

### MATERIAL LEGEND

	Wood - Rough
	Wood - Finish
	Plywood
	Gypsum Board
	CONCRETE
	BRICK
	CMU
	LATH & PLASTER
	METAL
	GRAVEL
	BATT INSULATION
	RIGID INSULATION
	STONE
	METAL FLASHING
	BULGE PAPER / WATERPROOFING
	SEALANT AND BACKER ROD

PHOTO VOLTAGE PANEL SIZE FOR COMMON INCLINATION BETWEEN 10° & 20° BEARINGS TO SOUTH SOUTHWEST

### SYMBOLS LEGEND

	EXTERIOR ELEVATION DRAWING NO. SHEET NO.
	INTERIOR ELEVATION DRAWING NO. SHEET NO.
	DETAILED SECTION
	BUILDING SECTION
	TYPICAL DETAIL BUBBLE
	TYPICAL DETAIL REFERENCE
	GRID CENTER LINE
	GRID - FACE OF FRAMING
	ELEVATION / DATUM
	WORK POINT
	DOOR NUMBER
	WINDOW
	ROOM NAME
	ROOM NUMBER
	EQUIPMENT NOTE
	PARTITION TYPE
	AND
	AT
	ANGLE
	BY
	CENTERLINE
	EQUAL
	POUNDS
	PROPERTY LINE

### GENERAL NOTES

- ALL DIMENSIONS AND EXISTING CONDITIONS WILL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE BEEN REDUCED OR ENLARGED.
- ALL DIMENSIONS ARE TO FACE OF FRAMING OR FACE OF CONCRETE UNLESS OTHERWISE NOTED. AT FURRED OUT WALLS OVER CONCRETE, DIMENSION NOTE IS TO FACE OF FURRING CHANNELS UNLESS OTHERWISE NOTED.
- ALL WOOD IN CONTACT WITH CONCRETE WILL BE PRESSURE PRESERVATIVE TREATED.
- OPENINGS AROUND VENTS, PRODUCTS, FLUES, AND SIMILAR AREAS WHICH ALLOW THE PASSAGE OF FIRE AT THE ROOF AND FLOOR LEVELS SHALL BE FIRE STOPPED.
- FIRE STOPPING AND BLOCKING WILL COMPLY WITH UBC SECTION 708. THE EXTENT AND COORDINATION OF FIRE BLOCKING IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- ACCESSORIES SUCH AS TOWER BARS, GEAR BARS, AND SOUP DISHES LOCATED ON OR WITHIN THE WALL WILL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE AND MEET UBC REQUIREMENTS.
- WEATHER PROTECTIONS WILL CONFORM TO UBC SECTION 703. WEATHER RESISTIVE BARRIERS WILL CONFORM TO UBC STANDARD NORTH FOR KRAFT PAPER AND ASPHALT SATURATED FELT.
- ALL INSULATION WILL COMPLY WITH UBC SECTION 703 FOR FLAME SPREAD. ALL ENERGY ROUNDED INSULATION WILL MEET REQUIREMENTS OF STATE CODES.
- ALL FOAM PLASTIC INSULATION WILL CONFORM WITH UBC SECTION 704.
- ALL DRINK VENTS, AND FLUES THAT PENETRATE THE ROOF ARE TO BE LOCATED PER THE ROOF PLAN AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION PRIOR TO INSTALLATION.
- OD INDICATES ACTUAL SIZE. OO INDICATES NOMINAL SIZE.
- COORDINATE ALL MECHANICAL, PLUMBING, ELECTRICAL DEVICES WITH ARCHITECTURAL INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS.
- THE FIRE ALARM, FIRE SPRINKLER, SOUND SYSTEM AND SECURITY SYSTEM DESIGN, ENGINEERING, DOCUMENTATION AND INSTALLATION ARE THE DESIGN BUILD RESPONSIBILITY OF THE GENERAL CONTRACTOR. AS SUCH, IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE AND COORDINATE THIS WORK AND TO OBTAIN ALL RELEVANT PERMITS. THIS WORK WILL BE PROVIDED AS DESCRIBED IN ANY SPECIFICATIONS, AS SHOWN ON THE DRAWINGS AND AS REQUIRED BY CODE, THE BUILDING INSPECTOR, FIRE DEPARTMENT AND ANY OTHER AGENCY HAVING AUTHORITY. SUCH WORK WILL NOT PROCEED UNTIL ALL REQUIREMENTS REGARDING ENGINEERING SUBMISSIONS AND REVIEWS HAVE BEEN SATISFIED.

### PROJECT STATISTICS

<b>Owner:</b>	Marshal Rothman
<b>Owner's Mailing Address:</b>	PO Box 2434, Mill Valley, CA 94942
<b>Property Address:</b>	Ridgeway Avenue, Fairfax, CA 94930
<b>Assessor's Parcel No.:</b>	001-160-09
<b>Zoning:</b>	UR - 10
<b>Occupancy:</b>	House: R-3 Garage: ?
<b>Construction Type:</b>	Type II-B, Sprinklered
<b>Lot Area:</b>	437,778 Square Feet
<b>Allowable F.A.R.:</b> (40% of E.S.S. / 5K Max.)	5,000 Square Feet
<b>Proposed Home Size:</b>	4,809 Square Feet
<b>Allowed Garage Size:</b>	500 Square Feet
<b>Proposed Garage Size:</b>	506 Square Feet (6 sq. ft. counted as house)
<b>Building Height:</b>	Proposed: 26' - 9"
<b>Parking Spaces:</b>	5 3 on parking pad 2 in garage



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Consultant

Project Title

# Ridgeway Residence

(Lot #10)

at Ridgeway Avenue  
Fairfax, California

A.P.N. 001 - 160 - 09

Seal of the Architect



Date Signed

Project Number n/a

Plot Date Aug 4, 2018

Revisions:

No.	Date	Description
1	12.20.17	Revision per Planning Comments
2	5.9.18	Revis per Planning Comments
3	7.12.18	Lot Shape Reconfigurations

Issue Date August 11, 2017

Issues:

No.	Date	Description
1	8.11.17	Preliminary Planning Set

Scale n. t. s.

