

MATERIAL LEGEND

WOOD - FINISH GYPSUM BOARD CONCRETE BRICK LATH & PLASTER

BATT INSULATION

RIGID INSULATION

METAL FLASHING

PHOTO VOLTAIC PANEL,

INCLINATION: BETWEEN

10° & 20° AZIMUTH TO

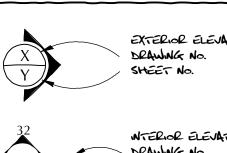
SOUTH, SOUTHWEST

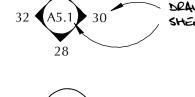
VICINITY MAP

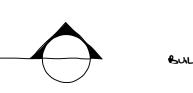
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2'x3' TYP., COMMON

101-1 $\langle A \rangle$







GRID CENTER LINE GRD - FACE OF FRAMING

ELEVATION / DATUM BLDG. PAPER / WATERPROOFING WORK POINT SEALANT AND DOOR NUMBER

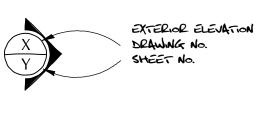
ROOM NAME ROOM NUMBER EQUIPMENT NOTE

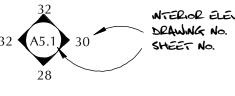
- B2PARTITION TYPE

CENTERLINE POUNDS

PROPERTY LINE

SYMBOLS LEGEND





DETAILED SECTION

BULDING SECTION

TYPICAL DETAIL BUBBLE

> TYPICAL DETAIL REFERENCE

8. WEATHER PROTECTIONS WILL CONFORM TO UBC SECTION 1402A. WEATHER RESISTIVE BARRIERS WILL CONFORM TO UBC STANDARD NO.14-1 FOR KRAFT PAPER AND ASPHALT SATURATED FELT.

9. ALL WSULATION WILL COMPLY WITH UBC SECTION 707.3 FOR FLAME SPREAD. ALL ENERGY REQUIRED INSULATION WILL MEET REQUIREMENTS OF STATE CODES.

10. ALL FORM PLASTIC INSULATION WILL CONFORM WITH UBC SECTION 2606.

GENERAL NOTES

ALL DIMENSIONS AND EXISTING CONDITIONS WILL BE

CHECKED AND VERIFIED BY THE CONTRACTOR

DRAWINGS ARE NOT 24" X 36". THEY HAVE BEEN

FACE OF CONCRETE UNLESS OTHERWISE NOTED.

3. ALL DIMENSIONS ARE TO FACE OF FRAMING OR

AT FURRED OUT WALLS OVER CONCRETE,

DIMENSION NOTE IS TO FACE OF FURRING

4. ALL WOOD IN CONTACT WITH CONCRETE WILL

5. OPENINGS AROUND VENTS, PIPES, DUCTS, FLUES,

6. FIRE STOPPING AND BLOCKING WILL COMPLY WITH UBC SECTION 708. THE EXTENT AND

COORDINATION OF FIRE BLOCKING IS THE

AND SIMILAR AREAS WHICH ALLOW THE PASSAGE OF FIRE AT THE ROOF AND FLOOR LEVELS SHALL

RESPONSIBILITY OF THE GENERAL CONTRACTOR

7. ACCESSORIES SUCH AS TOWEL BARS, GRAB BARS,

WILL BE INSTALLED AND SEALED TO PROTECT

AND SOAP DISHES LOCATED ON OR WITHIN THE WALL

STRUCTURAL ELEMENTS FROM MOISTURE AND MEET

BE PRESSURE PRESERVATIVE TREATED.

CHANNELS, UNLESS OTHERWISE NOTED.

BEFORE PROCEEDING WITH THE WORK

2 DO NOT SCALE THE DRAWINGS. IF THESE

REDUCED OR ENLARGED.

BE FIRE STOPPED.

UBC REQUIREMENTS.

