# TOWN OF FAIRFAX STAFF REPORT

## **Department of Planning and Building Services**

**TO:** Planning Commission

**DATE:** June 20, 2024

**FROM:** Linda Neal, Principal Planner

**LOCATION:** 60 Dominga Avenue; APN # 002-122-14 **ZONING:** RD 5.5-7 Residential Zone, High Density

PROJECT: Remodeling/upgrade of an existing two story, two-bedroom, two-

bathroom, single-family residence to create a 1,186 square-foot, one bedroom, one and a half-bathroom single-family residence and a 472

square-foot studio accessory dwelling unit

**ACTION:** Conditional Use Permit, Design Review Permit, Tree Removal Permit,

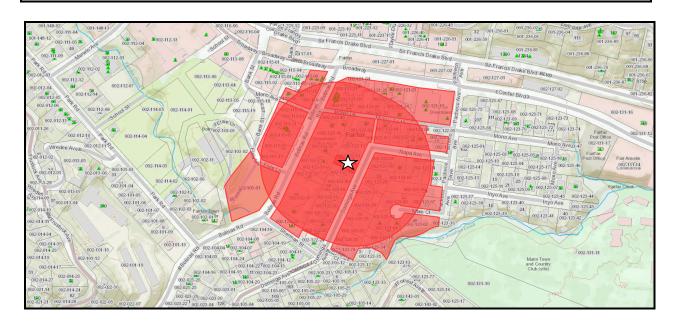
Side Yard Setback Variance and a Covered Parking Variance; Application

# 24-07

**APPLICANT:** Gary Meyer, Architect

OWNER: Ellen Nicosia

CEQA STATUS: Categorically exempt, §15301(e)(2)(a) and 15305(a)



## 60 DOMINGA AVENUE APN # 002-122-14

#### PROJECT DESCRIPTION

Remodel of a 1,661 square-foot, 2-story, 2-bedroom, 2-bathroom, single-family residence converting it into a 1,186 square-foot, 1-bedroom, 1 ½ -bathroom, single-family residence on the first floor with a 472 square-foot, studio, accessory dwelling unit

with a kitchenette and bathroom on the second floor accessed by the existing covered stairway at the rear of the structure. The accessory dwelling unit (ADU) is permitted by State Law and local ADU Ordinances and will be processed separately. The project would include removing the interior stairway connecting the two levels, relocating the driveway approach, and widening it to 20 feet to access three uncovered parking spaces. Proposed improvements to the main residence created on the first floor include building a deck on the front of the structure, relocating the front access door from the southeast corner to the northeast corner, the addition of a ½ bathroom, a closet in the existing bedroom, a storage cabinet along the south wall of the living room, creation of a laundry room in a portion of the dining room and installation of new windows in the front the house and a wall mounted awning over the relocated front door.

#### **BACKGROUND**

The original one-story dwelling was built in 1922 on the 3,750 square-foot, level, site that was created by the recording of Map No. 2, Pacheco Tract in 1914 at the Marin Recorder's Office.

In early 1980 the property was red tagged when the front porch and siding of the building were removed without the benefit of a building permit. In November of 1980, the Planning Commission approved a Conditional Use Permit and Variance to allow the remodeling and expansion of the first floor, enclosing the rear patio to convert it into a kitchen and a laundry room and to build a master bedroom as a second story. The discretionary approvals were conditioned upon the garage at the rear of the property, within the required side and rear setbacks, being reconstructed in compliance with building and fire codes as part of the project. A building permit was issued for the work on January 1, 1981.

In March of 1981 the Town Engineer and the Town Administrator inspected the property and a letter from the Building Inspector to the property owners advised them the project was not being built in compliance with the Building Codes and that finishing of the interior walls would not be allowed until the project was rebuilt to code.

On November 19, 1981, the Planning Commission approved a modification of the project to allow the required covered parking space for the property to be an unenclosed carport instead of a garage.

On March 7, 1983, the Building Official advised the Town Administrator that the following were not up to code: electrical wiring is inadequate, no cripple studs had been placed under the window and door headers. The weight of the roof is depending on nails to hold it up, corner posts on the second floor are installed that do not tie the building together, the building does not have bracing of any kind, the foundation is not to code, the house is set on pier blocks.

The last inspection signed off by the Building Inspector on February 27, 1984, was for a rough close-in which should mean that the electrical, plumbing, and mechanical improvements and rough framing were installed in compliance with the California

Building Code. The foundation was complete at this point as well. No required inspections are recorded for the project after February of 1984 and the required carport was never built, the rest of the project construction was never inspected by the Town and the project never had a final inspection.

On June 6, 2023, the Building Official issued a permit for water damage repair around the windows of the upstairs bathroom and in the ceiling inside the entry door.

In mid-2023 staff visited the site because work was continuing to occur on the structure beyond what the issued permit allowed. Staff inspected the interior of the house and explained that the Town Code considered what they were doing a 50% remodel since much of the drywall had been removed and some of the construction behind the drywall appeared to not meet current California Building Code and would have to be corrected to meet building code requirements (Attachment C – photos from inspection). The project at that point was deemed a 50% remodel and the owner was advised that a Conditional Use Permit had to be obtained from the Planning Commission before work could begin again and that since the project was a 50% remodel additional parking would have to be provided to bring the property into compliance with the Parking Ordinance or a parking variance would have to be granted by the Planning Commission [Town Code § 17.010.040(B)(1) and (C)(2)(a)].

The property is located in Flood Zone AE so the owner was also advised that it was possible that the project, because it was a 50% remodel, might have to include raising the first-floor level of the house at least one foot above the flood elevation. However, the owner had an elevation certificate prepared that shows that most of the first floor is above the flood elevation, only the rear kitchen area is at the base flood elevation of 107.5.

FEMA's 50% remodel definition is based on the cost of construction, not the square footage of the structure that is being structurally altered/replaced. FEMA also exempts work that corrects existing violations of state, local health, sanitary and safety code regulations which are the minimum necessary to assure safe living conditions. The applicant and her contractor feel confident that when they present their documentation of the inadequate construction they found behind the drywall to FEMA along with their construction plans they will not be required to elevate the floor of the kitchen/dining/laundry room at the rear of the building. However, if they do have to raise the kitchen floor up, the project may require modification and they will be required to return before the Planning Commission if the height of the structure must change to comply with FEMA regulations. They have been advised by staff of this possibility.

The front fence exceeds the permitted 4-feet in height but photographs from 1980 show the fence looking old in 1980 so it probably is legal non-conforming.

The site is not located within ¼ mile of any Northern Spotted Owl nesting site.

#### DISCUSSION

The site is located in the Residential RS 5.5-7 Zone and the structures comply with the RD 5.5-7 Zone setback, height, floor area ratio (FAR) and lot coverage regulations as follows:

	Front Setback	Rear Setback	Combined Front/rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Coverage	Height
Required/ Permitted	6 ft.	6 ft.	25 ft.	5 ft. & 5 ft.	15 ft.	.40	.35	
Existing	32 ft.	20 ft.	52 ft.	2 ft. & 9 ft.	11 ft.	.45	.34	20 ft., 2 stories
Proposed	No change	No change	No change	No change	No change	No change	No change	No change

#### **Required Permits and Findings**

#### **Conditional Use Permit (Town Code Chapter 17.032)**

The site is 3,750 square-feet in size and 38 feet wide and deemed legal non-conforming since the minimum parcel size and width for a property developed with a single-family residence in the RD 5.5-7 is 5,500 square-feet in size and 60-feet wide.

Town Code § 17.084.050 requires that any physical improvements on a building site failing to meet the minimum size and width requirements requires the approval of a Conditional Use Permit (CUP) by the Planning Commission.

The purpose of the Conditional Use Permit process is to allow the proper integration of projects into neighborhoods which may be suitable only if they are designed or laid out on the site in a particular manner [Town Code § 17.032.010(A).

#### Findings [Town Code § 17.032.060(A) through (E)]

In order to approve a Conditional Use Permit (CUP) the Planning Commission must be able to make the findings set forth in Town Code Chapter:17.032.060 (**Staff's Recommended findings are in bold italicized print following each finding):** 

(A) The location, size, design, and operating characteristics of the use conform to the General Plan and the land use designations for the project site and to the objective zoning standards and objective design standards that apply to the proposed use at the proposed location.

The restoration of the dilapidated residential structure and conversion to two units without changing the existing setbacks, height, lot coverage or floor area ratio while bringing the parking into compliance with the minimum parking requirements conforms to the 2023-2031 Fairfax General Plan and Zoning Ordinance, specifically Town Code § 17.016.040(B) and (C), Alterations and Additions to Non-conforming structures.

(B) The approval of the use permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment.

Restoring the structure to a habitable condition will not be a grant of special privilege because the restoration will be a benefit to the Dominga Avenue neighborhood by improving an existing structure that deteriorated to the point of being an eyesore from the many years of neglect.

(C) The development and use of property, as approved under the use permit, shall not create a public nuisance arising from the emission of odor, dust, gas, noise, vibration, smoke, heat, or glare at a level exceeding ambient conditions or applicable performance standards, or cause significant adverse physical or environmental effects to abutting or adjoining properties and the surrounding neighborhood, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the use permit;

Once the construction is completed the use of the property for two living units is not expected to create a public nuisance or cause adverse physical or environmental effects to abutting or adjoining properties beyond that which might occur on any other residential developed property.

(D) Approval of the use permit is not contrary to those objectives, goals or objective standards pertinent to the particular use and location and contained or set forth in the General Plan, the Zoning Ordinance (this Title), any master plan, development plan or other plan or policy, officially adopted by the town; and

Approving a CUP to allow the remodeling of this structure and conversion into two units is not contrary State Law or to the objectives, goals, or standards contained in the General Plan or the Zoning Ordinance.

(E) Approval of the use permit will result in equal or better development of the premises than would otherwise be the case, and that the approval is in the public interest and for the protection or enhancement of the community.

Granting the CUP to allow the owner to upgrade the existing structure will result in equal or better development of the premises than would otherwise be the case, and the approval is in the public interest and for the protection or enhancement of the community.

#### **Design Review Permit (Town Code Chapter 17.020)**

Town Code § 17.020.030(A) requires that new houses or projects that constitute 50% remodels obtain a design review permit from the Planning Commission along with any other required discretionary permits. The entire first floor is proposed to be remodeled and 475 square-feet of new area is proposed as a second-floor addition, so the project

constitutes a 50% remodel and is subject to obtaining a Design Review Permit from the Planning Commission.

In order to approve a Design Review Permit the Commission must be able to find that the project will, "foster a good design character through consideration of objective design standards for aesthetic and functional relationships to surrounding development and in order to further enhance the town's appearance and the livability and usefulness of properties" [Town Code §17.020.020(B)].

The code directs the Planning Commission to use criteria including but not limited to the following when approving an application for a Design Review Permit:

- (A) Only elements of design which have significant relationship to exterior appearance of structures and facilities shall be considered; these elements include only height, building mass, building setbacks and arrangement on the site, exterior building material, signs, landscaping, pedestrian access, and appurtenances for which objective design standards have been established in this title.
- (B) The proposed development shall be of a quality and character appropriate to, and serving to protect the value of, private and public investments in the immediate area.
- (E) Conformance to standards for the size and design of the structure shall be considered for the purpose of determining that the structure is in proportion to its building site and that it has a balance and unity among its external features so as to present a harmonious appearance.
- (F) The extent to which the structure conforms to the standards governing the general physical character of other structures in the vicinity, including their height, building mass, and relationship to the street and adjacent structures.
- (H) The extent to which natural features, including trees, shrubs, creeks and rocks and the natural grade of the site are to be retained based on the standards for protecting these features established in this title.
- (I) Conformance to the standards for accessibility of off-street parking areas and the relation of parking areas with respect to traffic on adjacent streets.

Note: The criteria were amended by Ordinance 885 which went into effect on December 1, 2023. They were amended to include Objective Design Standards which would apply to qualifying workforce housing and low-income housing projects. The staff has only listed those criteria that still apply to developed single-family or duplex sites.

The only changes to the exterior of the house will be the relocation of the front entry door, construction of a new front deck, installation of four new windows in the front wall of the house, removal of the only two windows on the south side of the house, and installation of one clerestory window on the upper floor in the ADU bathroom. The windows in the front along with the deck and the relocated front door with a wall mounted awning will increase the articulation of the front façade of the building and make it more visually appealing when viewed from the street.

The exterior materials of the structure are in place and are being retained.

