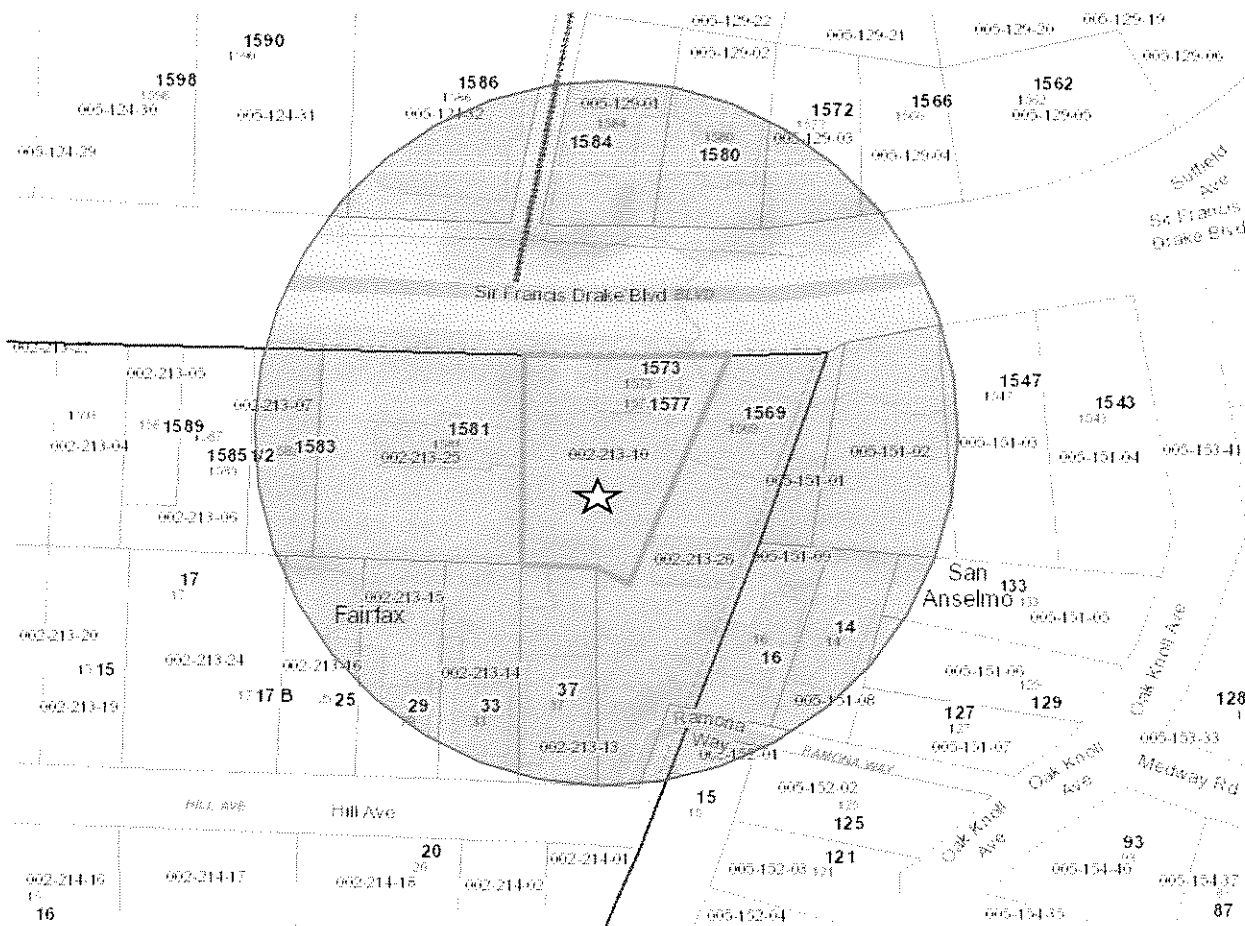


**TOWN OF FAIRFAX  
STAFF REPORT  
Department of Planning and Building Services**

**TO:** Fairfax Planning Commission  
**DATE:** September 21, 2017  
**FROM:** Michelle Levenson, Assistant Planner  
**LOCATION:** 1573 Sir Francis Drake Boulevard;  
 Assessor's Parcel No. 002-213-10  
**ZONING:** Highway Commercial CH Zone  
**PROJECT:** Renovate and Expand (91 square feet) a Building  
 to Provide a Restaurant  
**ACTION:** Design Review and Sign Permit; Application # 17-34  
**APPLICANTS:** Brian and Lori Buckner  
**OWNERS:** Brian and Lori Buckner  
**CEQA STATUS:** Categorically exempt, §15305(a)



**1573 Sir Francis Drake Boulevard**

## BACKGROUND

The project site is 8,620 square feet in area and relatively flat at 4-percent. The site is located within the Highway Commercial CH Zone and is developed with an 894-square-foot, 19-foot tall, single-story building that was constructed in 1908. The building is considered "historically significant" because of its historical association with the early commercial development of Fairfax in the first decade of the twentieth century. (Please see Attachment B-Historic Resource Evaluation prepared by APD Preservation, LLC, dated July 11, 2017). Five large Coast redwood trees considered "heritage" in size (e.g., 11-inch diameter breast height) are present on the site near the building and one coast live oak also considered "heritage" in size is located at the rear of the property.

## PROJECT PROPOSAL

The proposed project involves the renovation of the building to provide a restaurant/delicatessen. The proposed restaurant would serve an assortment of sandwiches and salads, as well as breakfast items. Beer and wine would also be served, subject to approval by the California Department of Alcoholic Beverage Control (ABC). The proposed hours of operation would be Monday thru Wednesday, 8:00am to 9:00pm, Thursday thru Saturday, 8:00 am to 10:00 pm, and Sunday 9:00 am to 9:00 pm. It is anticipated that 2 to 5 employees would work at the establishment during restaurant hours. Improvements would include the following:

- (1) *Interior Renovations*-moving an interior wall separating the proposed bar/dining room from the kitchen approximately 5 feet creating additional area in the bar/dining room, installing a restaurant kitchen including a pizza oven, panini maker, refrigerator and dishwashing facilities, creating a dining room with seating for 35 people; and providing an ADA-accessible restroom by combining the two existing bathrooms and extending the building approximately 5 feet to the south (rear)-an addition of approximately 91 square feet. The addition would replace and expand a previously constructed building addition.
- (2) *Parking*-the existing gravel parking area would be retained and a total of 5 parking spaces, including 1 ADA-accessible space, would be provided at the rear of the site; and
- (2) *Sign*-The existing "Beauty Bar" sign would be retained and resurfaced with "The Lodge" text in dark brown/black and the background would be painted to resemble a wood grain. The sign would be illuminated by a single light mounted to the building and directed upward. (Sheet A3.4c)

The applicants provided an arborist report for the project prepared by Arborlogic Consulting Arborists (Attachment C). The report states that the proposed addition would be outside of the driplines of four of the five redwood trees and the coast live oak tree. One of the redwood trees (T1) is located within the area of the proposed addition and it is anticipated that some root loss may result from construction activities. However, the

root loss would not affect the long-term health of the tree and it is expected to survive the effects of the project. Several recommendations were proposed in the arborists report and have been included in the "Conditions of Approval" in the project Resolution.

## **REQUIRED DISCRETIONARY APPROVALS**

As described above, the site is located in the Highway Commercial CH Zone. Town Codes Section 17.096.040 lists several "principal permitted uses" that are allowed entirely within a building in the CH Zone, including delicatessens (Section 17.096.040. (27)) and restaurants that do not provide live entertainment or outdoor or fast service for carry out (Section 17.096.040. (63)). Therefore, a Conditional Use Permit is not required for the proposed restaurant.

Town Code Section 17.056.050 requires the preparation of a Traffic Impact Report if a reuse project would generate 100 Average Daily Traffic (ADT) or more beyond that generated by the prior use. Average Daily Traffic (ADT) is defined as, "The total volume of traffic crossing a fixed point over a 24-hour period, averaged over some period of time" (Town Code § 17.056.020, Definitions).

It is unknown how many ADTs were generated by the previous use, the Beauty Bar. The Beauty Bar contained two styling chairs and one to two stylists were on site at one time. A conservative ADT estimate for the Beauty Bar would be two clients per hour in an 8-hour work day (32 trips) plus two trips for each stylist (4) for a total of 36 ADTs. Based on the 892-square-foot size of the restaurant, staff utilized the Institute of Transportation Engineer's Trip Generation 9<sup>th</sup> Edition standardized trip generation statistics to determine that a high turnover restaurant of this size would generate 107 ADT, which is not 100 ADT over the previous traffic trips generated by the hair salon. Therefore, staff has determined that the project is not subject to the Traffic Impact Permit (TIP) process at this time. Should the seating capacity be increased or the traffic generated by the project exceed the required ADT's, a Condition of Approval has been included in the project Resolution to require the preparation of a future TIP Report.

Town Code Section 17.052.030(H) requires that restaurants and bars provide one parking space per each 200 square feet of gross floor space. The proposed restaurant is 985 square feet therefore five parking spaces are required. The project proposes the required 5 spaces at the rear of the project site.

The proposed project requires the following discretionary approvals from the Planning Commission:

*Design Review.* Town Code Section 17.020.030(B) states that new construction in the Highway Commercial CH Zone is subject to Design Review. As described above new construction is proposed with the project therefore Design Review approval from the Planning Commission is required.

*Sign Exemption.* Permanent business identification signs are regulated by Town Code

Section 17.064.050. Because the sign would continue to be mounted to the roof, an exception to the sign requirements is required by the Planning Commission for the existing business to place new sign copy on the existing sign (Town Code Section 17.064.060(B)).

## **DISCUSSION**

### ***REQUIRED SETBACKS***

Yard setbacks are not required in the Highway Commercial CH Zone. However, because the rear of the site abuts the Residential Development RD 5.5-7 Zone the rear yard setback is required to comply with the rear setback for the RD 5.5-7 Zone which is 6 feet. The rear yard setback is 58 feet from the rear property line and therefore conforms with the rear setback requirement.

### ***GENERAL PLAN***

The Town of Fairfax General Plan contains goals and policies regarding the preservation and restoration of local historic buildings. Goal LU-9 states the following, "Preserve and restore local historic buildings, features, and sites...." Objective LU-9.1 directs the Town to, "...identify, protect, preserve and restore buildings, features, and sites of historic value in Fairfax...." Based on the age of the building and the history of the neighboring structure, staff directed the applicant to prepare a Historic Resource Evaluation for the project. Based on the report prepared by APD Preservation LLC dated July 11, 2017 (Attachment B), the building possesses several character defining features including: (1) 1.5-story, side gabled mass; (2) 2 gabled dormer windows at the front façade; (3) roof-mounted, cruciform-shaped sign; (4) overhanging porch along the front of the façade; (5) low concrete wall with hitching rings along the front of the building; and (6) corner entrance under overhanging porch at northeast corner, with half-glass paneled door. Based on these features and the buildings association with the early commercial development of Fairfax in the first decade of the 20<sup>th</sup> Century, the building qualifies as a "historic resource" under the California Environmental Quality Act (CEQA).

Because the building qualifies as a "historic resource", changes to its exterior are subject to a higher level of review to ensure that such changes are consistent with the historic character of the building and do not diminish those features. A project that is found to be consistent with the "Secretary of the Interior's Standards for the Treatment of Historic Properties" is considered to not cause a significant impact on the resource. APD Preservation LLC, provided a follow up report to the July 2017 report dated August 2, 2017. In the August 2017 report, it was determined that the proposed addition would be consistent with the Secretary of the Interior's Standards and would thus, not adversely affect the historic resource in accordance with CEQA based on the following criteria:

- The building would remain in its historic use;

- The project would not create a false sense of historicism;
- The proposed project would not adversely affect those elements of the building that render it historically significant...and would thus not "materially impair" the buildings or its surroundings;
- The character defining features, materials, finishes, and construction techniques would not be impacted;
- No chemical or abrasive treatments are proposed;
- The proposed addition replaces a non-historic elements of the building, is located on a secondary elevation out of view of the primary right-of-way, and does not detract from the overall visual character of the building. The section of the historic building that would intersect with the addition has been previously compromised by the current addition; and
- The proposed addition is both compatible with the historic block of the building yet still distinguishable as new construction.

Because the project addition would be constructed in accordance with the Secretary of the Interior's Standards and would thus not cause a significant impact to the historic resource under CEQA, the project is consistent with the Town of Fairfax General Plan Goal LU-9 and Objective LU-9.1 and is categorically exempt from the CEQA process per categorical exemption 15331..

### ***DESIGN REVIEW***

Town Code Section 17.020.040 lists the Design Review criteria that the Planning Commission is required to apply when evaluating a project for consistency with the Town's Design Review regulations. The addition would be located at the rear of the building and would replace and expand a previously constructed building addition. The addition would not be visible from Sir Francis Drake Boulevard. The addition would create a well composed design that harmoniously relates to other facilities in the immediate area as the siding and paint colors would match the existing building. The addition would not be as tall as the main building and is modest in size, therefore it would be in proportion to and balanced with the building site, and provide unity with the external features of the site. The addition is also required to bring the building into compliance with the Americans with Disabilities Act (ADA) requirements for accessible bathroom facilities. Based on the siting and size of the addition, and the use of similar materials, the addition complies with the Town Code's relevant Design Review criteria.

### ***SIGN EXCEPTION***

The existing sign is mounted to the roof and is considered a historic element of the building according to the Historic Resource Evaluation. The applicants propose to leave the sign in its current and historic location, and reface the sign with black text and background paint to resemble a wood grain texture. Because of the unique shape and historic significance of the site, it must continue to be mounted to the roof. Granting of the sign exception is consistent with Town Code Section 17.064.100 (B)(4) because granting of the exception would not be inconsistent with the purpose and intent of the

sign regulations and the sign is historically significant.

### **Other Agency/Department Conditions/Comments**

#### **Ross Valley Fire Department (RVFD)**

RVFD submitted written requirements (dated June 28, 2017) which have been incorporated into Conditions of Approval in the attached Resolution and are summarized as follows: a fire sprinkler and alarm system is required in the building; and a fire hydrant is required within 50 feet of the building.

#### **Marin County Health Department**

The Marin County Health Department submitted written requirements for the project (received on July 3, 2017) and are summarized as follows: plan approval by the agency is required before new construction or remodeling of any facility for use as a retail food facility; and no storage or prepping of food is allowed outdoors.

#### **Town of Fairfax Building and Public Works Department**

The Town of Fairfax Building Department submitted written comments on the project (dated June 28, 2017) which state that the ADA path of travel may not be gravel and 10-feet of the driveway entry must be surfaced with a material that will not break loose and damage the edge of the Town sidewalk when vehicles drive into the parking lot.

#### **The Marin Municipal Water District (MMWD) Ross Valley Sanitary District and the Fairfax Police, Public Works and Building Departments**

The MMWD, Ross Valley Sanitary District, and the Fairfax Police did not provide conditions of approval or comments on the project.

### **RECOMMENDATION**

1. Open the public hearing and take testimony.
2. Close the public hearing.
3. Move to approve Application No. 17-34 by adopting Resolution No. 17-34, setting forth the findings and conditions for project approval.

### **ATTACHMENTS**

Attachment A – Resolution No. 17-34

Attachment B – ADP Preservation LLC., “Determination of Consistency with the “Secretary’s Standards” for Renovation of 1572 Sir Francis Drake Boulevard, Fairfax, CA (APN 002-213-10)”, dated August 2, 2017, and

“Historic Resource Evaluation (HRE) and Recommendations for 1573  
Sir Frances Drake Boulevard, Fairfax, CA (APN 002-213-10)”, dated  
July 11, 2017

Attachment C – Arborlogic Consulting Arborists report, stamped “Received”  
on August 9, 2017

Attachment D – Letters of Project Support

**RESOLUTION NO. 17-34**

**A Resolution of the Fairfax Planning Commission Approving Design Review and an Exception to the Sign Permit Requirements for the Renovation and Expansion of a Building at 1573 Sir Francis Drake Boulevard**

**WHEREAS**, the Town of Fairfax has received an application for Design Review and an Exception to the Sign Permit requirements to renovate and expand (by 91 square feet) an 894-square-foot building that would contain a restaurant at 1573 Sir Francis Drake Boulevard on September 21, 2017; and

**WHEREAS**, the Planning Commission held a duly noticed Public Hearing on September 21, 2017 at which time all interested parties were given a full opportunity to be heard and to present evidence, and at which time the Planning Commission approved the Design Review Permit and the Sign Permit ; and

**WHEREAS**, based on the plans and supplemental information provided by the applicant, the Planning Commission has determined that the project complies with the relevant Town of Fairfax General Plan Policies and Programs and Zoning Ordinance, the applicable Design Review Criteria and that the Exception to the Sign Permit Regulations is warranted; and

**WHEREAS**, the Commission has made the following findings:

**The project complies with the Fairfax General Plan Policies and Programs as follows:**

- A. Objective LU-9.1: Identify, protect, preserve and restore buildings, features, and sites of historic value in Fairfax. The Historic Resource Evaluation and Determination of Consistency prepared by ADP Preservation LLC., indicates that the project would preserve the historic value of the building.

**The project complies with the Zoning Ordinance as follows:**

- A. The proposal substantially complies with the Town Code § 17.052.030(H) which states that restaurants and bars provide one space per each 200 square feet of gross floor space. The project will provide the required 5 parking spaces based on the 985- gross-floor-area of the restaurant.

**Design Review Consistency**

- A. The project complies with the design review criteria set forth in Town Code § 17.020.040.



