

VESTING TENTATIVE MAP MARINDA HEIGHTS SUBDIVISION FAIRFAX, CALIFORNIA

PROJECT AREA

THE PROJECT AREA IS 100.504 ACRES.

THE PROJECT AREA INCLUDES THE FOLLOWING ASSESSOR PARCELS AND THEIR RESPECTIVE TYPES OF RESIDENTIAL ZONES:

- APN(S):
- 001-150-12 (UR-10 UPLAND RESIDENTIAL (10 AC/DU))
 - 001-160-09 (UR-10 UPLAND RESIDENTIAL (10 AC/DU))
 - 001-251-31 (UR-10 UPLAND RESIDENTIAL (10 AC/DU))
 - 001-171-51 (R.S.-7.5 SINGLE FAMILY RESIDENTIAL)

OWNER
TIMBERSTONE 4038T LLC
P.O. BOX 2434
MILL VALLEY, CA 94942
TEL. (415)363-1356

ENGINEER
OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS, INC.
7200 REDWOOD BLVD STE. 308
NOVATO, CA 94945
TEL. (415)897-2800

ENGINEER'S STATEMENT

I, Leon E. Oberkamper, state that I am a Registered Civil Engineer under the laws of the State of California, that preparation of the map shown hereon was done by me or under my direction.

Signed this _____ day of _____ 2017

Leon E. Oberkamper RCE 12094

GENERAL NOTES:

PER TOWN OF FAIRFAX TITLE 16.08.020 PARAGRAPH C-1.K:

EVERY PROPOSED HOUSE HAS BEEN DESIGNED TO INCORPORATE AN ATMOSPHERIC REGULATION SYSTEM CONSISTING OF 6 INCH PIPING BURIED A MINIMUM OF 6 FEET BELOW AND WITHIN THE PROPOSED BUILDING ENVELOPES WHICH, TAKING ADVANTAGE OF THE NATURAL MEAN TEMPERATURE OF THE EARTH BELOW THE SURFACE (55 DEGREES), WILL BE OF SUFFICIENT LINEAL FEET THAT THE TOTAL VOLUME OF AIR DRAWN THROUGH THE SYSTEM IS LARGE ENOUGH PROPORTIONAL TO THE TOTAL VOLUME OF LIVING SPACE IN ITS PARTICULAR HOUSE THAT IT WILL COOL THE INTERIOR OF THAT HOUSE DURING SUMMER MONTHS.

THE SYSTEM IS MOTIVATED BY A SMALL EFFICIENT 24 VOLT FAN WORKING OFF THE SOLAR PANELS . IT WILL BE CONTROLLED THROUGH STANDARD THERMOSTATS WHICH ALSO CONTROL A NUMBER OF DUCT BAFFLES SUCH THAT ON HOT DAYS THE COOL AIR WILL BE INTRODUCED NEAR THE FLOOR WHILE AN INTERIOR/EXTERIOR BAFFLE AT THE ROOF LINE WILL OPEN ALLOWING THE COLLECTED HOT AIR TO EXIT THE AS COOLER AIR DISPLACES IT.

IN THE COLDER WINTER MONTHS WITH THE THERMOSTATS CALLING FOR HEAT THE INTERIOR/EXTERIOR ROOF LINE BAFFLE WILL BE CLOSED TRAPPING HOT AIR AS IT RISES . THE AIR COOLED TO EARTHS MEAN TEMPERATURE NOW IS DIRECTED TO THE CEILING WHERE IT WILL PICK UP THE HEAT STORED IN THE HOT AIR COLLECTING THERE AND COOLING IT SUFFICIENTLY TO CAUSE IT TO SINK BACK DOWN TO THE LIVING AREA MIXING WITH WARMER AIR BEING PULLED INTO THE FURNACE INTAKE TO BE REHEATED . THIS NOT ONLY SAVES ENERGY NEEDED TO HEAT THE COLDER OUTSIDE AIR UP TO COMFORTABLE TEMPERATURES ESPECIALLY ON THOSE DAYS /NIGHTS THAT ARE COLDER THAN 55 DEGREES, BUT IT ALSO SATISFIES THE BUILDING CODE REQUIREMENTS FOR POSITIVE FRESH AIR FLOW INTO OUR INCREASINGLY AIR TIGHT BUILDINGS.

THIS SYSTEM WILL BE AUGMENTED FURTHER BY THE USE OF LIVING ROOFS WHICH MODULATE TEMPERATURE AND THE USE OF EXTERIOR MATERIALS SPECIALLY CHOSEN FOR THE CONDITIONS EXPECTED IN SPECIFIC AREAS.

PER TOWN OF FAIRFAX TITLE 16.08.020 PARAGRAPH C-1.L:

CALIFORNIA HAS BEEN INCREASINGLY AFFECTED BY THE GROWING DISPARITY BETWEEN DEMAND FOR MORE HOUSING AND THE NUMBER OF NEW HOUSING UNITS BEING CREATED EVERY YEAR. SEVERAL LAWMAKERS IN SACRAMENTO INCLUDING GOVERNOR BROWN HAVE CALLED FOR CHANGES TO ENCOURAGE CREATION OF ADDITIONAL HOUSING UNITS IN ORDER TO COUNTER THE RISING PRICES WHICH ARE THE DIRECT RESULT OF THIS BOTTLE NECK.

THE CHALLENGE COMES IN FINDING WAYS TO INCREASE NUMBERS WITHOUT NEGATIVELY IMPACTING THE QUALITY OF LIFE IN THOSE COMMUNITIES WHERE IT IS PLACED.

THIS PROPOSED PROJECT WILL INCREASE THE NUMBER OF HOUSING UNITS BY ONLY A MODEST 10. HOWEVER, THROUGH THE GREEN BELTING OF IN EXCESS OF 95% OF THE TOTAL ACREAGE AND CONSTRUCTION AND DEDICATION OF CONNECTING PUBLIC TRAILS AND PARK AREAS, IT DISPROPORTIONATELY IMPROVES THE COMMUNITY'S QUALITY OF LIFE. FURTHER THE MODEST IMPACT OF 10 HOMES AS COMPARED TO THE NUMBER OF RESIDENTS WHO BENEFIT FROM EXPANDED AND CODIFIED USE MAY ALLOW THE TOWN THE FLEXIBILITY TO APPROVE HIGHER DENSITY HOUSING IN OTHER AREAS BY TEMPERING THEIR IMPACT.

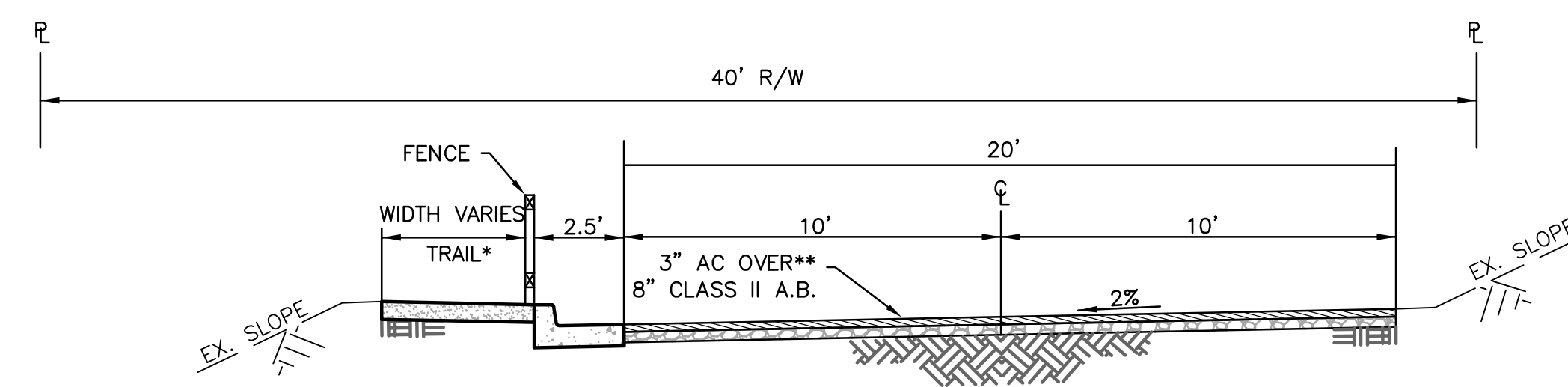
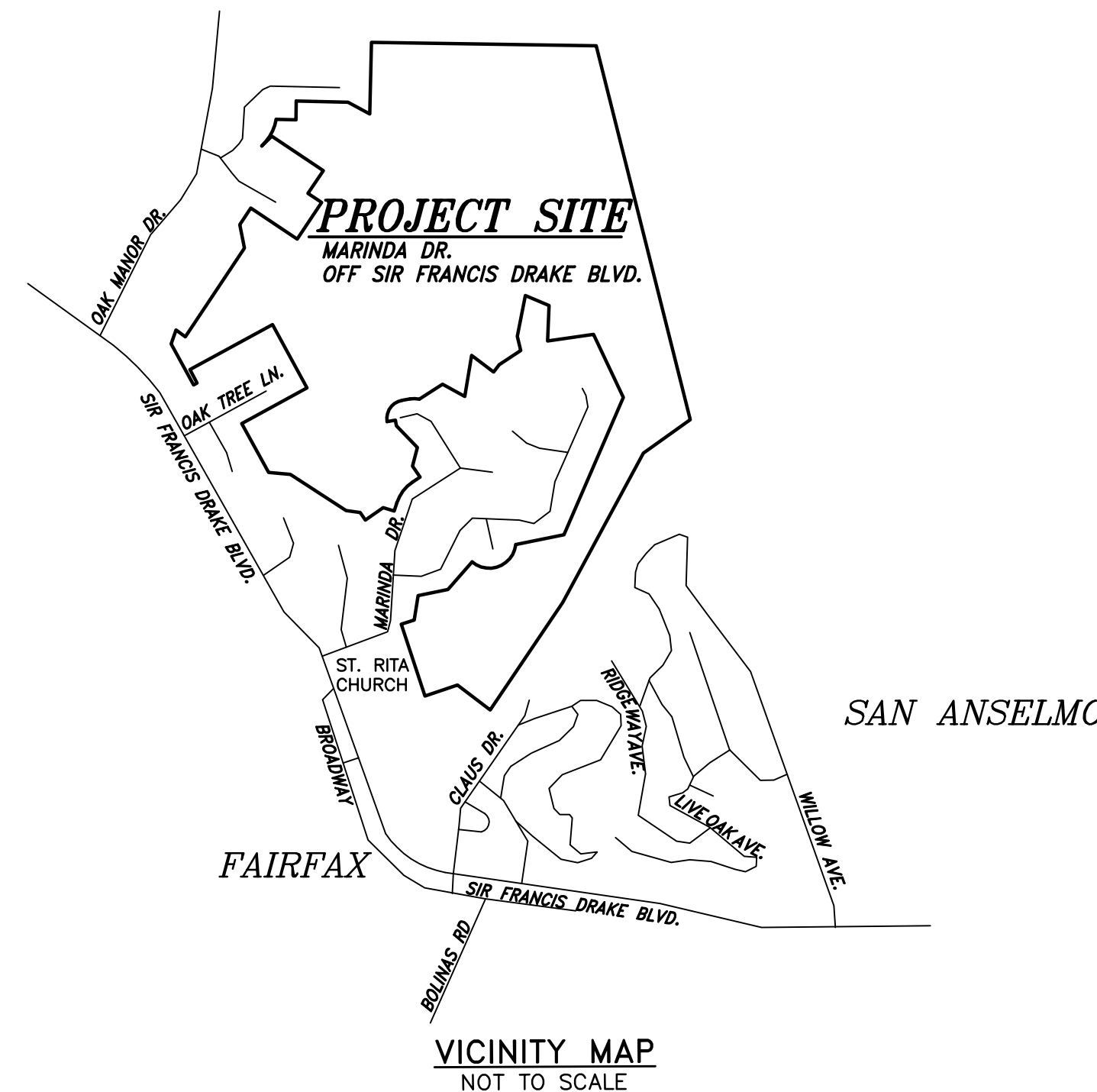
UTILITY NOTES:

1. SANITARY SEWER TO BE PROVIDED BY ROSS VALLEY SANITARY DISTRICT.
2. WATER TO BE PROVIDED BY MARIN MUNICIPAL WATER DISTRICT.
3. GAS AND ELECTRICITY TO BE PROVIDED BY PACIFIC, GAS & ELECTRIC.
4. TELEPHONE TO BE PROVIDED BY AT&T.
5. CABLE TV TO BE PROVIDED BY COMCAST.

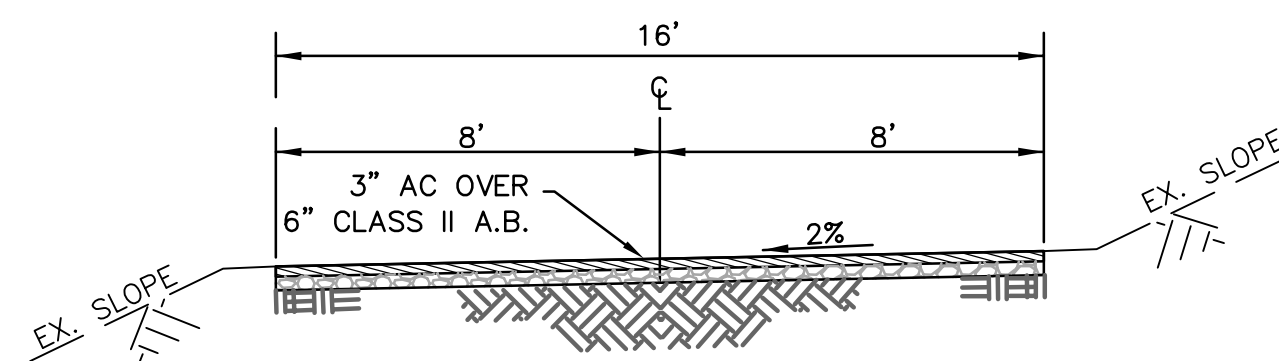
BENCHMARK NOTE

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAV88) TIED TO NATIONAL GEODETIC SURVEY (NGS) BENCHMARK PID: "HT3516." SAID BENCHMARK HAVING AN ORTHOMETRIC HEIGHT OF 114.87 FEET (FIRST ORDER, CLASS II, JUNE 1991 ADJUSTMENT).

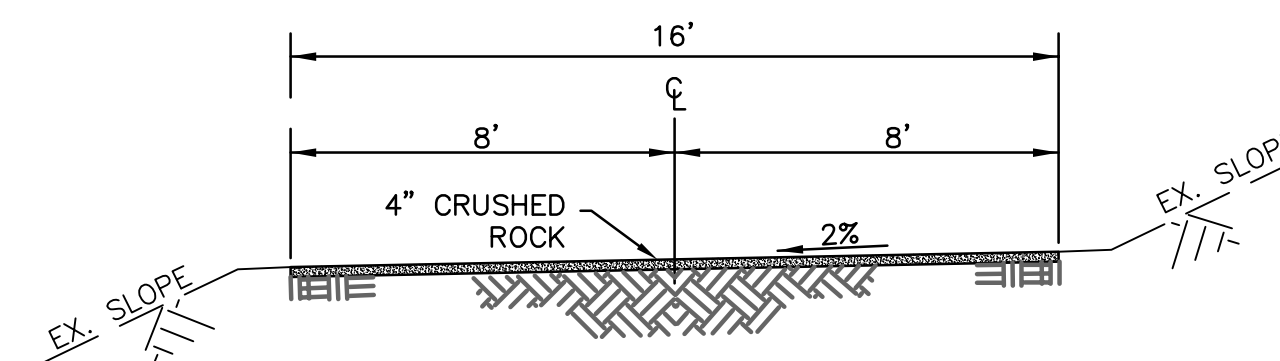
DESCRIBED BY NGS AS FOLLOWS: "IN SAN ANSELMO, AT THE INTERSECTION OF SIR FRANCIS DRAKE BOULEVARD AND SUFFIELD AVENUE, 38.7 M (127.0 FT) WEST OF THE CENTERLINE OF BUTTERFIELD ROAD, 12.4 M (40.7 FT) WEST OF THE SOUTHWEST CORNER OF THE CONCRETE FOUNDATION FOR AN UNDERGROUND CABLE JUNCTION BOX, 12.0 M (39.4 FT) NORTH OF THE CENTERLINE OF THE BOULEVARD, AND 8.1 M (26.6 FT) SOUTHEAST OF THE CENTERLINE OF THE AVENUE. NOTE--ACCESS TO DATUM POINT IS HAD THROUGH A 5-INCH LOGO CAP. THE MARK IS ABOVE LEVEL WITH THE AVENUE."



NOTES
* THE PROPOSED TRAIL SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 6 OF THE MARIN COUNTY OPEN SPACE DISTRICT'S "ROAD AND TRAIL MANAGEMENT PLAN," DATED DECEMBER 16, 2014.
** THE ROADWAY SECTIONS WILL BE DESIGNED AS A DURABLE PAVEMENT THAT WILL CARRY THE FULL LOADS REQUIRED BY THE FIRE DEPARTMENT.