The siding of the existing structure will be painted light blue (custom color to match existing light blue, low lustre), the front door, roof flashing, window and door trim and deck skirting will be painted gray (Benjamin Moore "Colorado Gray, soft gloss, 2136-50, window frames will be white fiberglass Millgard ("Frost"), the roof will remain as it is now, a combination of asphalt shingles in light brown over the sections with a slope of 7:12, and light gray rolled asphalt on the sections that have a slope of 2:12, the back stairs and deck will be dark gray (Cabot, semi-solid stain in "Slate Gray"), the front deck railing will be black TimberTech aluminum, the front deck and stairs will be TimberTech PVC in brown ("Coastline") and the front awning will be Sunbrella Silica Stone.

The proposed exterior changes to the structure are minimal but along with the exterior color palette being proposed will refresh the structure and result in a residential building that will complement the surrounding neighborhood that includes many other eclectic residential buildings. Therefore, the proposed project will comply with the design review criteria contained in Town Code § 17.020.040.

Note: there are no legally required findings to allow the granting of a Design Review Permit.

#### Tree Removal Permit [Town Code 8.36.030(B)]

The project includes the removal of 2 small Laurel trees, a Cedar tree, and a Privet to accommodate the three parking spaces and the front access path to the new front deck. A second Privet will be removed from the back yard while a redwood tree and a Walnut tree will be retained. The Fairfax Tree Committee reviewed the proposed tree removal plan at their April 24, 2024, meeting and are recommending that the Planning Commission approve the tree removal permit application. The Committee did not recommend that any replacement trees be planted to replace the trees being removed (Attachment B – Tree Committee letter of recommendation, application, and arborist report).

#### Variances for Parking [Town Code § 17.052.010(B) and (D)]

Town Code § 17.052.010(B) prohibits the location of required parking in the side-yard setbacks and Town Code § 17.052.010(D) requires that at least one of the required three parking spaces for a residence must be covered.

The very small size and width of the property are the features that make it difficult to provide parking in compliance with the Zoning Regulations. While the property did have a covered parking space at the rear at one point, the structure was built on both the side and rear property lines and probably encroached upon the small amount of private outdoor space available to the residents in the rear yard. The adoption by the Town in 1973 of combined side-yard setback regulations has made it impossible for the required three parking spaces to be provided at the front of the site unless a variance is granted to allow the spaces to be located within the minimum 5-foot north side property line setback and within the combined 15-foot side-yard setback.

The purpose of the Variance Permit is to allow exceptions to the strict application of the Zoning regulations where, by reason of exceptional narrowness, shallowness, unusual shape or slope of a property, the strict application of the regulations would be difficult or cause undue hardship unnecessary to carry out the spirit of the law.

#### Findings [Town Code § 17.028.070(A) through (4)]

In order to approve a Variance for a project the Planning Commission must be able to make the following findings (staff's recommended findings follow the code text in bold italicized font):

Because of special circumstances applicable to the property, including size, shape, topography, location of surroundings, the strict application of this title will deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification.

The narrow 37.5-foot width and 3,750 square-foot size of the site are the special features that warrant the granting of the Variance to allow parking within the side-yard setbacks and to not require one of the spaces to be a covered space. Prohibiting parking in the setbacks and requiring the construction of a covered parking space would deprive the applicant of privileges enjoyed by other property owners in the vicinity in the RD 5.5-7 Zone.

The variance or adjustment will not constitute a grant of special privilege, is consistent with the limitations upon other properties in the vicinity and under identical zone classification and is consistent with the objectives of this title.

The granting of the variances will not be a grant of special privilege because other residences in the Dominga Avenue neighborhood have parking within the side-yard setbacks and have no covered parking spaces (53, 56, 64, 67, 80, 84, 88, 108, 120, 141, and 149 Dominga Avenue).

The strict application of this title would result in excessive or unreasonable hardship.

The strict application of the side-yard setback parking prohibition and the requirement for a covered parking space would be an unreasonable hardship and would require the granting of other variances such as a front-yard setback variance if a covered parking space were provided at the front of the site and side and rear setback variances if the covered space were provided at the rear of the site while also taking up some of the small available outdoor living space for this property (note that the third guest parking space cannot be provided within the right-of-way along the frontage of the property because the curb is painted red).

The granting of the variance of adjustment will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated.

Granting the variance to allow uncovered parking in the required side setbacks and to not have a covered parking space will not be detrimental to the public welfare or injurious to other property in the vicinity. The site will continue to be utilized as it has been.

# Other agency comments Ross Valley Sanitary District (RVSD)

- 1. The project triggers RVSD's testing and certification requirements and will require a sewer lateral permit for all laterals including for the ADU.
- 2. After the applicant has obtained their building permit for the project, they must contact RVSD for capacity and permit fee calculations, and have the contractor submit a complete application packet with the permit fee payment. A complete application packet must include the application, site plan (sketch) identifying the lateral location(s), video and check make payable to RVSD.
- Applications must be mailed or delivered to the Ross Valley Sanitary District
  Office during business hours. The contractor must schedule a RVSD final
  inspection. Incomplete applications will be rejected.

#### **Ross Valley Fire Department (RVFD)**

A fire sprinkler system shall be installed throughout the building which complies with the requirements of the National Fire Protection Association 13-D and local standards. The RVFD standard conditions of approval can be viewed in attached Resolution No. 2024-10.

No comments were received from Fairfax Police, Public Works or Building Departments or from Marin Municipal Water District.

#### **RECOMMENDATION**

Conduct the public hearing.

Move to approve application 24-07 by adopting Resolution No. 2024-10 setting forth the findings and the conditions for the project approval.

#### **ATTACHMENTS**

A - Resolution No. 2024-10

B – Tree Committee Recommendation

C – Interior photos

D – Project plan set

#### **RESOLUTION NO. 2023-10**

A Resolution of The Fairfax Planning Commission Approving Application
No. 24-07 for a Conditional Use Permit, Design Review Permit, Tree Removal
Permit, Setback Variance and Covered Parking Variance for the Remodel/Upgrade
of the Existing Single-family Residence at 60 Dominga Avenue into a Singlefamily Residence and Accessory Dwelling Unit

**WHEREAS**, the Town of Fairfax received an application from Ellen Nicosia to remodel and restore the existing 1,661 square-foot, 2-story, 2-bedroom, 2-bathroom, single-family residence converting it into a 1,186 square-foot, 1-bedroom, 1½-bathroom, single-family residence on the first floor with a 472 square-foot, studio, accessory dwelling unit with a kitchenette and bathroom on the second floor on February 12, 2024; and

WHEREAS, the application was deemed complete on May 3, 2024; and

**WHEREAS**, the Commission held a duly noticed public hearing on the proposed project on June 20, 2024; and

**WHEREAS**, after holding the public hearing the Planning Commission determined that the project complies with the Design Review Ordinance and that findings can be made to grant the requested Conditional Use Permit, Design Review Permit, Tree Removal Permit, Side-setback Variance and Covered Parking Variance; and

**WHEREAS,** the Commission has made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-1.2.3: New and renewed development shall be designed and located to minimize the visual mass. The Town will require exterior materials and colors that blend the exterior appearance of structures with the surrounding natural landscape, allowing for architectural diversity.

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

#### Conditional Use Permit [Town Code § 17.032.060(A) through (E)]

A. The restoration of the dilapidated residential structure and conversion to two units within the existing structure without changing the existing setbacks, height, lot coverage or floor area ratio while bringing the parking into compliance with the minimum parking requirements conforms to the 2023-2031 Fairfax General Plan and Zoning Ordinance, specifically Town Code § 17.016.040(B) and (C), Alterations and Additions to Non-conforming structures.

- B. Restoring the structure to a habitable condition will not be a grant of special privilege because the restoration will be a benefit to the Dominga Avenue neighborhood by improving an existing structure that deteriorated to the point of being an eyesore over many years of neglect.
- C. Once the construction is completed the use of the property for two living units is not expected to create a public nuisance or cause adverse physical or environmental effects to abutting or adjoining properties beyond that which might occur on any other residential developed property.
- D. Approving a CUP to allow the remodeling of this structure and conversion into two units is not contrary State Law or to the objectives, goals, or standards contained in the General Plan or the Zoning Ordinance.
- E. Granting the CUP to allow the owner to upgrade the existing structure will result in equal or better development of the premises than would otherwise be the case, and the approval is in the public interest and for the protection or enhancement of the community.

### Design Review Permit (Town Code § 17.020.040)

- 1. The project depicted in the plans submitted to the Town on April 9, 2024, complies with the Design Review Criteria set forth in Town Code § 17.020.040 and result in a structure design, color palette, and arrangement on the site that protects the privacy of neighboring structures while complimenting the architecture of neighboring residential buildings.
- 2. The proposed exterior changes to the structure are minimal but along with the exterior color palette being proposed will refresh the structure and result in a residential building that will complement the surrounding neighborhood that includes many other eclectic residential buildings. Therefore, the proposed project will comply with the design review criteria contained in Town Code § 17.020.040.

# Side-Yard Setback Variance to Locate Parking Within the Side-yard Setbacks and to Not Have a Covered Parking Space [Town Code § 17.028.070 and 17.052.040(B)]

### Findings [Town Code § 17.028.070(A)(1) through (4)]

1. The narrow 37.5 foot width and 3,750 square-foot size of the site are the special features that warrant the granting of the Variance to the parking within the side-yard setbacks prohibition and requirement for one covered parking space. Prohibiting parking in the setbacks and requiring the construction of a covered parking space would deprive the applicant of privileges enjoyed by other property owners in the vicinity in the RD 5.5-7 Zone.

- 2. The granting of the variances will not be a grant of special privilege because other residences in the Dominga Avenue neighborhood have parking within the side-yard setbacks and have no covered parking spaces (53, 56, 64, 67, 80, 84, 88, 108, 120, 141, and 149 Dominga Avenue).
- 3. The strict application of the side-yard setback parking prohibition and the requirement for a covered parking space would be an unreasonable hardship and would require the granting of other variances such as a front-yard setback variance if a covered parking space were provided at the front of the site and side and rear setback variances if the covered space were provided at the rear of the site while also taking up some of the small available outdoor living space for this property (note that the third guest parking space cannot be provided within the right-of-way along the frontage of the property because the curb is painted red).
- 4. Granting the variance to allow uncovered parking in the required side setbacks and to not have a covered parking space will not be detrimental to the public welfare or injurious to other property in the vicinity. The site will continue to be utilized as it has been.

**WHEREAS**, the Commission has approved the project subject to the applicant's compliance with the following conditions:

The project is approved based on the following plans:

- 1. Project Plan Set received by the Town on April 9, 2024 including the preliminary development plans and color elevations.
- 2. The project is subject to the following conditions of approval:
  - a. Prior to issuance of any of the building permit for the project the applicant or his assigns shall submit a detailed Construction Management and Staging Plan to the Public Works Department for their approval. The amended plan shall include but is not limited to the following:
    - i. Construction delivery routes approved by the Department of Public Works.
    - ii. Construction schedule (deliveries, worker hours, etc.)
    - iii. Notification to area residents
    - iv. Emergency access routes
    - v. Construction worker staging area
- 3. The applicant shall prepare, and file with the Public Works Director, a video of the roadway conditions on the public construction delivery routes (routes to be pre-approved by Public Works Director).

- 4. Prior to submittal of the building permit plans, the applicant shall secure written approval from the Ross Valley Fire Department and the Ross Valley Sanitary District noting the development conformance with their recommendations.
- 5. Prior to the removal of any trees subject to the Town Tree Ordinance not approved with this action, the applicant shall secure a tree cutting permit from the Fairfax Tree Committee.
- 6. During the construction process the following shall be required:
  - a. All construction-related vehicles including equipment delivery, cement trucks and construction materials shall always be situated off the travel lane of the adjacent public right(s)-of-way. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.
  - b. Any proposed temporary closure of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
  - c. Prior to issuance of the project final inspection the Planning Department shall field check the completed project to verify that all staff, agency, and planning commission conditions have been complied with prior to issuance of the certificate of occupancy.
- 7. The roadways shall be kept free of dust, gravel, and other construction materials by sweeping them daily, if necessary.
- 8. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 24-07. Modifications that do not significantly change the project, the project design or the approved discretionary permits *may* be approved by the Planning Director or the Planning Commission. Any construction based on job plans that have been altered without the benefit of an approved modification of Application 24-07 by the Planning Commission or the Planning Director will result in the job being immediately stopped and red tagged.
- 9. Any damage to the public portions Dominga Avenue, Napa Avenue, Pacheco Avenue, Sherman Avenue or Creek Road or other public roadway used to access the site resulting from construction activities shall be the responsibility of the property owner.
- 10. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release,

and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council or Planning Director or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs. attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.

