



### MATERIAL LEGEND

	Wood - Rough
	Wood - Finish
	Plywood
	Gypsum Board
	CONCRETE
	BRICK
	CMU
	LATH & PLASTER
	METAL
	GRAVEL
	BATT INSULATION
	RIGID INSULATION
	STONE
	METAL FLASHING
	BULGE PAPER / WATERPROOFING
	SEALANT AND BACKER ROD
	PHOTO VOLTAIC PANEL 2x2 TYP. COMMON DECLINATION BETWEEN 10° & 20° BEARINGS TO SOUTH SOUTHWEST

### SYMBOLS LEGEND

	EXTERIOR ELEVATION DRAWING NO. SHEET NO.
	INTERIOR ELEVATION DRAWING NO. SHEET NO.
	DETAILED SECTION
	BUILDING SECTION
	TYPICAL DETAIL BUBBLE
	TYPICAL DETAIL REFERENCE
	GRID CENTER LINE
	GRID - FACE OF FRAMING
	ELEVATION / DATUM
	WORK POINT
	DOOR NUMBER
	WINDOW
	ROOM NAME
	ROOM NUMBER
	EQUIPMENT NOTE
	PARTITION TYPE
	AND
	AT
	ANGLE
	BY
	CENTERLINE
	EQUAL
	POUNDS
	PROPERTY LINE

### GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS WILL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
- ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. AT FURRED OUT WALLS OVER CONCRETE, DIMENSION NOTE IS TO FACE OF FURRING CHANNELS UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH CONCRETE WILL BE PRESSURE PRESERVATIVE TREATED.
- OPENINGS AROUND VENTS, PRESSURE DUCTS, FLUES, AND SIMILAR AREAS WHICH ALLOW THE PASSAGE OF FIRE AT THE ROOF AND FLOOR LEVELS SHALL BE FIRE STOPPED.
- FIRE STOPPING AND BLOCKING WILL COMPLY WITH UBC SECTION 708. THE EXTENT AND COORDINATION OF FIRE BLOCKING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ACCESSORIES SUCH AS TOWER BARS, GEAR BARS, AND SADDLERS LOCATED ON OR WITHIN THE WALL WILL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE AND MEET UBC REQUIREMENTS.
- WEATHER PROTECTIONS WILL CONFORM TO UBC SECTION 703. WEATHER RESISTIVE BARRIERS WILL CONFORM TO UBC STANDARD NORTH FOR KRAFT PAPER AND ASPHALT SATURATED FELT.
- ALL INSULATION WILL COMPLY WITH UBC SECTION 703 FOR FLAME SPREAD. ALL ENERGY RATED INSULATION WILL MEET REQUIREMENTS OF STATE CODES.
- ALL FOAM PLASTIC INSULATION WILL CONFORM WITH UBC SECTION 704.
- ALL DRINK VENTS, AND FLUES THAT PENETRATE THE ROOF ARE TO BE LOCATED PER THE ROOF PLAN AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION PRIOR TO INSTALLATION.
- OD INDICATES ACTUAL SIZE. OO INDICATES NOMINAL SIZE.
- COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL DEVICES WITH ARCHITECTURAL INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
- THE FIRE ALARM, FIRE SPRINKLER, SOUND SYSTEM AND SECURITY SYSTEM DESIGN, ENGINEERING, DOCUMENTATION AND INSTALLATION ARE THE DESIGN BUILD RESPONSIBILITY OF THE GENERAL CONTRACTOR. AS SUCH, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND COORDINATE THIS WORK AND TO OBTAIN ALL RELEVANT PERMITS. THIS WORK WILL BE PROVIDED AS DESCRIBED IN ANY SPECIFICATIONS, AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY CODE, THE BUILDING INSPECTOR, FIRE DEPARTMENT AND ANY OTHER AGENCY HAVING AUTHORITY. SUCH WORK WILL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING SUBMISSIONS AND REVIEWS HAVE BEEN SATISFIED.

### PROJECT STATISTICS

<b>Owner:</b>	Marshal Rothman
<b>Owner's Mailing Address:</b>	PO Box 2434, Mill Valley, CA 94942
<b>Property Address:</b>	Marinda Avenue, Fairfax, CA 94930
<b>Assessor's Parcel No.:</b>	001-160-09
<b>Zoning:</b>	UR - 10
<b>Occupancy:</b>	House: R-3 Garage: ?
<b>Construction Type:</b>	Type V-A, Sprinklered
<b>Lot Area:</b>	437,778 Square Feet
<b>Allowable F.A.R.:</b>	5,000 Square Feet
<b>Proposed Home Size:</b>	4,958 Square Feet
<b>Allowed Garage Size:</b>	500 Square Feet
<b>Proposed Garage Size:</b>	757 Square Feet (257 counted as house)
<b>Building Height:</b>	Proposed: 34' - 3"
<b>Parking Spaces:</b>	6 3 on parking pad 3 in garage



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www.pahana.com

Consultant

Project Title

# 611 Marinda Residence

(Lot #6)

at Marinda Avenue  
Fairfax, California

A.P.N. ??? - ??? - ??

Seal of the Architect



Date Signed

Project Number

1607

Plot Date

Jul 12, 2018

Revisions:

No.	Date	Description
1	12/20/17	Revisions per Planning Comments
2	5/1/18	Revisions per Planning Comments
3	7/12/18	Lot Shape Reconfigurations

Issue Date

July 19, 2017

Issues:

No.	Date	Description
1	7/19/17	Preliminary Planning Submittal

Scale

n. t. s.

