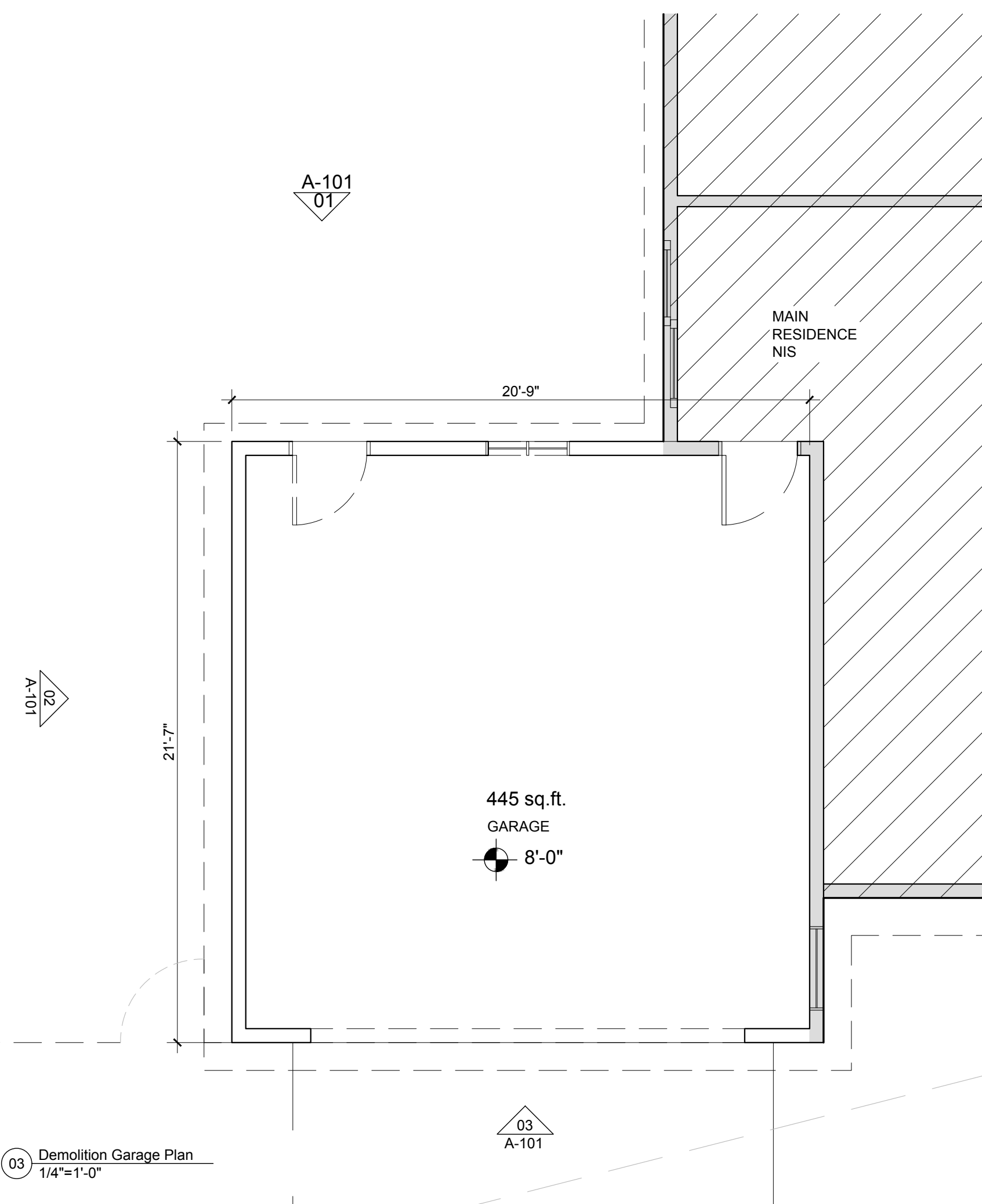
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