- 11. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act and Best Management Practices for Stormwater Pollution Prevention.
- 12. Conditions placed upon the project by outside agencies, Town departments or by the Town Engineer may be eliminated or amended with that agency, department, or the Town Engineer's written notification to the Planning Department prior to issuance of the building permit.

#### **Ross Valley Fire Department**

- 13. Vegetation must be kept trimmed so that the site address numbers are visible when the site is being accessed traveling east or west on Mountain View Road (a two-way street).
- 14. The project requires installation of a fire sprinkler system that complies with the National Fire Protection Association regulation 13-D and local standards. The system will require a permit from the Fire Department and the submittal of plans and specifications for a system submitted by an individual or firm licensed to design and/or design-build sprinkler systems.

- 15. All vegetation and construction materials are to be maintained away from the residence during construction.
- 16. Address numbers at least 4 inches tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers must be placed in a location that is visible from the street. The numbers must be internally illuminated or illuminated by an adjacent light controlled by a photocell that can be switched off only by a breaker so it will remain illuminated all night.
- 17. Alternative materials or methods may be proposed for any of the above conditions in accordance with Section 104.9 of the Fire Code.
- 18. All approved alternatives requests, and their supporting documentation, shall be included in the plan sets submitted for final approval by the Fire Department.

#### Ross Valley Sanitary District (RVSD)

- 19. The project triggers RVSD's testing and certification requirements and will require a sewer lateral permit for all laterals including for the ADU. After the applicant has obtained their building permit for the project they must contact RVSD for capacity and permit fee calculations, have the contractor submit a complete application packet with the permit fee payment. A complete application packet must include the application, site plan (sketch) identifying the lateral location(s), video and check make payable to RVSD. Applications must be mailed or delivered to the Ross Valley Sanitary District Office during business hours. The contractor must schedule a RVSD final inspection. Incomplete applications will be rejected.
- 20. Include a sewer cleanout and backwater protection device within 2-feet of the building foundation, the Ross Valley Sanitary Standard Notes shall be shown and are found in Subsection L of Section 3 of the Design and Construction Standards and demonstrate that all materials used in the construction of the sewer improvements are from the approved materials list.
- 21. A hold will be placed on the property when the building permit is issued and will not be released for occupancy until the District permit and sewer requirements have been fulfilled.
- 22. A Certificate of Compliance for the lateral(s) must be obtained from the RVSD prior to the project final inspection by the Fairfax Building Department.

#### Planning Requirements

23. Any exterior lighting that has the fixtures replaced must be replaced with dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or upplight panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety.

**NOW, THEREFORE BE IT RESOLVED**, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The Conditional Use Permit, Design Review Permit, Tree Removal Permit, Side-yard Setback Variance and Parking Variance to allow the remodel and restoration of the proposed structure are approved and the findings have been made to grant the requested discretionary permits. Therefore, the project is in conformance with the 2010 – 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 20<sup>th</sup> day of June 2024, by the following vote:

AYES: NOES: ABSENT: RECUSED:	
	Chair Robert Jansen
Attest:	
Jeffrey Beiswenger, Planning Director	_



## TOWN OF FAIRFAX

142 BOL!'.'JAS ROAD. FAIRFAX, CALIFORNIA 94930 (•t15) 453-1584/FAX (415) 453-1618

Date: April 26, 2023

Permit 1123-T-22

#### NOTICE OF TREE COMMITTEE ACTION

This action may be appealed to the Fair/co: Town Council within JO days o/'lhe Tree Committee decision. This permit is not in effect until the IO day appeal period is over.

Request for a tree permit to remove: (1) English Laurel

(I) Cedar

(2) Privet

Address of Tree(s) to be removed: 60 Dominga Ave

Applicant's Phone: Ellen Nicosia (415) 720-0225

On April 24, 2023 the Fairfax Tree Committee took the following action on the above referenced tree permit application:

#### FOR RECOMMENDATION TO PLANNING COMMISSION ONLY:

A APPROVED - Childers made a	monon to recommend approval ocure
application, Romaidis added a friendly amendm	ent to recommend approval of the application on
the condition that a permit for the work be issue	d prior to the tree removal; the motion was
seconded by Benson and voted on.	
Vote:	
Benson- Aye	
Childers- Aye	
Pugh- Aye	
Richardson-Mack- Aye	
Romaidis- Aye	Item #4 Vote: Ayes- 5, Noes- 0
CONTINUED	

REMINDER: PLEASE KEEP PERMIT NOTICE UI DURING THE 10 DAY WAITING PERIOD

#### CONDITIONS OF APPROVAL:

DENII:D

THIS :IPPR()|'EDAPI'LICAT!ON IS )'OUR |'ERMIT-KEEP IT ON THE JOB S!TEJ:,W,URF]O!!Al'E THE PFRM/T' ON T!!!,:Stff:Jt'.llftj:,'TUE]REE WOR [{].\]IY.J:.BQGRf.S'.'I MAY IU::SfLT IN THE 11/QBKBE!NG HALTD) Ub'J:!L'r])\]/.S.HQIV !'!{O9F OF APPNO!>tL

Please verify that the tree company perfirming rile work has a current Fairfax Business license and worker's compensation coverage.

TILIS TREE PERMIT EXPIRES IN SIX MONTHS, Ifm:ccssary. you may apply for an extension in writing prior to the expiration date.





ARBOR!ST-Trne Protection RfPORT

DATE OF INSPECTION: 2/1/23

CLIENT: Ellen Nicosia

SITE: 60 Dominga, Fairfax, CA 94930

RE: Tree Protection prior to constructkm project

Trees to **be** Protected During **Construction**:

Tr.!; J; Yucca (Yucca glauca) Location at front left (southern corner) at fence. 48" c1rcumference(15" dbh) at 45' above grade. Satisfactory condition.

<u>rree Protection</u> during construction: Establish 4 ft high protective fencing in J 5 ft radius around tree trunks as possible. fence constraints noted. Signage on fencing should read: "TREE PROTECTION ZONE-This Fence Shall Not be Hemoved". No low branches need to be pruned at this time to reduce chance of damage by constn.1ctlon equipment/vehides. Perhaps only deadwood removal if needed.

<u>Tree 2</u> Coastal Redwood (Sequoia sempervirens) This tree is iocated at extreme back *leh* of property (SW corner) Mature Redwood tree is in satisfactory condition and its canopy grows over 3 + properties. Redwood has circumference of 121 inches (38.5 dbh) at 4.5 feet above grade. Concrete covers the entire backyard up to the base of the tree although the roots have broken up some of the concrete.

<u>Tree Protection</u> during construction: Establish 4 ft high protective fencing in a 6 ft radius outward from tree trunk as allowed as fence set property boundaries. "TREE PROTECTION ZONE-This Fence Shall Not be Removed." Prum low branches to help avoid contact with equipment. Keep equipment and vehicles out of this area and no storage of any kind in the protected CRZ to avoid soil compaction.

<u>Tree 3:</u> Walnut (Julans regia) tree is located at the back center yard and is in moderate condition. Walnut has 63-inch circumference (20-inch dbh) at 4.5 feet above grade. Some branch pruning is needed in long overextended branches and to prune out any decay or darnage present in the select branches. Install protective fencing 7-foot radius from the trunk or as much as possible. Concrete covers the entire backyard up to the trunk over any root flare. ! understand the concrete will be removed towards the end of the construction in the back area and this should help to protect roots during construction. For best results, excavate the root crown and aerate as much as possible for best results on Walnut and Redwood.

<u>Tree Protection</u> during construction: Establish 4 ft high protective fencing in a 15 ft radius outward from tree trunk as allowed as fence set property boundaries. "TREE PROTECTION ZONE-This Fence Shall Not be Removed•" Prune !ow branches to help avoid contact with eql!ipment. Keep equipment and vehicles out of this area and no storage of any kind in the protected CRZ to avoid soil compaction.







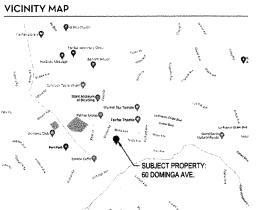












#### **PROJECT INFORMATION**

CONSTRUCTION TYPE:	V-B
OCCUPANCY TYPE:	R-3
ZONING:	RD-5.5-7
# STORIES:	2
FLOOD ZONE:	ΑE
LOT AREA:	3698 SF

ABOVE

(E) COVERED DECK (BOUNDING AREA OF

STRUCTURE AT GROUND PLANE)

(E) HOUSE

1186 SF

- (E) CONCRETE STEP

EXISTING CHANGE PROPOSED

TO BE REMOVED 14 SF

LOT COVERAGE CALCULATION

CONCRETE STEP @ ENTRY: TOTAL LOT COVERAGE:

EXISTING HOUSE: EXISTING COVERED DECK:

SITE AREA:

LOT COVERAGE

	BUILDING AREA (SQUARE FEET)			
		EXISTING	CHANGE	PROPOSE
	1ST FLOOR (PRIMARY RESIDENCE):	1186	0	118
	2ND FLOOR (ADU):	475	-3	47
	TOTAL:	1661	-3	165
,	FLOOR AREA RATIO (BUILDING AREA	LOT AREA):		
		44.9%	-0.1%	44.8
	LOT COVERAGE: (SEE LOT COVERAGE DIAGRAM BELO	34.7% W)	-0.4	34.3

#### APPLICABLE CODES

- 2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA ELECTRICAL CODE RELOCATE MAIN ENTRY DOOR AND CONSTRUCT 2022 CALIFORNIA EXISTING BUILDING CODE PERVIOUS DECK AT FRONT OF HOUSE LESS THAN 30" 2022 CALIFORNIA FIRE CODE ABOVE GRADE 2022 CALIFORNIA ENERGY CODE 2022 CALIFORNIA GREEN BUILDING STANDARDS
  - LAUNDRY ROOM
  - REMODELLING BATHROOM REPLACE EXISTING WINDOWS AND INSTALL NEW
  - THROUGHOUT UNDER DEFERRED SUBMITTAL

#### **DEFERRED SUBMITTAL**

. NFPA13R FIRE SPRINKLER SYSTEM

#### SCOPE OF WORK

- RELOCATE AND RESIZE EXISTING CURB CUT AND PROVIDE PARKING PAD FOR THREE (3) OFF-STREET PARKING SPACES
- ADD PARTITION AT REAR OF FIRST FLOOR TO CREATE
- REMOVE INTERIOR STAIR AND INFILL FLOOR
   CONVERT 2ND FLOOR INTO AN ACCESSORY DWELLING UNIT BY ADDING KITCHEN AND
- WINDOWS PER PLANS INSTALL NFPA13R FIRE SPRINKLER SYSTEM

#### CONTACT INFORMATION

# ARCHITECT

WAYNE MEYER WORKS 981 AILEEN ST. OAKLAND, CA 94608 415-860-6223

OWNER ELLEN NICOSIA 60 DOMINGA AVE. FAIRFAX, CA 94930 ellennicosia@gmail.com 415-720-0225

# CIVIL ENGINEER ORION AGNEW

#### AC ENGINEERING INC 454 LAS GALLINAS AVE.

SHITE 1047 SAN RAFAEL, CA 94903 415-868-0603

# ADMIN@AGNEWCIVIL.COM

ARCHITECTURAL
A0.0 SITE PLAN AND PROJECT INFORMATION

- A0.1 CALGREEN MANDATORY MEASURES 1 OF 2
- A0.2 CALGREEN MANDATORY MEASURES 2 OF 2 A2.1 EXISTING FLOOR PLANS
- PROPOSED FLOOR PLANS

DRAWING INDEX

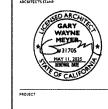
- A3.1 EXTERIOR ELEVATIONS
- A3.2 BUILDING SECTIONS A6.1 SHADOW STUDY

## CIVIL ENGINEERING C-1 COVER SHEET

- C-1.1 PROJECT NOTES
- C-2 STORM WATER DRAINAGE PLAN
- C-2.1 BASMAA @ STORMWATER COMPLIANCE
- C-3 EROSION @ SEDIMENTATION CONTROL PLAN
  C-4 CONSTRUCTION BEST MANAGEMENT PRACTICES

