

VESTING TENTATIVE MAP MARINDA HEIGHTS SUBDIVISION FAIRFAX, CALIFORNIA

PROJECT AREA

THE PROJECT AREA IS 100.504 ACRES.

THE PROJECT AREA INCLUDES THE FOLLOWING ASSESSOR PARCELS AND THEIR RESPECTIVE TYPES OF RESIDENTIAL ZONES:

- APN(S):
- 001-150-12 (UR-10 UPLAND RESIDENTIAL (10 AC/DU))
 - 001-160-09 (UR-10 UPLAND RESIDENTIAL (10 AC/DU))
 - 001-251-31 (UR-10 UPLAND RESIDENTIAL (10 AC/DU))
 - 001-171-51 (R.S.-7.5 SINGLE FAMILY RESIDENTIAL)

OWNER
TIMBERSTONE 4038T LLC
P.O. BOX 2434
MILL VALLEY, CA 94942
TEL. (415)363-1356

ENGINEER
OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS, INC.
7200 REDWOOD BLVD STE. 308
NOVATO, CA 94945
TEL. (415)897-2800

ENGINEER'S STATEMENT

I, Leon E. Oberkamper, state that I am a Registered Civil Engineer under the laws of the State of California, that preparation of the map shown hereon was done by me or under my direction.

Signed this _____ day of _____ 2017

Leon E. Oberkamper RCE 12094

GENERAL NOTES:

PER TOWN OF FAIRFAX TITLE 16.08.020 PARAGRAPH C-1.1:

CALIFORNIA HAS BEEN INCREASINGLY AFFECTED BY THE GROWING DISPARITY BETWEEN DEMAND FOR MORE HOUSING AND THE NUMBER OF NEW HOUSING UNITS BEING CREATED EVERY YEAR. SEVERAL LAWMAKERS IN SACRAMENTO AND INCLUDING GOVERNOR BROWN HAVE CALLED FOR CHANGES TO ENCOURAGE CREATION OF ADDITIONAL HOUSING UNITS IN ORDER TO COUNTER THE RISING PRICES WHICH ARE THE DIRECT RESULT OF THIS BOTTLENECK.

THE CHALLENGE COMES IN FINDING WAYS TO INCREASE NUMBERS WITHOUT NEGATIVELY IMPACTING THE QUALITY OF LIFE IN THOSE COMMUNITIES WHERE IT IS PLACED.

THIS PROPOSED PROJECT WILL INCREASE THE NUMBER OF HOUSING UNITS BY A MODEST 10 HOWEVER THROUGH THE GREEN BELTING OF IN EXCESS OF 98% OF THE TOTAL ACREAGE AND CONSTRUCTION AND DEDICATION OF CONNECTING PUBLIC TRAILS AND PARK AREAS, IT DISPROPORTIONATELY IMPROVES THE COMMUNITY'S QUALITY OF LIFE. FURTHER THE MODEST IMPACT OF 10 HOMES AS COMPARED TO THE NUMBER OF RESIDENTS WHO BENEFIT FROM EXPANDED AND CODIFIED USE MAY ALLOW THE TOWN THE FLEXIBILITY TO APPROVE HIGHER DENSITY HOUSING IN OTHER AREAS BY TEMPERING THEIR IMPACT.

FINALLY, BECAUSE THOSE WHO UPGRADE INTO THESE HOMES WILL LIKELY BE MOVING OUT OF THEIR PRESENT HOMES THIS PROJECT SHOULD HAVE A POSITIVE EFFECT BY FREEING UP HOMES FOR OTHERS IN THE MORE AFFORDABLE RANGE.

PER TOWN OF FAIRFAX TITLE 16.08.020 PARAGRAPH C-1.1:

CALIFORNIA HAS BEEN INCREASINGLY AFFECTED BY THE GROWING DISPARITY BETWEEN DEMAND FOR MORE HOUSING AND THE NUMBER OF NEW HOUSING UNITS BEING CREATED EVERY YEAR. SEVERAL LAWMAKERS IN SACRAMENTO INCLUDING GOVERNOR BROWN HAVE CALLED FOR CHANGES TO ENCOURAGE CREATION OF ADDITIONAL HOUSING UNITS IN ORDER TO COUNTER THE RISING PRICES WHICH ARE THE DIRECT RESULT OF THIS BOTTLE NECK.

THE CHALLENGE COMES IN FINDING WAYS TO INCREASE NUMBERS WITHOUT NEGATIVELY IMPACTING THE QUALITY OF LIFE IN THOSE COMMUNITIES WHERE IT IS PLACED.

THIS PROPOSED PROJECT WILL INCREASE THE NUMBER OF HOUSING UNITS BY ONLY A MODEST 10. HOWEVER, THROUGH THE GREEN BELTING OF IN EXCESS OF 98% OF THE TOTAL ACREAGE AND CONSTRUCTION AND DEDICATION OF CONNECTING PUBLIC TRAILS AND PARK AREAS, IT DISPROPORTIONATELY IMPROVES THE COMMUNITY'S QUALITY OF LIFE. FURTHER THE MODEST IMPACT OF 10 HOMES AS COMPARED TO THE NUMBER OF RESIDENTS WHO BENEFIT FROM EXPANDED AND CODIFIED USE MAY ALLOW THE TOWN THE FLEXIBILITY TO APPROVE HIGHER DENSITY HOUSING IN OTHER AREAS BY TEMPERING THEIR IMPACT.

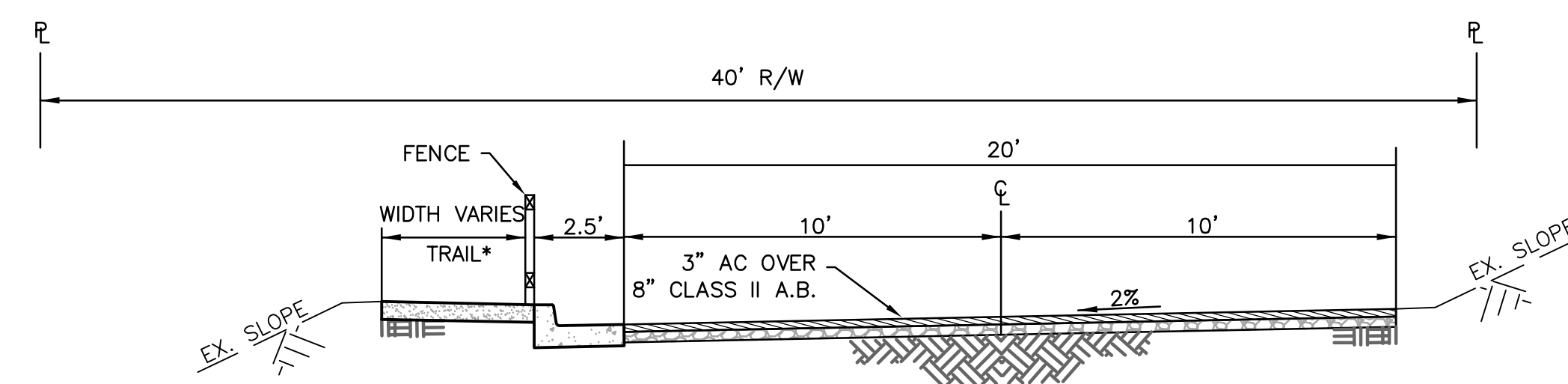
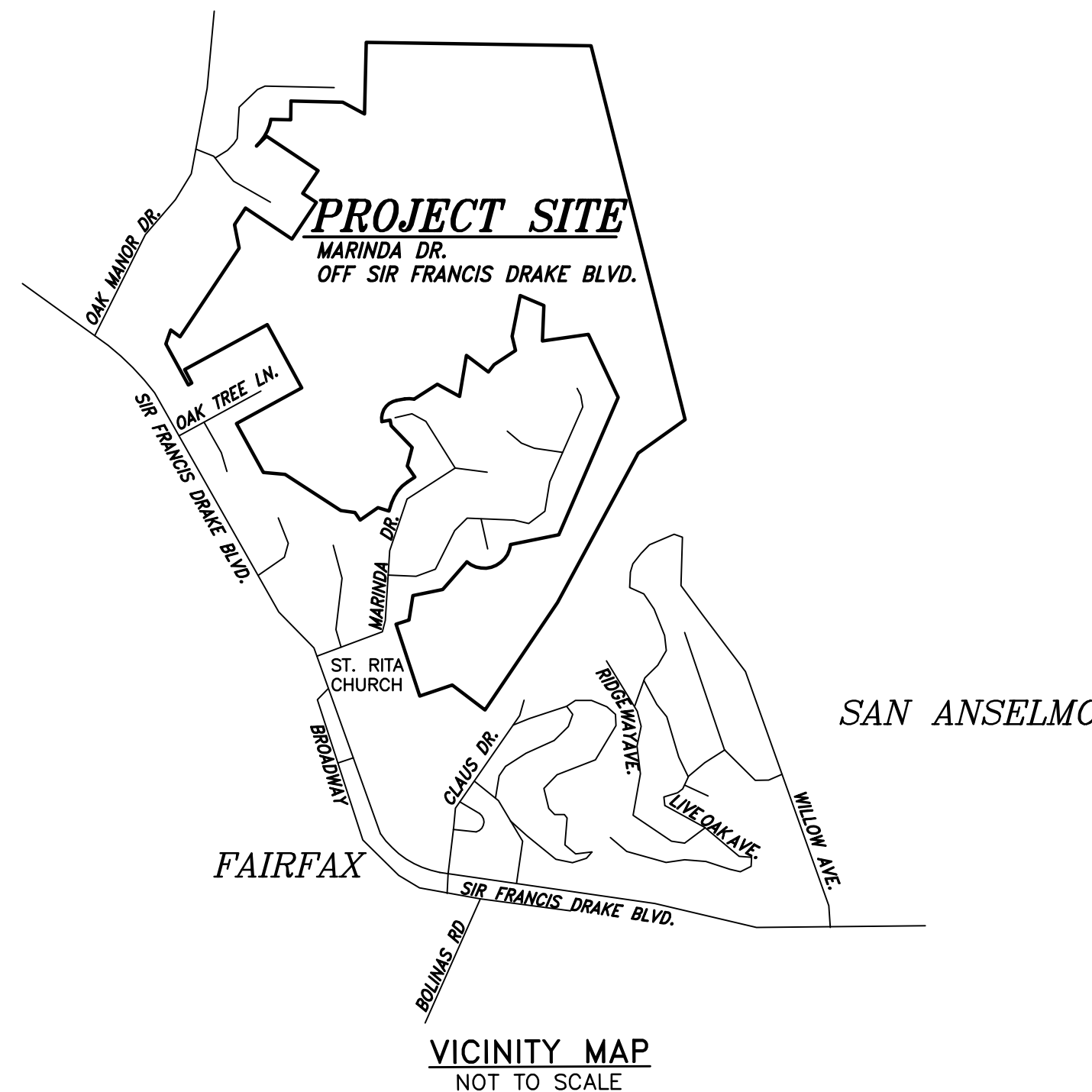
UTILITY NOTES:

1. SANITARY SEWER TO BE PROVIDED BY ROSS VALLEY SANITARY DISTRICT.
2. WATER TO BE PROVIDED BY MARIN MUNICIPAL WATER DISTRICT.
3. GAS AND ELECTRICITY TO BE PROVIDED BY PACIFIC, GAS & ELECTRIC.
4. CABLE & TELEPHONE TO BE PROVIDED BY COMCAST.

BENCHMARK NOTE

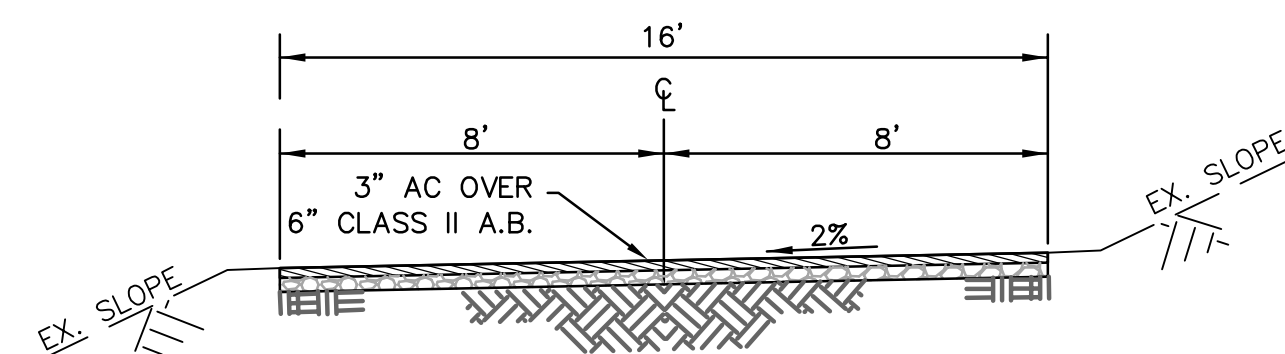
THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) TIED TO NATIONAL GEODETIC SURVEY (NGS) BENCHMARK PID: "HT3516." SAID BENCHMARK HAVING AN ORTHOMETRIC HEIGHT OF 114.87 FEET (FIRST ORDER, CLASS II, JUNE 1991 ADJUSTMENT).

DESCRIBED BY NGS AS FOLLOWS: "IN SAN ANSELMO, AT THE INTERSECTION OF SIR FRANCIS DRAKE BOULEVARD AND SUFFIELD AVENUE, 38.7 M (127.0 FT) WEST OF THE CENTERLINE OF BUTTERFIELD ROAD, 12.4 M (40.7 FT) WEST OF THE SOUTHWEST CORNER OF THE CONCRETE FOUNDATION FOR AN UNDERGROUND CABLE JUNCTION BOX, 12.0 M (39.4 FT) NORTH OF THE CENTERLINE OF THE BOULEVARD, AND 8.1 M (26.6 FT) SOUTHEAST OF THE CENTERLINE OF THE AVENUE. NOTE--ACCESS TO DATUM POINT IS HAD THROUGH A 5-INCH LOGO CAP. THE MARK IS ABOVE LEVEL WITH THE AVENUE.

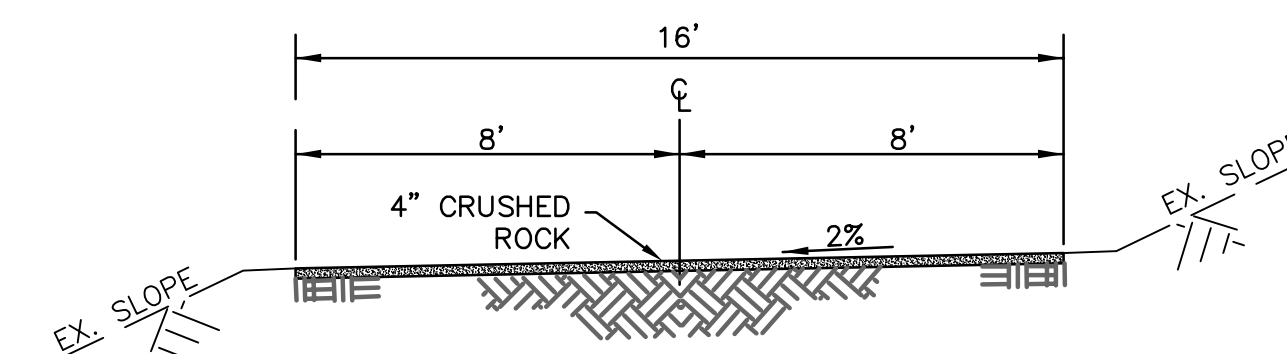


*NOTE
THE PROPOSED TRAIL SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 6 OF THE MARIN COUNTY OPEN SPACE DISTRICT'S "ROAD AND TRAIL MANAGEMENT PLAN," DATED DECEMBER 16, 2014.

**TYPICAL SECTION - 20' ROAD W/
CURB, GUTTER & TRAIL**
NOT TO SCALE



TYPICAL SECTION - 16' DRIVEWAY
NOT TO SCALE



TYPICAL SECTION - 16' FIRE ROAD
NOT TO SCALE

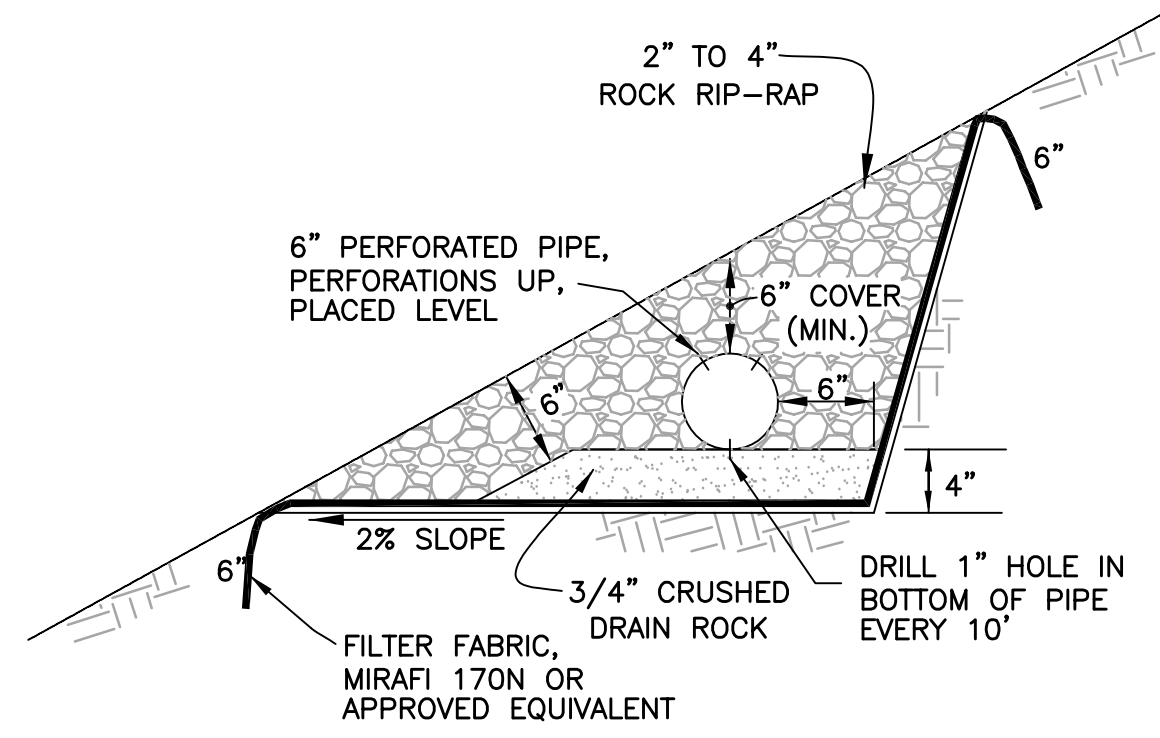
LEGEND

Ø	DIAMETER	---	BOUNDARY LINE
APN	TAX ASSESSOR'S PARCEL NUMBER	---	CENTERLINE
EP	EDGE OF PAVEMENT	---	CONTOURS (EXISTING)
E.S.M.T.	EASEMENT	---	CONTOURS (PROPOSED)
D.E.	DRAINAGE EASEMENT	---	EASEMENT LINE
DI	DRAINAGE INLET	---	FORCE MAIN SEWER
FF	FINISHED FLOOR	---	OUTLET DISSIPATER
FL	FLOW LINE	---	PROPERTY LINE (PROPOSED)
FRK	FORK	---	SEWER (PROPOSED)
GF	GARAGE FLOOR	---	STORM DRAIN (PROPOSED)
R.M.	RECORD MAP	---	WATER (PROPOSED)
R.A.T.U.	ROADWAY ACCESS, TRAIL & UTILITY	---	BIODIFFUSION/RETENTION
P.A.	PARCEL A	---	TRAIL AREA
SS	SANITARY SEWER	---	PERMEABLE JOINT PAVERS
SD	STORM DRAIN	---	
SDCO	STORM DRAIN CLEAN OUT	---	
SDMH	STORM DRAIN MANHOLE	---	
UFF	UPPER LEVEL FINISHED FLOOR	---	
WHT	WALL HEIGHT	---	
⊙	EXISTING TREE TO REMAIN		
⊙	EXISTING TREE TO BE REMOVED		