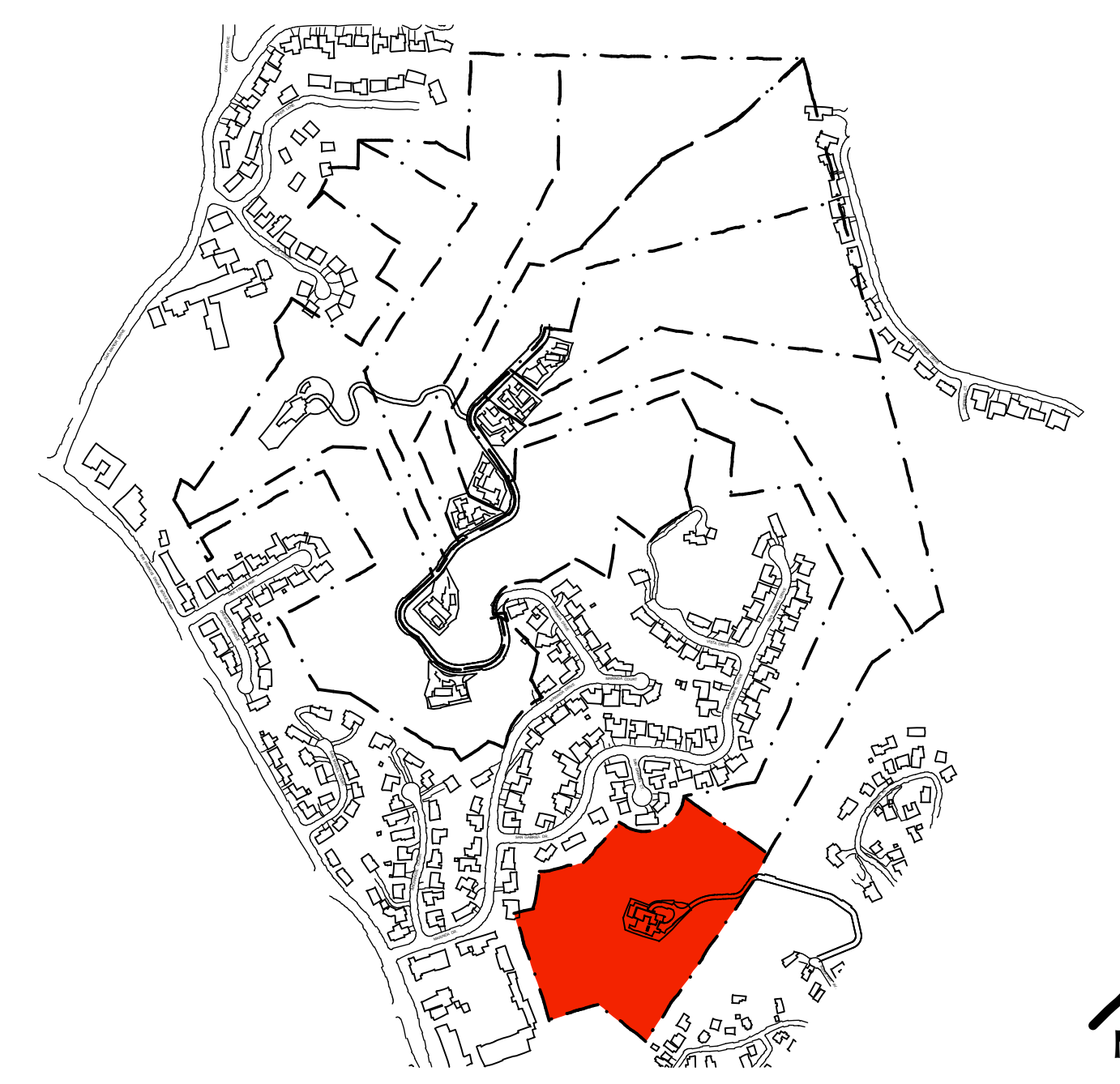
Sheet Title Cover Sheet

Sheet Number

A-1

Sheet 1 in a series of 12

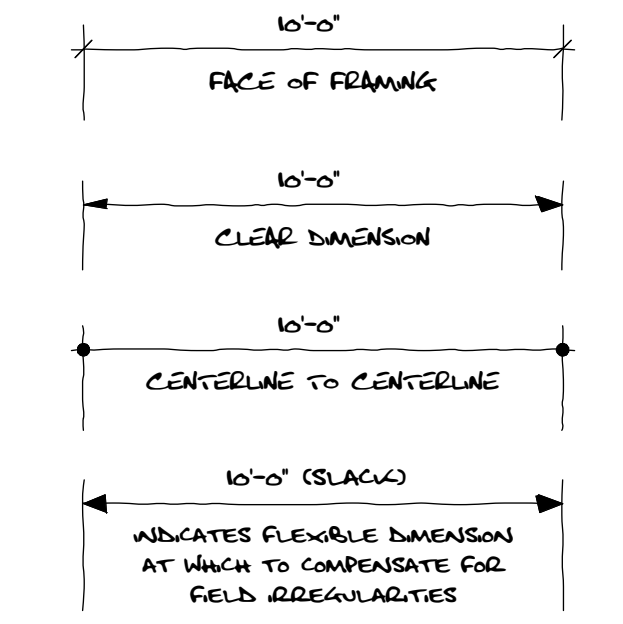
### VICINITY MAP



### APPLICABLE CODES

- 2016 CA Building Code, (1997 UBC)
- 2016 CA Fire Code (2000 UFC)
- 2016 CA Plumbing Code (2000 UPC)
- 2016 CA Electrical Code (1999 NEC)
- 2016 CA Mechanical Code (2000 UMC)
- 2016 CA Energy Code
- Local and state codes, laws and/or regs.

### DIMENSIONING







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Plot Date \_\_\_\_\_

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Issues: \_\_\_\_\_

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Scale \_\_\_\_\_

1" = 20'-0"