II. ALL PIPNIC, VENTS, AND FLUES THAT PENETRATE THE ROOF ARE TO BE LOCATED PER THE ROOF PLAN AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION PRIOR TO INSTALLATION.

12 (1") MDICATES ACTUAL SIZE. (1X) INDICATES NOMINAL

13. COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL DEVICES WITH ARCHITECTURAL NTERIOR ELEVATIONS AND REFLECTED CEILING

14. THE FIRE ALARM, FIRE SPRINKLER, SOUND SYSTEM AND SECURITY SYSTEM DESIGN, ENGINEERING. DOCUMENTATION, AND INSTALLATION ARE THE DESIGN BULD RESPONSIBILITY OF THE GENERAL CONTRACTOR. AS SUCH, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND COORDINATE THIS WORK AND TO OBTAIN ALL RELEVANT PERMITS. THIS WORK WILL BE PROVIDED AS DESCRIBED IN ANY SPECIFICATIONS, AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY CODE, THE BUILDING INSPECTOR, FIRE DEPARTMENT AND ANY OTHER AGENCY HAVING AUTHORITY. SUCH WORK WILL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING. SUBMISSIONS AND REVIEWS HAVE BEEN SATISFIED

PROJECT STATISTICS

Owner:

Marshal Rothman

Owner's Mailing Address:

PO Box 2434, Mill Valley, CA 94942

Property Address: Marinda Avenue, Fairfax, CA 94930

Zoning:

017-171-51

Occupancy:

House: R-3 Garage: ?

RS - 7.5

Construction Type:

Assessor's Parcel No.:

Type V-A Sprinklered

Lot Area:

437,730 Square Feet Easements: 5,660 Square Feet Unbuidable Area: 0 Square Feet Effective Site Size: 432,070 Square Feet

Allowable F.A.R.: (40% of E.S.S. / 5K Max.)

5,000 Square Feet

Proposed Home Size:

Allowed Garage Size:

SHEET INDEX

A-3 LOWER LEVEL PLAN

A-4 ENTRY LEVEL PLAN

A-5 ROOF LEVEL PLAN

A-10 MATERIALS / COLORS

A-11 GRADING PLAN

A-12 STORY POLE PLAN

A-6 SOUTH & WEST ELEVATIONS

A-7 NORTH & EAST ELEVATIONS

A-8 BLDG. and SITE SECTIONS 1 & 2

A-9 BLDG. and SITE SECTIONS 3 & 4

A-1 COVER SHEET

A-2 SITE PLAN

500 Square Feet

Proposed Garage Size:

615 Square Feet (115 counted as house)

Proposed: 34' - 9"

4,498 Square Feet

Building Height:

Parking Spaces:

3 on parking pad 2 in garage





Pahána known, architects a.i.a.

81 Throckmorton Avenue, Suite 204 Mill Valley, California 94941

Telephone: (415) 383-9531 Facsimile: (415) 383-2578 www.pahana.com

Consultant

Project Title

Marinda Residence

(Lot 1)

at Marinda Avenue Fairfax, California

A.P.N. 017 - 171 - 51

Seal of the Architect

C-27319

Date Signed

Project Number

Plot Date Aug 15, 2018 Revisions:

No. Date Description

Issue Date August 15, 2018

Description

8/15/18Planning Submittal

Sheet Title

Cover Sheet

Sheet Number

n.t.s.

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APPLICABLE CODES

2016 CA Building Code, (1997 UBC)

2016 CA Fire Code (2000 UFC)

10'-0" (SLACV)