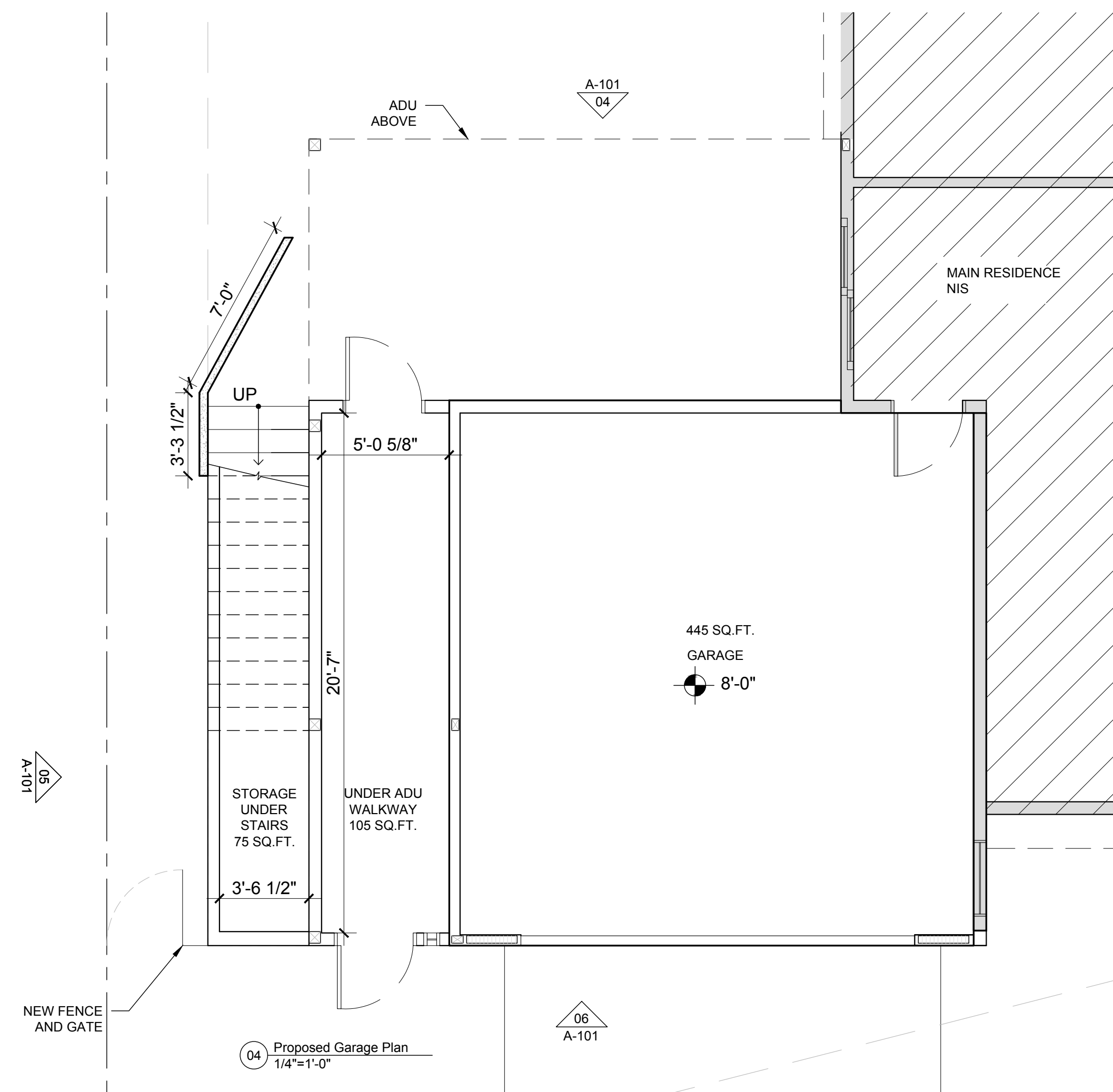
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03 Demolition Garage Plan
1/4"=1'-0"



