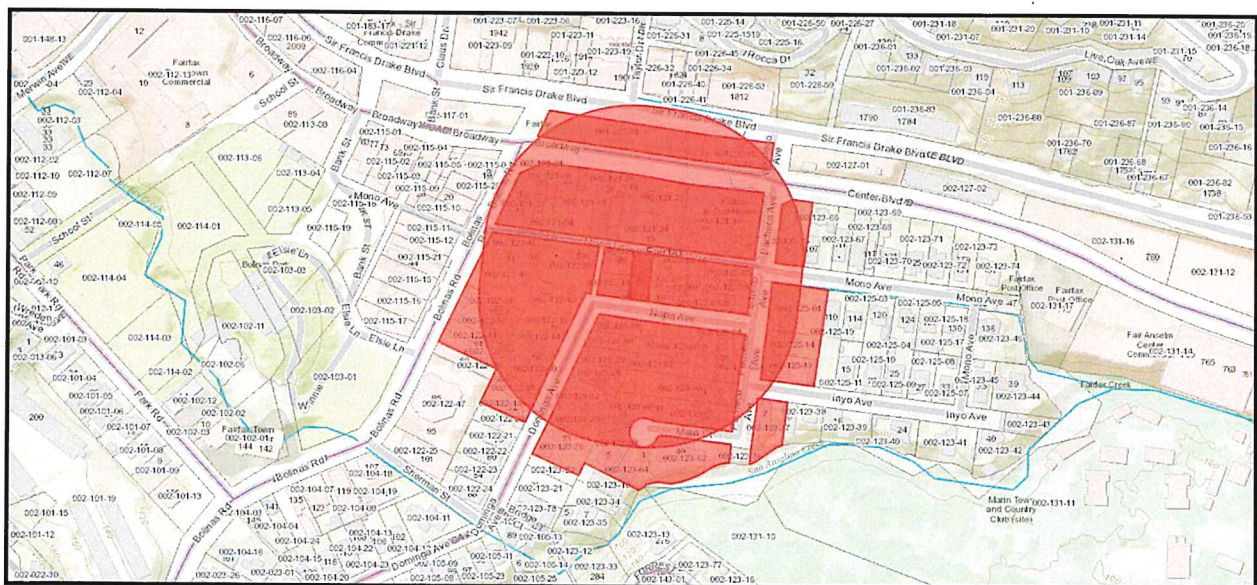


**TOWN OF FAIRFAX
STAFF REPORT**
Department of Planning and Building Services

TO: Fairfax Planning Commission
DATE: December 17, 2020
FROM: Linda Neal, Principal Planner
LOCATION: 18 Napa Avenue; Assessor's Parcel No. 002-122-10
PROJECT: Raising structure so floors are above flood water levels and legalizing and expanding an existing Accessory Dwelling Unit
ACTION: Use Permit, Variance and Design Review Permit; Application # 20-16
APPLICANT: Laura Kehrlein, Frederic C. Divine Associates Architects
OWNER: John Fitzpatrick
CEQA STATUS: Categorically exempt, §§ 15301(e)(1) and 15303(a)



18 NAPA AVENUE

DESCRIPTION

The proposed project consists; a) raising the existing 2 unit building by up 5 feet to elevate the lower level floor above the 100-year flood water elevation; b) legalizing and expanding the 771 square-foot Accessory Dwelling Unit (ADU) on the first floor into an 881 square-foot, 2-bedroom, ADU that complies with Building Code requirements and has an 8 foot ceiling height; c) constructing an access stairway and new entrance to the ADU at the rear of the building via shared stairway and landing that will also provide

rear access, and slightly expand the rear deck to the upstairs unit.

BACKGROUND

The 3,750 square-foot, 37.5-foot-wide site was created by the recording of Map No. 2 Pacheco Tract on June 4, 1914. The structure was built in 1930 as a single-family residence. The first time there is a record of the Tax Assessor inspecting the site is 1954. It showed 771 square feet of the first floor was developed as living space with 2 bedrooms and a ½ bathroom and may have been built that way. There is a letter to the owner of the property in 1984 notifying him that the lower floor had been converted into an unpermitted ADU with a kitchen and full bathroom. At that time, the previous owner provided the Town with documentation verifying that the ADU unit was in existence in 1969. The 1984 letter from the Town also advised the owner that the unit required approval of a Use Permit by the Planning Commission. The second living unit was still in existence and still unpermitted when the current owner purchased the property in 2003.

The property is in the Residential RD 5.5-7 Zone, High Density, which allows single-family residences on parcels of 5,500 square-feet or more and duplexes on lots of 7,000 square-feet or more in size.

Duplexes and single-family residences with ADU's can be found throughout the Pacheco Tract neighborhood on parcels not meeting the minimum size or width requirements. There are several reasons for this. From 1931 when the Town incorporated and adopted its first "Zoning Ordinance" through 1946 there were only 2 zones in Town, residential and commercial, and the residential zone allowed single-family residences, two family structures and apartments as permitted uses. In 1947 the Town amended the zoning allowing single family residences and duplexes on each site with the added the requirement that structures with two family dwellings were allowed only on parcels that were 5,000 square feet or more in size, with the caveat that the Planning Commission could grant "variances" to permit 2 family development (duplexes) on parcels not meeting the minimum 5,000 square foot size requirements. In 1961 zoning of the Pacheco Subdivision was changed to R-2 (Ordinance 230), allowing a duplex on each property but increasing the minimum required property size for development to 6,000 square feet even though very few of the residential properties in the residential areas near the downtown met that minimum size requirement. The 1961 Code gave the Planning Commission the authority to allow a two-unit residential use (R-2) on a non-conforming site to "allow the proper integration into Fairfax of uses may be suitable only in certain locations in the City, or Zoning District, or only if such uses designed or laid out on the site in a particular manner". In 1973, Ordinance 352 was adopted which changed the R-2 Zone to RD 5.5-7 Zone again increasing the minimum parcel size for a duplex from 6,000 square feet to 7,000 square feet. In 1985 the Town adopted Ordinance 538 which allowed ADU's in all residential zones with a Conditional Use Permit from the Commission and the provision of additional parking. The Town adopted Ordinance 844 early this year, 2020, which modified the ADU regulations to

allow ADU's in all zoning districts that allow residential use, and without parking if located within ½ mile of a bus stop.

See Attachment B for a map showing properties in the vicinity of the project site developed with two living units, with some being duplexes and some being single-family residences with ADU's.

The site is in the FEMA floodway (Attachment B). Therefore, prior to deeming the application complete the staff requested and received an elevation certificate and a "No Rise" certificate for the project to determine whether the new stairways and small addition proposed at the rear of the structure would alter floodway waters in the area (Attachment C).

The elevation certificate indicates that the base flood elevation at 18 Napa Avenue is at 106. The "No Rise" certificate verifies that the proposed changes to the exterior of the structure, relocation/modification of the front and rear stairways and small addition to the rear northwest corner of the building, are downstream of structures at 86 Mono Avenue and 20 Napa Avenue and will therefore not alter the floodwater flow path.

DISCUSSION

The proposed project requires the approval of the following discretionary permits:

Conditional Use Permit. The ADU Ordinance, Town Code Chapter 17.048(F)(1)(b) limits the size of attached ADU's to 50% of the floor area of the existing 1,233 square-foot, primary dwelling, or 617 square feet. The proposed ADU involves conversion of existing lower floor utility area and will not increase the footprint of the building. It would be a 2-bedroom, 882 square-foot unit, resulting in the total structure exceeding the allowed square footage by roughly 265 square feet. The current unpermitted unit already results in the structure exceeding the permitted square-footage by 154 square feet. If approved, the ADU expansion would result in a floor area ratio of .56, exceeding the floor area ratio by .16. Town Code §17.048.010(H) gives authority to the Planning Commission to grant a conditional use permit for an ADU that does not comply with divisions (A) through (G)(2) of the ADU Ordinance which includes the ADU size compared to the size of the main unit [TC §17.048.010(F)(b)] and the .40 FAR [TC §17.048.010(F)(2)].

Town Code §17.084.050(A) requires that a Conditional Use Permit be obtained prior to any use, occupancy, or physical improvements of or on a site with a 10% or less slope failing to meet the following requirements: (A) minimum area of 5,500 square-feet for a single-family residence and 7,000 square-feet for a duplex, and a minimum width of 60 feet. The project site is only 3,750 square-feet in size and 37 feet 9 inches wide, so the proposed improvements require the approval of a Conditional Use Permit for this reason as well as the conditional use permit triggers described above.

Minimum and Combined Side Yard Setback Variance. Town Code

§17.084.070(A)(2) requires that new construction maintain a minimum 5-foot side yard setback and a combined side yard setback of 15 feet. The existing building complies with the regulations for the RD 5.5-7 Zone as follows:

	Front Setback	Rear Setback	Combined Front/rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Coverage	Height
Required/ Permitted	6 ft.	6 ft.	25 ft.	5 ft. & 5 ft.	15 ft.	.40	.35	28 ft. 6 in., 2 stories
Existing	6 ft. 10 in	34 ft. 2 in	41 ft.	3 ft. 9 in. & 3 ft. 9 in	7 ft. 6 in	.53	.46	19 ft. 10 in., 2 stories
Proposed	No change	33 ft. 1 in	39 ft. 11 in.	4 ft. & 4 ft.	8 ft.	.56	No change	24 ft. 10 in., 2 stories

The owner is planning to raise the building up and move the exterior walls on each side of the building in 3 inches to increase the minimum setbacks on each side from 3 ft. 9 in to 4 ft. A small 17 square-foot addition at the rear northwest corner of the structure is proposed to accommodate a new entryway into the ADU once the floor is elevated above the floodway water elevation. The addition will follow the line of the existing structure and maintain a minimum 4ft. side setback on the west side and combined 8 ft. side yard setback and would not project beyond the rear of the existing structure.