TYPICAL SECTION - 16' DRIVEWAY
NOT TO SCALE



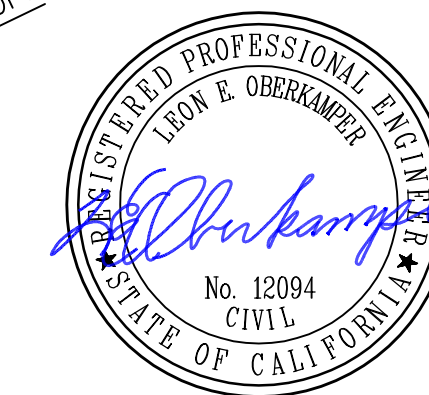
TYPICAL SECTION - 16' FIRE ROAD
NOT TO SCALE

LEGEND

Ø	DIAMETER	---	BOUNDARY LINE
APN	TAX ASSESSOR'S PARCEL NUMBER	---	CENTERLINE
EP	EDGE OF PAVEMENT	---	CONTOURS (EXISTING)
E.A.T.	EMERGENCY ACCESS & TRAIL EASEMENT	---	CONTOURS (PROPOSED)
E.A.T.U.	EMERGENCY ACCESS, TRAIL, & UTILITY EASEMENT	---	EASEMENT LINE
E.S.M.T.	EASEMENT	FM	FORCE MAIN SEWER
D.E.	DRAINAGE EASEMENT	---	OUTLET DISSIPATER
DI	DRAINAGE INLET	---	PROPERTY LINE (PROPOSED)
FF	FINISHED FLOOR	SS	SEWER (PROPOSED)
FL	FLOW LINE	SD	STORM DRAIN (PROPOSED)
FRK	FORK	W	WATER (PROPOSED)
GF	GARAGE FLOOR	---	BIODIFFUSION/RETENTION
R.M.	RECORD MAP	---	TRAIL AREA
R.A.U.	ROADWAY ACCESS, & UTILITY EASEMENT	---	PERMEABLE JOINT PAVERS
R.A.T.U.	ROADWAY ACCESS, TRAIL & UTILITY EASEMENT	---	
SS	SANITARY SEWER		
SD	STORM DRAIN		
SDCO	STORM DRAIN CLEAN OUT		
SDMH	STORM DRAIN MANHOLE		
UFF	UPPER LEVEL FINISHED FLOOR		
WHT	WALL HEIGHT		
⊙	EXISTING TREE TO REMAIN		
⊙	EXISTING TREE TO BE REMOVED		

INDEX OF SHEETS

- C1.0 COVER SHEET
- C1.1 STORMWATER CONTROL MEASURE DETAILS
- C2.0 BOUNDARY AND TOPOGRAPHIC MAP
- C2.1 LOT LAYOUT & DIMENSIONS I
- C2.2 LOT LAYOUT & DIMENSIONS III
- C2.3 LOT LAYOUT & DIMENSIONS III
- C2.4 TRAIL, PARK & ROAD ACCESS MAP
- C2.5 LIMIT OF POTENTIAL DISTURBANCE MAP
- C2.6 BUILDING ENVELOPES WITH ACCESS ROADWAYS MAP
- C2.7 SLOPE ANALYSIS MAP
- C3.0 EXISTING CONDITIONS - LOTS 2 & 3
- C3.1 EXISTING CONDITIONS - LOTS 1 & 4-9
- C3.2 EXISTING CONDITIONS - LOT 10
- C4.0 EASEMENT & UTILITY PLAN
- C4.1 EASEMENT & UTILITY PLAN - LOTS 2 & 3
- C4.2 EASEMENT & UTILITY PLAN - LOTS 1 & 4-9
- C4.3 EASEMENT & UTILITY PLAN - LOT 10
- C5.0 PRELIMINARY GRADING & DRAINAGE PLAN
- C5.1 PRELIMINARY GRADING & DRAINAGE PLAN - LOT 2
- C5.2 PRELIMINARY GRADING & DRAINAGE PLAN - LOT 3
- C5.3 PRELIMINARY GRADING & DRAINAGE PLAN - LOTS 4 & 5
- C5.4 PRELIMINARY GRADING & DRAINAGE PLAN - LOTS 1 & 6 ROAD
- C5.5 PRELIMINARY GRADING & DRAINAGE PLAN - LOTS 1 & 6
- C5.6 PRELIMINARY GRADING & DRAINAGE PLAN - LOTS 7 - 9
- C5.7 PRELIMINARY GRADING & DRAINAGE PLAN - LOT 5 E.A.T.U.
- C5.8 PRELIMINARY GRADING & DRAINAGE PLAN - LOT 10
- C6.0 MARINDA DRIVE PLAN & PROFILE I
- C6.1 MARINDA DRIVE PLAN & PROFILE II
- C6.2 MARINDA HEIGHTS FIRE ROAD PLAN & PROFILE I
- C6.3 MARINDA HEIGHTS FIRE ROAD PLAN & PROFILE I
- C6.4 LOT 6 DRIVEWAY PLAN & PROFILE
- C6.5 LOT 10 DRIVEWAY PLAN & PROFILE



PLAN CHECK ONLY
07/17/18

1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

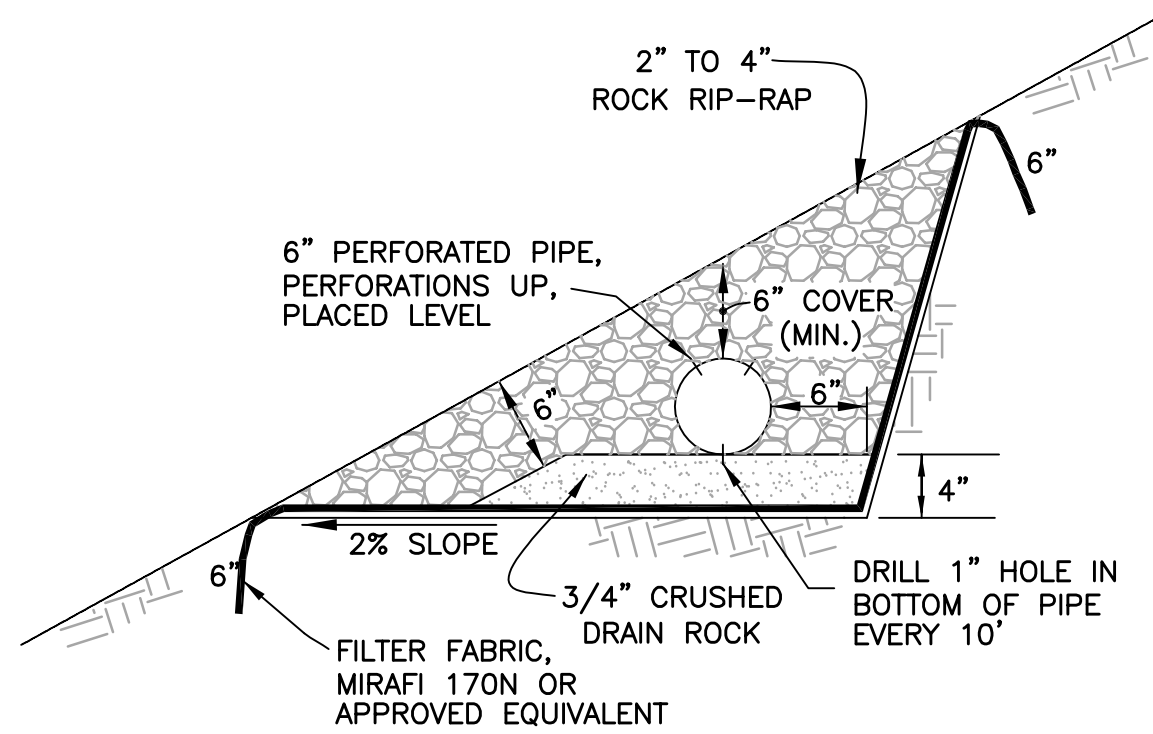
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COVER SHEET
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
CALIFORNIA
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
TOWN OF FAIRFAX

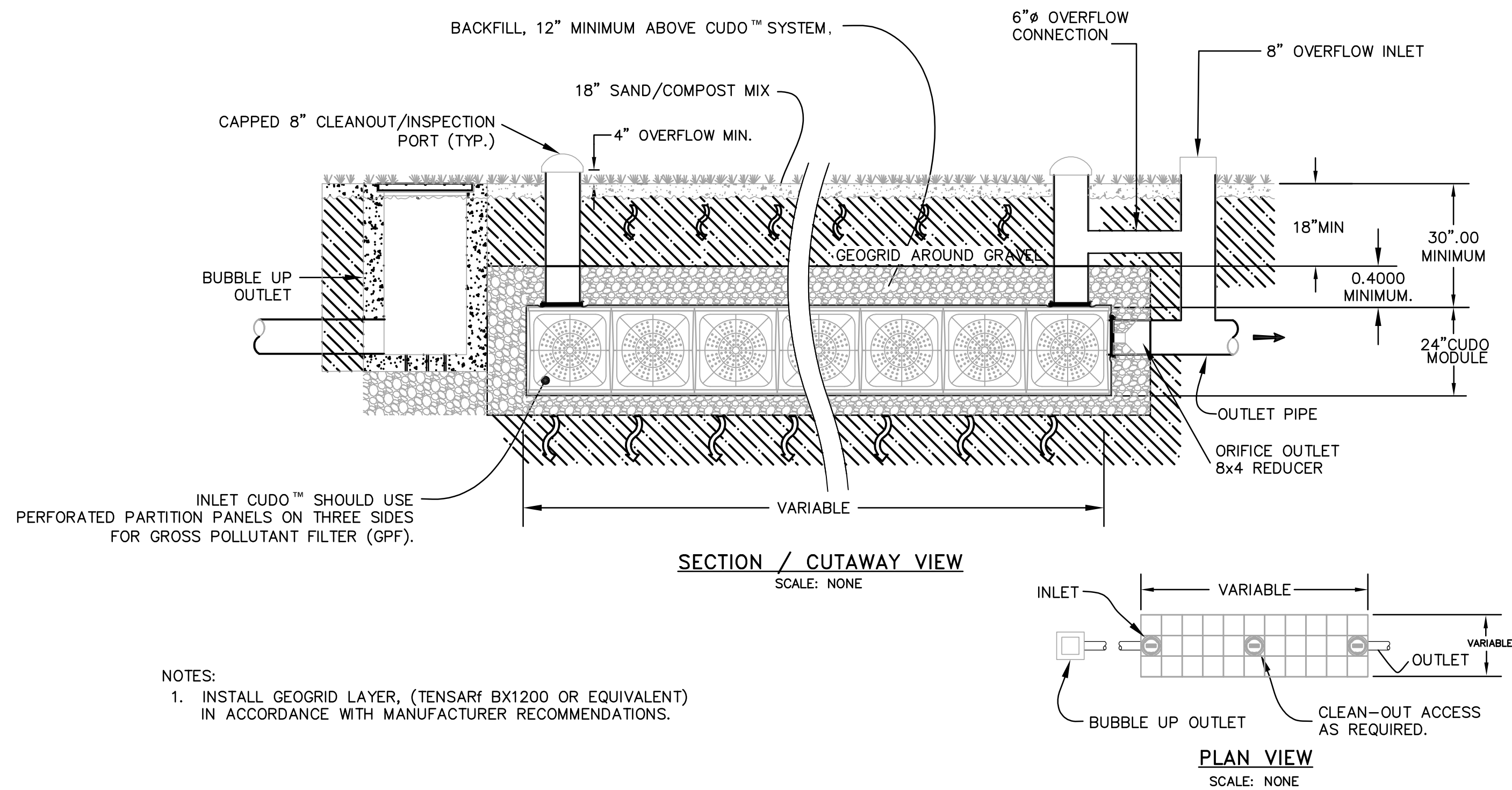
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Checked by:	LEO
Date:	DECEMBER 2017

SHEET
C1.0

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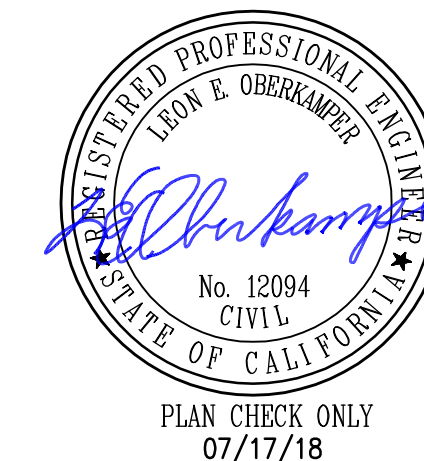


NOTE: PERFORATED PIPE MUST BE INSTALLED LEVEL TO ENSURE EVEN STORMWATER DISCHARGE
PERFORATED PIPE OUTLET DISSIPATER
 NO SCALE



- NOTES:
 1. INSTALL GEOGRID LAYER, (TENSAR BX1200 OR EQUIVALENT) IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

INTEGRATED BIOINFILTRATION-DETENTION SYSTEM TYPICAL DETAILS
 SCALE: NONE



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STORMWATER CONTROL MEASURE DETAILS
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

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BOUNDARY & TOPOGRAPHIC MAP

SCALE: 1" = 200'

EASEMENT NOTE:

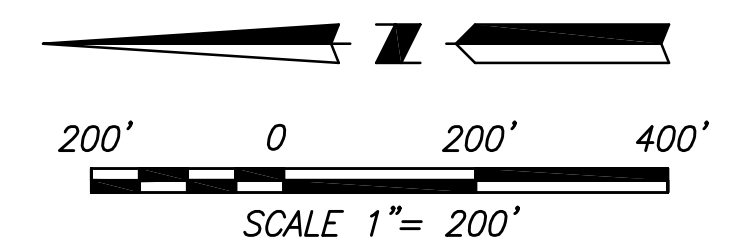
ALL EASEMENTS SHOWN IN THE TITLE REPORT AND ALL EASEMENTS KNOWN FOR THE PROPERTY ARE SHOWN ON THE MAP AS REQUIRED BY THE CODE.

LEGEND

- BOUNDARY LINE
- ZONING AREA: R.S. - 7.5 SINGLE FAMILY RESIDENTIAL
- 120--- MAJOR CONTOURS
- 121--- MINOR CONTOURS



PLAN CHECK ONLY
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BOUNDARY DIMENSIONS				
TAG #	BEARING	DISTANCE	RADIUS	DELTA Δ
1	S1° 8' 32"W	99.93'	-	-
2	N88° 41' 23"W	74.28'	-	-
3	CURVE	161.71'	270.00'	34° 19' 00"
4	N45° 28' 35"E	74.28'	-	-
5	S33° 47' 35"E	145.00'	-	-
6	S56° 47' 35.08"W	232.00'	-	-
7	S53° 47' 35"W	105.49'	-	-
8	N61° 20' 16"E	21.13'	-	-
9	N28° 39' 44"W	80.00'	-	-
10	S84° 49' 29"E	116.29'	-	-
11	S82° 05' 47"E	75.00'	-	-
12	S33° 35' 47"E	49.00'	-	-
13	N54° 48' 27"E	116.00'	-	-
14	S72° 01' 28"E	61.49'	-	-
15	N17° 54' 13.11"E	46.04'	-	-
16	CURVE	140.08'	208.36'	38° 31' 04"
17	N56° 26' 47"E	46.72'	-	-
18	N33° 31' 47"W	71.00'	-	-
19	N14° 19' 13"E	100.54'	-	-
20	N43° 56' 46.89"W	160.00'	-	-
21	N10° 03' 53.77"W	29.89'	-	-
22	S79° 56' 29.62"W	43.99'	-	-
23	CURVE	152.367'	97.00'	90° 00' 00"
24	N79° 56' 13.11"E	43.43'	-	-
25	CURVE	48.75'	121.49'	22° 59' 30"
26	N38° 19' 29"E	49.43'	-	-
27	N13° 55' 31"W	77.26'	-	-
28	CURVE	305.43'	140.00'	125° 00' 00"
29	S72° 04' 13"W	72.51'	-	-

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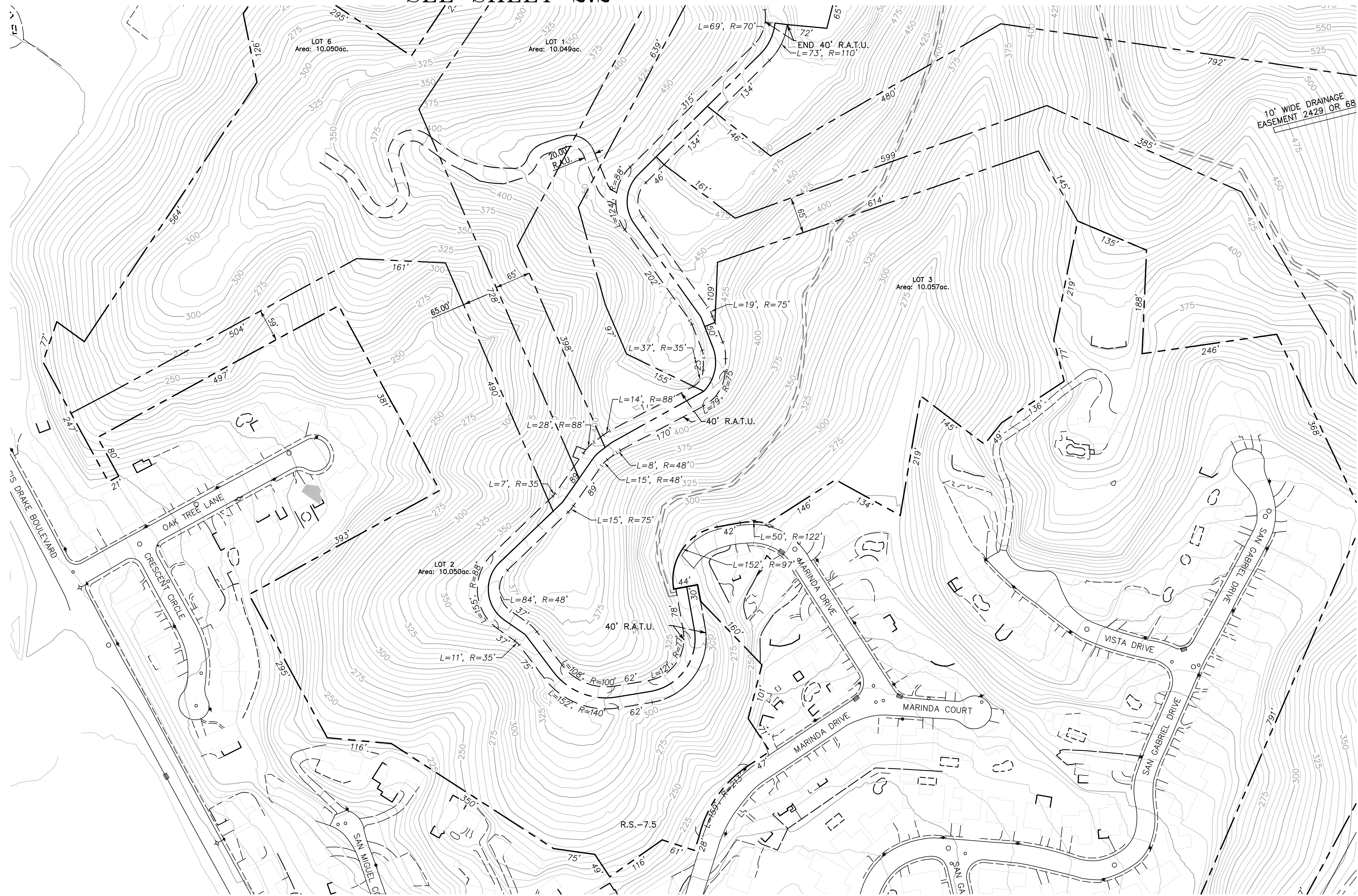
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BOUNDARY & TOPOGRAPHIC MAP
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1" = 200'
 Drawn by: HUS
 Field Crew: JA/JH
 Checked by: LEO
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SHEET

