



MATERIAL LEGEND

	Wood - Rough
	Wood - Finish
	Plywood
	Gypsum Board
	Concrete
	Brick
	CMU
	Lath & Plaster
	Metal
	Gravel
	Batt Insulation
	Rigid Insulation
	Stone
	Metal Flashing
	Rubber Paper / Waterproofing
	Sealant and Backer Rod

SYMBOLS LEGEND

	EXTERIOR ELEVATION DRAWING NO. SHEET NO.
	INTERIOR ELEVATION DRAWING NO. SHEET NO.
	DETAILED SECTION
	BUILDING SECTION
	TYPICAL DETAIL BUBBLE
	TYPICAL DETAIL REFERENCE
	GRID CENTER LINE
	GRID - FACE OF FRAMING
	ELEVATION / DATUM
	WORK POINT
	DOOR NUMBER
	WINDOW
	OFFICE ROOM NAME ROOM NUMBER
	EQUIPMENT NOTE
	PARTITION TYPE
	AND
	AT
	ANGLE
	BY
	CENTERLINE
	EQUAL
	POUNDS
	PROPERTY LINE

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS WILL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
- ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. AT FLURRED OUT WALLS OVER CONCRETE DIMENSION NOTE IS TO FACE OF FRAMING CHANNELS UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH CONCRETE WILL BE PRESSURE PRESERVATIVE TREATED.
- OPENINGS AROUND VENTS, PRESSURE VENTS, AND SIMILAR AREAS WHICH ALLOW THE PASSAGE OF FIRE AT THE ROOF AND FLOOR LEVELS SHALL BE FIRE STOPPED.
- FIRE STOPPING AND BLOCKING WILL COMPLY WITH UBC SECTION 703. THE EXTENT AND COORDINATION OF FIRE BLOCKING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ACCESSORIES SUCH AS TOWER BARS, GEAR BARS, AND SOAP DISHES LOCATED ON OR WITHIN THE WALL WILL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE AND MEET UBC REQUIREMENTS.
- WEATHER PROTECTIONS WILL CONFORM TO UBC SECTION 703. WEATHER RESISTIVE BARRIERS WILL CONFORM TO UBC STANDARD NORTH FOR DRAFT PAPER AND ASPHALT SATURATED FELT.
- ALL INSULATION WILL COMPLY WITH UBC SECTION 703 FOR FLAME SPREAD. ALL ENERGY RELATED INSULATION WILL MEET REQUIREMENTS OF STATE CODES.
- ALL FOAM PLASTIC INSULATION WILL CONFORM WITH UBC SECTION 703.
- ALL DRAIN VENTS, AND FLUES THAT PENETRATE THE ROOF ARE TO BE LOCATED PER THE ROOF PLAN AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION PRIOR TO INSTALLATION.
- Ø INDICATES ACTUAL SIZE. ∅ INDICATES NOMINAL SIZE.
- COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL DEVICES WITH ARCHITECTURAL INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
- THE FIRE ALARM, FIRE SPRINKLER, SOUND SYSTEM AND SECURITY SYSTEM DESIGN, ENGINEERING, DOCUMENTATION AND INSTALLATION ARE THE DESIGN BUILT RESPONSIBILITY OF THE GENERAL CONTRACTOR. AS SUCH, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND COORDINATE THIS WORK AND TO OBTAIN ALL RELEVANT PERMITS. THIS WORK WILL BE PROVIDED AS DESCRIBED IN ANY SPECIFICATIONS, AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY CODE, THE BUILDING INSPECTOR, FIRE DEPARTMENT AND ANY OTHER AGENCY HAVING AUTHORITY. SUCH WORK WILL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING SUBMISSIONS AND REVIEWS HAVE BEEN SATISFIED.