Just a bit of history for the record. Town Code §17.040.020(C) seems to have been adopted to grant some relief to legally created properties that are substantially below the current Zoning Regulations in width since the Town has increased the minimum size and width requirements over the years rendering many of its existing legal properties legal non-conforming. It indicates that the minimum side yard setback is “5 feet; provided, however, that, if a lot shall be of average width less than 50 ft, then the setback line shall be 10% of the average width, but in no event less than 3 ft”. While this section was used repeatedly from 1986 through the mid 90’s to allow by right minimum setbacks less than 5 feet for the narrow lots in Town, more recently, the determination by more recent Town Attorneys has been that the adoption of the new minimum and combined side yard setbacks has rendered this section inapplicable. However, it is still on the books. The proposed 17 square foot addition would maintain a 3 ft. 9 in. western side setback which exceeds what is allowed by this code section still on the books. The site is 37.5 feet wide and 10% of that results in a side setback of 3 ft. 6 in. and the proposed minimum side setback for this project is 4 ft. and the combined will be 8 feet, which are greater than the existing structure which was built in 1930.

Design Review Permit. Town Code 17.020.030(A) indicates that the Design Review Permit process applies to projects that constitute 50% alterations. The project proposed to raise the entire structure 5 feet, to comply with FEMA regulations requiring living

space of significantly improved structures to be raised above flood water elevations. The proposal will also bring the current 6 ft' 8" ceiling height of the downstairs into compliance with the 7 ft. ceiling height building code regulation constitutes a 50% remodel.

To approve a Design Review Permit, the Commission must be able to determine that the project design complies with the design review criteria set forth in Town Code §17.020.040 which include but are not limited to the following:

1. The proposed development shall create a well composed design, harmoniously related to other facilities in the immediate area and to the total setting as seen from hills and other key vantage points in the community.
2. Only elements of design which have significant relationship to exterior appearance of structures and facilities shall be considered; these elements may include height, arrangement on the site, texture, material, color, signs, landscaping, and appurtenances.
3. The proposed development shall be of a quality and character appropriate to, and serving to protect the value of, private and public investments in the immediate area.
4. There shall exist sufficient variety in the design of the structures and grounds to avoid monotony in external appearance.
5. The size and design of the structure shall be considered for the purpose of determining that the structure is in proportion to its building site and that it has a balance and unity among its external features so as to present a harmonious appearance.
6. The extent to which the structure conforms to the general character of other structures in vicinity insofar as the character can be ascertained and is found to be architecturally desirable.

Conditional Use Permit Discussion

To grant a Conditional Use Permit for a project the Commission must be able to make the following legal findings:

1. The approval of the use permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment.
2. The development and use of property as approved under the use permit shall not cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, or any or all of which

effects are substantially beyond that which might occur without approval or issuance of the use permit.

3. Approval of the use permit is not contrary to those objectives, goals, or standards pertinent to the particular case and contained or set forth in any Master Plan, or other plan or policy, officially adopted by the City.
4. Approval of the use permit will result in equal or better development of the premises than would otherwise be the case, and that said approval is in the public interest and for the protection or enhancement of the general health, safety, or welfare of the community.

The Use Permit is required due to the small size of the site, the 882 square foot, 2-bedroom ADU exceeding 50% of the square footage of the 1,233 square feet of the main unit and resulting in the FAR exceeding the 40% by 16%.

Please see the table below to see the parcels sizes and FAR maintained by other properties developed with 2 units in the Pacheco Subdivision.

19 Napa Avenue – COMPARABLE DEVELOPMENTS IN THE NEIGHBORHOOD STRUCTURE SIZES							
APN #	ADDRESS	LOT SIZE	STRYCTURE SIZE	# BEDROOMS	# BATHS	GARAGE	FAR
002-122-05	16 Pacheco	2800	1612	4	2	0	.57
002-122-11	20 Napa	3125	2082	4	2	630	.66
002-122-12	52 Napa	5000	1189	3	2	0	.24
002-122-24	88 Napa	5050	1241	3	3	204	.25
002-123-03	9 Napa	7300	3408	5	4.5	616	.48
002-123-04	5 Napa	5400	1499	2	2	0	.28
002-123-05	26 Pacheco	5000	1819	4	2	399	.36
002-123-29	57 Napa	4550	1957	4	2	0	.43
002-123-60	9 Main	5640	1984	4	3	480	.35
002-123-63	5 Main	5515	1984	4	2	0	.36
002-123-64	1 Main	4712	1984	4	2	0	.42
002-123-70	121 Mono	6630	1640	5	2	0	.25
002-123-71	125 Mono	6250	1921	3	2	495	.31
002-123-75	9 Pacheco	6735	1429	3	2	326	.21
002-123-78	85 Dominga	5000	1419	2	2	0	.28
002-125-07	33 Inyo	5000	1748	4	2	396	.35
002-125-10	19 Inyo	5000	1960	4	2	360	.39
002-125-17	128 Mono	5189	1516	3	2	484	.29
002-125-18	130 Mono	5000	1995	4	3	399	.40
PROJECT SITE							
002-122-10	18 Napa	3750	2115	4	3	295	.56

The proposed 881 sf. ADU in the Pacheco Subdivision is one of many duplexes and

residences with ADU's and is not out of character with the surrounding neighborhood (See the Exhibit B Map) and there are other small residential properties that also already exceed the current permitted 40% FAR at 16 Pacheco, 20 Napa, 9 Napa, 57 Napa and 1 Main. The upper floor of the structure would not project any closer to the neighboring structures than it currently does, and the lower-level setback would be increased by 3 inches on each side from 3 foot, 8 inches, to 3 feet. The project would provide a 2-unit ADU which is not typical of most of ADU applications the Town is receiving which are usually for 1 bedroom or studio units, and it would bring the property into compliance with FEMA regulations.

Increasing the height of the structure by 5 feet will elevate the lower living space 2 feet, 7 inches above the flood water elevation height, and increase the ceiling height from a non-building code compliant 6 ft. 8 in. to 8 ft. The resulting height of the structure is still below the maximum 28.5 ft., with the top of the parapet at 24 ft. 10 in. The ADU ordinance does not require the provision of additional parking for an ADU within ½ mile of a bus stop, and the propose project would also remove 139 square feet of concrete stairway and walkways from the site, so that the lot coverage is maintained at its existing legal non-conforming .46 (Town Code § 17.040.010).

Combined Minimum and Side-Yard Setback Variance Discussion

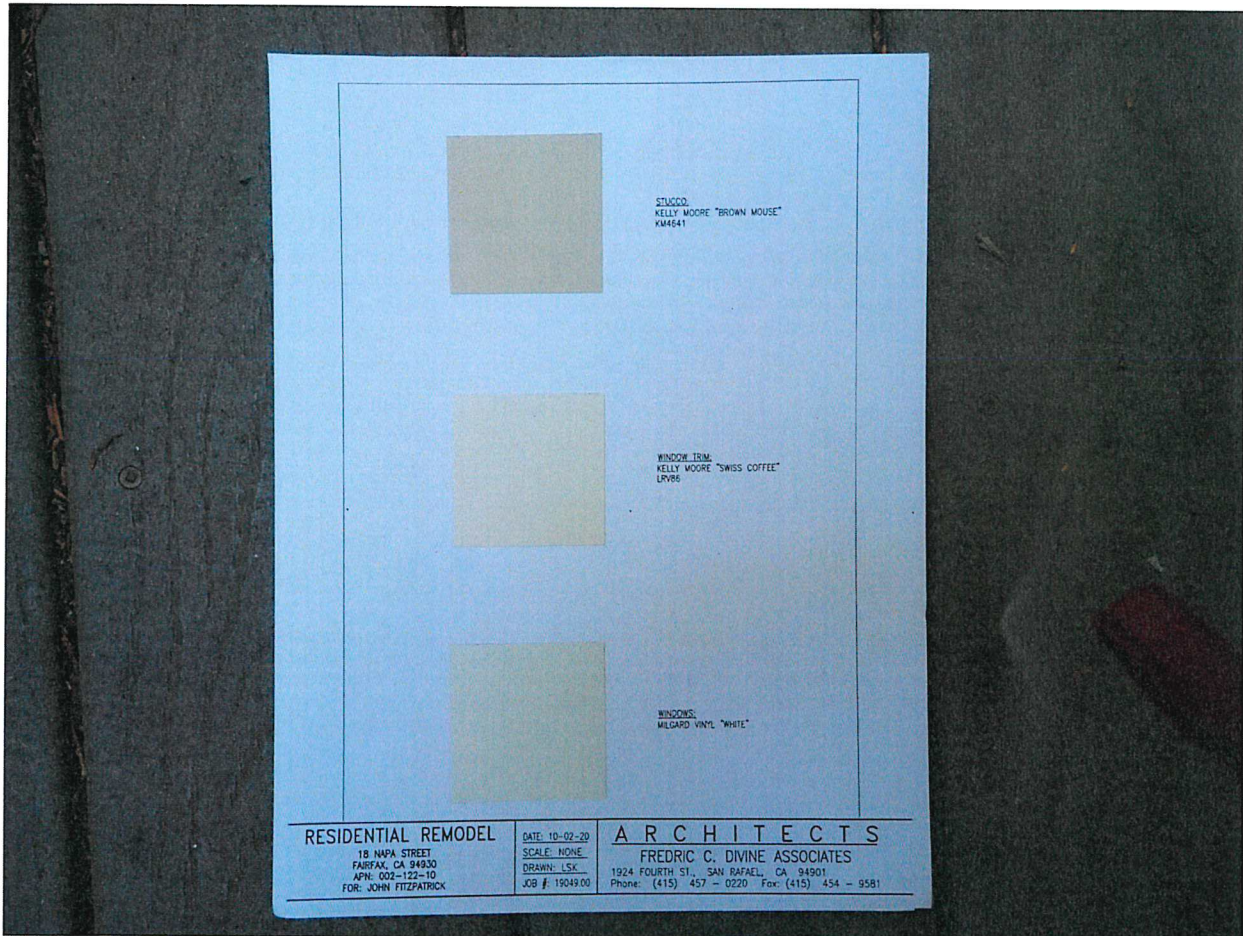
The project proposes increasing the existing minimum side-yard setbacks by 3 inches from 3 feet 9 inches to 4 feet and the combined side-yard setback from 7 feet 6 inches to 8 feet. However, the variance is required for the 17 square-foot addition and access stairway at the rear northwest corner of the building, and for the small, one-foot-deep enlargement of the existing upper unit rear deck. The redesigned entry into the ADU kitchen, stairway and landing are required to provide access to the ground floor ADU once the structure is lifted to allow continued rear stairway access to the upper unit. The 19 square-foot deck expansion for the upper unit will result in a better, more usable private outdoor space for the upper unit. While there may be another way to design access to both units from the rear, the proposed small addition to bring the rear wall out even with the stairway landing, to create the shared stairway, and the small upper deck expansion will not create any substantial changes that might have substantial impacts on the closest neighboring structures at 20 Napa, 86 Mono or 16 Napa. The change that will provide access to both the units seems to be the best solution which will have the least impact on the site and fewest impacts on the existing structure. The new rear stairway is also the most straightforward way to access both units, while also slightly improving the private outdoor space for the upper unit. The deck overlooks the roof of the one-story house to the east and may provide somewhat of an increased view of the portion of the rear yard. However, due to the small size of the deck, its use will probably be limited.