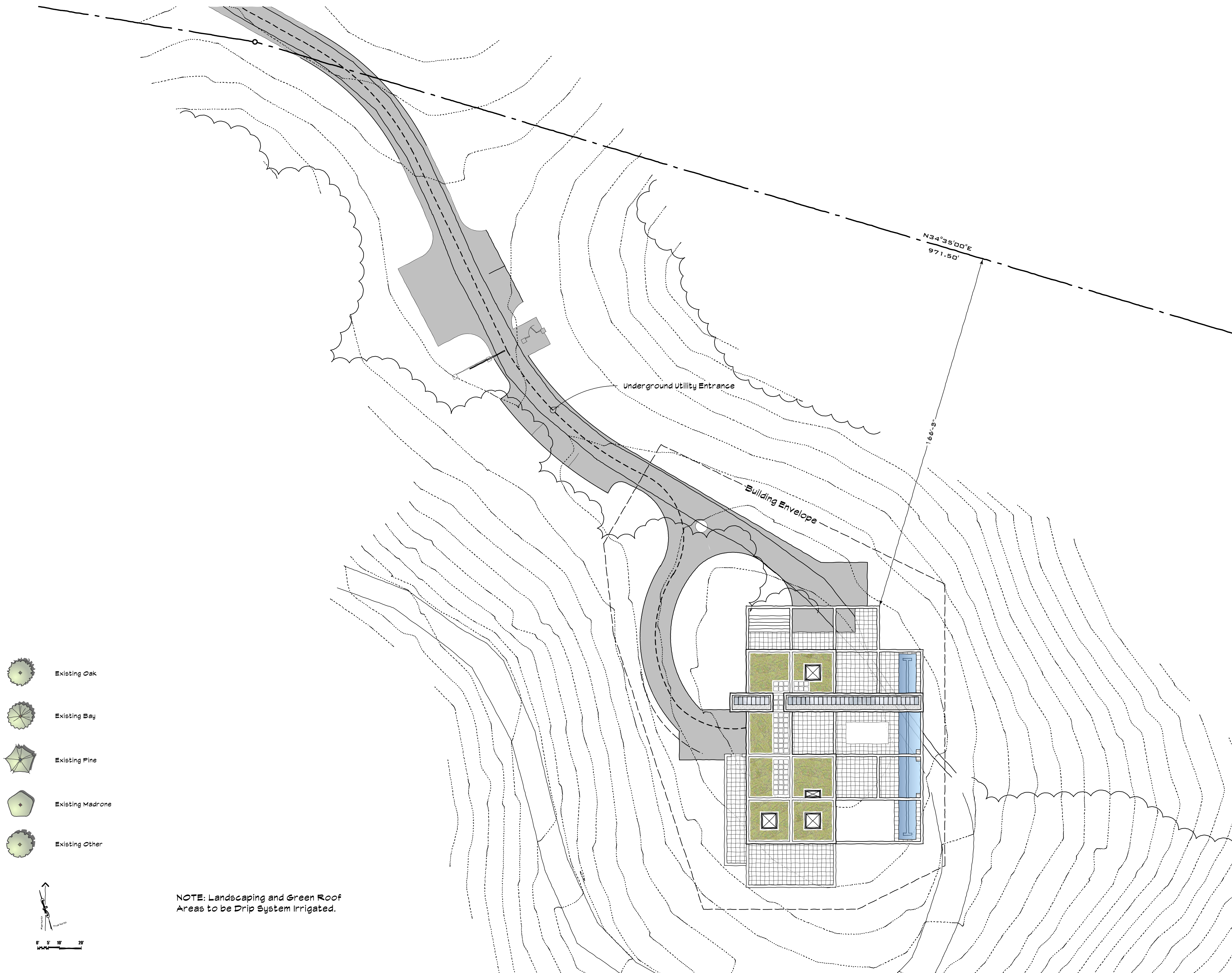
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Site Plan

Sheet Number \_\_\_\_\_

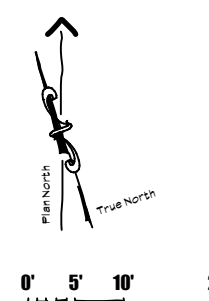
A-2

Sheet 2 in a series of 12



- Existing Oak
- Existing Bay
- Existing Pine
- Existing Madrone
- Existing Other

NOTE: Landscaping and Green Roof Areas to be Drip System Irrigated.







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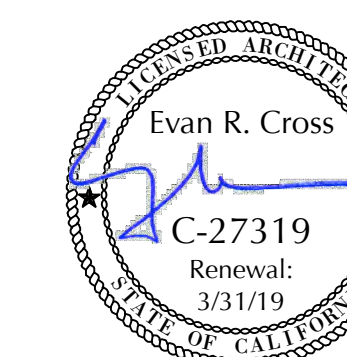
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Issues:

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Scale

1/4" = 1'-0"

Sheet Title

Lower Level Plan

Sheet Number

A-3

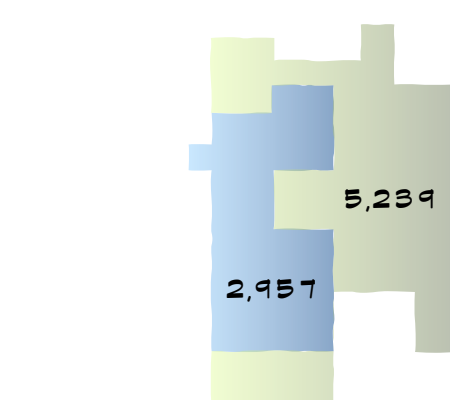
Sheet 3 in a series of 12

### OUTDOOR LIGHTING LEGEND:

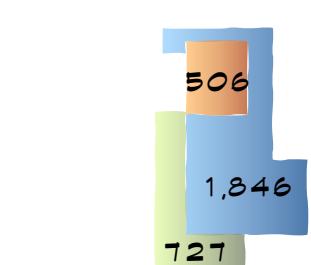
- WALL LIGHT (LOW MOUNT)  
SONNEMAN: TIDES LOW LED LAMPING: 7W/3000K LED FINISH: BRONZE
- WALL SCONCE (HIGH MOUNT)  
LOUIS POULSEN: F-P WALL LED LAMPING: 7W/3000K LED FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT  
WAC LIGHTING: LED 3" WELL LIGHT LAMPING: 7W/3000K LED FINISH: BRONZE / ALUMINUM