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- C2.2 LOT LAYOUT & DIMENSIONS III
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- C6.3 MARINDA HEIGHTS FIRE ROAD PLAN & PROFILE I
- C6.4 LOT 1 DRIVEWAY PLAN & PROFILE
- C6.5 LOT 6 DRIVEWAY PLAN & PROFILE
- C6.6 LOT 10 DRIVEWAY PLAN & PROFILE

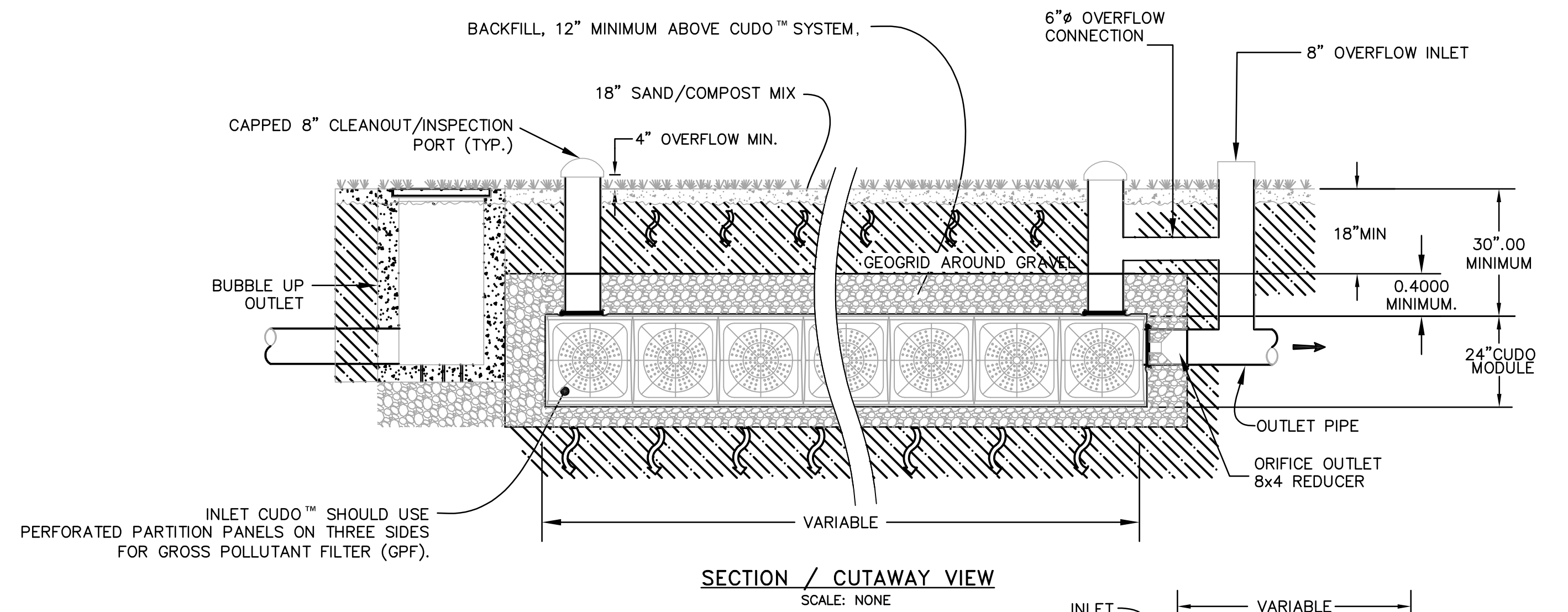
12/14/17 BUILDING ENVELOPE MAP ADDITION
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 PHONE: (415) 897-2800
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 COVER SHEET
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 CA
 Scale: NOT TO SCALE
 Drawn by: HUS
 Designed by: PAB
 Checked by: LEO
 Date: DECEMBER 2017
 SHEET
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NOTE: PERFORATED PIPE MUST BE INSTALLED LEVEL TO ENSURE EVEN STORMWATER DISCHARGE

PERFORATED PIPE OUTLET DISSIPATER

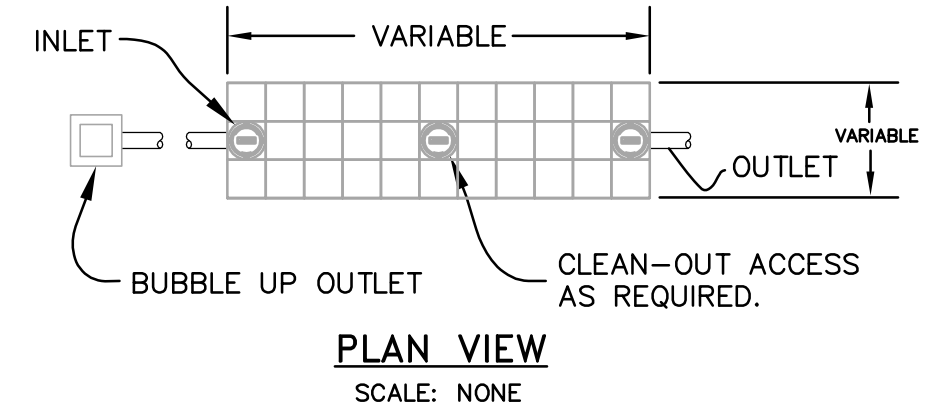
NO SCALE



INLET CUDO™ SHOULD USE PERFORATED PARTITION PANELS ON THREE SIDES FOR GROSS POLLUTANT FILTER (GPF).

SECTION / CUTAWAY VIEW

SCALE: NONE



PLAN VIEW

SCALE: NONE

- NOTES:
1. INSTALL GEOGRID LAYER, (TENSAR BX1200 OR EQUIVALENT) IN ACCORDANCE WITH MANUFACTURER RECOMMENDATIONS.

INTEGRATED BIOINFILTRATION-DETENTION SYSTEM TYPICAL DETAILS

SCALE: NONE

1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
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STORMWATER CONTROL MEASURE DETAILS
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	NOT TO SCALE
Drawn by:	HUS
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Date:	DECEMBER 2017



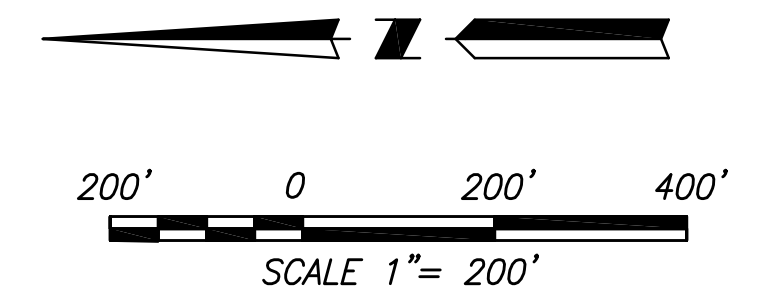
BOUNDARY & TOPOGRAPHIC MAP

SCALE: 1" = 200'

LEGEND

- BOUNDARY LINE
- ZONING AREA: R.S - 7.5 SINGLE FAMILY RESIDENTIAL
- 120--- MAJOR CONTOURS
- 121--- MINOR CONTOURS

BOUNDARY DIMENSIONS				
TAG #	BEARING	DISTANCE	RADIUS	DELTA Δ
1	S1° 8' 32"W	99.93'	-	-
2	N88° 41' 23"W	74.28'	-	-
3	CURVE	161.71'	270.00'	34° 19' 00"
4	N45° 28' 35"E	74.28'	-	-
5	S33° 47' 35"E	145.00'	-	-
6	S56° 47' 35.08"W	232.00'	-	-
7	S53° 47' 35"W	105.49'	-	-
8	N61° 20' 16"E	21.13'	-	-
9	N28° 39' 44"W	80.00'	-	-
10	S84° 49' 29"E	116.29'	-	-
11	S82° 05' 47"E	75.00'	-	-
12	S33° 35' 47"E	49.00'	-	-
13	N54° 48' 27"E	116.00'	-	-
14	S72° 01' 28"E	61.49'	-	-
15	N17° 54' 13.11"E	46.04'	-	-
16	CURVE	140.08'	208.36'	38° 31' 04"
17	N56° 26' 47"E	46.72'	-	-
18	N33° 31' 47"W	71.00'	-	-
19	N14° 19' 13"E	100.54'	-	-
20	N43° 56' 46.89"W	160.00'	-	-
21	N10° 03' 53.77"W	29.89'	-	-
22	S79° 56' 29.62"W	43.99'	-	-
23	CURVE	152.367'	97.00'	90° 00' 00"
24	N79° 56' 13.11"E	43.43'	-	-
25	CURVE	48.75'	121.49'	22° 59' 30"
26	N38° 19' 29"E	49.43'	-	-
27	N13° 55' 31"W	77.26'	-	-
28	CURVE	305.43'	140.00'	125° 00' 00"
29	S72° 04' 13"W	72.51'	-	-



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
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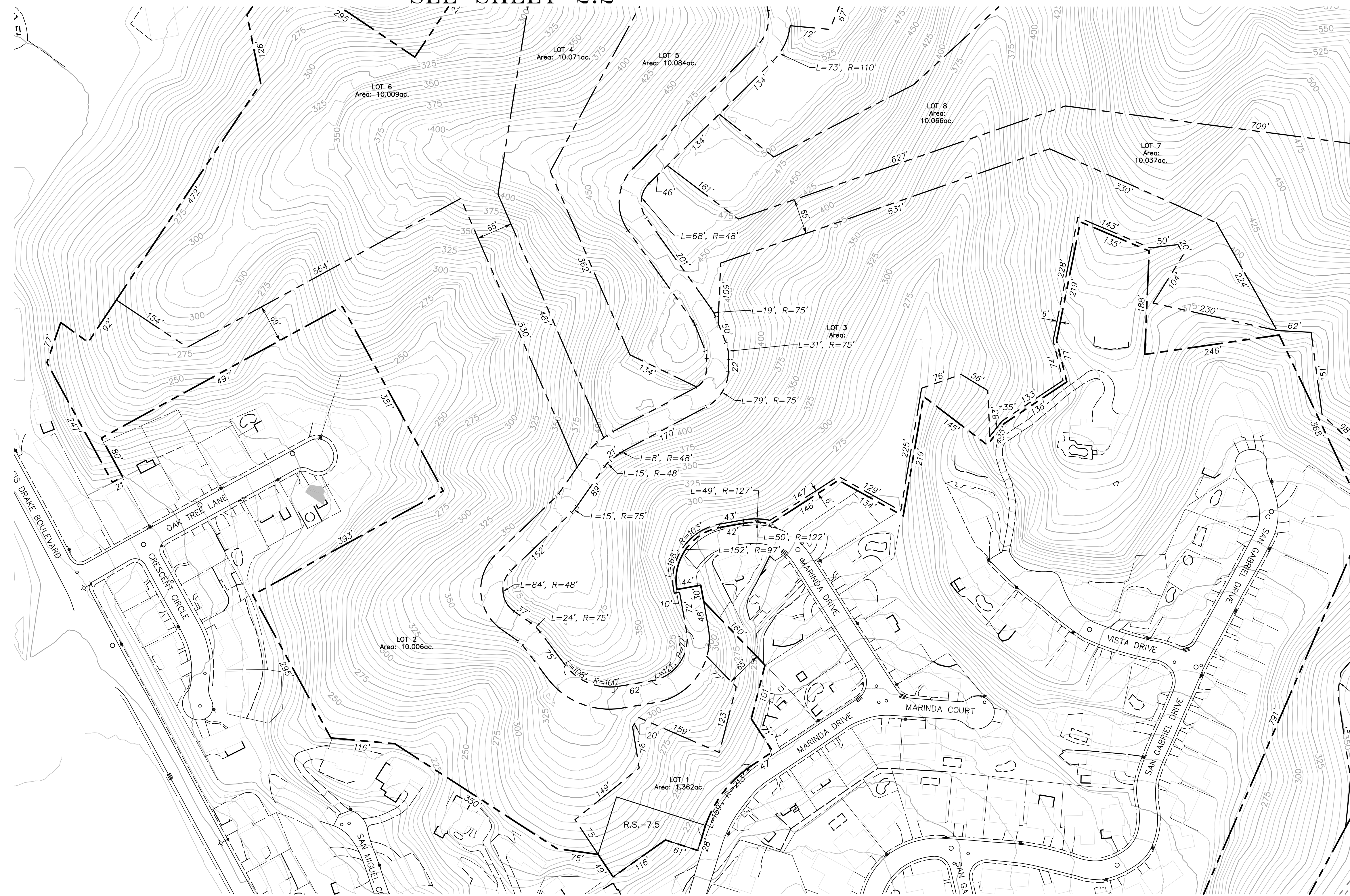
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BOUNDARY & TOPOGRAPHIC MAP
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX, CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1" = 200'
 Drawn by: HUS
 Field Crew: JA/JH
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
C2.0
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SEE SHEET 2.2



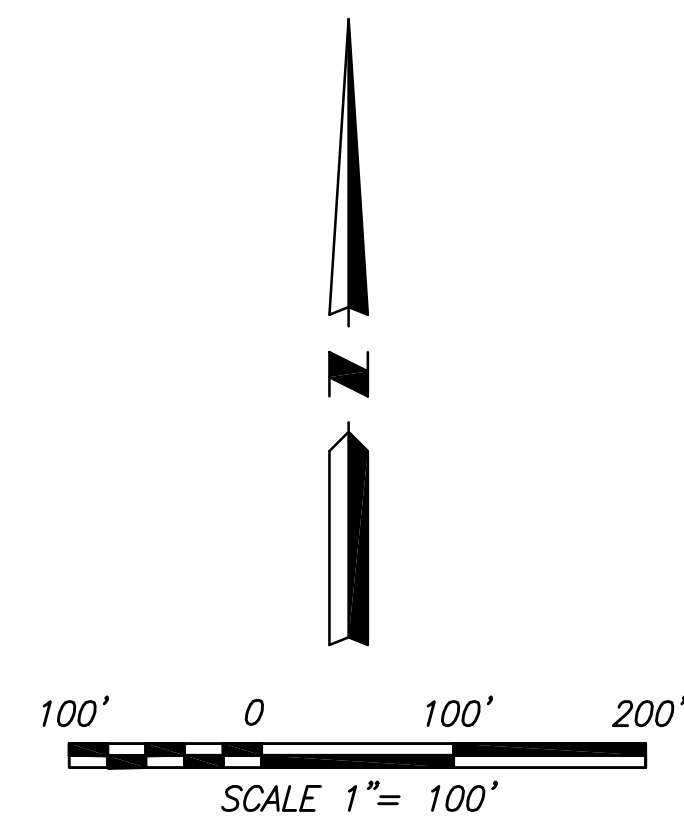
MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS I

SCALE: 1" = 100'

LEGEND

- BOUNDARY LINE
- MAJOR CONTOURS
- MINOR CONTOURS
- PROPERTY LINE

SEE SHEET 2.3



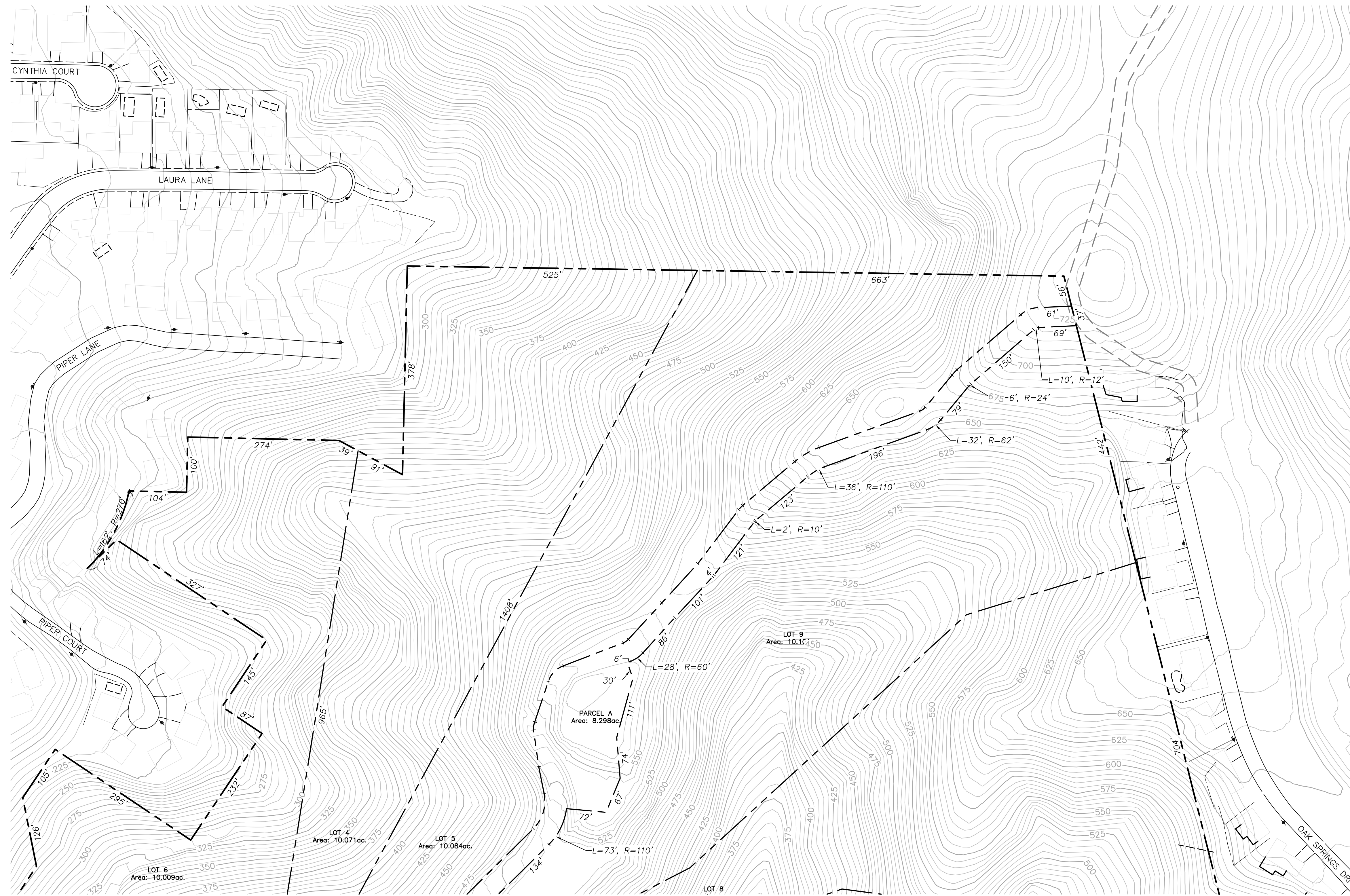
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
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MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	1" = 100'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	SEPTEMBER 28, 2017