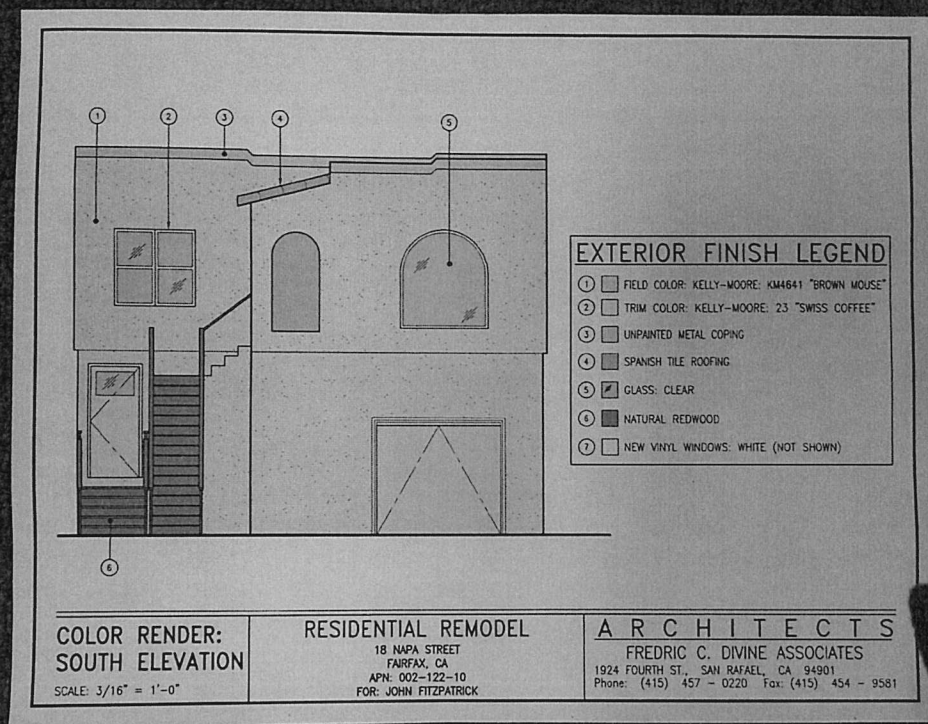
If the Commission is concerned or hears testimony from the neighbor at the meeting that the deck expansion will significantly impact their privacy, they can include a condition that the deck include a privacy screen on its eastern side.

The Building Official has indicated that as the east and west walls of the structure maintain a less than 5-foot setback from the property lines, the only way new openings can be installed in them is either if the entire building is improved with a fire sprinkler system, or any opening must be a fire rated protected opening including but not limited to tempered, self-closing windows and self-closing doors.

Design Review Discussion

The new lower walls will be surfaced with stucco and painted to match the existing upper portion of the structure (see color board and elevation below).





The windows in the upper unit will remain unchanged. The windows for the lower unit are proposed to be changed as follows: A larger window is proposed in the western wall, at the existing lower floor kitchen. The bathroom window on the west wall will be shifted to the north several inches so it will be between the toilet and the bathtub once the bathroom is remodeled. The west wall front lower floor bedroom window will be enlarged. On the eastern side, a window in what will be remodeled into a second bedroom will be replaced and enlarged slightly. The second window on the eastern side of the lower floor and the chimney will be removed. All windows on the sides of the building will be higher in elevation, owing to the four-foot, one-inch increase in the finish floor elevation over the existing floor level.

All the residences along Napa are close together with windows facing the respective neighbors including 16, 18 and 20 Napa. If the Commission is concerned that the increase in height and slight relocation and enlargement of the windows on the east and west sides will substantially impact the privacy of the neighboring properties, or if any neighbor expresses concern about the window locations, the Commission can add a condition into the Resolution recommending that the owner and his architect work with

the neighbors prior to submitting their building permit application to relocate/redesign the windows so that they are acceptable to all parties

The access stairway into the front of the upper unit will be re-oriented in a manner that allows the mission style architectural arched window features on the front of the building to be retained in the front entry porch and the new garage door will be the height of a standard residential door at 7 feet. The retention of these features will maintain the single-family residential appearance of the building while providing a larger 2-bedroom ADU that is accessed from the rear.

The applicant's original submittal included a second entrance at the front of the structure with a relocation of the main stairway into the upper, main residence that extended into the front yard setback area. The Building Official advised the second front stairway into the ADU was not required per the Building Code. At the planning staff's direction, the applicant voluntarily modified the plans to remove the second front stairway, which staff felt did not fit in with the appearance of other 2 story residential structures in the neighborhood. Removal also eliminated the need for a front setback variance.

There is currently no exterior lighting proposed for the project. If changes are to be made to the lighting, a lighting plan that includes dark sky compliant fixtures, shall be subject to review by the Planning Director prior to the building permit issuance. This has been incorporated as a condition of project approval.

The proposed changes will not substantially change the architectural style of the structure and the resulting building will comply with the Design Review Criteria set forth in Town Code § 17.020.040.

Other Agency/Department Comments/Condition

Ross Valley Fire Department (RVFD)

RVFD submitted written requirements which have been incorporated into conditions of approval in the attached resolution and are summarized as follows:

All vegetation and construction materials are to be maintained away from the sheds during construction, all smoke detectors in the residence shall be provided with AC power and be interconnected for simultaneous alarm with detectors located inside and outside sleeping rooms, centrally located in hallways and over the center of all stairways with a minimum of one detector per story of the occupied portion of the structure; Carbon monoxide alarms shall be located outside of each sleeping area, in the immediate vicinity of bedrooms and on each level of the structure; address numbers at least 4 inches tall must be in place adjacent to the front door and if not clearly visible from the street an additional address number location is required, with the numbers being internally illuminated, placed next to a light with a light source that will allow the numbers to remain lit all night, or of reflective materials.

Marin Municipal Water District (MMWD)

MMWD submitted written requirements which have been incorporated into conditions of approval in the attached resolution and are summarized as follows:

The project shall comply with all requirements of District Code 13 – Water Conservation; Indoor plumbing fixtures must meet specific efficiency requirements; Backflow protection shall be installed as a condition of water service.

Fairfax Building Department

The building must be improved with a fire sprinkler system or any proposed opening on the sides of the building must be fire rated, protected openings including but not limited to self-closing tempered glass windows and doors.

Ross Valley Sanitary District (RVSD)

The project requires that the sewer lateral be tested and certified with a RVSD permit, inspection and certification certificate prior to the building final inspection and issuance of the certificate of occupancy.

Fairfax Police Department and Public Works Department

The Police and Public Works Departments have no comments and did not place any conditions upon the project.

RECOMMENDATION

Conduct the public hearing and then move to approve Application # 20-16 by adopting Resolution No. 2020-13 setting forth the project findings and conditions of approval.

ATTACHMENTS

Attachment A – Resolution No. 2020-13

Attachment B – Map showing location of adjacent sites developed with 2 units

Attachment C – FEMA Flood Map section, Flood Elevation and “No Rise” certifications

RESOLUTION NO. 2020-13

A Resolution of the Fairfax Planning Commission Approving an Amended Design Review Permit and Use Permit for a New Residence at 18 Napa Avenue

WHEREAS, the Town of Fairfax has received an application from John Fitzpatrick to raise, expand and remodel the living space of an existing 2-unit structure to elevate the lower floor finished elevation above the flood elevation, and legalize and expand an existing 771 square-foot, one-bedroom, Accessory Dwelling Unit (ADU) into a 882 square-foot, 2-bedroom, ADU, and provide access into both the lower and upper units; and

WHEREAS the Planning Commission held a duly noticed Public Hearing on December 17, 2020, at which time the Planning Commission determined that the proposed project complies with the Town Zoning Ordinance; and

WHEREAS, based on the plans and other documentary evidence in the record the Planning Commission has determined that the project as amended meets the burden of proof required to support the findings necessary to approve the Use Permit, Design Review Permit and Minimum and Combined Side Yard Setback Variance; and

WHEREAS, the Commission has made the following findings:

1. The proposed residence as amended meets the Town design criteria and therefore complies with the following 2010-2030 Fairfax General Plan Policies and Goals, Use Permit Findings and Design Review Criteria:

General Plan (GP) Policy LU 7.1.5; New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

GP Policy H-6.1.2: New ADU Approach. Permit construction of well designed ADU's in both new and existing residential neighborhood, consistent with parking and street capacity standards.

The project as amended will create a well composed design, harmoniously related to other residences in the immediate area and to the total setting.

The project is of a quality and character appropriate to, and serving to protect the value of, private and public investments in the immediate area.

The design of the project has sufficient variety and articulation to avoid monotony in the external appearance.

The size and design of the project as amended is in proportion to its building site and has a balance and unity among its external features so as to present a

harmonious appearance.

The approval of the amended project shall not constitute a grant of special privilege because the resulting number of living units on the site, FAR, Lot Coverage percentage and side yard setbacks, and height maintained by the resulting 2 story structure are similar to those maintained by other two-unit, 2 story structures on similar sized lots in the Pacehco Subdivision where the project site is located.