### FLOOR SPACE DIAGRAM

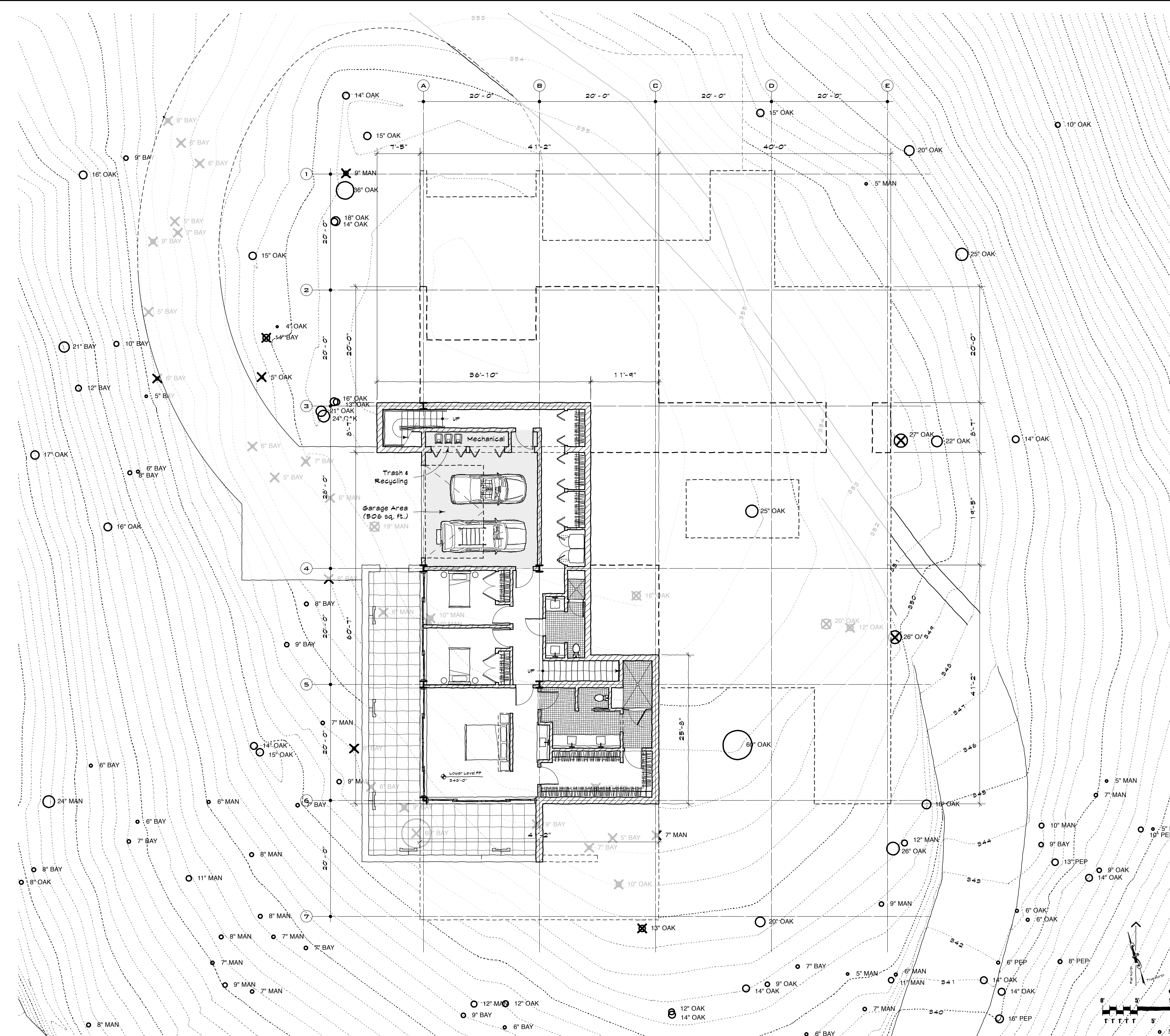
	Totals
Interior Floor Space	4,803
Garage Space	506
Exterior Deck Space	6,066



Upper Level



This Level







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# Ridgeway Residence

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Project Number

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Plot Date

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Issues:

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Scale

1/8" = 1'-0"

Sheet Title

Entry Level Plan

Sheet Number

A-4

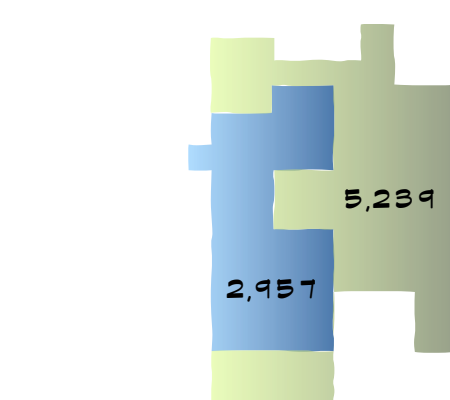
Sheet 4 in a series of 12

### OUTDOOR LIGHTING LEGEND:

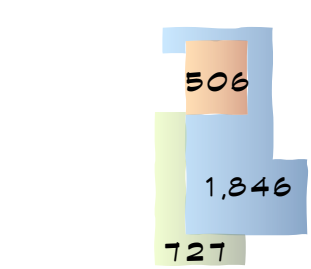
- WALL LIGHT (LOW MOUNT)  
SONNEMAN: TIDES LOW LED LAMPING: 7W/3000K LED FINISH: BRONZE
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LOUIS POULSEN: F-P WALL LED LAMPING: 7W/3000K LED FINISH: GRAPHITE GREY
- FOOT/LANDSCAPE LIGHT  
WAC LIGHTING: LED 3" WELL LIGHT LAMPING: 7W/3000K LED FINISH: BRONZE / ALUMINUM