Sheet Title

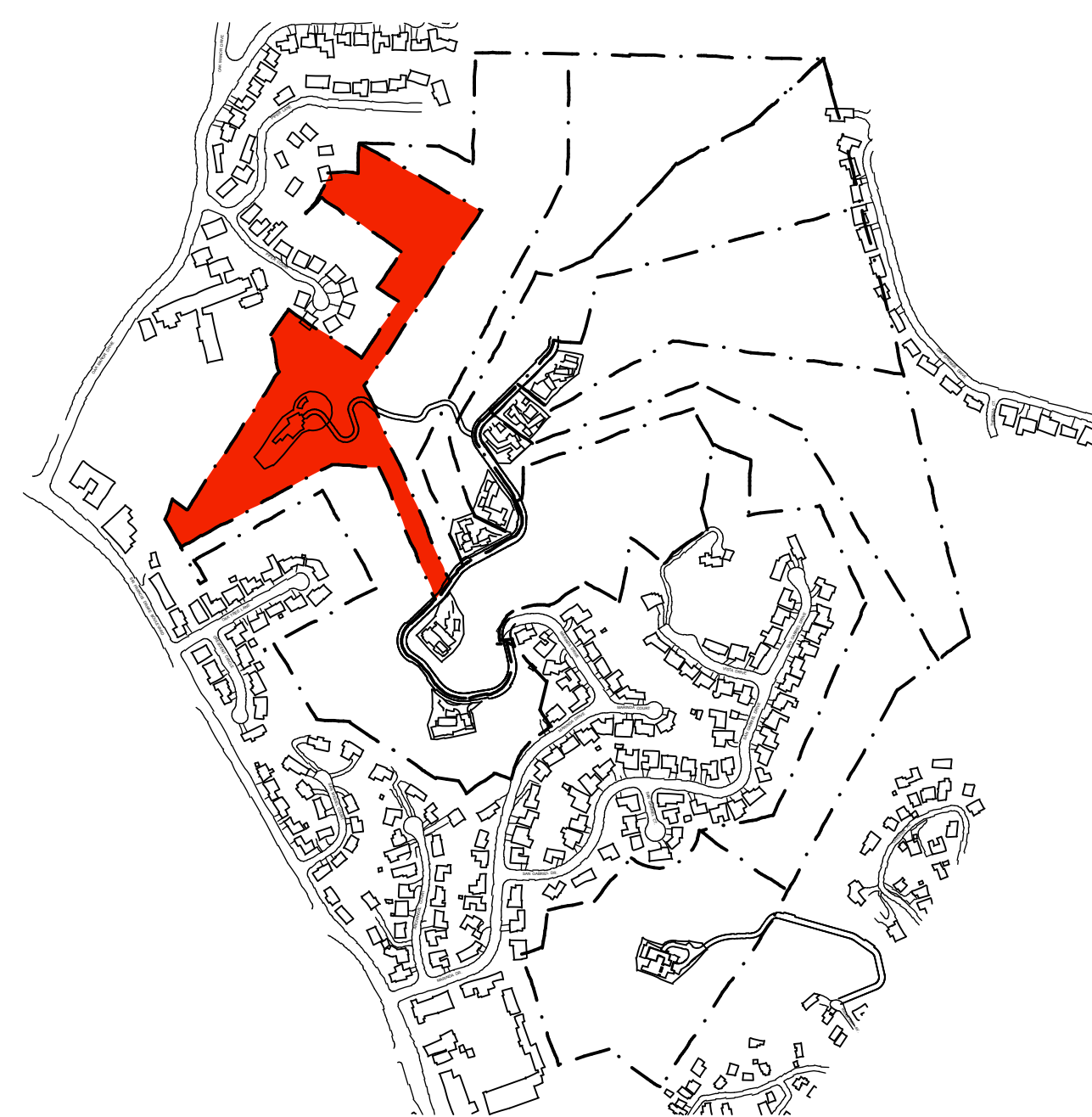
Cover Sheet

Sheet Number

A-1

Sheet 1 in a series of 13

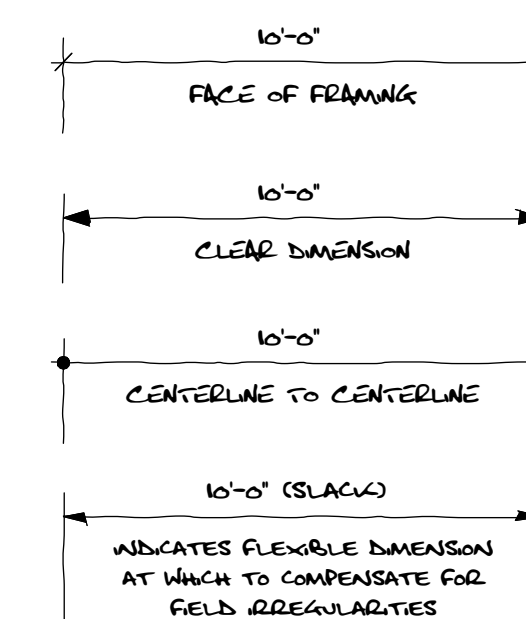
### VICINITY MAP



### APPLICABLE CODES

- 2016 CA Building Code, (1997 UBC)
- 2016 CA Fire Code (2000 UFC)
- 2016 CA Plumbing Code (2000 UPC)
- 2016 CA Electrical Code (1999 NEC)
- 2016 CA Mechanical Code (2000 UMC)
- 2016 CA Energy Code
- Local and state codes, laws and/or regs.

### DIMENSIONING







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Project Title \_\_\_\_\_

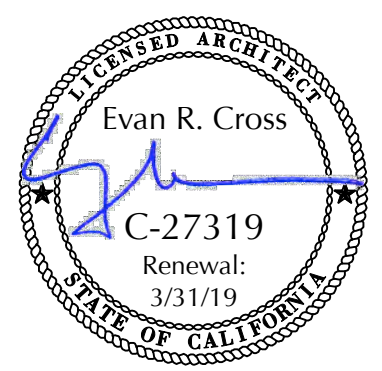
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Date Signed \_\_\_\_\_

Project Number 1607

Plot Date May 7, 2018

Revisions:

No.	Date	Description
1	12/20/17	Revisions per Planning Comments
2	5/1/18	Revisions per Planning Comments

Issue Date July 19, 2017

Issues:

No.	Date	Description
1	7/19/17	Preliminary Planning Submittal

Scale 1/16" = 1'-0"