The project as amended will not cause excessive or unreasonable hardship to adjoining properties or premises or cause adverse physical or economic effects.

Approval of the project as amended not contrary to the objectives, goals, or standards pertinent to the project and contained within the Zoning Ordinance.

Because of special circumstances applicable to the property, including its narrow, 37 foot width and small size, the strict application of the 5-foot minimum and combined 15 side yard setback requirements will deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification.

The variance or adjustment will not constitute a grant of special privilege, is consistent with the limitations upon other properties in the vicinity and under identical zone classification, and is consistent with the objectives of this title.

The strict application of this title would result in excessive or unreasonable hardship for the property not allowing the finished floor to be raised above the floodway flood water elevation.

The granting of the variance of adjustment will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with all conditions set forth in this approval, as follows:

1. The approval is limited to the plans prepared by Laura Kehrlein of Frederic C. Divine Associates, Architecture, consisting of plans dated 8/4/20, pages A1, A2.0, A2.1, A3.0, A3.1 and A4.0.
2. Prior to issuance of the building permit for the project the applicant or his assigns shall:
 - a. Submit a construction plan to the Public Works Department which may include but is not limited to the following:
 - Construction delivery routes approved by the Department of Public Works.
 - Construction schedule (deliveries, worker hours, etc.)

- Notification to area residents
- Emergency access routes

b. The applicant shall prepare, and file with the Public Works Director, a video tape of the roadway conditions on the public construction delivery routes (routes must be approved by Public Works Director).

c. Submit a cash deposit, bond or letter of credit to the Town in an amount that will cover the cost of grading, weatherization and repair of possible damage to public roadways. The applicant shall submit contractor's estimates for any grading, site weatherization and improvement plans for approval by the Town Engineer. Upon approval of the contract costs, the applicant shall submit a cash deposit, bond or letter of credit equaling 100% of the estimated construction costs.

d. The foundation shall be designed by the architect certified to design such plans in the state of California. Plans and calculations of the foundation elements shall be stamped and signed by the project engineer and submitted to the satisfaction of the Town Engineer or Building Permit Plan Checker.

e. The grading and drainage elements shall also be stamped and signed by the project architect.

f. Prior to submittal of the building permit plans the applicant shall secure written approval from the Ross Valley Fire Authority and the Ross Valley Sanitary District noting the development conformance with their recommendations.

f. Prior to submittal of the building permit plans, and if a sprinkler system is going to be installed in the project, a separate fire suppression system application shall be filed and approved by the Ross Valley Fire Department with an approved copy of the plan included in the building permit application.

3. During the construction process the following shall be required:

a. The Building Official shall field check the concrete forms prior to the pour.

b. All construction-related vehicles including equipment delivery, cement trucks and construction materials shall be situated off the travel lane of the adjacent public right(s)-of-way at all times. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.

c. Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.

4. The project architect shall field check the completed project prior to issuance of the occupancy and submit written certification to the Town Staff that the foundation, grading and drainage elements have been installed in conformance with the approved building plans.
5. The roadways shall be kept free of dust, gravel and other construction materials by sweeping them, daily, if necessary.
6. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 20-16 or the approval of the Planning Director of minor changes that do not modify the intent of this approval. Any construction based on job plans that have been altered without the benefit of an approved modification by the Planning Commission or the Planning Director of Application 20-16 will result in the job being immediately stopped and red tagged.
7. Any damages to the public portions of Pacheco, Napa, Dominga or Bolinas Road or other public roadway used to access the site resulting from construction activities shall be the responsibility of the property owner.
8. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director, or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.
9. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and

Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act.

10. The applicant must comply with all conditions imposed by an outside agency unless that agency waives its conditions in a written letter to the Department of Planning and Building Services Department prior to issuance of the building permit.
11. All exterior lighting shall be of "dark sky" fixtures and direct the light downward. The fixture cut sheets shall be included in the building permit submittal and be subject to Planning Staff approval prior to issuance of the building permit.

Ross Valley Fire Department

12. All vegetation and construction materials are to be maintained away from the sheds during construction.
13. All smoke detectors in the residence shall be provided with AC power and be interconnected for simultaneous alarm. Detectors shall be located in each sleeping room, outside of each sleeping room in a central location in the corridor and over the center of all stairways with a minimum of 1 detector on each story of the occupied portion of the residence.
14. Carbon monoxide alarms shall be provided in existing dwellings when a permit is required for alterations, repairs, or addition and the cost of the permit exceeds \$1,000.00. Carbon monoxide alarms shall be located outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of the dwelling, including basements.
15. Address numbers at least 4 inches tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers must be placed in location that is visible from the street. The numbers must be internally illuminated or illuminated by and adjacent light controlled by a photocell that can be switched off only by a breaker so it will remain illuminated all night.
16. All approved alternatives requests, and their supporting documentation, shall be included in the plan sets submitted for final approval by the Fire Department.

Marin Municipal Water District

17. The project shall comply with all requirements of District Code 13 – Water Conservation.
18. Indoor plumbing fixtures must meet specific efficiency requirements.
19. Backflow protection shall be installed as a condition of water service.

Other outside agency requirements

20. The applicant must comply with all outside agency conditions unless a specific agency waives their conditions in a written letter to the Department of Planning and Building Services Department prior to issuance of the building permit.

Miscellaneous

21. All exterior fixtures shall be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or up light panels) and the lighting plan shall be submitted with the building permit application and be approved by the Planning Department prior to issuance of the project building permit. The lighting shall no emit direct offsite illumination and shall be the minimum necessary for safety.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of Design Review Permit, Setback Variances and Use Permit is in conformance with the 2010 – 2030 Fairfax General Plan and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 17th day of December of 2020 by the following vote:

AYES:
NOES:
ABSTAIN:

Chair Green

Attest:

Ben Berto, Director of Planning and Building Services

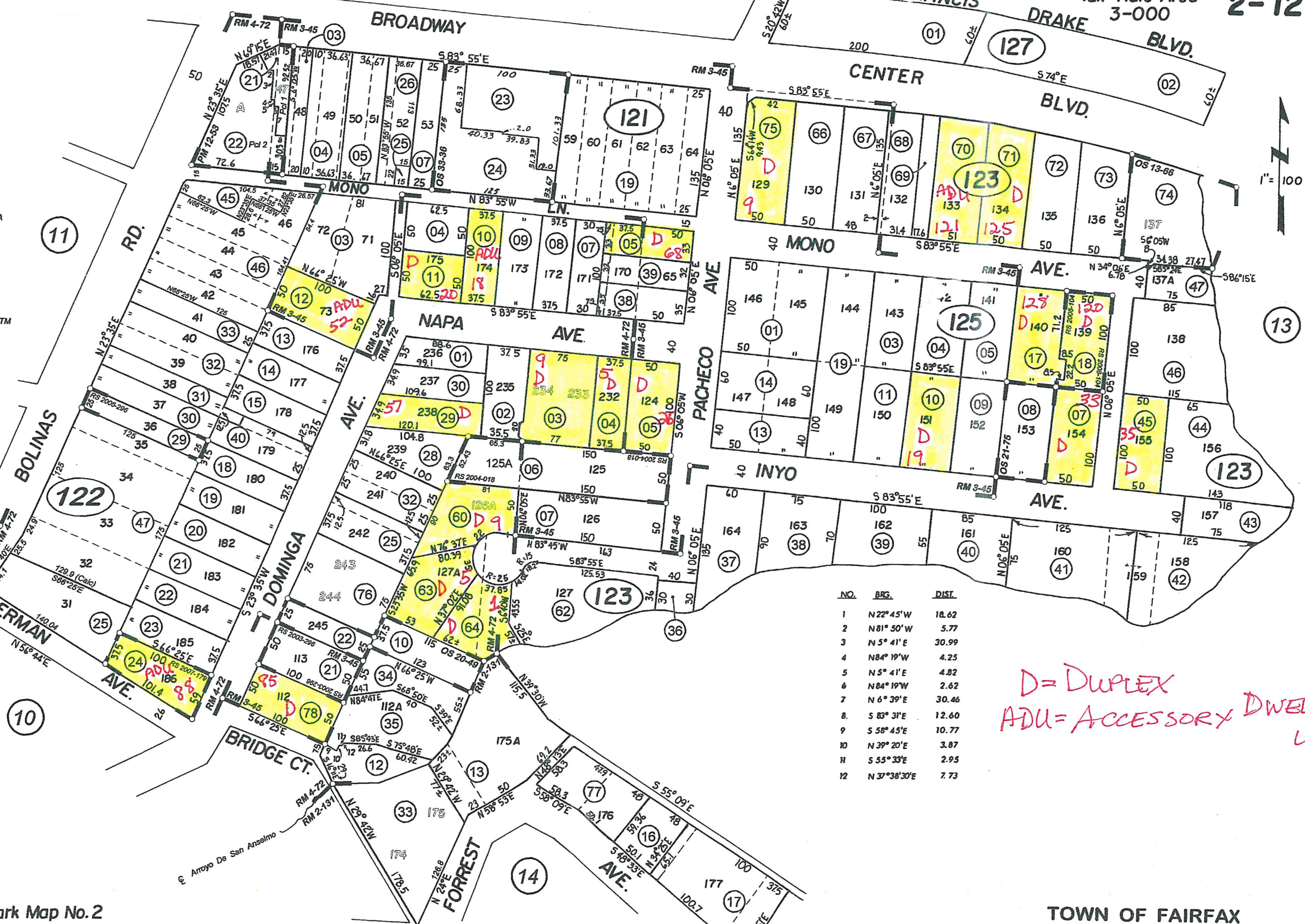
POR. RANCHO CANADA DE HERRERA

Tax Rate Area 2-12
3-000

8/21/2018 MLP

CHANGES				
BLK	PRIOR APN	NEW APN	YR	AUTH
123	SURVEYS		04	
123	SURVEYS		05	
121	002-121-06	25 & 26	06	201
121	Survey		06	
122	Survey		08	
125	SURVEYS		08	
			09	
			12	SBE 11-001
				TRA
123	002-123-03	NOTM	12	
123	002-123-33	NOTM	12	
123	002-123-60	NOTM	12	
123	002-123-76	NOTM	12	
				NOTM
123	20 & 31	002-123-78	13	086
122	002-122-01	41 & 42	17	089
122	002-122-02	43 & 44	17	089
122	42 & 43	002-122-45	17	089
122	34, 37, 41 & 44	002-122-46	17	089
122	26, 27, & 28	002-122-47	17	099
			19	