2016 CA Mechanical Code (2000 UMC)

2016 CA Plumbing Code (2000 UPC)

DIMENSIONING

FACE OF FRAMING CENTERLINE TO CENTERLINE

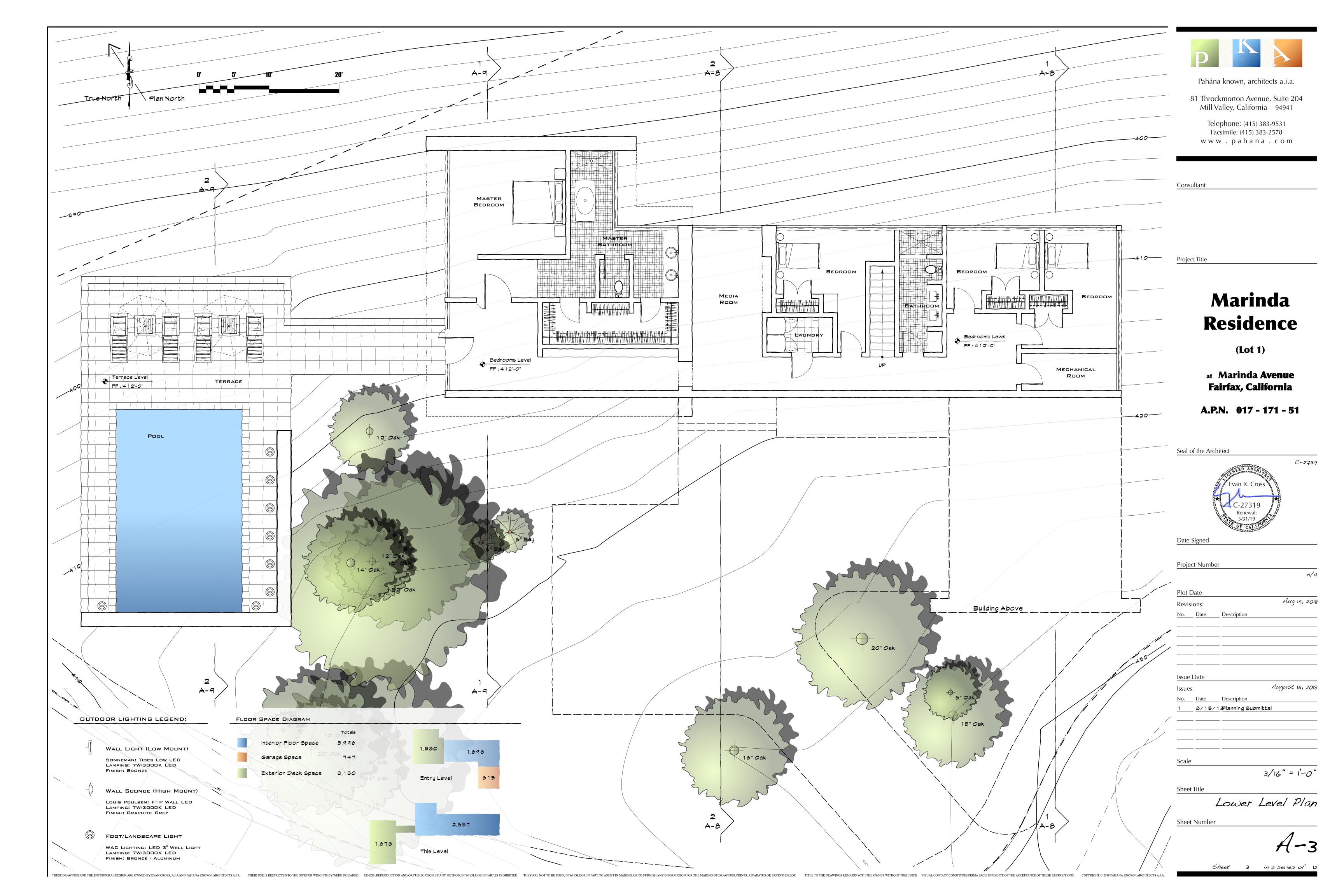
2016 CA Electrical Code (1999 NEC)