C2.0



SEE SHEET 2.2

SEE SHEET 2.3

MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS I

SCALE: 1" = 100'

LEGEND

- BOUNDARY LINE
- 120- MAJOR CONTOURS
- 121- MINOR CONTOURS
- PROPERTY LINE



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SCALE 1" = 100'

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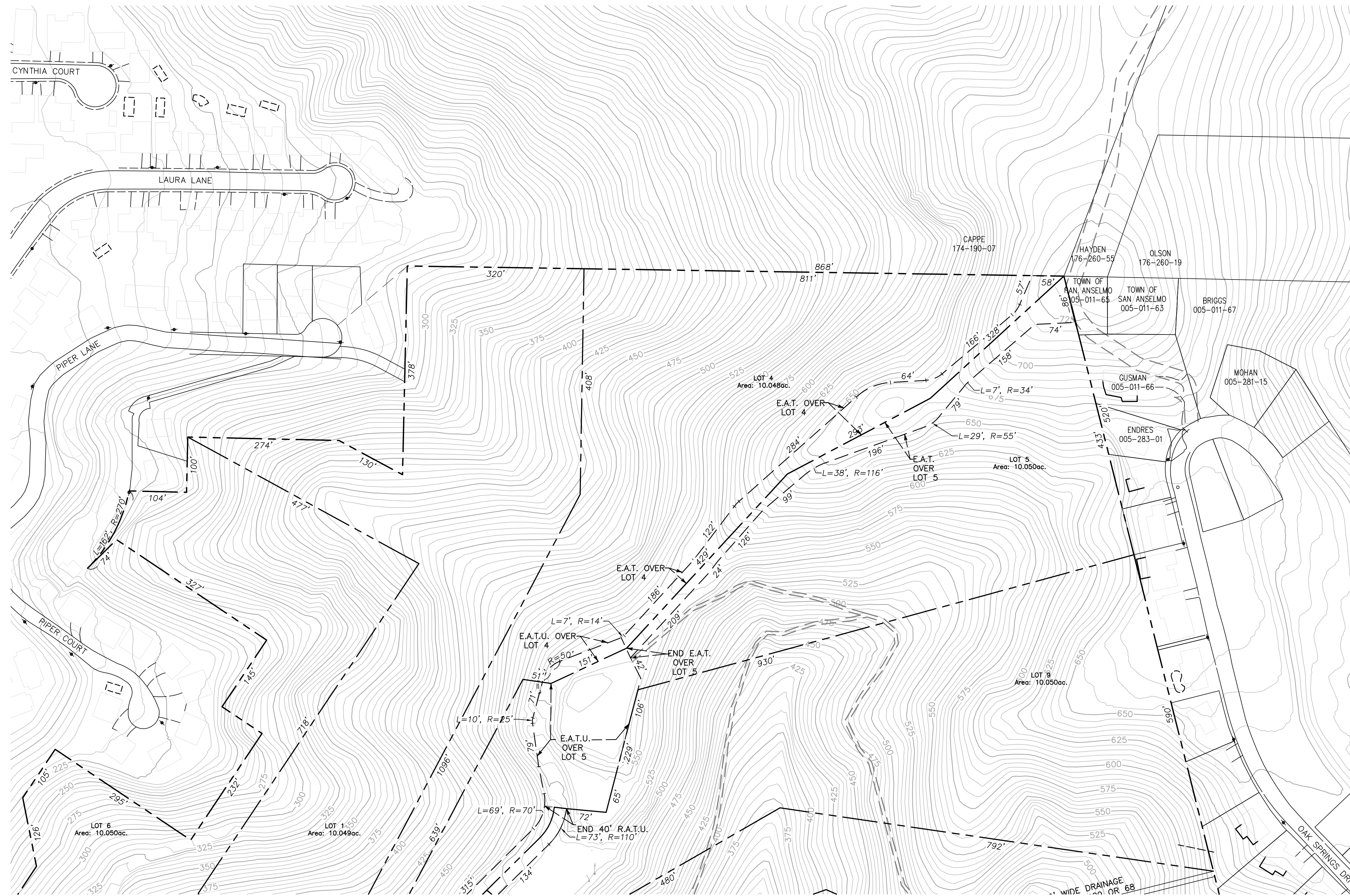
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Scale: 1" = 100'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
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SEE SHEET 2.1

MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS II

SCALE: 1" = 100'

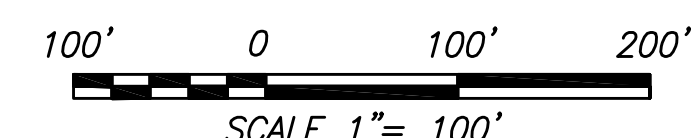
SEE SHEET 2.3

LEGEND

- BOUNDARY LINE
- 120--- MAJOR CONTOURS
- 121--- MINOR CONTOURS
- PROPERTY LINE



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MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS II
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 CALIFORNIA

Scale: 1" = 100'
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SEE SHEET C2.2



SEE SHEET C2.1

MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS III

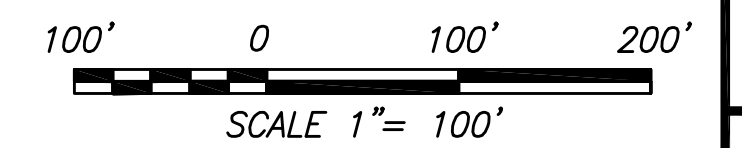
SCALE: 1" = 100'

LEGEND

- BOUNDARY LINE
- - - EXISTING TRAIL
- 120— MAJOR CONTOURS
- 121— MINOR CONTOURS
- - - PROPERTY LINE



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C2.3
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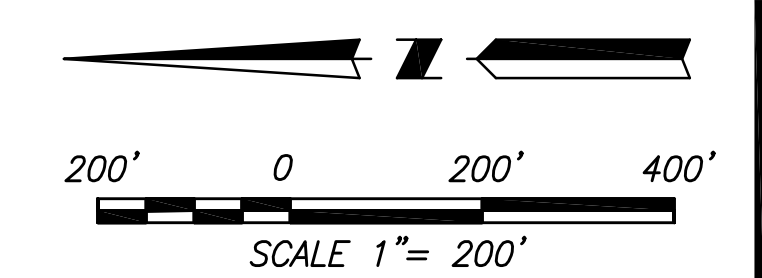


TRAIL, PARK & ROAD ACCESS MAP

SCALE: 1" = 200'



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Designed by:	HJS
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POTENTIAL HOUSE DISTURBANCE MAP

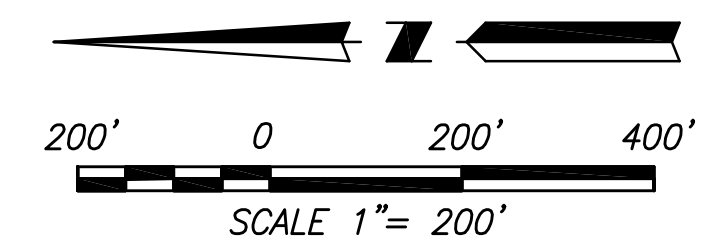
SCALE: 1" = 200'

NOTES:

- TOTAL SITE AREA = 100.50 ACRES
- POTENTIAL HOUSE DISTURBANCE AREA = 4.57 ACRES
- GREEN BELT AREA = 100.50 - 4.57 = 95.93 ACRES
- PERCENTAGE OF TOTAL SITE TO BE GREEN BELTED = $95.93/100.50$
= 95.45%

LEGEND

- LIMIT OF POTENTIAL HOUSE DISTURBANCE AREA
- GREEN BELT AREA



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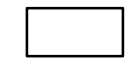

C2.5



NOTES:

ALL SHADED AREAS SHOWN SHALL REMAIN IN THEIR NATURAL STATE AND WILL BE PROTECTED BY DEED RESTRICTION FROM DEVELOPMENT AND FENCING.

LEGEND

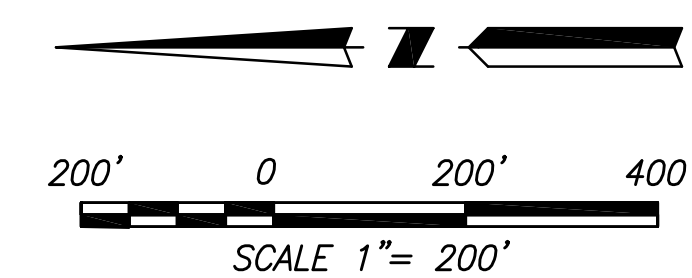
-  BUILDING ENVELOPE & ROADWAY ACCESS AREAS
-  NATURAL STATE AREAS

BUILDING ENVELOPES WITH ACCESS ROADWAY MAP

SCALE: 1" = 200'



PLAN CHECK ONLY
07/17/18



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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BUILDING ENVELOPE WITH ACCESS ROADWAY MAPS
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	1" = 200'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER 2017

SHEET
C2.6
 15-163



SLOPE ANALYSIS MAP

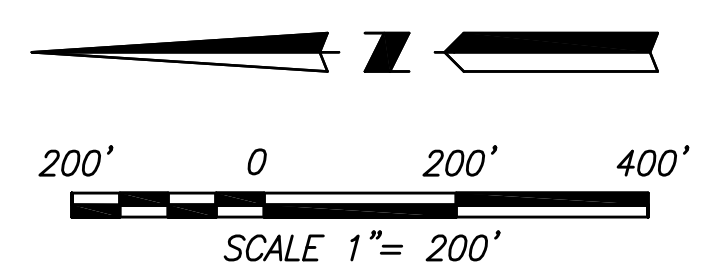
SCALE: 1" = 200'

LEGEND

- 0 - 20% SLOPE
- 20% - 30% SLOPE
- 30% - 40% SLOPE
- > 40% SLOPE



PLAN CHECK ONLY
07/17/18



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3		
4		

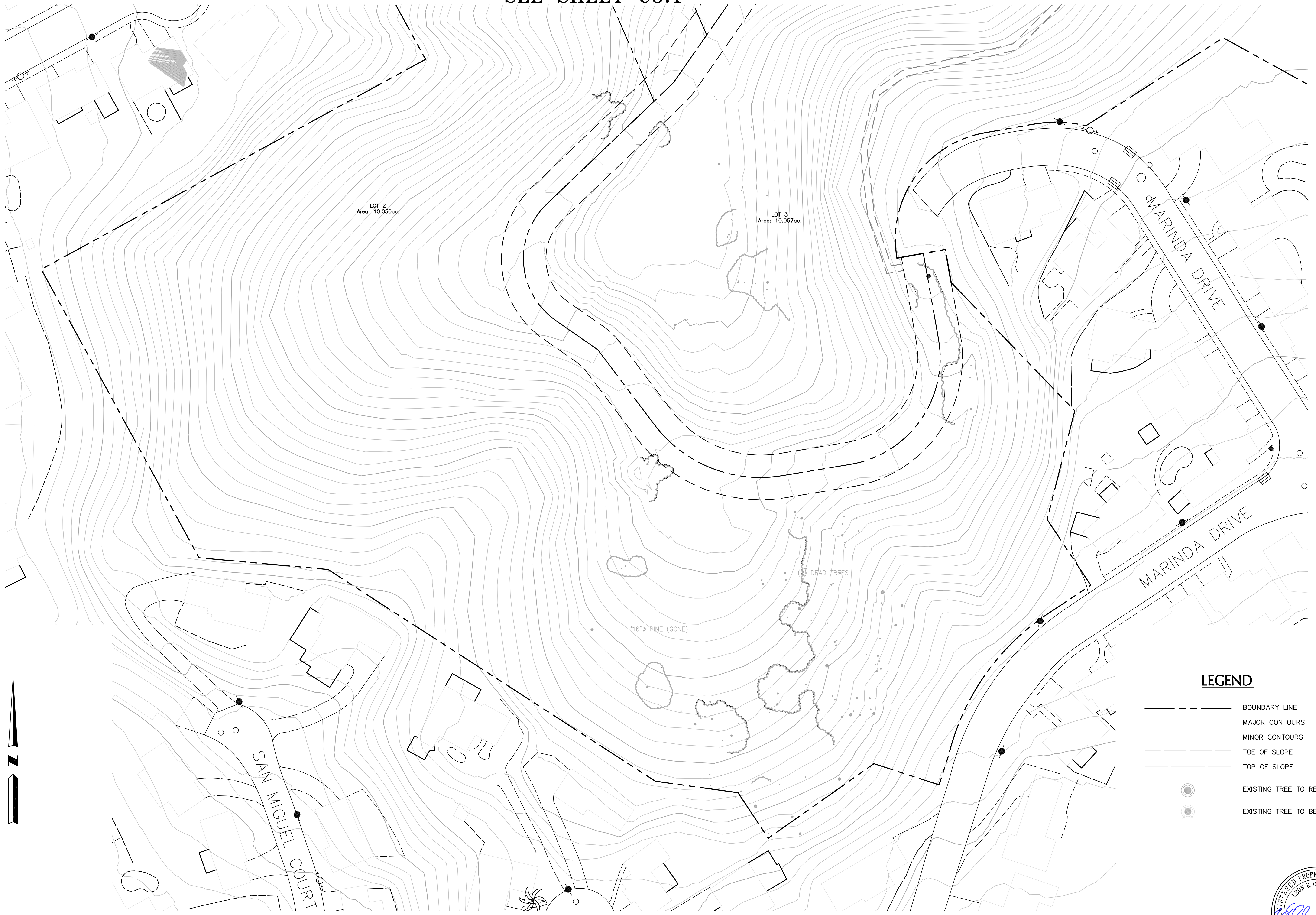
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SLOPE ANALYSIS MAP
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	1" = 200'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017

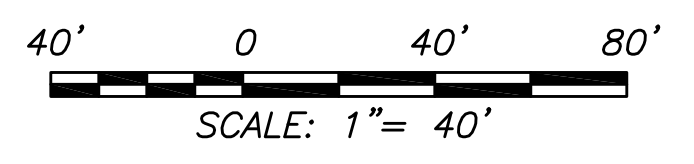
SHEET
C2.7
 15-163

SEE SHEET C3.1



LEGEND

- BOUNDARY LINE
- MAJOR CONTOURS
- MINOR CONTOURS
- TOE OF SLOPE
- TOP OF SLOPE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED



PLAN CHECK ONLY
07/17/18

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1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3		
4		

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EXISTING CONDITIONS - LOTS 2 & 3
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 CALIFORNIA

Scale: 1"=40'
 Drawn by: HUS
 Field Crew: JA/JH
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
C3.0

15-163



SEE SHEET C3.0


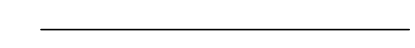
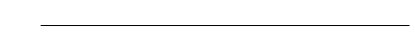




1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3		
4		

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EXISTING CONDITIONS - LOT 4 - 9
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	1" = 40'
Drawn by:	HUS
Field Crew:	JH/JH
Checked by:	LEO
Date:	DECEMBER, 2017
SHEET	C3.1
	15-163

LEGEND

-  BOUNDARY LINE
-  MAJOR CONTOURS
-  MINOR CONTOURS
-  TOE OF SLOPE
-  TOP OF SLOPE
-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED



PLAN CHECK ONLY
 07/17/18
 SCALE: 1" = 40'



EASEMENT & UTILITY PLAN

SCALE: 1" = 200'

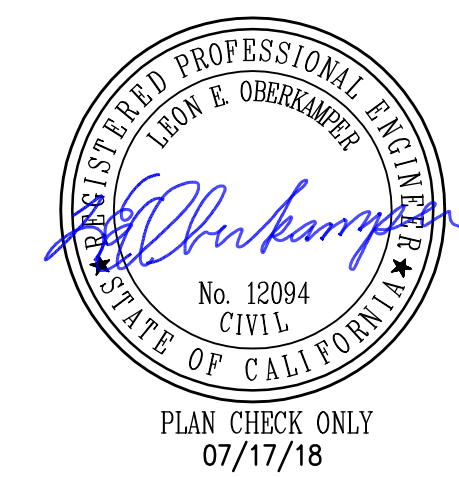
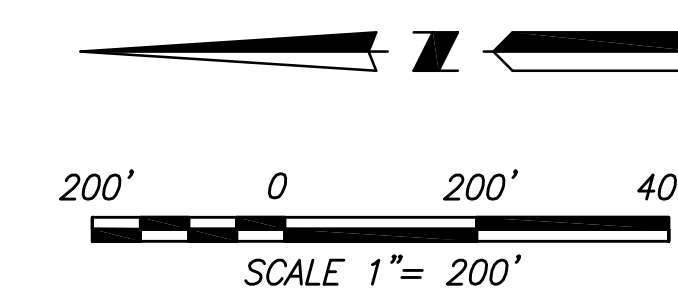
ABBREVIATIONS

- D.E. DRAINAGE EASEMENT
- E.A.T. EMERGENCY ACCESS & TRAIL EASEMENT
- E.A.T.U. EMERGENCY ACCESS, TRAIL & UTILITY EASEMENT
- R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY EASEMENT
- W.L.T. WATER LINE EASEMENT

LEGEND

- EASEMENT LINE
- PROPERTY LINE
- 120--- CONTOURS (EXISTING)