## **Sign Permit Requirement Exception**

- A. An exception to the sign permit requirements is warranted due to the historic significance of the sign, in accord with Town Code Section 17.064.100(B)(4)

**WHEREAS**, the Commission has approved the project subject to the applicants' compliance with the following conditions:

1. The project shall be built in conformance with the plans entitled, "The Lodge, 1573 Sir Francis Drake Boulevard, Fairfax, California 94930, APN 005-120-10 [sic]" Sheets A0.1 through A0.4, Sheets A1.1 through A1.2, Sheets A2.1 through A2.2, Sheets A3.1 through A3.4c, dated August 3, 2017, and prepared by David Gill, Architect.
2. Any changes, modifications, additions or alterations made to the approved set of plans will require a modification of Application # 17-34. Any construction based on job plans that have been altered without the benefit of an approved modification of Application #17-34 will result in the job being immediately stopped and red tagged.
3. The applicants shall maintain the premises in a neat and attractive manner at all times. Such maintenance shall include, but not be limited to, exterior building materials, signage, windows, the planters, the ground and the pavement surfaces.
4. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act.
5. Any changes made to the exterior of the building, including but not limited to new lighting, new signs, planters, etc., shall comply with the design review regulations of the Town Code, Chapter 17.020, and be approved by the Fairfax Planning Commission or staff as required.
6. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director or any other department or agency

of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly.

7. To ensure that the traffic generated by the project is consistent with Town Code requirements, the applicants shall submit a signed and notarized affidavit stating that if/when the use of the restaurant space at 1573 Sir Francis Drake Boulevard results in a number of average daily vehicle trips that exceeds 136 trips, the following shall occur:

At the applicants' expense, the Town shall contract with a traffic engineering firm to prepare a Traffic Impact Permit (TIP) study.

The TIP shall provide all the information required in Town Code §17.30.070:

- A. The methodology for the TIP study shall be subject to approval by both the Planning Commission and the Town Council in accordance with Town Code § 17.30.070(F);
  - B. If questions arise as to whether the amount of traffic generated by the restaurant use has reached an amount requiring a TIP study, the burden shall be upon the applicants to demonstrate to the Planning Commission and the Town Council that the traffic impact standards do not apply [Town Code § 17.30.050(C)]; and
  - C. The applicants agree to comply with any mitigation measures recommended by a TIP study.
8. There shall be no storage of any materials or supplies for the business outside the building.
  9. Any equipment installed on the either the roof or exterior of the building must be screened from public view.
  10. To ensure that the long-term health of the on-site redwood trees are protected, the "Tree Protection Measures" recommended in the Arbologic Consulting Arborists report received on August 9, 2017, shall be implemented prior to and following construction.

11. The applicants must comply with all conditions imposed by an outside agency unless that agency waives its conditions in a written letter to the Department of Planning and Building Services Department prior to issuance of the building permit.

### **Ross Valley Fire District**

1. A fire sprinkler system shall be installed throughout the entire building which complies with the requirements of the National Fire Protection Association (NFPA) 13 and local standards. A separate deferred permit shall be required for this system. Plans and specifications for the system shall be submitted by an individual or firm licensed to design and/or design-build sprinkler systems.
2. A fire alarm system shall be required. A separate deferred permit is required for this work. Plan should be submitted directly to the Fire Department for this work. The existing fire alarm system shall meet minimum fire code requirements and shall have a current certification. Inspection report shall be available to the field inspector upon request.
3. A fire hydrant will need to be installed that is within 50 feet of the new fire sprinkler FDC.
4. A Type II hood system will be required for the proposed pizza oven.
5. Address numbers at least 6" tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers are required.

### **Marin County Environmental Health Department**

1. Plan review approval is required prior to the commencement of any construction or remodeling.
2. No prepping or storage of food outdoors is allowed.

### **Town of Fairfax Public Works and Building Department**

1. ADA path of travel may not be gravel.
2. Ten feet of the driveway entry must be surfaced with a material that will not break loose and damage the edge of the Town sidewalk when vehicles drive into the parking lot.

**NOW, THEREFORE BE IT RESOLVED**, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of Design Review and the Sign Permit Exemption can occur without causing significant impacts on neighboring businesses or residences; and

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 21<sup>st</sup> day of August 2017, by the following vote:

AYES:

NOES:

ABSTAIN:

\_\_\_\_\_  
Chair Fragoso

Attest:

\_\_\_\_\_  
Ben Berto, Director of Planning and Building Services



APD Preservation LLC

2 August 2017

Lori Bruckner

lori@bruckner.com

**Subject: Determination of consistency with “Secretary’s Standards” for renovation of 1573 San Francis Drake Boulevard, Fairfax, CA (APN 002-213-10)**

Dear Ms. Bruckner:

I have reviewed the proposed renovation of 1573 Sir Francis Drake in Fairfax, CA, as presented in your email of July 31, 2017. This letter offers my determination that the project as proposed **is consistent** with the “Secretary of the Interior’s Standards and Guidelines for Rehabilitation” (SOL), and, therefore, would have **no significant impact** on the historic resource.

Per my recent “Historic Resource Evaluation” (HRE), the 109-year old building is historically significant because of its association with the early commercial development of Fairfax in the first decade of the twentieth century. It retains a high degree of integrity and qualifies as a “historic resource” under the California Environmental Quality Act (CEQA).<sup>1</sup> Its character defining features are:

- 1.5-story, side-gabled mass
- 2 gabled dormer windows at front (north) façade
- roof-mounted, cruciform shaped sign
- overhanging porch along the length of the front (north) façade
- low concrete wall with hitching rings along the front of the building
- corner entrance under overhanging porch at northeast corner, with half-glass paneled door

The proposed modifications include:

- replacing the modern restroom addition at the rear (south) of the building with a larger restroom addition in the same location
- replacing the graphics on the existing sign structure
- adding exterior lighting

Based on the analysis of the consistency of the proposed project with the “Secretary of the Interior’s Standards for Rehabilitation,” the project would have no adverse effect on the historic resource as defined in the CEQA Statute (CPRC 21084.1) and CEQA Guidelines (15064.5 (a)(2) and (b)). The project is consistent with the “Secretary of the Interior’s Standards for Rehabilitation” in that:

- The building would remain in its historic use;
- The project would not create a false sense of historicism;
- The proposed project would not adversely affect those elements of the building that render it a historically significant (location, design, setting, materials, feeling, association), and, thus, would not “materially impair” the building or its surroundings;

**ATTACHMENT - B**



APD Preservation LLC

- The character defining features, materials, finishes, and construction techniques would not be impacted;
- No chemical or abrasive treatments are proposed;
- The proposed addition replaces a non-historic element of the building, is located on a secondary elevation out of view of the primary right-of-way, and does not detract from the overall visual character of the building. The section of the historic building that would intersect with the addition has been previously compromised by the current addition.
- The proposed addition is both compatible with the historic block of the building yet still distinguishable as new construction.

The project would allow for the continued use of this building in its historic function and represents an historically sensitive renovation, consistent with both the individual structure and the surrounding community of Fairfax.

I hope you find this guidance helpful. Please feel free to call me at 415-806-4549 if you have any questions or comments.

Sincerely,

Alice P. Duffee  
APD Preservation, LLC





APD Preservation LLC

4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The National Park Service (NPS) and California Office of Historic Preservation (OHP) have published several technical briefs that may be helpful to you as you proceed with the design of our proposed remodel:

Preservation Brief 14: New Exterior Additions to Historic Buildings: Preservation Concerns.  
(<https://www.nps.gov/nps/how-to-preserve/briefs/14-exterior-additions.htm>)

Preservation Brief 32: Making Historic Buildings Accessible  
<https://www.nps.gov/TPS/HOW-TO-PRESERVE/briefs/32-accessibility.htm>

Preservation Brief 3: Improving Energy Efficiency in Historic Buildings  
<https://www.nps.gov/TPS/HOW-TO-PRESERVE/briefs/3-improving-energy-efficiency.htm>

CA OHP Technical Assistance Series #1: CEQA and Historical Resources  
<http://www.ohp.parks.ca.gov/pages/1051/files/ts01ca.pdf>





APD Preservation LLC

Should you consider adding onto the building, the overarching tenets are that:

1. Additions should be subordinate to the historic building, not detracting from the priority of the original structure.
2. Additions should be both compatible with the original structure while clearly distinguishable from it.

Common design strategies are to place additions on secondary or inconspicuous elevations, to keep the addition smaller than the original building and/or setback to limit its visibility from the public right-of-way, and to limit removal of historic materials by linking the addition with a hyphen. Other recommendations include using alternate materials on the addition that are clearly distinguishable from the materials on the original building, using an alternate (compatible) color scheme on the addition, and setting the addition back from the original mass. The general premise is to retain the visual integrity of the original building as an independent design element.

An advantage to having your building qualify as a historic resource is the applicability of the 2013 "California State Historic Building Code (CHBC)."<sup>4</sup> Under this alternate building code, local building inspectors must grant code alternatives to owners of qualified historic properties for "permitting repairs, alterations and additions necessary for the preservation, rehabilitation, relocation, related construction, change of use, or continued use" of such historic structures. The overarching concept is to facilitate the rehabilitation of historic structures to preserve their original features through a cost-effective approach to historic preservation.<sup>5</sup>

As the design progresses, I would be happy to prepare a formal assessment of the project's consistency with the "Secretary of the Interior's Standards." In the meantime, please feel free to call me at 415-806-1549 if you have any questions or comments.

Sincerely,

Alice P. Duffee  
APD Preservation, LLC

Enclosure: Historic Resource Evaluation (HRE)

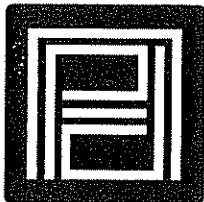
<sup>4</sup> [http://ohm.parks.ca.gov/pages/1073/files/2013\\_California\\_CHBC\\_1211](http://ohm.parks.ca.gov/pages/1073/files/2013_California_CHBC_1211)

<sup>5</sup> [http://www.dgs.ca.gov/dsa/About/2/shield-bish-health\\_lab02.aspx](http://www.dgs.ca.gov/dsa/About/2/shield-bish-health_lab02.aspx)

Historic Resource Evaluation  
1573 Sir Francis Drake Boulevard, Fairfax,  
Marin County, CA 94930  
(APN 002-213-10)



**Prepared for:**  
Lori Bruckner  
Lori.bruckner1@gmail.com



**Prepared by:**  
Alice P. Duffee, Historic Preservation Planner  
APD Preservation LLC  
July 2017

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## Project Overview & Executive Summary

The owner of 1573 Sir Francis Drake Boulevard in Fairfax, California, is assessing the historic character of the structure on the property in anticipation of remodeling the building. As part of the planning process, they hired Alice P. Duffee, an architectural historian and preservation planner with APD Preservation LLC, to evaluate the historic character of the property and identify what features, if any, render the property historically significant. This report is the result of that evaluation.

The property consists of a 1.5-story commercial building on a parcel that is almost entirely paved with the exception of several redwood trees and mature shrubs. It fronts Sir Francis Drake Building and is at the eastern-most tip of the incorporated town of Fairfax, on the border of San Anselmo.

In 1908 Domenico Arbini constructed the building after purchasing the recently subdivided parcels from Mario Rocca. Arbini and his family operated a tavern/saloon on the property ("Old Timer's Tavern") for nearly 65 years, whereupon the property was sold out of the family and used for a variety of other commercial enterprises. The current owners purchased the property in 2017.

The building at 1573 Sir Francis Drake Boulevard is 109 years old and is not included in any survey of historic resources. It retains its 1908 appearance, with the exception of several small additions on the rear elevation, the addition of a roof-mounted sign, and the replacement of most window sashes.

The building retains a high degree of integrity and is significant at the local level as one of Fairfax's early commercial structures built along the main thoroughfare (Olema Road, aka County Road) to serve the growing community of Fairfax and the increasing number of tourists at the turn of the twentieth century (associated with significant local event). Therefore, it is eligible for listing in the California Register and qualifies as an "historic resource" under the California Environmental Quality Act (CEQA).

Its character defining features are:

- 1.5-story, side-gabled mass
- 2 gabled dormer windows at front (north) façade
- clipped corner with double-door entrance
- roof-mounted, cruciform shaped sign
- overhanging porch along the length of the front (north) façade
- low concrete wall with hitching rings along the front of the building
- corner entrance under overhanging porch at northeast corner, with half-glass paneled door

## Methodology

On June 27, 2017, Alice P. Duffee undertook a field survey of the property, to conduct a visual review and assessment of the property. Records searches were conducted at the following repositories, as well as a variety of online research websites:

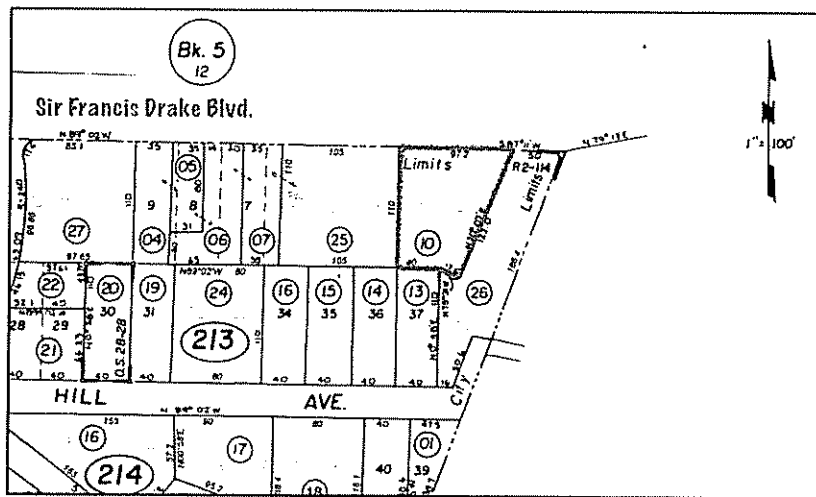
- Marin County Recorder's office
- Fairfax Historical Society
- Marin History Museum
- Marin County Free Library, particularly the Anne T. Kent California Room
- City of Fairfax (Building and Planning departments)
- San Francisco Public Library (SFPL) online research databases
- California Digital Newspaper Collection
- Online Archive of California

## Evaluator qualifications

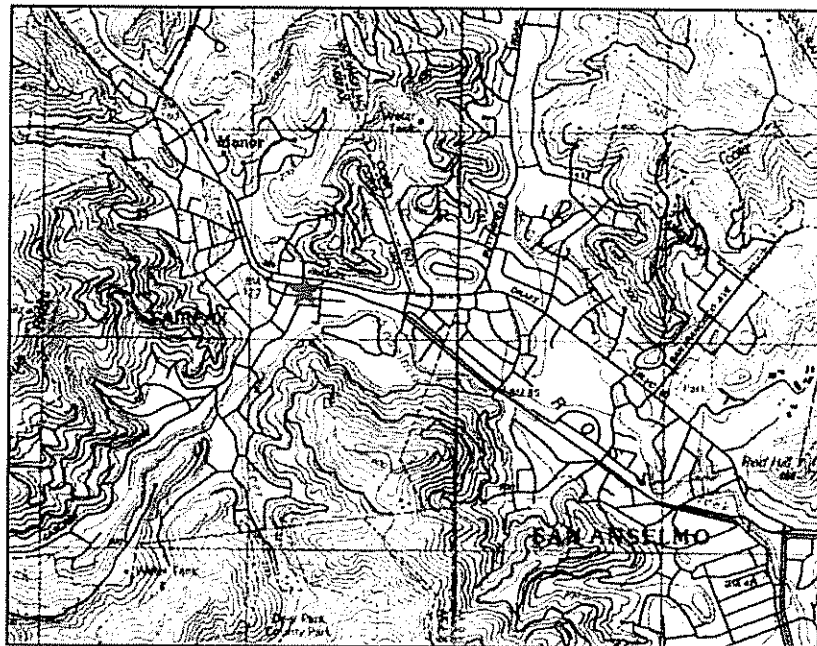
Alice P. Duffee of APD Preservation LLC conducted the evaluation of the historic character of the building at 1573 Sir Francis Drake Boulevard in Fairfax, California. Ms. Duffee is a qualified architectural historian as defined by the Code of Federal Regulations (36 CFR Part 61) and is listed in the California Historical Resources Information System (CHRIS) as a consultant qualified to work in the fields of Architectural History and History. She holds a Master of Science degree in Historic Preservation from the University of Pennsylvania and a Bachelor of Arts in Architectural History from the University of Virginia.

## Site Location

The building at 1573 Sir Francis Drake Boulevard sits on the south side of Sir Francis Drake Boulevard, between Oak Knoll and Kent avenues. The streetscape is minimal landscaping around commercial and residential structures from the early to late twentieth century. This section of Sir Francis Drake Boulevard has two lanes of traffic (two-way), and limited street parking on both sides.



Parcel Map for 002-213-10



USGS Quadrangle Map, San Rafael, 1999

## Description

The property at 1573 Sir Francis Drake Boulevard contains a single building fronting Sir Francis Drake Boulevard. The lot is almost totally paved, and the rear is used as parking. The remnants of landscaping include several mature shrubs and several redwood trees. A low concrete wall separates the building from the sidewalk along Sir Francis Drake Boulevard. This feature contains multiple iron hitching rings and is rapidly deteriorating (see figures 10 and 11).

The roof is modern composition shingles, and the entire structure rests on a concrete slab foundation. Drop siding covers the exterior walls.

