



MATERIAL LEGEND

| | |
|--|----------------------------------|
| | Wood - Rough |
| | Wood - Finish |
| | Plankwood |
| | Gypsum Board |
| | Concrete |
| | Brick |
| | CMU |
| | Lath & Plaster |
| | Metal |
| | Gravel |
| | Batt Insulation |
| | Rigid Insulation |
| | Stone |
| | Metal Flashing |
| | Bull's Eye Paper / Waterproofing |
| | Sealant and Backer Rod |

SYMBOLS LEGEND

| | |
|--|--|
| | EXTERIOR ELEVATION DRAWING NO. SHEET NO. |
| | INTERIOR ELEVATION DRAWING NO. SHEET NO. |
| | DETAILED SECTION |
| | BUILDING SECTION |
| | TYPICAL DETAIL BUBBLE |
| | TYPICAL DETAIL REFERENCE |
| | GRID CENTER LINE |
| | GRID - FACE OF FRAMING |
| | ELEVATION / DATUM |
| | WORK POINT |
| | DOOR NUMBER |
| | WINDOW |
| | ROOM NAME ROOM NUMBER |
| | EQUIPMENT NOTE |
| | PARTITION TYPE |
| | AND |
| | AT |
| | ANGLE |
| | BY |
| | CENTERLINE |
| | EQUAL |
| | POUNDS |
| | PROPERTY LINE |

GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS WILL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
- ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. AT FLURRED OUT WALLS OVER CONCRETE, DIMENSION NOTE IS TO FACE OF FRAMING CHANNELS UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH CONCRETE WILL BE PRESSURE PRESERVATIVE TREATED.
- OPENINGS AROUND VENTS, PRESSURE VENTS, AND SIMILAR AREAS WHICH ALLOW THE PASSAGE OF FIRE AT THE ROOF AND FLOOR LEVELS SHALL BE FIRE STOPPED.
- FIRE STOPPING AND BLOCKING WILL COMPLY WITH UBC SECTION 708. THE EXTENT AND COORDINATION OF FIRE BLOCKING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ACCESSORIES SUCH AS TOWER BARS, GRAB BARS, AND SOAP DISHES LOCATED ON OR WITHIN THE WALL WILL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE AND MEET UBC REQUIREMENTS.
- WEATHER PROTECTIONS WILL CONFORM TO UBC SECTION 703. WEATHER RESISTIVE BARRIERS WILL CONFORM TO UBC STANDARDS. FLASHING FOR WEAP, PAPER AND ASPHALT SATURATED FELT.
- ALL INSULATION WILL COMPLY WITH UBC SECTION 703.3 FOR FLAME SPREAD. ALL ENERGY RELATED INSULATION WILL MEET REQUIREMENTS OF STATE CODES.
- ALL FIBER GLASS INSULATION WILL CONFORM WITH UBC SECTION 706.
- ALL DRAIN VENTS, AND FLUES THAT PENETRATE THE ROOF ARE TO BE LOCATED PER THE ROOF PLAN AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION PRIOR TO INSTALLATION.
- OD INDICATES ACTUAL SIZE. OO INDICATES NOMINAL SIZE.
- COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL DEVICES WITH ARCHITECTURAL INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
- THE FIRE ALARM, FIRE SPRINKLER, SOUND SYSTEM AND SECURITY SYSTEM DESIGN, ENGINEERING, DOCUMENTATION AND INSTALLATION ARE THE DESIGN BUILT RESPONSIBILITY OF THE GENERAL CONTRACTOR. AS SUCH, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND COORDINATE THIS WORK AND TO OBTAIN ALL RELEVANT PERMITS. THIS WORK WILL BE PROVIDED AS DESCRIBED IN ANY SPECIFICATIONS, AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY CODE, THE BUILDING INSPECTOR, FIRE DEPARTMENT AND ANY OTHER AGENCY HAVING AUTHORITY. SUCH WORK WILL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING SUBMISSIONS AND REVIEWS HAVE BEEN SATISFIED.

PROJECT STATISTICS

| | |
|---|--|
| Owner: | Marshal Rothman |
| Owner's Mailing Address: | PO Box 2434, Mill Valley, CA 94942 |
| Property Address: | 680 Marinda Avenue, Fairfax, CA 94930 |
| Assessor's Parcel No.: | 017-171-?? |
| Zoning: | RS - 10.0 |
| Occupancy: | House: R-3 Garage: ? |
| Construction Type: | ? |
| Lot Area: | 440,000 Square Feet Easements: 0 Square Feet Unbuildable Area: 0 Square Feet Effective Site Size: 440,000 Square Feet |
| Allowable F.A.R.: (40% of E.S.S. / 5K Max.) | 5,000 Square Feet |
| Proposed Home Size: | 4,914 Square Feet |
| Allowed Garage Size: | 500 Square Feet |
| Proposed Garage Size: | 745 Square Feet (245 counted as house) |
| Building Height: | Proposed: 26' - 6" |
| Parking Spaces: | 5 Spaces two on parking pad three in garage |



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Mill Valley, California 94941
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Facsimile: (415) 383-2578
www.pahana.com

Consultant
Project Title

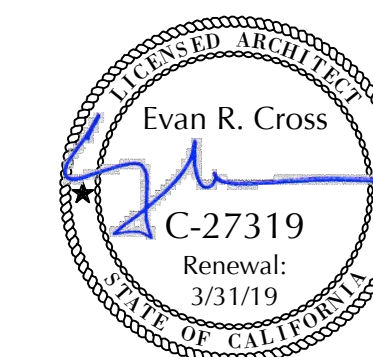
680 Marinda Residence

(Lot #9)

at Marinda Avenue
Fairfax, California

A.P.N. ### - ### - ##

Seal of the Architect



Date Signed

Project Number

Plot Date

Revisions: Dec 20, 2017

| | | |
|-----|----------|---------------------------------|
| No. | Date | Description |
| 1 | 12.20.17 | Revisions Per Planning Comments |

Issue Date

Issues: August 11, 2017

| | | |
|-----|---------|--------------------------|
| No. | Date | Description |
| 1 | 8.11.17 | Preliminary Planning Set |

Scale

Sheet Title

Sheet Number

Sheet 1 in a series of 14

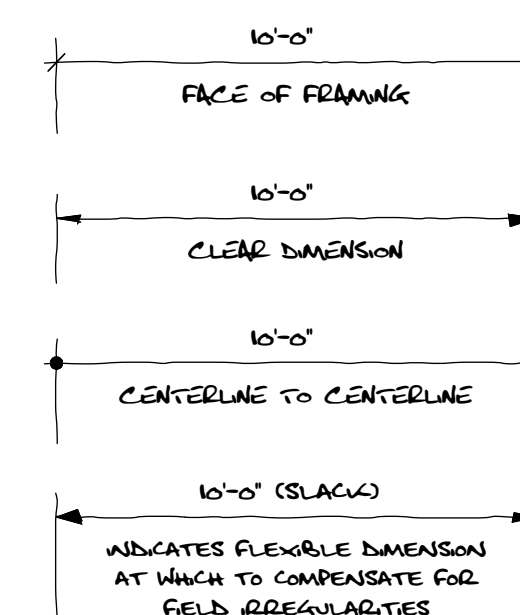
VICINITY MAP



APPLICABLE CODES

- 2016 CA Building Code, (1997 UBC)
- 2016 CA Fire Code (2000 UFC)
- 2016 CA Plumbing Code (2000 UPC)
- 2016 CA Electrical Code (1999 NEC)
- 2016 CA Mechanical Code (2000 UMC)
- 2016 CA Energy Code
- Local and state codes, laws and/or regs.