Sheet Title Site Plan

Sheet Number \_\_\_\_\_

A-2

Sheet 2 in a series of 13







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C-27319

Date Signed

Project Number

1607

Plot Date

May 7, 2018

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Issue Date

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Scale

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Sheet Title

Pool Level Plan

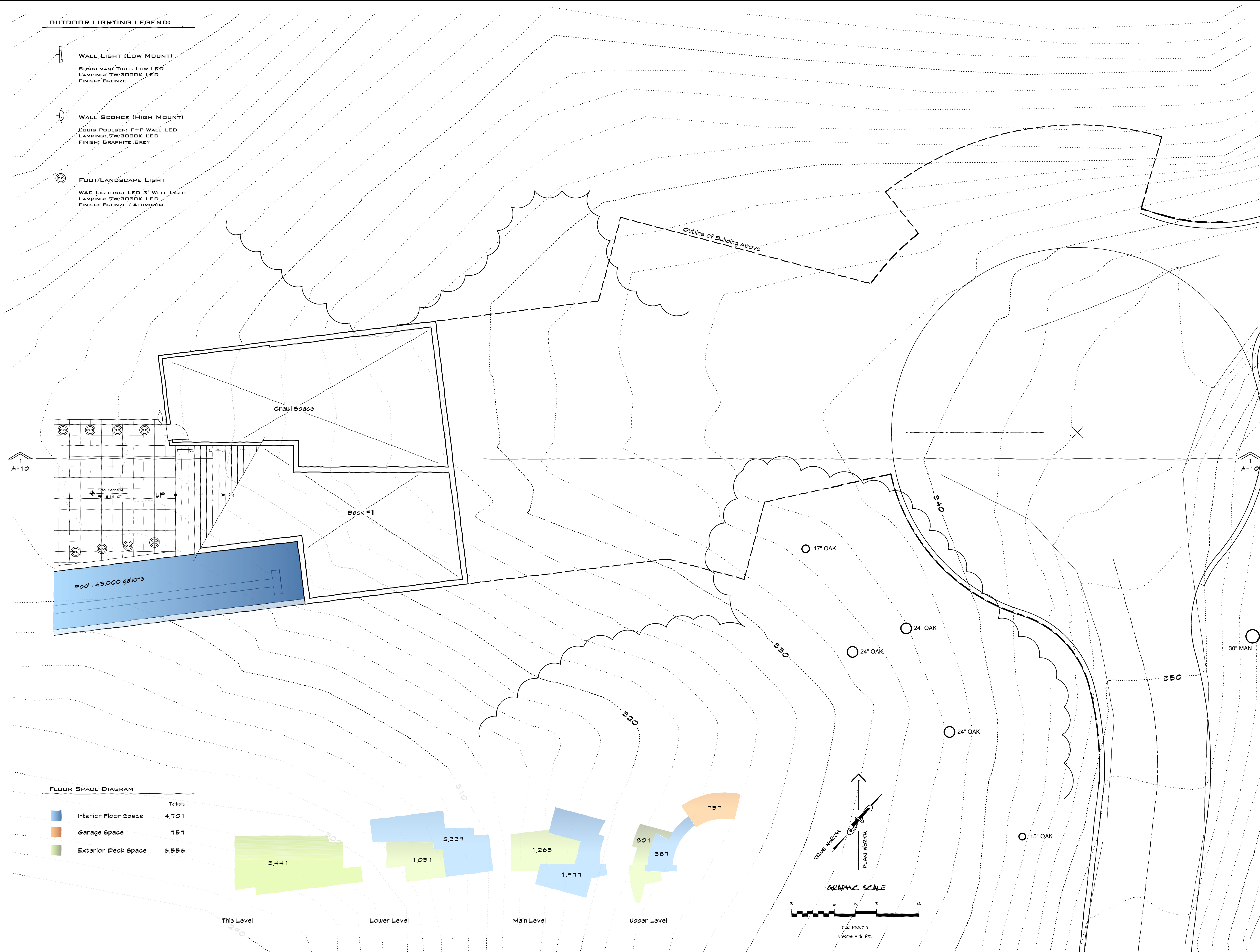
Sheet Number

A-3

Sheet 3 in a series of 13

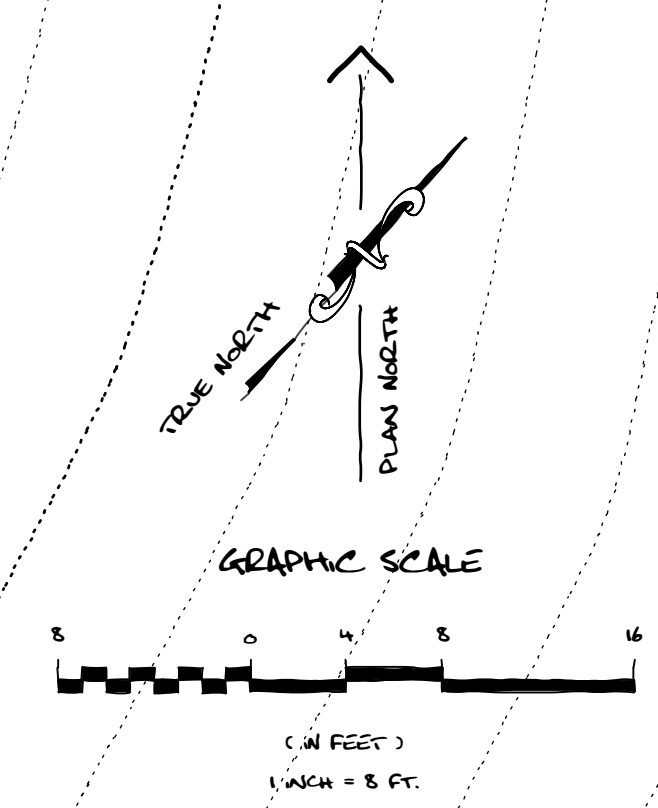
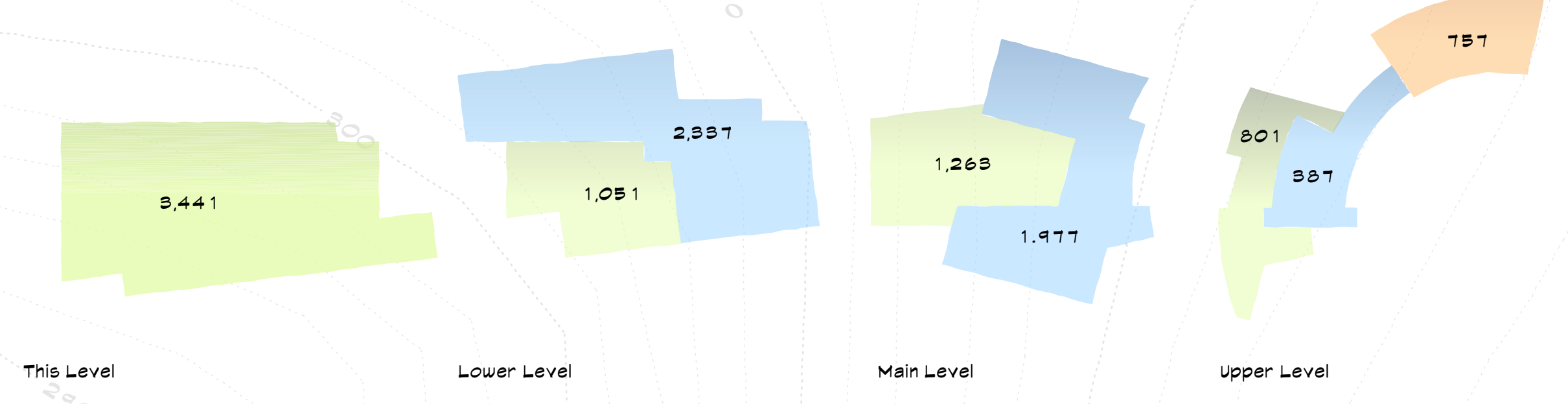
### OUTDOOR LIGHTING LEGEND:

- WALL LIGHT (LOW MOUNT)**  
SONNEMAN TIGES LOW LED  
LAMPING: 7W/3000K LED  
FINISH: BRONZE
- WALL SCONCE (HIGH MOUNT)**  
LOUIS POULSEN F+P WALL LED  
LAMPING: 7W/3000K LED  
FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT**  
WAC LIGHTING LED 3" WELL LIGHT  
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### FLOOR SPACE DIAGRAM

	Totals
Interior Floor Space	4,701
Garage Space	757
Exterior Deck Space	6,556







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Scale

1/8" = 1'-0"

Sheet Title

Lower Level Plan

Sheet Number

A-4

Sheet 4 in a series of 13

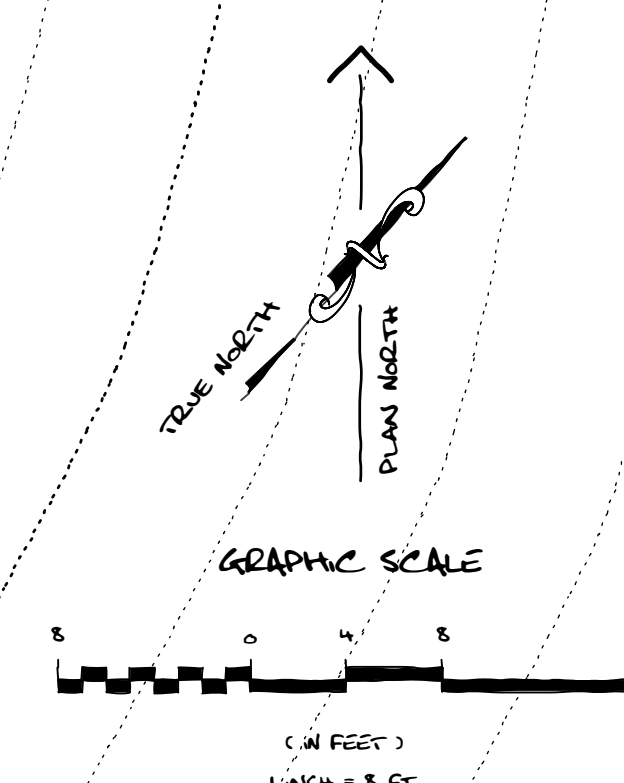
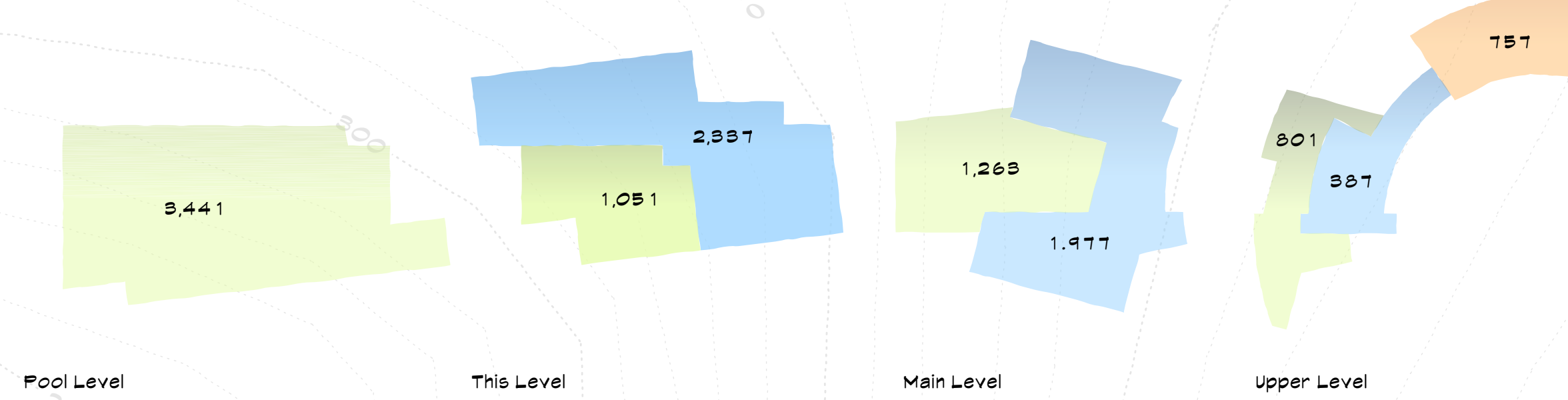
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Scale

1/8" = 1'-0"