PROJECT STATISTICS

Owner:	Marshal Rothman
Owner's Mailing Address:	PO Box 2434, Mill Valley, CA 94942
Property Address:	Marinda Avenue, Fairfax, CA 94930
Assessor's Parcel No.:	017-171-51
Zoning:	RS - 7.5
Occupancy:	House: R-3 Garage: ?
Construction Type:	Type V-A, Sprinklered
Lot Area:	438,475 Square Feet Easements: 0 Square Feet Unbuildable Area: 0 Square Feet Effective Site Size: 438,475 Square Feet
Allowable F.A.R.: (40% of E.S.S. / 5K Max.)	5,000 Square Feet
Proposed Home Size:	4,887 Square Feet
Allowed Garage Size:	500 Square Feet
Proposed Garage Size:	528 Square Feet (28 counter as house)
Building Height:	Proposed: 21' - 0"
Parking Spaces:	4 two on parking pad two in garage



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Consultant

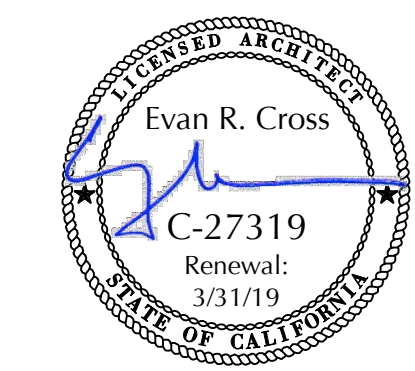
Project Title

650 Marinda Residence

(Lot #8)
at Marinda Avenue
Fairfax, California

A.P.N. ### - ### - ##

Seal of the Architect



Date Signed

Project Number *n/a*

Plot Date *Dec 20, 2017*

Revisions:

No.	Date	Description
1	12.20.17	Revisions per Planning Comments

Issue Date *August 11, 2017*

Issues:

No.	Date	Description
1	8.11.17	Preliminary Planning Set

Scale *n.t.s.*

Sheet Title *Cover Sheet*

Sheet Number

A-1

Sheet 1 in a series of 12

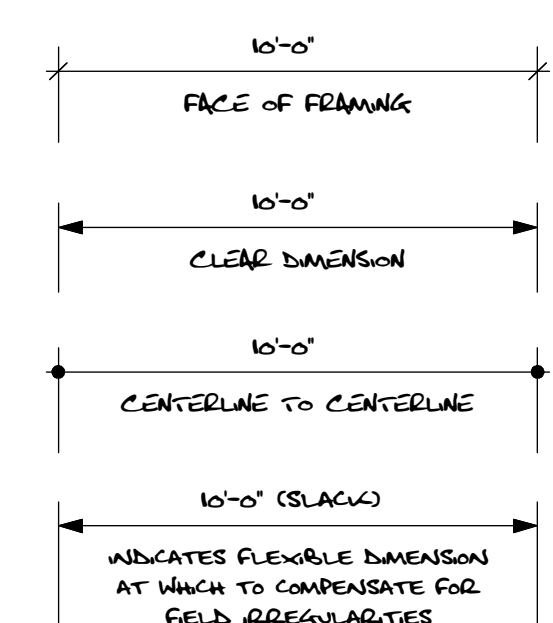
VICINITY MAP



APPLICABLE CODES

- 2016 CA Building Code, (1997 UBC)
- 2016 CA Fire Code (2000 UFC)
- 2016 CA Plumbing Code (2000 UPC)
- 2016 CA Electrical Code (1999 NEC)
- 2016 CA Mechanical Code (2000 UMC)
- 2016 CA Energy Code
- Local and state codes, laws and/or regs.

DIMENSIONING





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1" = 10' - 0"

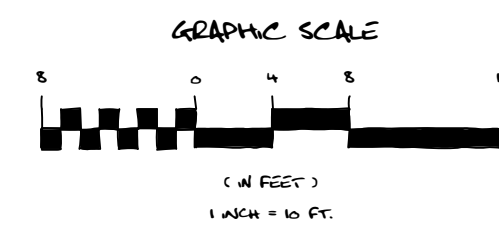
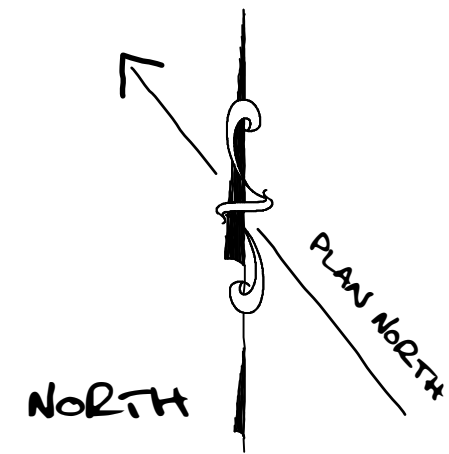
Sheet Title _____

Site Plan

Sheet Number _____

A-2

Sheet 2 in a series of 12



Underground Utility Entrance

Building Envelope
520
510
500

NOTE: Landscaping and Green Roof
Areas to be Drip System Irrigated.