DIMENSIONING



SHEET INDEX

- A-1 COVER SHEET
- A-2 SITE PLAN
- A-3 ENTRY LEVEL PLAN
- A-4 UPPER LEVEL PLAN
- A-5 ROOF LEVEL PLAN
- A-6 GARAGE BUILDING PLANS
- A-7 EXTERIOR ELEVATIONS
- A-8 EXTERIOR ELEVATIONS
- A-9 GARAGE EXTERIOR ELEVATIONS
- A-10 BUILDING SECTIONS
- A-11 BUILDING SECTIONS
- A-12 MATERIALS / COLORS
- A-13 GRADING PLAN
- A-14 STORY POLE PLAN



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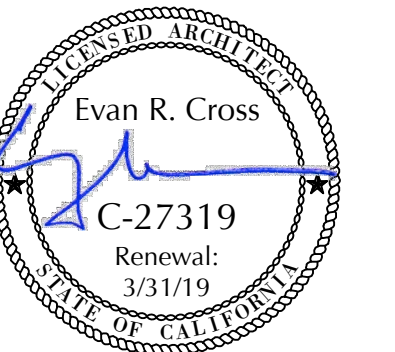
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Scale _____
1" = 10' - 0"

Sheet Title _____
Site Plan

Sheet Number _____

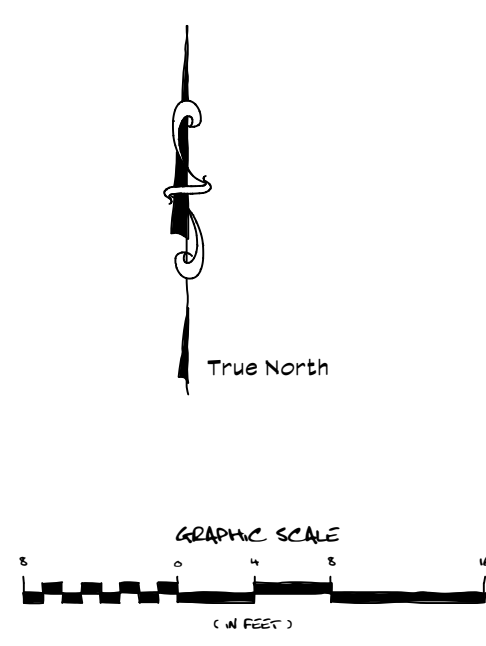
A-2

Sheet 2 in a series of 14



NOTE: Landscaping and Green Roof Areas to be Drip System Irrigated.

- Existing Oak
- Existing Bay
- Existing Pine
- Existing Madrone
- Existing Other





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Scale _____

3/16" = 1' - 0"

Sheet Title _____

Main Level Plan

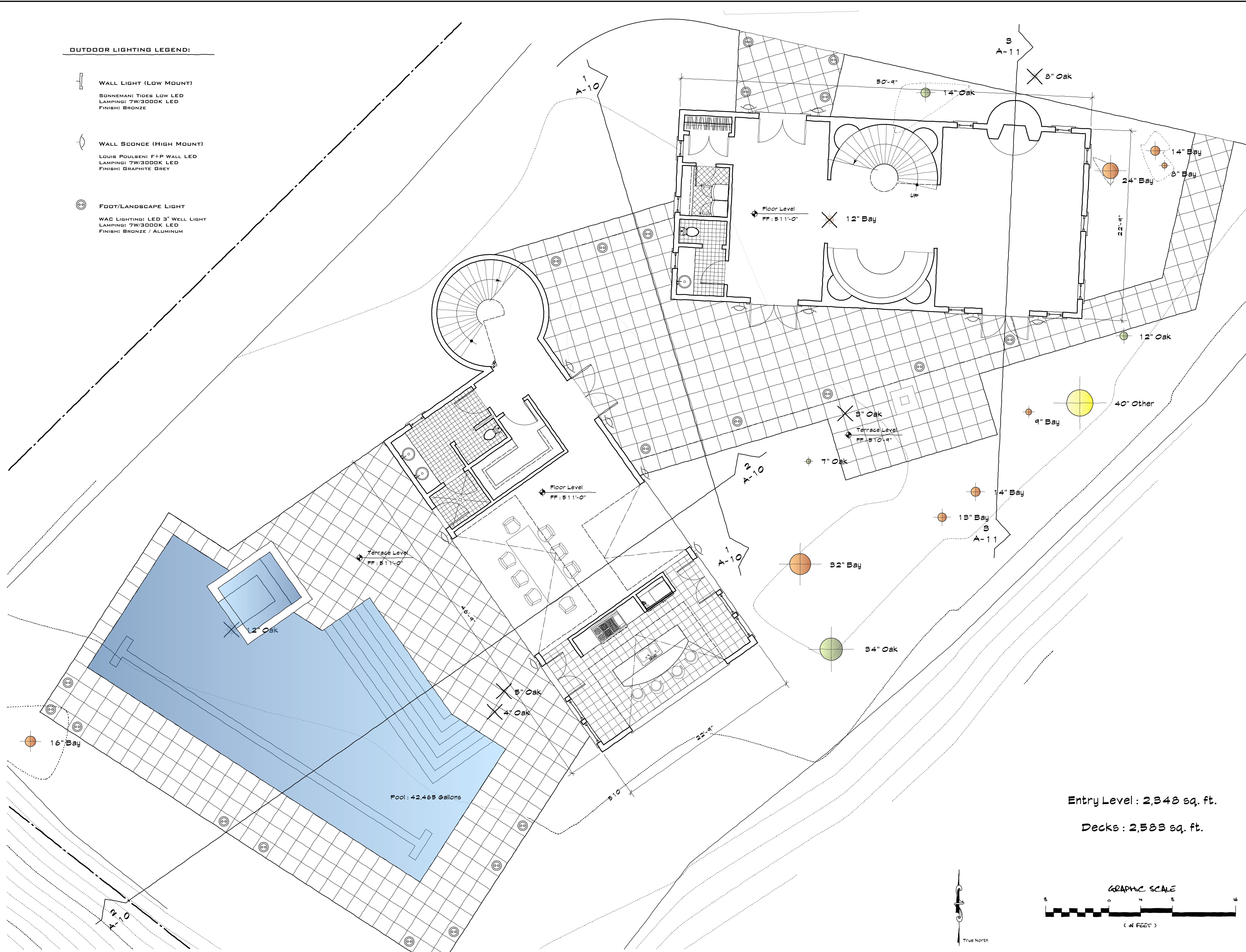
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A-3

Sheet 3 in a series of 14

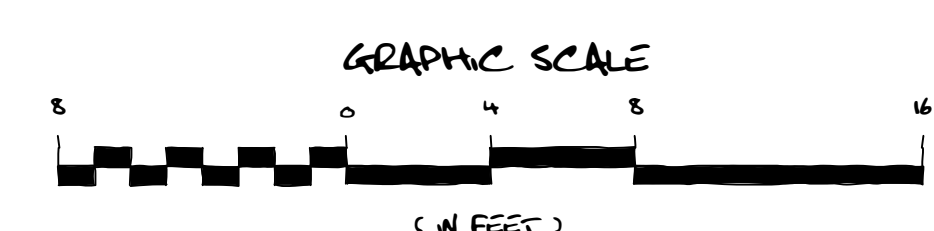
OUTDOOR LIGHTING LEGEND:

- WALL LIGHT (LOW MOUNT)
SONNEMAN: TIDES LOW LED
LAMPING: 7W/3000K LED
FINISH: BRONZE
- WALL SCONCE (HIGH MOUNT)
LOUIS POULSEN: F+P WALL LED
LAMPING: 7W/3000K LED
FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT
WAC LIGHTING: LED 3" WELL LIGHT
LAMPING: 7W/3000K LED
FINISH: BRONZE / ALUMINUM



Entry Level : 2,348 sq. ft.