LOT TABLE	
DESCRIPTION	AREA (ACRES)
TOTAL SITE AREA	100.504
LOT 1	10.049
TOTAL LOT 1 ACCESS EASEMENTS	0.177
LOT 1 NET AREA	9.872
LOT 2	10.050
TOTAL LOT 2 ACCESS EASEMENTS	0.390
LOT 2 NET AREA	9.660
LOT 3	10.057
TOTAL LOT 3 ACCESS EASEMENTS	0.585
LOT 3 NET AREA	9.472
LOT 4	10.048
TOTAL LOT 4 ACCESS EASEMENTS	0.905
LOT 4 NET AREA	9.143
LOT 5	10.050
TOTAL LOT 5 ACCESS EASEMENTS	1.901
LOT 5 NET AREA	8.149
LOT 6	10.050
TOTAL LOT 6 ACCESS EASEMENTS	0.035
LOT 6 NET AREA	10.015
LOT 7	10.050
TOTAL LOT 7 ACCESS EASEMENTS	0.163
LOT 7 NET AREA	9.887
LOT 8	10.050
TOTAL LOT 8 ACCESS EASEMENTS	0.060
LOT 8 NET AREA	9.990
LOT 9	10.050
TOTAL LOT 9 ACCESS EASEMENTS	0.095
LOT 9 NET AREA	9.955
LOT 10	10.050



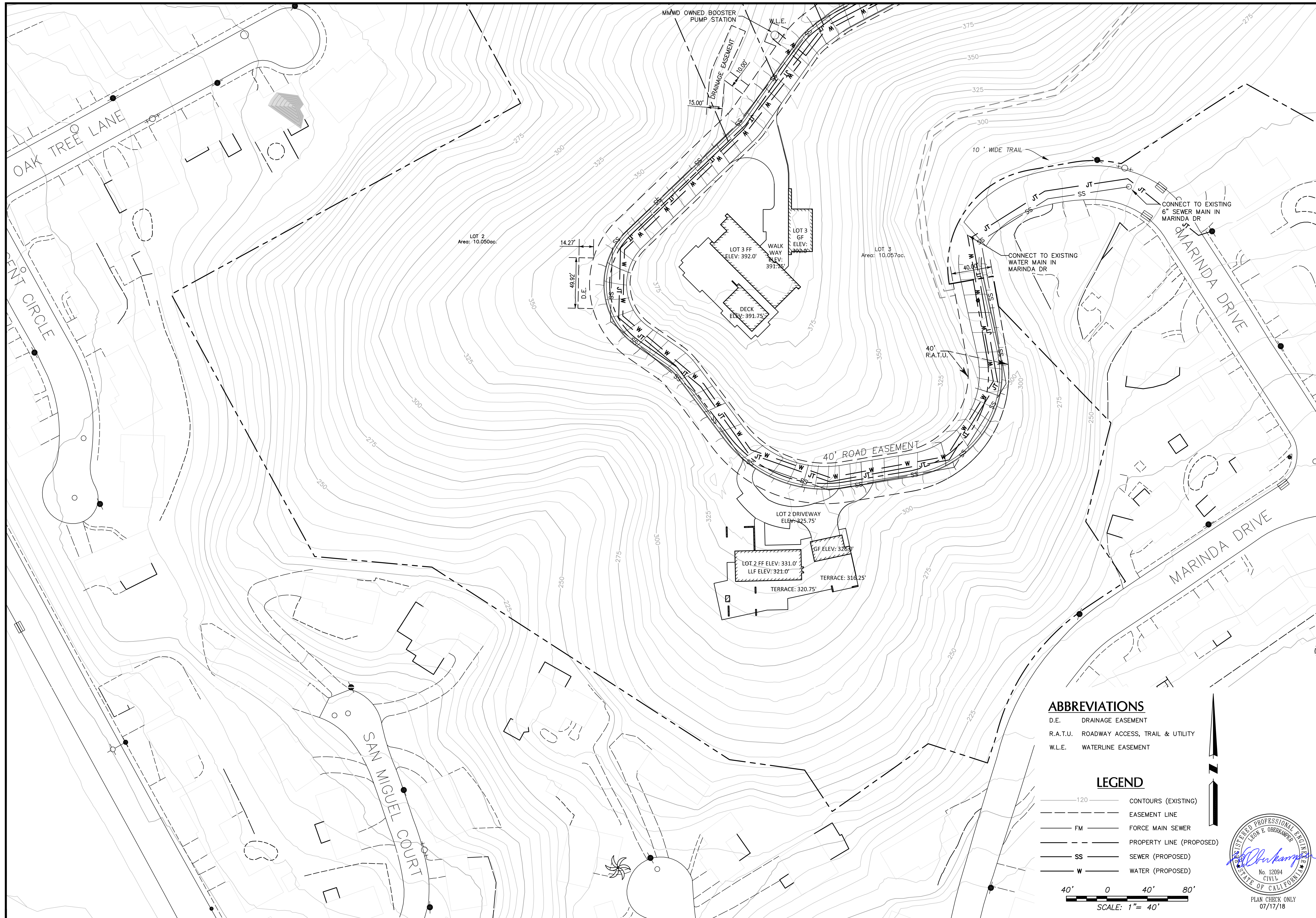
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2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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EASEMENT & UTILITY PLAN
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale: 1"=200'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

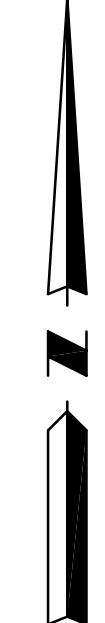
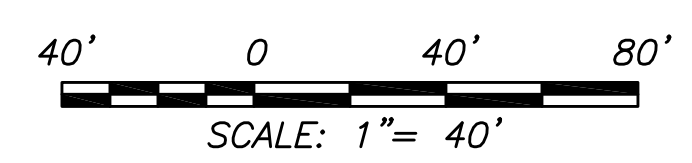
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 PLAN CHECK ONLY
 07/17/18
 15-163



ABBREVIATIONS
 D.E. DRAINAGE EASEMENT
 R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY
 W.L.E. WATERLINE EASEMENT

LEGEND

— 120 —	CONTOURS (EXISTING)
- - - - -	EASEMENT LINE
— FM —	FORCE MAIN SEWER
— P —	PROPERTY LINE (PROPOSED)
— SS —	SEWER (PROPOSED)
— W —	WATER (PROPOSED)



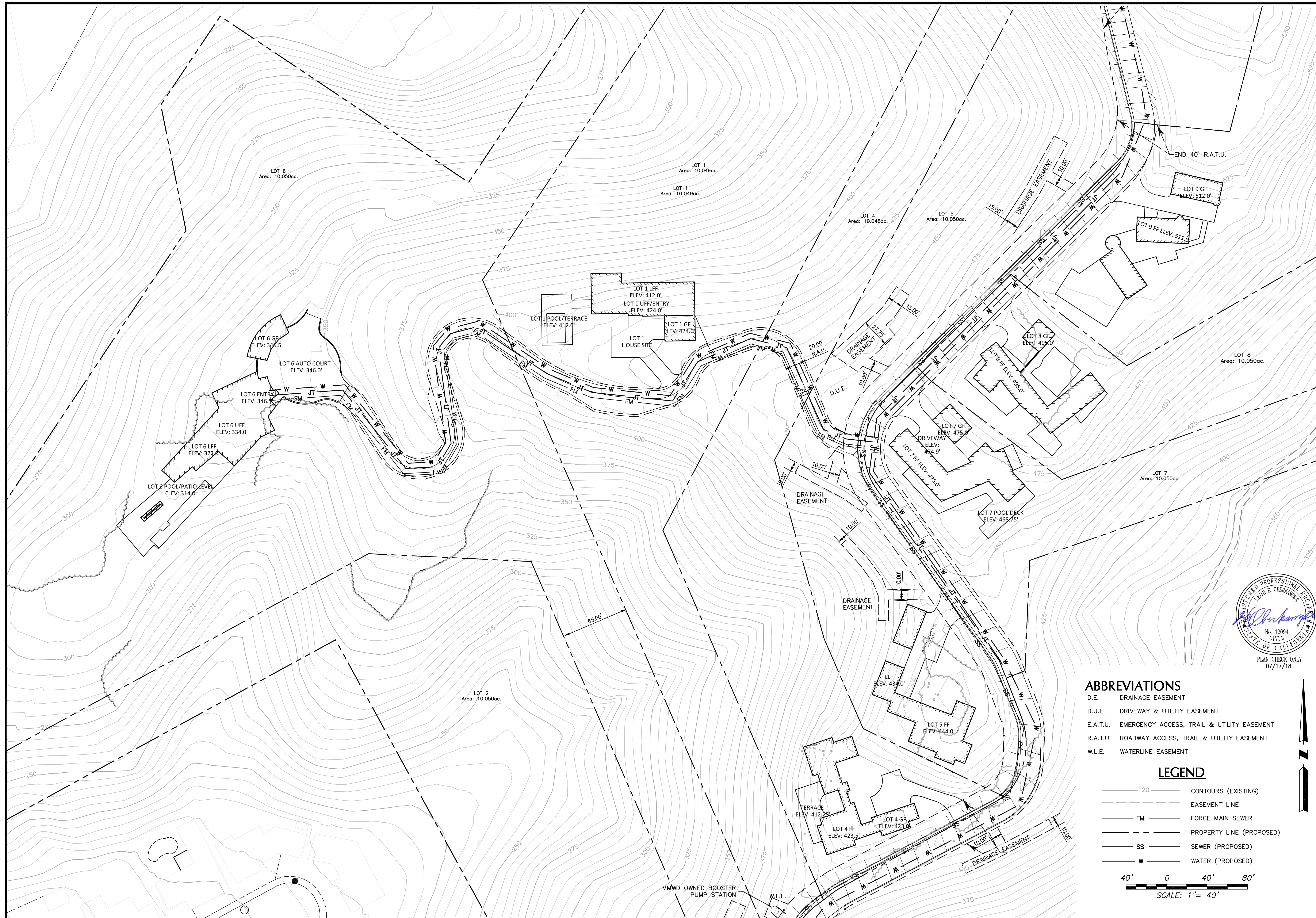
PLAN CHECK ONLY
07/17/18

	1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
	2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
	3		
	4		

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EASEMENT & UTILITY PLAN - LOTS 2 & 3
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX CALIFORNIA

Scale:	1"=40'	Drawn by:	HUS	Designed by:	HUS/PAB	Checked by:	PAB	Date:	DECEMBER, 2017
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15-163									



- ABBREVIATIONS**
- D.E. DRAINAGE EASEMENT
 - D.U.E. DRIVEWAY & UTILITY EASEMENT
 - E.A.T.U. EMERGENCY ACCESS, TRAIL & UTILITY EASEMENT
 - R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY EASEMENT
 - W.L.E. WATERLINE EASEMENT

- LEGEND**
- 120 — CONTOURS (EXISTING)
 - - - - - EASEMENT LINE
 - FM FORCE MAIN SEWER
 - - - - - PROPERTY LINE (PROPOSED)
 - SS SEWER (PROPOSED)
 - W WATER (PROPOSED)
- 40' 0 40' 80'
SCALE: 1" = 40'

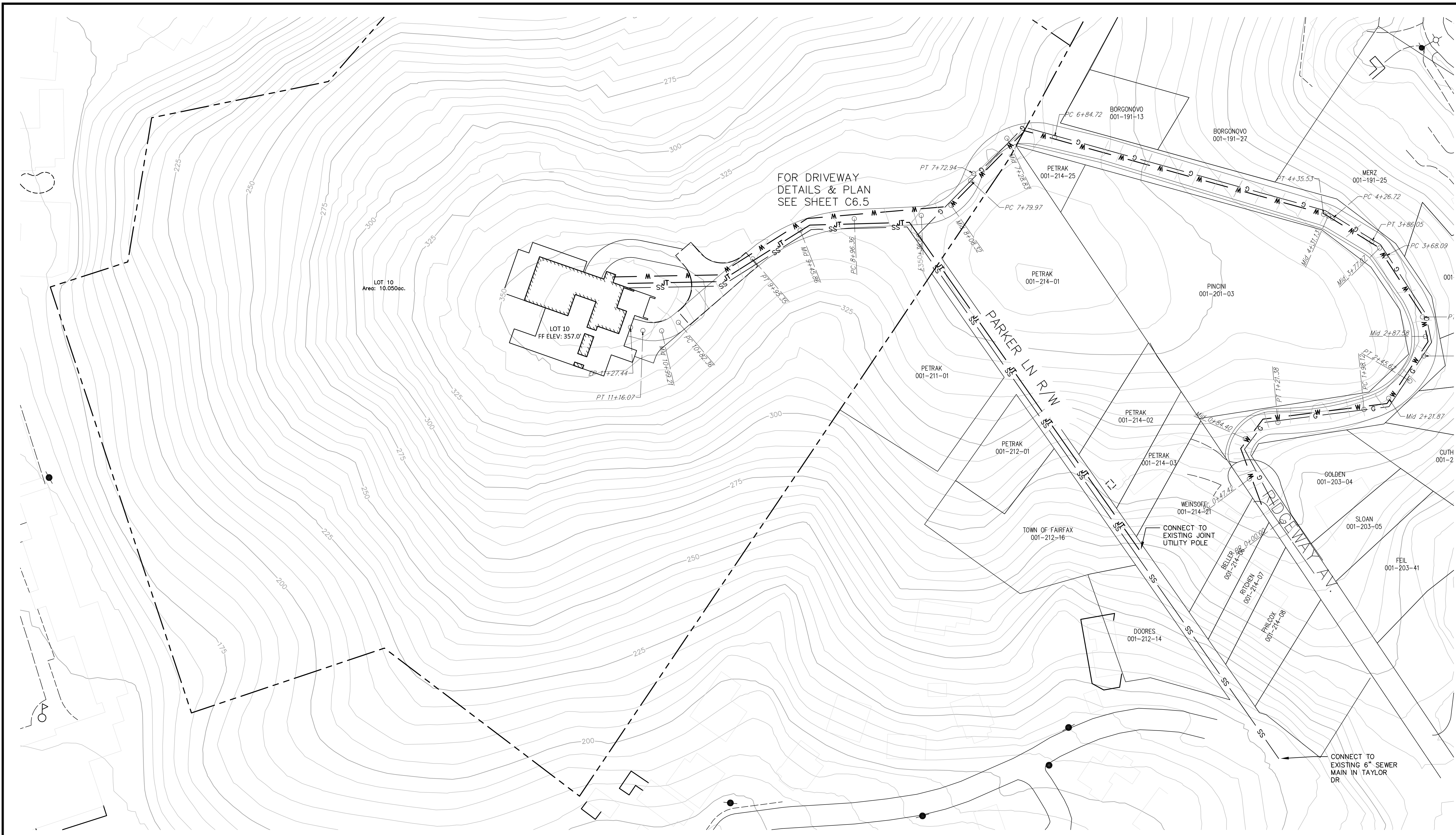
1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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EASEMENT & UTILITY PLAN - LOT 1 & 4 - 9
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale:	1"=40'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	PAB
Date:	DECEMBER, 2017
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ABBREVIATIONS

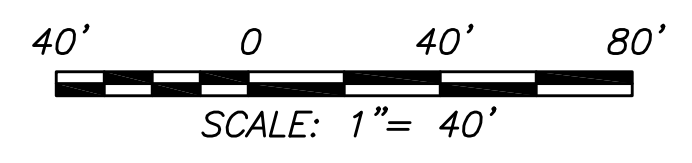
- D.E. DRAINAGE EASEMENT
- R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY

LEGEND

- 120 CONTOURS (EXISTING)
- EASEMENT LINE
- FM FORCE MAIN SEWER
- PROPERTY LINE (PROPOSED)
- SS SEWER (PROPOSED)
- W WATER (PROPOSED)



PLAN CHECK ONLY
07/17/18



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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EASEMENT & UTILITY PLAN - LOT 10
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

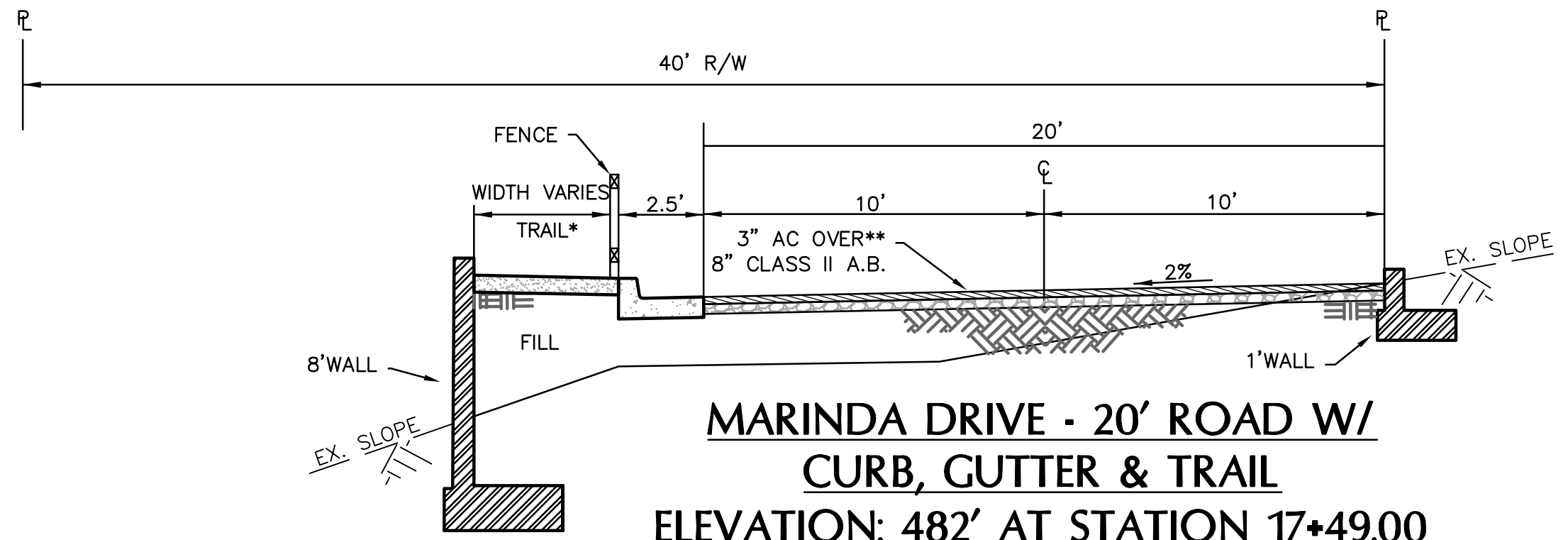
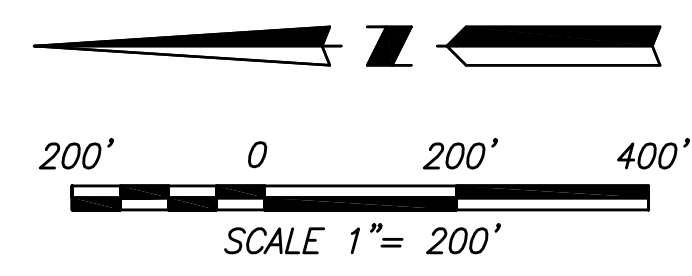
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Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017

SHEET
C4.3
 15-163



PRELIMINARY GRADING & DRAINAGE PLAN

SCALE: 1" = 200'



**MARINDA DRIVE - 20' ROAD W/
CURB, GUTTER & TRAIL**
ELEVATION: 482' AT STATION 17+49.00
NOT TO SCALE

LEGEND

- EASEMENT
- 120— MAJOR CONTOURS (EXISTING)
- 121— MINOR CONTOURS (EXISTING)
- 120— MAJOR CONTOURS (PROPOSED)
- 121— MINOR CONTOURS (PROPOSED)

EARTHWORK QUANTITIES

CUT	FILL	NET
10,000 CY	10,000 CY	0

EARTHWORK QUANTITIES ARE CALCULATED FROM EXISTING GRADE TO PROPOSED SUBGRADE. THE QUANTITIES DO NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND ARE INTENDED TO REPRESENT IN-SITU CONDITIONS. SEE ARCHITECT'S PLANS FOR ADDITIONAL INFORMATION ON THE EARTHWORK QUANTITIES FOR EACH HOUSE SITE.