-  Existing Oak
-  Existing Bay
-  Existing Pine
-  Existing Madrone
-  Existing Other



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Scale

3/16" = 1' - 0"

Sheet Title

Main Level Plan

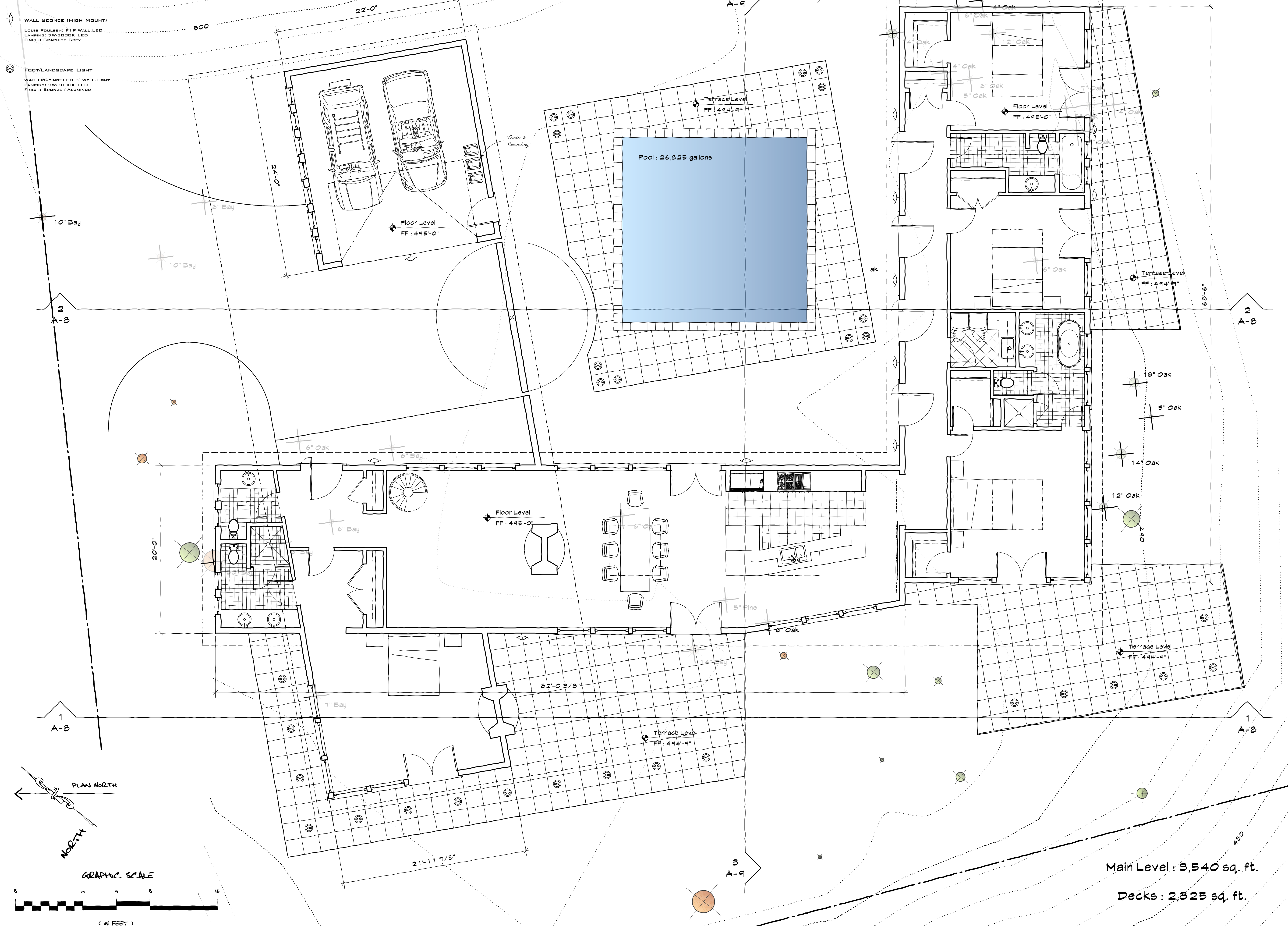
Sheet Number

A-3

Sheet 3 in a series of 12

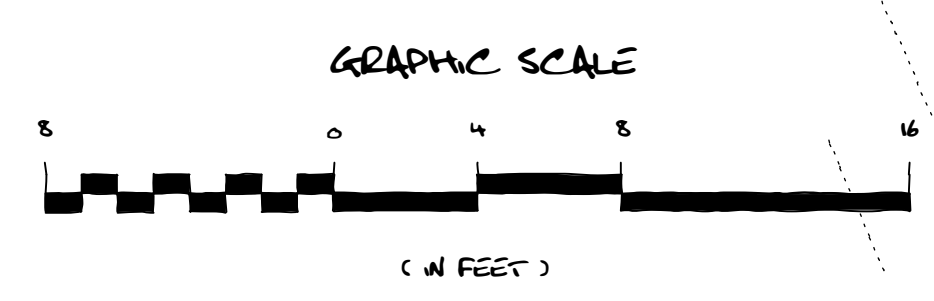
OUTDOOR LIGHTING LEGEND:

- WALL LIGHT (LOW MOUNT)
SONNEMAN TIDES LOW LED
LAMPING: 7W3000K LED
FINISH: BRONZE
- WALL SCORGE (HIGH MOUNT)
LOUIS POULSEN FFP WALL LED
LAMPING: 7W3000K LED
FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT
WAG LIGHTING LED 3" WELL LIGHT
LAMPING: 7W3000K LED
FINISH: BRONZE / ALUMINUM



Main Level : 3,540 sq. ft.

Decks : 2,825 sq. ft.