The structure is a 1.5-story, side gable, rectangular mass. The building is roughly divided into two spaces, each with its own entrance. One entrance is on the clipped northeastern corner and accesses the eastern section of the building; another doorway slightly off-center of the primary façade accesses the western section.

The eastern entrance consists of a pair of double doors, each half glass over three raised panels, set in a simple wooden frame (see figures 6-9). The doors are consistent with the presumed construction date of the building and appear to be original. A 12-paned, fixed sash, picture window is situated west of this entryway and may have been replaced at the same time as the other front windows.

The second entrance consists of a modern Dutch door—glass over two raised panels—set in a simple wooden frame. A deteriorated brick stoop leads to the door (see figure 2). Double-hung, wood sash, 2-over-2 windows flank the doorway. The sashes appear to have been replaced in the original frames in the middle of the twentieth century.

An unsupported (no posts) porch under the overhanging eave extends across the length of the primary façade and shelters both entrances. The ceiling of the section over the east entrance is beadboard, while the remainder is modern vinyl sheeting.

Two gable-roofed dormers break the plane of the north slope and have replacement vinyl, sliding sash windows. A large cruciform sign is mounted to the roof and the eastern dormer with metal bars (see figures 1 and 4).

Both the east and west gable ends are devoid of openings and reveal a boxed eave (see figures 12, 22 and 23).

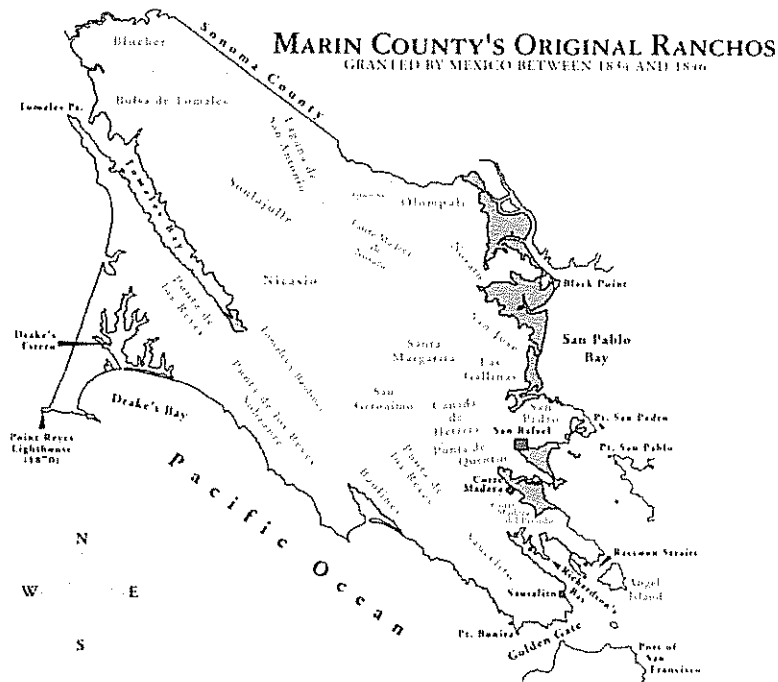
The south elevation has been modified by the addition of several small, shed-roof additions. A half-glass door is roughly centered on the elevation and sheltered under a shed roof that links two small additions on either side of the door. Concrete and flagstone steps lead to a concrete sidewalk. Windows on this elevation include a modern, vinyl-sash, double-hung replacement window at the southeast corner (see figure 16); a modern, vinyl, sliding sash unit in the western addition (see figure 18); a single-pane, wood, casement window in the western addition (see figure 19); and double-hung, wood sash, 2-over-2 window at the western corner (see figure 20). Only this last 2-over-2 window appears to be original to the building. The others are modern replacements.

A wide, shed-roof dormer, with clapboard siding is centered on the south slope of the roof. Its window has been removed (see figure 13).

Permit records for this property include:

- 1995: re-roof
- 1982-3: verbage changes to original sign
- 1973: interior partitions
- 1967: fire code violations

## Historical Context of Fairfax



The current town of Fairfax occupies lands that were originally part of the "Rancho Canada de Herrera." This 6,658-acre tract encompassed half of the current town of San Anselmo and all of Fairfax. The Mexican Government granted the entirety of the Rancho to Domingo Sais (1805-1853) on August 10, 1839, in payment for Sais' military service at the Presidio of San Francisco and in the San Francisco militia. The U.S. Land Commission confirmed the grant on October 21, 1853, one month before Sais' death.

The area remained largely undeveloped and rural through the nineteenth century, until the arrival of the railroad in 1875. Manuela Augustina Miranda Sais, widow of Domingo Sais, leased 1,600 acres of land to the newly established North

Pacific Coast Railroad. On January 7, 1875, the first train ran from Sausalito on the San Francisco Bay to Tomales on the Pacific Ocean. The original purpose of the railroad was to haul timber out of the Redwood forests of Marin and Sonoma counties. Agricultural freight was also a market for the train. The allure of the area for passengers quickly became apparent, and the railroad began developing parks and picnic sites in the county as tourist destinations.

The area that is now Fairfax Park was developed as a picnic ground for these tourist outings.

Eventually the railroad turned over its recreational facilities to other organizations, and refocused on its original mission of providing transportation through the rugged terrain.

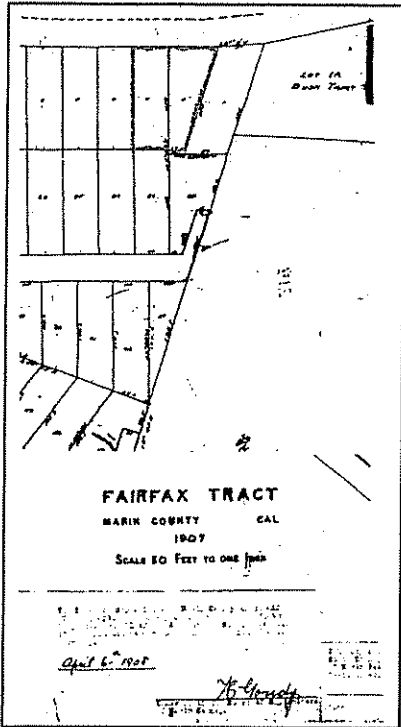
North Shore Railroad purchased the line in 1902 and launched a major capital improvement campaign that would lay the groundwork for explosive development in the county. In 1904 it opened a new tunnel through White's Hill ("Bothin Tunnel"), which eliminated the grueling climb over the rugged hills and radically shortened the transit time through the county. The railroad also added a third track to the western edge of Fairfax, and soon thereafter electrified the line, allowing fast access to the San Francisco ferry in Sausalito. In 1907, the line became the Northwestern Pacific Railroad.

Development in the sleepy village of Fairfax boomed. In 1876 the berg originally petitioned for and was granted its own school district based on the Rancho Canada de Herrera boundaries, though the town remained small. In 1907, however, newly minted developers began subdividing large tracts of land to accommodate vacationers and residents alike. Between 1907-1908 there were three new subdivisions: Fairfax Tract, Ridgeway, and Deer Park. Pacheco Tract followed in 1910; Fairfax Manor and Fairfax Park 1911; Fairfax Heights in 1912; Bush Annex, Rothin Park and Manor Tract in 1913; and the Cascades in 1914.

Other projects around this time included the incline railroad at Fairfax Manor in 1913 and the Alpine Dam in 1917.







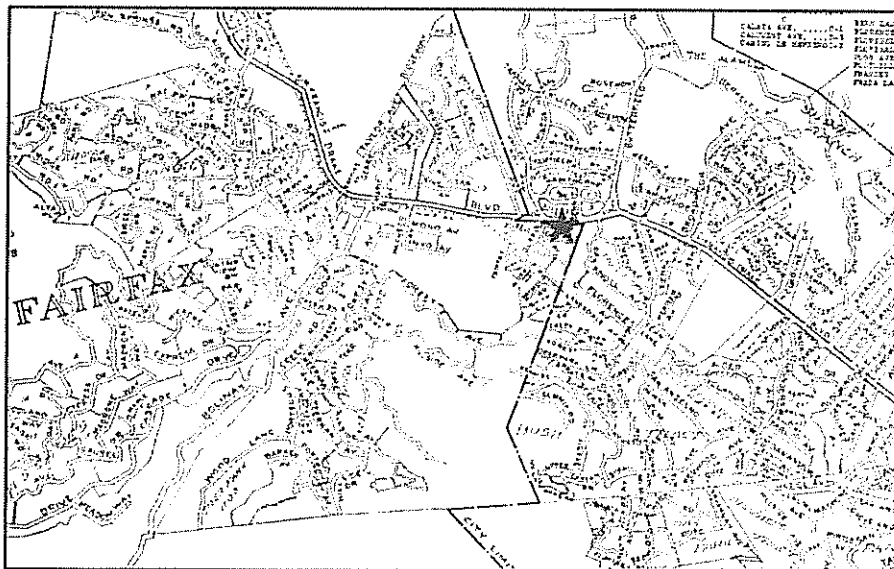
Mario Rocca was born in San Francisco around 1884. He graduated from the Heald Business College in 1903, moved to Marin, and began selling lumber. In 1907 he purchased ten acres in Fairfax fronting on the County Road (also known as Olema Road, and now known as Sir Francis Drake Boulevard). He subdivided the "Fairfax Tract" and started selling parcels immediately.

At the same time (June 1907) the town council of San Anselmo voted to ban the sale of alcohol within its town limits. The Fairfax Tract was just outside of the town limit, and was, therefore, still "wet."

Domenico Arbini, an Italian immigrant working in San Rafael as a merchant and a laborer, had just received a liquor license four months earlier in February 1907. The location attached to that license was lot 1 of the Bush tract (the current 1569 Sir Francis Drake Boulevard), just inside the town limits of San Anselmo and adjacent to the project area.<sup>6</sup>

Arbini purchased the project area "Fairfax Tract" in two separate transactions: lot 2 in 1908 and lot 3 in 1910. Both lots were adjacent to his previous location in the Bush Tract, but outside of San Anselmo<sup>7</sup> The 1910 census states that by that time Arbini was running a saloon on Olema Road (now Sir Francis Drake Boulevard).

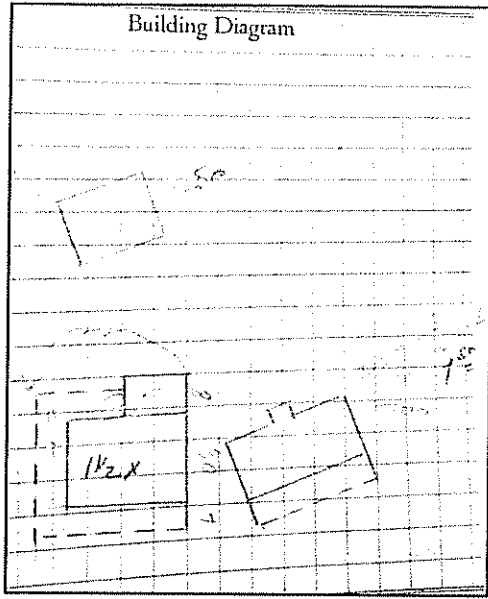
County records indicate that the current structure at 1573 Sir Francis Drake Boulevard was erected in 1906. It is more likely, however, that Domenico Arbini built the structure in 1908 shortly after relocating from the property next door.



1938 Thomas Bros Map, project area indicated

<sup>6</sup> *Marin Journal*, February 14, 1907.

<sup>7</sup> Marin County Records, Deed Book 115, page 316 (319) and Deed Book 129, page 1.



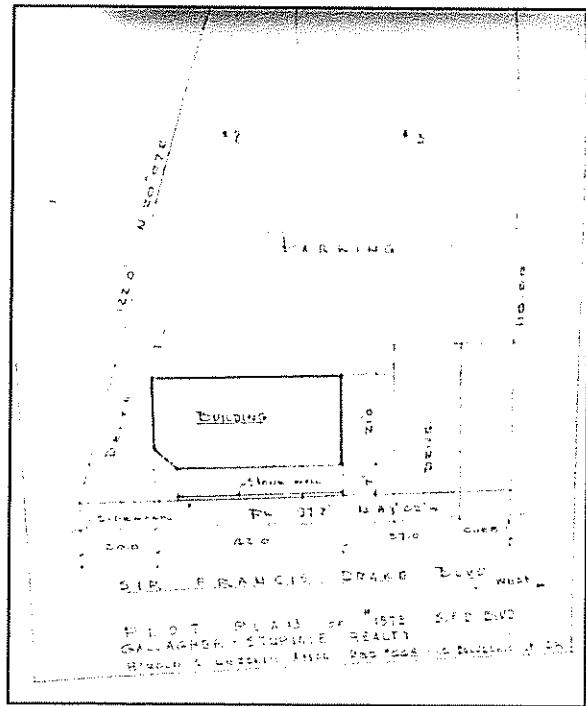
1930 Building Diagram, from title book (courtesy of Marin History Museum)

Domenico Arbini ran the saloon at 1573 Sir Francis Drake for the next three decades, until 1943 when he sold the property and business to his son, Mario Arbini, reserving a life interest in the property.<sup>8</sup> During prohibition the bar became a "soda parlor" and at other times the establishment was called a "café." However, it was best known as the "Old (or Ole) Timer(s) Tavern (or saloon or bar)."

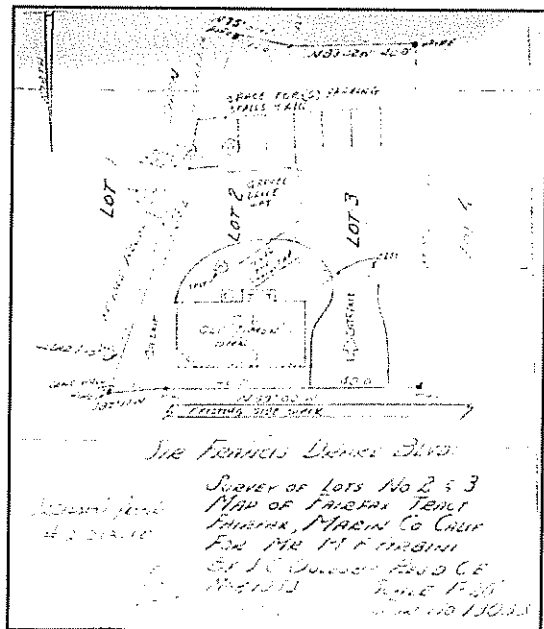
Mario Arbini (1900-1974) grew up in San Anselmo/Fairfax, and later worked for the railroad as a mechanic. He was a merchant marine for twenty years before coming home and taking over the family's saloon in 1943. He ran the bar for nearly 30 years with his sister Becky Soldavini, retiring in 1972.

Few changes were made to the building. By 1953 some of the small additions appeared on the back of the building. The front remained consistent, including the concrete wall with hitching rings for horses.

A variety of tenants passed through the two sections of the building, including Gallagher Sturiale real estate and several beauty salons. Permit records for a variety of small changes frequently refer to the property as "historic," including the large sign attached to the dormer window facing Sir Francis Drake Boulevard.



ca. 1982 plot plan, City of Fairfax Planning Department  
<sup>8</sup> Marin County Records, Deed Book 445, page 128.



May 1953 Plot Plan, City of Fairfax Planning Department

### Determination of Eligibility

The California Environmental Quality Act (PRC §21084.1) and its associated guidelines for implementation (CCR Title 14, Chapter 3, sections 15000 et seq.) defines historic resources as any object, building, structure, site, area, place, record or manuscript that, in general, meets at least one of the following four criteria:<sup>9</sup>

1. listed in the California Register of Historical Resources (PRC §5024.1 Title 14 CCR, Section 4850 et seq.);
2. determined eligible for listing the California Register by the State Historic Preservation office;
3. included in a local register of historical resources (as defined in PRC §5024.1(g)); OR
4. determined by the lead agency, through the presence of substantial evidence, to be historically significant because of its association with significant events, association with significant persons, architectural distinction, or potential to yield information important in history or prehistory.

At the same time, the resource must retain sufficient integrity to convey the reasons for which it is historic.

The building at 1573 Sir Francis Drake Boulevard is 109 years old, but is not included in any historic resource surveys.

#### CRITERIA

According to the California Office of Historic Preservation (OHP), a building, structure or object is eligible for listing in the California Register if it meets one or more of the four following criteria:<sup>10</sup>

<b>Criteria</b>	<b>1573 Sir Francis Drake Boulevard</b>
1. Associated with events that have made a significant contribution to the broad patterns of local or regional history or the cultural heritage of California or the United States.	This building is associated with the early twentieth-century commercial development of Fairfax following the subdivision of large tracts of land and the subsequent influx of permanent residents and vacationers.
2. Associated with the lives of persons important to local, California or national history.	While the property is associated with the Arbini family, they do not rise to the level of significant at the local, state or national level.
3. Embodies the distinctive characteristics of a type, period, region or method of construction or represents the work of a master or possesses high artistic values.	The simple gable, wood frame structure is not architecturally significant.
4. Has yielded, or has the potential to yield, information important to the prehistory or history of the local area, California or the nation	The area has been significantly disturbed by development on the lot, and is not known to contain any archeological resources.

<sup>9</sup> [https://govt.westlaw.com/calregs/Document/1FFC7DA00D48511DEBC02831C6D6C108E?viewType=Full&transitionType=Default&contextData=\(sc.Default\)](https://govt.westlaw.com/calregs/Document/1FFC7DA00D48511DEBC02831C6D6C108E?viewType=Full&transitionType=Default&contextData=(sc.Default))

<sup>10</sup> Pub. Res. Code 5024.1, Title 14 CCR, Section 4852.