SHEET
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SEE SHEET 2.1

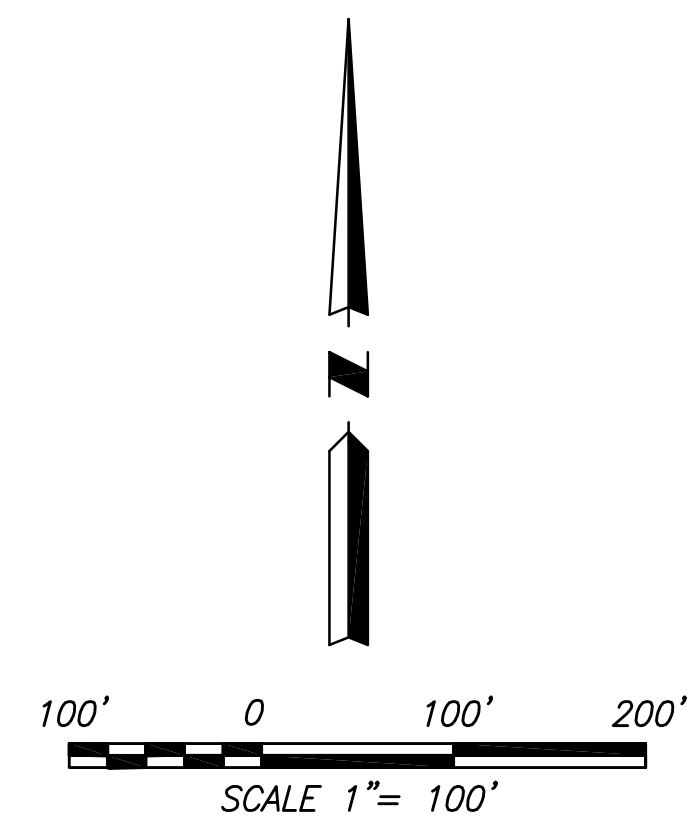
MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS II

SEE SHEET 2.3

SCALE: 1" = 100'

LEGEND

- BOUNDARY LINE
- 120--- MAJOR CONTOURS
- 121--- MINOR CONTOURS
- PROPERTY LINE



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
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MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS II
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale: 1" = 100'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
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 15-163

SEE SHEET C2.2



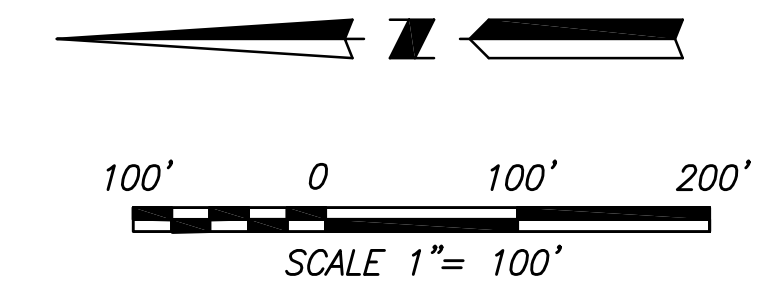
SEE SHEET C2.1

MARINDA HEIGHTS LOT LAYOUT & DIMENSIONS III

SCALE: 1" = 100'

LEGEND

- BOUNDARY LINE
- - - EXISTING TRAIL
- 120— MAJOR CONTOURS
- 121— MINOR CONTOURS
- PROPERTY LINE



Scale: 1" = 100'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET

C2.3

OF 32

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TOWN OF FAIRFAX
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

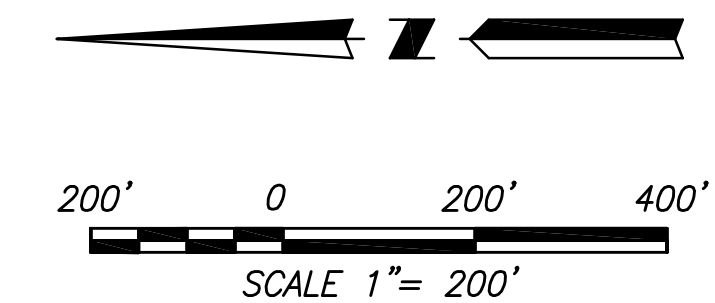
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1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
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4		



TRAIL, PARK & ROAD ACCESS MAP

SCALE: 1" = 200'



Scale: 1" = 200'
 Drawn by: HJS
 Designed by: HJS
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET

C2.4

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TRAIL, PARK & ROAD ACCESS MAP
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
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1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
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4		



POTENTIAL HOUSE DISTURBANCE MAP

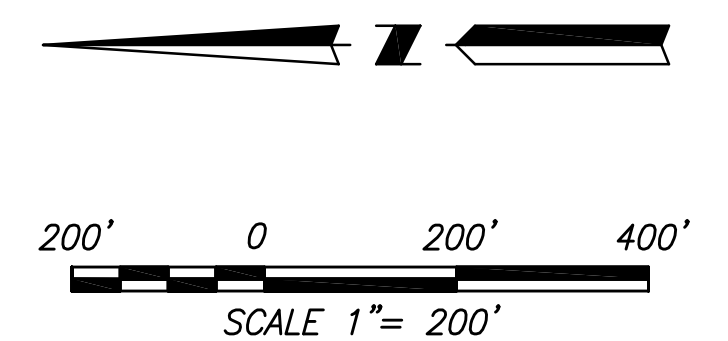
SCALE: 1" = 200'

NOTES:

- TOTAL SITE AREA = 100.50 ACRES
- PARCEL A (8.298 ACRES) TO BE OFFERED FOR DEDICATION.
- TOTAL SITE AREA - PARCEL A = 92.20
- POTENTIAL HOUSE DISTURBANCE AREA = 4.27 ACRES
- GREEN BELT AREA = 92.20 - 4.27 = 87.93 ACRES
- PERCENTAGE OF TOTAL SITE TO BE GREEN BELTED = 87.93/92.20
= 95.37%

LEGEND

- LIMIT OF POTENTIAL HOUSE DISTURBANCE AREA
- GREEN BELT AREA



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2		
3		
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POTENTIAL HOUSE DISTURBANCE MAP
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 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	1"=200'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017

SHEET
C25
 OF 32
 15-163



NOTES:

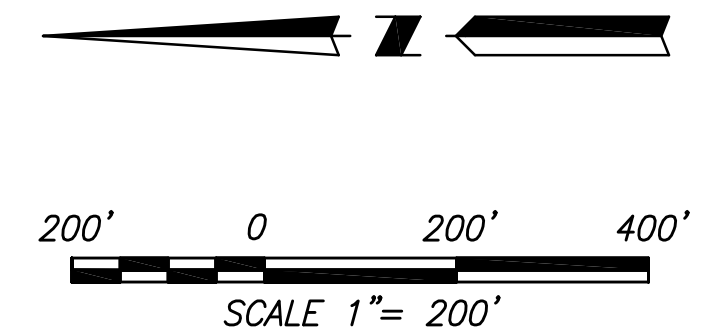
ALL SHADED AREAS SHOWN SHALL REMAIN IN THEIR NATURAL STATE AND WILL BE PROTECTED BY DEED RESTRICTION FROM DEVELOPMENT AND FENCING.

LEGEND

- BUILDING ENVELOPE & ROADWAY ACCESS AREAS
- NATURAL STATE AREAS

BUILDING ENVELOPES WITH ACCESS ROADWAY MAP

SCALE: 1" = 200'



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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BUILDING ENVELOPE WITH ACCESS ROADWAY MAPS
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX, CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

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SLOPE ANALYSIS MAP

SCALE: 1" = 200'

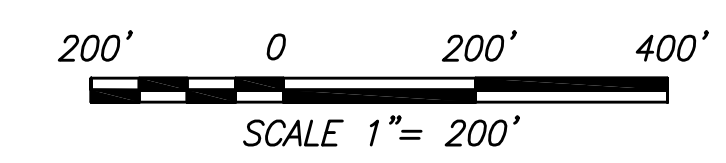
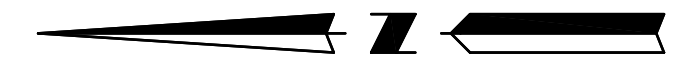
NOTE:

LOT 1'S HOUSE IS WITHIN A PARCEL CLASSIFIED AS A R.S.-7.5 SINGLE FAMILY RESIDENTIAL ZONING DUE TO THIS THE HOUSE MUST MEET THE LOT AREA REQUIREMENTS SET BY THE TOWN OF FAIRFAX BASED ON SLOPE AS FOLLOWS.

BUILDING SITE REQUIREMENTS PER 17.076.050 (C)
 SLOPE PER MARIN MAPS IS 55.5%
 55.5-15=40.5%
 40.5*1200=48,600 SF
 48,600+10,000=58,600 SF OR 1.345 ACRES

LEGEND

- 0 - 20% SLOPE
- 20% - 30% SLOPE
- 30% - 40% SLOPE
- > 40% SLOPE



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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SLOPE ANALYSIS MAP
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

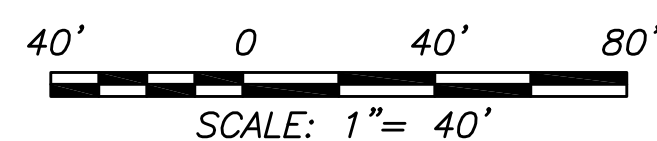
Scale: 1"=200'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SEE SHEET C3.1



LEGEND

- BOUNDARY LINE
- MAJOR CONTOURS
- MINOR CONTOURS
- TOE OF SLOPE
- TOP OF SLOPE
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED

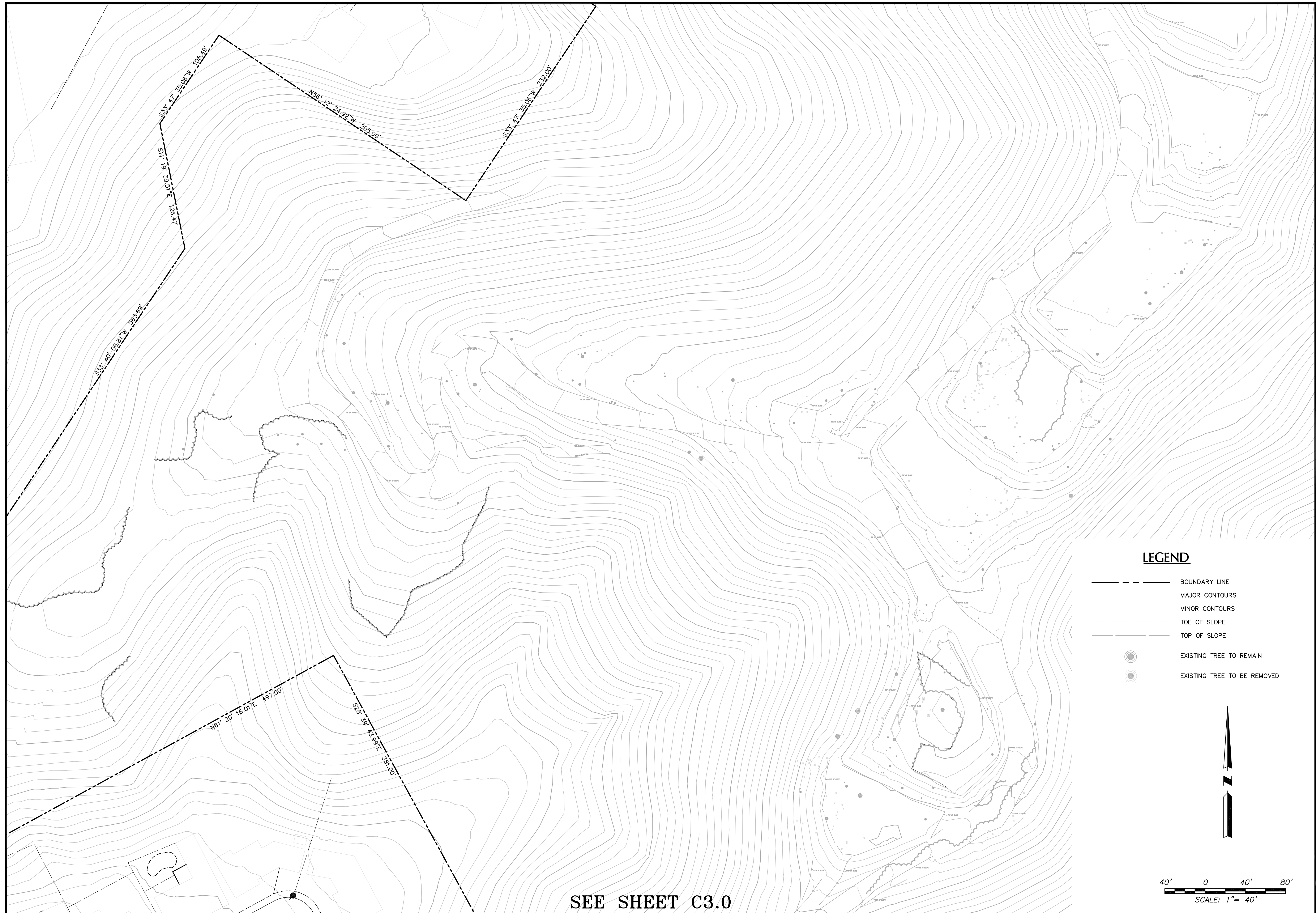


1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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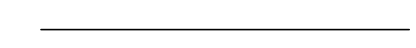
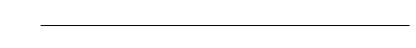




EXISTING CONDITIONS - LOT 1, 2 & 3
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

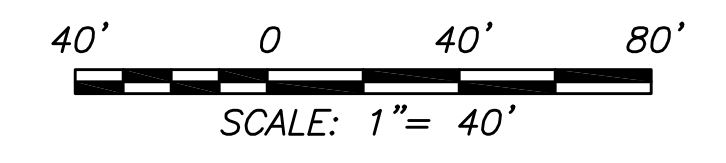
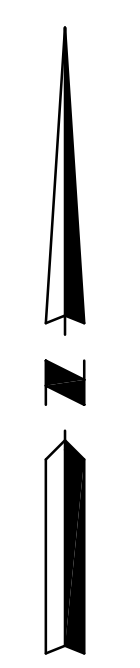
Scale:	1"=40'
Drawn by:	HUS
Field Crew:	JA/JH
Checked by:	LEO
Date:	DECEMBER, 2017
SHEET	
C3.0	
OF 32	
15-163	



SEE SHEET C3.0

LEGEND

-  BOUNDARY LINE
-  MAJOR CONTOURS
-  MINOR CONTOURS
-  TOE OF SLOPE
-  TOP OF SLOPE
-  EXISTING TREE TO REMAIN
-  EXISTING TREE TO BE REMOVED



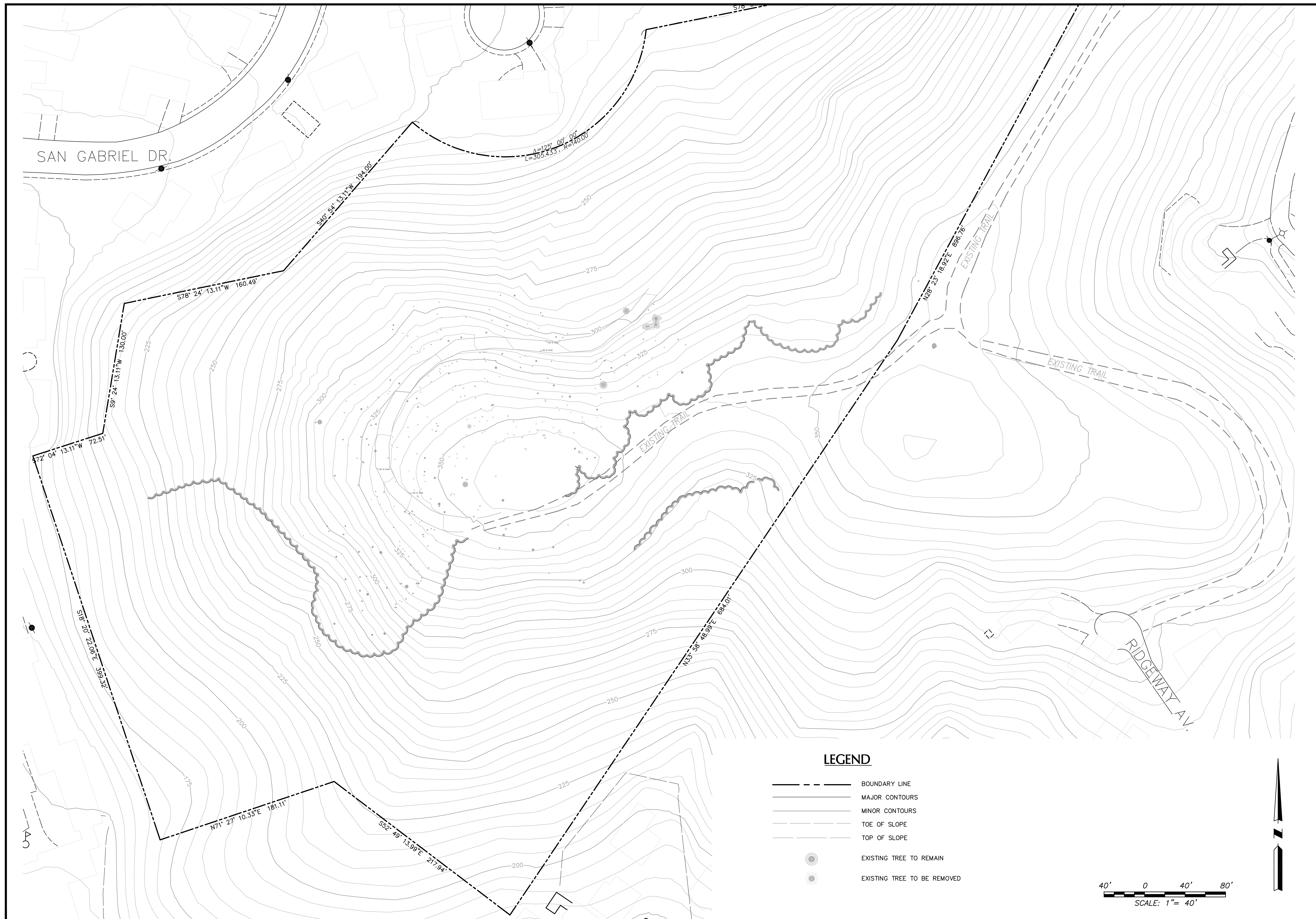
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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EXISTING CONDITIONS - LOT 4 - 9
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