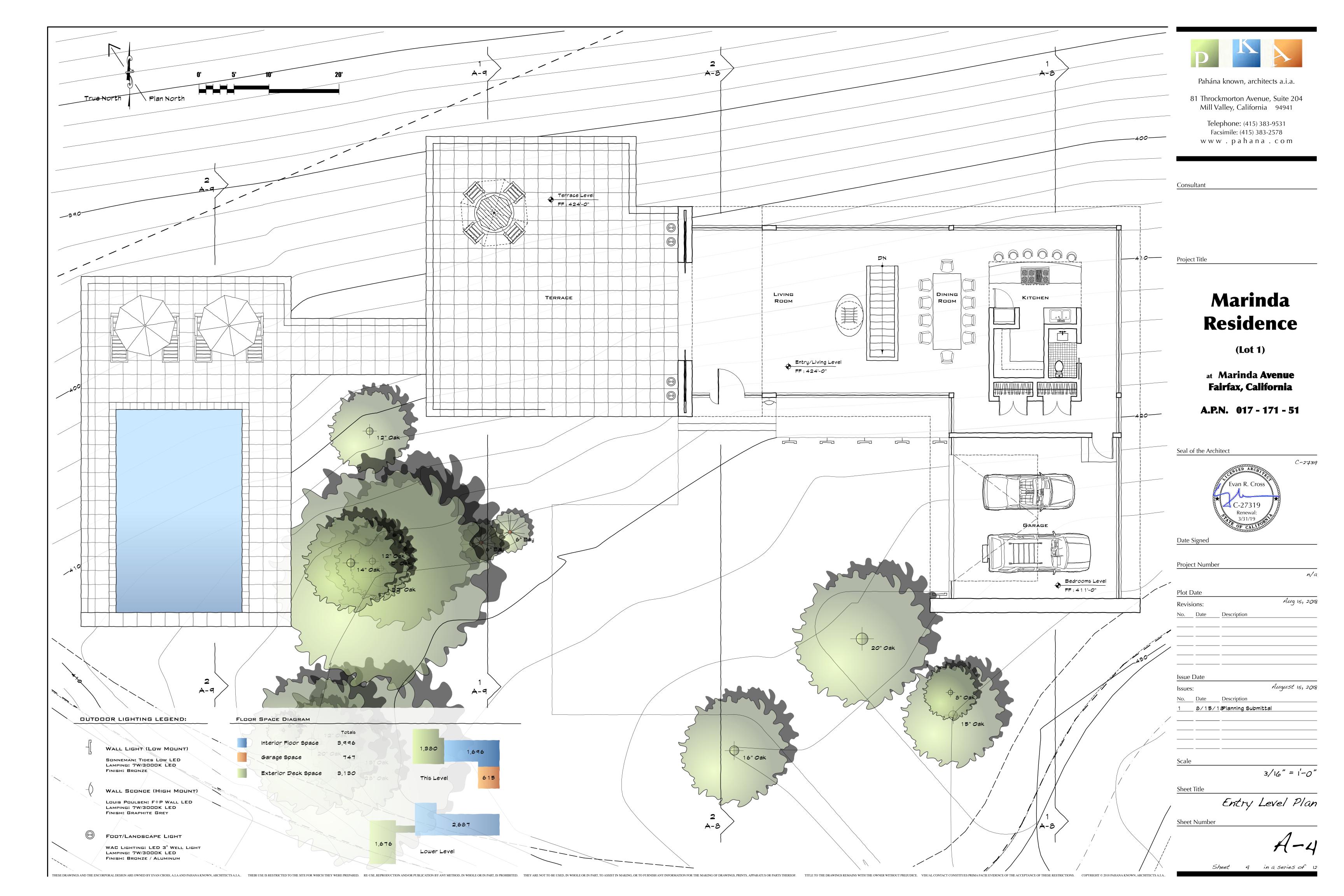
2016 CA Energy Code