### FLOOR SPACE DIAGRAM

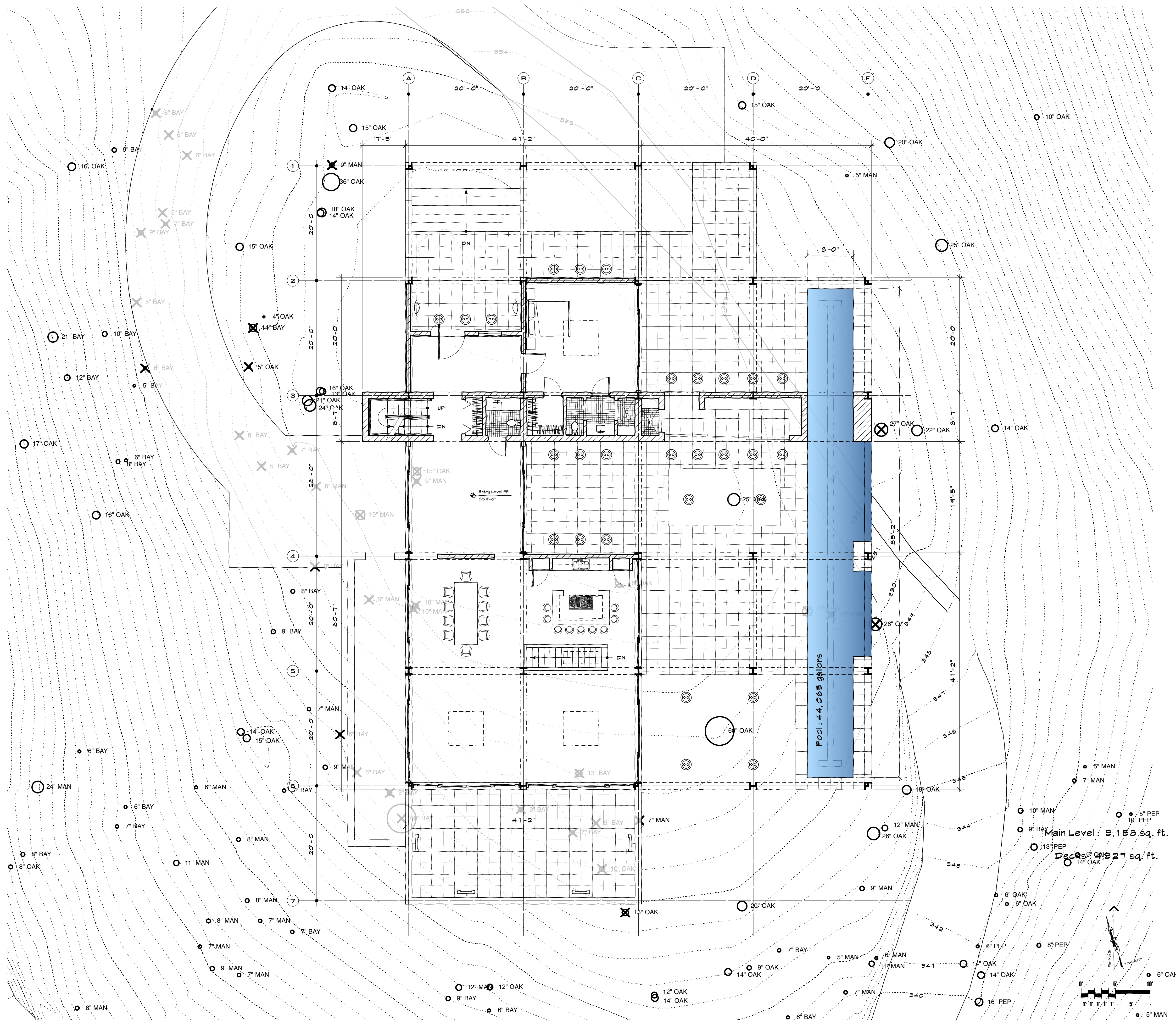
	Totals
Interior Floor Space	4,803
Garage Space	506
Exterior Deck Space	6,066



This Level



Lower Level







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Plot Date

Revisions: *May 8, 2018*

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Issue Date

Issues: *August 11, 2017*

No.	Date	Description
1	8.11.17	Preliminary Planning Set

Scale

1/8" = 1'-0"

Sheet Title

Upper Level Plan

Sheet Number

A-5

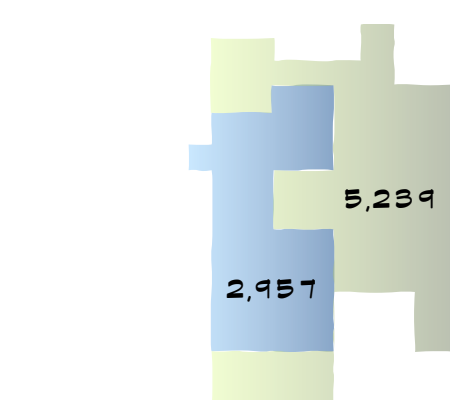
Sheet 5 in a series of 12

### OUTDOOR LIGHTING LEGEND:

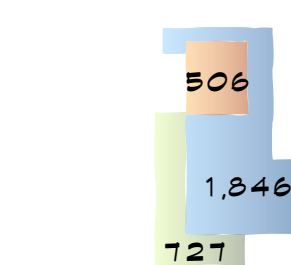
- WALL LIGHT (LOW MOUNT)  
SONNEMAN: TIDES LOW LED LAMPING: 7W/3000K LED FINISH: BRONZE
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WAC LIGHTING: LED 3" WELL LIGHT LAMPING: 7W/3000K LED FINISH: BRONZE / ALUMINUM

### FLOOR SPACE DIAGRAM

	Totals
Interior Floor Space	4,803
Garage Space	506
Exterior Deck Space	6,066



Upper Level



Lower Level





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Issues:

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Scale

1/8" = 1'-0"