Sheet Title

Living Level Plan

Sheet Number

A-5

Sheet 5 in a series of 13

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### FLOOR SPACE DIAGRAM

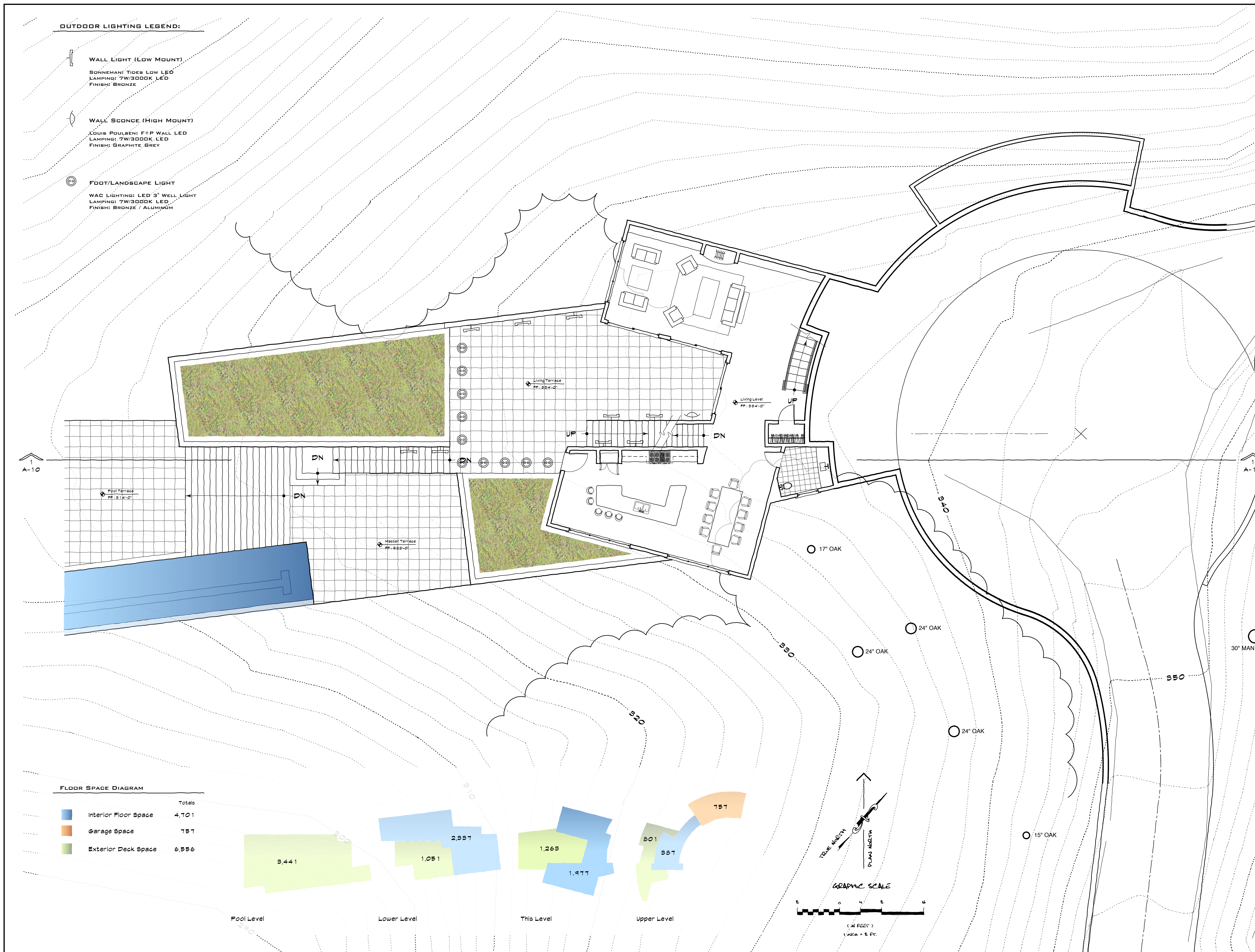
	Totals
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Pool Level

Lower Level

This Level

Upper Level







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Sheet Title

Entry Level Plan

Sheet Number

A-6

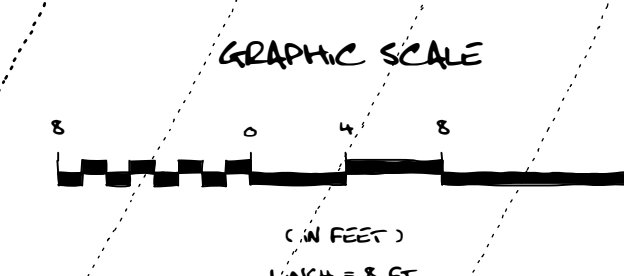
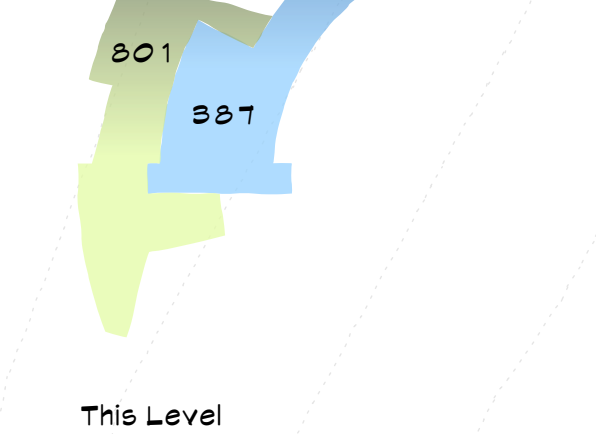
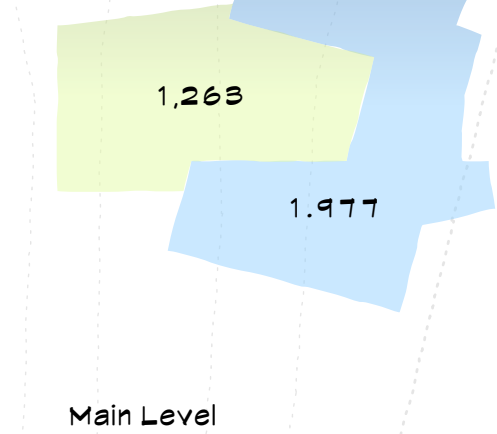
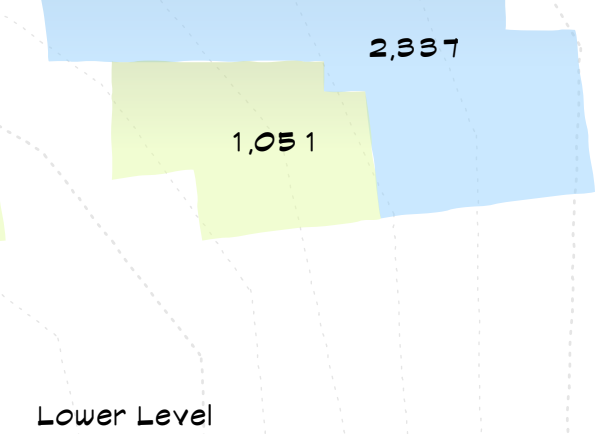
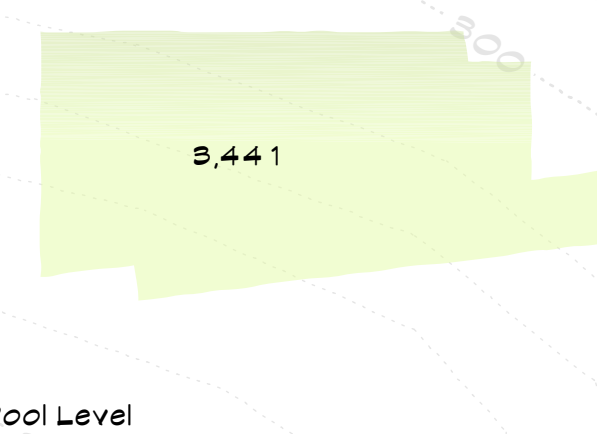
Sheet 6 in a series of 13

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FINISH: BRONZE
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Project Title