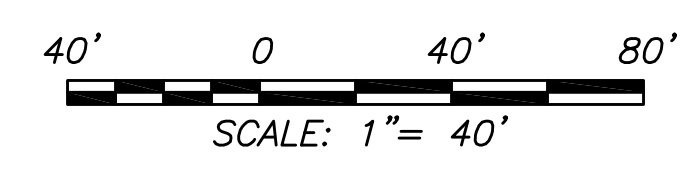
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 Drawn by: HUS
 Field Crew: JA/JH
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
C3.1
 OF 32
 15-163



LEGEND

- BOUNDARY LINE
- MAJOR CONTOURS
- - - MINOR CONTOURS
- - - TOE OF SLOPE
- - - TOP OF SLOPE
- ⊙ EXISTING TREE TO REMAIN
- ⊙ EXISTING TREE TO BE REMOVED



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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EXISTING CONDITIONS - LOT 10
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	1"=40'
Drawn by:	HUS
Field Crew:	JA/JH
Checked by:	LEO
Date:	DECEMBER, 2017
SHEET	
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OF 32	
15-163	



EASEMENT & UTILITY PLAN

SCALE: 1" = 200'

ABBREVIATIONS

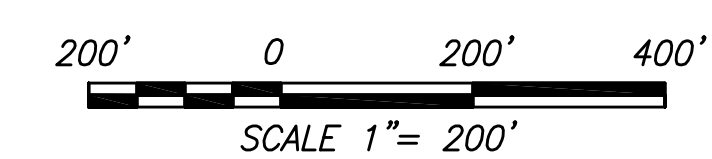
- E.S.M.T. EASEMENT
- D.E. DRAINAGE EASEMENT
- R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY
- P.A. PARCEL A

LEGEND

- EASEMENT LINE
- PROPERTY LINE
- 120— CONTOURS (EXISTING)

LOT TABLE

DESCRIPTION	AREA (ACRES)
TOTAL SITE AREA	100.504
LOT 1	1.362
LOT 2	10.006
LOT 2 - 20' ACCESS & UTILITY EASEMENT AREA	0.061
LOT 2 - NET AREA	9.945
LOT 3	10.129
LOT 4	10.071
LOT 4 - 20' ACCESS & UTILITY EASEMENT AREA	0.070
LOT 4 - NET AREA	10.001
LOT 5	10.084
LOT 5 - 20' ACCESS & UTILITY EASEMENT AREA	0.072
LOT 5 - NET AREA	10.012
LOT 6	10.009
LOT 7	10.037
LOT 8	10.066
LOT 9	10.101
LOT 10	10.341
PARCEL A (P.A.)	8.298



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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EASEMENT & UTILITY PLAN
VESTING TENATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale: 1" = 200'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

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 15-163

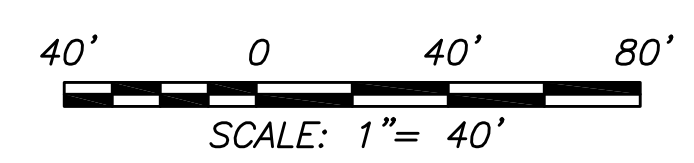


ABBREVIATIONS

- E.S.M.T. EASEMENT
- D.E. DRAINAGE EASEMENT
- R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY
- P.A. PARCEL A

LEGEND

- 120 CONTOURS (EXISTING)
- EASEMENT LINE
- FM FORCE MAIN SEWER
- PROPERTY LINE (PROPOSED)
- SS SEWER (PROPOSED)
- W WATER (PROPOSED)



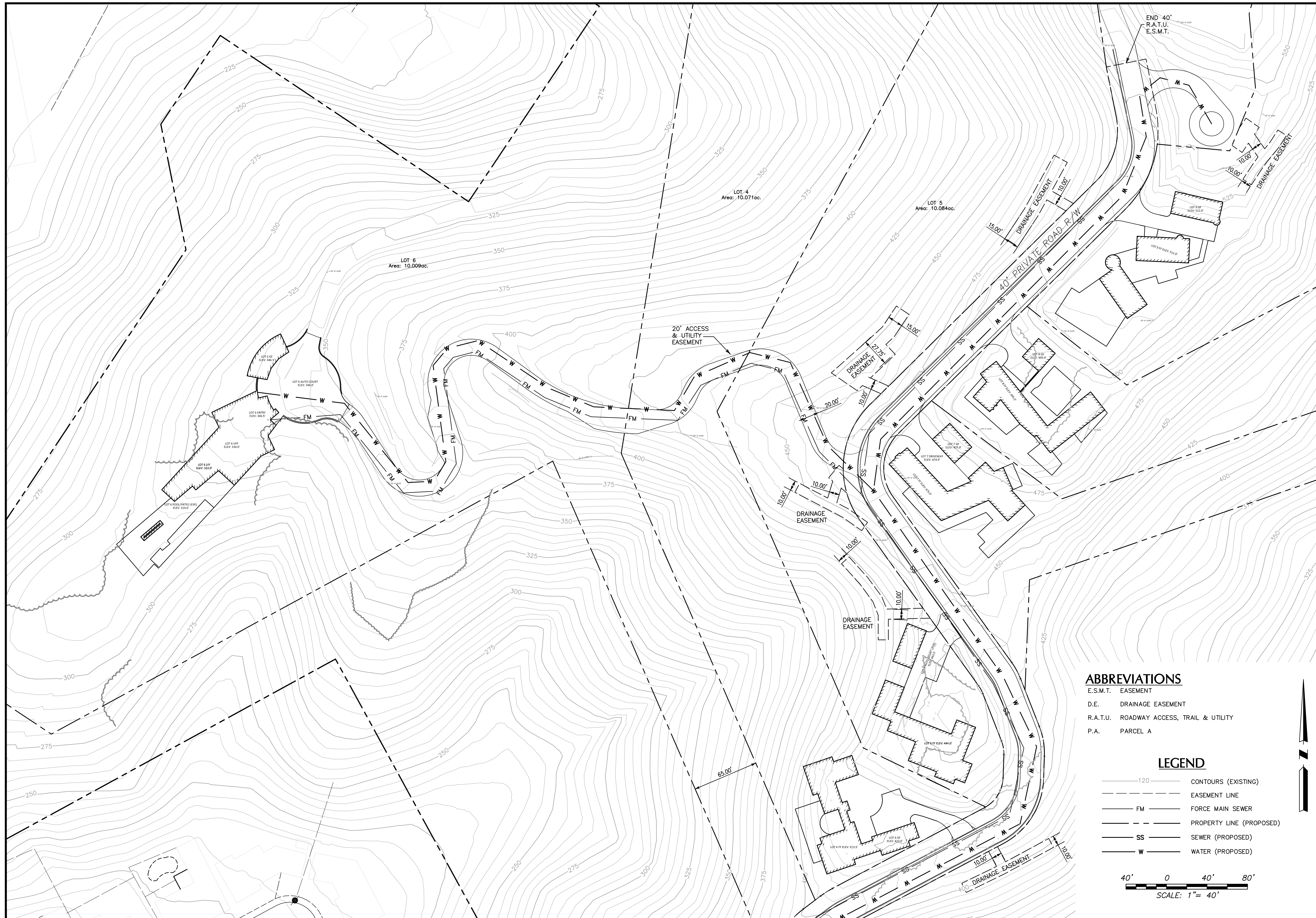
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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EASEMENT & UTILITY PLAN - LOTS 1, 2 & 3
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX CALIFORNIA

Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: PAB
 Date: DECEMBER, 2017

SHEET
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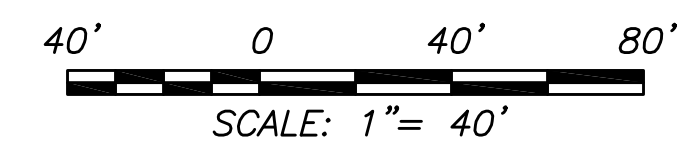


ABBREVIATIONS

- E.S.M.T. EASEMENT
- D.E. DRAINAGE EASEMENT
- R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY
- P.A. PARCEL A

LEGEND

- 120— CONTOURS (EXISTING)
- - - - - EASEMENT LINE
- FM FORCE MAIN SEWER
- - - - - PROPERTY LINE (PROPOSED)
- SS SEWER (PROPOSED)
- W WATER (PROPOSED)



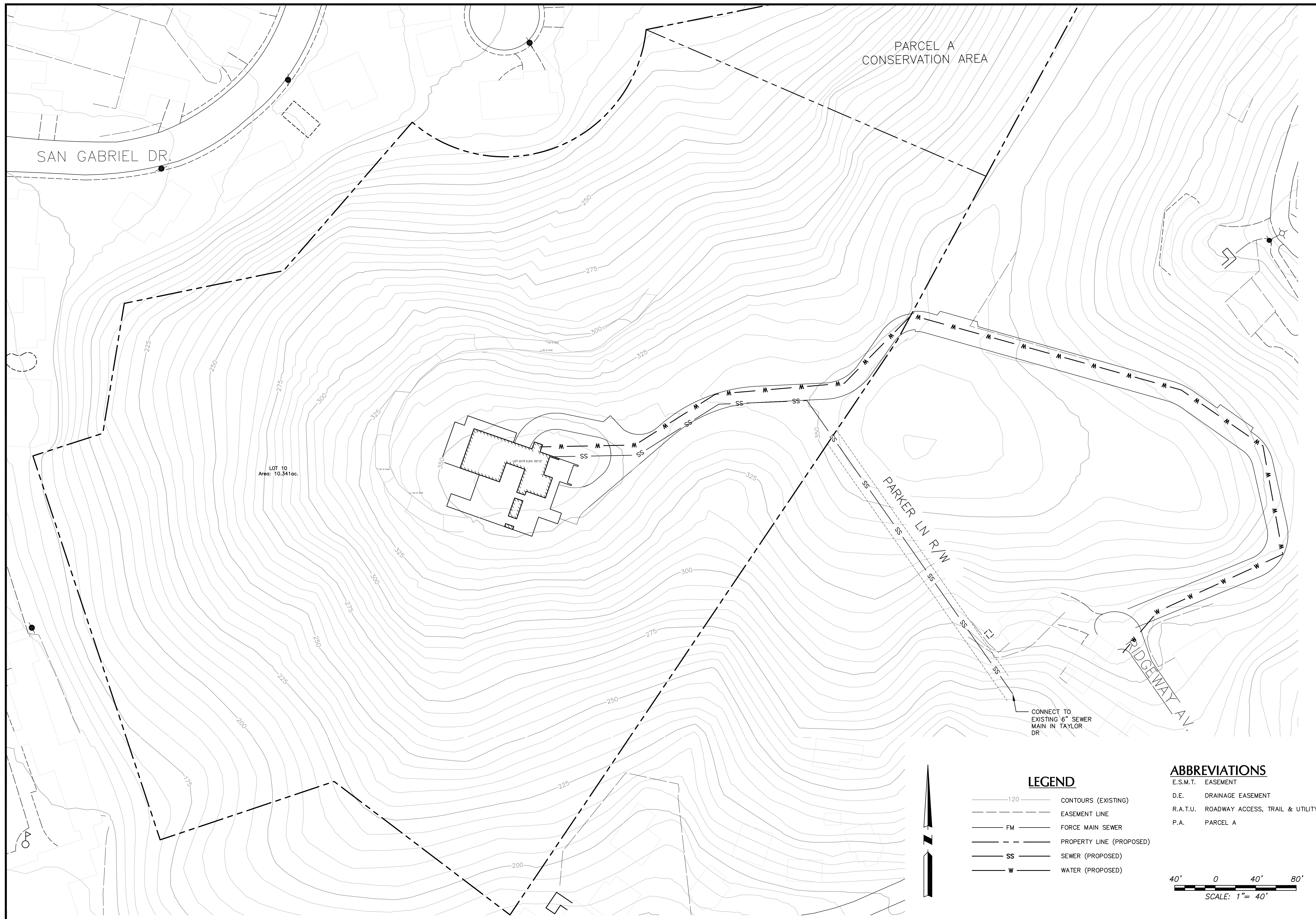
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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EASEMENT & UTILITY PLAN - LOT 4 - 9
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: PAB
 Date: DECEMBER, 2017

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LOT 10
Area: 10.341ac.

LOT 10 IFF ELEV. 357.0'

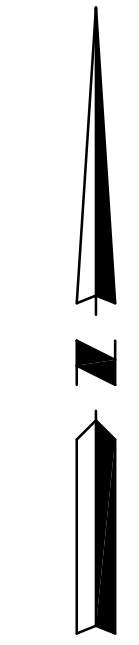
PARCEL A
CONSERVATION AREA

SAN GABRIEL DR.

PARKER LN R/W

RIDGEWAY AV.

CONNECT TO
EXISTING 6" SEWER
MAIN IN TAYLOR
DR

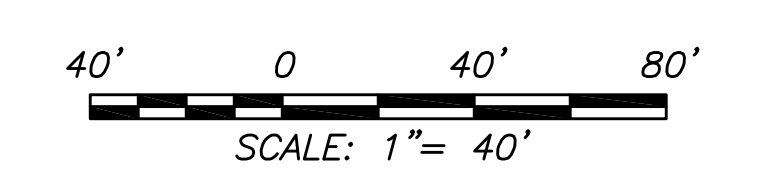


LEGEND

- 120 ——— CONTOURS (EXISTING)
- - - - - EASEMENT LINE
- FM ——— FORCE MAIN SEWER
- - - - - PROPERTY LINE (PROPOSED)
- SS ——— SEWER (PROPOSED)
- W ——— WATER (PROPOSED)

ABBREVIATIONS

- E.S.M.T. EASEMENT
- D.E. DRAINAGE EASEMENT
- R.A.T.U. ROADWAY ACCESS, TRAIL & UTILITY
- P.A. PARCEL A



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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EASEMENT & UTILITY PLAN - LOT 10
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

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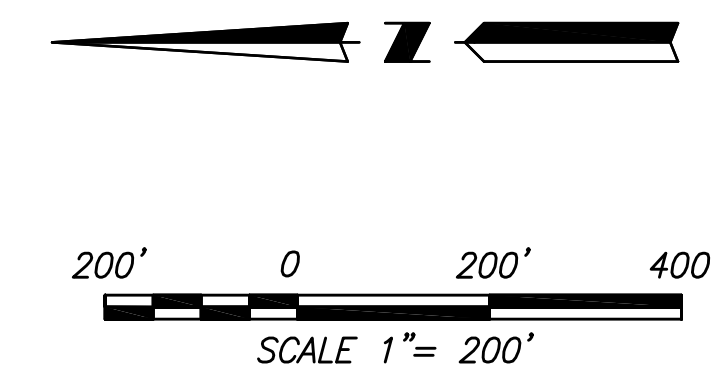


LEGEND

- EASEMENT
- 120—— MAJOR CONTOURS (EXISTING)
- 121—— MINOR CONTOURS (EXISTING)
- 120—— MAJOR CONTOURS (PROPOSED)
- 121—— MINOR CONTOURS (PROPOSED)

PRELIMINARY GRADING & DRAINAGE PLAN

SCALE: 1" = 200'



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

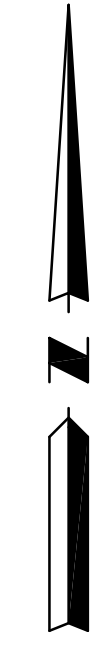
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PRELIMINARY GRADING AND DRAINAGE PLAN
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX, CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale:	1" = 200'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017

SHEET
C5.0
 OF 32
 15-163

SEE SHEET C5.2

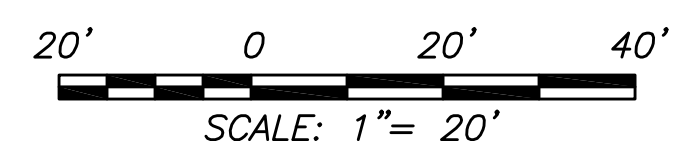


LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL AREA
- BIOFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOTS 1 & 2
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
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SEE SHEET C5.3