Decks : 2,583 sq. ft.





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Scale _____

3/16" = 1' - 0"

Sheet Title _____

Upper Level Plan

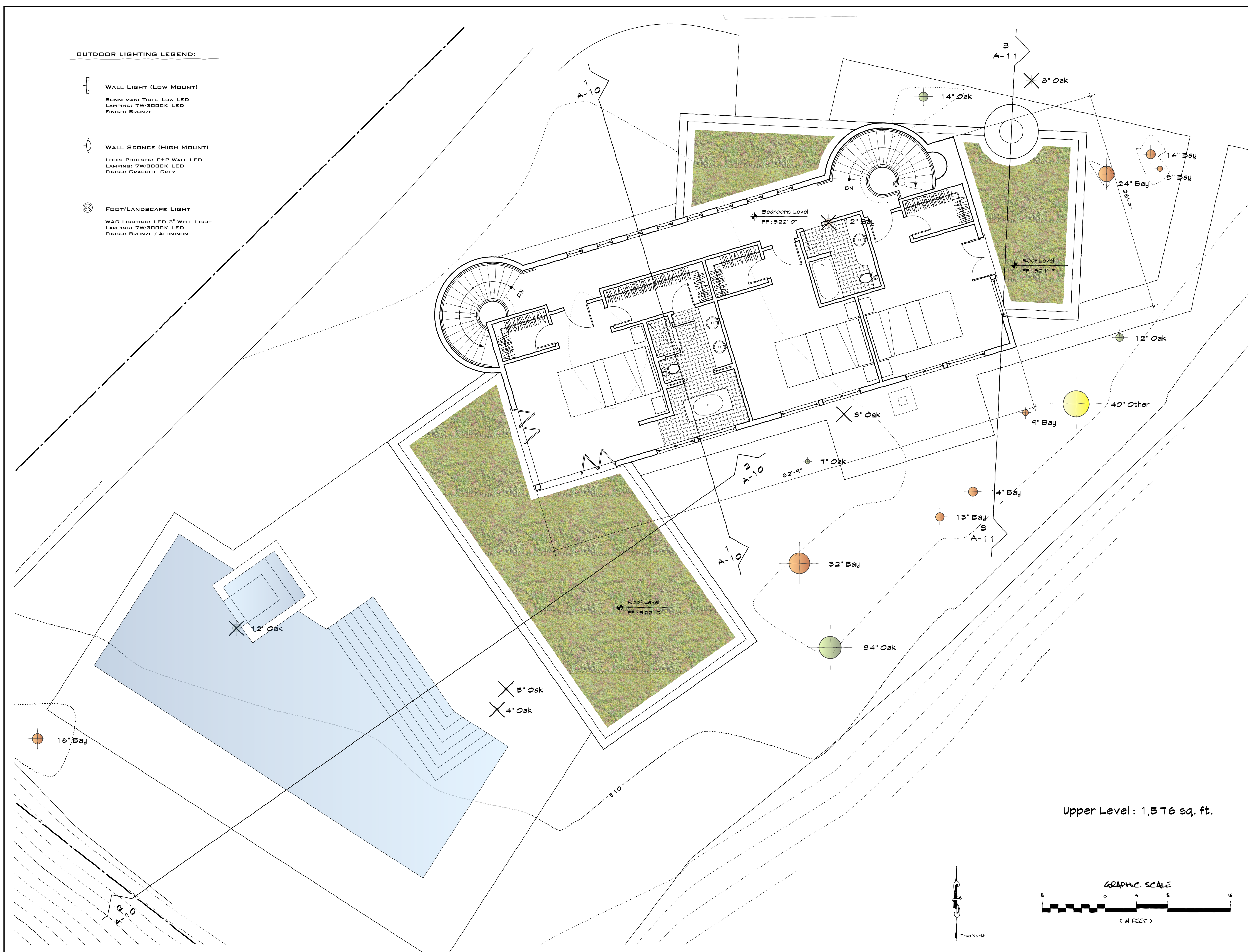
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A-4

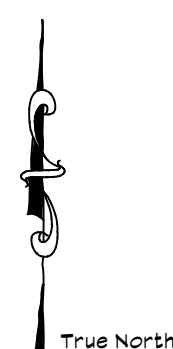
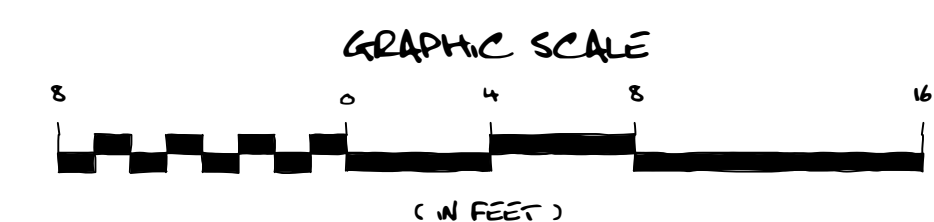
Sheet 4 in a series of 14

OUTDOOR LIGHTING LEGEND:

- WALL LIGHT (LOW MOUNT)
SONNEMAN: TIDES LOW LED
LAMPING: 7W/3000K LED
FINISH: BRONZE
- WALL SCONCE (HIGH MOUNT)
LOUIS POULSEN: F+P WALL LED
LAMPING: 7W/3000K LED
FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT
WAC LIGHTING: LED 3" WELL LIGHT
LAMPING: 7W/3000K LED
FINISH: BRONZE / ALUMINUM



Upper Level : 1,576 sq. ft.