INTEGRITY ANALYSIS

Integrity is the ability of a property to convey its historic significance. It consists of seven aspects: location, design, setting, materials, workmanship, feeling and association.<sup>11</sup>

<b>Integrity Element</b>	<b>1573 Sir Francis Drake Boulevard</b>	<b>Conclusion</b>
<b>Location</b> ( <i>"place where the property was built"</i> )	The structure retains its integrity of location as it has not been moved or relocated.	<b>INTACT</b>
<b>Design</b> ( <i>"combination of elements that create the form, plan, space, structure, and style"</i> (NPS))	The building fully retains its modest, utilitarian, commercial design. Minimal changes over the years have not diminished its ability to convey its early twentieth century origins as a commercial building serving the early town of Fairfax.	<b>INTACT</b>
<b>Setting</b> ( <i>"physical environment"</i> )	The commercial setting remains unchanged.	<b>INTACT</b>
<b>Materials</b>	The 1908 materials remain primarily intact, except for most of the windows which have been replaced throughout. The one remaining original window is on the rear of the building, near the southwest corner.	<b>INTACT</b>
<b>Workmanship</b> ( <i>"evidence of labor and skill"</i> )	The minimalist workmanship of the building remains fully intact.	<b>INTACT</b>
<b>Feeling</b> ( <i>"expression of the aesthetic or historic sense of a particular period of time"</i> )	The building retains its 1908, modest, utilitarian, commercial feeling.	<b>INTACT</b>
<b>Association</b> ( <i>"direct link between an important historic event or person"</i> )	The building looks the same as when it was associated with commercial development of the early twentieth century.	<b>INTACT</b>

CHARACTER DEFINING FEATURES

The National Park Service defines character and "character defining features" as:

those visual aspects and physical features that comprise the appearance of every historic building. Character-defining elements include the overall shape of the building, its materials, craftsmanship, decorative details, interior spaces and features, as well as the various aspects of its site and environment.<sup>12</sup>

<sup>11</sup> [http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15\\_8.htm](http://www.nps.gov/nr/publications/bulletins/nrb15/nrb15_8.htm)

<sup>12</sup> Lee H. Nelson, FAIA, Preservation Brief 17: Architectural Character (Washington, D.C. National Park Service, 1988), p. 1.



The following table addresses the standard elements of "character defining features" as applied to the service/office building at 1573 Sir Francis Drake Boulevard.

Feature	1573 Sir Francis Drake Boulevard
Shape	1.5-story, rectangular mass
Roof and roof features	Gable-roofed with two gable dormers on north slope, fronting Sir Francis Drake Boulevard
Openings	Replacement double-hung, wood sash windows set in original wood frames. Replacement doors at front and rear of property, in original openings. Northeast corner entrance unchanged.
Projections	Two gable-roofed dormers on the north slope of the gabled roof, facing Sir Francis Drake Boulevard. Overhanging porch extending the length of the front façade, not supported on posts.
Trim & Secondary Features	Low concrete wall along Sir Francis Drake with multiple metal hitching rings. Cruciform, roof-mounted sign fronting Sir Francis Drake Boulevard.
Materials (from a distance)	Wood siding.
Setting	Commercial structures from the mid-twentieth century to present-day.
Materials (at close range)	Wood drop siding. Wood framed windows and doors.
Craft Details	None

### Conclusion

The building at 1573 Sir Francis Drake Boulevard is 109 years old and is not included in any survey of historic resources.

The building retains a high degree of integrity and is significant at the local level as one of Fairfax's early commercial structures built along the main thoroughfare (Olema Road, aka County Road) to serve the growing community of Fairfax and the increasing number of tourists to the area at the turn of the twentieth century (associated with significant local event). Therefore, it is eligible for listing in the California Register and qualifies as an "historic resource" under the California Environmental Quality Act (CEQA).

Its character defining features are:

- 1.5-story, side-gabled mass
- 2 gabled dormer windows at front (north) façade
- clipped corner with double-door entrance
- roof-mounted, cruciform shaped sign
- overhanging porch along the length of the front (north) façade
- low concrete wall with hitching rings along the front of the building
- corner entrance under overhanging porch at northeast corner, with half-glass paneled door

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[www.accessible.com](http://www.accessible.com)  
[www.ancestry.com](http://www.ancestry.com)  
[www.archives.com](http://www.archives.com)  
[www.archives.org](http://www.archives.org)  
<http://ohp.parks.ca.gov>

[hld.huntington.org/cdm/](http://hld.huntington.org/cdm/)  
[www.loc.gov](http://www.loc.gov)  
[www.cdnc.ucr.edu](http://www.cdnc.ucr.edu)  
[www.genealogybank.com](http://www.genealogybank.com)  
[www.newspaperarchives.com](http://www.newspaperarchives.com)

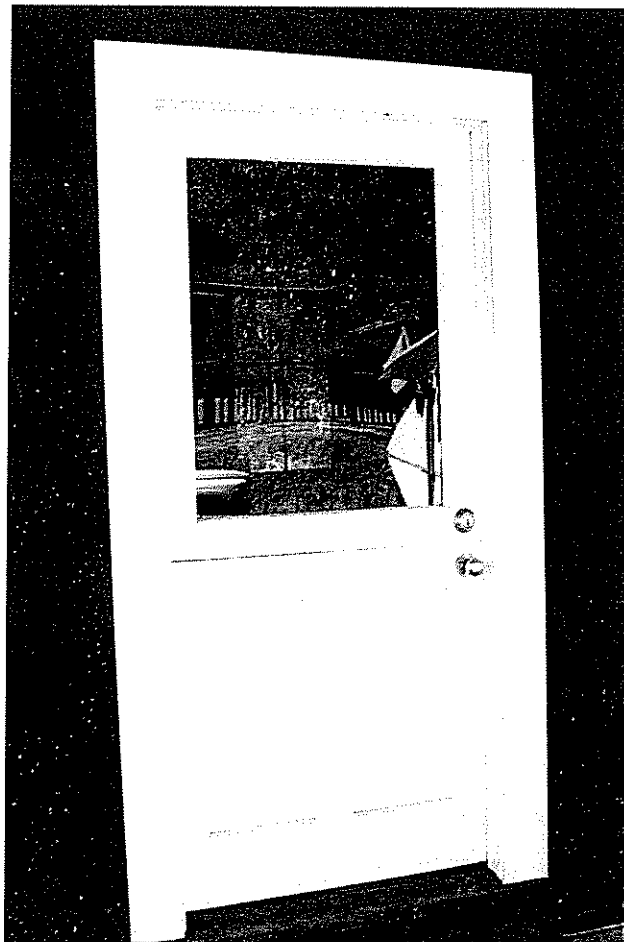
[www.calisphere.universityofcalifornia.edu](http://www.calisphere.universityofcalifornia.edu)  
[www.ldsgeneology.com](http://www.ldsgeneology.com)  
<http://www.marinnostalgia.org/>  
<http://contentdm.marinlibrary.org/digital/>  
[www.newspapers.com](http://www.newspapers.com)

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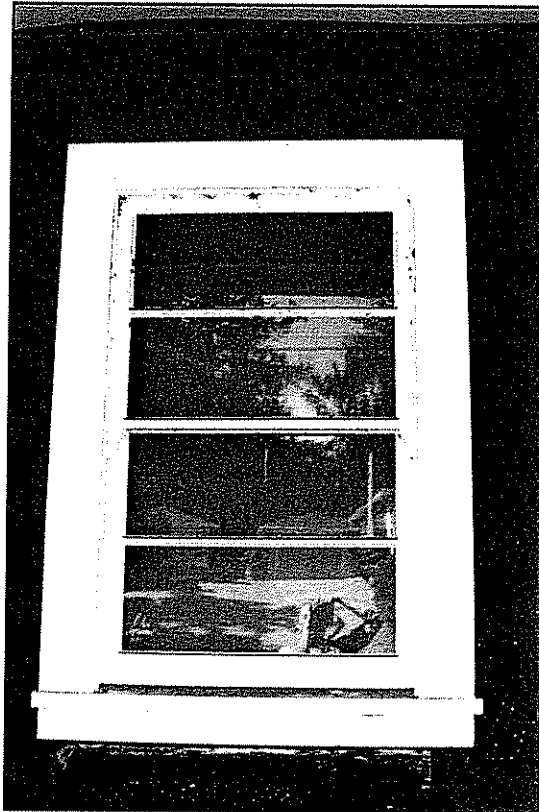


*Figure 1: North façade and west elevation*

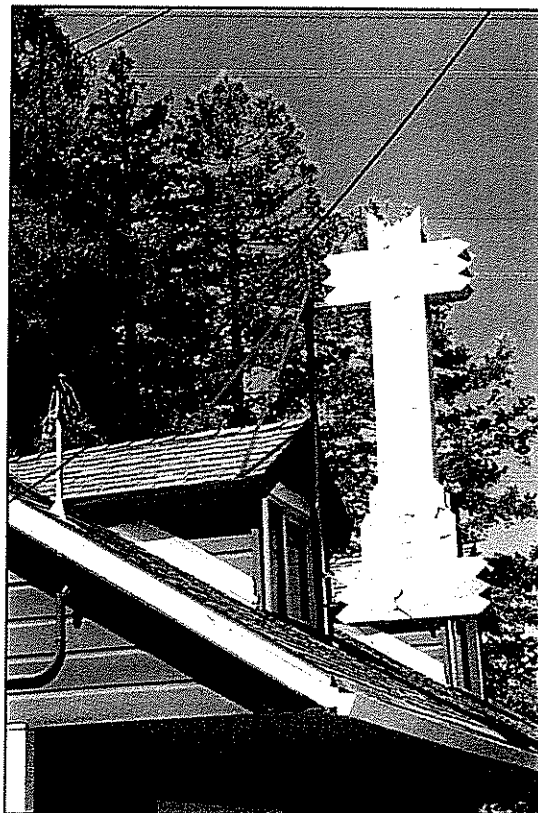


*Figure 2: North facade, main entrance*

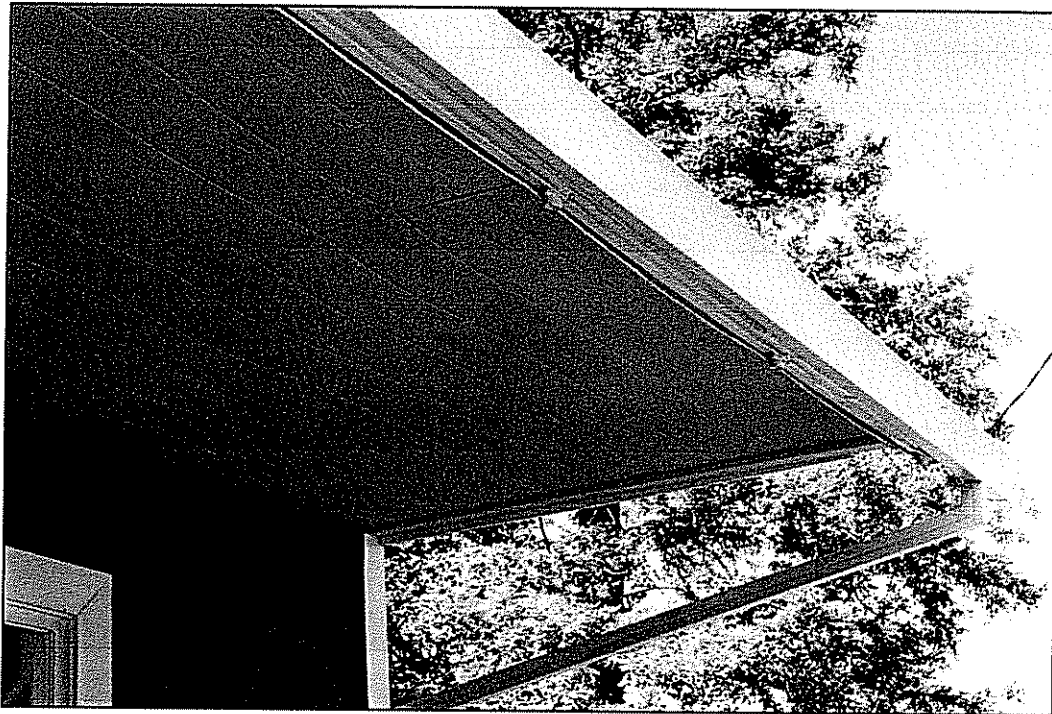




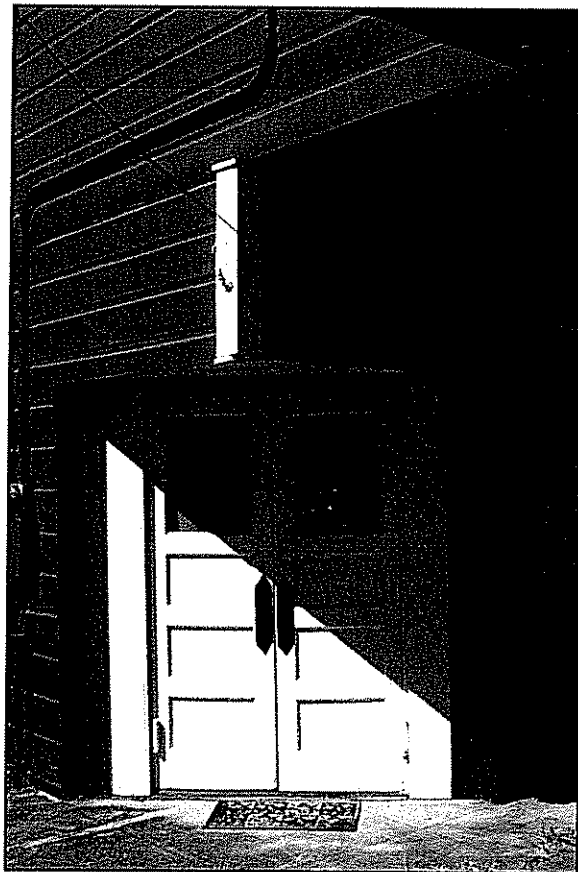
*Figure 3: North facade, window*



*Figure 4: North facade, dormer and sign*



*Figure 5: North facade, porch ceiling*



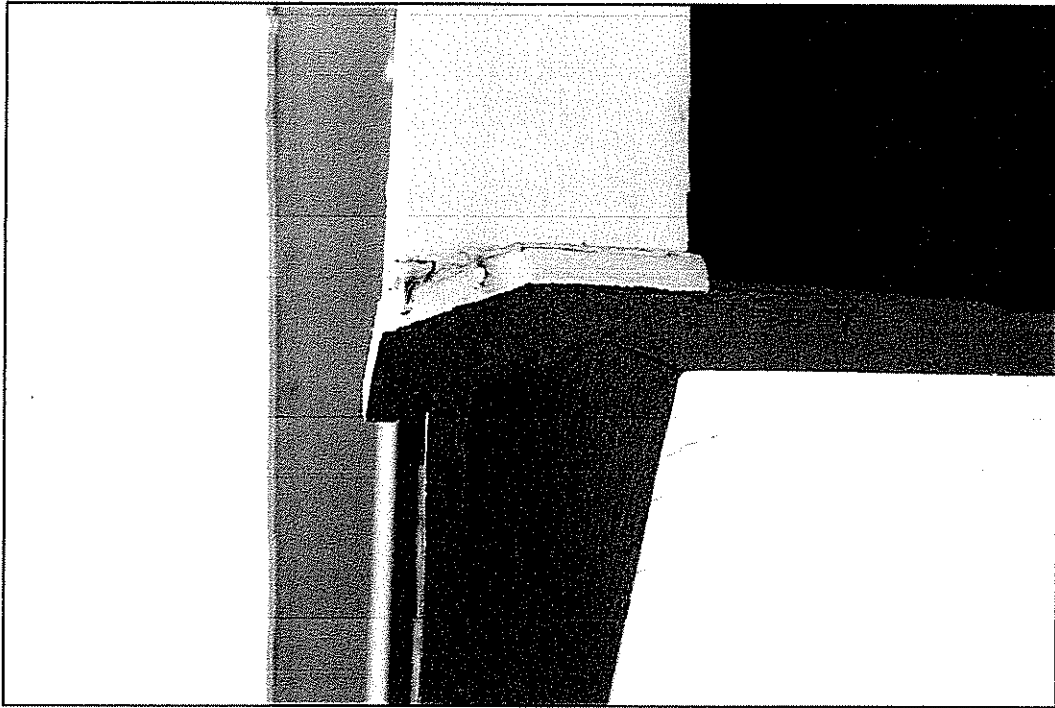
*Figure 6: North facade, northeast corner entrance*