04 Proposed Garage Plan
1/4"=1'-0"

No.	Issue	Date
0	Conditional Use Permit	10/31/23
1	Conditional Use Permit Rev.1	01/25/24
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3	Conditional Use Permit Rev.3	03/30/24
4	Conditional Use Permit Rev.4	04/04/24

PROJECT
CUP for ADU front yard deck
31 Maple Ave
Fairfax, CA 94930

Date: 04/04/24
Scale: 1/4"=1'-0"

Sheet Title:

Demo & Proposed Ground Floor Plan

Sheet Number:

A.100

KEY NOTES

- 01 N EXTERIOR LIGHT FIXTURE. DARK SKY COMPLIANT; DOWNLIT. 850 LUMENS 3,000 KELVIN
- 02 N EXTERIOR LIGHT FIXTURE. DARK SKY COMPLIANT; DOWNLIT. 375 LUMENS 300 KELVIN
- 03 N EXTERIOR LIGHT FIXTURE. DARK SKY COMPLIANT; DOWNLIT. 800 LUMENS 3000 KELVIN

GENERAL NOTES

- A ALL SIDING IS HARDIE BOARD
- B ALL WINDOWS ARE VINYL
- C ALL DOORS ARE WOOD
- D ALL BUILDING MATERIALS TO MATCH EXISTING

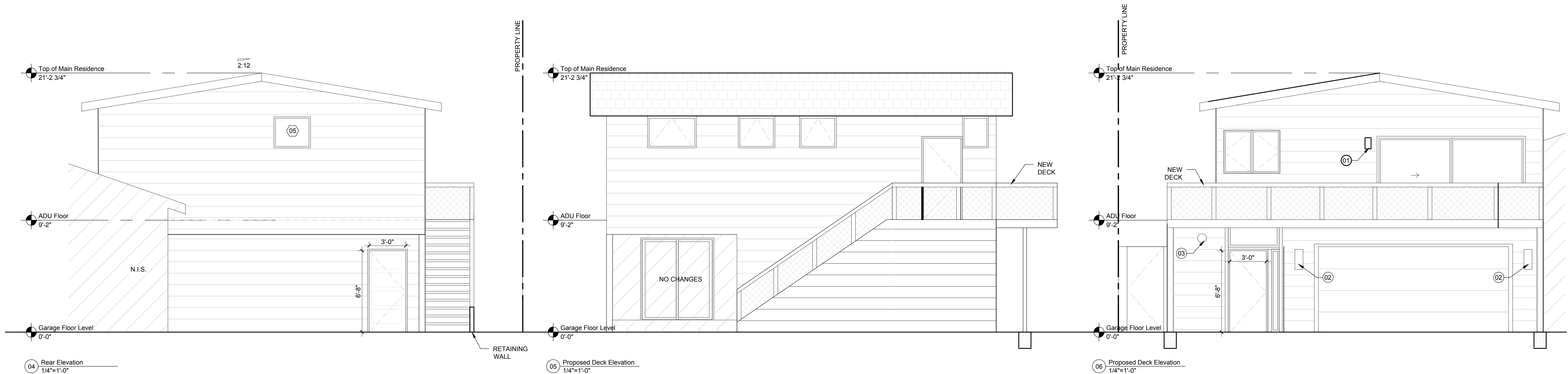
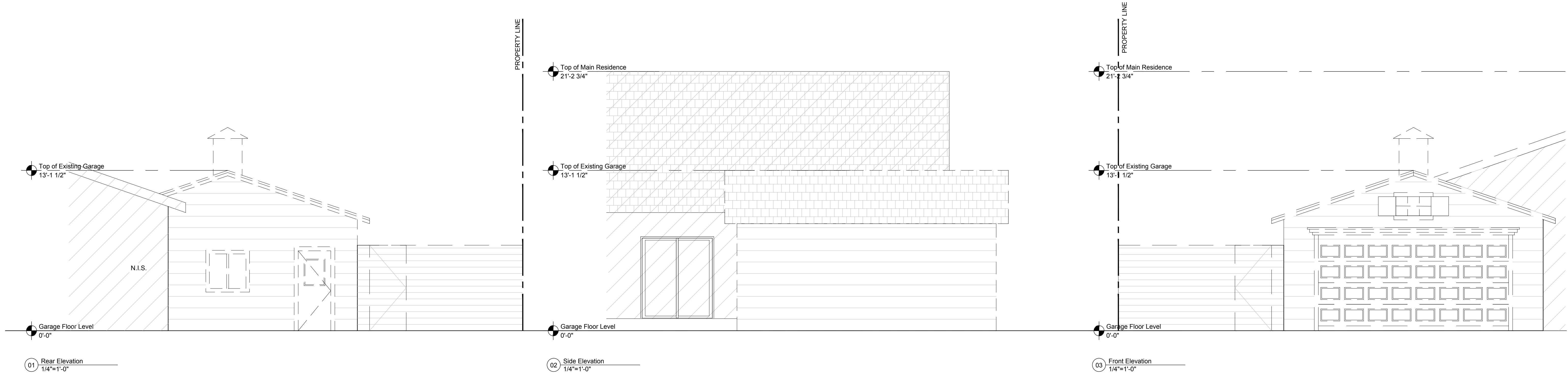
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PROJECT
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31 Maple Ave
Fairfax, CA 94930

Date: 04/04/24
Scale: 1/4"=1'-0"

Sheet Title:
Existing and Proposed Elevations

Sheet Number:

A.101