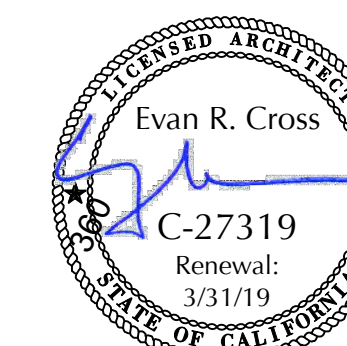
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Scale

1/8" = 1'-0"

Sheet Title

Roof Level Plan

Sheet Number

A-7

Sheet 7 in a series of 13

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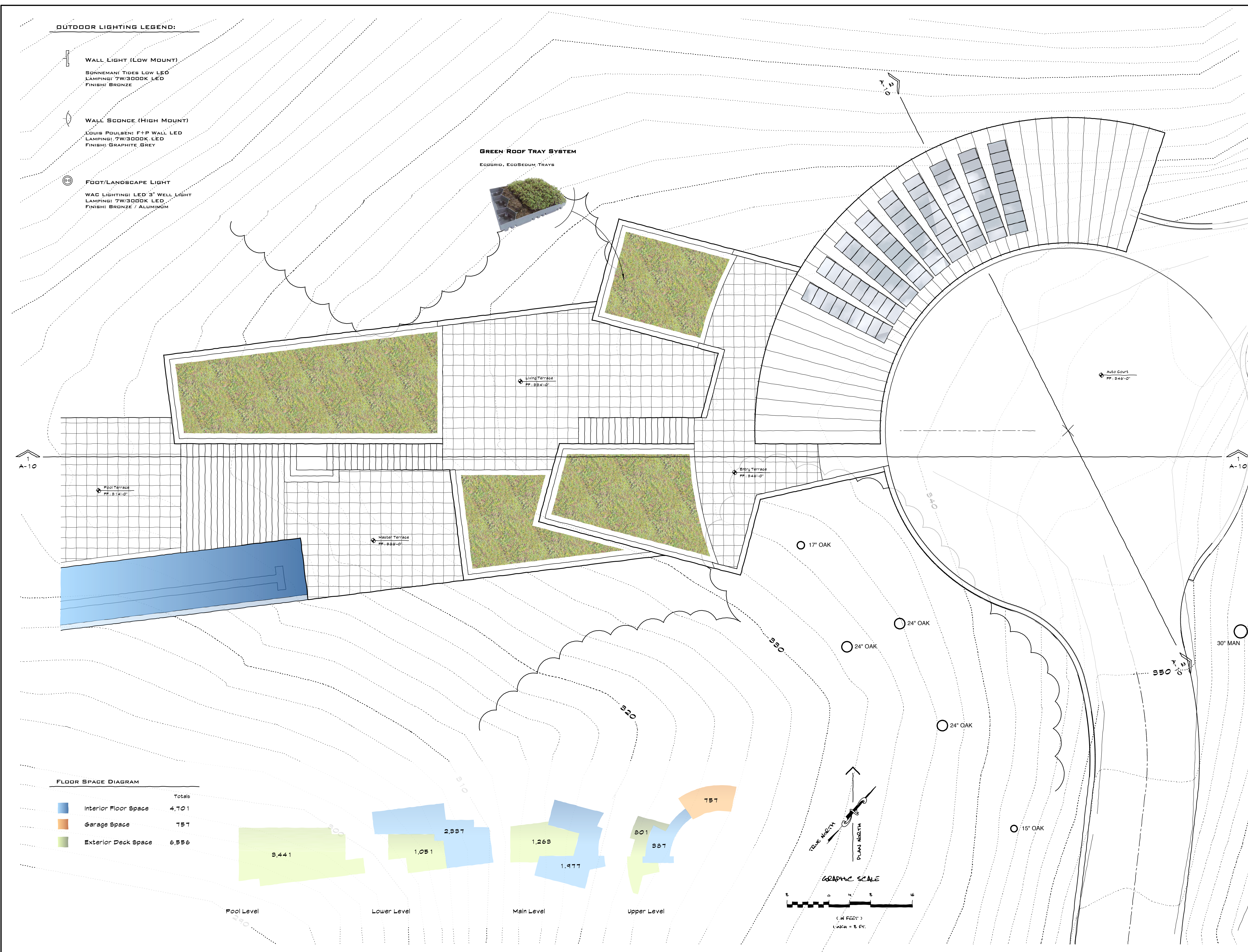
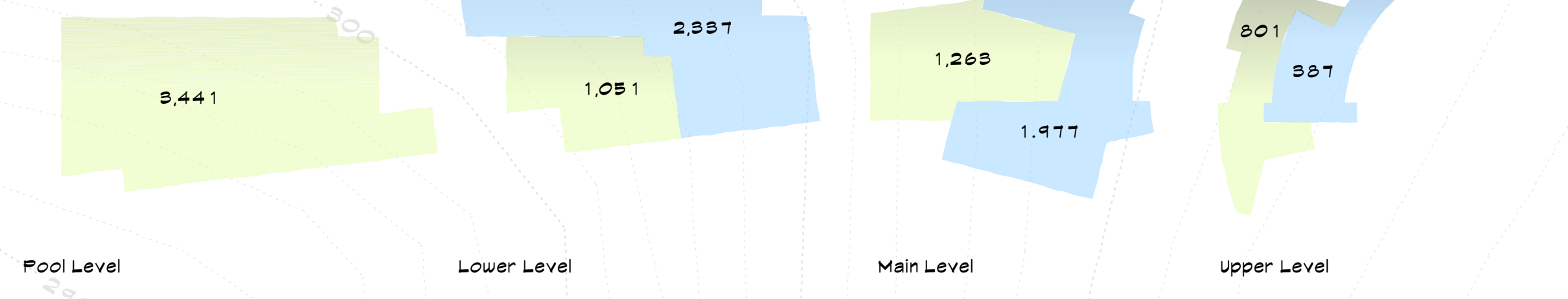
### GREEN ROOF TRAY SYSTEM