*Figure 7: Detail of door panel at northeast corner entrance*



*Figure 8: Northeast corner, porch ceiling*



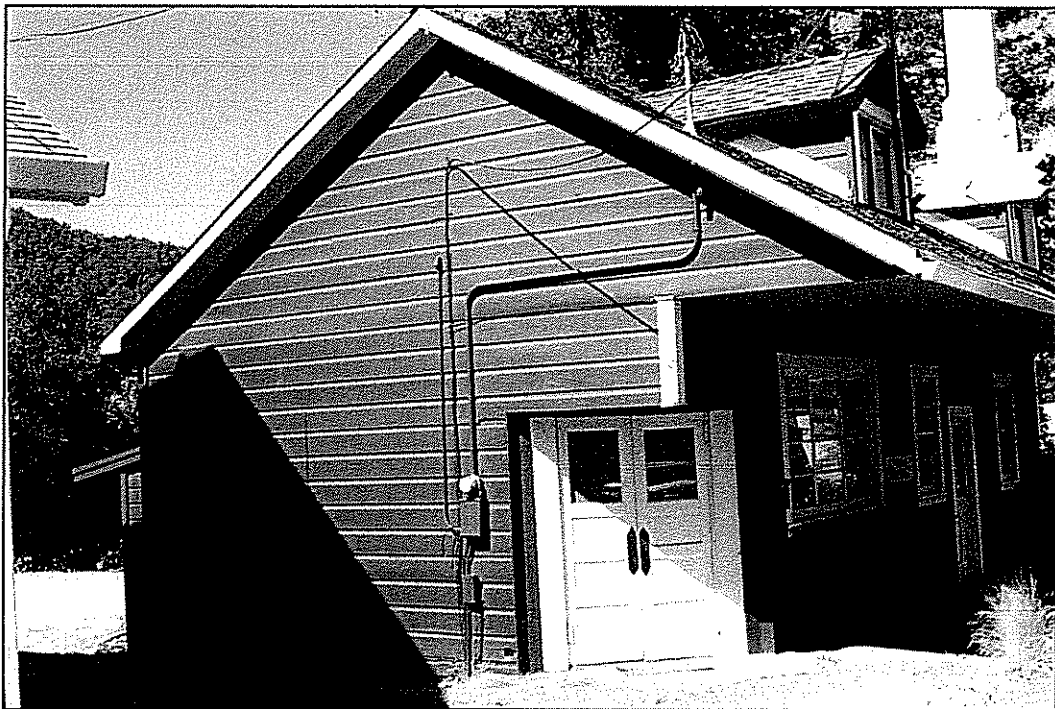
*Figure 9: Northeast corner, detail of corner*



*Figure 10: Concrete wall along north facade*



*Figure 11: Example of hitching ring on concrete wall along north façade*



*Figure 12: East elevation*

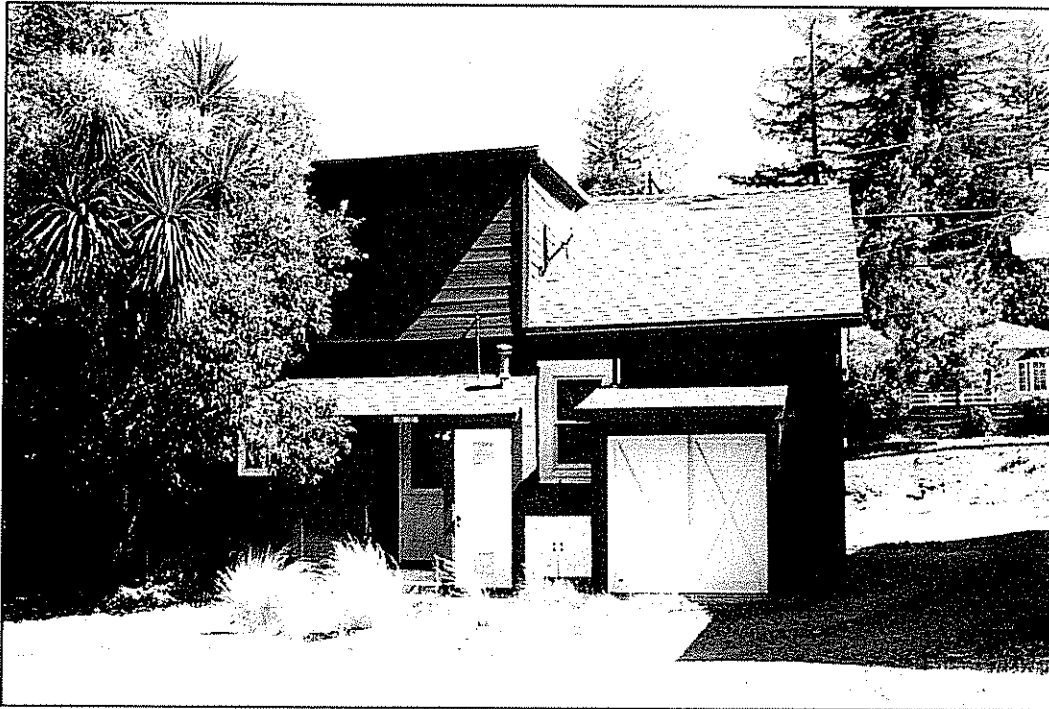


Figure 13: South elevation

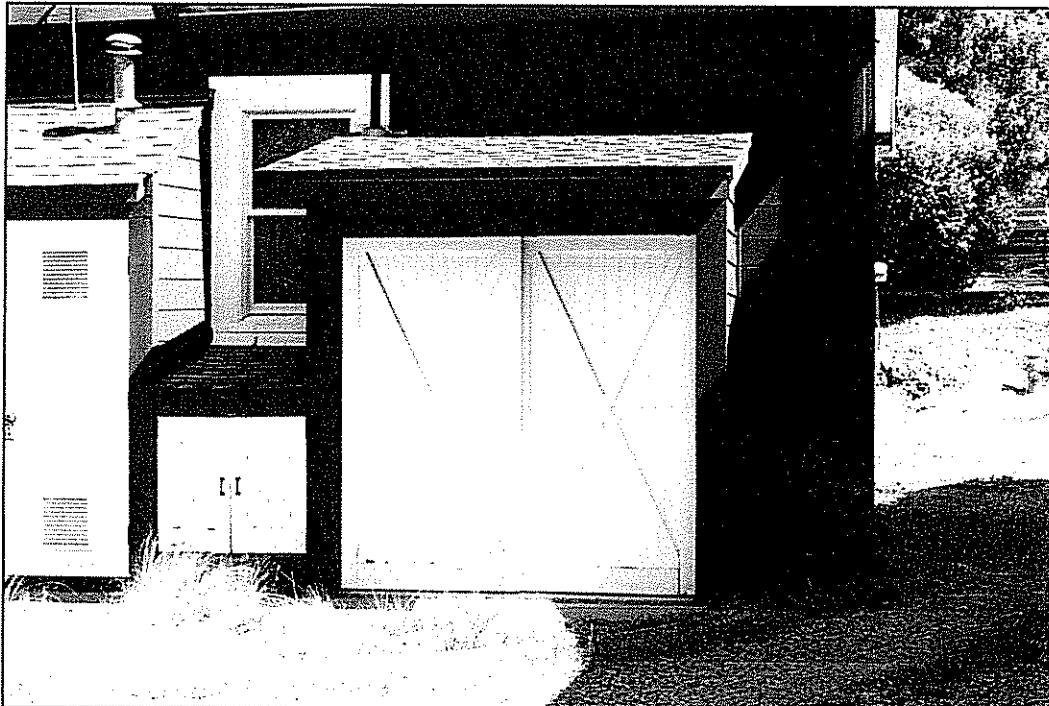
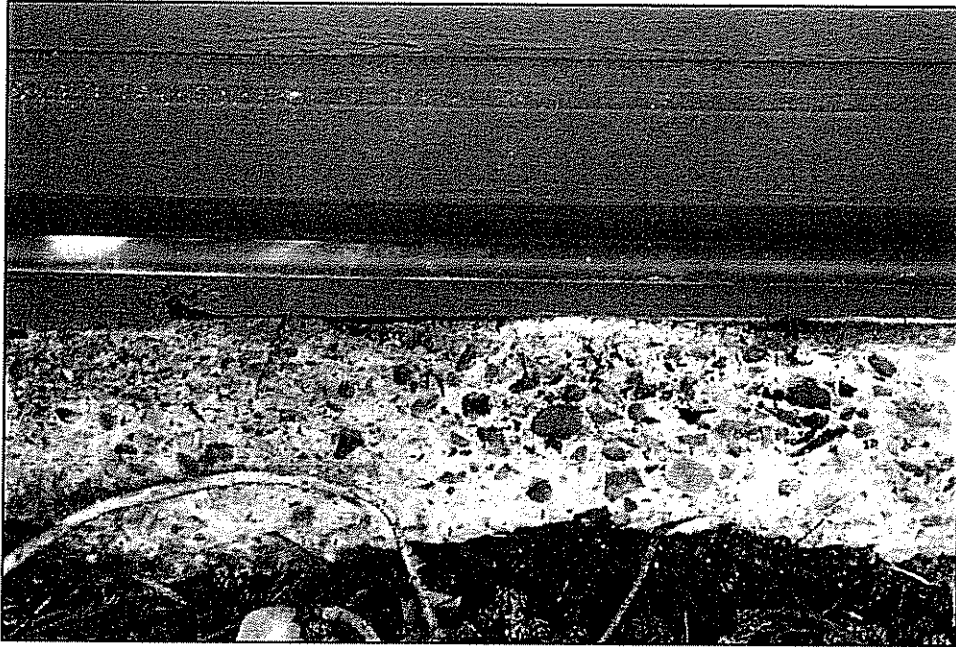
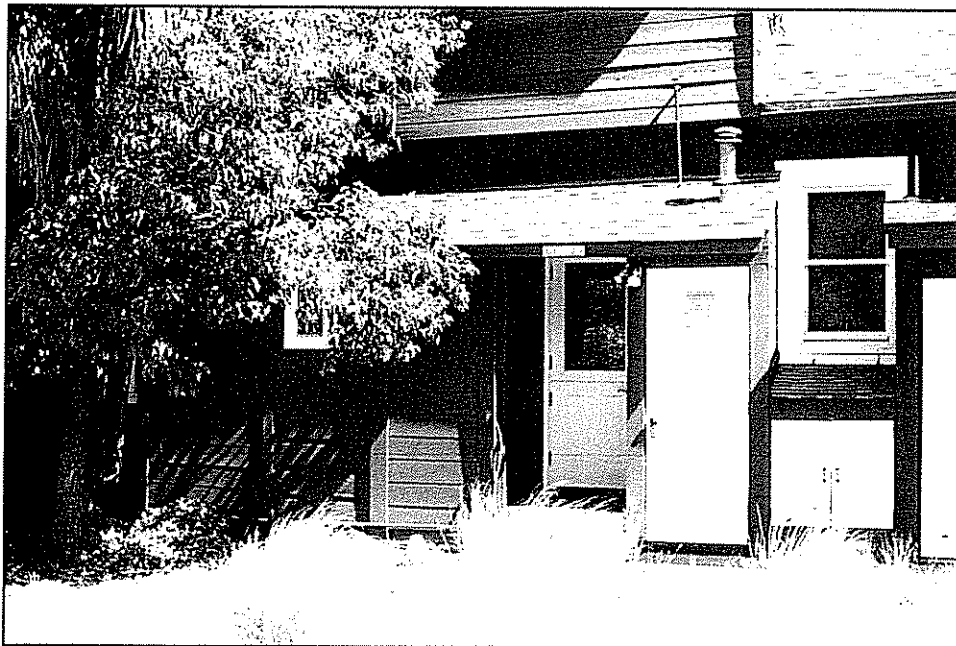


Figure 14: Addition at southeast corner



*Figure 15: South elevation, foundation detail*



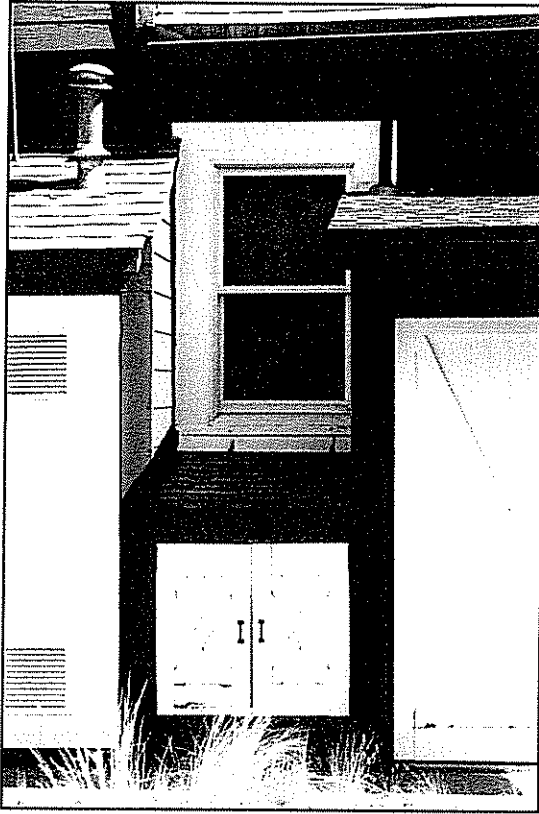
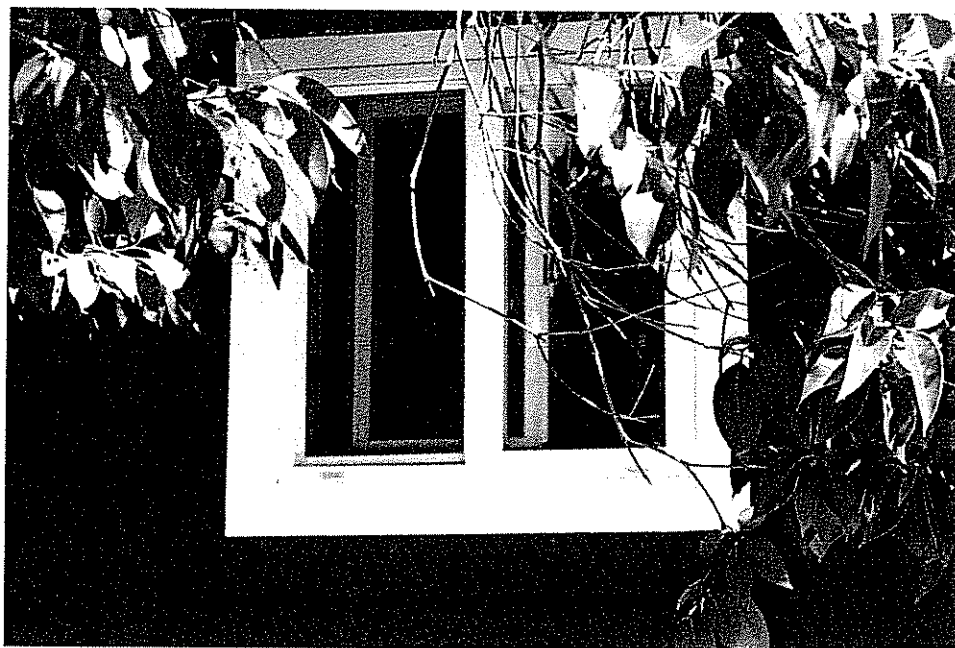


Figure 16: South elevation, window between additions

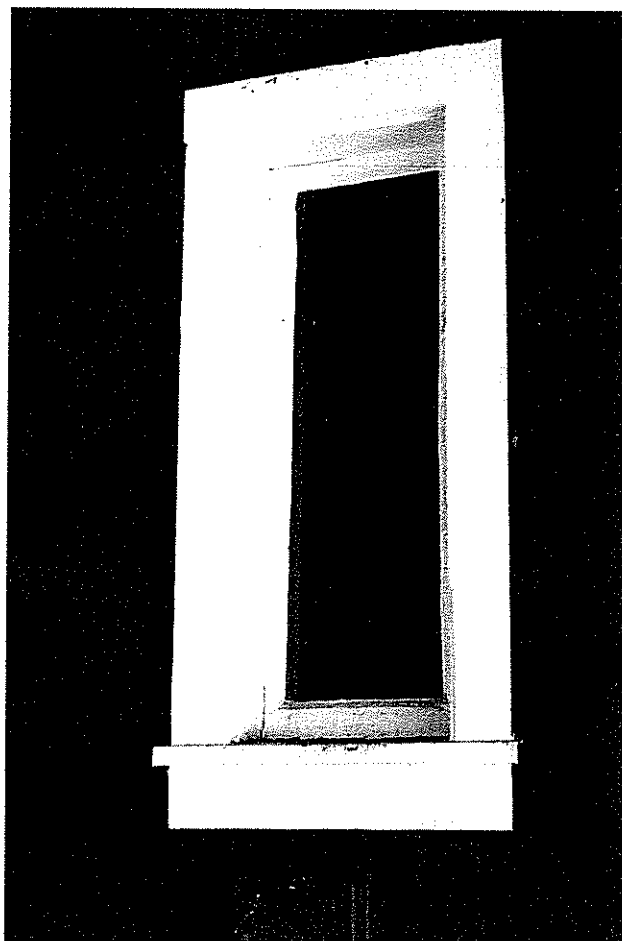


Figure 17: South elevation, entrance





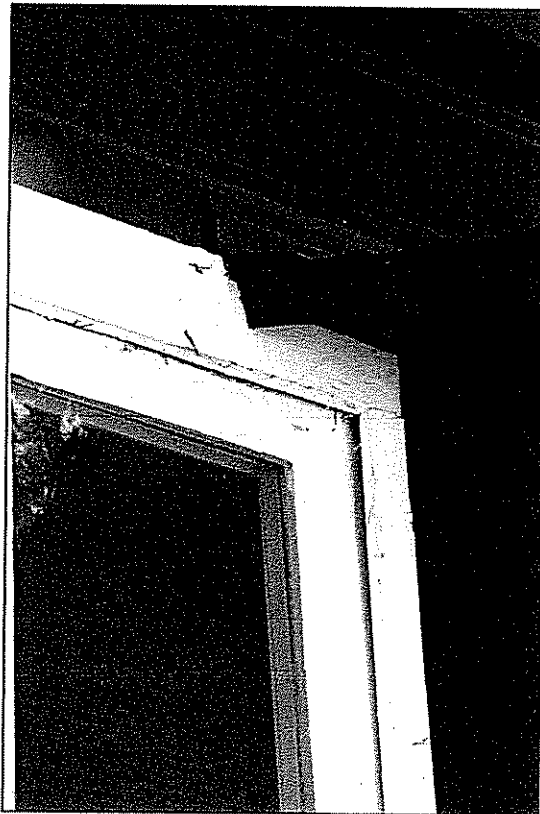
*Figure 18: South elevation, window in addition*