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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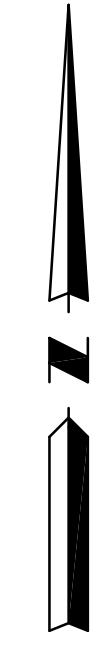
PRELIMINARY GRADING AND DRAINAGE PLAN
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
TOWN OF FAIRFAX, CALIFORNIA

Scale: 1"=200'
Drawn by: HUS
Designed by: HUS/PAB
Checked by: LEO
Date: DECEMBER, 2017

SHEET
C5.0

\\NFCD\Documents\Jobs\2017\15-163_Rohman\DWG\SHEETS\1245 VESTING TENTATIVE MAP (20 SCALE).dwg, 8/20/2018 11:05:22 AM, Bluebeam PDF

SEE SHEET C5.2

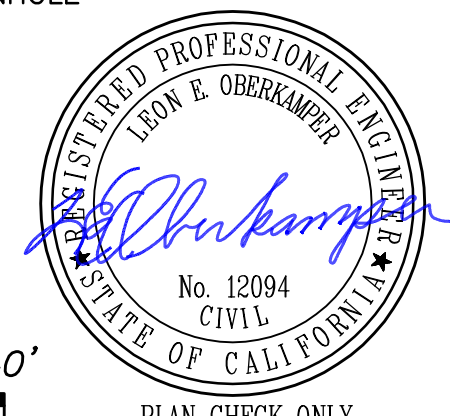
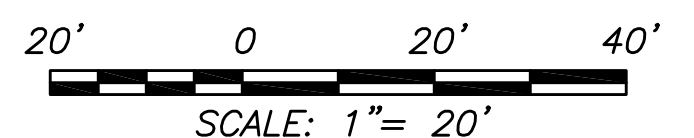


LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL WITH WALL
- TRAIL AREA
- BIOFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 2
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

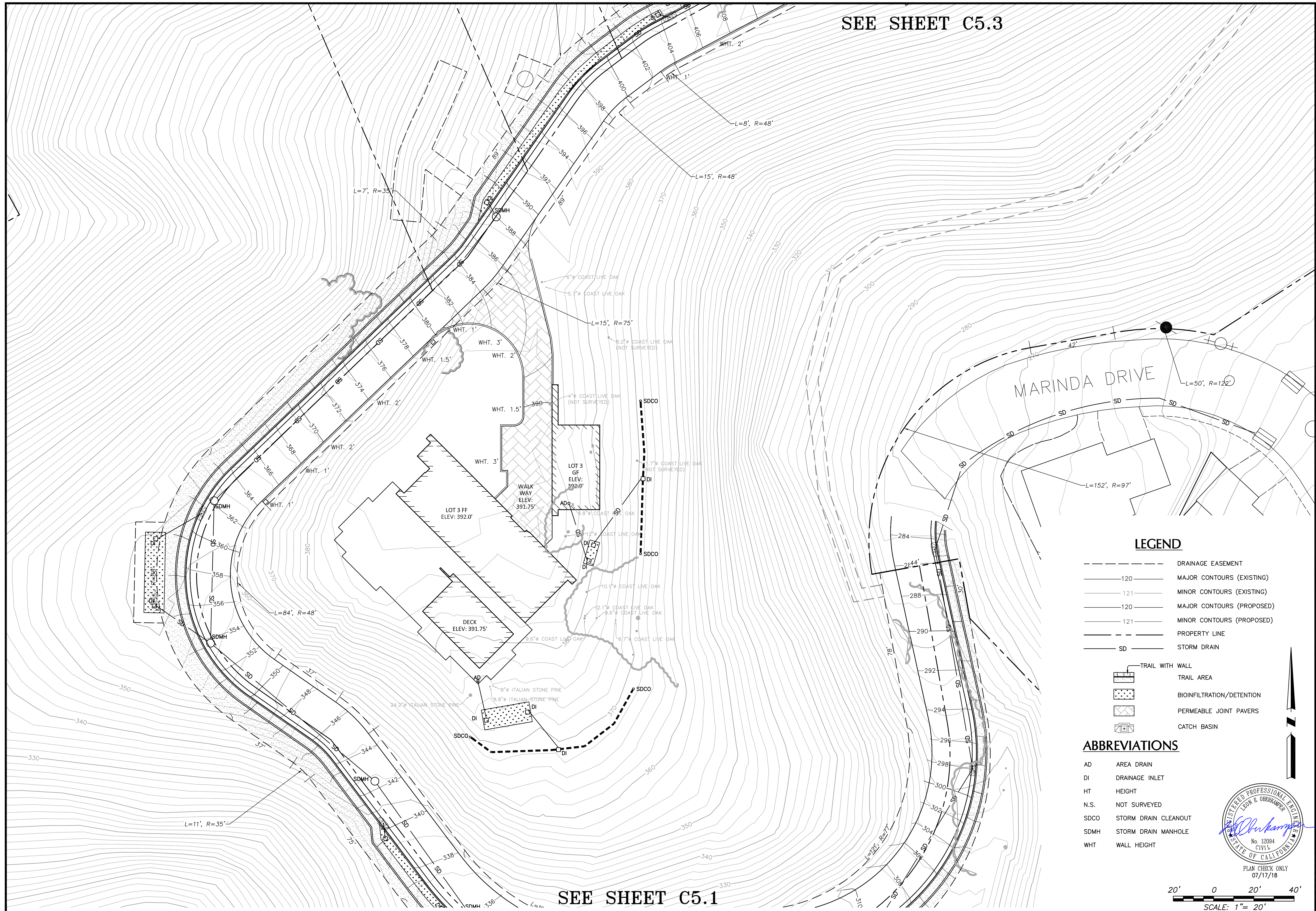
SHEET
C5.1
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\\INFO\Documents\Jobs\201515-168_Rohman\DWG\SHEETS\56 GRADING AND DRAINAGE.dwg, 8/20/2018 9:01:26 AM, Bluebeam PDF

SEE SHEET C5.3

SEE SHEET C5.1

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LEGEND

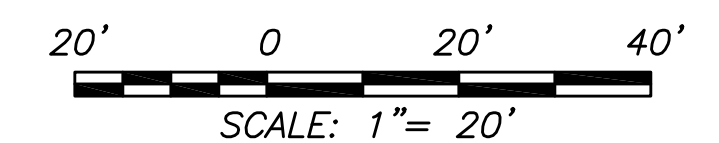
- DRAINAGE EASEMENT
- 120 MAJOR CONTOURS (EXISTING)
- 121 MINOR CONTOURS (EXISTING)
- 120 MAJOR CONTOURS (PROPOSED)
- 121 MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- SD STORM DRAIN
- TRAIL WITH WALL
- TRAIL AREA
- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



PLAN CHECK ONLY
07/17/18



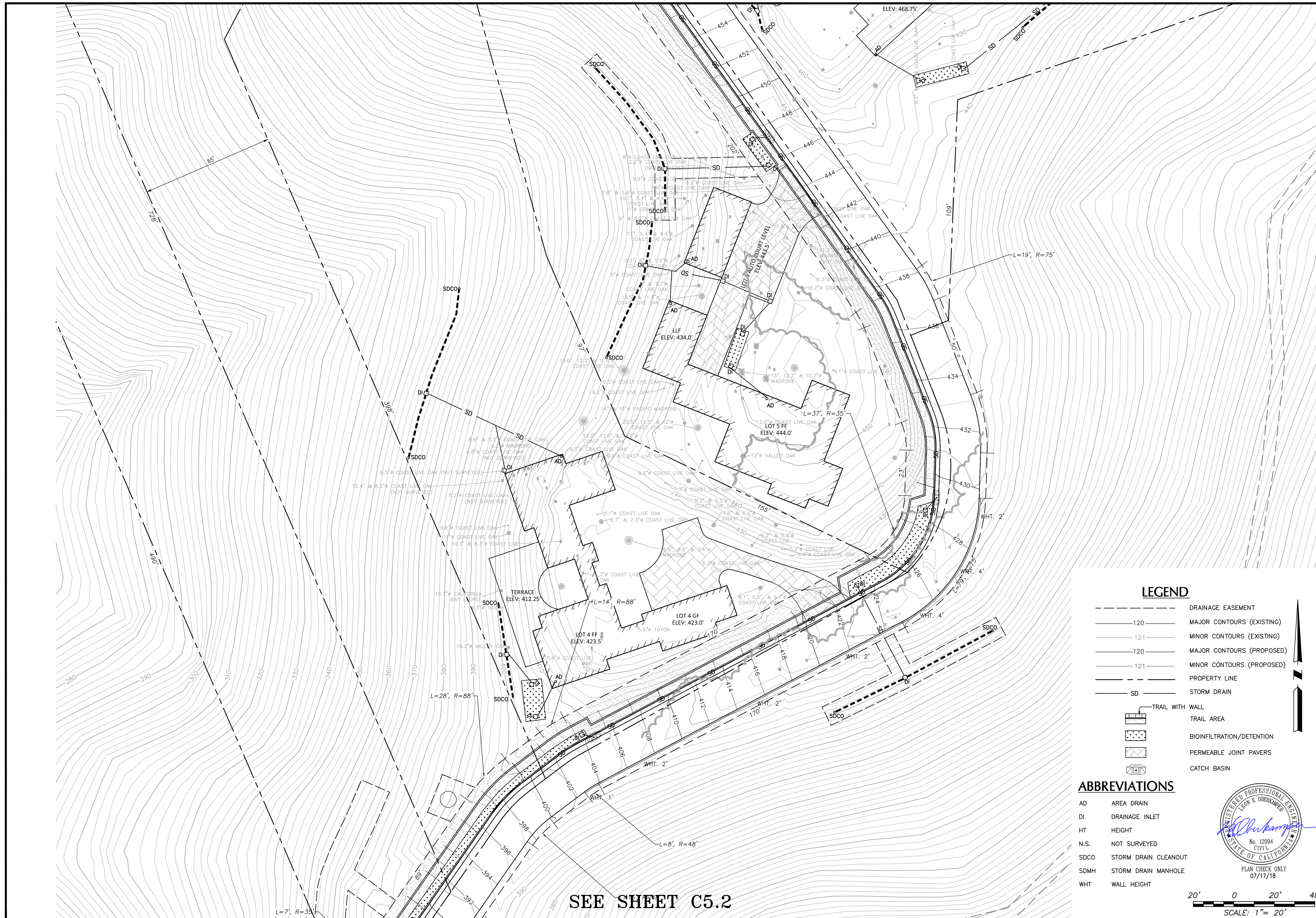
1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 3
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
C5.2
 15-163



SEE SHEET C5.2

LEGEND

	DRAINAGE EASEMENT
	MAJOR CONTOURS (EXISTING)
	MINOR CONTOURS (EXISTING)
	MAJOR CONTOURS (PROPOSED)
	MINOR CONTOURS (PROPOSED)
	PROPERTY LINE
	STORM DRAIN
	TRAIL WITH WALL
	TRAIL AREA
	BIOINFILTRATION/DETENTION
	PERMEABLE JOINT PAVERS
	CATCH BASIN

ABBREVIATIONS

AD	AREA DRAIN
DI	DRAINAGE INLET
HT	HEIGHT
N.S.	NOT SURVEYED
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
WHT	WALL HEIGHT



PLAN CHECK ONLY
07/17/18

SCALE: 1" = 20'

1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

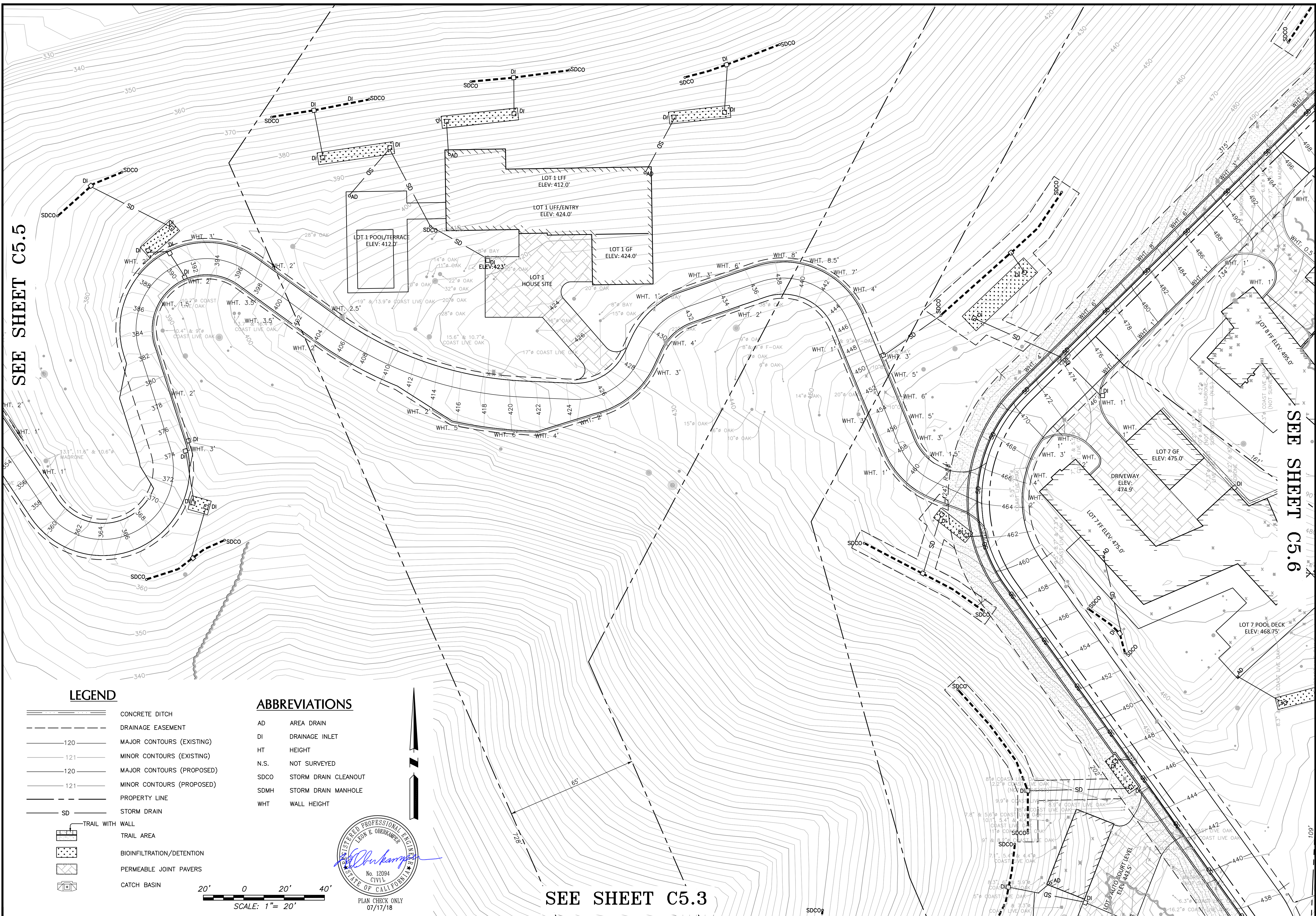
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 PHONE: (415) 897-2800
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PRELIMINARY GRADING AND DRAINAGE PLAN - LOTS 4 & 5
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX, CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale:	1"=20'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017
SHEET	
C5.3	
15-163	

SEE SHEET C5.5

SEE SHEET C5.6

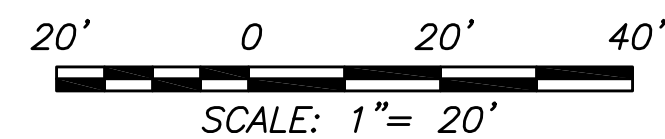
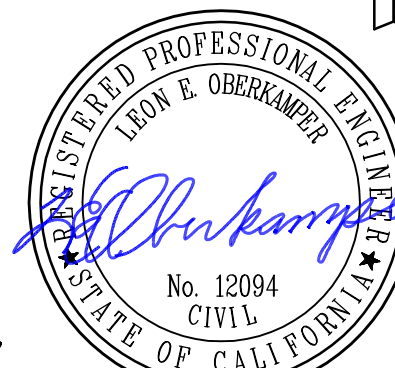


LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL WITH WALL
- TRAIL AREA
- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