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Sheet Title

Upper Level Plan

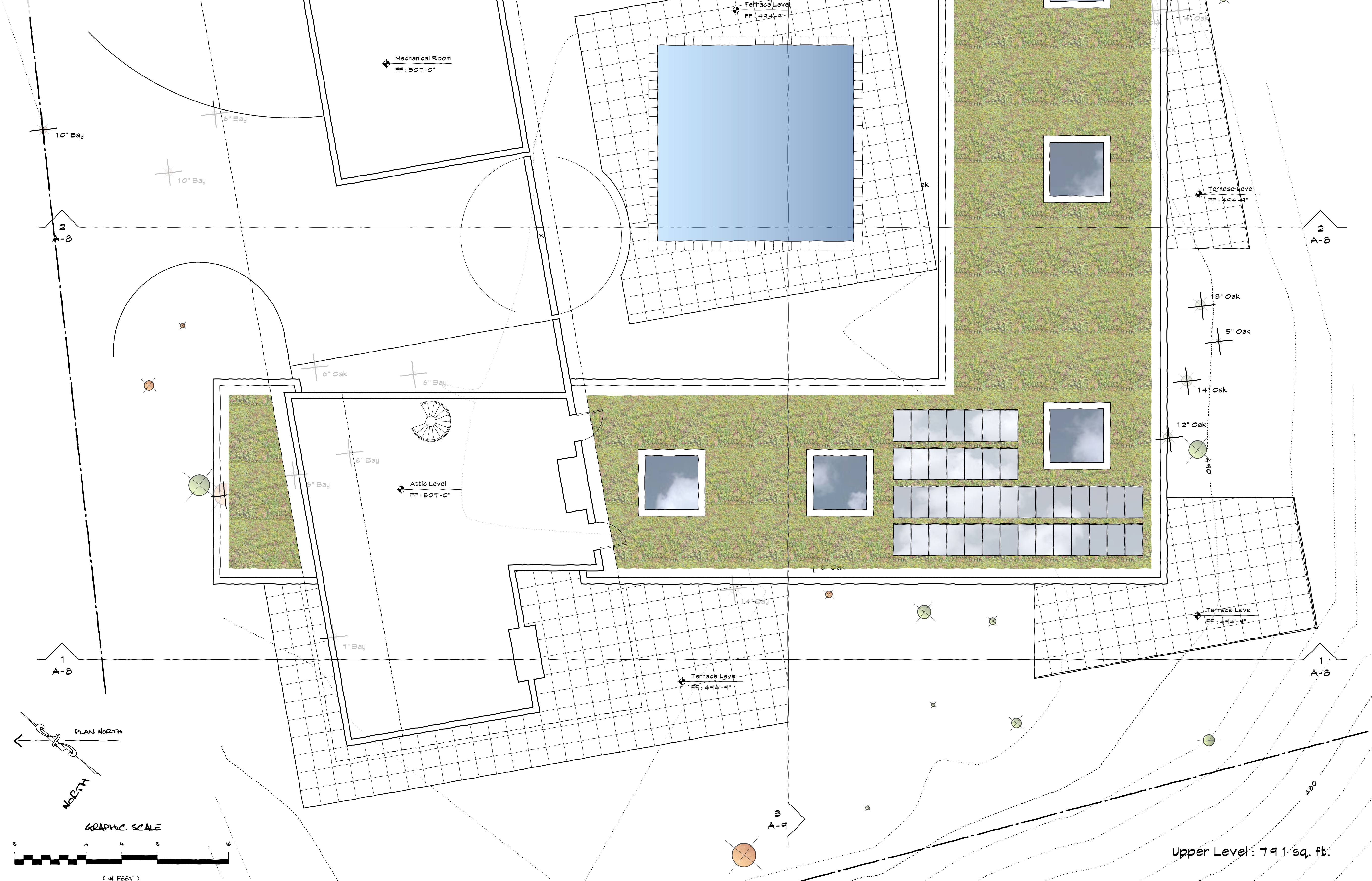
Sheet Number

A-4

Sheet 4 in a series of 12

OUTDOOR LIGHTING LEGEND:

- WALL LIGHT (LOW MOUNT)
SONNEMAN TIDES LOW LED
LAMINING: 7W3000K LED
FINISH: BRONZE
- WALL SCORGE (HIGH MOUNT)
LOUIS POULSEN F&P WALL LED
LAMINING: 7W3000K LED
FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT
WAG LIGHTING LED 3" WELL LIGHT
LAMINING: 7W3000K LED
FINISH: BRONZE / ALUMINUM