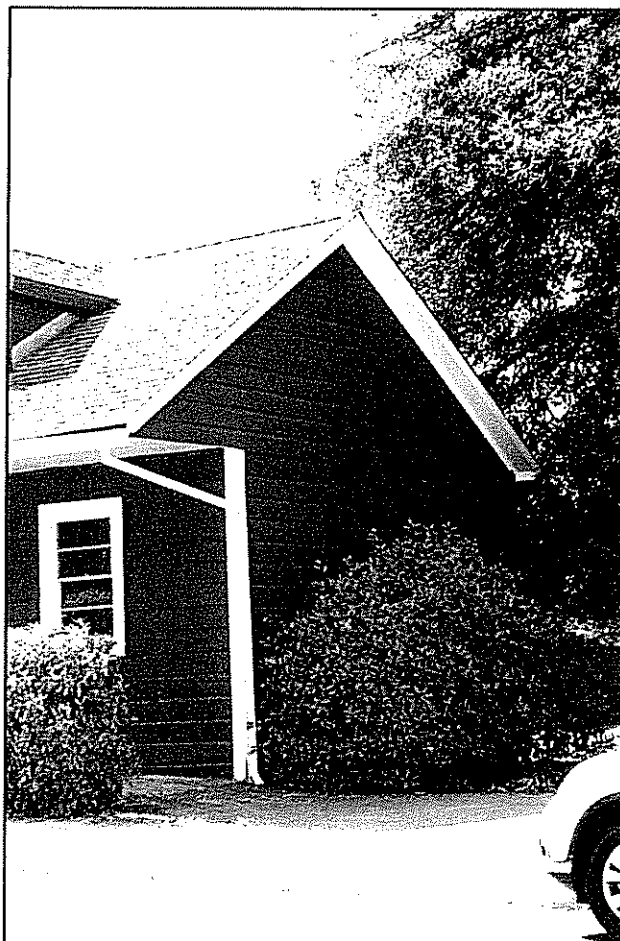
*Figure 19: South elevation, window on west side of addition*



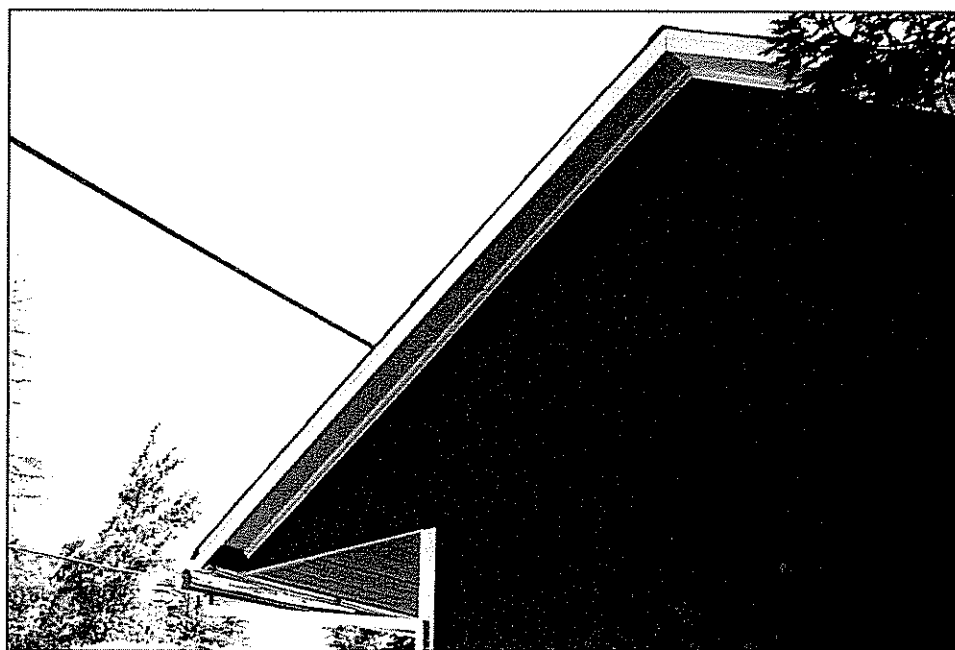
*Figure 20: South elevation, window at southwest corner*



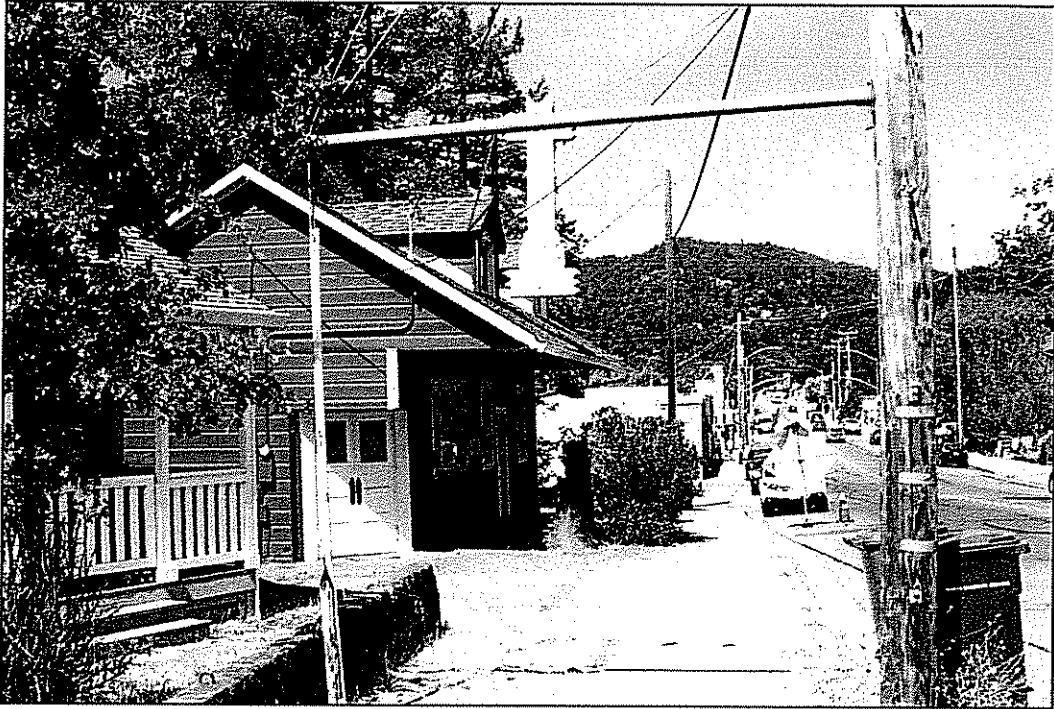
*Figure 21: South elevation, detail of addition intersecting window frame*



*Figure 22: West elevation*



*Figure 23: West elevation, detail of eave*



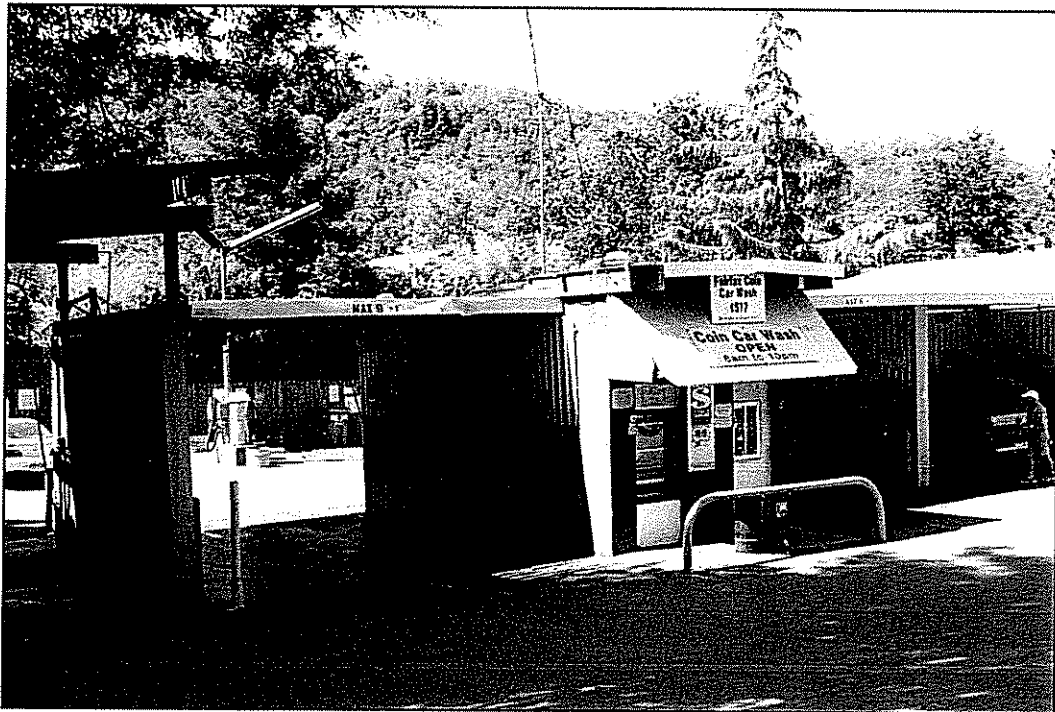
*Figure 24: Streetscape, looking west on Sir Francis Drake Boulevard*



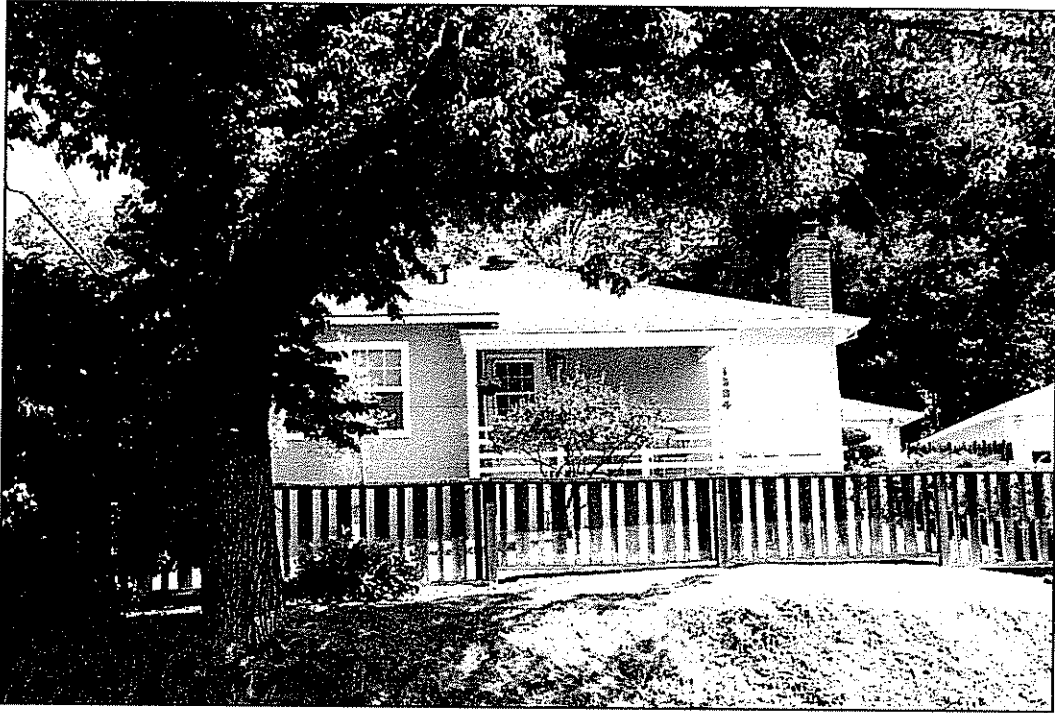
*Figure 25: Streetscape, looking east on Sir Francis Drake Boulevard*



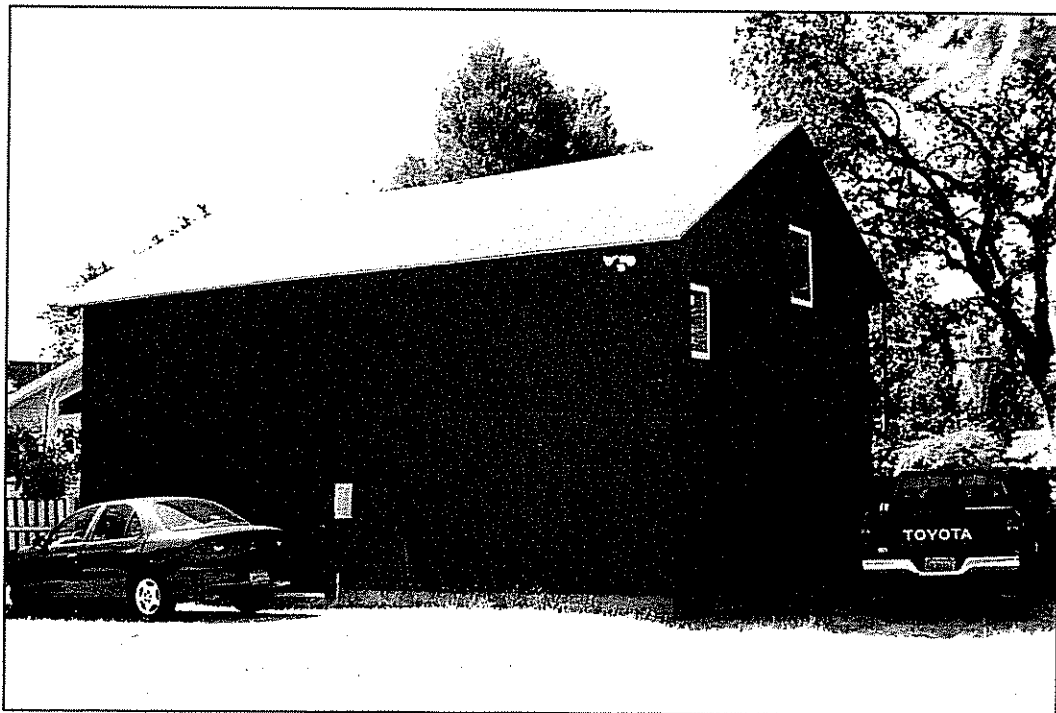
*Figure 26: Neighbor to the east (1569 Sir Francis Drake Boulevard)*



*Figure 27: Neighbor to the west*



*Figure 28: Neighbor across the street (1584 Sir Francis Drake Boulevard)*



*Figure 29: Barn behind the building, on adjacent lot*

Appendix B: DPR Forms a and b

State of California The Resources Agency DEPARTMENT OF PARKS AND RECREATION		Primary #
<b>PRIMARY RECORD</b>		HRI #
Other Review Code		Trinomial NRHP Status Code
Reviewer	Date	Listings

Page 1 of 2 \*Resource Name or #: 1573 Sir Francis Drake Blvd., Fairfax

P1. Other Identifier (APN): 002-213-10

\*P2. Location:  Not for Publication  Unrestricted

\*a. County Marin and (P2c, P2e, and P2b or P2d. Attach a Location Map as necessary.)

\*b. USGS 7.5' Quad San Rafael Date 1999 T2N; R7W;  of  of Sec ; B.M.

c. Address: 1573 Sir Francis Drake Blvd. City Fairfax Zip 94930

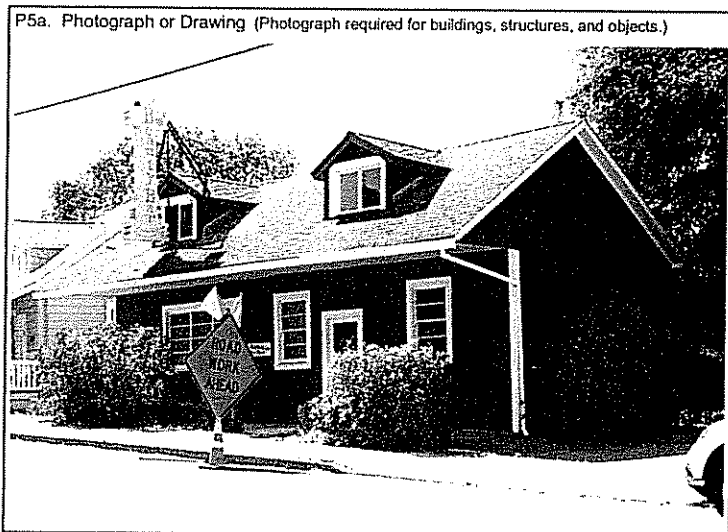
d. UTM: (Give more than one for large and/or linear resources) Zone 10S, 536910 mE/ 4204398 mN

e. Other Locational Data: (e.g., parcel #, directions, elevation, decimal degrees, etc.) elevation 33.2'

\*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

This 1.5-story, side-gable commercial building is faced in drop siding and covered with a modern composition shingle roof. It rests on a concrete slab foundation. Two gabled-roof dormers are position on the north slope, facing Sir Francis Drake Blvd. The primary façade has two entrances: one at the clipped end of the northeast corner and the other off-center on the north façade. An unsupported porch is positioned under the overhanging eave across the length of the building. A low concrete wall with early 20<sup>th</sup> century iron hitching rings extends between the building and sidewalk. Windows are a variety of double-hung, casement and fixed pane windows. All of them appear to have been replaced in the original frames, except for one window on the southwest corner of the rear elevation. Several small, shed-roof additions have been added to the rear of the building. The east and west gable ends have no openings.