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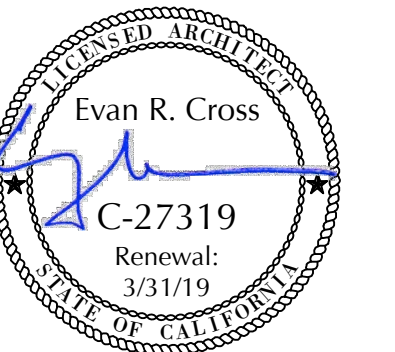
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Scale _____

3/16" = 1' - 0"

Sheet Title _____

Roof Level Plan

Sheet Number _____

A-5

Sheet 5 in a series of 14

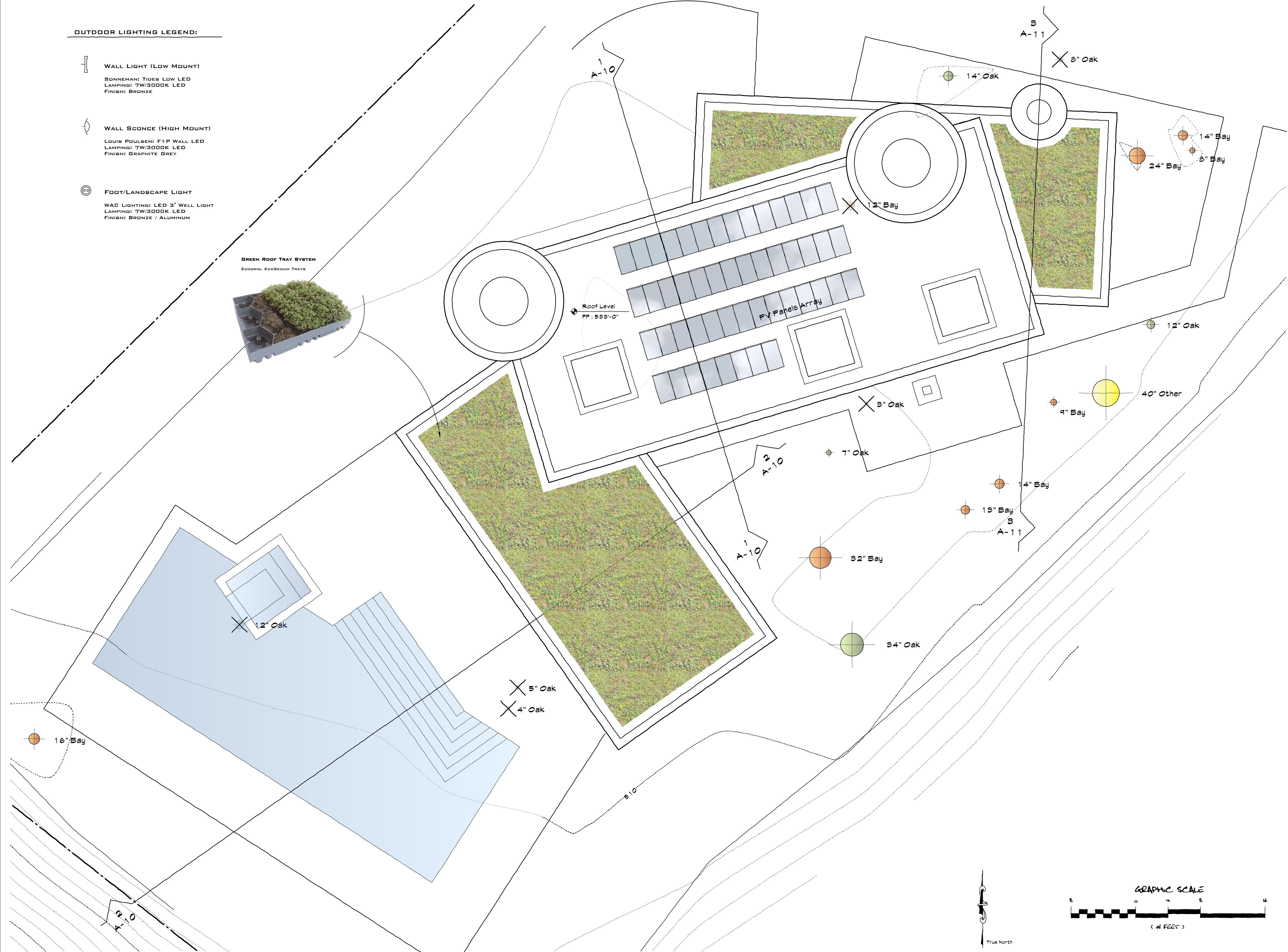
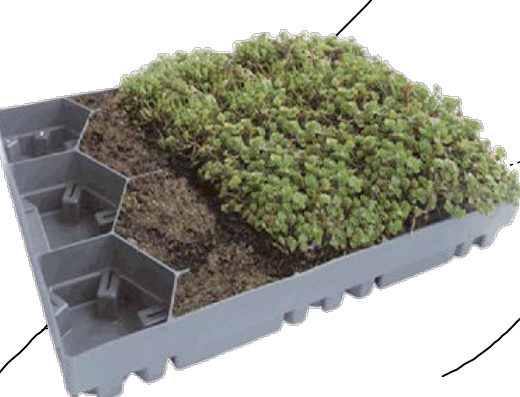
OUTDOOR LIGHTING LEGEND:

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LAMPING: 7W/3000K LED
FINISH: BRONZE

WALL SCONCE (HIGH MOUNT)
LOUIS POULSEN: F+P WALL LED
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FINISH: GRAPHITE GREY

FOOT/LANDSCAPE LIGHT
WAC LIGHTING: LED 3" WELL LIGHT
LAMPING: 7W/3000K LED
FINISH: BRONZE / ALUMINUM

GREEN ROOF TRAY SYSTEM





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Scale _____

3/16" = 1' - 0"