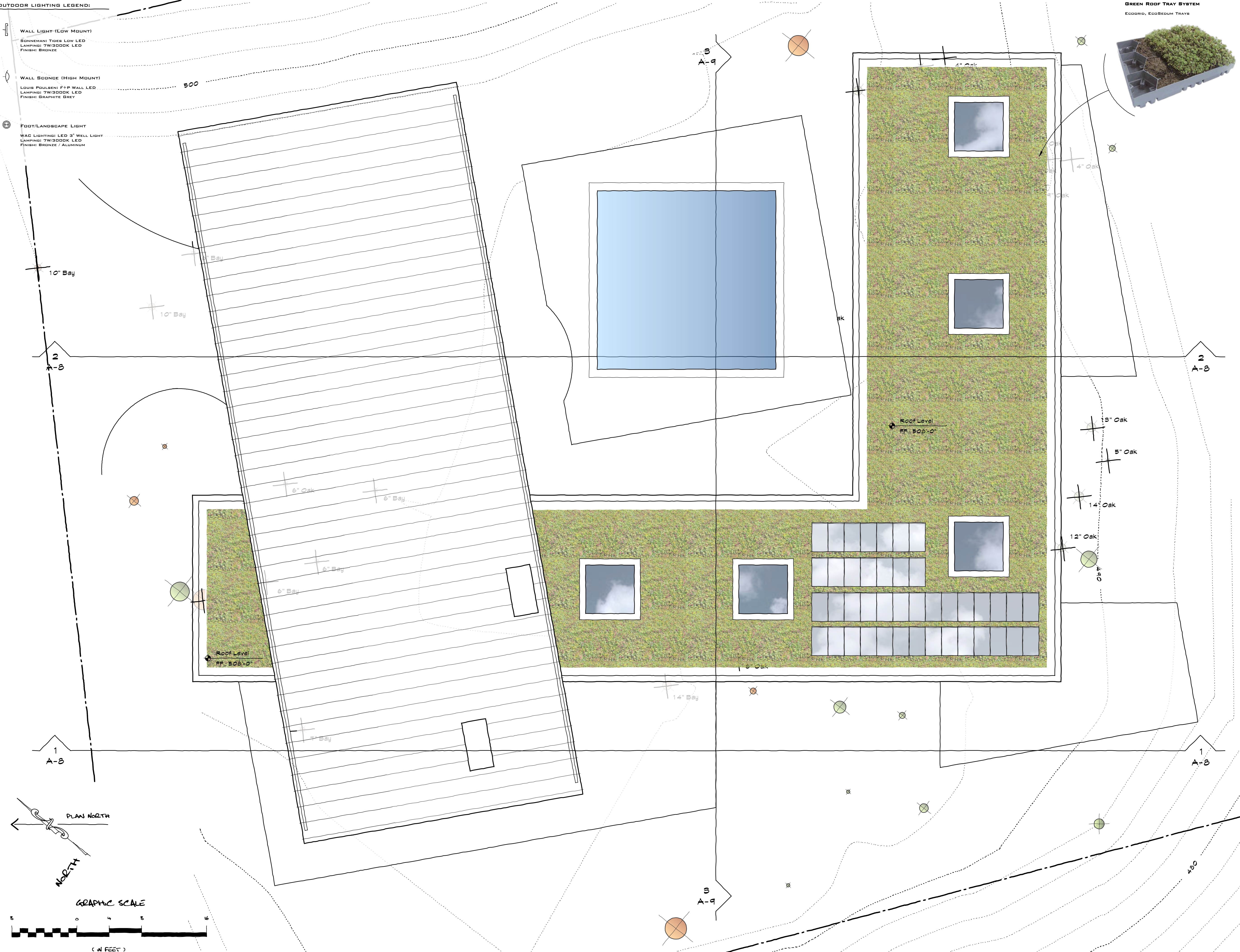


Upper Level: 791 sq. ft.

OUTDOOR LIGHTING LEGEND:

- WALL LIGHT (LOW MOUNT)
SONNEMAN TIDES LOW LED
LAMPHOUS: 7W3000K LED
FINISH: BRONZE
- WALL SCORGE (HIGH MOUNT)
LOUIS POULSEN FFP WALL LED
LAMPHOUS: 7W3000K LED
FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT
WAG LIGHTING LED 3" WELL LIGHT
LAMPHOUS: 7W3000K LED
FINISH: BRONZE / ALUMINUM

GREEN ROOF TRAY SYSTEM
EGGRID, ECOSEDUM TRAYS



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Roof Level Plan

Sheet Number _____

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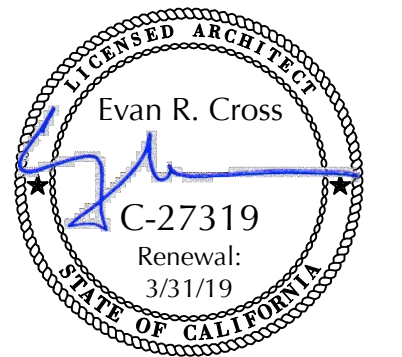
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Sheet Title