Sheet Title

Roof Level Plan

Sheet Number

A-6

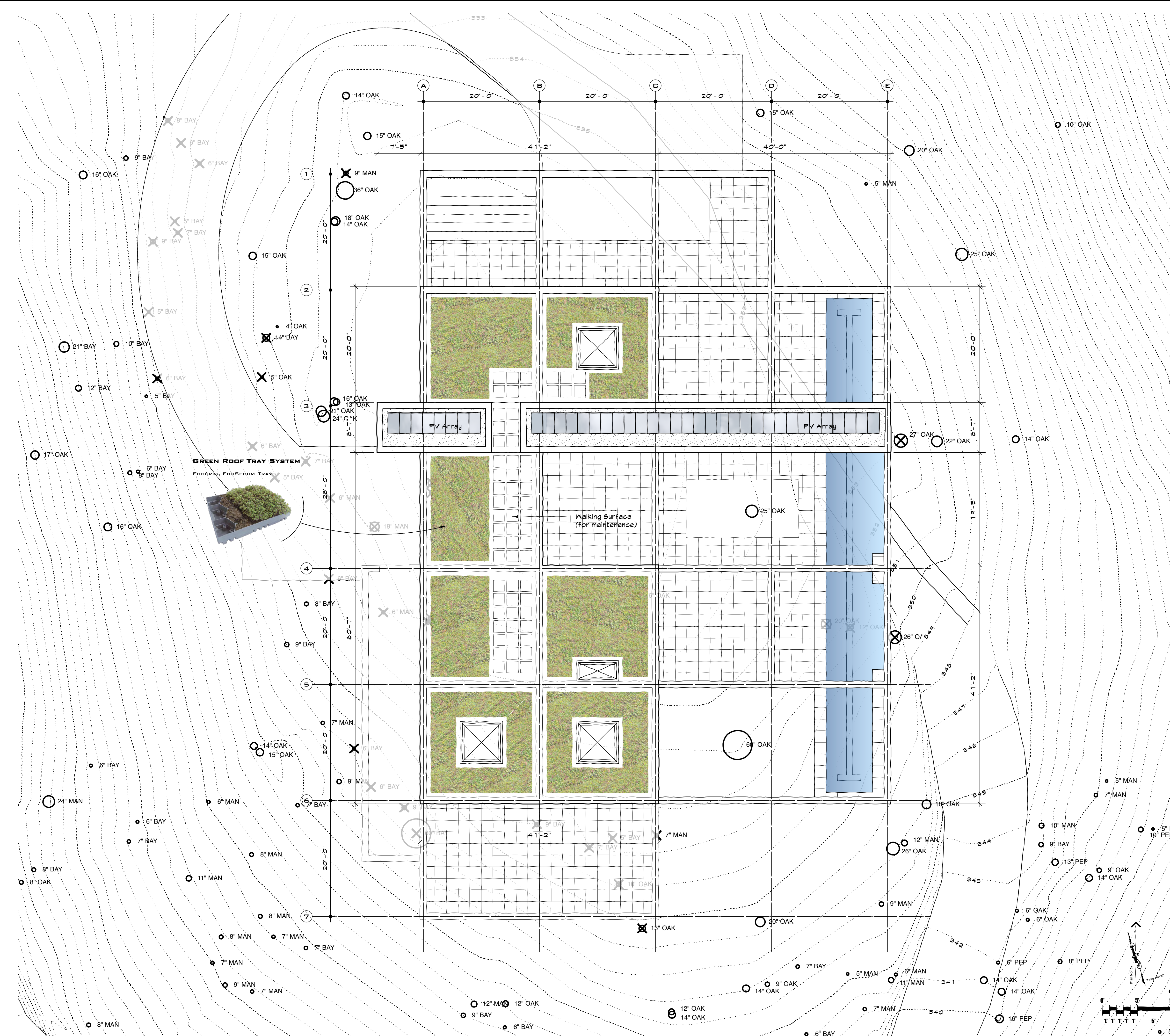
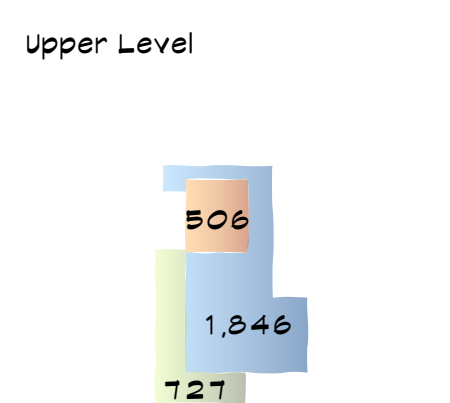
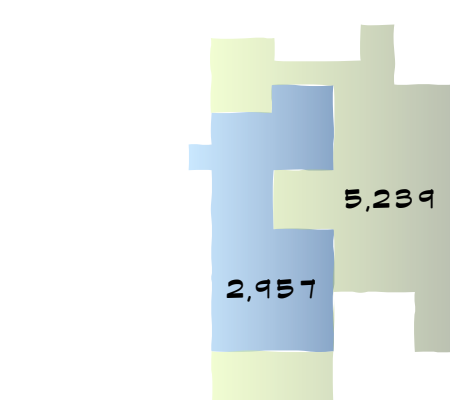
Sheet 6 in a series of 12

### OUTDOOR LIGHTING LEGEND:

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### FLOOR SPACE DIAGRAM

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C-27319

Date Signed

Project Number

n/a

Plot Date

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Scale

3/16" = 1'-0"

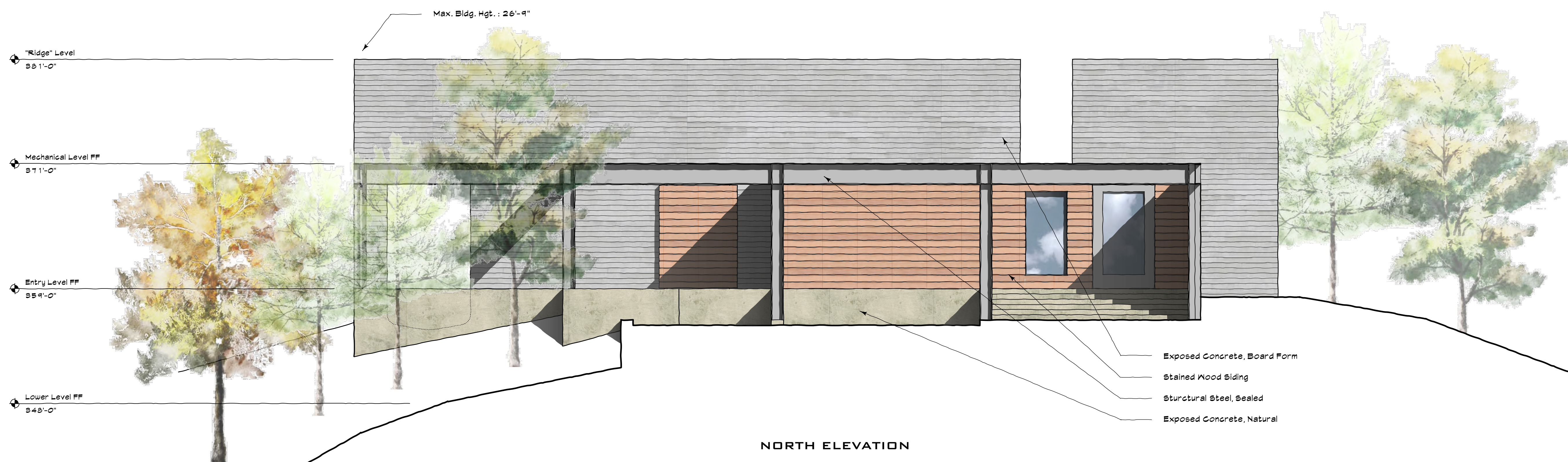
Sheet Title

North and East  
Exterior Elevations

Sheet Number

A-7

Sheet 7 in a series of 12



NORTH ELEVATION



EAST ELEVATION





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C-27319

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Scale

3/16" = 1'-0"