Sheet Title _____

Garage Plans

Sheet Number _____

A-6

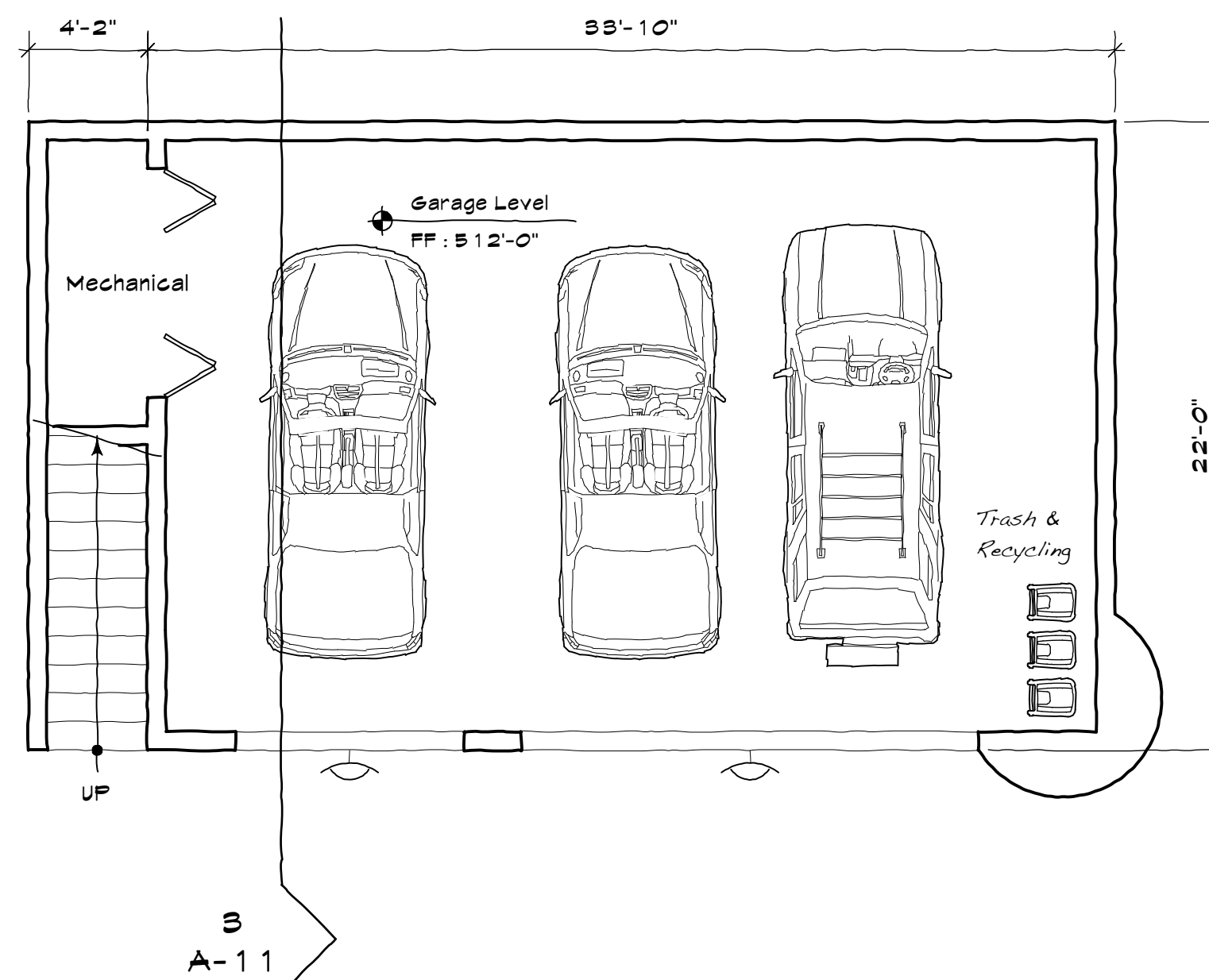
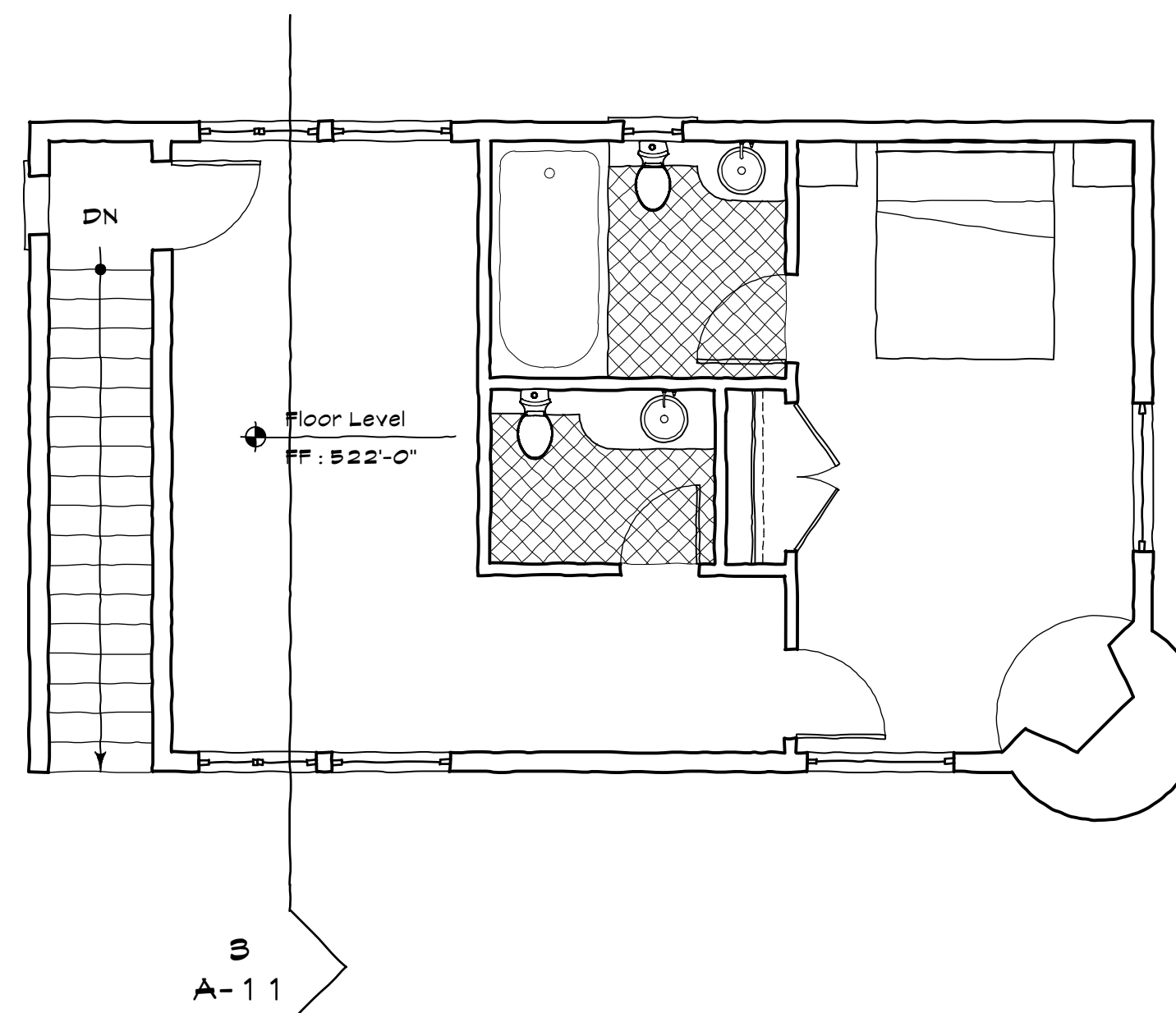
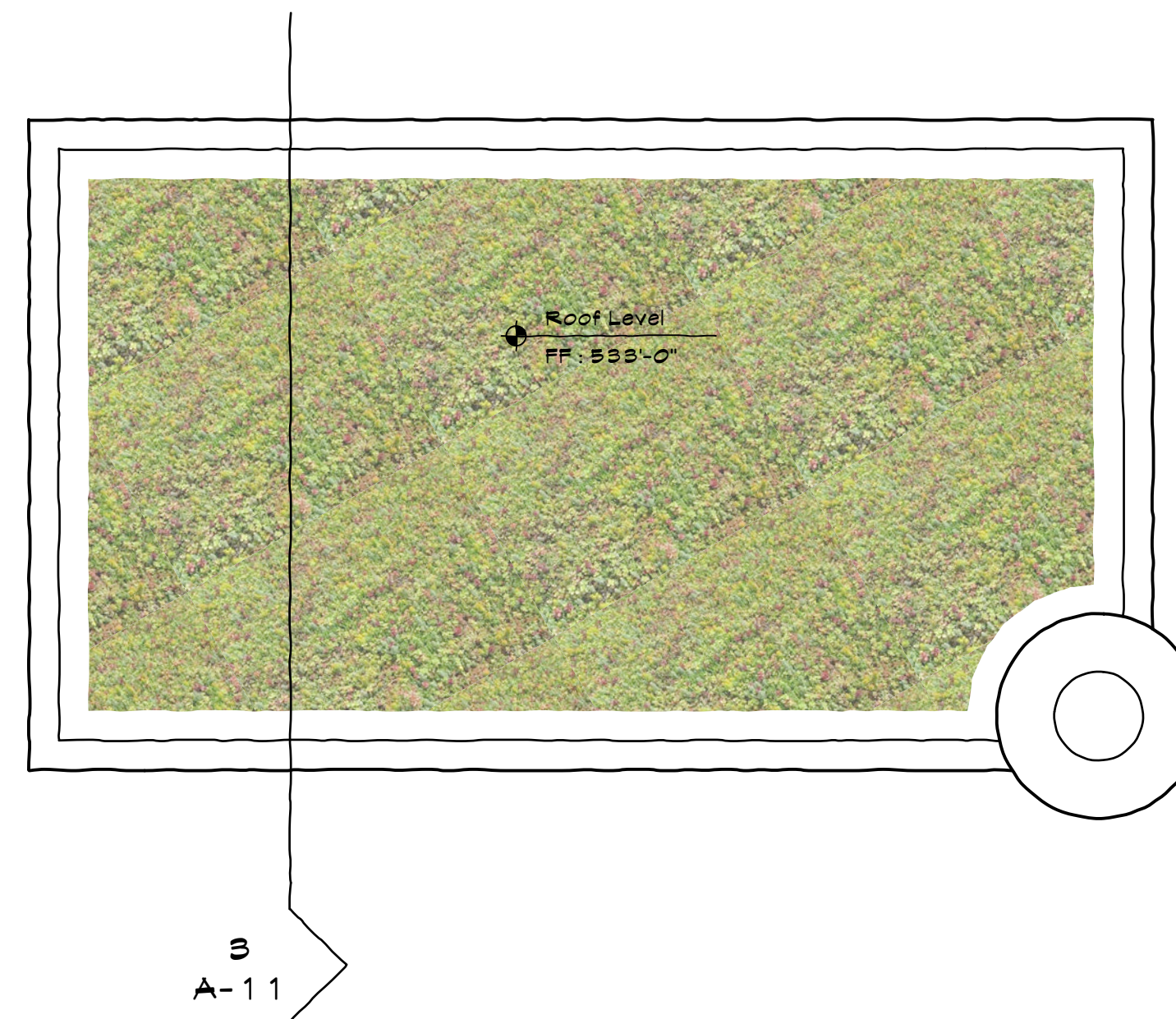
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OUTDOOR LIGHTING LEGEND:

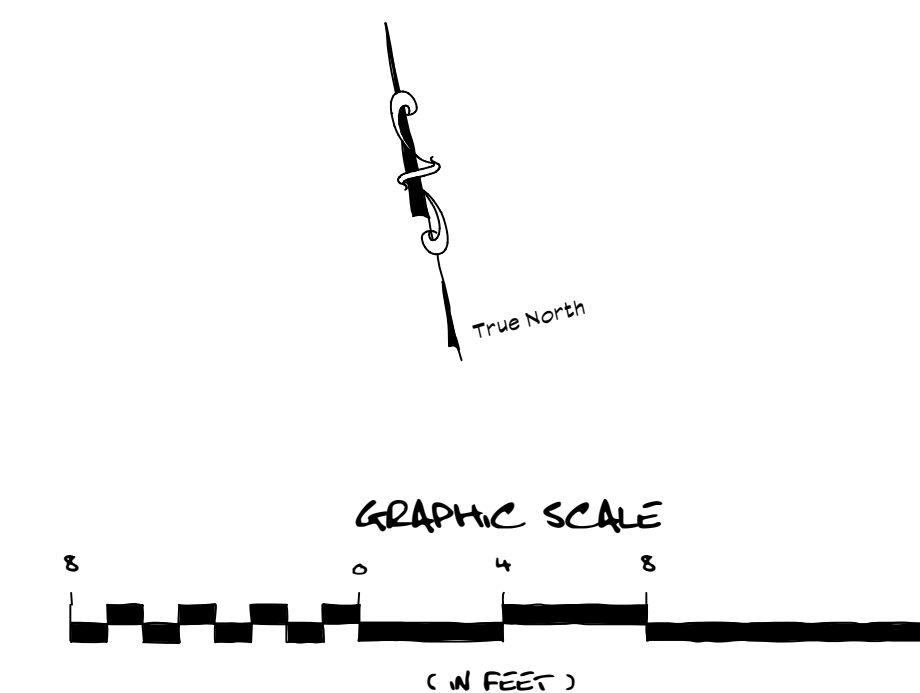
WALL LIGHT (LOW MOUNT)
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LAMPING: 7W/3000K LED
FINISH: BRONZE

WALL SCONCE (HIGH MOUNT)
LOUIS POULSEN: F+P WALL LED
LAMPING: 7W/3000K LED
FINISH: GRAPHITE GREY

FOOT/LANDSCAPE LIGHT
WAC LIGHTING: LED 3" WELL LIGHT
LAMPING: 7W/3000K LED
FINISH: BRONZE / ALUMINUM



Guest Unit : 745 sq. ft.
Garage : 745 sq. ft.





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Scale _____

3/16" = 1' - 0"

Sheet Title _____

Exterior Elevations 1

Sheet Number _____

A-7

Sheet 7 in a series of 14



NORTH ELEVATION



EAST ELEVATION



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Seal of the Architect _____



C-27319

Date Signed _____

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n/a

Plot Date _____

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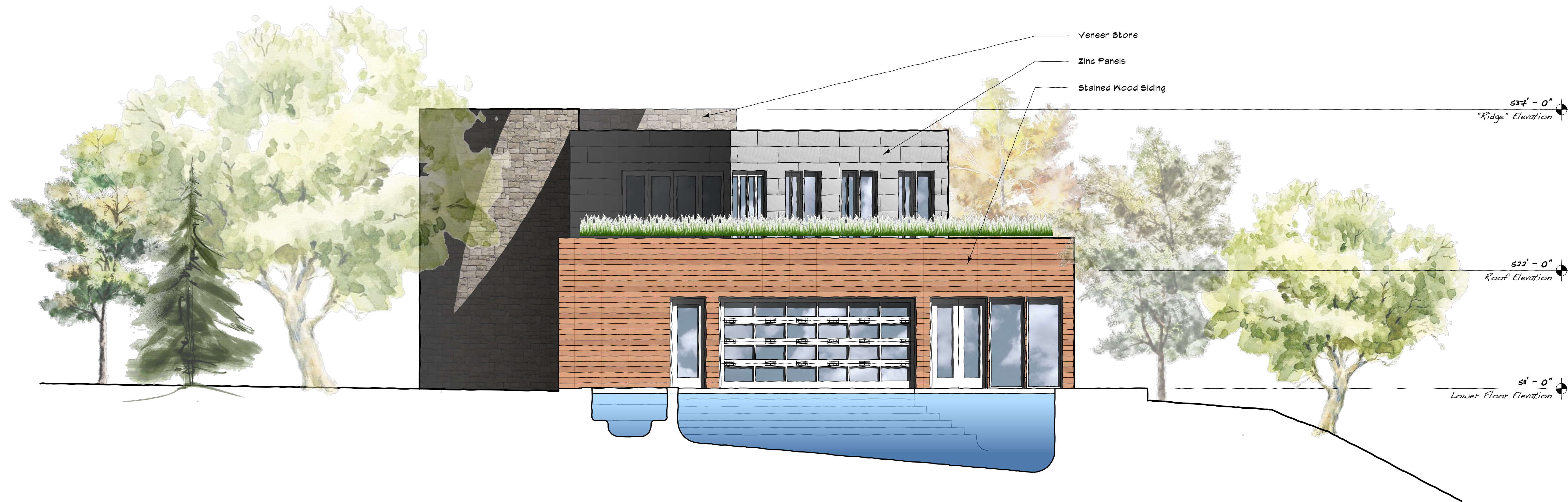
Sheet Title _____