PLAN CHECK ONLY
07/17/18

SEE SHEET C5.3

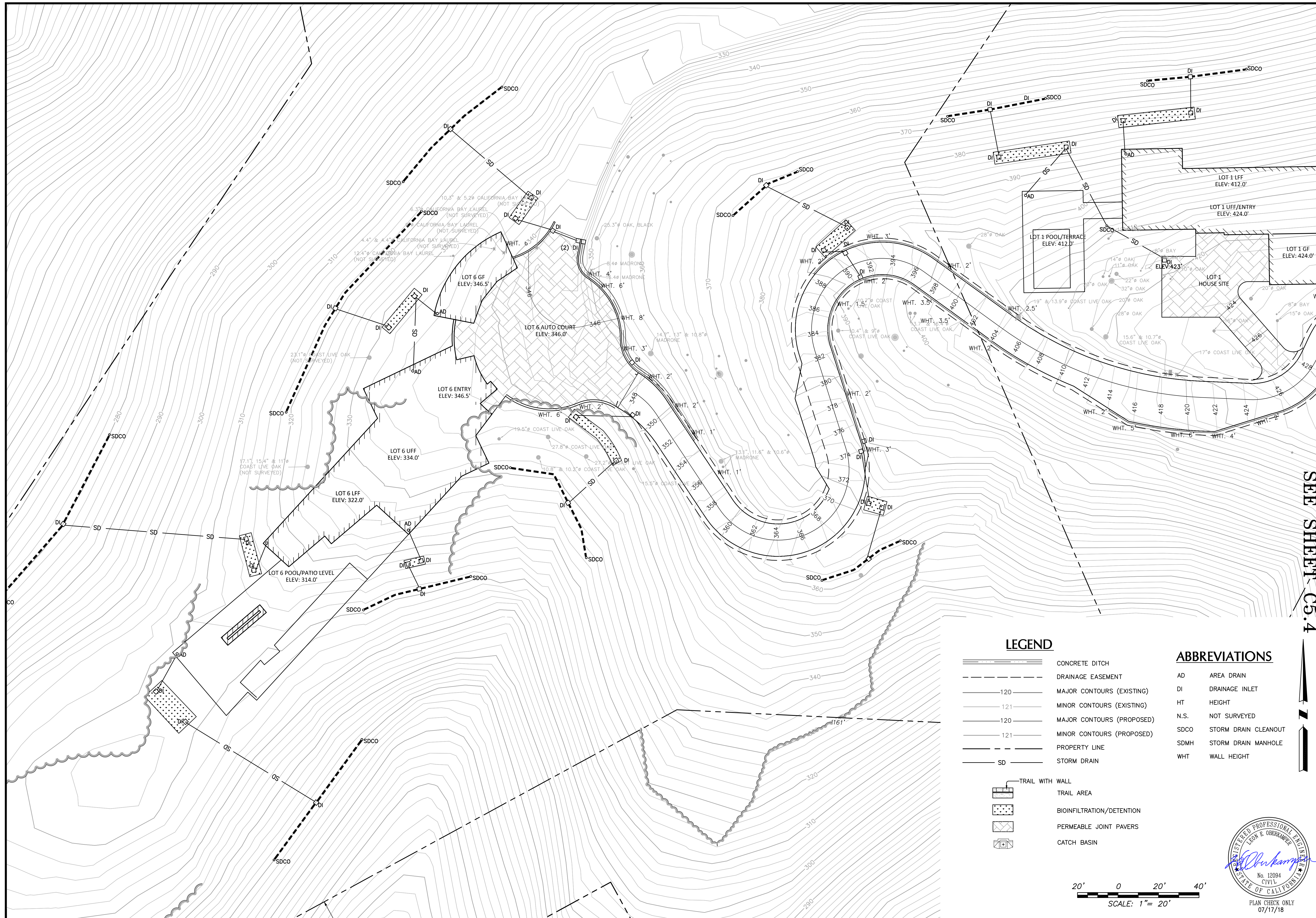
1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 6 ROAD VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET C5.4
 15-163



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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**PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 6
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION**

TOWN OF FAIRFAX
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
CALIFORNIA

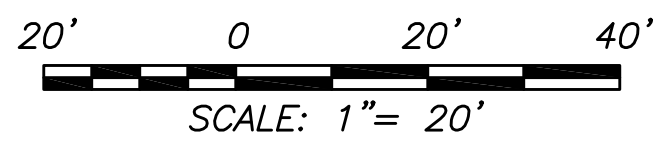
Scale:	1"=20'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017
SHEET	C5.5
	15-163

LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL WITH WALL
- TRAIL AREA
- BIOFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



PLAN CHECK ONLY
07/17/18

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SEE SHEET C5.4

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



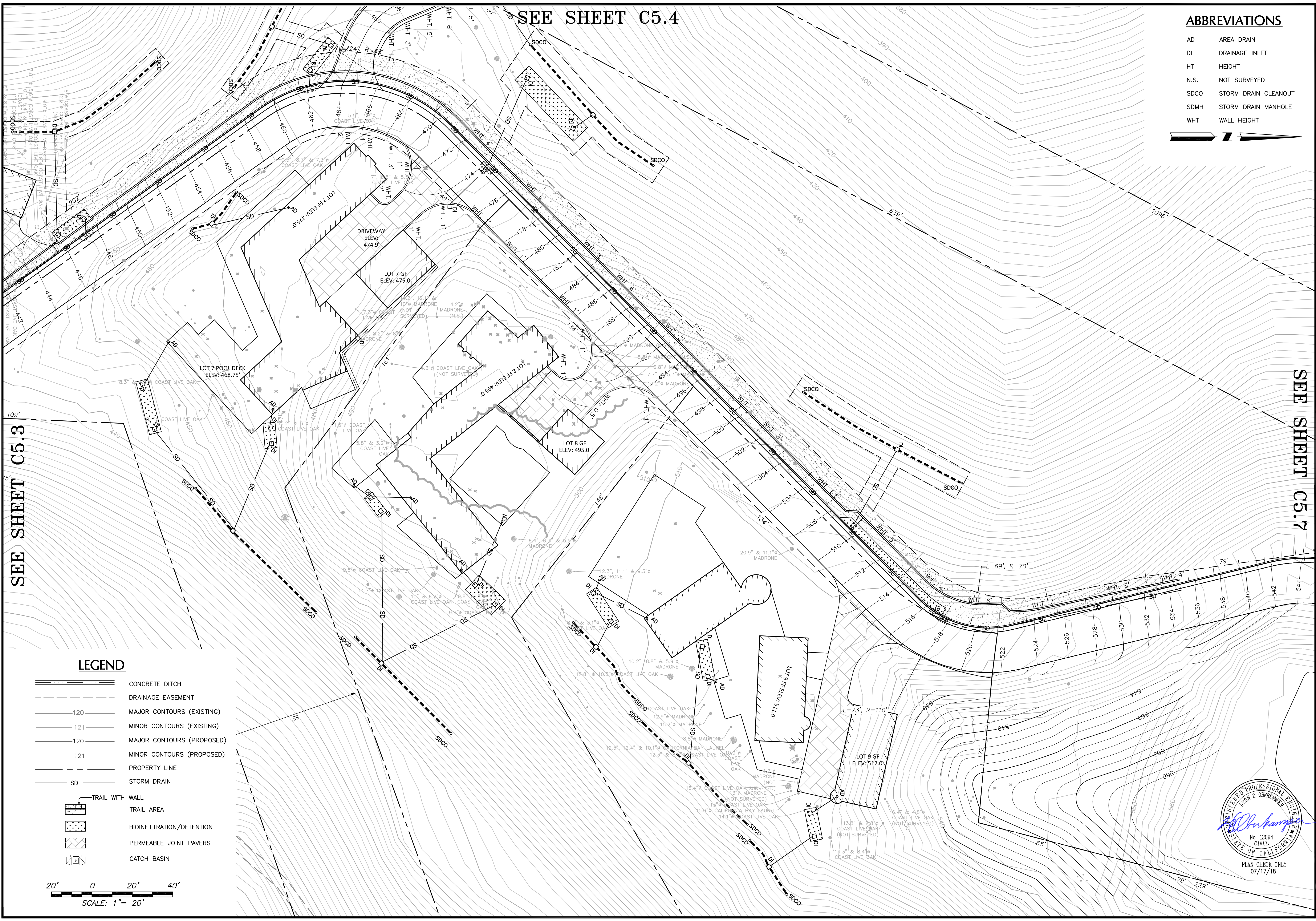
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2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOTS 7 - 9
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
C5.6
 15-163

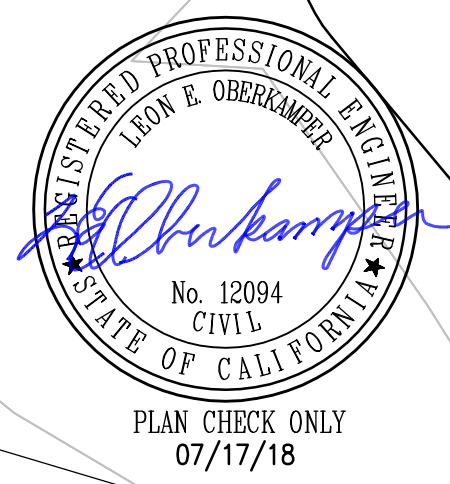
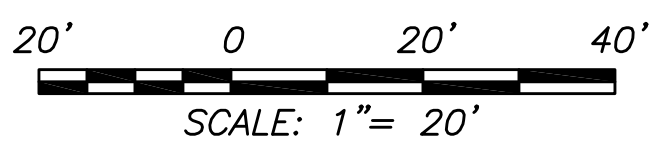


SEE SHEET C5.3

SEE SHEET C5.7

LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL WITH WALL
- TRAIL AREA
- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN



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ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 5 E.A.T.U.
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

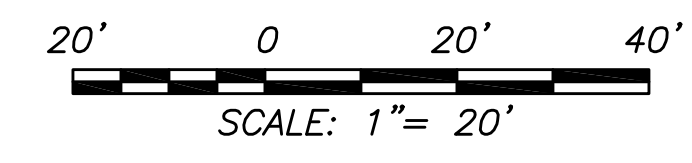
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 Drawn by: HUS/PAB
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

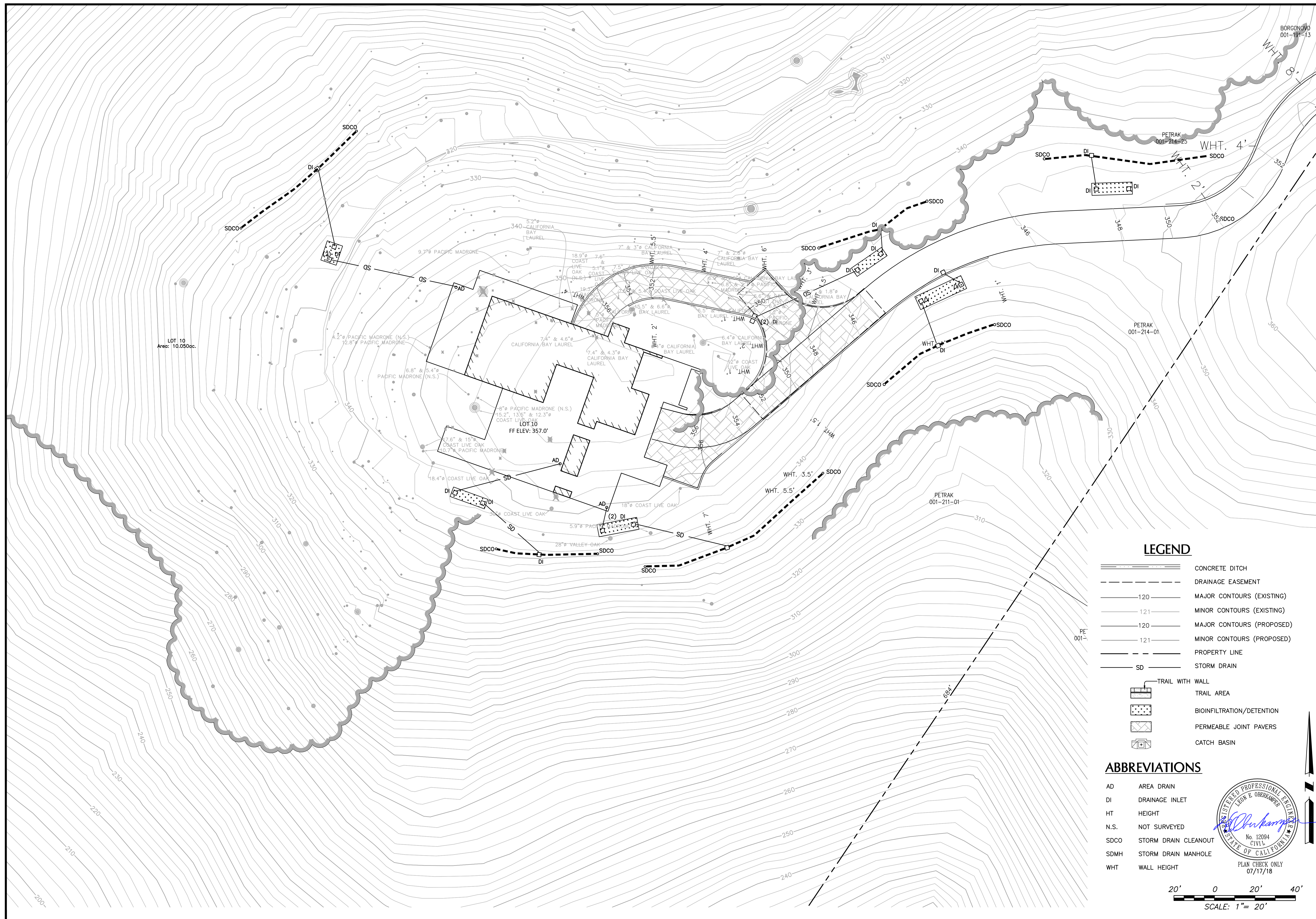
SHEET
C5.7
 15-163



LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL WITH WALL
- TRAIL AREA
- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN





LOT 10
Area: 10.050ac.

FF ELEV: 357.0'

LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL WITH WALL
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- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT

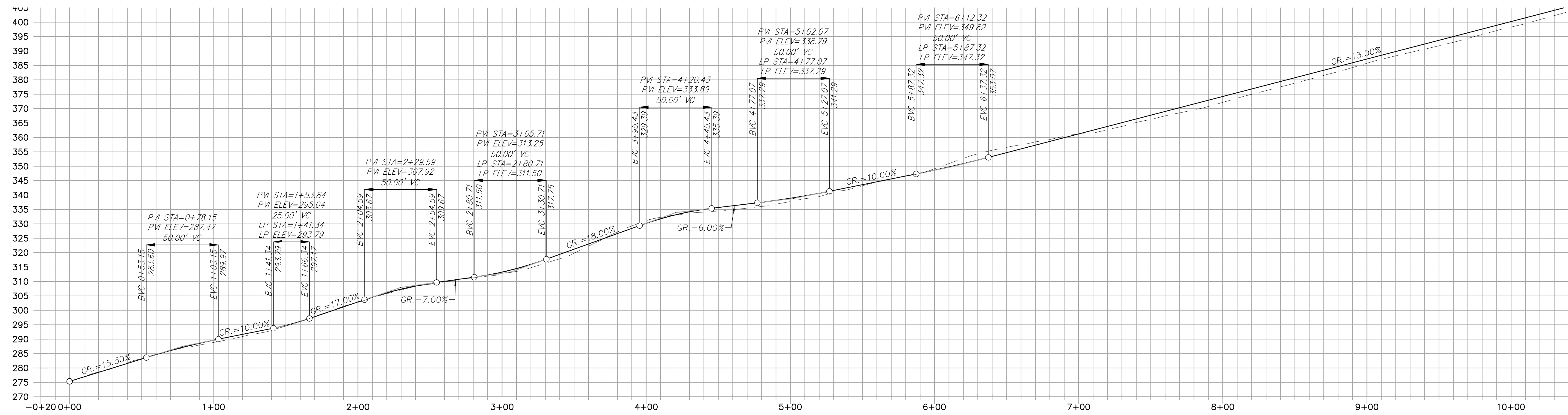


PLAN CHECK ONLY
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0' 20' 40'

SCALE: 1" = 20'

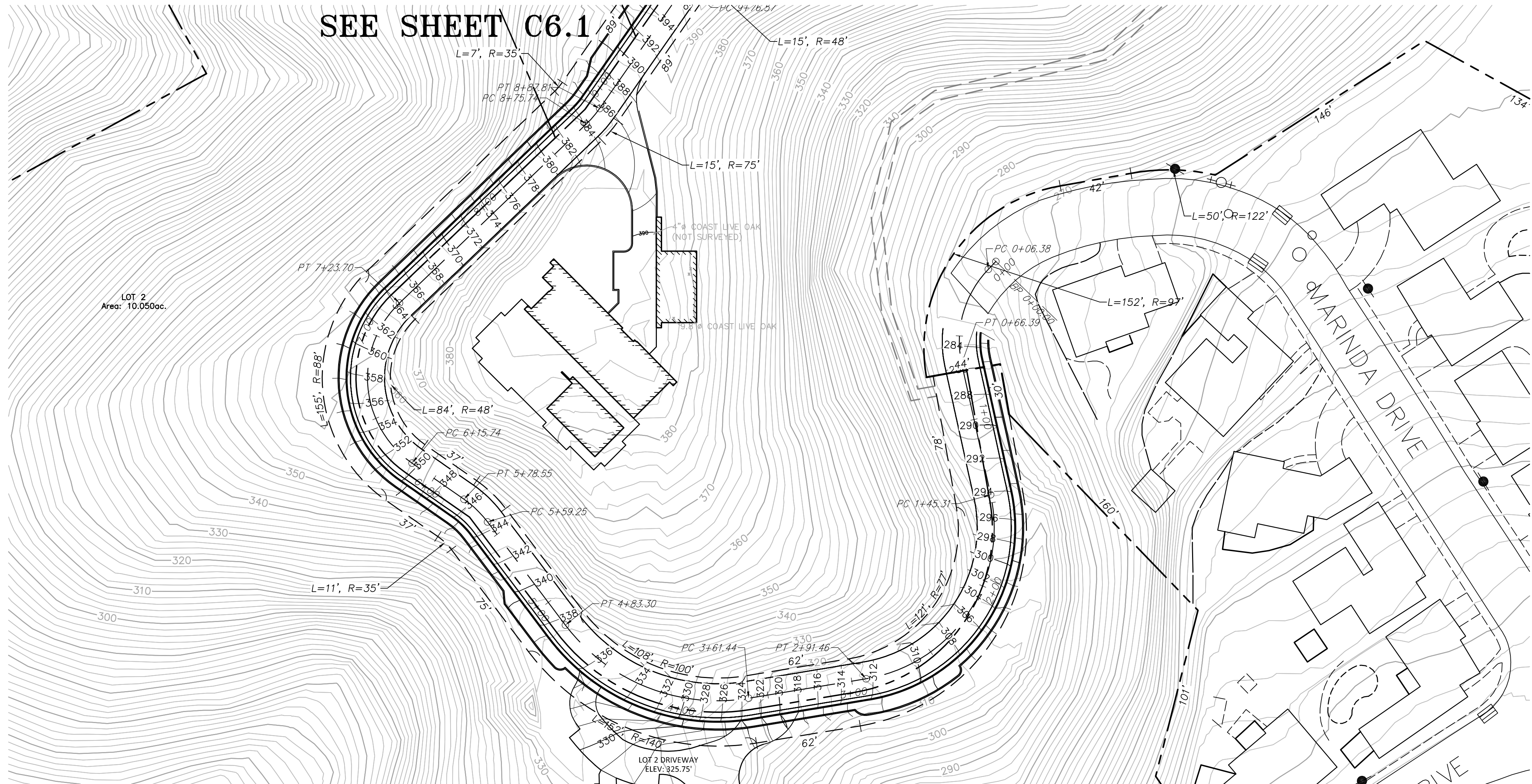
	1ST SUBMITTAL TO TOWN OF FAIRFAX	12/27/17	2ND SUBMITTAL TO TOWN OF FAIRFAX	07/12/18	REVISIONS PER TOWN OF FAIRFAX	08/14/18
<p>OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD, SUITE 308, NOVATO, CA 94945 PHONE: (415) 8972800 WWW.OBERKAMPER.COM</p>						
<p>PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 10 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION TOWN OF FAIRFAX, CALIFORNIA</p>						
<p>APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09</p>						
Scale: 1"=20'	Drawn by: HUS	Designed by: HUS/PAB	Checked by: LEO	Date: DECEMBER, 2017	SHEET	
						C58
						15-163