Sheet Title

South and West  
Exterior Elevations

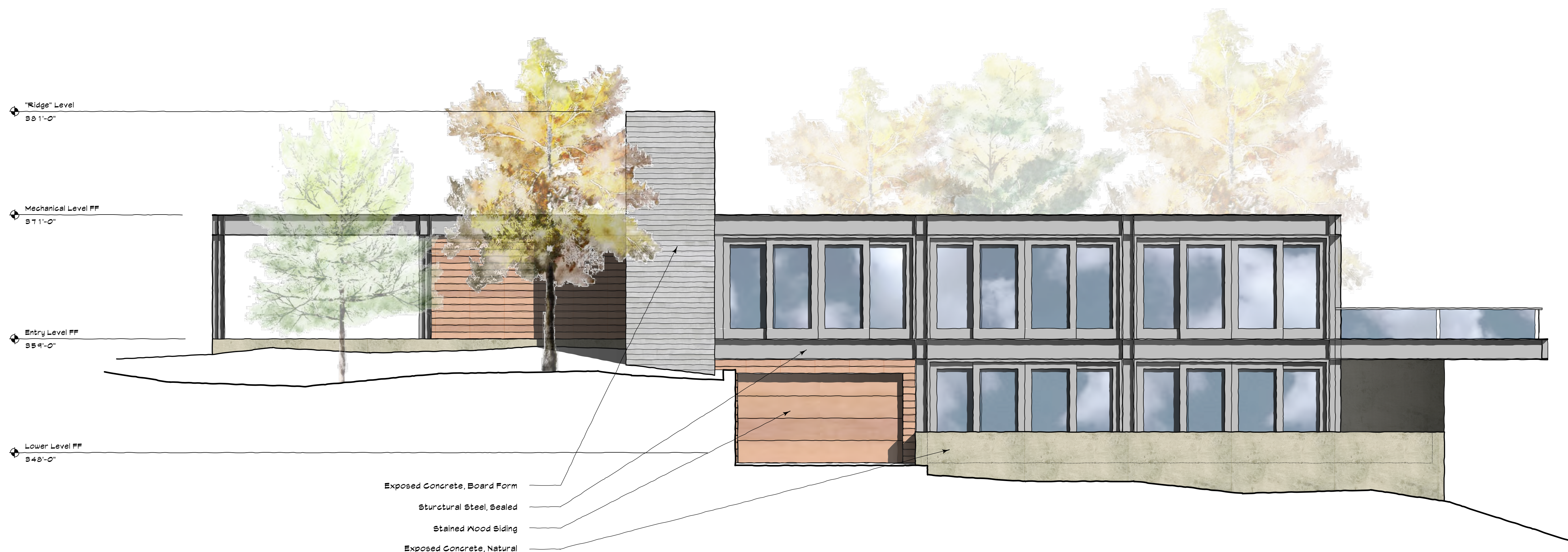
Sheet Number

A-8

Sheet 8 in a series of 12



SOUTH ELEVATION



WEST ELEVATION





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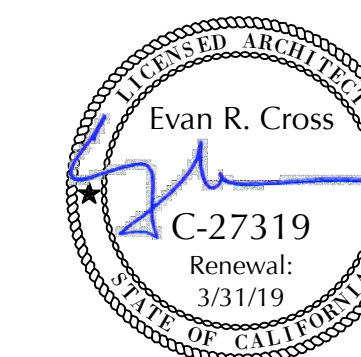
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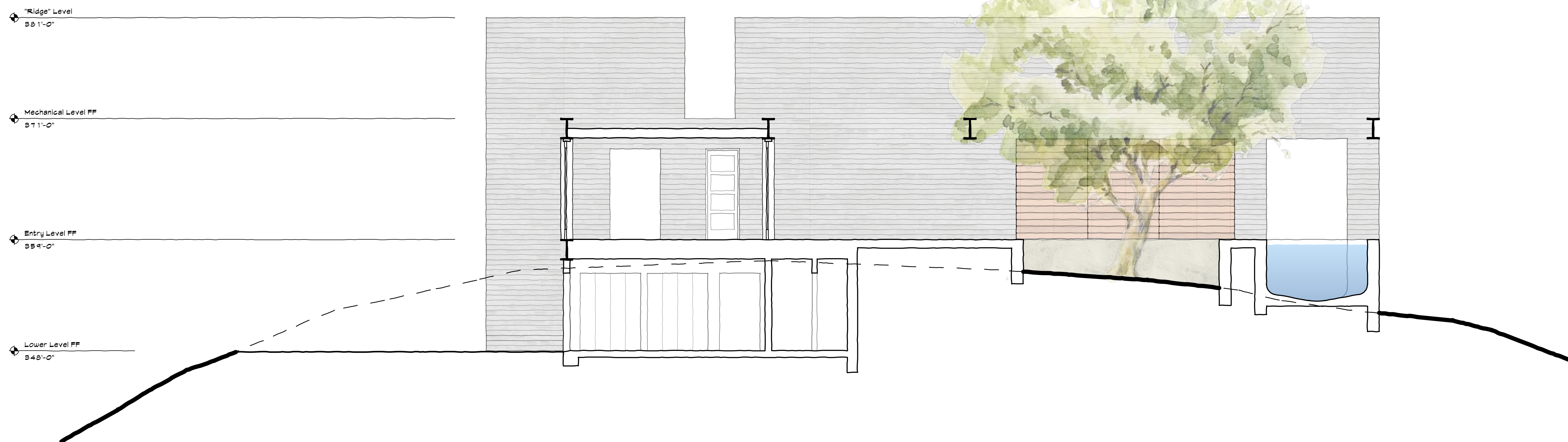
Sheet Title

*Building Sections*

Sheet Number

*A-9*

Sheet 9 in a series of 12







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No.	Date	Description
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Scale

n. t. s.