Map Update



NO.	BEG.	DIST.
1	N 22° 45' W	18.62
2	N 81° 50' W	5.77
3	N 5° 41' E	30.99
4	N 84° 19' W	4.25
5	N 5° 41' E	4.82
6	N 84° 19' W	2.62
7	N 6° 39' E	30.46
8	S 83° 31' E	12.60
9	S 58° 45' E	10.77
10	N 39° 20' E	3.87
11	S 55° 33' E	2.95
12	N 37° 38' 30" E	7.73

D = DUPLEX
ADU = ACCESSORY DWELLING UNIT

R.M. Bk.2-Pg.131, Deer Park Map No.2
R.M. Bk.3-Pg.45, Pacheco Tract Map No.1
R.M. Bk.4-Pg.72, Pacheco Tract Map No.2

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

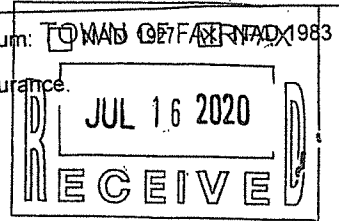
TOWN OF FAIRFAX
Assessor's Map Bk. 2 - Pg. 12
County of Marin, Calif.

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION				FOR INSURANCE COMPANY USE	
A1. Building Owner's Name John and Mariej Fitzpatrick				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 18 Napa Ave				Company NAIC Number:	
City Fairfax		State California		ZIP Code 94930	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) AP#002-122-10					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.)				Residential	
A5. Latitude/Longitude: Lat. 37.986282		Long. 122.588071		Horizontal Datum: TOWNSHIP OF FAIRFAX 1983	
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number 1A					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s)				972.00 sq ft	
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade 0					
c) Total net area of flood openings in A8.b 0.00 sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage				198.00 sq ft	
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade 0					
c) Total net area of flood openings in A9.b 0.00 sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No					
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number Town of Fairfax 060175			B2. County Name Marin		B3. State California
B4. Map/Panel Number 060175 / 0452	B5. Suffix E	B6. FIRM Index Date 01-05-1978	B7. FIRM Panel Effective/ Revised Date 03-17-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 106'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					



IMPORTANT: In these spaces, copy the corresponding information from Section A.

Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
18 Napa Ave

FOR INSURANCE COMPANY USE

Policy Number:

City
Fairfax

State
California

ZIP Code
94930

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

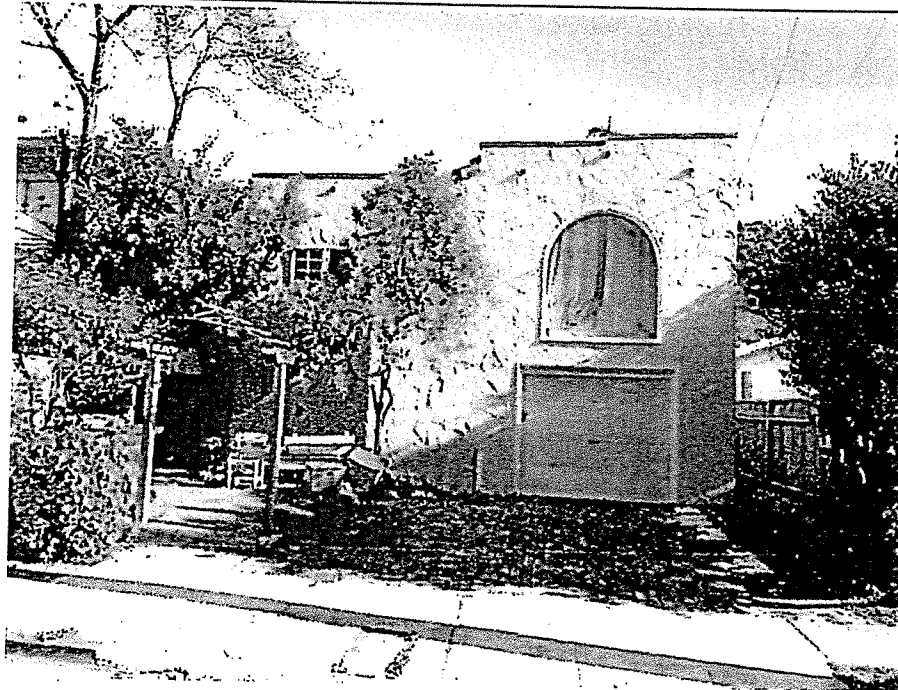


Photo One

Photo One Caption April 8, 2020 - Front View

Clear Photo One

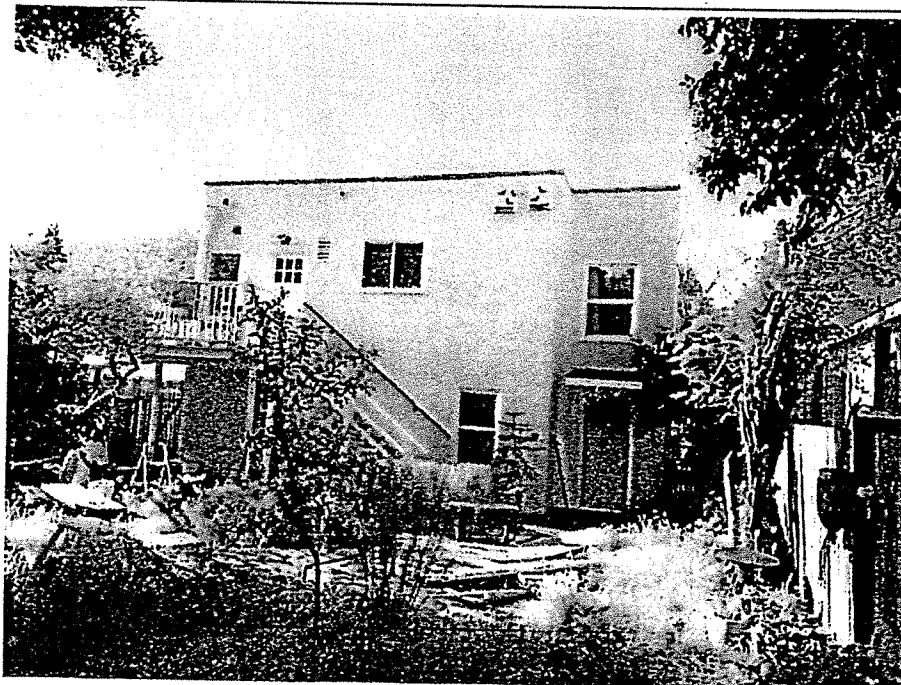


Photo Two

Photo Two Caption April 8, 2020 - Rear View

Clear Photo Two

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2022

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 8 Napa Ave			Policy Number:
City airfax	State California	ZIP Code 94930	Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on: Construction Drawings* Building Under Construction* Finished Construction
*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.
Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.
Benchmark Utilized: HT 1828 Vertical Datum: NAVD Elv=125.23'

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929 NAVD 1988 Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|---|--------------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | <u>105.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | <u>112.7</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | _____ | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | <u>104.6</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | <u>105.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | <u>104.7</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | <u>105.0</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | <u>104.8</u> | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? Yes No Check here if attachments.

Certifier's Name James Hallberg	License Number RCE 30465		
Title Principle Engineer			
Company Name JL Engineering			
Address 1539 4th Street			
City San Rafael	State California	ZIP Code 94901	
Signature <i>J.L. Hallberg</i>	Date <i>4.8.2022</i>	Telephone (415) 457-6647	Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)
The lowest machinery servicing the building was the furnace located on the ground of the lowest floor. The Hot Water heater was in the garage on a 16" stand.

Both the stairs and it's beam support in the back yard & the steps in the front were located at 104.8'

"NO-RISE" CERTIFICATION

18 Napa Avenue, Fairfax, CA

This is to certify that I am a duly qualified registered professional engineer licensed to practice in the State of California.

It is further to certify that the attached technical data supports the fact that proposed front yard and rear yard improvements that expand the building footprint at 18 Napa Avenue, Fairfax, CA consisting of stairway improvements in the front and rear and room expansion in the rear, will not impact the 100-year flood elevations, floodway elevations, or floodway widths on Fairfax Creek at published sections in the Flood Insurance Study and Flood Insurance Rate Map for Marin County (Fairfax, CA; Community Number 060175; Panel 0452E; Map Number 06041C0452E; effective March 17, 2014) and will not impact the 100-year flood elevations, floodway elevations, or floodway widths at unpublished cross-sections in the vicinity of the proposed development.

AUG 25 2020

Attached are the following documents that support my findings:

1. Site Plan, Residential Remodel; 18 Napa Avenue, Fairfax, CA; APN 002-122-10; for John Fitzpatrick; Sheet A1; Date: 06-26-20 (Rev. 07-03-20)

This plan provided by Owner shows the spatial extent of proposed front yard and rear yard improvements at 18 Napa.

2. Hydraulic Analysis at 18 Napa Avenue, Fairfax, CA

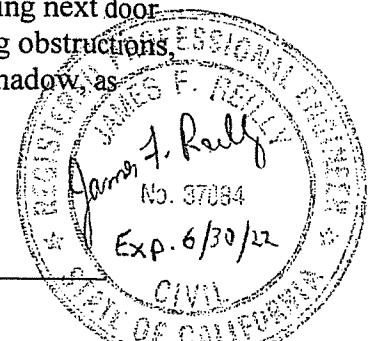
Sheet marked "18 Napa -- Hydraulic Shadow" shows location of the existing structure and proposed front and rear yard improvements that expand the building footprint at 18 Napa. This is overlain on the Regulatory Floodway and Base Flood Elevation (BFE) contour lines as shown in the published Flood Insurance Rate Map. The sheet also shows existing nearby structures, particularly the structures next door to west at 86 Mono Lane and 20 Napa including the front fenced enclosure area. The sheet also shows the direction of the flow of floodwater in the Regulatory Floodway. The flow direction line shown was delineated by drawing a line perpendicular to the 106 feet BFE contour line.