DECK AREA

**ATTACHMENT D** 



WMW

WAYNEMEYERWORKS

ARCHITECTURE INTERIORS

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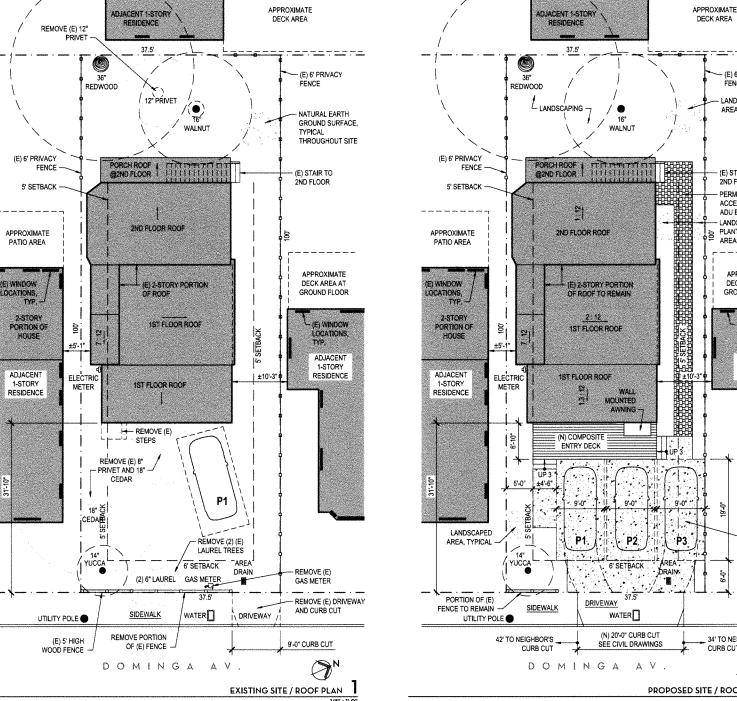
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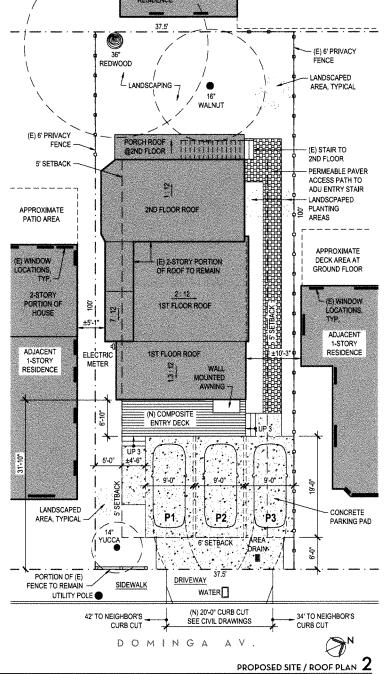
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PLANNING SUBMITTAL 12/14/23

SITE PLAN / **PROJECT** INFORMATION







# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2023)



NOT APPLICABLE
RESPONSIBLE PARTY
ARCHITECT
CIVIL ENGINEER

ARCHITECTURE INTERIORS

981 AILEEN STREET OAKLAND, CA 94608

WAYNE

PLANNING SUBMITTAL 12/14/23

CALGREEN **MANDATORY** 

**CHAPTER 3** installed in close proximity to the location or the proposed location of the EV space at the time of original construction in accordance with the California Electrical Code. l.106.4.2 New multifamily dwellings, hotels and motels and new residential parking facilities. **4.304 OUTDOOR WATER USE GREEN BUILDING** When parking is provided, parking spaces for new multifamily dwellings, hotels and motels shall meet the 4.106.4.2.4 Identification. 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall requirements of Sections 4.106.4.2.1 and 4.106.4.2.2. Calculations for spaces shall be rounded up to the nearest **SECTION 301 GENERAL** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for comply with a local water efficient landscape ordinance or the current California Department of Water whole number. A parking space served by electric vehicle supply equipment or designed as a future EV charging future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent. space shall count as at least one standard automobile parking space only for the purpose of complying with any **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in applicable minimum parking space requirements established by a local jurisdiction. See Vehicle Code Section 22511.2 4.106.4.2.5 Electric Vehicle Ready Space Signage. the application checklists contained in this code. Voluntary green building measures are also included in the Electric vehicle ready spaces shall be identified by signage or pavement markings, in compliance with Caltrans application checklists and may be included in the design and construction of structures covered by this code, Traffic Operations Policy Directive 13-01 (Zero Emission Vehicle Signs and Pavement Markings) or its 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. 4.106.4.2.1 Multifamily development projects with less than 20 dwelling units; and hotels and motels with less Regulations. Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget than 20 sleeping units or guest rooms. 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to calculator, are available at: https://www.water.ca.gov/ The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to 4.106.4.3 Electric vehicle charging for additions and alterations of parking facilities serving existing additions or alterations of existing residential buildings where the addition or alteration increases the multifamily buildings. **DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE** building's conditioned area, volume, or size. The requirements shall apply only to and/or within the When new parking facilities are added, or electrical systems or lighting of existing parking facilities are added or specific area of the addition or alteration. **1.EV Capable.** Ten (10) percent of the total number of parking spaces on a building site, provided for all types altered and the work requires a building permit, ten (10) percent of the total number of parking spaces added or **EFFICIENCY** of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 altered shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 EVSE. The mandatory provision of Section 4.106.4.2 may apply to additions or alterations of existing parking EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE facilities or the addition of new parking facilities serving existing multifamily buildings. See Section system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all **4.406.1 RODENT PROOFING.** Annular spaces around pipes, electric cables, conduits or other openings in EVs at all required EV spaces at a minimum of 40 amperes. sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 1. Construction documents are intended to demonstrate the project's capability and capacity for facilitating future Note: Repairs including, but not limited to, resurfacing, restriping and repairing or maintaining existing openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved lighting fixtures are not considered alterations for the purpose of this section. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed for use. Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. **4.408.1 CONSTRUCTION WASTE MANAGEMENT.** Recycle and/or salvage for reuse a minimum of 65 **DIVISION 4.2 ENERGY EFFICIENCY** Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate percent of the non-hazardous construction and demolition waste in accordance with either Section 1.When EV chargers (Level 2 EVSE) are installed in a number equal to or greater than the required number of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and management ordinance. 4.201.1 SCOPE. For the purposes of mandatory energy efficiency standards in this code, the California Energy other important enactment dates. 2. When EV chargers (Level 2 EVSE) are installed in a number less than the required number of EV capable Commission will continue to adopt mandatory standards. spaces, the number of EV capable spaces required may be reduced by a number equal to the number of EV chargers installed. 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS, [HCD] The provisions of DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION 1. Excavated soil and land-clearing debris. individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential Alternate waste reduction methods developed by working with local agencies if diversion or 4.303 INDOOR WATER USE buildings, or both. Individual sections will be designated by banners to indicate where the section applies recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and a. Construction documents are intended to demonstrate the project's capability and capacity for facilitating high-rise buildings, no banner will be used. urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, 3. The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the diversion facility. Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or **SECTION 302 MIXED OCCUPANCY BUILDINGS** 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final in conformance with Items 1 through 5. The construction waste management plan shall be updated as 302.1 MIXED OCCUPANCY BUILDINGS. In mixed occupancy buildings, each portion of a building completion, certificate of occupancy, or final permit approval by the local building department. See Civil necessary and shall be available during construction for examination by the enforcing agency. 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power Code Section 1101.1, et seq., for the definition of a noncompliant plumbing fixture, types of residential shall comply with the specific green building measures applicable to each specific occupancy. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per buildings affected and other important enactment dates. 1. Identify the construction and demolition waste materials to be diverted from disposal by recycling, dwelling unit when more than one parking space is provided for use by a single dwelling unit. 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall reuse on the project or salvage for future use or sale. comply with Chapter 4 and Appendix A4, as applicable. **4.303.1.1 Water Closets.** The effective flush volume of all water closets shall not exceed 1.28 gallons per Specify if construction and demolition waste materials will be sorted on-site (source separated) or Exception: Areas of parking facilities served by parking lifts. flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California bulk mixed (single stream). Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with Specification for Tank-type Toilets. 3. Identify diversion facilities where the construction and demolition waste material collected will be 4.106.4.2.2 Multifamily development projects with 20 or more dwelling units, hotels and motels with 20 or more Chapter 4 and Appendix A4, as applicable. sleeping units or guest rooms. **Note**: The effective flush volume of dual flush toilets is defined as the composite, average flush volume 4. Identify construction methods employed to reduce the amount of construction and demolition waste **DIVISION 4.1 PLANNING AND DESIGN** The number of dwelling units, sleeping units or guest rooms shall be based on all buildings on a project site subject to of two reduced flushes and one full flush. 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated ABBREVIATION DEFINITIONS: **4.303.1.2** Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. by weight or volume, but not by both. 1.EV Capable. Ten (10) percent of the total number of parking spaces on a building site, provided for all types Department of Housing and Community Development The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. of parking facilities, shall be electric vehicle charging spaces (EV spaces) capable of supporting future Level 2 California Building Standards Commission ☆ □ CONTR. 4.408.3 WASTE MANAGEMENT COMPANY. Utilize a waste management company, approved by the Division of the State Architect, Structural Safety EVSE. Electrical load calculations shall demonstrate that the electrical panel service capacity and electrical enforcing agency, which can provide verifiable documentation that the percentage of construction and system, including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all OSHPD Office of Statewide Health Planning and Development demolition waste material diverted from the landfill complies with Section 4.408.1. EVs at all required EV spaces at a minimum of 40 amperes. Low Rise **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 High Rise gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: The owner or contractor may make the determination if the construction and demolition waste The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved Additions and Alterations WaterSense Specification for Showerheads. materials will be diverted by a waste management company. for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code. **4.303.1.3.2 Multiple showerheads serving one shower**. When a shower is served by more than one **CHAPTER 4** Exception: When EV chargers (Level 2 EVSE) are installed in a number greater than five (5) percent of showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 parking spaces required by Section 4.106.4.2.2, Item 3, the number of EV capable spaces required may be a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in RESIDENTIAL MANDATORY MEASURES reduced by a number equal to the number of EV chargers installed over the five (5) percent required. allow one shower outlet to be in operation at a time. Note: A hand-held shower shall be considered a showerhead. **4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE.** Projects that generate a total combined weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds **SECTION 4.102 DEFINITIONS** a. Construction documents shall show locations of future EV spaces. per square foot of the building area, shall meet the minimum 65% construction waste reduction 4.102.1 DEFINITIONS requirement in Section 4.408.1 The following terms are defined in Chapter 2 (and are included here for reference) b.There is no requirement for EV spaces to be constructed or available until receptacles for EV charging or 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall EV chargers are installed for use. not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall ☐ CONTR. 4.408.5 DOCUMENTATION. Documentation shall be provided to the enforcing agency which demonstrates **FRENCH DRAIN.** A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar not be less than 0.8 gallons per minute at 20 psi. compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... 2.EV Ready. Twenty-five (25) percent of the total number of parking spaces shall be equipped with low power pervious material used to collect or channel drainage or runoff water. Level 2 EV charging receptacles. For multifamily parking facilities, no more than one receptacle is required per 4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas. The maximum flow rate of lavatory WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials dwelling unit when more than one parking space is provided for use by a single dwelling unit. faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential 1. Sample forms found in "A Guide to the California Green Building Standards Code such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also buildings shall not exceed 0.5 gallons per minute at 60 psi. (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in Exception: Areas of parking facilities served by parking lifts. documenting compliance with this section. 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver 2. Mixed construction and demolition debris (C & D) processors can be located at the California 4.106 SITE DEVELOPMENT **3.EV Chargers.** Five (5) percent of the total number of parking spaces shall be equipped with Level 2 EVSE. more than 0.2 gallons per cycle. Department of Resources Recycling and Recovery (CalRecycle). 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation Where common use parking is provided, at least one EV charger shall be located in the common use parking and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, area and shall be available for use by all residents or guests. 4.410 BUILDING MAINTENANCE AND OPERATION **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons management of storm water drainage and erosion controls shall comply with this section. per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not **4.410.1 OPERATION AND MAINTENANCE MANUAL.** At the time of final inspection, a manual, compact When low power Level 2 EV charging receptacles or Level 2 EVSE are installed beyond the minimum required, to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less disc, web-based reference or other media acceptable to the enforcing agency which includes all of the an automatic load management system (ALMS) may be used to reduce the maximum required electrical following shall be placed in the building: than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre capacity to each space served by the ALMS. The electrical system and any on-site distribution transformers shall have sufficient capacity to deliver at least 3.3 kW simultaneously to each EV charging station (EVCS) or more, shall manage storm water drainage during construction. In order to manage storm water drainage Note: Where complying faucets are unavailable, aerators or other means may be used to achieve 1. Directions to the owner or occupant that the manual shall remain with the building throughout the during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent served by the ALMS. The branch circuit shall have a minimum capacity of 40 amperes, and installed EVSE shall life cycle of the structure. property, prevent erosion and retain soil runoff on the site. have a capacity of not less than 30 amperes. ALMS shall not be used to reduce the minimum required electrical 2. Operation and maintenance instructions for the following: capacity to the required EV capable spaces. 4.303.1.4.5 Pre-rinse spray valves. a. Equipment and appliances, including water-saving devices and systems, HVAC systems, 1. Retention basins of sufficient size shall be utilized to retain storm water on the site. When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance photovoltaic systems, electric vehicle chargers, water-heating systems and other major 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar 4.106.4.2.2.1 Electric vehicle charging stations (EVCS). Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 appliances and equipment. disposal method, water shall be filtered by use of a barrier system, wattle or other method approved Electric vehicle charging stations required by Section 4.106.4.2.2, Item 3, shall comply with Section 4.106.4.2.2.1 (d)(7) and shall be equipped with an integral automatic shutoff. b. Roof and yard drainage, including gutters and downspouts. by the enforcing agency. Space conditioning systems, including condensers and air filters. 3. Compliance with a lawfully enacted storm water management ordinance. Exception: Electric vehicle charging stations serving public accommodations, public housing, motels and hotels FOR REFERENCE ONLY: The following table and code section have been reprinted from the California d. Landscape irrigation systems. shall not be required to comply with this section. See California Building Code, Chapter 11B, for applicable Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section e. Water reuse systems. Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or requirements. 1605.3 (h)(4)(A). Information from local utility, water and waste recovery providers on methods to further reduce are part of a larger common plan of development which in total disturbs one acre or more of soil. resource consumption, including recycle programs and locations. 4.106.4.2.2.1.1 Location. 4. Public transportation and/or carpool options available in the area. (Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html) EVCS shall comply with at least one of the following options: TABLE H-2 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent and what methods an occupant may use to maintain the relative humidity level in that range. 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 1.The charging space shall be located adjacent to an accessible parking space meeting the requirements of 6. Information about water-conserving landscape and irrigation design and controllers which conserve manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface the California Building Code, Chapter 11A, to allow use of the EV charger from the accessible parking space. STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY water include, but are not limited to, the following: 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 2. The charging space shall be located on an accessible route, as defined in the California Building Code, feet away from the foundation 8. Information on required routine maintenance measures, including, but not limited to, caulking, 2. Water collection and disposal systems painting, grading around the building, etc. MAXIMUM FLOW RATE (gpm) Exception: Electric vehicle charging stations designed and constructed in compliance with the California [spray force in ounce force (ozf)] 9. Information about state solar energy and incentive programs available. Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.2.1.1 and Section Water retention gardens 10. A copy of all special inspections verifications required by the enforcing agency or this code. 5. Other water measures which keep surface water away from buildings and aid in groundwater 11. Information from the Department of Forestry and Fire Protection on maintenance of defensible Product Class 1 (≤ 5.0 ozf) 1.00 space around residential structures. 4.106.4.2.2.1.2 Electric vehicle charging stations (EVCS) dimensions. 12. Information and/or drawings identifying the location of grab bar reinforcements. **Exception**: Additions and alterations not altering the drainage path. The charging spaces shall be designed to comply with the following: Product Class 2 (> 5.0 ozf and ≤ 8.0 ozf) 1.20 Product Class 3 (> 8.0 ozf) 4.410.2 RECYCLING BY OCCUPANTS. Where 5 or more multifamily dwelling units are constructed on a 1.28 **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections 1. The minimum length of each EV space shall be 18 feet (5486 mm). building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the 4.106.4.1 or 4.106.4.2 to facilitate future installation and use of EV chargers. Electric vehicle supply Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 2. The minimum width of each EV space shall be 9 feet (2743 mm). 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling ordinance, if more restrictive. 3.One in every 25 charging spaces, but not less than one, shall also have an 8-foot (2438 mm) wide minimum 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the minimum width of the EV space is buildings. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section infrastructure are not feasible based upon one or more of the following conditions: Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of 1.1 Where there is no local utility power supply or the local utility is unable to supply adequate California Plumbing Code. a.Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units horizontal (2.083 1.2 Where there is evidence suitable to the local enforcing agency substantiating that additional percent slope) in any direction. **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in local utility infrastructure design requirements, directly related to the implementation of Section accordance with the California Plumbing Code, and shall meet the applicable standards referenced in Table 4.106.4, may adversely impact the construction cost of the project. 4.106.4.2.2.1.3 Accessible EV spaces. 1701.1 of the California Plumbing Code. In addition to the requirements in Sections 4.106.4.2.2.1.1 and 4.106.4.2.2.1.2, all EVSE, when installed, shall 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional DIVISION 4.5 ENVIRONMENTAL QUALITY parking facilities. comply with the accessibility provisions for EV chargers in the California Building Code, Chapter 11B. EV ready spaces and EVCS in multifamily developments shall comply with California Building Code, Chapter 11A, Section THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND IS INCLUDED AS A **SECTION 4.501 GENERAL** CONVENIENCE FOR THE USER. 4.501.1 Scope 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous. dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway 4.106.4.2.3 EV space requirements. TABLE - MAXIMUM FIXTURE WATER USE irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main 1. Single EV space required. Install a listed raceway capable of accommodating a 208/240-volt dedicated branch service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall FIXTURE TYPE **SECTION 4.502 DEFINITIONS** originate at the main service or subpanel and shall terminate into a listed cabinet, box or enclosure in close proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or 5.102.1 DEFINITIONS concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere proximity to the location or the proposed location of the EV space. Construction documents shall identify the HOWER HEADS (RESIDENTIAL) 1.8 GMP @ 80 PSI The following terms are defined in Chapter 2 (and are included here for reference) 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit raceway termination point, receptacle or charger location, as applicable. The service panel and/ or subpanel shall overcurrent protective device. have a 40-ampere minimum dedicated branch circuit, including branch circuit overcurrent protective device AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 installed, or space(s) reserved to permit installation of a branch circuit overcurrent protective device. AVATORY FAUCETS (RESIDENTIAL) cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger at the time of original construction in Exception: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is AVATORY FAUCETS IN COMMON & PUBLIC **COMPOSITE WOOD PRODUCTS.** Composite wood products include hardwood plywood, particleboard and installed in close proximity to the location or the proposed location of the EV space, at the time of original 0.5 GPM @ 60 PSI accordance with the California Electrical Code. medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood. SE AREAS construction in accordance with the California Electrical Code.