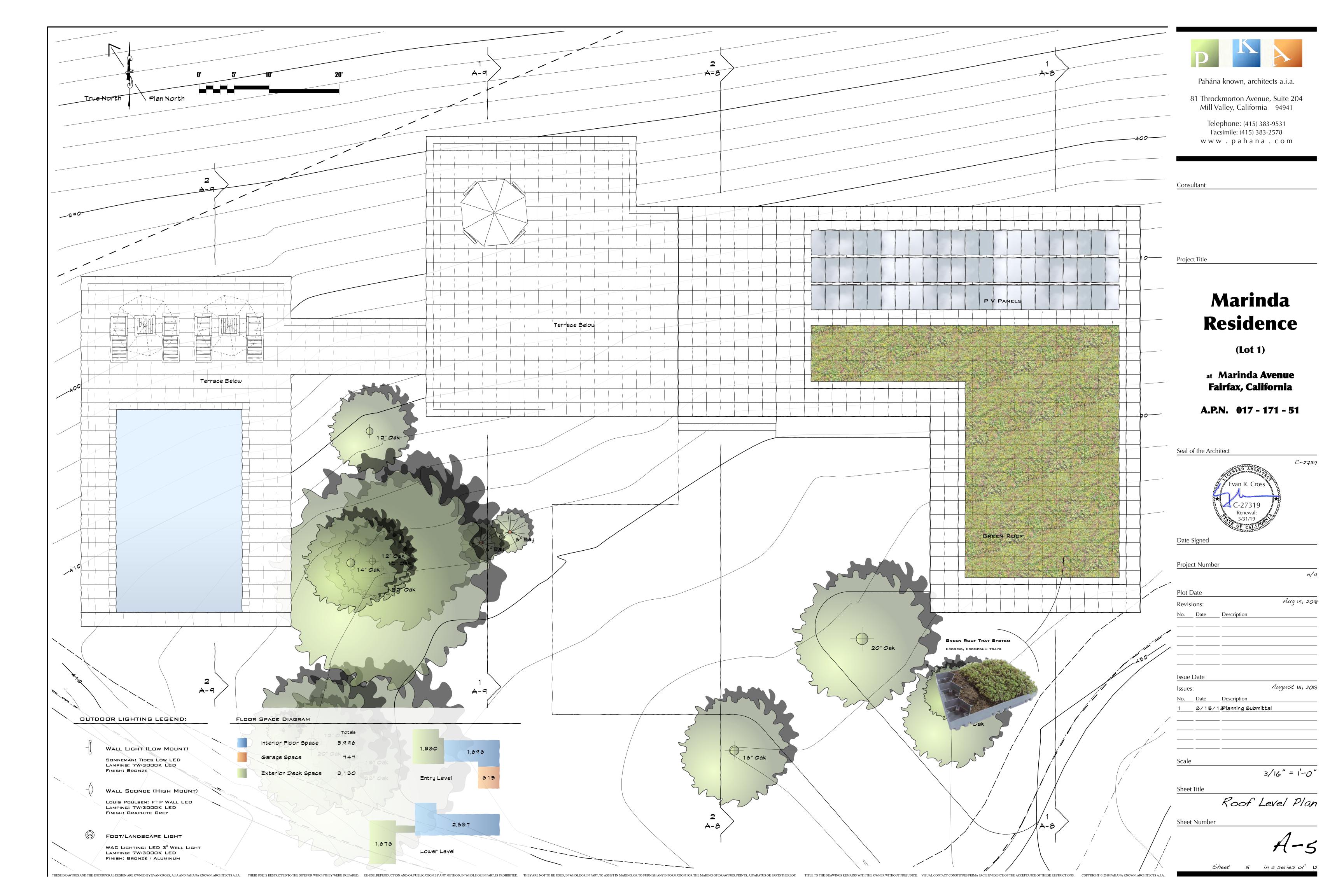
Local and state codes, laws and/or regs.