SEE SHEET C5.1

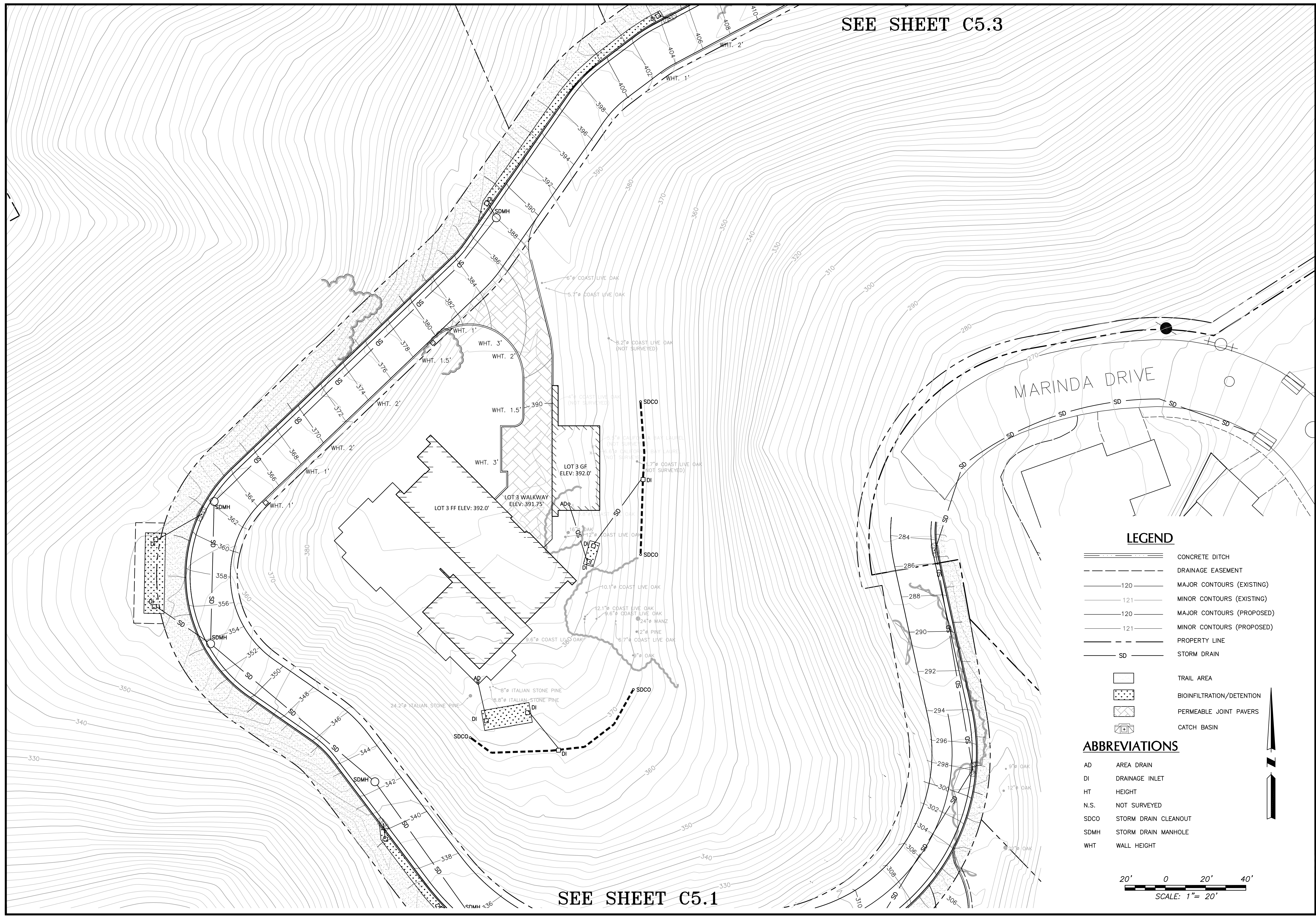
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 3
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
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 OF 32
 15-163



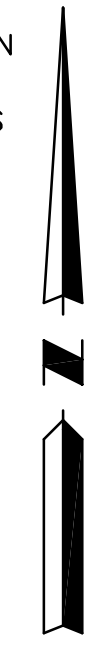
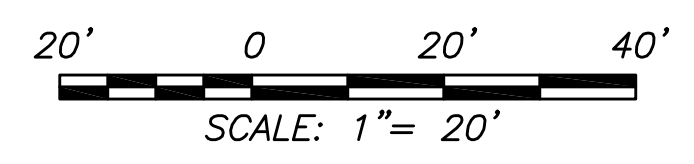
LEGEND

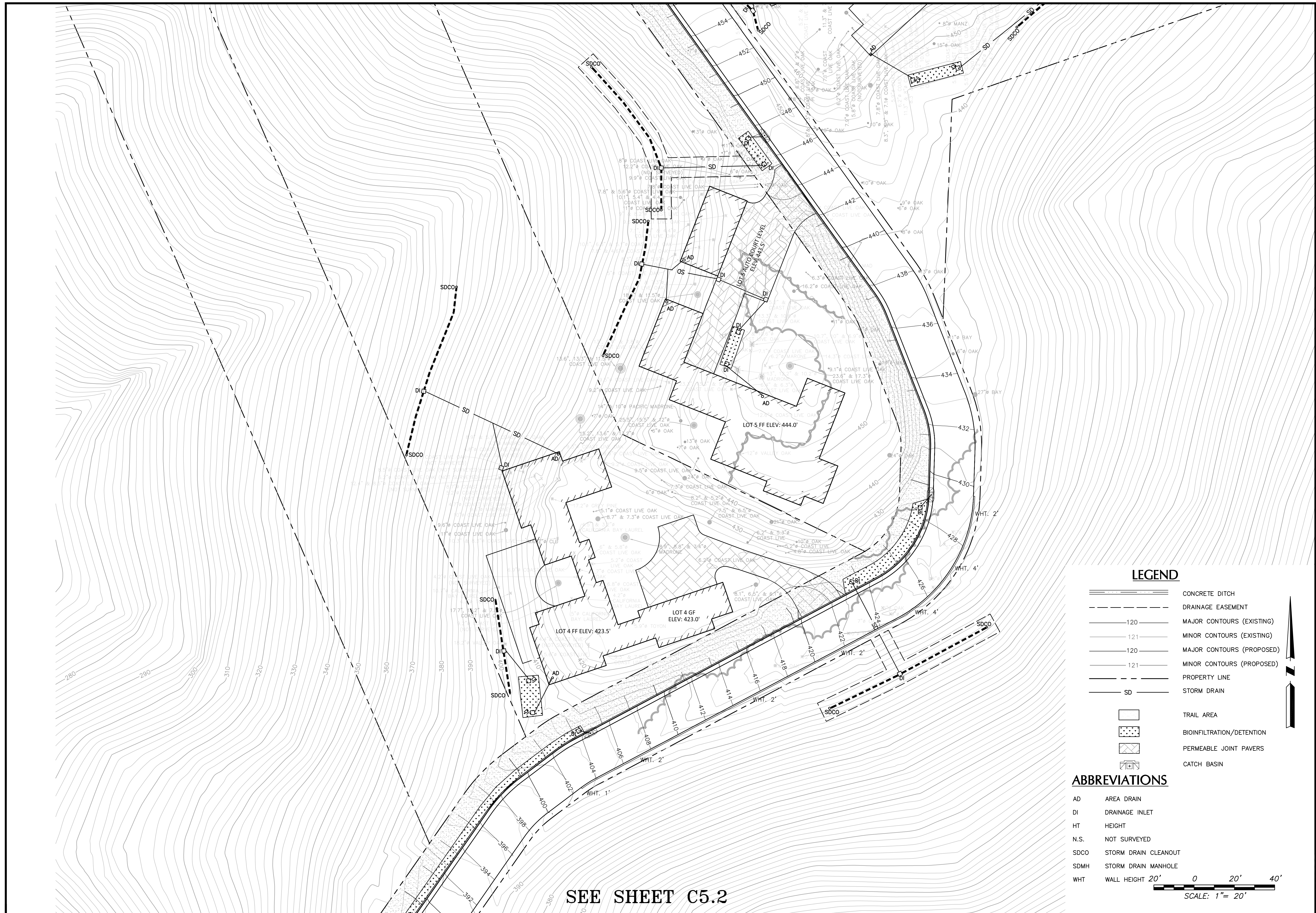
- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN

- TRAIL AREA
- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



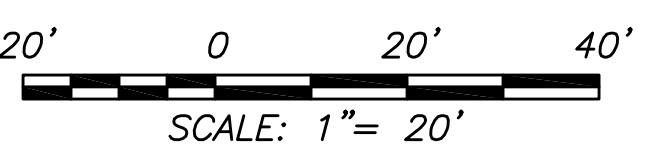


LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL AREA
- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

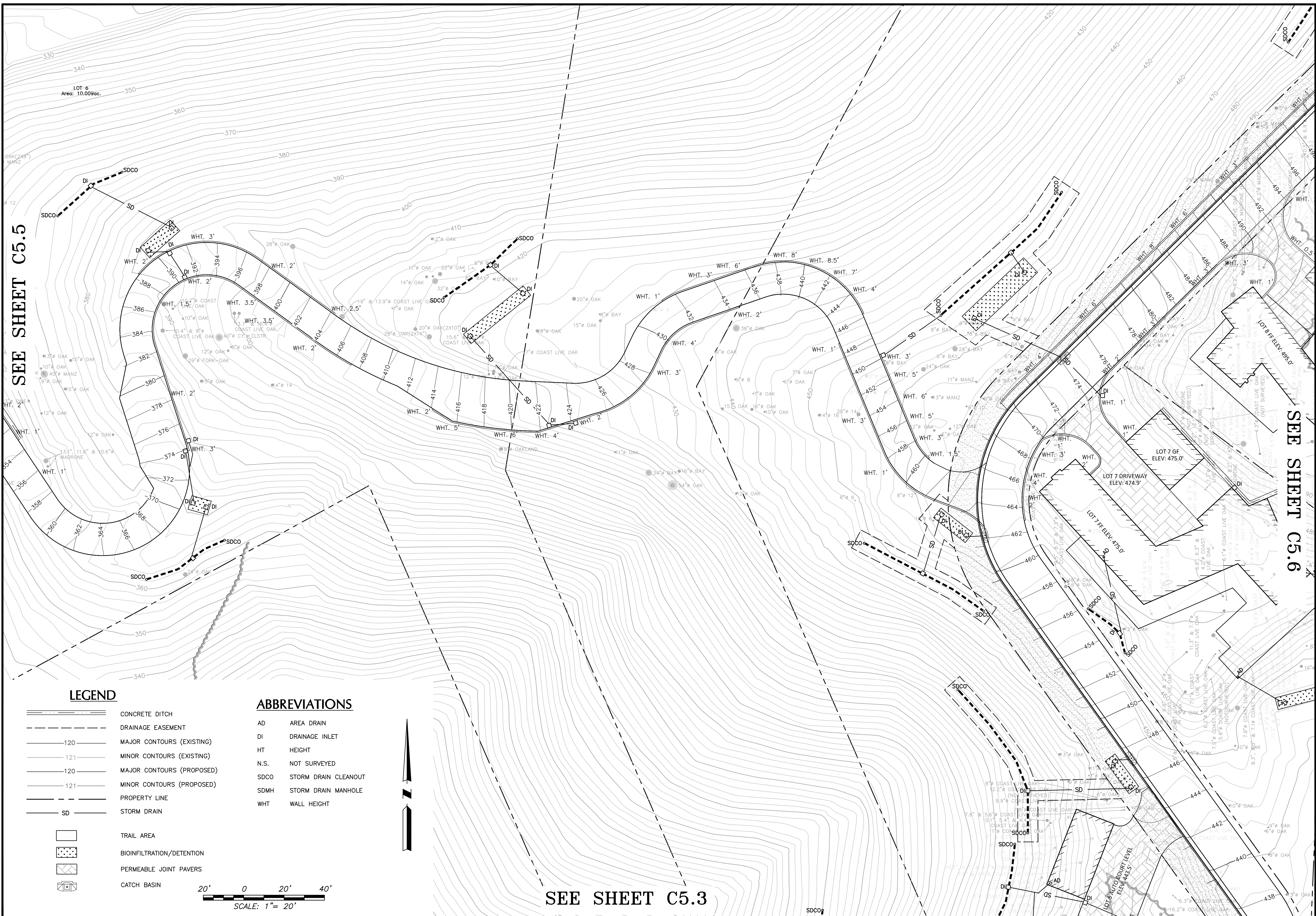
ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT 20'



SEE SHEET C5.2

	1	2	3	4	12/14/17 BUILDING ENVELOPE MAP ADDITION
OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD, SUITE 308, NOVATO, CA 94945 PHONE: (415) 8972800 WWW.OBERKAMPER.COM					
PRELIMINARY GRADING AND DRAINAGE PLAN - LOTS 4 & 5 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION CALIFORNIA APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09					
Scale:	1"=20'	Drawn by:	HUS	Designed by:	HUS/PAB
					Checked by: LEO
					Date: DECEMBER, 2017
SHEET					
C5.3					
OF 32					
15-163					



SEE SHEET C5.5

SEE SHEET C5.6

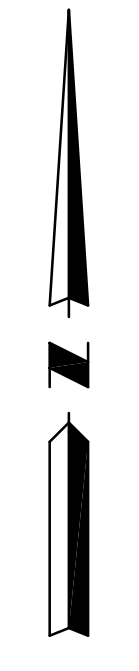
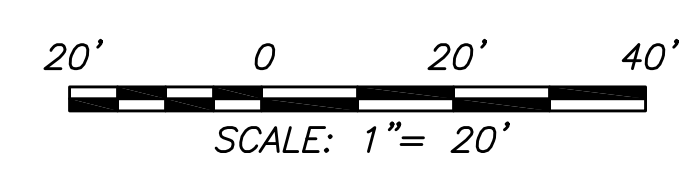
SEE SHEET C5.3

LEGEND

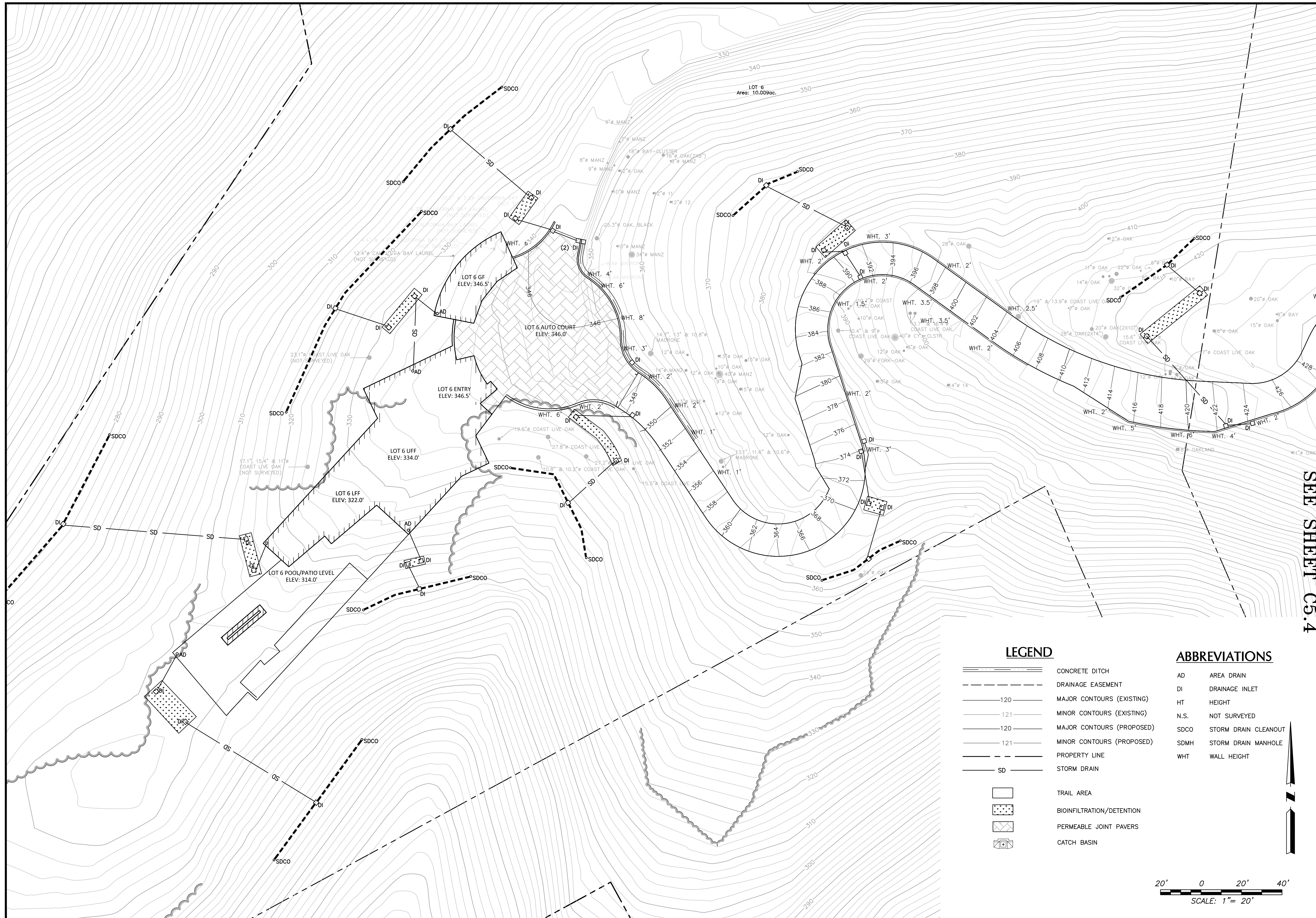
- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL AREA
- BIOINFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



	1	12/14/17	BUILDING ENVELOPE MAP ADDITION
	2		
	3		
	4		
<p>OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD, SUITE 308, NOVATO, CA 94945 PHONE (415) 8972800 WWW.OBERKAMPER.COM</p>			
<p>PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 6 ROAD VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION CALIFORNIA</p>			
<p>APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09</p>			
Scale:	1"=20'	Drawn by:	HUS
		Designed by:	HUS/PAB
		Checked by:	LEO
		Date:	DECEMBER, 2017
<p>SHEET C5.4 OF 32 15-163</p>			

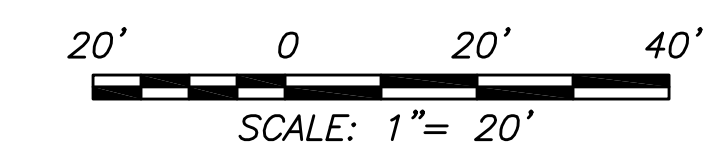


LEGEND

	CONCRETE DITCH
	DRAINAGE EASEMENT
	MAJOR CONTOURS (EXISTING)
	MINOR CONTOURS (EXISTING)
	MAJOR CONTOURS (PROPOSED)
	MINOR CONTOURS (PROPOSED)
	PROPERTY LINE
	STORM DRAIN
	TRAIL AREA
	BIOFILTRATION/DETENTION
	PERMEABLE JOINT PAVERS
	CATCH BASIN

ABBREVIATIONS

AD	AREA DRAIN
DI	DRAINAGE INLET
HT	HEIGHT
N.S.	NOT SURVEYED
SDCO	STORM DRAIN CLEANOUT
SDMH	STORM DRAIN MANHOLE
WHT	WALL HEIGHT



SEE SHEET C5.4

1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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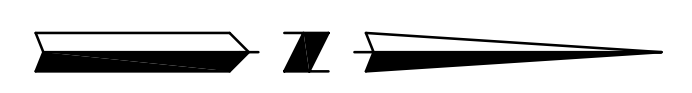
PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 6
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale:	1"=20'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017
SHEET	
C5.5	
OF 32	
15-163	

SEE SHEET C5.4

ABBREVIATIONS

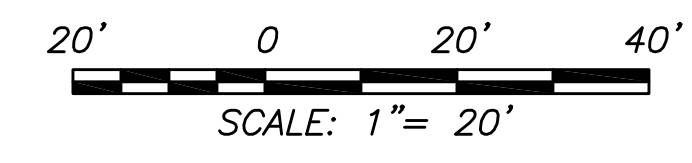
- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



SEE SHEET C5.3

LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL AREA
- BIOFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN



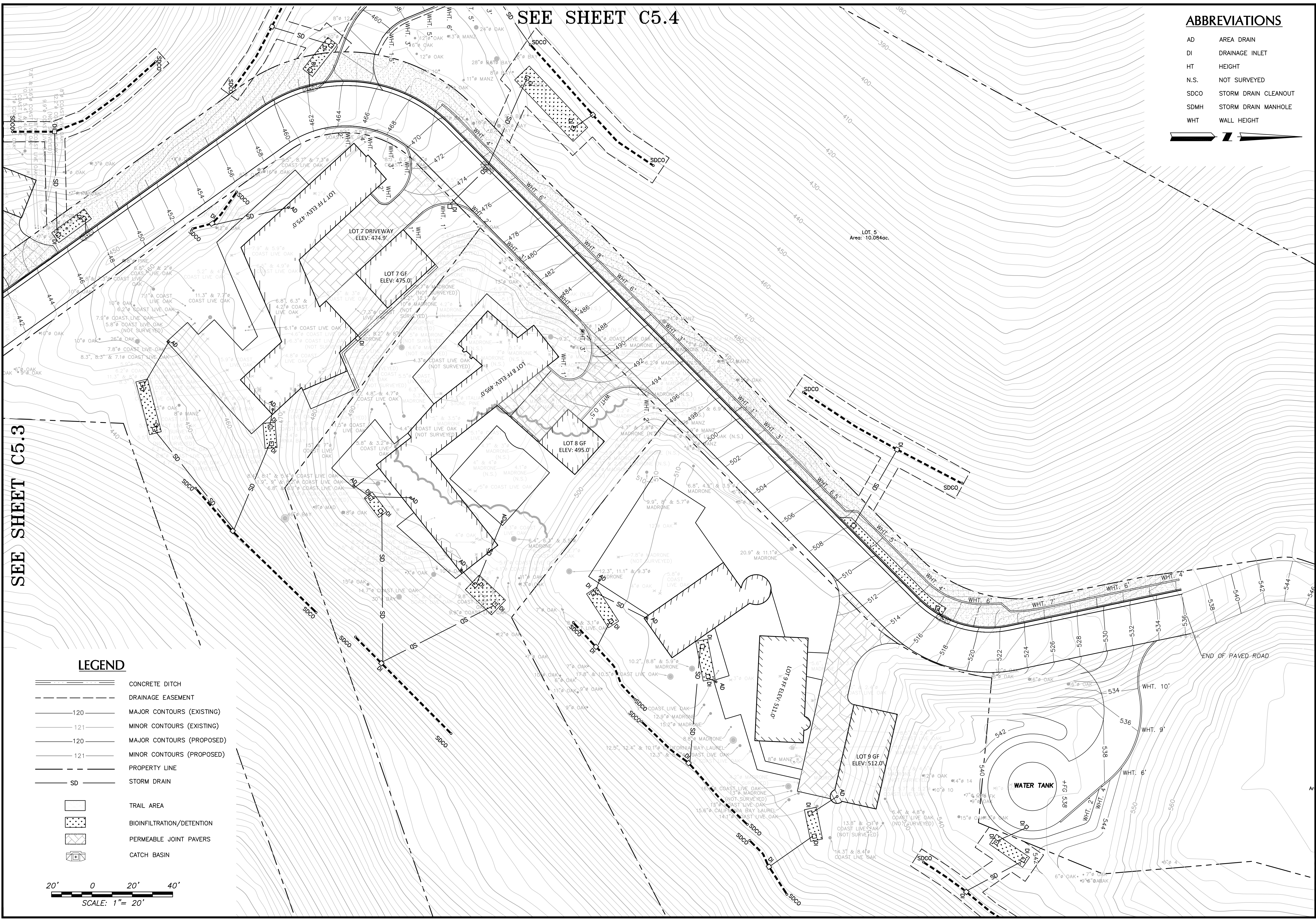
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
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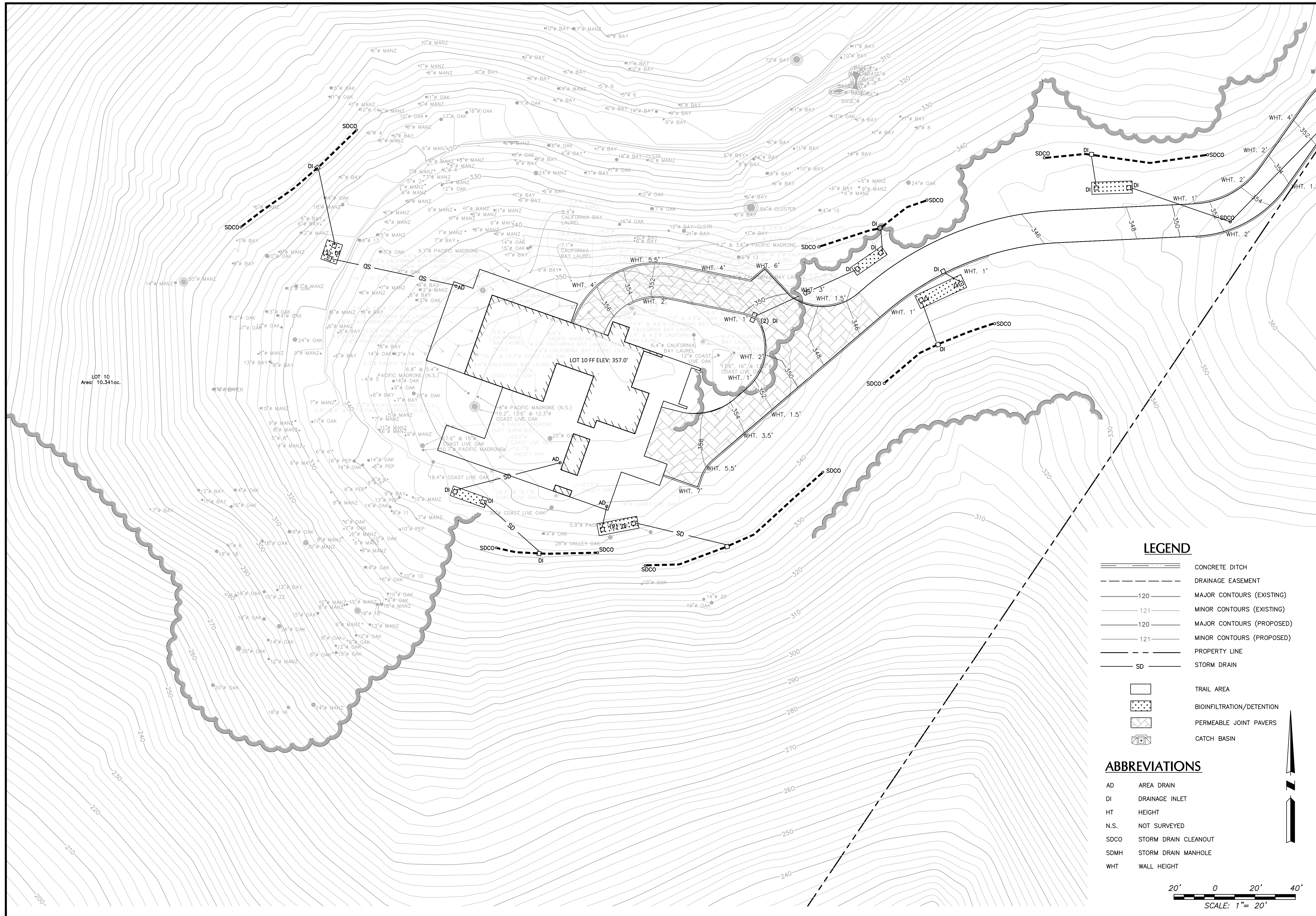
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PRELIMINARY GRADING AND DRAINAGE PLAN - LOTS 7 - 9
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 CALIFORNIA

Scale:	1"=20'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017

SHEET
C5.6
 OF 32
 15-163



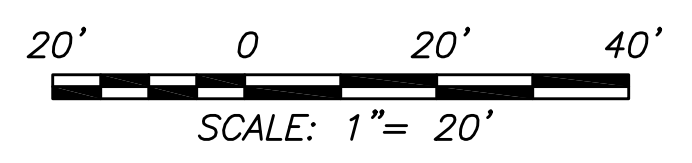


LEGEND

- CONCRETE DITCH
- DRAINAGE EASEMENT
- MAJOR CONTOURS (EXISTING)
- MINOR CONTOURS (EXISTING)
- MAJOR CONTOURS (PROPOSED)
- MINOR CONTOURS (PROPOSED)
- PROPERTY LINE
- STORM DRAIN
- TRAIL AREA
- BIOFILTRATION/DETENTION
- PERMEABLE JOINT PAVERS
- CATCH BASIN

ABBREVIATIONS

- AD AREA DRAIN
- DI DRAINAGE INLET
- HT HEIGHT
- N.S. NOT SURVEYED
- SDCO STORM DRAIN CLEANOUT
- SDMH STORM DRAIN MANHOLE
- WHT WALL HEIGHT



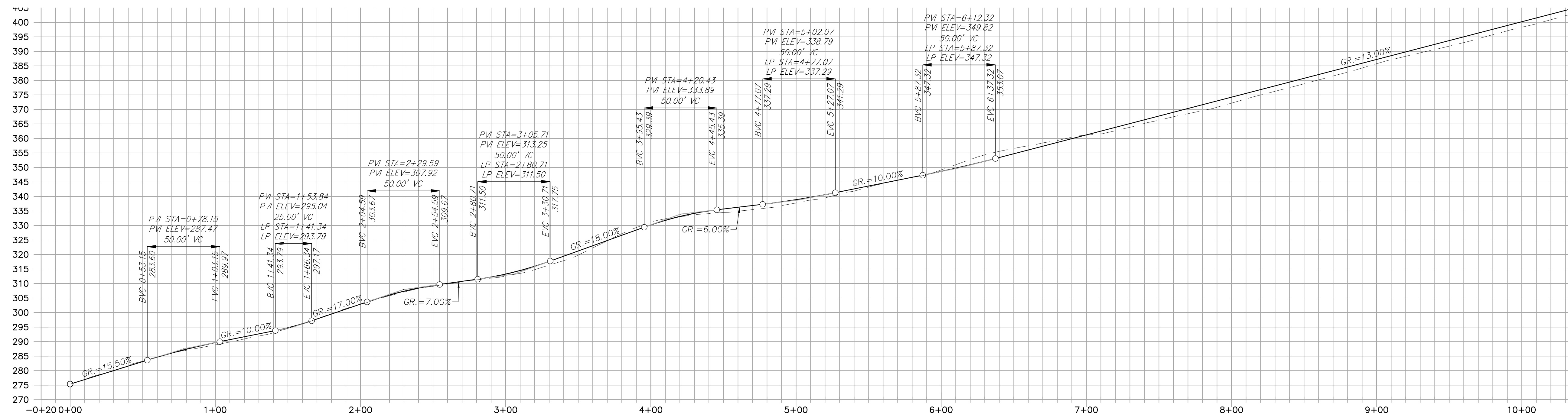
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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PRELIMINARY GRADING AND DRAINAGE PLAN - LOT 10
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX CALIFORNIA

Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

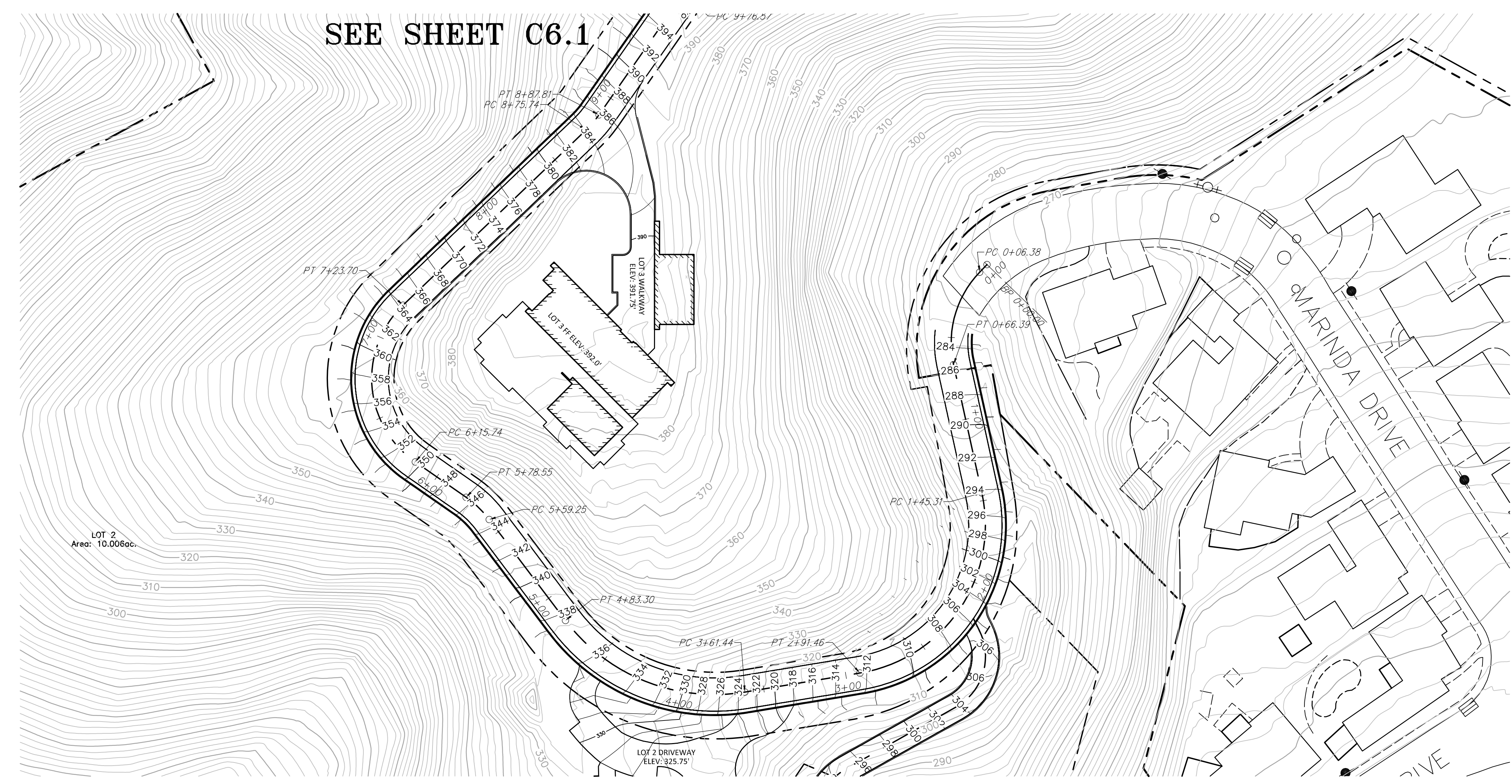
SHEET
C5.7
 OF 32
 15-163



MARINDA DRIVE ROADWAY PROFILE I

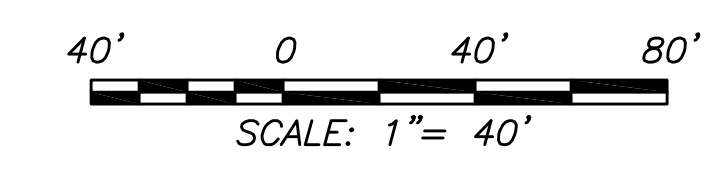
SCALE: HOR. 1"=40'
VER. 1"=20'

SEE SHEET C6.1



MARINDA DRIVE ROADWAY PLAN I

SCALE: 1"=40'



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

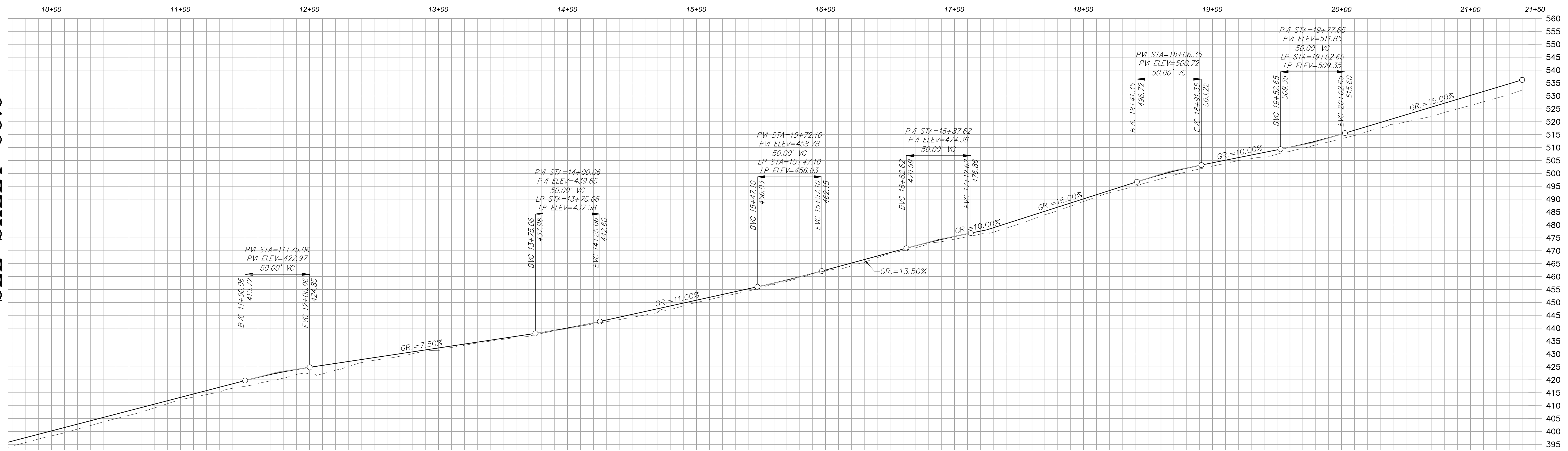
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MARINDA DRIVE ROADWAY PLAN & PROFILE I
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 CALIFORNIA