2.Multiple EV spaces required. Construction documents shall indicate the raceway termination point and the

electrical load calculations. Plan design shall be based upon a 40-ampere minimum branch circuit. Required

concealed areas and spaces shall be installed at the time of original construction.

raceways and related components that are planned to be installed underground, enclosed, inaccessible or in

location of installed or future EV spaces, receptacles or EV chargers. Construction documents shall also provide

information on amperage of installed or future receptacles or EVSE, raceway method(s), wiring schematics and

ITCHEN FAUCETS

ATER CLOSET

RINALS

ETERING FAUCETS

1.8 GPM @ 60 PSI

0.2 GAL/CYCLE

1.28 GAL/FLUSH

0.125 GAL/FLUSH

**4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent

protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination

location shall be permanently and visibly marked as "EV CAPABLE".

PROJEC1

structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated

wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section

DIRECT-VENT APPLIANCE. A fuel-burning appliance with a sealed combustion system that draws all air for

combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere.

MEASURES 1 OF 2

# 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 2 (January 2023)

Y N/A RESPON. PARTY ARCH. CIVIL CONTR.	= = = = = = = = = = = = = = = = = = = =	YES NOT APPLICA RESPONSIBL ARCHITECT CIVIL ENGINI CONTRACTO
CONTR.		CONTRACTO