WDICATES FLEXIBLE DIMENSION AT WHICH TO COMPENSATE FOR FIELD IRREGULARITIES











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Date	

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3/16" = 1'-0"

Sheet Title

South and West Elevations

Sheet 6 in a series of 12



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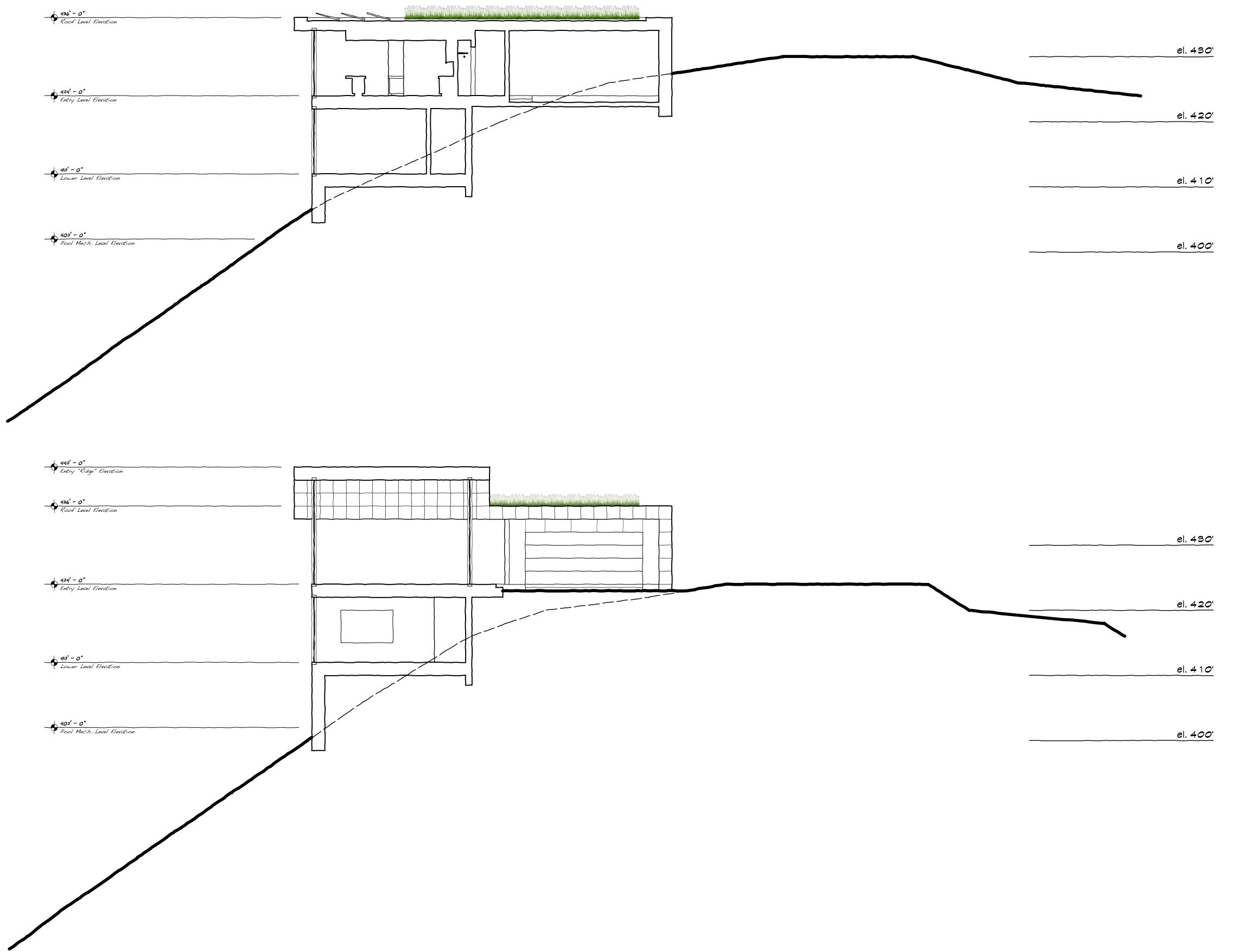
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3/16" = 1'-0"