The existing structures next door at 20 Napa and 86 Mono Lane are situated upstream of 18 Napa. These structures act as existing obstructions to the flow of floodwater and cast a conveyance shadow onto 18 Napa. The conveyance shadow shown extends downstream of the existing structures at 86 Mono and 20 Napa including the front fenced enclosure area and onto 18 Napa. The conveyance shadow was delineated by drawing a line starting at the corners of these existing obstructions and extending downstream at a 4:1 ratio deviation from the flow direction line.

The proposed front yard and rear yard improvements and resulting expanded footprint at 18 Napa are contained inside of the conveyance shadow cast by the existing next door upstream structures. Flood water is already flowing around these existing obstructions, so the addition of above grade improvements inside of this conveyance shadow, as proposed, **will not change existing flood flows.**

James F. Reilly, PE

Date: 8/25/2020



INDEX OF DRAWINGS

- A1.0 PROJECT DATA, SITE PLAN
- A2.0 AS-BUILT / DEMO PLANS
- A2.1 PROPOSED FLOOR PLANS
- A3.0 AS BUILT ELEVATIONS
- A3.1 PROPOSED ELEVATIONS
- A4.0 AS-BUILT FRAMING PLAN / BLDG. SECTION

GENERAL NOTES

1. ALL NEW CONSTRUCTION SHALL COMPLY WITH:
 - 2019 EDITION OF THE CALIFORNIA RESIDENTIAL CODE.
 - 2019 EDITION OF THE CALIFORNIA BUILDING CODE.
 - 2019 EDITION OF THE CALIFORNIA ELECTRICAL CODE.
 - 2019 EDITION OF THE CALIFORNIA MECHANICAL CODE.
 - 2019 EDITION OF THE CALIFORNIA PLUMBING CODE.
 - 2019 EDITION OF THE CALIFORNIA FIRE CODE.
 - 2019 EDITION OF THE CALIFORNIA ENERGY CODE.
 - 2019 EDITION OF THE CALIFORNIA TITLE 24 ENERGY EFFICIENCY STANDARDS.
 - 2019 EDITION OF THE CALIFORNIA GREEN BUILDING STANDARDS.
 - ALL OTHER LOCAL CODES AND ORDINANCES ADOPTED BY TOWN OF FAIRFAX.
2. A COMPLETE PROJECT IS INTENDED, THE BUILDING IS TO BE READY FOR OCCUPANCY WHEN COMPLETED.
3. THE GENERAL CONDITIONS OF CONTRACT FOR CONSTRUCTION (A.I.A. LATEST EDITION) ARE PART OF THESE CONTRACT DOCUMENTS. A COPY IS ON FILE IN THE ARCHITECT'S OFFICE.
4. VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD. DO NOT SCALE THESE DRAWINGS; DIMENSIONS TAKE PRECEDENCE. THESE CONSTRUCTION DOCUMENTS AND THE CONDITIONS ON THE SITE SHALL BE THOROUGHLY REVIEWED BY THE CONTRACTOR AND ANY DISCREPANCIES IN THESE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO ANY WORK.

PROJECT DATA

ASSESSOR'S PARCEL NUMBER	002-122-10			
ZONING	RD - 5.5-7 : RESIDENTIAL			
FLOOD ZONE	AE			
LOT AREA	3,750 SF (PER ASSESSOR'S PARCEL MAP)			
AVERAGE SLOPE	0.00 %			
BUILDING AREA	EXISTING	REMODELED	NEW	PROPOSED
UPPER FLOOR	1,233 SF	0 SF	0 SF	1,233 SF
LOWER FLOOR	771 SF	754 SF	18 SF	882 SF
LIVING AREA TOTAL	2,004 SF	754 SF	18 SF	2,115 SF
MECHANICAL	122 SF	118 SF	0 SF	60 SF
GARAGE	376 SF	69 SF	0 SF	302 SF
LOWER FLOOR TOTAL	1,269 SF	187 SF		1,244 SF

FLOOR AREA EXISTING	FLOOR AREA ALLOWED
2,004 SF = 0.53	3,750 SF x .40 = 1,500 SF
3,750 SF	FLOOR AREA PROPOSED
	2,115 SF = 0.56
	3,750 SF

LOT COVERAGE	EXISTING	REMOVED	NEW	PROPOSED
STRUCTURE	1,233 SF	0 SF	18 SF	1,244 SF
PORCH	37 SF	0 SF	0 SF	37 SF
STAIRWAY	45 SF	(45 SF)	0 SF	0 SF
WALKWAYS	461 SF	(80 SF)	76 SF	457 SF
TOTAL	1,734 SF	(139 SF)	96 SF	1,738 SF

LOT COVERAGE ALLOWED	LOT COVERAGE EXISTING
3,750 SF x .35 = 1,312.50 SF	1,734 SF

FRONT DECKS / STAIRS	74 SF	LOT COVERAGE PROPOSED
REAR DECKS / STAIRS	130 SF	1,738 SF / 3,750 SF = .46
	204 SF	

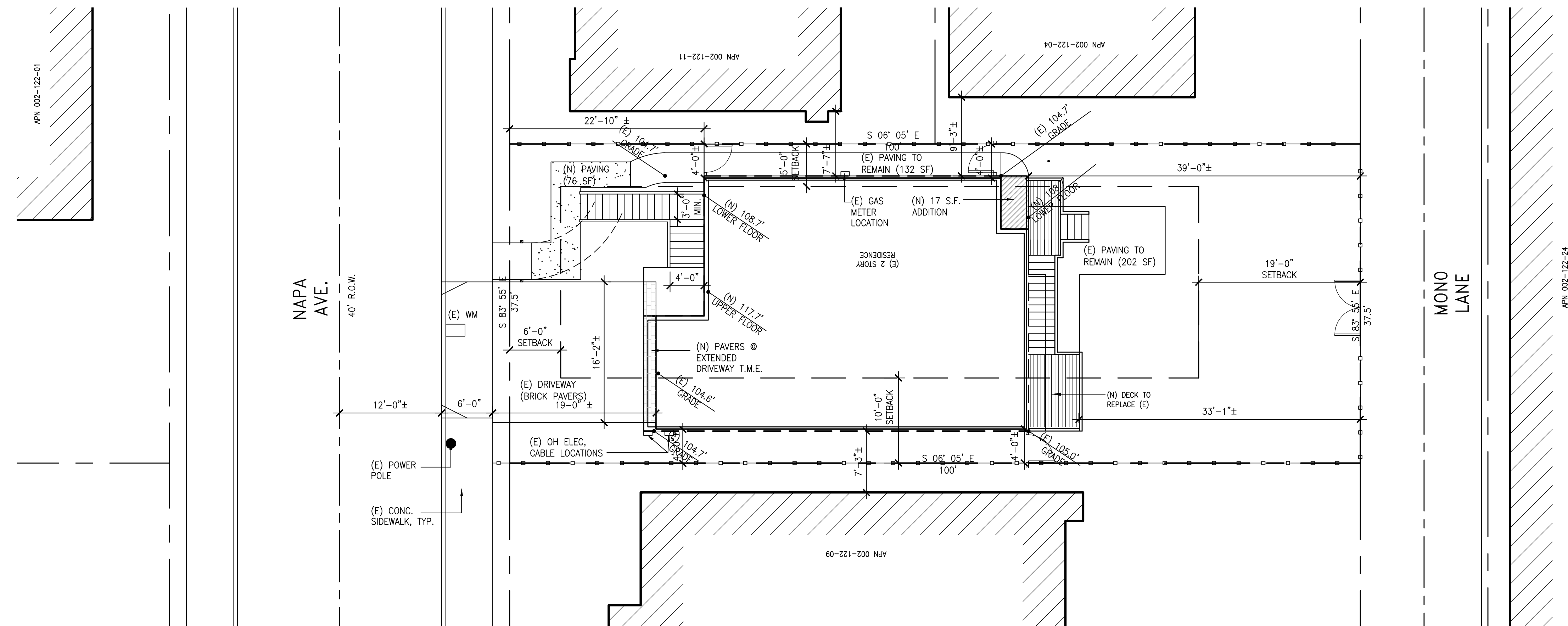
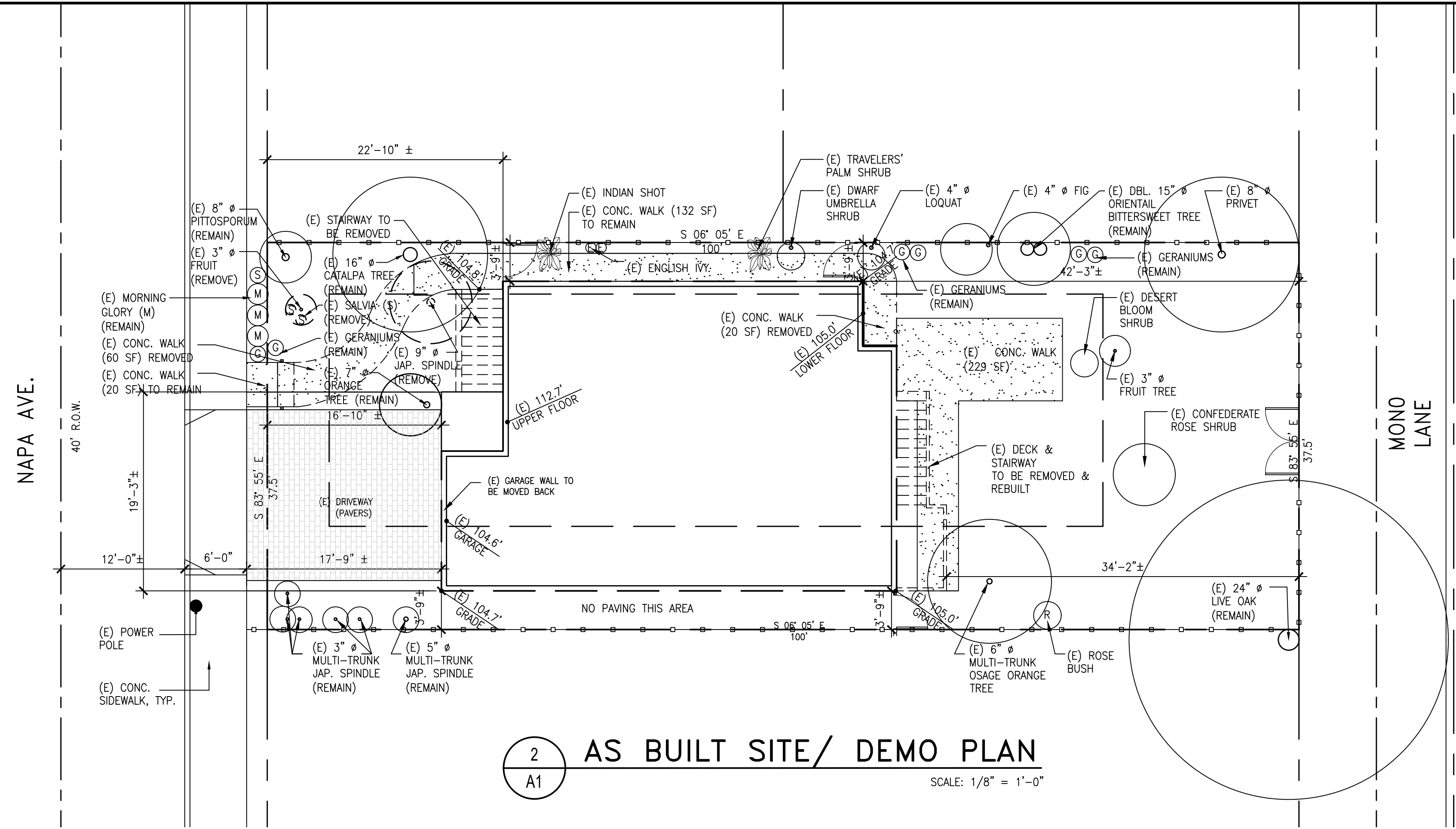
EXISTING TO BE REMOVED (72) SF