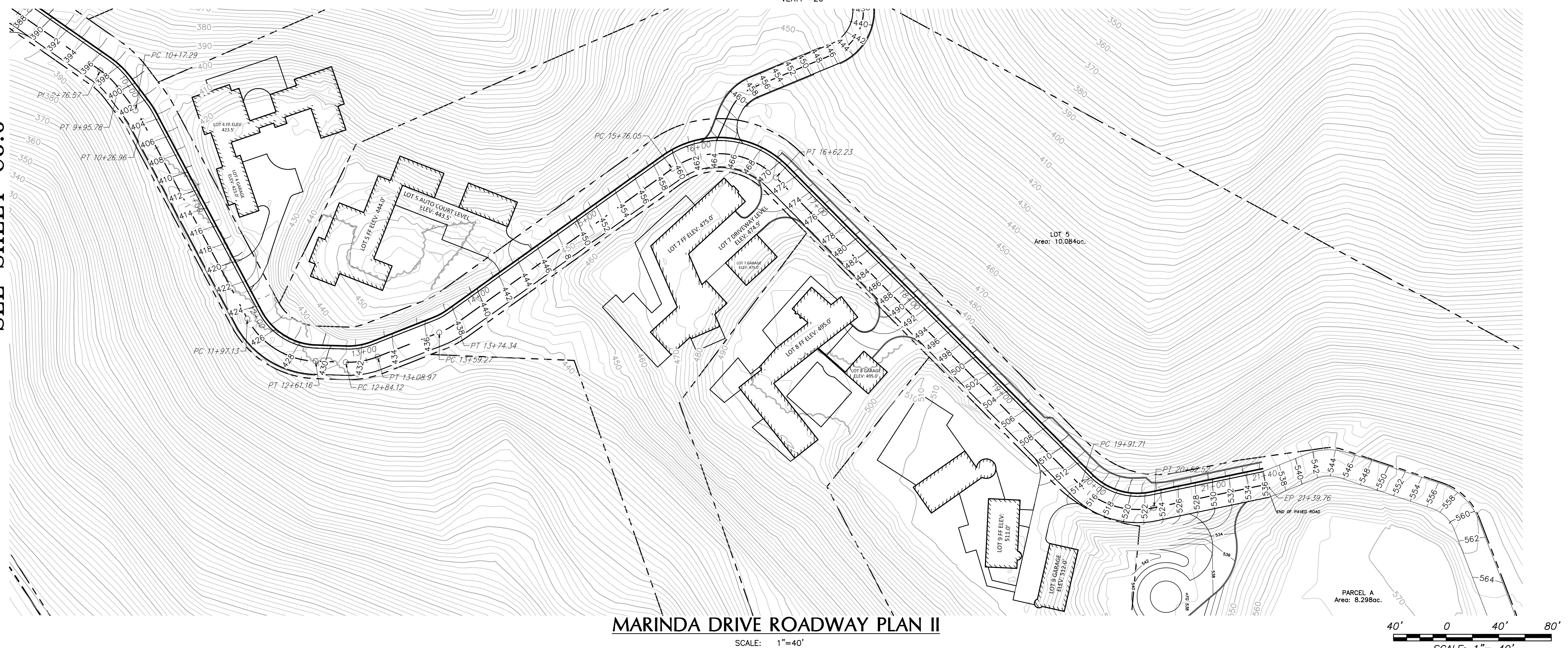
Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
C6.0
 OF 32
 15-163

SEE SHEET C6.0



SEE SHEET C6.0



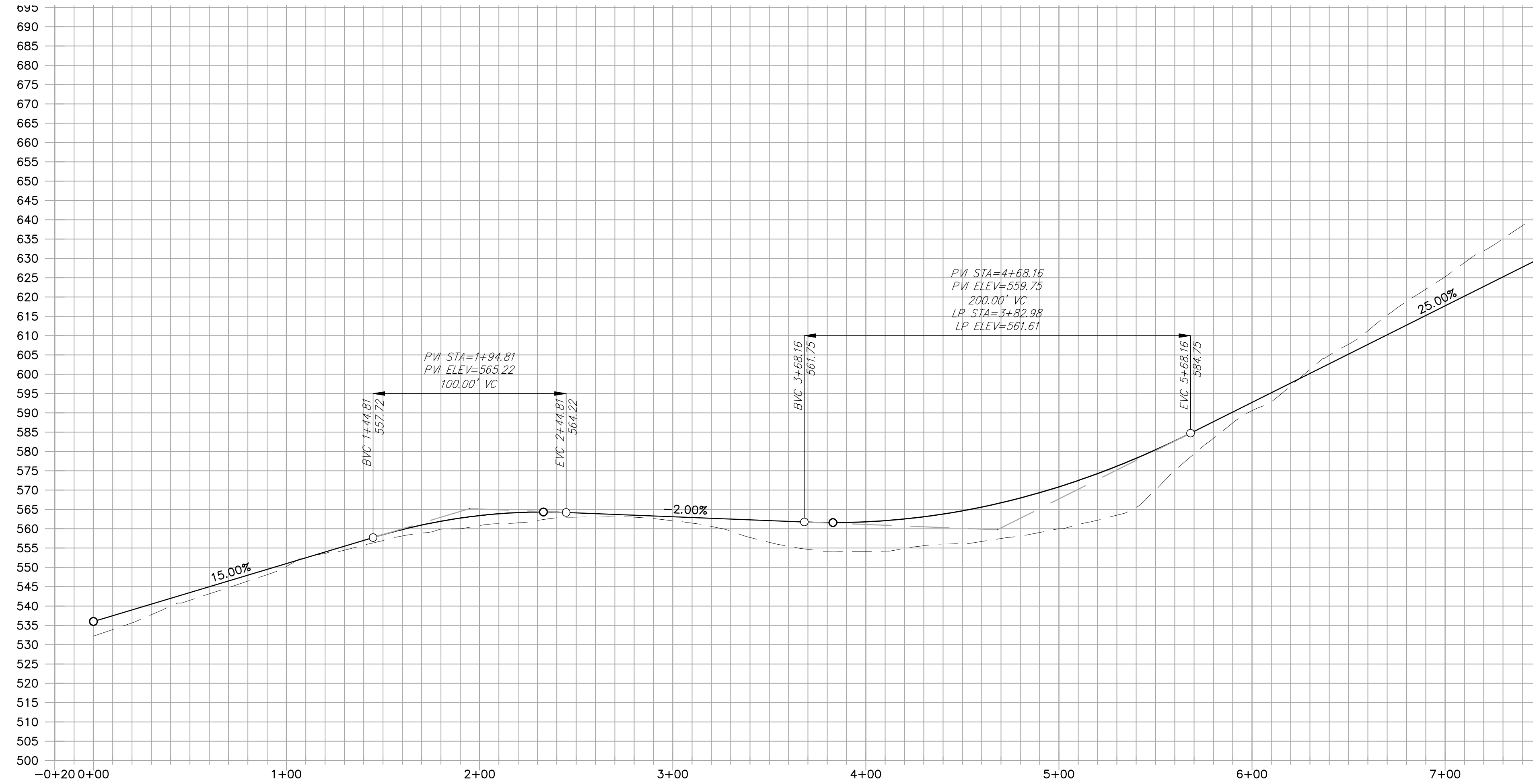
NO.	DESCRIPTION
1	12/14/17 BUILDING ENVELOPE MAP ADDITION
2	
3	
4	

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PRELIMINARY GRADING AND DRAINAGE PLAN
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale:	1"=40'
Drawn by:	HUS
Designed by:	HUS/PAB
Checked by:	LEO
Date:	DECEMBER, 2017

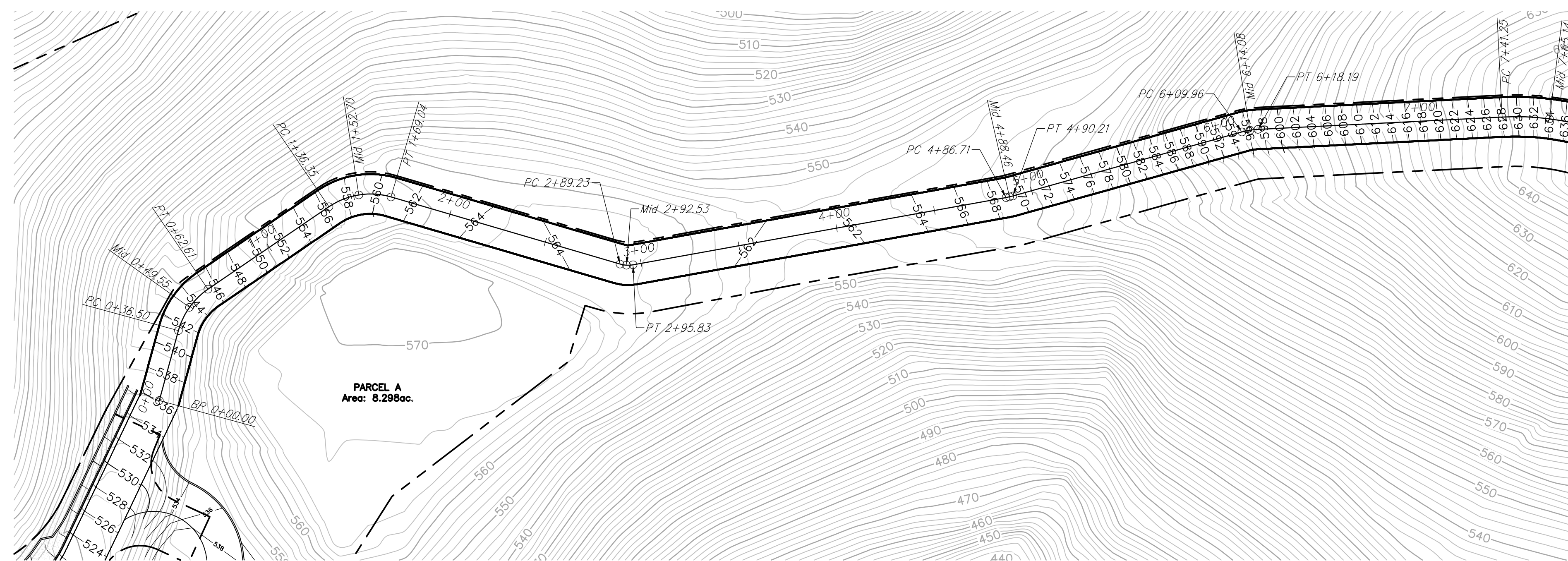
SHEET
C6.1
 OF 32
 15-163



SEE SHEET C63

EMERGENCY ACCESS FIRE ROAD PROFILE I

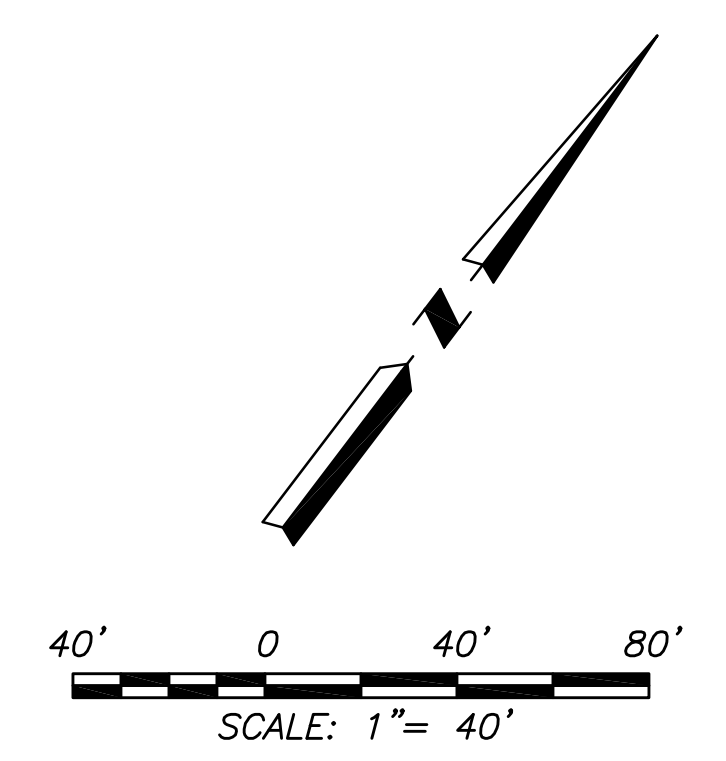
SCALE: HOR. 1"=40'
VER. 1"=20'



SEE SHEET C63

EMERGENCY ACCESS FIRE ROAD PLAN I

SCALE: 1"=40'



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

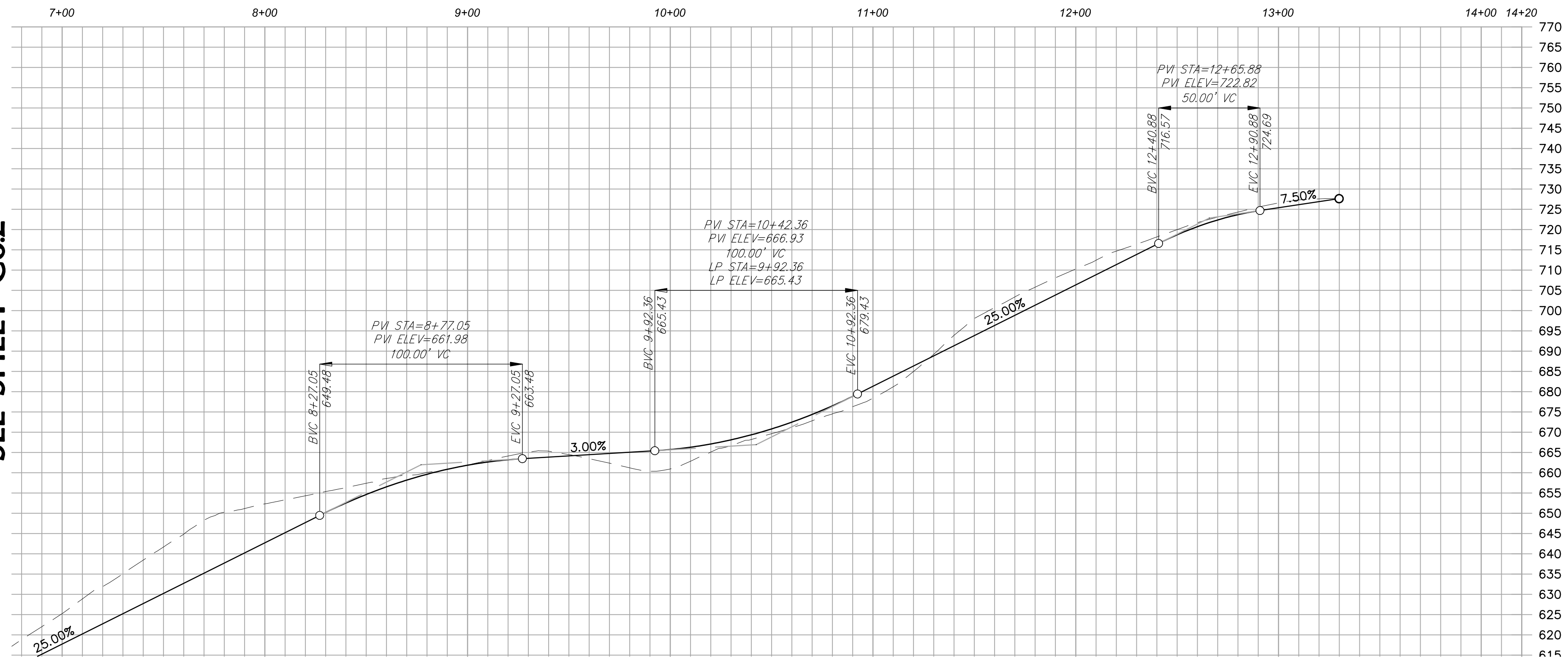
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EMERGENCY ACCESS FIRE ROAD PLAN & PROFILE I
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER 2017

SHEET
C6.2
 OF 32
 15-163

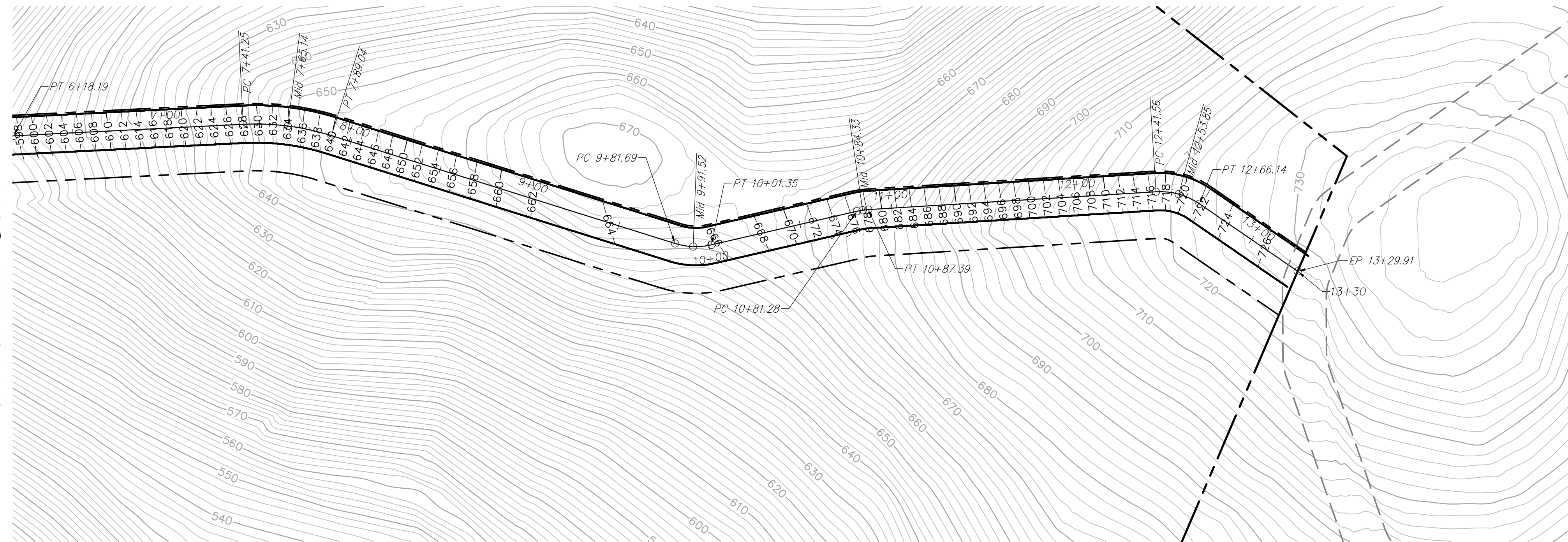
SEE SHEET C62



EMERGENCY ACCESS FIRE ROAD PROFILE II

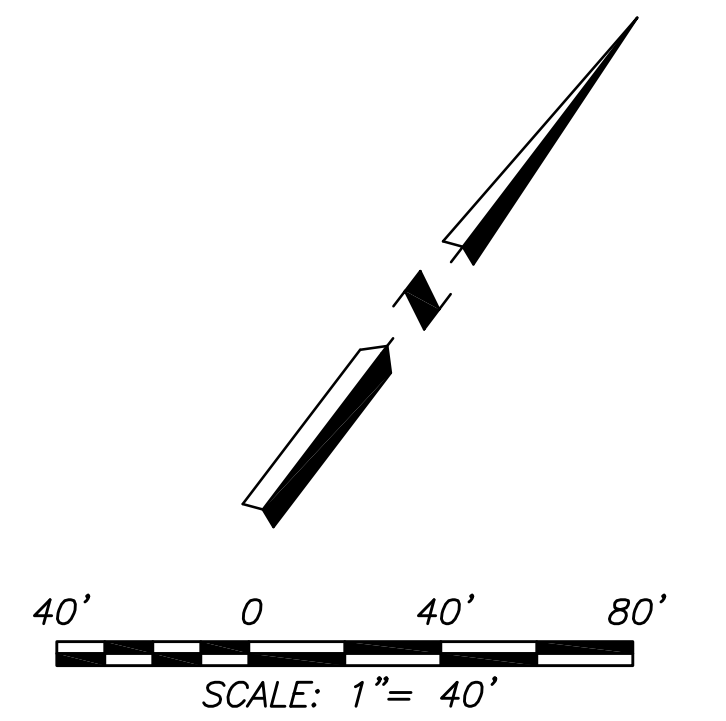
SCALE: HOR. 1"=40'
VER. 1"=20'