ECOGRID, ECOSEED TRAYS



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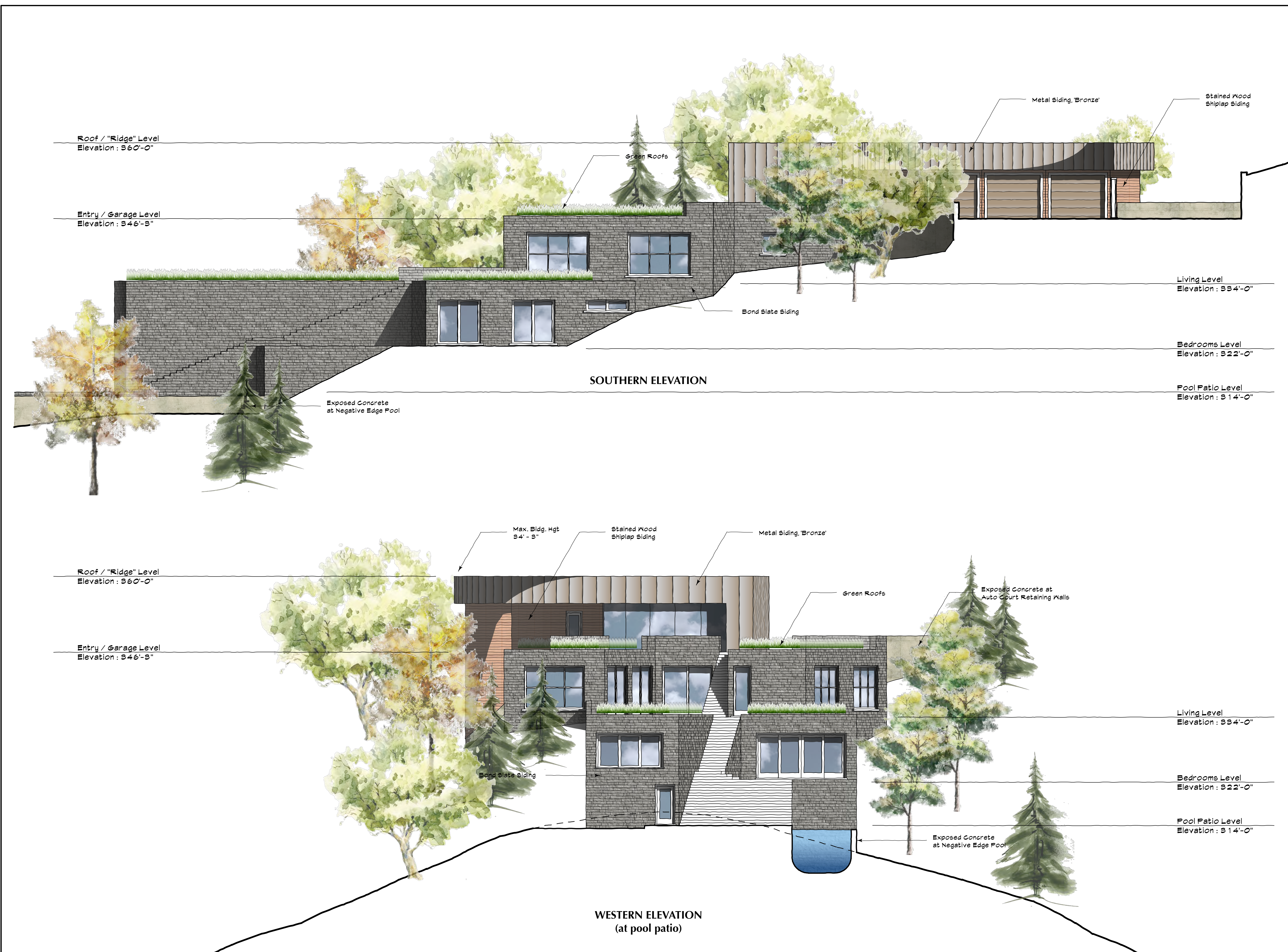
Sheet Title

Exterior Elevations

Sheet Number

A-8

Sheet 8 in a series of 13







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Scale

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Sheet Title

Exterior Elevations

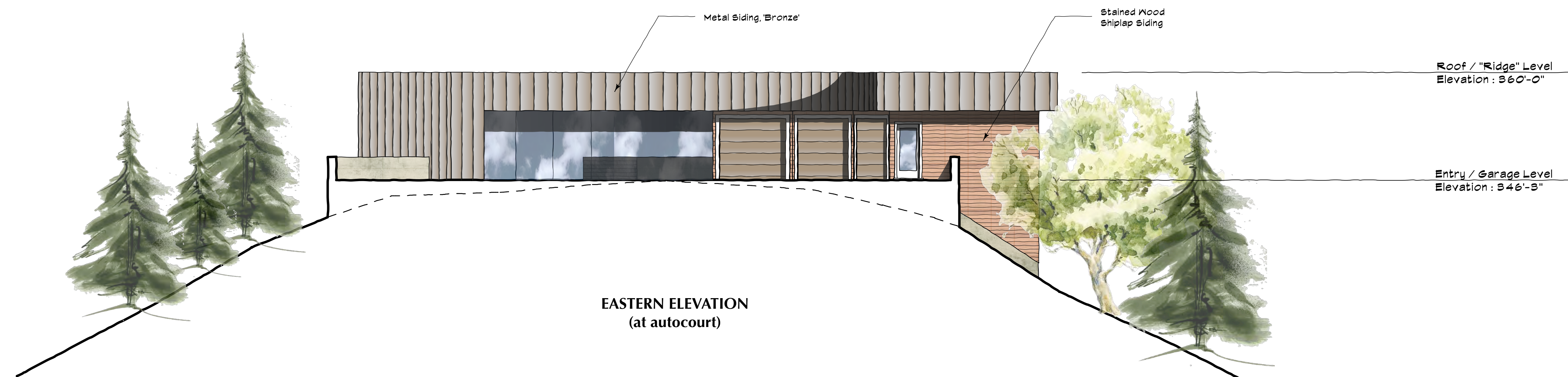
Sheet Number

A-9

Sheet 9 in a series of 13



NORTHERN ELEVATION



EASTERN ELEVATION  
(at autocourt)