Exterior Elevations

Sheet Number _____

A-8

Sheet 8 in a series of 14



WEST ELEVATION



SOUTH ELEVATION



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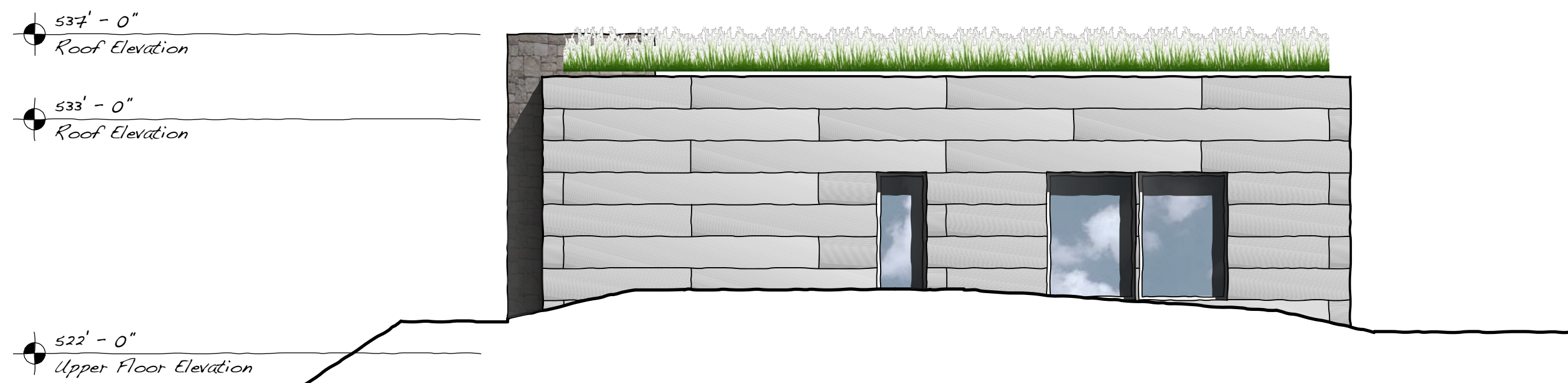
Sheet Title _____

Garage Elevations

Sheet Number _____

A-9

Sheet 9 in a series of 14



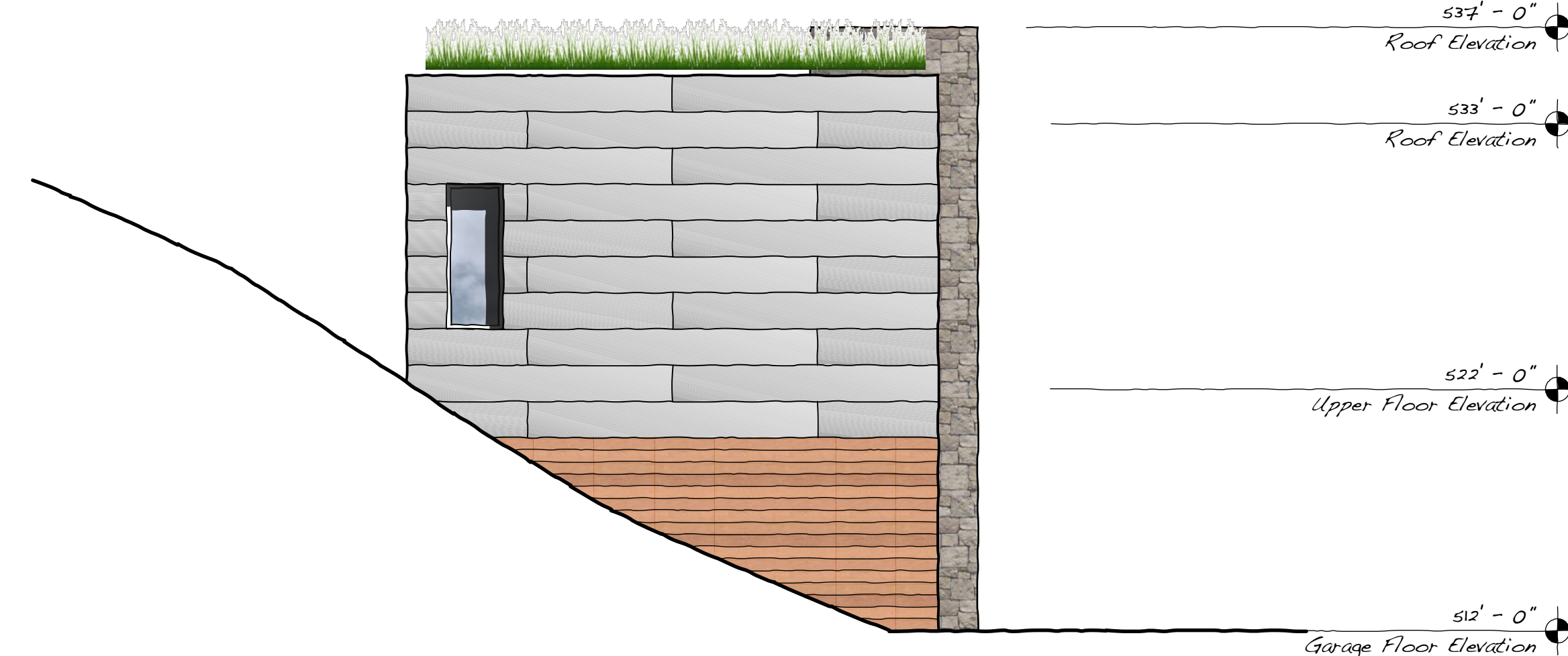
NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



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Issues:

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3/16" = 1' - 0"