Sheet Title

Materials / Colors

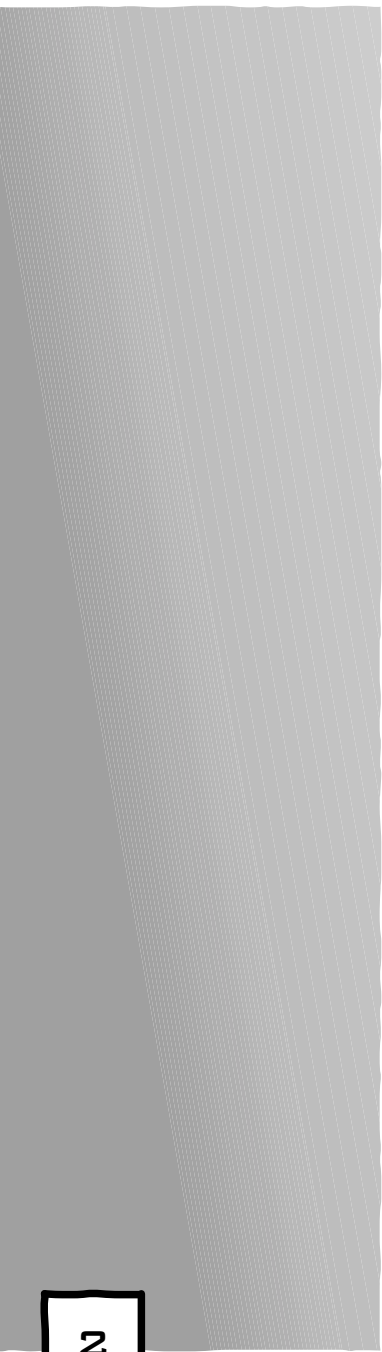
Sheet Number

A-10


Sheet 10 in a series of 12



**1**  
CAST IN PLACE  
EXPOSED CONCRETE  
NATURAL




**2**  
STEEL FRAME  
NATURAL




**3**  
ALUM. WINDOW  
& DOOR FRAMES  
NATURAL

**4**  
LOW E, NON-  
REFLECTIVE  
GLASS



**5**  
BOARD FORMED  
CAST IN PLACE  
CONCRETE



**6**  
HORIZONTAL  
WOOD SIDING  
STAINED

LOT  
10

**MARINDA HEIGHTS • FAIRFAX, CA**  
MATERIALS / COLORS SAMPLE BOARD





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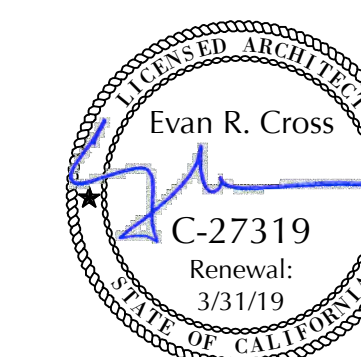
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1/8" = 1'-0"

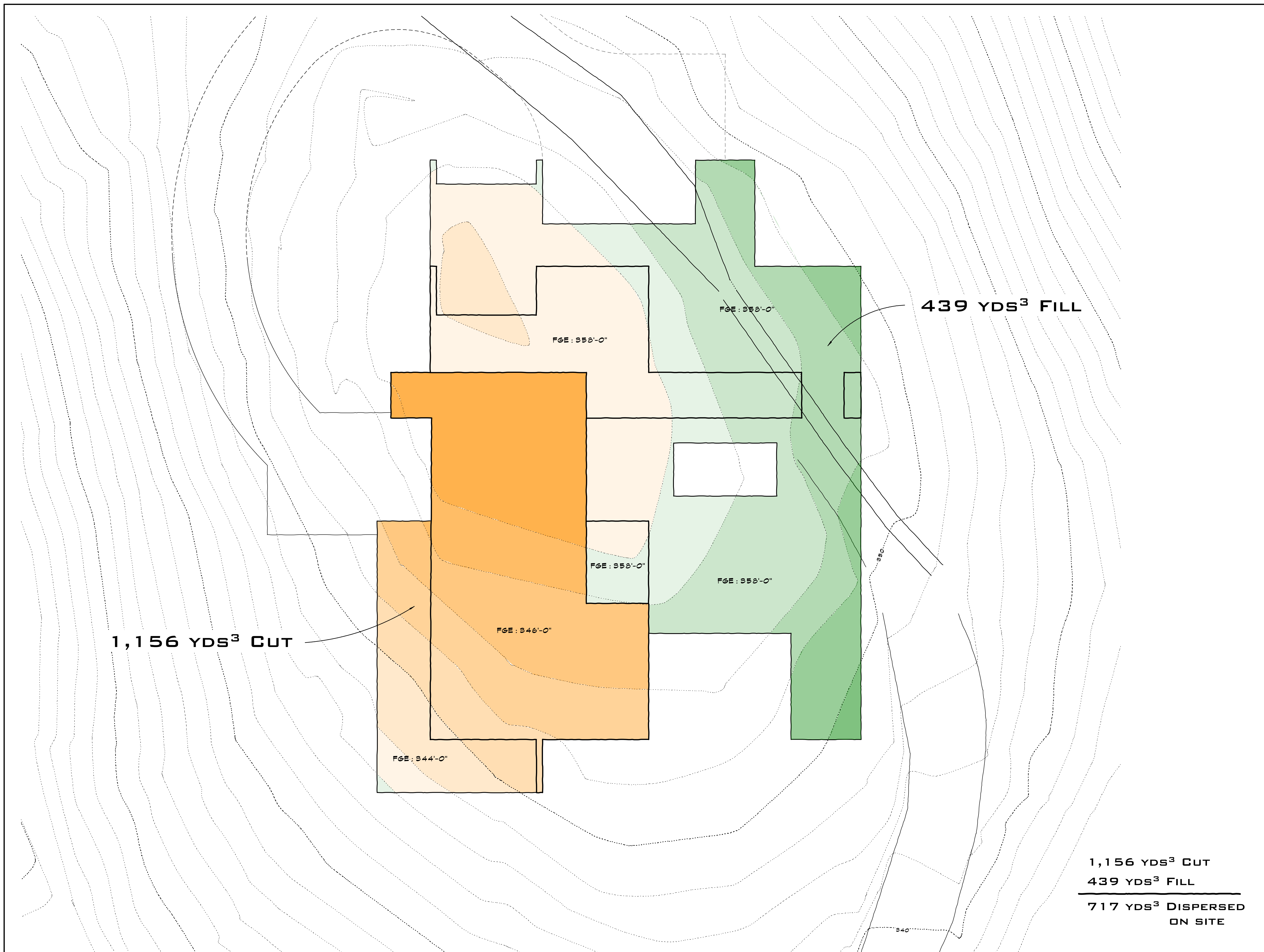
Sheet Title

Grading Plan

Sheet Number

A-11

Sheet 11 in a series of 12



1,156 YDS<sup>3</sup> CUT

439 YDS<sup>3</sup> FILL

1,156 YDS<sup>3</sup> CUT  
 439 YDS<sup>3</sup> FILL  
 717 YDS<sup>3</sup> DISPERSED  
 ON SITE





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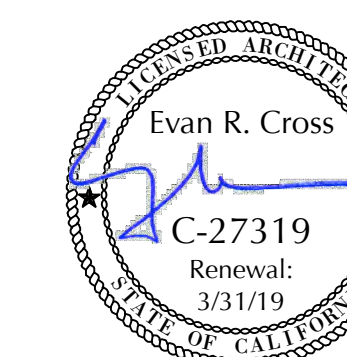
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Scale

1/8" = 1'-0"

Sheet Title

Story Pole Plan

Sheet Number

A-12

Sheet 12 in a series of 12