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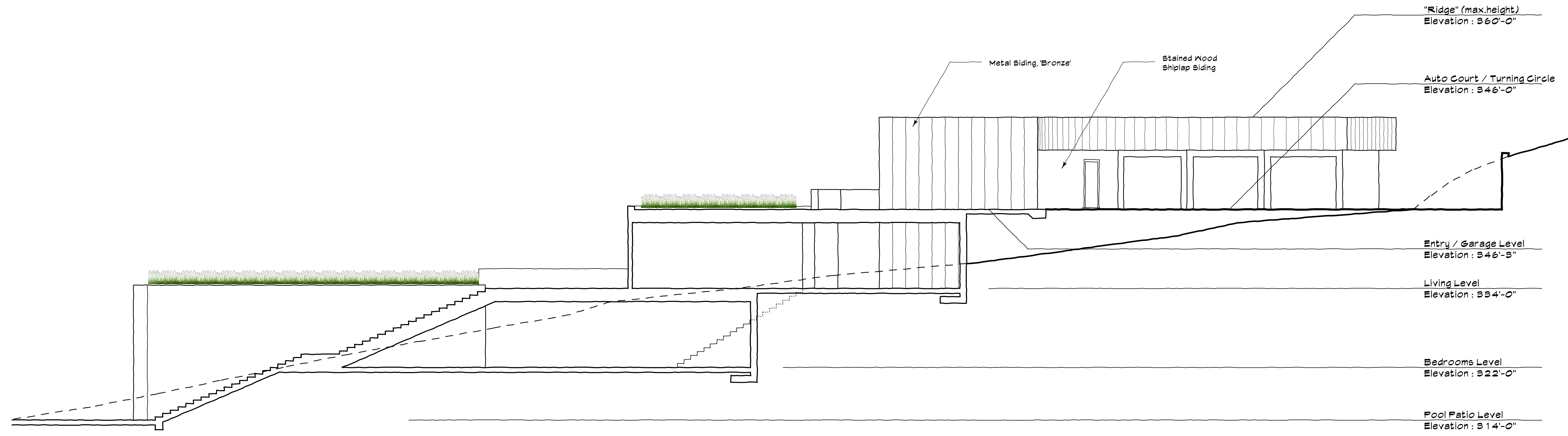
Sheet Title \_\_\_\_\_

Bldg. & Site Sections 1 & 2

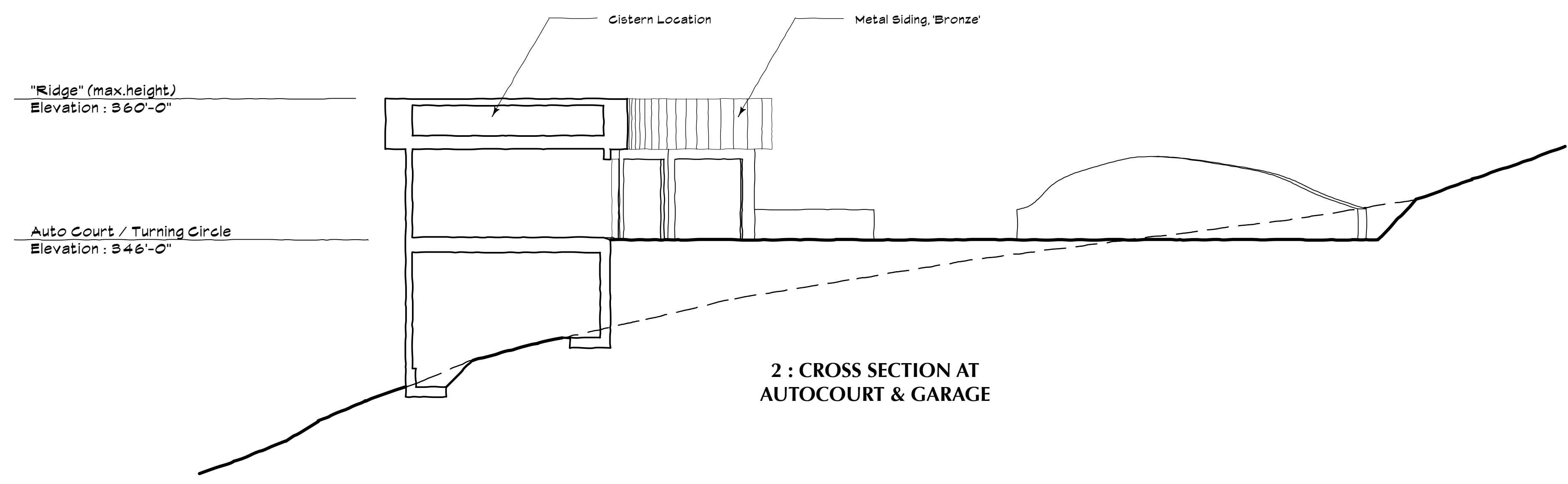
Sheet Number \_\_\_\_\_

A-10

Sheet 10 in a series of 13



1 : LONGITUDINAL SECTION



2 : CROSS SECTION AT AUTOCOURT & GARAGE





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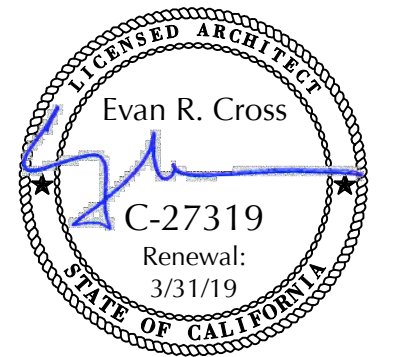
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Scale

n. t. s.


Sheet Title

Materials / Colors


Sheet Number

A-11


Sheet 11 in a series of 13



**1**  
CAST IN PLACE  
EXPOSED CONCRETE  
NATURAL




**2**  
METAL PANELS  
BRONZE




**3**  
MTL. WINDOW  
& DOOR FRAMES  
BRONZE

**4**  
LOW E, NON-  
REFLECTIVE  
GLASS



**5**  
HORIZONTAL  
WOOD SIDING  
STAINED



**6**  
STONE VENEER  
LEDGECUT  
GREY

**LOT  
6**

**MARINDA HEIGHTS • FAIRFAX, CA**  
 MATERIALS / COLORS SAMPLE BOARD





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Revisions: \_\_\_\_\_

No.	Date	Description
1	12/20/17	Revisions per Planning Comments
2	5/1/18	Revisions per Planning Comments

Issue Date \_\_\_\_\_

July 19, 2017

Issues: \_\_\_\_\_

No.	Date	Description
1	7/19/17	Preliminary Planning Submittal

Scale \_\_\_\_\_

1" = 10'-0"

Sheet Title \_\_\_\_\_

Grading Plan

Sheet Number \_\_\_\_\_

A-12

Sheet 12 in a series of 13







Pahana known, architects a.i.a.

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Consultant

Project Title

# 611 Marinda Residence

(Lot #6)

at Marinda Avenue  
Fairfax, California

A.P.N. ??? - ??? - ??

Seal of the Architect



C-27319

Date Signed

Project Number

1607

Plot Date

May 7, 2018

Revisions:

No.	Date	Description
1	12/20/17	Revisions per Planning Comments
2	5/1/18	Revisions per Planning Comments

Issue Date

July 19, 2017

Issues:

No.	Date	Description
1	7/19/17	Preliminary Planning Submittal

Scale

1" = 10'-0"

Sheet Title

Story Pole Plan

Sheet Number

A-13

Sheet 13 in a series of 13