	PARTY		
		MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum char compound to the "Base Reactive Organic Gas (ROG) Mixture" per whundredths of a gram (g O³/g ROC).  Note: MIR values for individual compounds and hydrocarbon solvent and 94701.	reight of compound added, expressed to
		MOISTURE CONTENT. The weight of the water in wood expressed	in percentage of the weight of the oven-dry wood
		<b>PRODUCT-WEIGHTED MIR (PWMIR).</b> The sum of all weighted-MIF article. The PWMIR is the total product reactivity expressed to hundr product (excluding container and packaging).	edths of a gram of ozone formed per gram of
		Note: PWMIR is calculated according to equations found in CCR, Tit REACTIVE ORGANIC COMPOUND (ROC). Any compound that has ozone formation in the troposphere.	<b>,</b>
		VOC. A volatile organic compound (VOC) broadly defined as a chen with vapor pressures greater than 0.1 millimeters of mercury at room hydrogen and may contain oxygen, nitrogen and other elements. Se	temperature. These compounds typically contain
		<ul> <li>4.503 FIREPLACES</li> <li>4.503.1 GENERAL. Any installed gas fireplace shall be a direct-ven woodstove or pellet stove shall comply with U.S. EPA New Source F applicable, and shall have a permanent label indicating they are cert</li> </ul>	t sealed-combustion type. Any installed Performance Standards (NSPS) emission limits a ified to meet the emission limits. Woodstoves,
<b>X</b> -	CONTR.	4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MI CONSTRUCTION. At the time of rough installation, during storage of startup of the heating, cooling and ventilating equipment, all duct and openings shall be covered with tape, plastic, sheet metal or other me reduce the amount of water, dust or debris which may enter the system.	ECHANICAL EQUIPMENT DURING on the construction site and until final d other related air distribution component ethods acceptable to the enforcing agency to
<b>X</b> 🗆	CONTR.		
	CONTR.	4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sea requirements of the following standards unless more stringent management district rules apply:	lant and caulks used on the project shall meet th
		<ol> <li>Adhesives, adhesive bonding primers, adhesive prir shall comply with local or regional air pollution contr applicable or SCAQMD Rule 1168 VOC limits, as si Such products also shall comply with the Rule 1168 compounds (chloroform, ethylene dichloride, methy tricloroethylene), except for aerosol products, as sp</li> </ol>	ol or air quality management district rules where nown in Table 4.504.1 or 4.504.2, as applicable. I prohibition on the use of certain toxic lene chloride, perchloroethylene and
		<ol> <li>Aerosol adhesives, and smaller unit sizes of adhesi units of product, less packaging, which do not weigl than 16 fluid ounces) shall comply with statewide Von prohibitions on use of certain toxic compounds, of Commencing with section 94507.</li> </ol>	n more than 1 pound and do not consist of more OC standards and other requirements, including
<b>X</b> -	CONTR.	<b>4.504.2.2 Paints and Coatings.</b> Architectural paints and coathe ARB Architectural Suggested Control Measure, as shown apply. The VOC content limit for coatings that do not meet the listed in Table 4.504.3 shall be determined by classifying the coating, based on its gloss, as defined in subsections 4.21, 4. Board, Suggested Control Measure, and the corresponding FI Table 4.504.3 shall apply.	in Table 4.504.3, unless more stringent local lime definitions for the specialty coatings categories coating as a Flat, Nonflat or Nonflat-High Gloss 36, and 4.37 of the 2007 California Air Resource
X -	CONTR.	4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and	coatings shall meet the Product-weighted MIR
		Limits for ROC in Section 94522(a)(2) and other requirements compounds and ozone depleting substances, in Sections 945. <i>Regulations</i> , Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of <i>California Code of</i> areas under the jurisdiction of the Bay Area Air
X -	CONTR.	compounds and ozone depleting substances, in Sections 945 <i>Regulations</i> , Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of <i>California Code of</i> areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation of the shall be provided at the request of the
<b>X</b> □	CONTR.	compounds and ozone depleting substances, in Sections 945. Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of <i>California Code of</i> areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation of the shall be provided at the request of the
<b>X</b> -	CONTR.	compounds and ozone depleting substances, in Sections 945 <i>Regulations</i> , Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this seenforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of <i>California Code of</i> areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation ction shall be provided at the request of the ted to, the following:
<b>X</b> -	CONTR.	compounds and ozone depleting substances, in Sections 945. Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this seenforcing agency. Documentation may include, but is not limi.  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of <i>California Code of</i> areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation oction shall be provided at the request of the ted to, the following:  11T <sub>1,2</sub> ns per Liter)
<b>X</b>	CONTR.	compounds and ozone depleting substances, in Sections 945 <i>Regulations</i> , Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this seenforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of <i>California Code of</i> areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation ction shall be provided at the request of the ted to, the following:
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X	CONTR.	compounds and ozone depleting substances, in Sections 945. Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this seenforcing agency. Documentation may include, but is not liminal.  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIMING (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS)  INDOOR CARPET ADHESIVES	nincluding prohibitions on use of certain toxic (22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation of the shall be provided at the request of the ted to, the following:   IIT <sub>1,2</sub> ns per Liter)  VOC LIMIT  50
<b>X</b> □	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES	nincluding prohibitions on use of certain toxic (22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation of the state of the ted to, the following:    IIT
X	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIN  (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS  INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES	nincluding prohibitions on use of certain toxic (22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation of the state of the ted to, the following:    IIT_1,2
X	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this seenforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM  (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS  INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES	nincluding prohibitions on use of certain toxic (22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation (ction shall be provided at the request of the ted to, the following:   IIT 1,2  Ins per Liter)  VOC LIMIT  50  50  150  100  60  50
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X	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  DRYWALL & PANEL ADHESIVES	nincluding prohibitions on use of certain toxic (22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation of the state of the ted to, the following:  IIT 1.2  Ins per Liter)  VOC LIMIT  50  50  150  100  60  50  65  50  50
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIN (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation oction shall be provided at the request of the ted to, the following:    IIT_1,2
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIN (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  VCT & ASPHALT TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES  MULTIPURPOSE CONSTRUCTION ADHESIVE	nincluding prohibitions on use of certain toxic (22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation of the state of the ted to, the following:  IIT 1.2  Ins per Liter)  VOC LIMIT  50  50  150  100  60  50  65  50  50
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIN (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES	nincluding prohibitions on use of certain toxic (22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation (ction shall be provided at the request of the ted to, the following:    IIT_1.2
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	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this seenforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS  INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  VCT & ASPHALT TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES  MULTIPURPOSE CONSTRUCTION ADHESIVE  STRUCTURAL GLAZING ADHESIVES  SINGLE-PLY ROOF MEMBRANE ADHESIVES  OTHER ADHESIVES NOT LISTED	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation ction shall be provided at the request of the ted to, the following:    IIT_1,2
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this seenforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIN (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  VCT & ASPHALT TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES  MULTIPURPOSE CONSTRUCTION ADHESIVE  STRUCTURAL GLAZING ADHESIVES  SINGLE-PLY ROOF MEMBRANE ADHESIVES  OTHER ADHESIVES NOT LISTED  SPECIALTY APPLICATIONS	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation oction shall be provided at the request of the ted to, the following:  IIT 1,2  Ins per Liter)  VOC LIMIT  50  50  150  100  60  50  50  50  50  50  50  50  50
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  VCT & ASPHALT TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES  MULTIPURPOSE CONSTRUCTION ADHESIVE  STRUCTURAL GLAZING ADHESIVES  SINGLE-PLY ROOF MEMBRANE ADHESIVES  OTHER ADHESIVES NOT LISTED  SPECIALTY APPLICATIONS  PVC WELDING	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation cition shall be provided at the request of the ted to, the following:  IIT 1,2  Is per Liter)  VOC LIMIT  50  50  150  65  50  50  50  50  50  50  50  50
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  VCT & ASPHALT TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES  MULTIPURPOSE CONSTRUCTION ADHESIVE  STRUCTURAL GLAZING ADHESIVES  SINGLE-PLY ROOF MEMBRANE ADHESIVES  OTHER ADHESIVES NOT LISTED  SPECIALTY APPLICATIONS  PVC WELDING  CPVC WELDING	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation cition shall be provided at the request of the ted to, the following:    IIT_1,2
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  VCT & ASPHALT TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES  MULTIPURPOSE CONSTRUCTION ADHESIVE STRUCTURAL GLAZING ADHESIVES  SINGLE-PLY ROOF MEMBRANE ADHESIVES  OTHER ADHESIVES NOT LISTED  SPECIALTY APPLICATIONS  PVC WELDING  CPVC WELDING  ABS WELDING	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Air ent VOC by weight of product limits of Regulation ction shall be provided at the request of the ted to, the following:  IIT1,2  IIT1,2  Ins per Liter)  VOC LIMIT  50  50  150  100  60  50  50  50  50  50  50  50  50
	CONTR.	compounds and ozone depleting substances, in Sections 945 Regulations, Title 17, commencing with Section 94520; and in Quality Management District additionally comply with the perc 8, Rule 49.  4.504.2.4 Verification. Verification of compliance with this se enforcing agency. Documentation may include, but is not limi  1. Manufacturer's product specification. 2. Field verification of on-site product containers.  TABLE 4.504.1 - ADHESIVE VOC LIM (Less Water and Less Exempt Compounds in Gran ARCHITECTURAL APPLICATIONS  INDOOR CARPET ADHESIVES  CARPET PAD ADHESIVES  OUTDOOR CARPET ADHESIVES  WOOD FLOORING ADHESIVES  RUBBER FLOOR ADHESIVES  SUBFLOOR ADHESIVES  CERAMIC TILE ADHESIVES  VCT & ASPHALT TILE ADHESIVES  DRYWALL & PANEL ADHESIVES  COVE BASE ADHESIVES  MULTIPURPOSE CONSTRUCTION ADHESIVE  STRUCTURAL GLAZING ADHESIVES  OTHER ADHESIVES NOT LISTED  SPECIALTY APPLICATIONS  PVC WELDING  CPVC WELDING  ABS WELDING  PLASTIC CEMENT WELDING	, including prohibitions on use of certain toxic 22(e)(1) and (f)(1) of California Code of areas under the jurisdiction of the Bay Area Airent VOC by weight of product limits of Regulation ction shall be provided at the request of the ted to, the following:  IIT 1,2  Ins per Liter)  VOC LIMIT  50  50  150  100  60  50  65  50  70  100  250  510  490  325  250

<b>Verification.</b> Verification of compliance with this section agency. Documentation may include, but is not limited	
Manufacturer's product specification. Field verification of on-site product containers.	
TABLE 4.504.1 - ADHESIVE VOC LIMIT	1,2
(Less Water and Less Exempt Compounds in Grams p	er Liter)
ARCHITECTURAL APPLICATIONS	VOC LIMIT
INDOOR CARPET ADHESIVES	50
CARPET PAD ADHESIVES	50
OUTDOOR CARPET ADHESIVES	150
WOOD FLOORING ADHESIVES	100
RUBBER FLOOR ADHESIVES	60
SUBFLOOR ADHESIVES	50
CERAMIC TILE ADHESIVES	65
VCT & ASPHALT TILE ADHESIVES	50
DRYWALL & PANEL ADHESIVES	50
COVE BASE ADHESIVES	50
MULTIPURPOSE CONSTRUCTION ADHESIVE	70
STRUCTURAL GLAZING ADHESIVES	100
SINGLE-PLY ROOF MEMBRANE ADHESIVES	250
OTHER ADHESIVES NOT LISTED	50
SPECIALTY APPLICATIONS	
PVC WELDING	510
CPVC WELDING	490
ABS WELDING	325
PLASTIC CEMENT WELDING	250
ADHESIVE PRIMER FOR PLASTIC	550
CONTACT ADHESIVE	80
SPECIAL PURPOSE CONTACT ADHESIVE	250
STRUCTURAL WOOD MEMBER ADHESIVE	140
TOP & TRIM ADHESIVE	250
SUBSTRATE SPECIFIC APPLICATIONS	
METAL TO METAL	30
PLASTIC FOAMS	50
POROUS MATERIAL (EXCEPT WOOD)	50
WOOD	30
FIBERGLASS	80

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

QUALITY MANAGEMENT DISTRICT RULE 1168.

TABLE 4.504.2 - SEALANT VOC LI	MIT
(Less Water and Less Exempt Compounds in Gr	rams per Liter)
SEALANTS	VOC LIMIT
ARCHITECTURAL	250
MARINE DECK	760
NONMEMBRANE ROOF	300
ROADWAY	250
SINGLE-PLY ROOF MEMBRANE	450
OTHER	420
SEALANT PRIMERS	
ARCHITECTURAL	
NON-POROUS	250
POROUS	775
MODIFIED BITUMINOUS	500
MARINE DECK	760
OTHER	750

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

ARCHITECTURAL COATINGS2,3

COATING CATEGORY	VOC LIMIT
FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