2 A1 VICINITY MAP SCALE: N.T.S.

SCOPE OF WORK

- RAISE BUILDING 5'-0" FOR EXISTING LOWER FLOOR TO BE ABOVE FLOOD LEVEL AND TO PROVIDE 8'-0" CEILING.
- REMODEL LOWER LEVEL INCLUDING KITCHEN, TWO BATHROOMS AND TWO BEDROOMS.
- INFILL BACK WALL OF LOWER FLOOR FOR ADDITIONAL 17 SF.
- NEW MECHANICAL ROOM.
- MOVE EXISTING GARAGE WALL TO PROVIDE 19'-0" DEEP PARKING SPACE IN DRIVEWAY.
- MODIFY FRONT STAIRWAY DUE TO INCREASE IN HEIGHT.
- REPLACE EXISTING REAR DECK AND STAIRWAY DUE TO INCREASE IN HEIGHT.



1 A1 PROPOSED SITE PLAN SCALE: 1/8" = 1'-0"

BASED ON ASSESSOR'S PARCEL MAP AND FIELD MEASUREMENTS.

ARCHITECTS
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA 94901
 Phone: (415) 457 - 0220 Fax: (415) 454 - 9581

RESIDENTIAL REMODEL
 18 NAPA STREET
 FAIRFAX, CA
 APN: 002-122-10
 FOR: JOHN FITZPATRICK

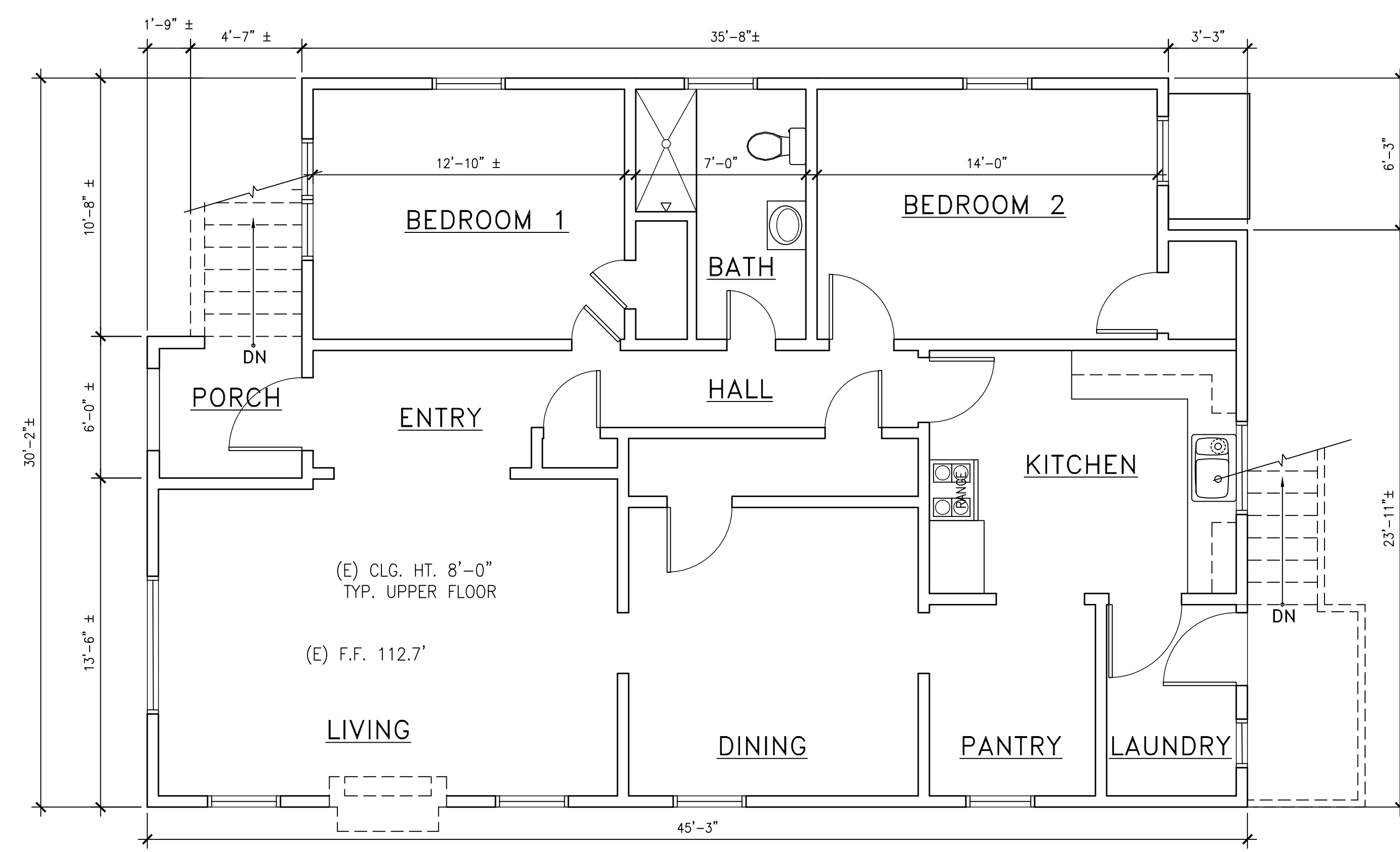
PROPOSED SITE PLAN
 SITE DEMOLITION PLAN

Revisions	07-03-20	PROGRESS SET
	08-04-20	SUBMITTAL SET
	10-05-20	PLANNING APPLICATION
	11-23-20	PLANNING COMMENTS
Date:	08-04-20	
Scale:	As Noted	
Drawn:	LSK / MNP	
Job #	20010	
Prototype	DIVINE	