\*P3b. Resource Attributes: (List attributes and codes) HP6 (1-3 story commercial)



\*P4. Resources Present:

- Building  Structure  
 Object  Site  District  
 Element of District  Other (Isolates, etc.)

P5b. Description of Photo: (view, date, accession #) June 2017

\*P6. Date Constructed/Age and

Source: 1908

- Historic  
 Prehistoric  
 Both

\*P7. Owner and Address:

Lori & Brian Bruckner

\*P8. Recorded by: (Name, affiliation, and address)

Alice P. Duffee  
APD Preservation LLC

\*P9. Date Recorded: July 2017

\*P10. Survey Type: (Describe)

intensive

\*P11. Report Citation: (Cite survey report and other sources, or enter "none.")

none

- \*Attachments:  NONE  Location Map  Continuation Sheet  Building, Structure, and Object Record  
 Archaeological Record  District Record  Linear Feature Record  Milling Station Record  Rock Art Record  
 Artifact Record  Photograph Record  Other (List): \_\_\_\_\_

DPR 523A (9/2013)

\*Required information



State of California The Resources Agency Primary #  
DEPARTMENT OF PARKS AND RECREATION HRI#  
**BUILDING, STRUCTURE, AND OBJECT RECORD**

\*Resource Name or # (Assigned by recorder) 1573 Sir Francis Drake Blvd., Fairfax\*NRHP Status Code 3CS  
Page 2 of 2

- B1. Historic Name: "Old Timer's Tavern"
- B2. Common Name: 1573 Sir Francis Drake Blvd.
- B3. Original Use: Commercial B4. Present Use: Commercial
- \*B5. Architectural Style: Vernacular
- \*B6. Construction History: (Construction date, alterations, and date of alterations)

\*B7. Moved?  No  Yes  Unknown Date: \_\_\_\_\_ Original Location: \_\_\_\_\_

\*B8. Related Features:

B9a. Architect: UNK b. Builder: UNK  
 \*B10. Significance: Theme Commercial Architecture Area Fairfax  
 Period of Significance 1908 Property Type Commercial  
 Applicable Criteria  Associated Event  Associated Person  Architecture  Potential to Yield Information

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity.)

In 1908 Domenico Arbini built this building after purchasing the recently subdivided parcels from Mario Rocca. Arbini and his family operated a tavern/saloon on the property ("Old Timer's Tavern") for nearly 65 years, whereupon the property was sold out of the family and used for a variety of other commercial enterprises. The current owners purchased the property in 2017.

The building retains a high degree of integrity and is significant at the local level as one of Fairfax's early commercial structures built along the main thoroughfare (Olema Road, aka County Road) to serve the growing community of Fairfax and the increasing number of tourists to the area at the turn of the twentieth century.

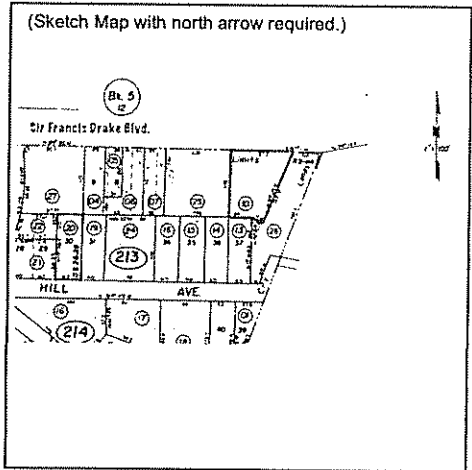
B11. Additional Resource Attributes: (List attributes and codes) HP6 (1-3 story commercial)

\*B12. References:  
Historic Resource Evaluation, July 2017  
Alice P. Duffee, APD Preservation LLC

B13. Remarks:

\*B14. Evaluator: Alice P. Duffee  
Date of Evaluation: July 2017

(This space reserved for official comments.)





TOWN OF FAIRFAX

AUG 09 2017

**ARBORLOGIC** RECEIVED  
CONSULTING ARBORISTS

236 WEST PORTAL AVENUE, SAN FRANCISCO, CA 94127 / 415.753.5022 / jlascot@arborlogic.com

**ARBORIST REPORT: TREE PRESERVATION FOR PROPOSED DEVELOPMENT**

**JOB NAME:** The Lodge      **REPORT DATE:** August 9, 2017

**SITE ADDRESS:** 1573 Sir Francis Drake Boulevard, Fairfax, California

**SITE JURISDICTION:** ASSESSORS PARCEL NUMBER: 5-12-10

**CONTACT:** Ms. Lori Bruckner      **TITLE:** Property owner

**INSPECTION DATE:** August 8, 2017

**CONSULTING ARBORISTS:** James Lascot; James Reed

**PURPOSE:** ArborLogic Consulting Arborists were asked to prepare an arborist report addressing the proposed development and generally address existing trees, trees within the proposed development and specific impacts of the proposed development on protected trees. This is an abbreviated report and a more detailed report can be provided upon request.

**SUMMARY:** The site is a developed commercial lot. This site has five Coast redwood (*Sequoia sempervirens*) that are an indigenous trees species that may be affected by the proposed development. There is one Heritage size (11" DBH) coast live oak at the rear of the property that is not considered within the proposed development and not expected to be affected by the proposed development. All five subject redwood trees are Heritage size trees according to *Fairfax Municipal Code*. The proposed addition is outside the root zones of four Heritage redwoods (T2-T5) and less than significant negative impacts from the proposed development is expected. The proposed addition may affect Heritage redwood tree T1 and some root loss may occur. An estimated root loss due to addition foundation is between 5-15 percent of its total existing root zone. This tree should survive these negative impacts and remain viable with long-term health if the recommendations within this report are implemented.

**See Appendix A: Tree Map attachment for tree locations**

**Heritage\* or Protected Tree Removals:**

Tree Removal for the Proposed Development: Total = zero

Tree Removal due to hazardous condition or poor health: Total = zero

**Unprotected Tree Removals:**

Tree Removal for the Proposed Development: Total = zero

Tree Removal due to hazardous condition or poor health: Total = zero

**LIMITING CONDITIONS:** An arborist limited visual inspection of trees was conducted at this site without any excavation, coring, boring or aerial inspections. All data provided to the arborist by the client or their representatives is assumed to be correct.

ATTACHMENT

C

**INDIVIDUAL SUBJECT TREE DATA:**

**TREE T1:** Coast Redwood (*Sequoia sempervirens*)   **Status:** Heritage Tree

**Trunk Diameter at 4.5 feet above grade:** 40-inches\*.

**Age:** Young   **Canopy spread:** approx. 25-feet on center

**Suitability for Preservation Rating:** 2-Good

**Tree Protection Zone:** Radius of 20-feet from trunk location (Matheny/Clark Method).

**Health:** Good           **Condition:** Good

**Recommendation:** Preserve with mitigation.

**Preservation specifications:** See Tree Protection Measures within this report.

**TREE T2:** Coast Redwood (*Sequoia sempervirens*)   **Status:** Heritage Tree

**Trunk Diameter at 4.5 feet above grade:** of 15.5-inches\*

**Age:** Young   **Canopy spread:** approx. 15-feet on center

**Suitability for Preservation Rating:** 4-Poor. This tree is crowded within the grove and showing signs of decline from sunlight competition from more dominant trees within the grove.

**Tree Protection Zone:** Radius of 8-feet from trunk location (Matheny/Clark Method)

**Health:** Poor           **Condition:** Poor

**Recommendation:** Preserve with mitigation during construction. Monitor for decline and possible removal.

**Preservation specifications:** See Tree Protection Measures within this report.

**TREE T3:** Coast Redwood (*Sequoia sempervirens*)   **Status:** Heritage Tree

**Trunk Diameter at 4.5 feet above grade:** of 26-inches\*

**Age:** Young   **Canopy spread:** approx. 25-feet toward the south.

**Suitability for Preservation Rating:** 2-Good

**Tree Protection Zone:** Radius of 12.5-feet from trunk location (Matheny/Clark Method).

**Health:** Good           **Condition:** Good

**Recommendation:** Preserve with mitigation.

**Preservation specifications:** See Tree Protection Measures within this report.

**TREE T4:** Coast Redwood (*Sequoia sempervirens*)   **Status:** Heritage Tree

**Trunk Diameter at 4.5 feet above grade:** of 23-inches\*

**Age:** Young   **Canopy spread:** approx. 20-feet toward the west.

**Suitability for Preservation Rating:** 2-Good

**Tree Protection Zone:** Radius of 10-feet from trunk location (Matheny/Clark Method).

**Health:** Good           **Condition:** Good

**Recommendation:** Preserve with mitigation.

**Preservation specifications:** See Tree Protection Measures within this report.

**TREE T5:** Coast Redwood (*Sequoia sempervirens*)   **Status:** Heritage Tree

**Trunk Diameter at 4.5 feet above grade:** of 30-inches\*

**Age:** Young   **Canopy spread:** approx. 25-feet toward the north.

**Suitability for Preservation Rating:** 2-Good

**Tree Protection Zone:** Radius of 15-feet from trunk location (Matheny/Clark Method).

**Health:** Good           **Condition:** Good

**Recommendation:** Preserve with mitigation.

**Preservation specifications:** See Tree Protection Measures Item 4 within this report for Tree Removal Specifications.

**TREE PROTECTION MEASURES:**

1. A qualified project arborist shall be retained and assigned to facilitate and ensure tree preservation practices prior to and during project construction, consistent with the recommendations included within this report which shall include, but is not limited to the following specific measures:
2. The Project Arborist shall meet with the General Contractor prior to any Tree Removal, Demolition or Construction activities and create a project management plan that includes, but not limited, to the Tree Protection Requirements within this report. The Contractor agrees to immediately notify the Project Arborist if roots are damaged or exposed or if trunk or branches are wounded.
3. The Project Arborist shall designate Tree Removals and locations of Tree Protection Fencing of Tree Protection Zones prior to any tree removal, demolition or construction.
4. All tree removals shall be performed by hand using light equipment without any damage to be preserved trees. All stumps shall be removed by hand or using hand operated stump grinding machinery when within the Tree Protection Zones of retained trees and to a depth of no less than twelve (12) inches.
5. Following TPZ fence installation, The Project Arborist shall confirm that Tree Protection Fencing has been installed adequately and provide a written report, with photographs, that shall be submitted to the *Town of Fairfax* prior to demolition or construction permit.
6. Tree Protection Fencing shall be constructed of no less than 4-foot tall metal wire fencing and supported by no less than 6-foot metal posts on no less than 8-foot centers unless otherwise designated by the Project Arborist.
7. Retained Trees near equipment access areas within its Tree Protection Zone shall have their trunks wrapped with 2" x 4" wooden slats and bound securely edge to edge, without nails, as padding from grade to 16-feet above grade. A layer of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require additional protection as determined by the Project Arborist.
8. All retained trees may be maintenance pruned to include cleaning, thinning of branches using International Society of Arboriculture (ISA) Industry Standards. This can be performed before, during, or after construction.
9. The Project Arborist shall review any plan revisions within the Tree Protection Zones of preserved trees. This includes, but not limited to, plans for demolition, erosion control, improvements, utilities, drainage, grading, landscaping and irrigation.
10. The Project Arborist shall inspect the site regularly for the adequate performance of tree preservation measures and designate soil cutting areas within root zones of protected trees and assess, document, and submit a report to the *Town of Fairfax* of any changes in the health of trees

since the last inspection.

11. The Project Arborist shall inspect or supervise all construction activities within the Tree Protection Zones and will receive no less than 48-hour notice of any proposed activities within the Tree Protection Zones of retained trees and the Project Arborist shall document and provide any necessary recommendations to the *Town of Fairfax*.

12. Excavation shall only occur within the Tree Protection Zones of retained trees, such as utility trenches, when designated by the Project Arborist. These will be excavated by hand, using high-pressure air spade, or other method preserving roots over two inches in diameter, or as designated by the Project Arborist. Any roots over two (2") inches in diameter shall only be removed under the direct supervision of the Project Arborist or as otherwise designated by the Project Arborist. All root cutting shall be performed under industry standard methods, documented, and a written report with photographs provided by the Project Arborist to the *Town of Fairfax*.

13. The Project Arborist shall inspect the site following completion of construction, assess tree condition, and make any necessary recommendations within the Final Arborist Report that shall be submitted to the *Town of Fairfax*.

14. The Project Arborist shall provide any further recommendations to mitigate impacts to include, but not limited, to hand excavation, hand root pruning, and fertilization.

**SPECIFIC TREE PROTECTION:**

15. Preserved trees T2, T3 and T6 shall have trunk armoring installed as detailed in Item 7 of this plan.

16. Preserved trees T1, T2, T3, T4 and T5 shall have all demolition and construction activities within their Tree Protection Zones (TPZ) under the direct supervision of the Project Arborist and documented as detailed in Item 12 of this plan.

17. The existing asphalt currently protecting the roots of preserved redwood trees may remain intact during construction activities and shall be removed under the supervision or direction of the Project Arborist.

18. Six inches of organic mulch shall be installed with the TPZ to protect the preserved tree root system, minimize soil compaction, and assist in water retention. In the event any heavy equipment is utilized to remove permitted trees within the TPZ, the installation of 1-inch plywood placed on top of the mulch and secured via ½-inch rebar driven 18 inches into the ground should be installed prior to the use of such equipment.

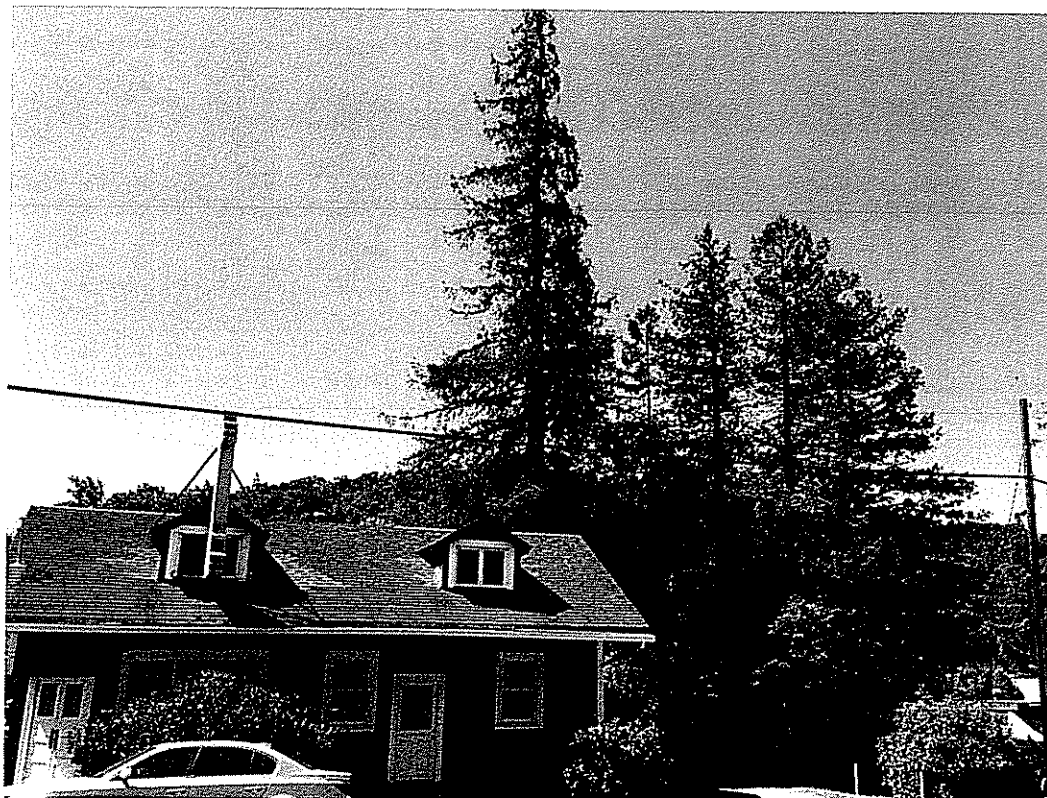
19. The foundation for the proposed addition shall be hand dug preserving tree roots over two inches in diameter, shall be inspected by the Project Arborist prior to removal, any roots encountered shall be cut and treated to retain soil moisture, root losses shall be documented by the Project Arborist and a report with recommendations shall be provided. All recommendations by the Project Arborist shall be implemented.

20. Preserved redwood trees T1, T2, T3, T4 and T5 shall be irrigated throughout the demolition and construction process with weekly watering of 50 gallons per tree unless natural rainfall compensates for irrigation requirements.