Exterior Elevations 1

Sheet Number

A-6

Sheet 6 in a series of 12



EAST ELEVATION



SOUTH ELEVATION



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Sheet Title _____

Exterior Elevations 2

Sheet Number _____

A-7

Sheet 7 in a series of 12



WEST ELEVATION



NORTH ELEVATION



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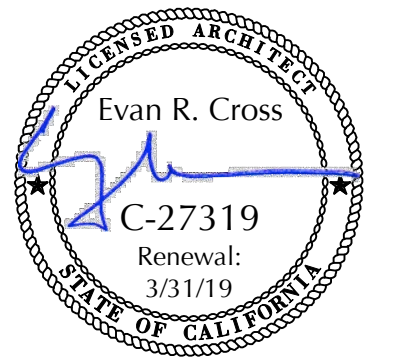
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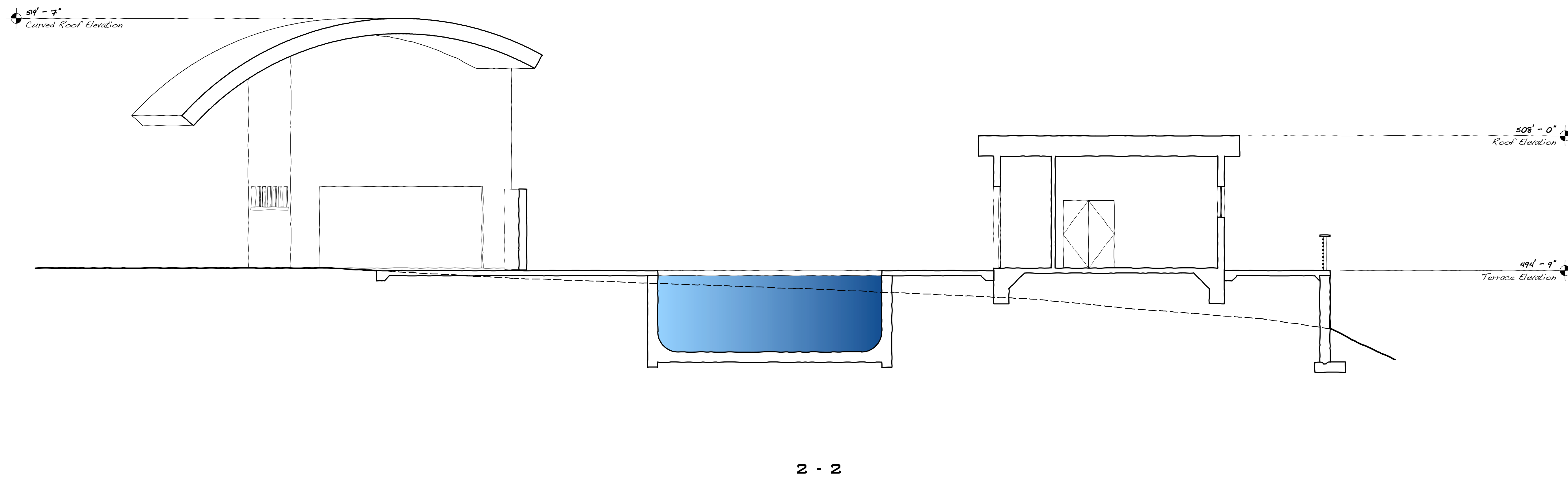
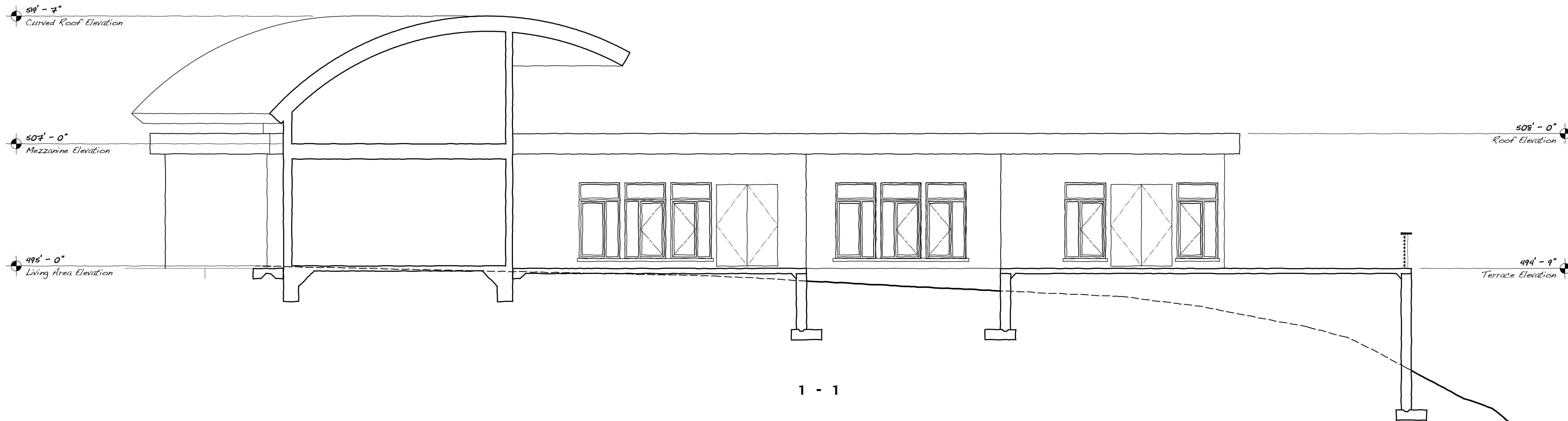
Sheet Title