$\Xi$	XEMPT COMPOUNDS				
2.	THE SPECIFIED LIMITS REMAIN	IN EFFECT	UNLESS	REVISED I	LIMITS

3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

YN	RESPON. PARTY			Y	N/A R	ESPON. PARTY	
		TABLE 4 FOA E FORMAL BELDORE LINGTO					CHAPTER 7
		TABLE 4.504.5 - FORMALDEHYDE LIMITS  MAXIMUM FORMALDEHYDE EMISSIONS IN PARTS PER MI	LLION				INSTALLER & SPECIA
			NT LIMIT	M		ONTR.	702 QUALIFICATIONS 702.1 INSTALLER TRAINING
			05	<b>A</b>		ONTK.	installation of HVAC systems including or certification program. Uncertified per
			05				supervision and responsibility of a personal to install HVAC systems. Examples of
			.11				not limited to the following:
			13				<ol> <li>State certified apprenticeship</li> <li>Public utility training programs</li> </ol>
		<ol> <li>VALUES IN THIS TABLE ARE DERIVED FROM THOSE SF BY THE CALIF. AIR RESOURCES BOARD, AIR TOXICS CON</li> </ol>	TROL				<ol> <li>Training programs sponsored organizations.</li> <li>Programs sponsored by manual</li> </ol>
		MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCOR WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE	CALIF.				5. Other programs acceptable to
		CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THRO 93120.12.	OUGH	X	□ C	ONTR.	702.2 SPECIAL INSPECTIO the responsible entity acting as the own
		<ol> <li>THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).</li> </ol>					inspection or other duties necessary to demonstrate competence to the satisfactory to
			41 1				task to be performed. In addition to oth the following certifications or education qualifications of a special inspector:
Þ	()	DIVISION 4.5 ENVIRONMENTAL QUALITY (C 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet	the requirements of the California				Certification by a national or r
		Department of Public Health, "Standard Method for the Testing and Evaluation of V from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (2017)					<ol><li>Certification by a statewide e building performance conti</li></ol>
		California Specification 01350)  See California Department of Public Health's website for certification programs and	testing lahs				<ol> <li>Successful completion of a th</li> <li>Other programs acceptable to</li> </ol>
		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx	-				Notes: 1. Special inspectors shall be in
Þ	<b>(</b> )	4.504.3.1 Carpet cushion. All carpet cushion installed in the building interior	shall meet the requirements of the				project they are inspecting for 2. HERS raters are special insp
_		California Department of Public Health, "Standard Method for the Testing an Chemical Emissions from Indoor Sources Using Environmental Chambers,"	d Evaluation of Volatile Organic				homes in California according
		(Emission testing method for California Specification 01350)  See California Department of Public Health's website for certification program	ns and testing labe				[BSC] When required by the enforcing agent shall employ one or more special
		https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VO	-				substantiate compliance with this code. of the enforcing agency for the particula inspector shall have a certification from
Þ	()	4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements	•				determined by the local agency. The all as determined by the local agency.
Þ	()	4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, resilient flooring shall meet the requirements of the California Department of Public	at least 80% of floor area receiving				Note: Special inspectors shall be
		resilient flooring shall meet the requirements of the California Department of Public Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Source Version 1.2, January 2017 (Emission testing method for California Specification 01	s Using Environmental Chambers,"				project they are insp
		See California Department of Public Health's website for certification programs and	,	×	□С	ONTR.	703 VERIFICATIONS
		hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.asp	-				<b>703.1 DOCUMENTATION.</b> Dut is not limited to, construction documents
_	CONTR.	4 FOA F COMPOSITE WOOD DOODLICTS. Howdwood physical porticlehoord and	madium dancitu fibarbaard				reports, or other methods acceptable to When specific documentation or special
_	OONTIC.	4.504.5 COMPOSITE WOOD PRODUCTS. Hardwood plywood, particleboard and composite wood products used on the interior or exterior of the buildings shall mee formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood.	the requirements for				compliance will be specified in the appr
7	CONTR.	by or before the dates specified in those sections, as shown in Table 4.504.5					
_	2014117.	4.504.5.1 Documentation. Verification of compliance with this section shall by the enforcing agency. Documentation shall include at least one of the following.					
		<ol> <li>Product certifications and specifications.</li> <li>Chain of custody certifications.</li> </ol>					
		<ol> <li>Chain of custody certifications.</li> <li>Product labeled and invoiced as meeting the Composite Wood Pro CCR, Title 17, Section 93120, et seq.).</li> </ol>	oducts regulation (see				
		<ol> <li>Exterior grade products marked as meeting the PS-1 or PS-2 stan Wood Association, the Australian AS/NZS 2269, European 636 35</li> </ol>					
		<ul><li>0121, CSA 0151, CSA 0153 and CSA 0325 standards.</li><li>5. Other methods acceptable to the enforcing agency.</li></ul>					
		4 FOE INTERIOR MOIOTURE CONTROL					
		<b>4.505 INTERIOR MOISTURE CONTROL 4.505.1 General.</b> Buildings shall meet or exceed the provisions of the <i>California B</i> .	uilding Standards Code.				
Þ	()	<b>4.505.2 CONCRETE SLAB FOUNDATIONS.</b> Concrete slab foundations required California Building Code, Chapter 19, or concrete slab-on-ground floors required to					
3	<u> </u>	California Residential Code, Chapter 5, shall also comply with this section.	,				
Þ	V	4.505.2.1 Capillary break. A capillary break shall be installed in compliance following:	with at least one of the				
		<ol> <li>A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clear a vapor barrier in direct contact with concrete and a concrete mix</li> </ol>					
		shrinkage, and curling, shall be used. For additional information, s					
		<ol> <li>Other equivalent methods approved by the enforcing agency.</li> <li>A slab design specified by a licensed design professional.</li> </ol>					
	CONTR.	<b>4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS.</b> Building materials we shall not be installed. Wall and floor framing shall not be enclosed when the framing					
		moisture content. Moisture content shall be verified in compliance with the following					
		<ol> <li>Moisture content shall be determined with either a probe-type or contact- moisture verification methods may be approved by the enforcing agency</li> </ol>					
		found in Section 101.8 of this code.  2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (121 of each piece verified.	9 mm) from the grade stamped end				
		of each piece verified.  3. At least three random moisture readings shall be performed on wall and acceptable to the enforcing agency provided at the time of approval to en					
		Insulation products which are visibly wet or have a high moisture content shall be re	-				
		enclosure in wall or floor cavities. Wet-applied insulation products shall follow the recommendations prior to enclosure.					
_	□ CONTR.	4.506 INDOOR AIR QUALITY AND EXHAUST	and shall comply with the				
	J CONTR.	<b>4.506.1 Bathroom exhaust fans.</b> Each bathroom shall be mechanically ventilated following:	and Shall comply with the				
		<ol> <li>Fans shall be ENERGY STAR compliant and be ducted to terminate outs</li> <li>Unless functioning as a component of a whole house ventilation system,</li> </ol>					
		humidity control.	·				
		<ul> <li>Humidity controls shall be capable of adjustment between a relative equal to 50% to a maximum of 80%. A humidity control may utilize adjustment.</li> </ul>					
		<ul> <li>adjustment.</li> <li>b. A humidity control may be a separate component to the exhaust faintegral (i.e., built-in)</li> </ul>	n and is not required to be				
		Notes:					
		For the purposes of this section, a bathroom is a room which contains  tub/shower combination.	ins a bathtub, shower or				
		tub/shower combination.  2. Lighting integral to bathroom exhaust fans shall comply with the C	alifornia Energy Code.				
	□ CONTR.	4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air	conditioning systems shall be				
		sized, designed and have their equipment selected using the following methods:					
		<ol> <li>The heat loss and heat gain is established according to ANSI/ACCA 2 M Load Calculation), ASHRAE handbooks or other equivalent design softw</li> <li>Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Re</li> </ol>	are or methods.				
		<ul> <li>Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Re ASHRAE handbooks or other equivalent design software or methods.</li> <li>Select heating and cooling equipment according to ANSI/ACCA 3 Manual D - 2014 (Re ASHRAE handbooks or other equivalent design software or methods.</li> </ul>	• ,				
ļ		Equipment Selection), or other equivalent design software or methods.	V				
- 1	-	Expansion: Use of alternate design temperatures personally to ensure the s		. '			

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

CHAPTER 7
INSTALLER & SPECIAL INSPECTOR QUALIFICATION
702 QUALIFICATIONS

**D2.1 INSTALLER TRAINING.** HVAC system installers shall be trained and certified in the proper tallation of HVAC systems including ducts and equipment by a nationally or regionally recognized training certification program. Uncertified persons may perform HVAC installations when under the direct pervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed nstall HVAC systems. Examples of acceptable HVAC training and certification programs include but are t limited to the following:

- 1. State certified apprenticeship programs. Public utility training programs.
- 3. Training programs sponsored by trade, labor or statewide energy consulting or verification
- 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

**02.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or e responsible entity acting as the owner's agent shall employ one or more special inspectors to provide pection or other duties necessary to substantiate compliance with this code. Special inspectors shall monstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or k to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, following certifications or education may be considered by the enforcing agency when evaluating the

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters,
- building performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade.

## 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

SC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's ent shall employ one or more special inspectors to provide inspection or other duties necessary to bstantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction the enforcing agency for the particular type of inspection or task to be performed. In addition, the special spector shall have a certification from a recognized state, national or international association, as termined by the local agency. The area of certification shall be closely related to the primary job function, determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

# 03 VERIFICATIONS

**03.1 DOCUMENTATION.** Documentation used to show compliance with this code shall include t is not limited to, construction documents, plans, specifications, builder or installer certification, inspection ports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. hen specific documentation or special inspection is necessary to verify compliance, that method of mpliance will be specified in the appropriate section or identified applicable checklist.

WAYNE**MEYĒR**WORKS ARCHITECTURE INTERIORS

981 AILEEN STREET OAKLAND, CA 94608

ARCHITECT'S STAMP

PLANNING SUBMITTAL 12/14/23

CALGREEN MANDATORY MEASURES 2 OF 2

EXISTING 2ND FLOOR PLAN 2

DEMOLITION LEGEND

===== TO BE REMOVED

1ST FLOOR ROOF BELOW

60x36 S:48

BEDROOM 2

EXISTING 1ST FLOOR PLAN

1/4"= 1'-0"

5'10x2'10 S:3'10

FAMILY ROOM

| | | UP WAYNEMEYERWORKS

ARCHITECTURE INTERIORS

981 AILEEN STREET OAKLAND, CA 94608

ARCHITECT'S STAMP

GARY
WAYNE
MEYER

#31705
MAY 11, 2025
RENEWAL DATE

PROJECT

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OVEMENTS TO A A

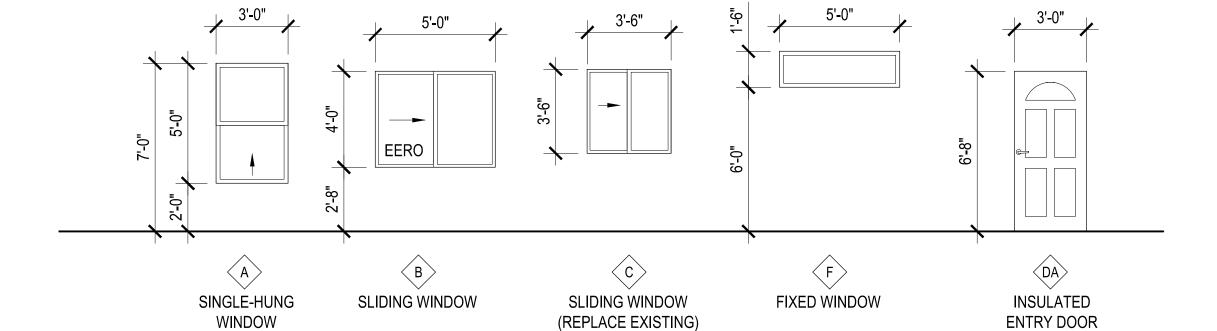
O D O 9

ISSUE DATE
PLANNING SUBMITTAL 12/14/23

EXISTING
FLOOR PLANS

Δ2.





DOOR AND WINDOW SCHEDULE f 4

1/4" = 1'-0"

WINDOWS SHALL BE OF ANY MATERIAL PROVIDED THEY MEET TITLE 24 REQUIREMENTS ON SHEETS A9.1 - A9.2

2. ALL WINDOWS DESIGNATED AS REPLACEMENT SHALL

5. WINDOWS DESIGNATED AS EERO ON THE PLAN SHALL

MINIMUM CLEAR NET OPENING OF 5.7 SQUARE

MAXIMUM HEIGHT FROM FINISHED FLOOR TO

HAVE DIMENSIONS VERIFIED IN FIELD
3. WINDOWS DESIGNATED "(E)" ON THE PLANS ARE

MEET THE FOLLOWING REQUIREMENTS.

MINIMUM CLEAR WIDTH OF 20"

MINIMUM CLEAR HEIGHT OF 24"

BOTTOM OF OPENING OF 44"

DOOR AND WINDOW NOTES:

EXISTING TO REMAIN

(STYLE T.B.D. BY OWNER) 4. "S" = SAFETY GLAZING REQUIRED

ARCHITECT'S STAMP

GARY
WAYNE
MEYER

#31705
MAY 11, 2025
RENEWAL DATE
OF CALIFORNIA

PROJECT

□ >

IMPROVEMENTS TO

M | N G A

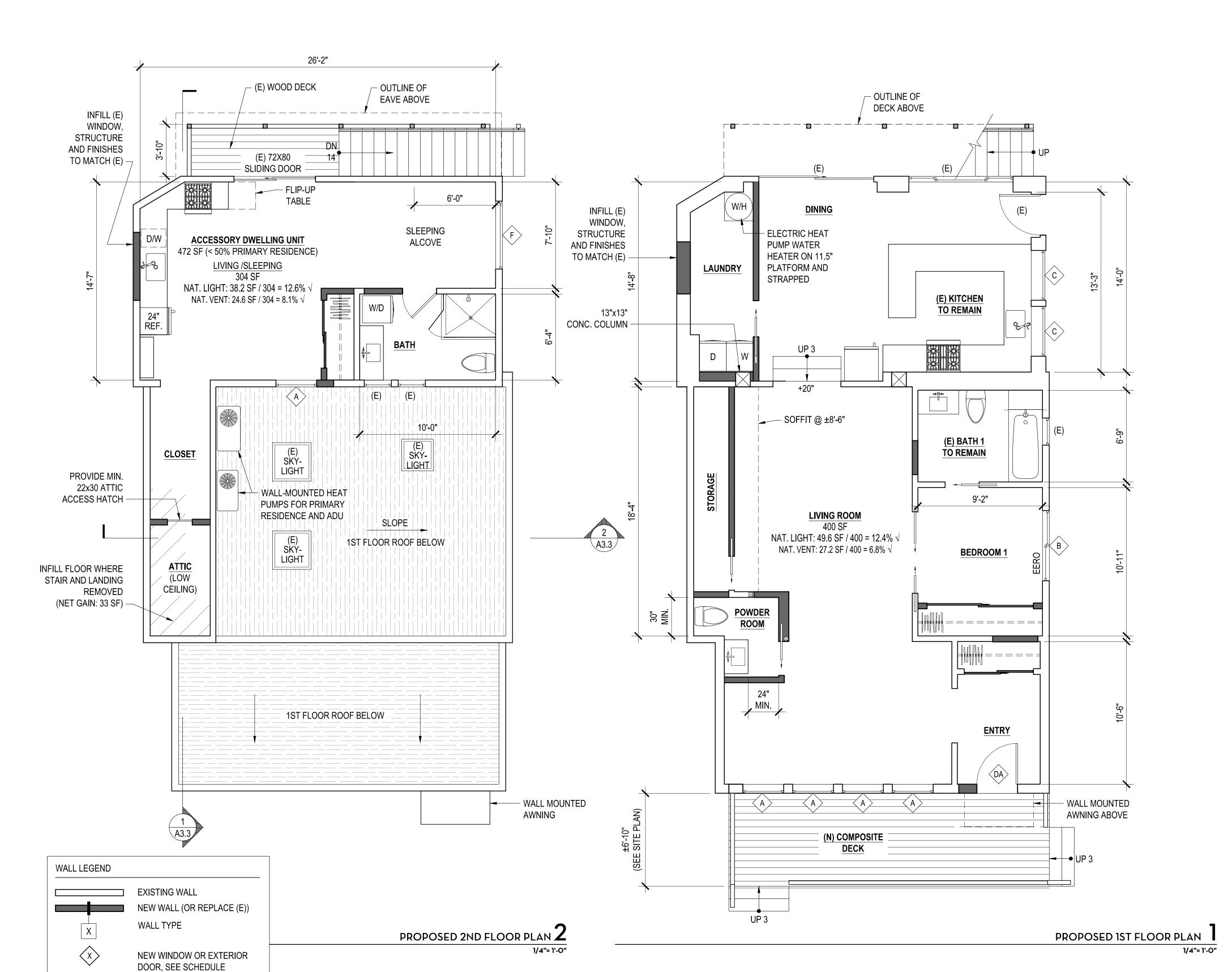
FAIRFAX, CA 94930

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PLANNING SUBMITTAL 12/14/23

PROPOSED
FLOOR PLANS

**A2.2** 









PROJECT

VEMENTS TO

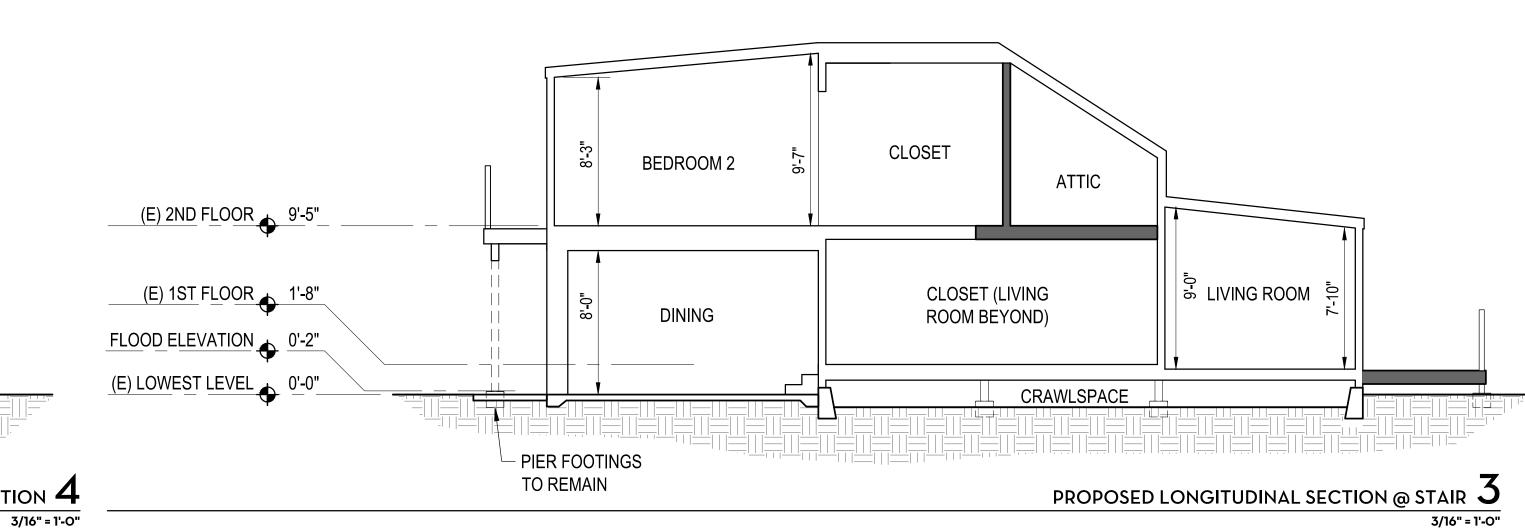
NGAYE

ISSUE DATE
PLANNING SUBMITTAL 12/14/23

9

BUILDING SECTIONS

Δ3.2



BEDROOM 2

LAUNDRY

PIER FOOTINGS

TO REMAIN

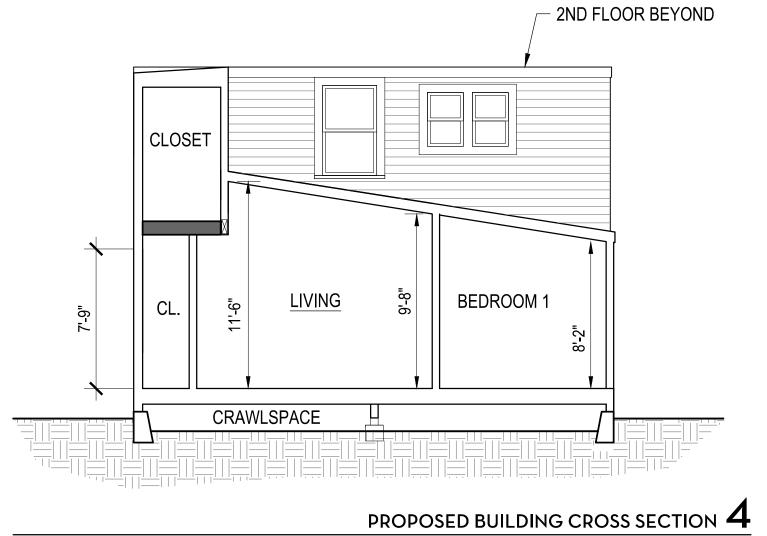
STAIRWELL

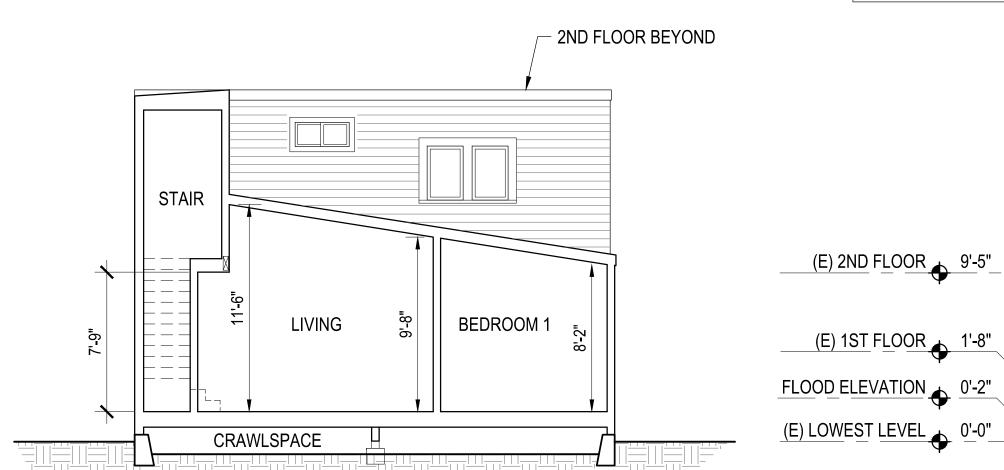
LIVING ROOM (BEYOND) - REMOVE (E) STAIR

CRAWLSPACE

FAMILY ROOM

EXISTING LONGITUDINAL SECTION @ STAIR





EXISTING BUILDING CROSS SECTION 2

3/16" = 1'-0"

LEGEND

==== TO BE REMOVED

EXISTING

NEW

# **Color Board – 60 Dominga Avenue**







**62 Dominga Avenue** 

60 Dominga Avenue

56 Dominga Avenue





Siding, Shingles, Stucco Custom color to match existing Light Blue Low Lustre



Window Trim, Doors, Door Trim, Roof Flashing, Deck Skirting Benjamin Moore 2136-50 Colorado Gray Soft Gloss



Window Frames Milgard Fiberglass Frost



Awning Sunbrella Silica Stone



Front Deck, Stairs
TimberTech
PVC
Coastline



Front Deck Railing TimberTech Aluminum Black



Back Stairs and Deck Cabot Semi-Solid Stain Slate Gray

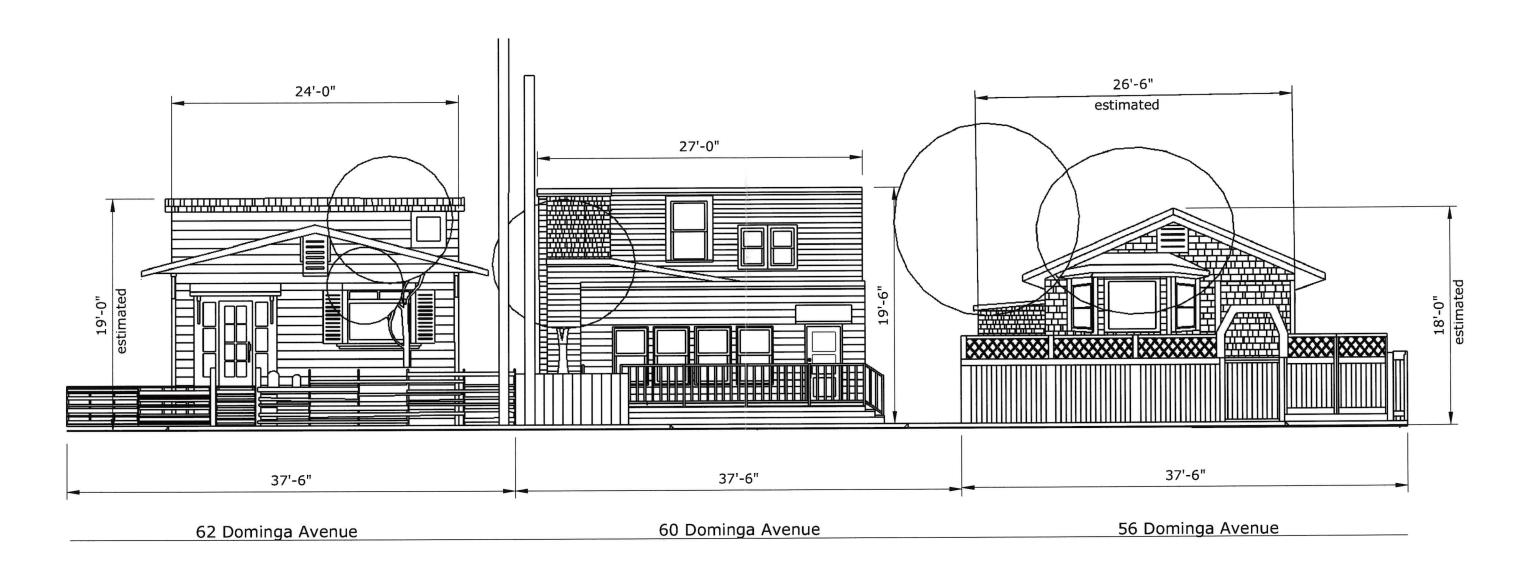


Roof with Slope 7:12 Existing Asphalt Shingles Medium Brown



Roof with Slope < =2:12 Existing Rolled Asphalt Light Gray

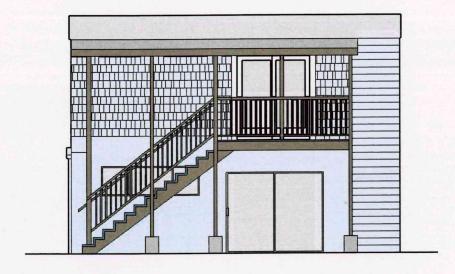
# **Neighborhood Context - 60 Dominga Avenue**



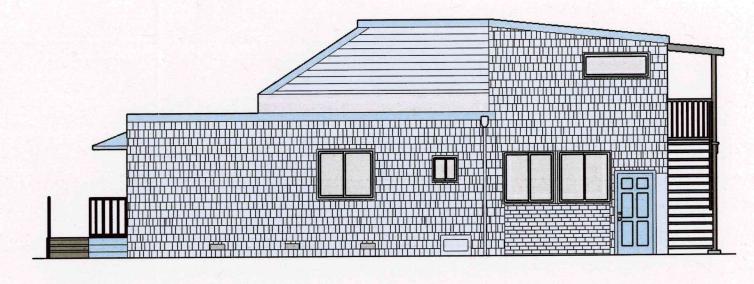
# Color Rendering - 60 Dominga Avenue



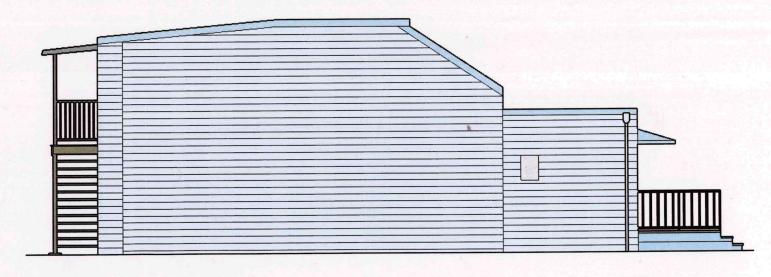
East



West



North



South