Sheet Title _____

Building Sections 1

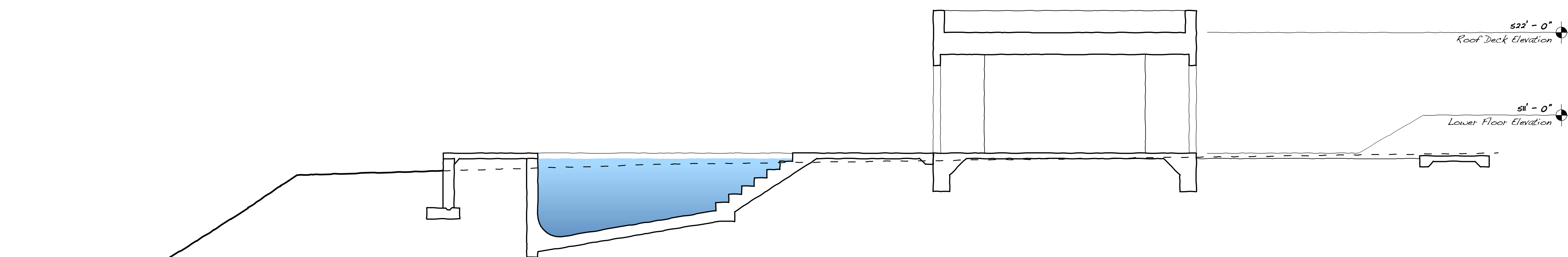
Sheet Number _____

A-10

Sheet 10 in a series of 14



1 - 1



2 - 2



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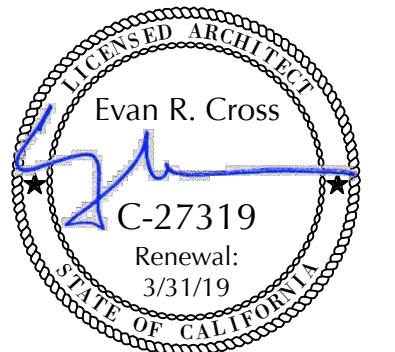
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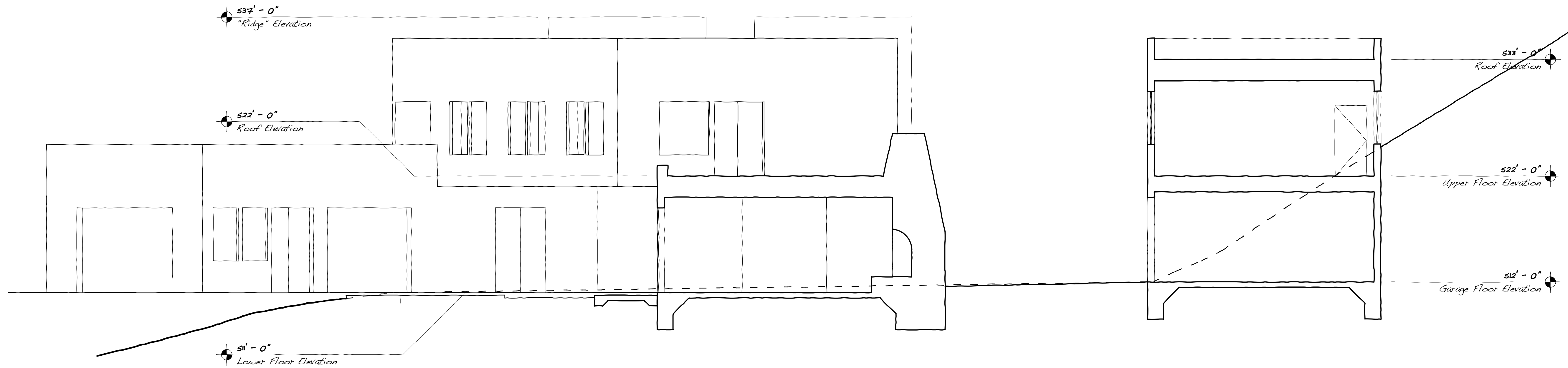
Sheet Title _____

Building Sections 2

Sheet Number _____

A-11

Sheet 11 in a series of 14



3 - 3



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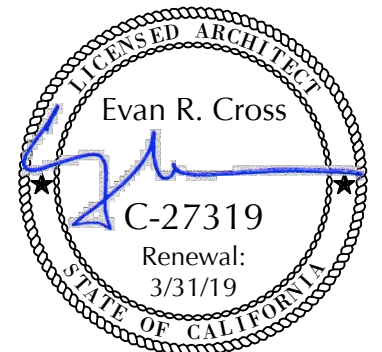
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Sheet Title _____

Materials / Colors

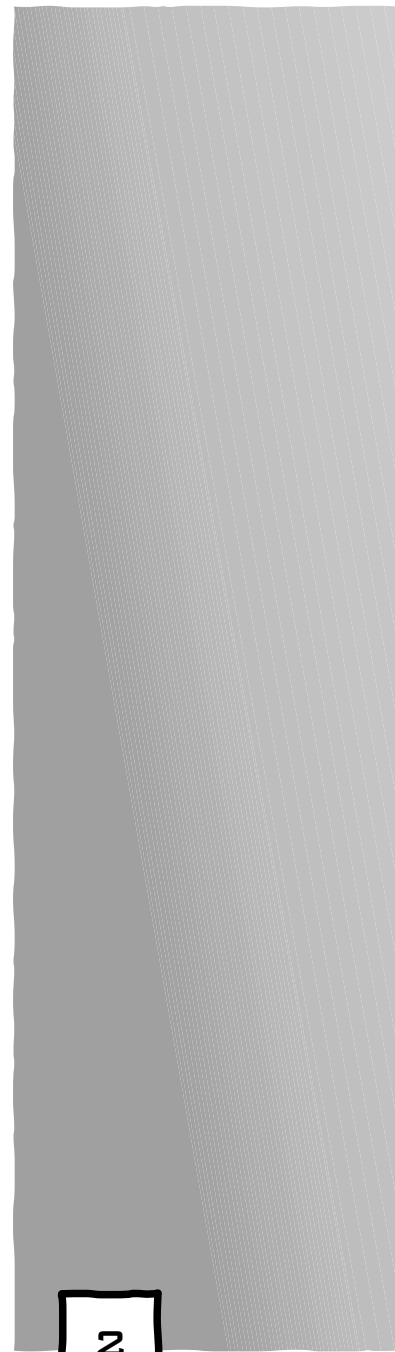
Sheet Number _____

A-12


Sheet 12 in a series of 14



1
CAST IN PLACE
EXPOSED CONCRETE
NATURAL




2
ZINC PANELS
NATURAL




3
ALUM. WINDOW
& DOOR FRAMES
NATURAL

4
LOW E, NON-
REFLECTIVE
GLASS



5
VENEER STONE
LEDGESTONE



6
HORIZONTAL
WOOD SIDING
STAINED

LOT
9

MARINDA HEIGHTS • FAIRFAX, CA

MATERIALS / COLORS SAMPLE BOARD



Pahana known, architects a.i.a.
 81 Throckmorton Avenue, Suite 204
 Mill Valley, California 94941
 Telephone: (415) 383-9531
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Consultant _____

Project Title _____

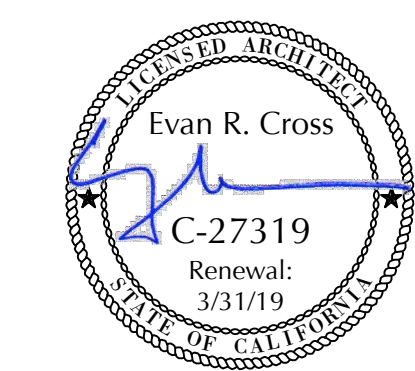
680 Marinda Residence

(Lot #9)

at Marinda Avenue
 Fairfax, California

A.P.N. ### - ### - ##

Seal of the Architect _____



C-27319

Date Signed _____

Project Number _____

n/a

Plot Date _____

Dec 20, 2017

Revisions: _____

| No. | Date | Description |
|-----|----------|---------------------------------|
| 1 | 12.20.17 | Revisions Per Planning Comments |

Issue Date _____

August 11, 2017

Issues: _____

| No. | Date | Description |
|-----|---------|--------------------------|
| 1 | 8.11.17 | Preliminary Planning Set |

Scale _____

1/8" = 1' - 0"

Sheet Title _____

Grading Plan

Sheet Number _____

A-13

Sheet 13 in a series of 14





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Sheet Title _____

Story Pole Plan

Sheet Number _____

A-14

Sheet 14 in a series of 14