Building Sections 1

Sheet Number

A-8

Sheet 8 in a series of 12





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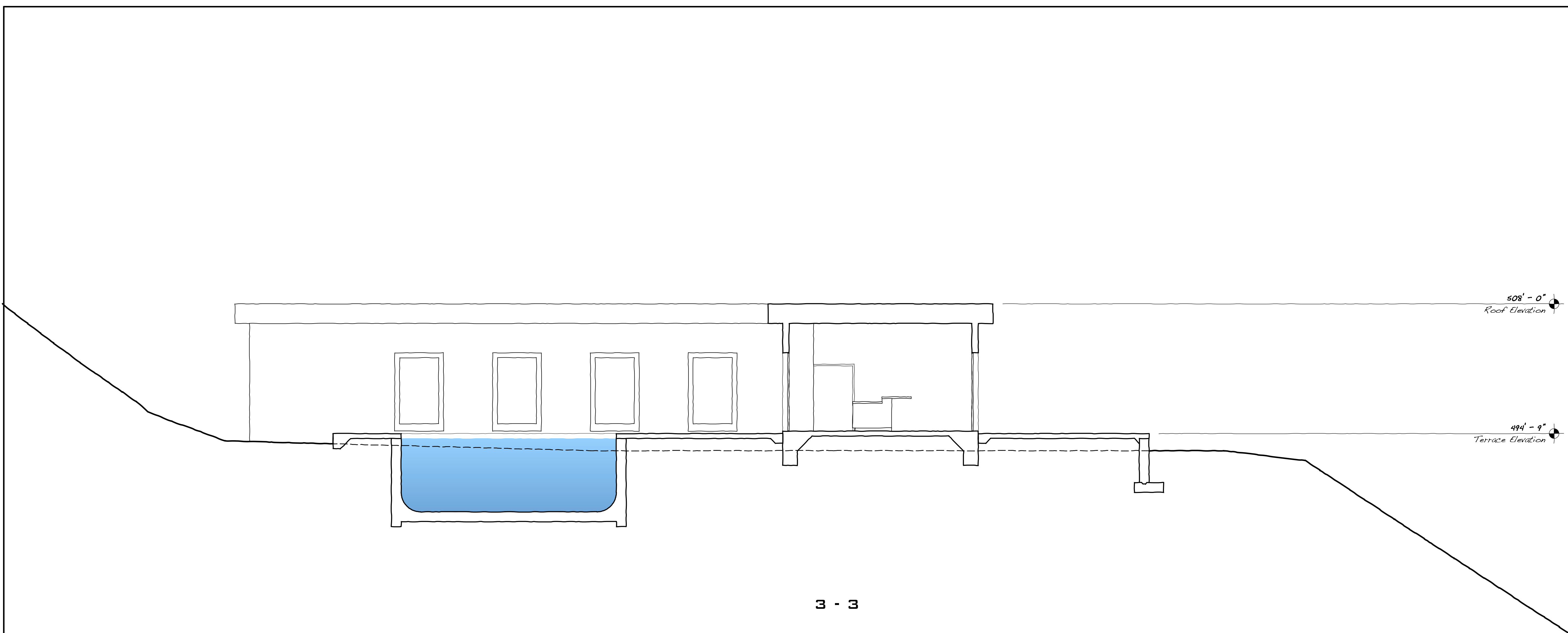
Sheet Title _____

Building Sections 1

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Sheet 9 in a series of 12



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Scale

n. t. s.

Sheet Title

Cover Sheet

Sheet Number

A-10

Sheet 10 in a series of 12



1
CAST IN PLACE
EXPOSED CONCRETE
NATURAL



2
ZINC PANELS
NATURAL



3
ALUM. WINDOW
& DOOR FRAMES
NATURAL



5
VENEER STONE
LEDGESTONE



6
INTEGRAL COLOR
VENEER STUCCO
SLATE GREEN

LOT
8

MARINDA HEIGHTS • FAIRFAX, CA

MATERIALS / COLORS SAMPLE BOARD



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Grading Plan

Sheet Number _____

A-11

Sheet 11 in a series of 12





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Sheet Title _____

Story Pole Plan

Sheet Number _____

A-12

Sheet 12 in a series of 12