MARINDA DRIVE ROADWAY PROFILE I

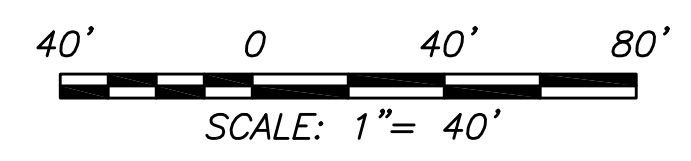
SCALE: HOR. 1"=40'
VER. 1"=20'

SEE SHEET C6.1



MARINDA DRIVE ROADWAY PLAN I

SCALE: 1"=40'



Scale: 1"=40'
Drawn by: HUS
Designed by: HUS/PAB
Checked by: LEO
Date: DECEMBER, 2017

SHEET
C6.0

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1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

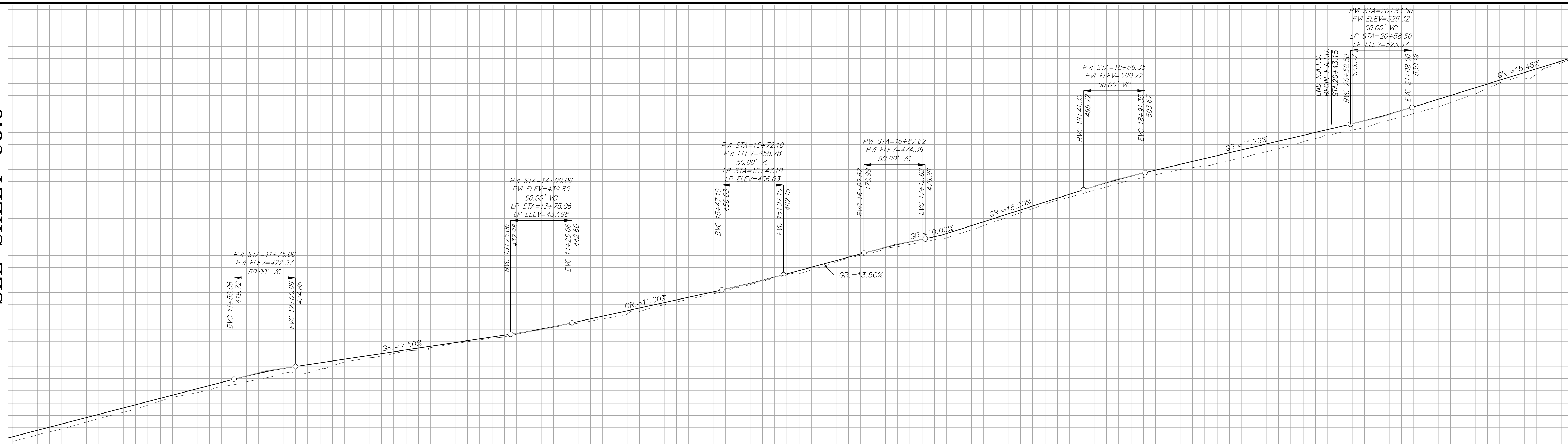
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MARINDA DRIVE ROADWAY PLAN & PROFILE I
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
TOWN OF FAIRFAX
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
CALIFORNIA

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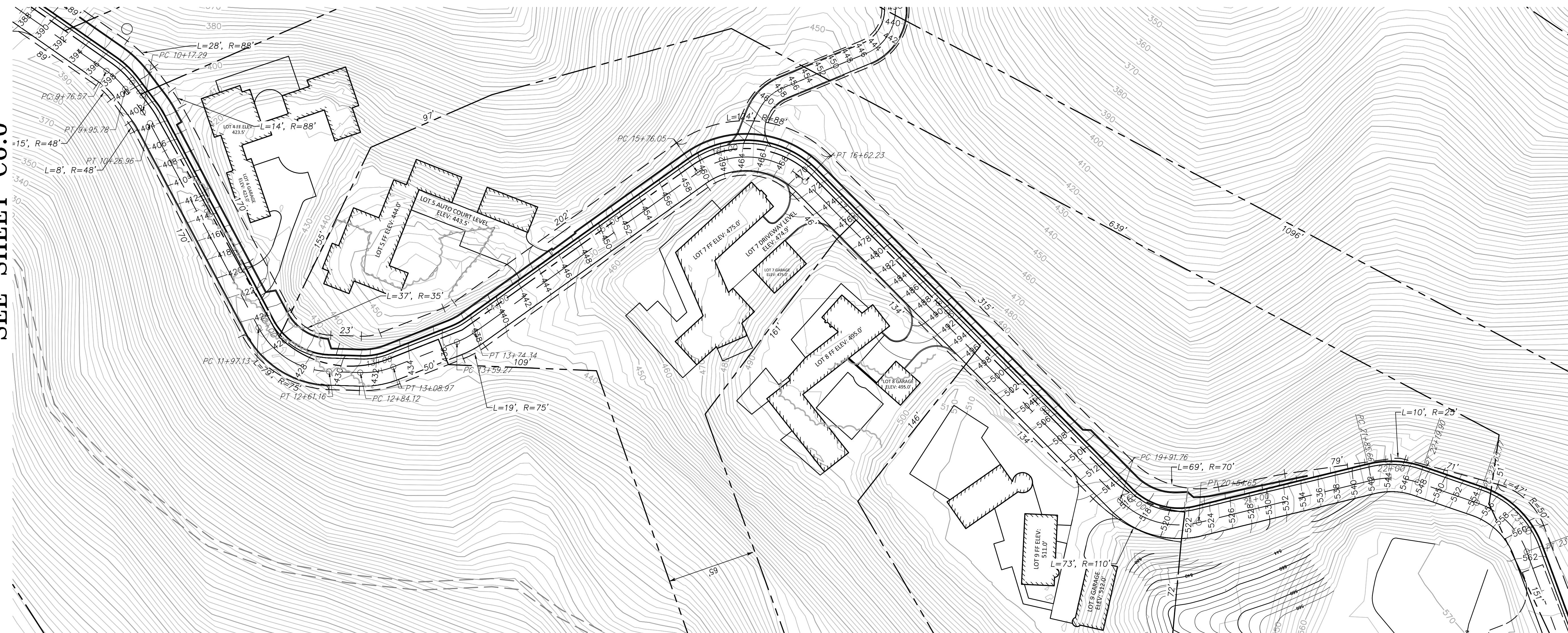
SEE SHEET C6.0

SEE SHEET C6.0



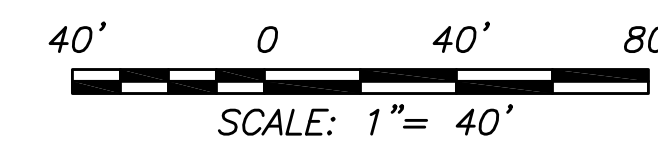
MARINDA DRIVE ROADWAY PROFILE II

SCALE: HOR. 1"=40'
VER. 1"=20'



MARINDA DRIVE ROADWAY PLAN II

SCALE: 1"=40'



PLAN CHECK ONLY
07/17/18

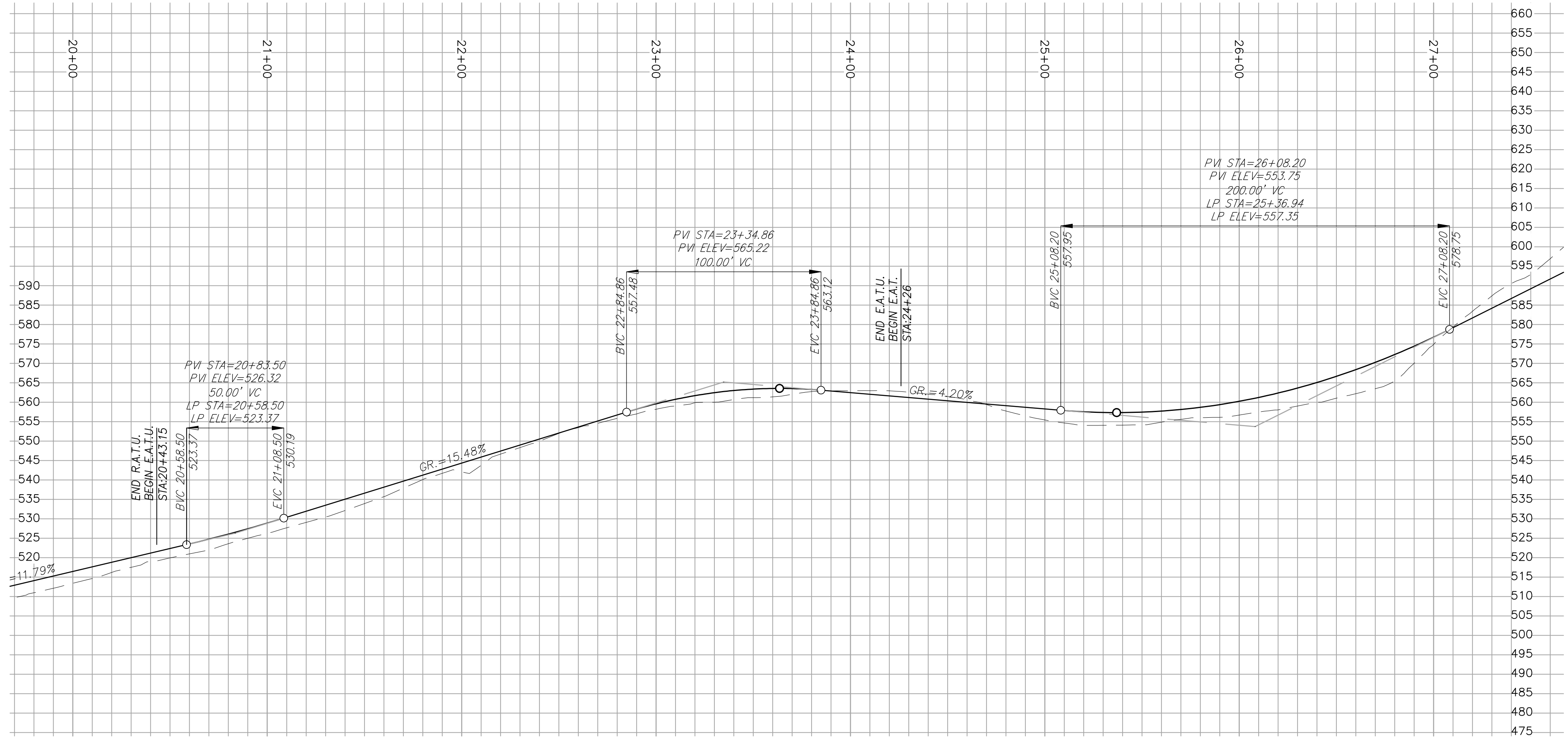
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2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 CALIFORNIA

Scale: 1"=40'
 Drawn by: HUS
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 Date: DECEMBER, 2017

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EMERGENCY ACCESS FIRE ROAD PROFILE I

SCALE: HOR. 1"=40'
VER. 1"=20'

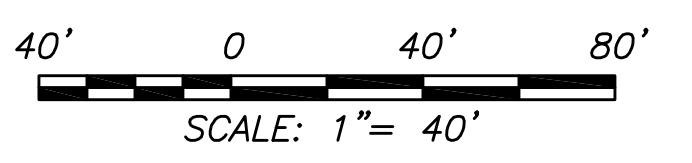
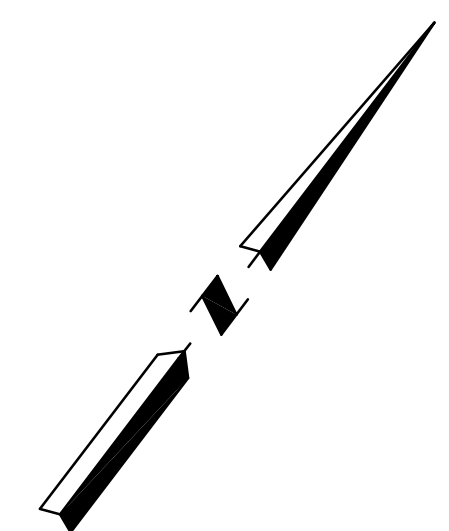


EMERGENCY ACCESS FIRE ROAD PLAN I

SCALE: 1"=40'

SEE SHEET C63

SEE SHEET C63



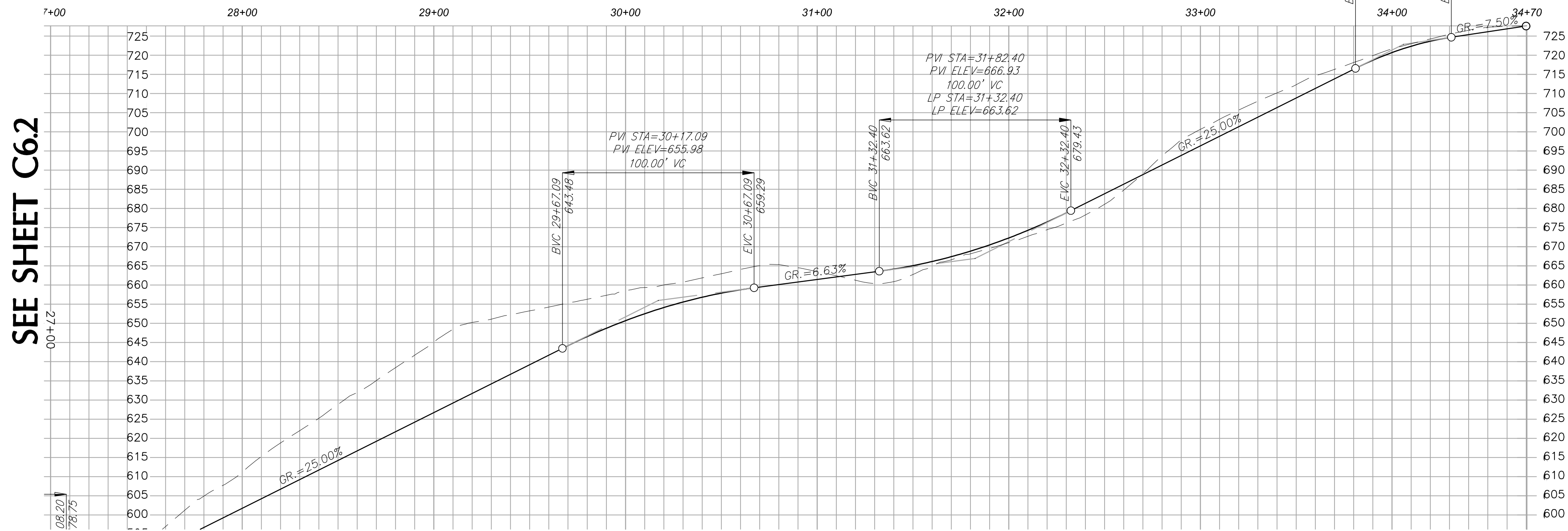
PLAN CHECK ONLY
07/17/18

1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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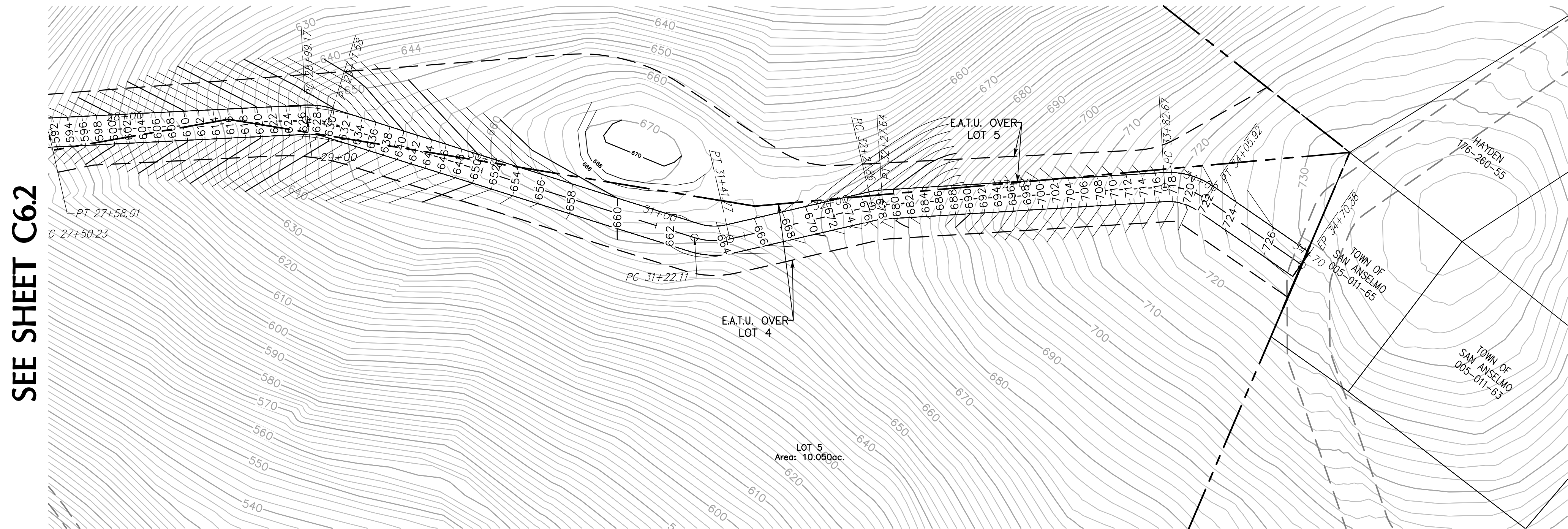
EMERGENCY ACCESS FIRE ROAD PLAN & PROFILE I
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
TOWN OF FAIRFAX
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
CALIFORNIA