North and East Elevations

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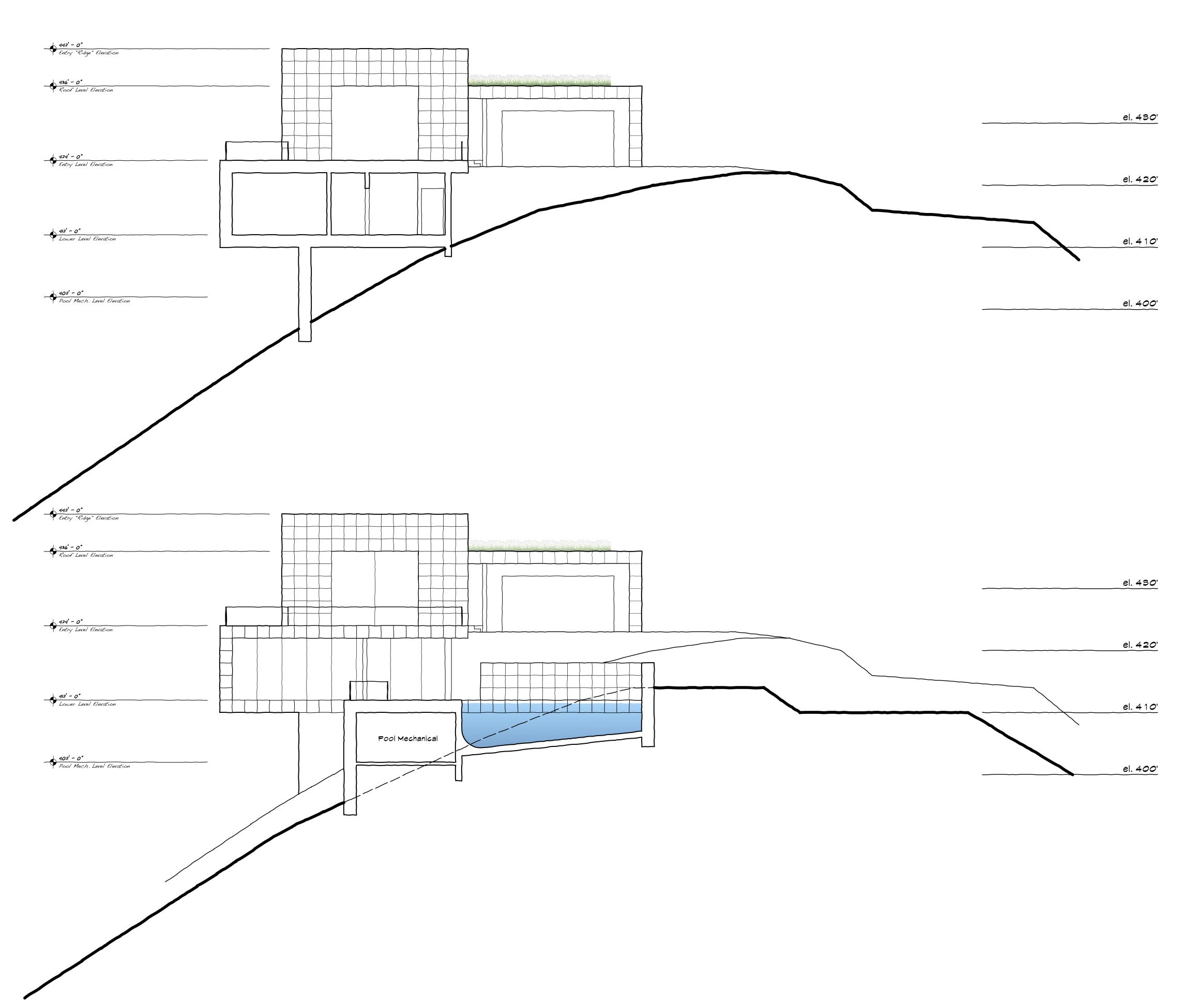
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Sheet Title

Site / Bldg. Sections

Sheet Number

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Scale

Sheet Tit

Materials / Colors

Sheet Number



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