**RESOURCES:**

**PLOT PLAN SHEET A1.1 (Dated 6/28/2017)** Prepared by David Gill Architect, Oakland California

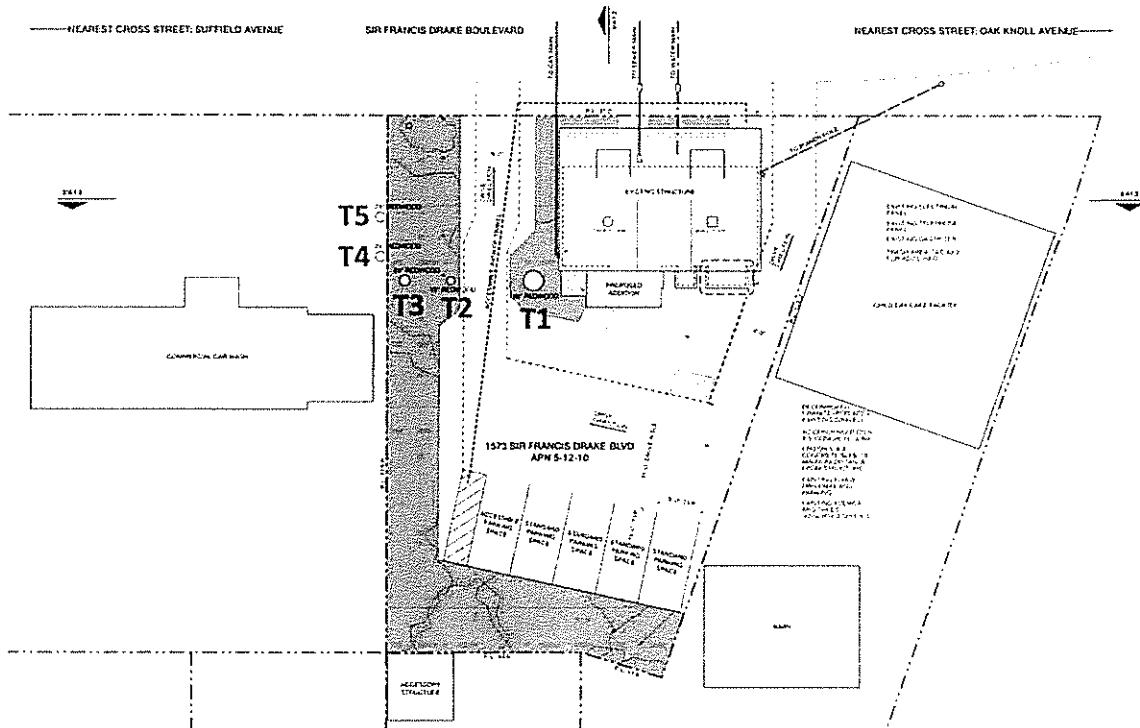
**PHOTOGRAPH NO. 1:** Subject redwood trees taken from across Sir Francis Drake Boulevard (north).



**PHOTOGRAPH NO. 2:** Subject redwood trees taken from the rear parking lot(south).



**TREE MAP:** Subject redwood trees T1, T2, T3, T4, and T5. (For reference only. Not to scale. Taken from David Gill Architecture Sheet A1.1 Dated 6/28/17)



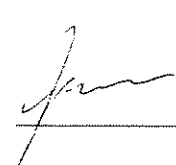
**PROTECTED TREES:**

**ASSUMPTIONS AND LIMITING CONDITIONS:**

ArborLogic, James Lascot / James Reed

1. Any legal description provided to the consultant / appraiser is assumed to be correct. Any titles and ownerships to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other government regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant / appraiser can neither guarantee nor be responsible for the accuracy of information provided by others.
4. The consultant / appraiser shall not be required to give testimony or to attend court due to this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services as described in the fee schedule and contract of engagement.
5. Unless required by law otherwise, possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant / appraiser.
6. Unless required by law otherwise, neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales or other media, without the prior expressed written or verbal consent of the consultant / appraiser -- particularly as to value conclusions, identity of the consultant / appraiser, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant / appraiser as stated in his qualifications.
7. This report and any values expressed herein represent the opinion of the consultant / appraiser, and the consultant's / appraiser's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
8. Sketches, drawings, and photographs in this report, being intended for visual aids, are not necessarily to scale and should not be construed as engineering or architectural reports or surveys unless expressed otherwise. The reproduction of any information generated by architects, engineers, or other consultants on any sketches, drawings, or photographs is for the express purpose of coordination and ease of reference only. Inclusion of said information on any drawings or other documents does not constitute a representation by ArborLogic and James Lascot as to the sufficiency or accuracy of said information.
9. Unless expressed otherwise: a) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and b) the inspection is limited to visual examination of accessible items without dissection, excavation, probing, or coring. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.

Loss or alteration of any part of this report invalidates the entire report.





James Lascot  
Principal / Consulting Arborist

James Reed  
Associate Arborist ISA WE-10237A

## Michelle Levenson

---

**From:** Davy Jay <davy.jay@gmail.com>  
**Sent:** Sunday, September 10, 2017 11:27 PM  
**To:** Michelle Levenson  
**Cc:** Brian Bruckner; lori.bruckner1@gmail.com; shelley@marinspace.org  
**Subject:** Support for the Lodge

Dear Michelle:

We are writing you today to express our support for Lori and Brian Bruckner's plan's for the old Beauty Bar property at 1573 Sir Francis Drake Blvd. Their plans do an excellent job of preserving a heritage property. The Bruckner's plans make only minor changes to the structure, consistent with the building's existing design and charm, and preserve a heritage building in perpetuity.

Although not related to the design review for the project, we are also excited to have another locally owned business in Fairfax. The fact that many of our business owners live in our community makes for a stronger and I would say happier community.

Thank you in advance for you work in helping secure this locally owned business in our town.

Kind regards,

Davy Jay & Shelly Hamilton

ATTACHMENT D

**Michelle Levenson**

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**From:** Tim and Heather <dunnswans@yahoo.com>  
**Sent:** Saturday, September 09, 2017 11:06 AM  
**To:** Michelle Levenson  
**Subject:** Support of Design Review Approval of 1573 Sir Francis Drake Blvd - "The Lodge"

Dear Michelle,

I'm writing you to you in support of Lori and Brian Bruckner's plans for the former Beauty Bar property at 1573 Sir Francis Drake Blvd. The Bruckner's are long-standing friends. We know them to be well-intentioned in all that they do and as truly community-minded. Both have contributed considerably in community fund raising efforts over the years that they have lived here -- most notably the 'Lion of Fairfax' which raised money for White Hill Middle School.

Their proposed plans for the property of mention are intended to preserve the historic character of this heritage property, while making only minimal and necessary changes. In fact, what attracts the Bruckner's to this property is its physical charm. In my opinion, as a San Anselmo resident, who prefers to 'keep it local' when/where ever possible, The Lodge has many upsides. It will offer something for everyone.

Personally, I am excited for the prospect of having a new and casual eatery and gathering place on East side of Fairfax / West side of San Anselmo that will offer residents in this part of town a close-by convenient place to grab a quick bite to eat, and/or catch up with family and friends. Local residents will now have a different kind of establishment a short walk / bike ride away from their homes. I look forward to visiting The Lodge someday soon.

Thank you.

Sincerely,  
Heather Dunn Swan

----- Heather Dunn dunnswans@yahoo.com -----

## Michelle Levenson

---

**From:** Robyn Berry <robynaberry@gmail.com>  
**Sent:** Saturday, September 09, 2017 6:29 AM  
**To:** Michelle Levenson  
**Subject:** Support of Design Review Approval of 1573 Sir Francis Drake Blvd

Dear Michelle:

We were very excited to hear about Brian and Lori Bruckner's plans for a new establishment, The Lodge at 1573 Sir Francis Drake. I love that their plans include preserving an iconic building at the entrance to our town. And, at the same time, this building is in need of some TLC. With a new owner and a new vibrant idea, it seems that this iconic building will now be preserved in a way that improves the main entrance to our town. What a great new idea - a casual gathering at this important intersection. It makes sense that their plans include upgrading the bathroom to meet ADA specifications, which will be required of any new owner.

As locals, starting a business here in their own neighborhood should be the best guarantee that the property and business will be a giant improvement for this vacant property.

Thanks for listening.

Robyn and Roderick Berry  
50 Baywood Canyon Road  
Fairfax, CA 94930  
[robynaberry@gmail.com](mailto:robynaberry@gmail.com)  
[roderickberry@gmail.com](mailto:roderickberry@gmail.com)  
415.454.8463  
415.686.0774

Michelle Levinson  
Town of Fairfax Planning Commission  
142 Bolinas Ave.  
Fairfax, CA 94930

Sept. 6, 2017

RE: 1573 Sir Francis Drake Blvd. Design Review

Ms. Levinson,

I am a native of the Fairfax, San Anselmo area and currently a resident of Fairfax for over 20 years. I have supported many community projects that have benefited the character of the Fairfax area.

I am writing you in support of the Bruckner project at the historic location at 1573 Sir Francis Drake Blvd. I am very excited to see a responsible and dedicated local couple take on the restoration and preservation of such an iconic and historic location that will bring a much-needed establishment for the East Fairfax location of the Fairfax/San Anselmo area.

Their vision of preserving the historical legacy of the property and providing a service that will fit in well with the residents and visitors to Fairfax is a positive approach and I highly recommend approving their use permit for "The Lodge" in Fairfax.

Thank You,

*Paul Chourre*

Paul Chourre  
53 reek Rd.  
Fairfax, CA 94930

## Michelle Levenson

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**From:** steve scales <scdgscscales@yahoo.com>  
**Sent:** Wednesday, September 06, 2017 2:03 PM  
**To:** Michelle Levenson  
**Subject:** 1573 Sir Francis Drake Blvd.

Dear Michelle:

I'm writing you today to express my support for Lori and Brian Bruckner's plan's for the old Beauty Bar property at 1573 Sir Francis Drake Blvd. Their plans do an excellent job of preserving a heritage property. The Bruckner's plans make only minor changes to the structure, consistent with the building's existing design and charm, and preserve a heritage building in perpetuity.

Although not related to the design review for the project, we're also excited to have a new, casual eatery on East side of Fairfax / West side of San Anselmo. The Lodge will provide residents in this part of town with a convenient place to grab a quick bite to eat, and gather with friends and family. Residents in East Fairfax, Sleepy Hollow, Morningside, Yolanda Station, etc. will now have an establishment a short walk / bike ride away from their residence.

The Lodge will be a fantastic use of this property. We can't wait for it to open!

Thank you,  
Cindy Scales  
990 Butterfield Rd  
SA

## Michelle Levenson

---

**From:** Terri Colindres <terri@colindresassociates.com>  
**Sent:** Wednesday, September 06, 2017 12:32 PM  
**To:** Michelle Levenson  
**Subject:** support of design review approval - 1573 SFD Blvd.

Dear Michelle,

As 23-year San Anselmo/Fairfax border residents and very close neighbors of The Lodge, we were quite interested to see the former Beauty Bar purchased. We love the historic building and have been inside and outside the property as former customers of the Beauty Bar. After learning of Brian and Lori Bruckner's plans to preserve the historic charm and upgrade the building, we are very excited to welcome them as a new local business.

Brian and Lori have been excellent community members and have spent countless hours volunteering for local schools, clubs and charities. We believe that we are fortunate to have locals who care about our community build a gathering place that will be sensitive to the history of the building and to its neighbors.

We fully support the approval of the design review and look forward to welcoming The Lodge to the neighborhood.

Sincerely,

Ron & Terri Colindres  
58 Medway Rd. SA

## Michelle Levenson

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**From:** Kendall Galli <kjgalli@yahoo.com>  
**Sent:** Wednesday, September 06, 2017 9:18 AM  
**To:** Michelle Levenson  
**Cc:** Peter Galli  
**Subject:** Support of Design Review Approval of 1573 Sir Francis Drake Blvd-"The Lodge"

To: Michelle Levinson  
Re: Support of Design Review Approval of 1573 Sir Francis Drake Blvd-"The Lodge"

Dear Michelle,

We are writing in support of the The Lodge, and Brian and Lori Bruckner's vision and plans for the property at 1573 Sir Francis Drake Blvd. The Lodge will be an exciting prospective eatery and gathering place for locals, families and outdoor enthusiasts. As a community member who represents in all of those categories, we are thrilled that San Anselmo, and our neighborhood will now be able to boast of an attractive and inviting venue complete with the good vibes that comes from such an establishment.

The fact that we can walk or bike to such a place is so promising, and we have had several anticipatory conversations with friends in the Yolanda Station neighborhood, Sleepy Hollow and East Fairfax as well as my neighbors and friends in our Morningside community. We are all thrilled at the prospect of meeting in a charming location for an easy dinner, or finishing up a hike or bike ride with some local fare, casual beverages and good conversation.

The property has a long and storied history of being a social gathering place in the Ross Valley, and going back over one hundred years, people can tell stories of what happened within its walls. Our teen and adult children all received their first haircuts at The Beauty Bar. For one hundred years people have created memories and traditions in this location, and the emotional connection many feel to this building and space is not lost on the Bruckner's. They will honor its history, its visual aesthetic and will preserve its cultural identity as a social, emotional and community building place of gathering.

We encourage the Design Review Committee to approve The Lodge project and are looking forward to visiting and dining soon.

Thank you,  
Kendall and Peter Galli  
151 Broadmoor Court  
San Anselmo, Ca 94960  
415-458-8809



**Michelle Levenson**

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**From:** Tim Swan <timkswan@gmail.com>  
**Sent:** Wednesday, September 06, 2017 8:09 AM  
**To:** Michelle Levenson  
**Cc:** Brian Bruckner  
**Subject:** Support of Design Review Approval of 1573 Sir Francis Drake Blvd - "The Lodge"

Dear Michelle:

I'm writing you today to express my support for Lori and Brian Bruckner's plan's for the old Beauty Bar property at 1573 Sir Francis Drake Blvd. Their plans do an excellent job of preserving a heritage property. The Bruckner's plans make only minor changes to the structure, consistent with the building's existing design and charm, and preserve a heritage building in perpetuity.

Although not related to the design review for the project, we're also excited to have a new, casual eatery on East side of Fairfax / West side of San Anselmo. The Lodge will provide residents in this part of town with a convenient place to grab a quick bite to eat, and gather with friends and family. Residents in East Fairfax, Sleepy Hollow, Morningside, Yolanda Station, etc. will now have an establishment a short walk / bike ride away from their residence. We're excited to visit The Lodge.

Please support this great project to enhance the quality of life in our community while preserving and improving a beautiful old building in our town!

Thanks,

Tim

Tim Swan

156 Broadmoor Ct  
San Anselmo

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Tim Swan

415.717.8636 (c)

timswan@gmail.com

<http://www.linkedin.com/in/timswan>

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## Michelle Levenson

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**From:** Joanie Sampson <westcoastsampson@gmail.com>  
**Sent:** Tuesday, September 05, 2017 8:41 PM  
**To:** Michelle Levenson  
**Subject:** Letter of Support

Greetings Michelle,

I'm writing this letter to you today in support of Lori and Brian Bruckner's plan for the previous Beauty Bar location at 1573 Sir Francis Drake Blvd. As a former neighbor of the Beauty Bar, a teacher, and parent in the community I appreciate their effort to preserve this property by making minimal changes to it for the betterment of the community. It seems they are trying to create a place for everyone to enjoy without disrupting the existing character of the building and neighborhood. And it seems the changes that are being made are for the purpose of allowing access to everyone in the community.

On a more personal note, I love the idea of having a new place such as The Lodge as a place to meet up with friends and family after a run, bike ride, or walk. It would be a great spot to stop for a snack, drink, or conversation that is conveniently located. I'm looking forward to visiting our new community venue!

Best,  
Joanie Sampson

## Michelle Levenson

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**From:** Tim.McCarthy@sanofi.com  
**Sent:** Tuesday, September 05, 2017 3:42 PM  
**To:** Michelle Levenson  
**Cc:** brian@bigswingincycles.com  
**Subject:** Support of Design Review Approval of 1573 Sir Francis Drake Blvd - "The Lodge"

Hi Michelle:

My name is Tim McCarthy and have been a resident in San Anselmo for almost 20 years. Brian and Lori Bruckner are good friends of mine and I wanted to reach out to you on their behalf. These two Marinites are compassionate outdoors people who have dedicated several years to help the Sir Francis Drake Mountain Bike team achieve a strong level of success. Brian also sponsors a MB team from San Francisco which provides an opportunity for athletes to experience trails here in Marin.

These two folks are dedicated, loyal and committed to continuing the MB riding culture in Marin.

As such, their dream is to open a place where outdoor adventurers can gather and relax after a day on the trails. I'm writing you to express my support for Lori and Brian's plan for the old Beauty Bar property at 1573 Sir Francis Drake Blvd. It's a perfect spot for a new, casual eatery on a heritage property. The Beauty Bar is a great building and as I understand it, the Bruckner's plan to make only minor ADA changes to this structure, while maintaining this building's existing design and charm.

We need more thoughtful entrepreneurs like the Bruckner's to create a nice spot to grab a bite and gather with family and friends. This location will allow residents who border Fairfax and San Anselmo to enjoy, food and drink in a historical building. Please help them complete their dream....We're excited to visit The Lodge.

Regards,

Tim McCarthy  
23 Rutherford Avenue

## Michelle Levenson

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**From:** Christopher Stanley <christopher.stanley@comcast.net>  
**Sent:** Tuesday, September 05, 2017 1:44 PM  
**To:** Michelle Levenson  
**Subject:** Support of Design Review Approval of 1573 Sir Francis Drake Blvd - "The Lodge"

Hi Michelle,

I'm writing you today to express my support for Lori and Brian Bruckner's plan's for the old Beauty Bar property at 1573 Sir Francis Drake Blvd. Their plans do an excellent job of preserving a heritage property. I have reviewed their plans and it seems that the Bruckner's plans make only minor changes to the structure to keep consistent with the building's existing design and charm while preserving a town heritage building and putting a currently vacant property to very good use.

Although not related to the design review for the project, we're quite excited to have a new, casual eatery on East side of Fairfax / West side of San Anselmo. The Lodge will provide residents with a convenient place to grab a quick bite to eat, and gather with friends and family. We are excited have this new eatery in town and plan to visit The Lodge often.

-cheers  
christopher stanley  
69 Cypress Dr