Scale:	1"=40'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	SEPTEMBER 2017



EMERGENCY ACCESS FIRE ROAD PROFILE II

SCALE: HOR. 1"=40'
VER. 1"=20'

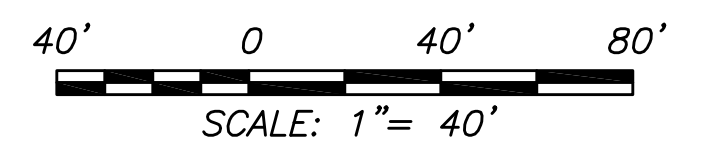


EMERGENCY ACCESS FIRE ROAD PLAN II

SCALE: 1"=40'



PLAN CHECK ONLY
07/17/18



SEE SHEET C62

SEE SHEET C62

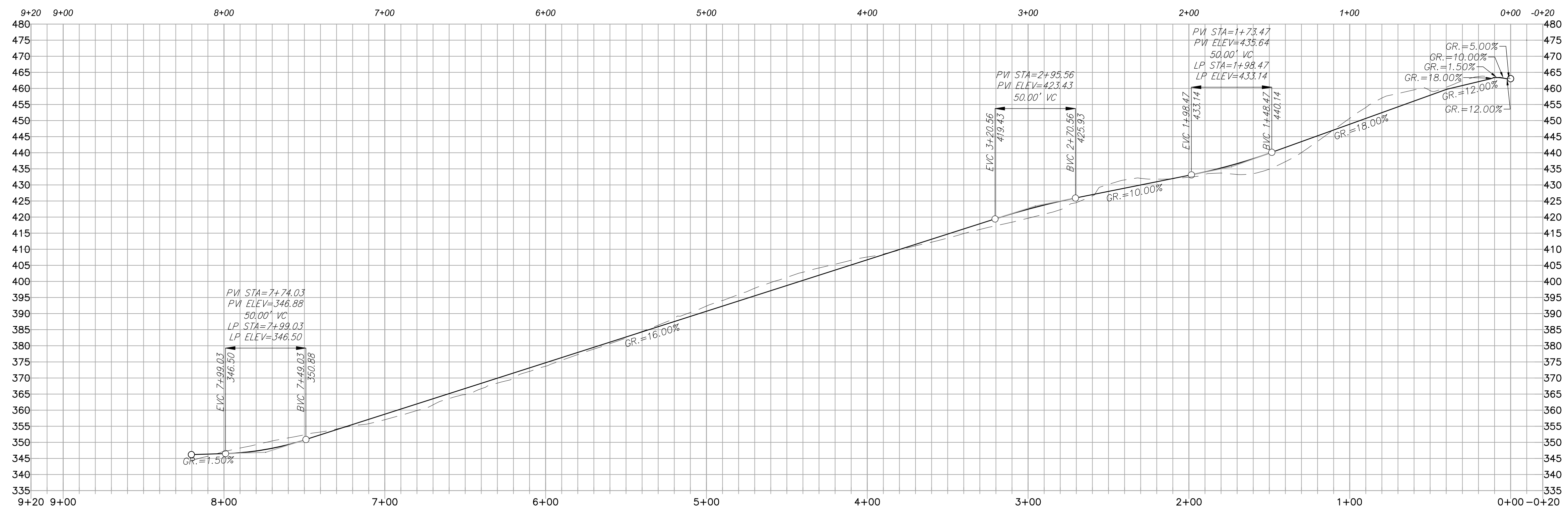
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2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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EMERGENCY ACCESS FIRE ROAD PLAN & PROFILE II
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
CALIFORNIA
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
TOWN OF FAIRFAX

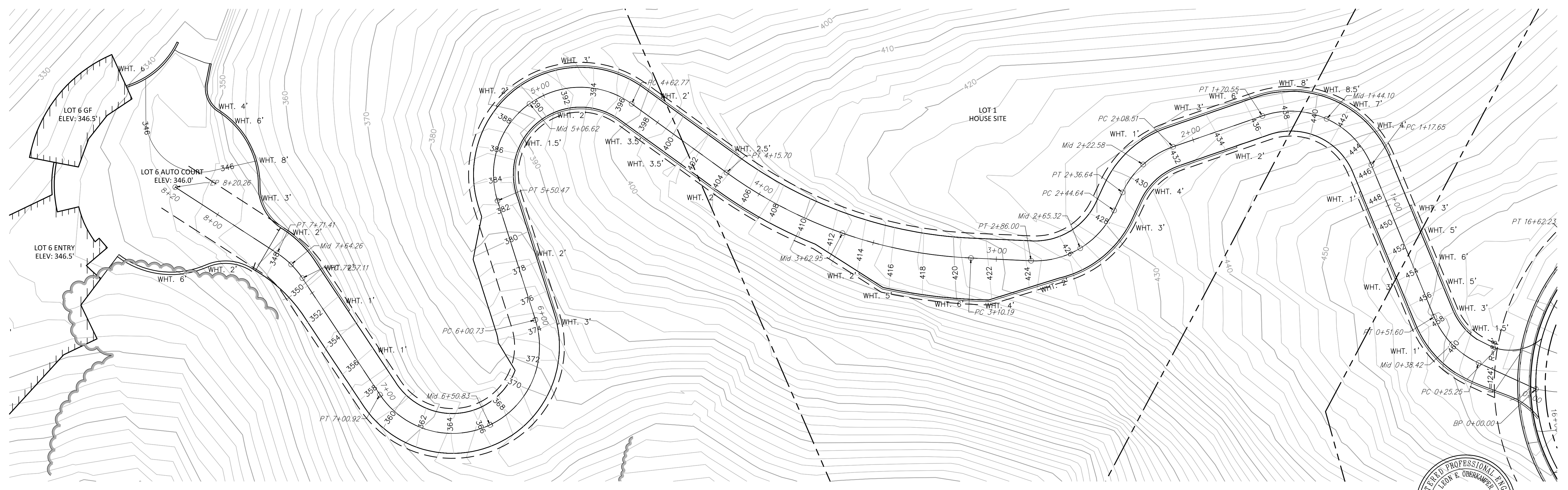
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Designed by:	HUS/PAB
Checked by:	LEO
Date:	SEPTEMBER 2017

SHEET
C6.3
OF 32
15-163



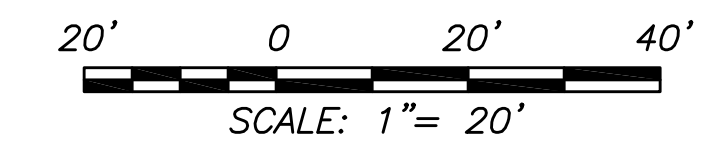
MARINDA HEIGHTS LOT 6 ROADWAY PROFILE

SCALE: HOR. 1"=40'
VER. 1"=20'



MARINDA HEIGHTS LOT 6 ROADWAY PLAN

SCALE: 1"=20'



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07/17/18

1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

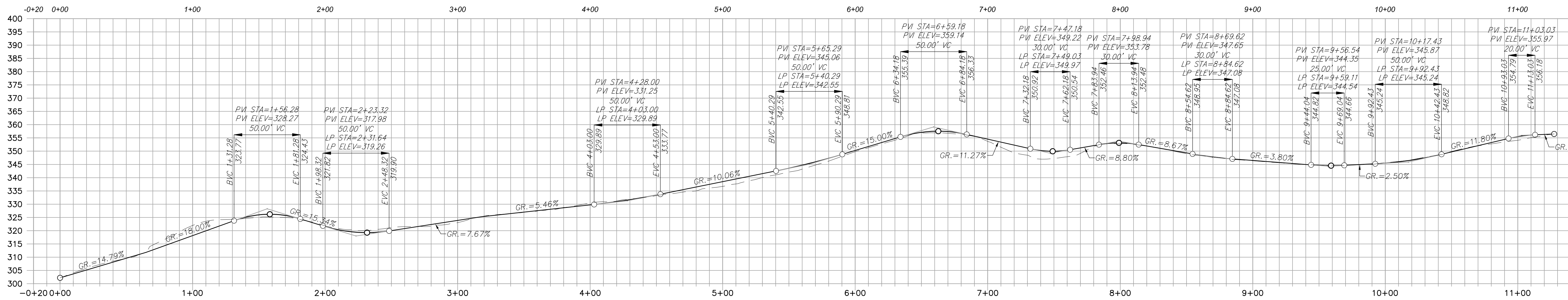
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MARINDA HEIGHTS LOT 6 ROADWAY PLAN & PROFILE
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
CALIFORNIA
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
TOWN OF FAIRFAX

Scale:	1"=20'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017

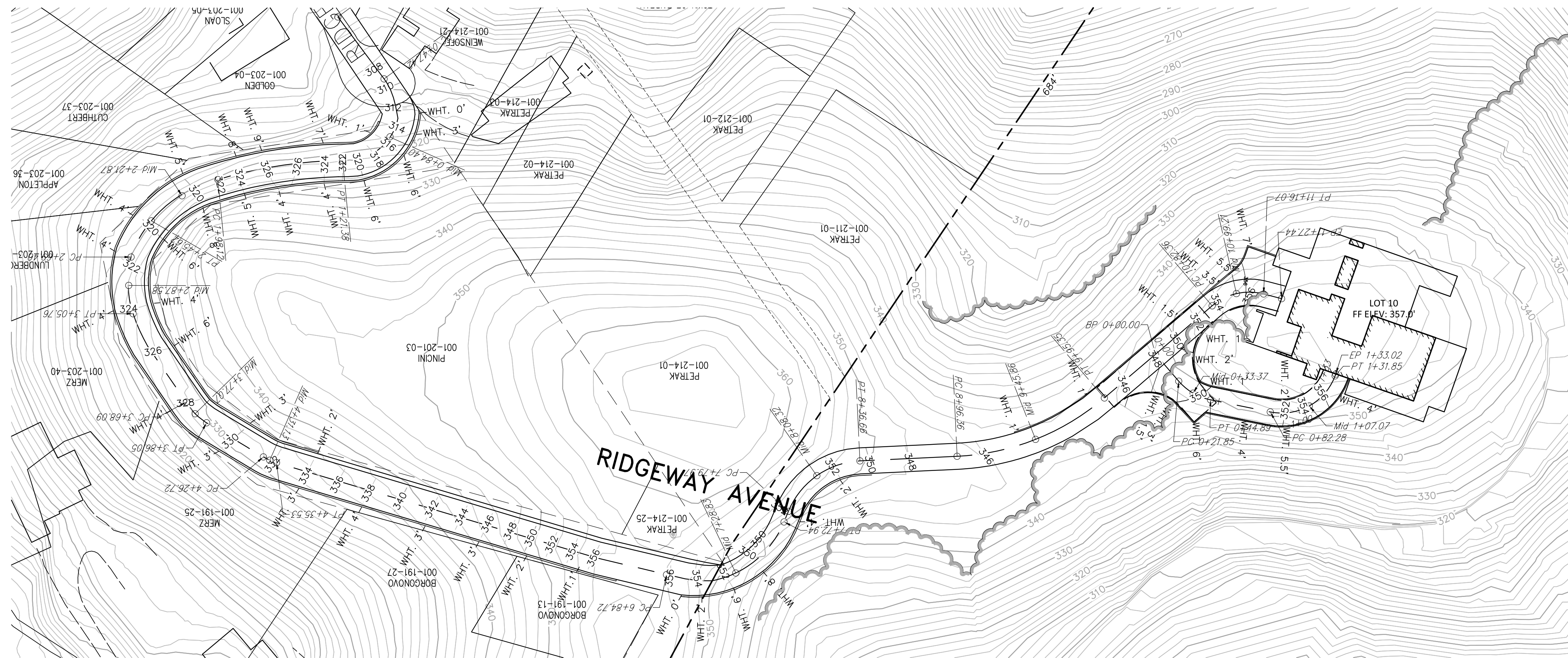
SHEET
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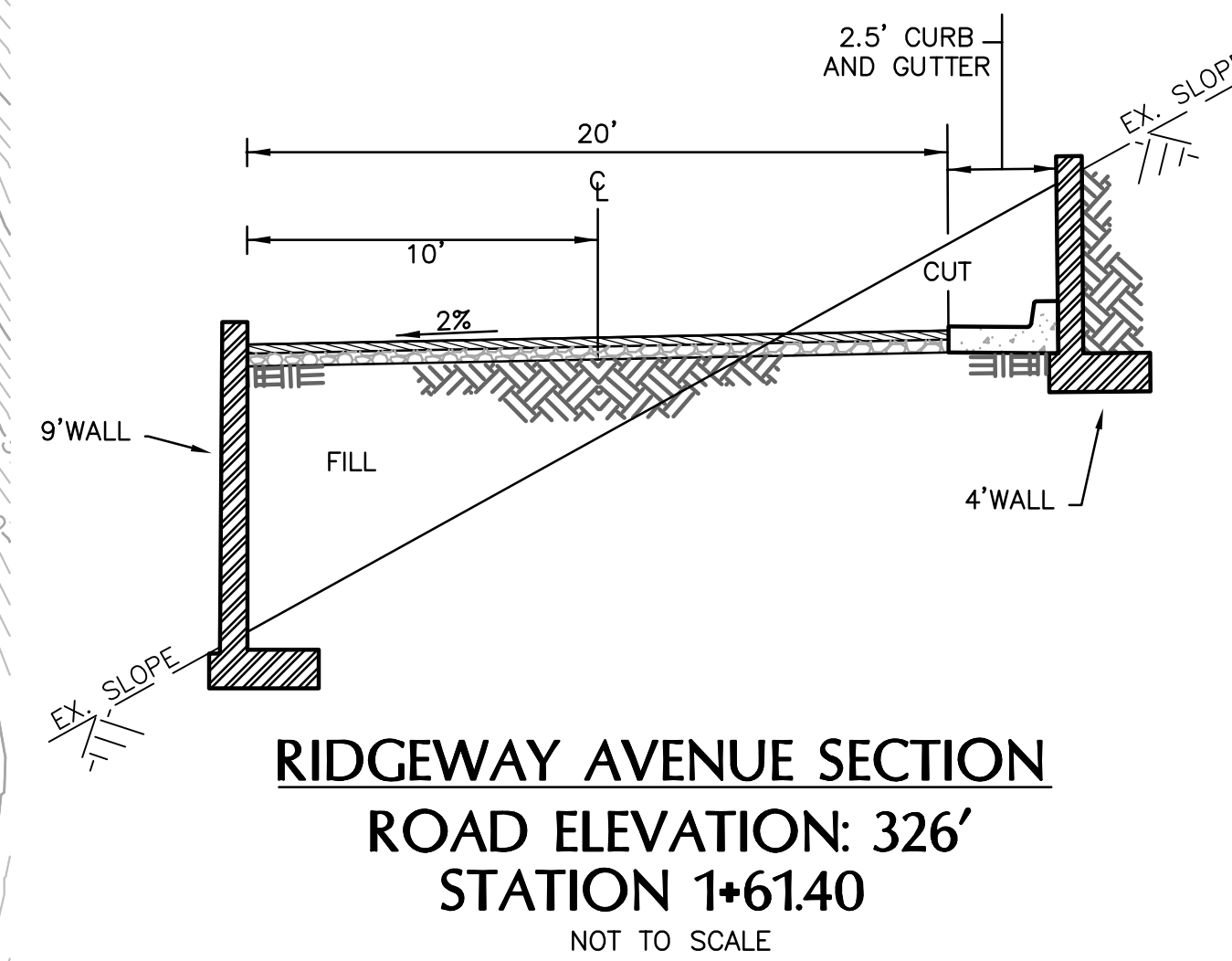
MARINDA HEIGHTS LOT 10 DRIVEWAY PROFILE

SCALE: HOR. 1"=40'
VER. 1"=20'



MARINDA HEIGHTS LOT 10 DRIVEWAY PLAN

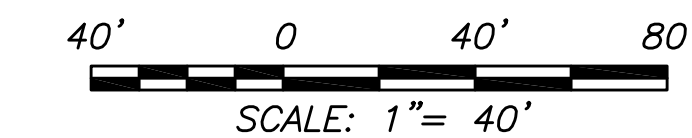
SCALE: 1"=40'



RIDGEWAY AVENUE SECTION

ROAD ELEVATION: 326'
STATION 1+61.40

NOT TO SCALE



1	12/27/17	1ST SUBMITTAL TO TOWN OF FAIRFAX
2	07/12/18	2ND SUBMITTAL TO TOWN OF FAIRFAX
3	08/14/18	REVISIONS PER TOWN OF FAIRFAX
4		

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MARINDA HEIGHTS LOT 10 DRIVEWAY PLAN & PROFILE
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX
 CALIFORNIA

Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

C6.5

15-163