SEE SHEET C62



EMERGENCY ACCESS FIRE ROAD PLAN II

SCALE: 1"=40'



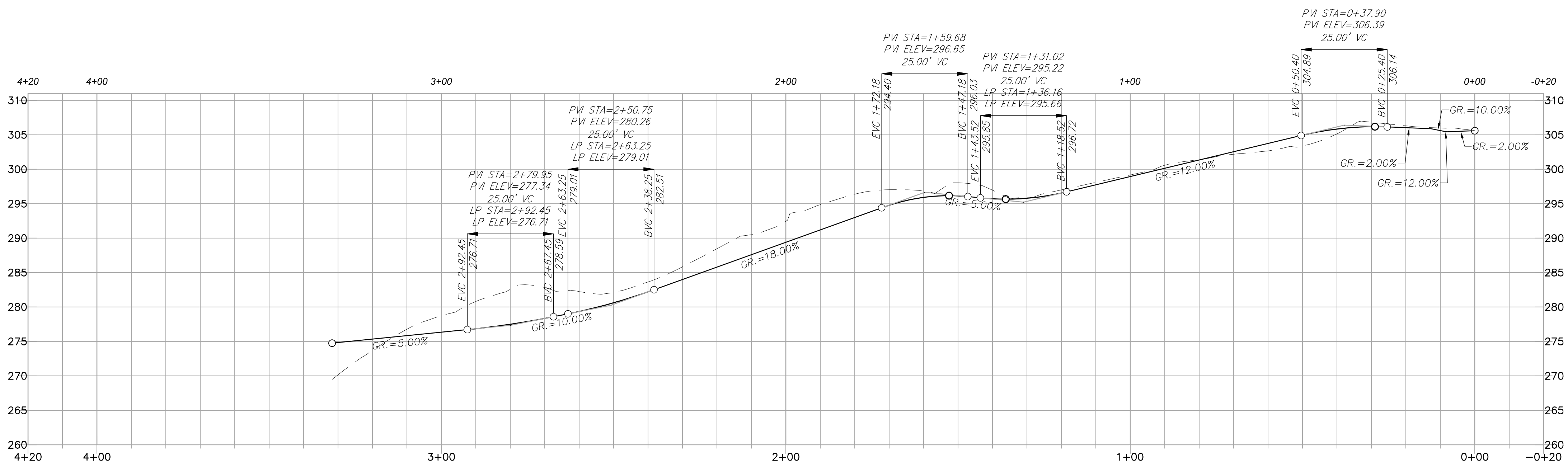
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
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EMERGENCY ACCESS FIRE ROAD PLAN & PROFILE II
 VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

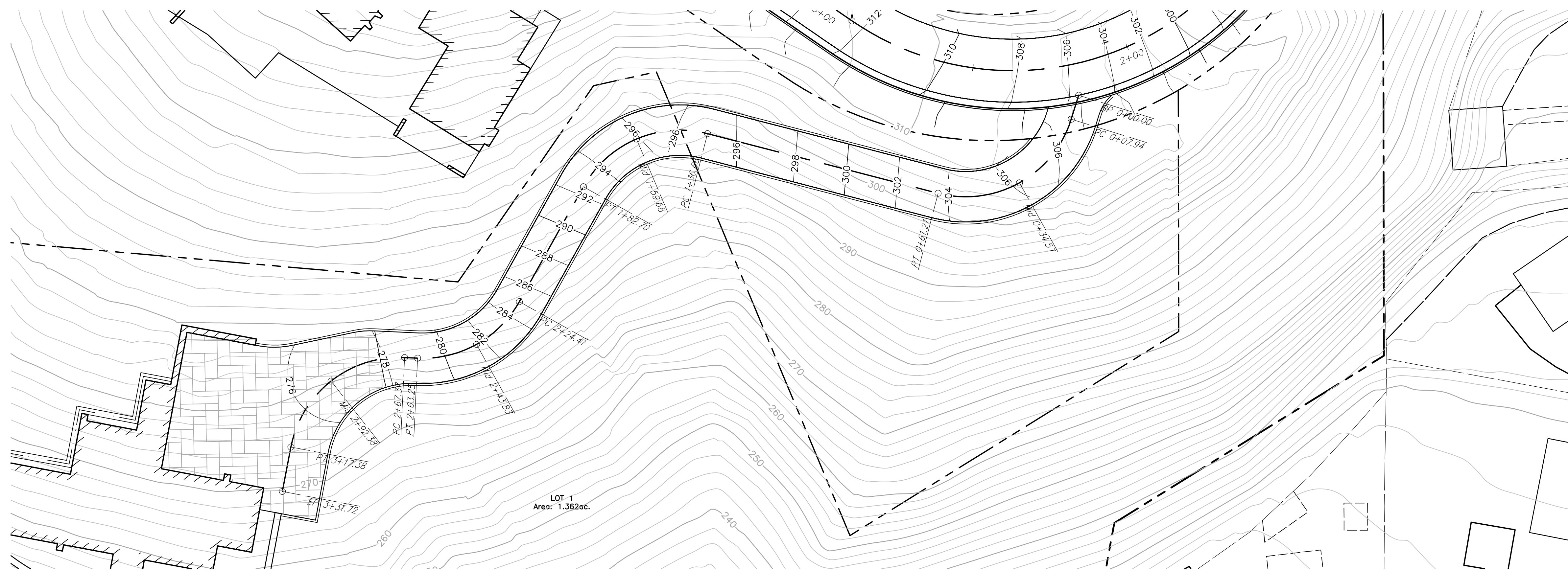
Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
C6.3
 OF 32
 15-163



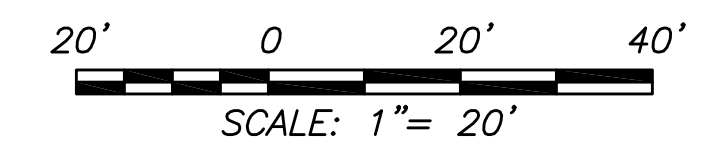
MARINDA HEIGHTS LOT 1 DRIVEWAY PROFILE

SCALE: HOR. 1"=20'
VER. 1"=10'



MARINDA HEIGHTS LOT 1 DRIVEWAY PLAN

SCALE: 1"=20'



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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MARINDA HEIGHTS LOT 1 DRIVEWAY PLAN & PROFILE
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
CALIFORNIA
APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
TOWN OF FAIRFAX

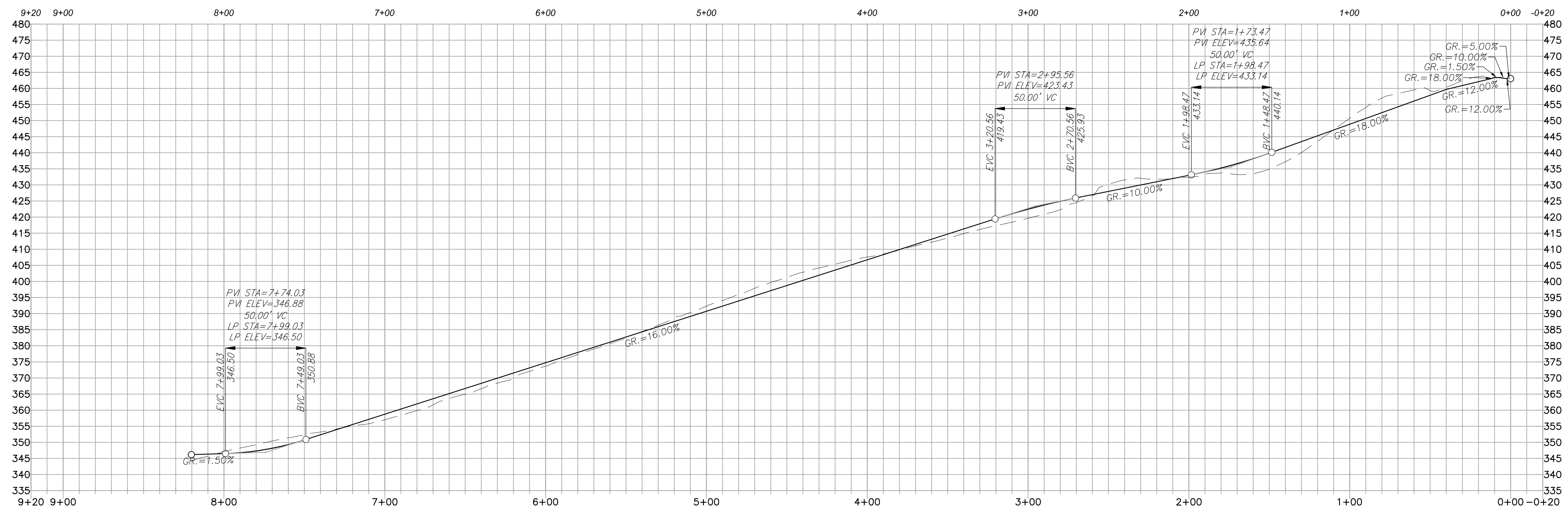
Scale: 1"=20'
Drawn by: HUS
Designed by: HUS/PAB
Checked by: LEO
Date: DECEMBER 2017

SHEET

C64

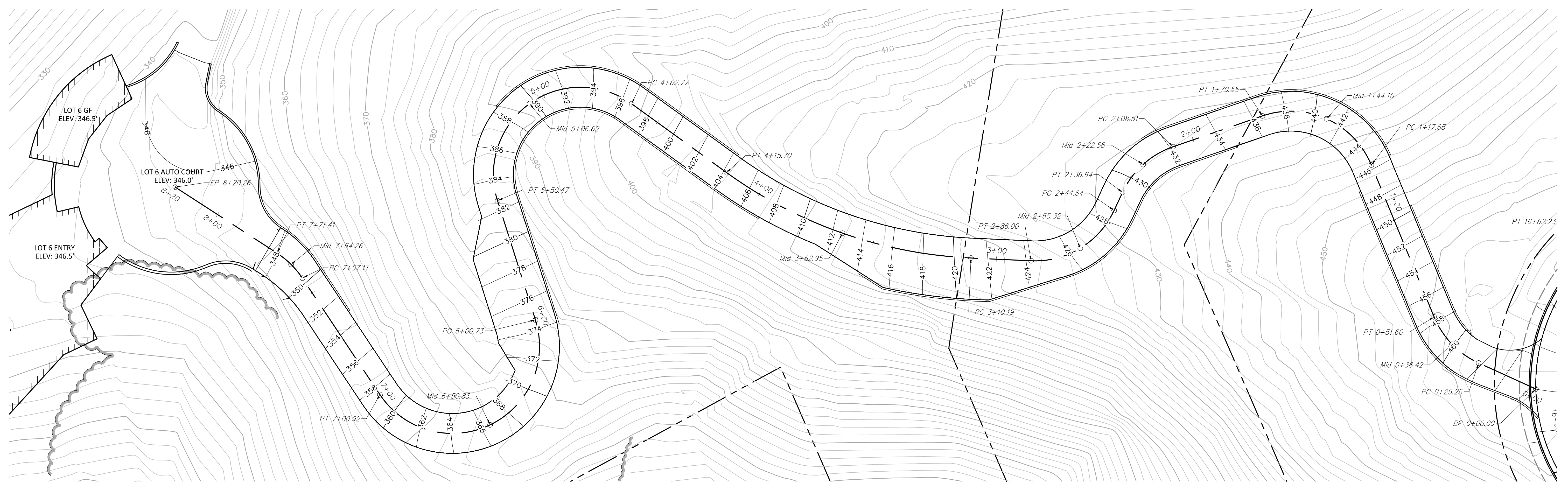
OF 32

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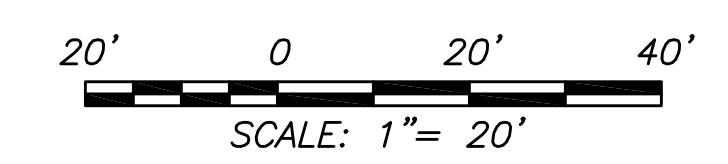
MARINDA HEIGHTS LOT 6 ROADWAY PROFILE

SCALE: HOR. 1"=40'
VER. 1"=20'



MARINDA HEIGHTS LOT 6 ROADWAY PLAN

SCALE: 1"=20'



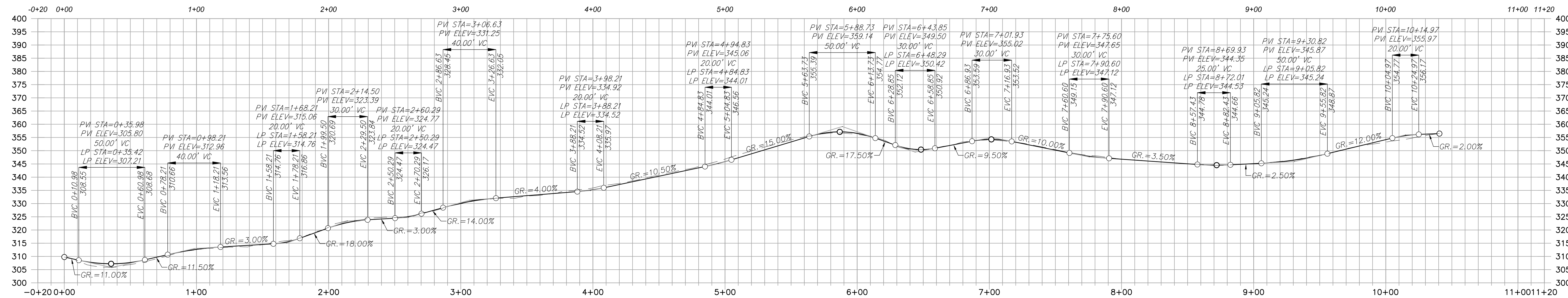
1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
4		

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MARINDA HEIGHTS LOT 6 ROADWAY PLAN & PROFILE
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09
 TOWN OF FAIRFAX

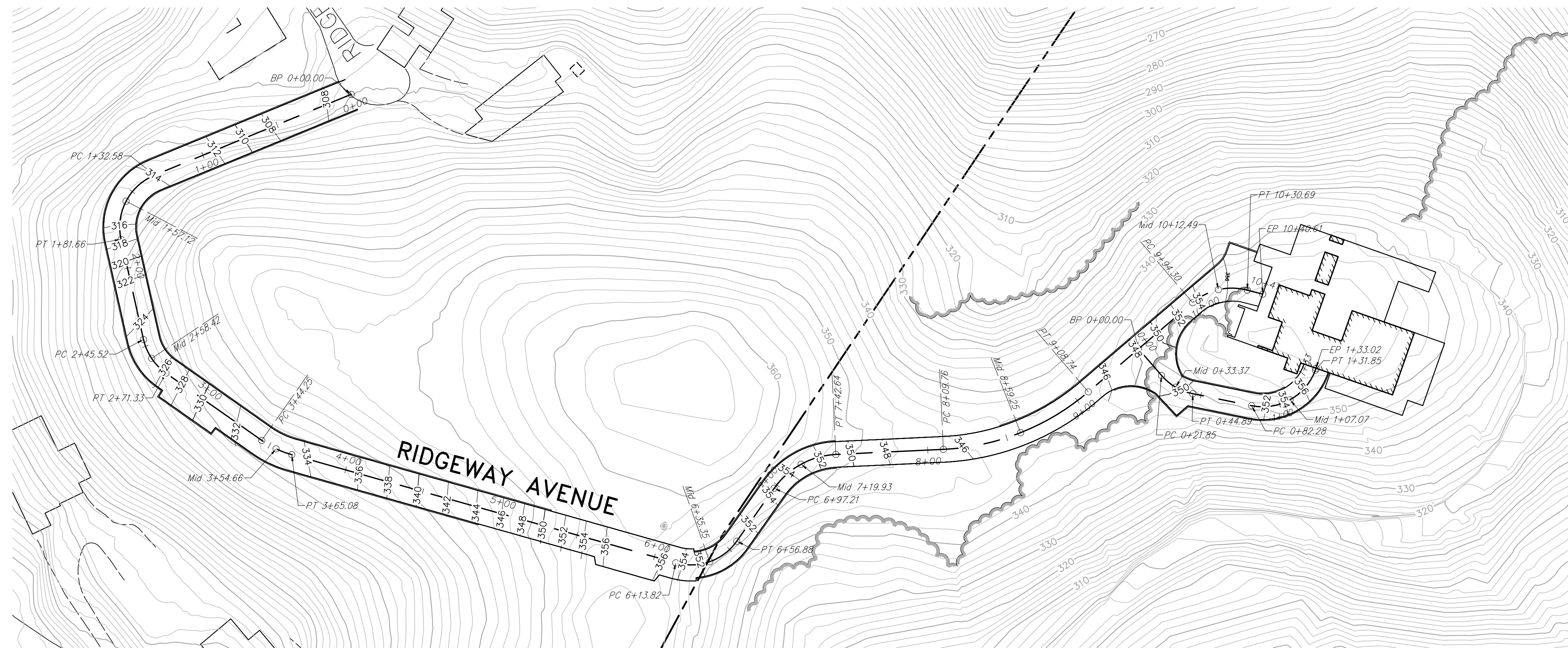
Scale: 1"=20'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

SHEET
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MARINDA HEIGHTS LOT 10 DRIVEWAY PROFILE

SCALE: HOR. 1"=40'
VER. 1"=20'



MARINDA HEIGHTS LOT 10 DRIVEWAY PLAN

SCALE: 1"=40'



1	12/14/17	BUILDING ENVELOPE MAP ADDITION
2		
3		
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MARINDA HEIGHTS LOT 10 DRIVEWAY PLAN & PROFILE
VESTING TENTATIVE MAP - MARINDA HEIGHTS SUBDIVISION
 TOWN OF FAIRFAX, CALIFORNIA
 APN: 001-150-12, 001-171-51, 001-251-31, 001-160-09

Scale: 1"=40'
 Drawn by: HUS
 Designed by: HUS/PAB
 Checked by: LEO
 Date: DECEMBER, 2017

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 OF 32
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