A1

Revisions	Date
PROGRESS SET	07-03-20
SUBMITTAL SET	08-04-20
PLANNING APPLICATION	10-05-20
PLANNING COMMENTS	11-23-20

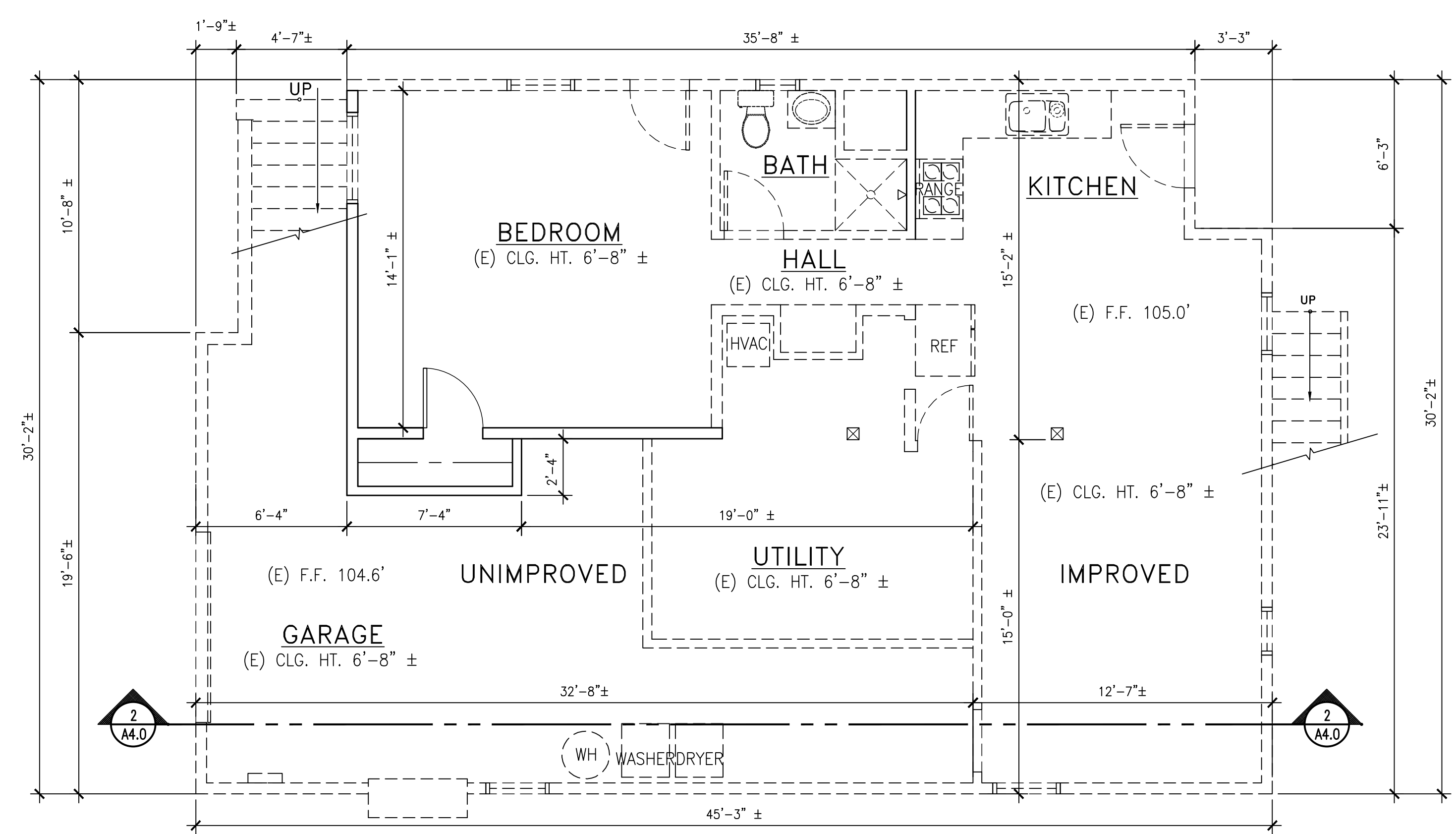
Date: 08-04-20
 Scale: As Noted
 Drawn: LSK/ MNP
 Job #: 20010
 Prototype: DIVINE



(E) UPPER FLOOR 1,233 SF **2** UPPER LEVEL AS BUILT PLAN / DEMOLITION PLAN **A2.0** NORTH
 NOTE: NO INTERIOR WORK PROPOSED ON THIS LEVEL SCALE: 1/4" = 1'-0"

WALL LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS - 2x6'S @ 16"o.c. U.N.O.
	EXISTING WALLS TO BE REMOVED
	NEW LOW WALLS - HEIGHT AS NOTED ON PLAN - 2x4'S @ 16" o.c. U.N.O.



(E) IMPROVED 771 SF
 (E) UTILITY 122 SF
 (E) GARAGE 376 SF **1** LOWER LEVEL AS BUILT / DEMOLITION PLAN **A2.0** NORTH
 SCALE: 1/4" = 1'-0"

D:\Fitzpatrick John 18 Napa FAX\CAD\A2.0 AS BILT PLANS.dwg, 11/23/2020 2:29:51 PM

Revisions	07-03-20
PROGRESS SET	08-04-20
SUBMITTAL SET	10-05-20
PLANNING APPLICATION	11-23-20
PLANNING COMMENTS	

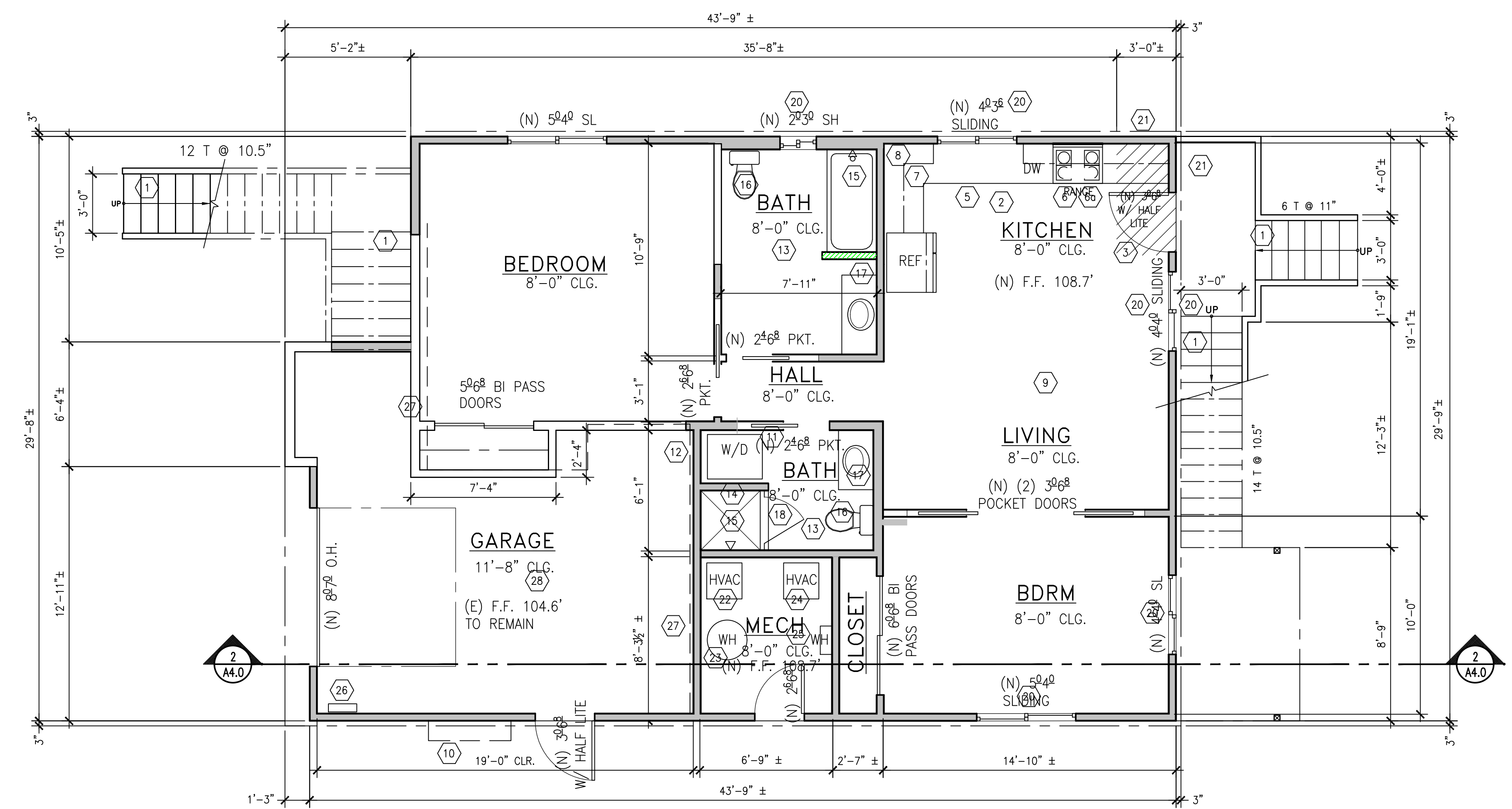
Date: 08-04-20
 Scale: As Noted
 Drawn: LSK/ MNP
 Job #: 20010
 Prototype: DIVINE

FLOOR PLAN KEY NOTES

- | | | | |
|--|--|--|---|
| <p>1 (N) EXTERIOR STAIR PER 2/A4.0 & STRUCTURAL DRAWINGS.</p> <p>2 (N) KITCHEN APPLIANCES TO BE SELECTED BY OWNER, INCLUDING REFRIGERATOR, DISHWASHER, GARBAGE DISPOSAL, RANGE AND HOOD.</p> <p>3 (N) FLOOR FRAMING AREA WHERE SHOWN HATCHED, SEE STRUCTURAL DRAWINGS.</p> <p>4 (N) HOSE BIB @ +18" ABOVE GRADE MINIMUM. LOCATION TO BE VERIFIED.</p> <p>5 (N) KITCHEN SINK AND FAUCET TO BE SELECTED BY OWNER. KITCHEN SINK FAUCETS SHALL HAVE A MAX FLOW RATE OF 1.8 GPM @ 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW, BUT NOT EXCEEDING 2.2 GPM @ 60 PSI, AND MUST DEFAULT TO MAX FLOW RATE OF 1.8 GPM</p> <p>6 (N) RANGE HOOD EXHAUST DUCT THROUGH ROOF PER MANUFACTURER'S SPECIFICATIONS, CFM TO MEET OR EXCEED RANGE BTU OUTPUT.</p> <p>6a ELECTRIC RANGE AS SELECTED BY OWNER</p> <p>7 (N) KITCHEN COUNTERTOP AT +36" A.F.F. U.O.N., TO BE SELECTED BY OWNER, TYP.</p> <p>8 (N) KITCHEN CABINETS TO BE SELECTED BY OWNER. UPPER CABINETS SHOWN DASHED.</p> | <p>9 (N) FINISH FLOOR TO BE SELECTED BY OWNER, TYP.</p> <p>10 REMOVE (E) BRICK FIREPLACE. PROVIDE (N) GAS FIREPLACE AND SURROUND AS SELECTED BY OWNER. INSTALL PER MANUFACTURER'S RECOMMENDATION. PATCH WALL TO MATCH ADJACENT SURFACE.</p> <p>11 (N) WASHER AND DRYER TO BE SELECTED BY OWNER.</p> <p>12 (N) 4" DRYER DUCT BELOW W/ 2"x6" TRANSITION FROM LAUNDRY ROOM DOWN TO CRAWLSPACE. VENT CAP 12" MIN. HEIGHT ABOVE GRADE AT EXTERIOR.</p> <p>13 BATHROOM EXHAUST FANS WITH MIN. 50 CFM ARE REQUIRED IN EACH BATHROOM THAT CONTAINS A TUB OR SHOWER, AND MUST BE HUMIDITY CONTROLLED.</p> <p>14 (N) SHOWER SURROUND OVER WATER-RESISTANT GYP. BD OR APPROVED BACKER BOARD TO A HEIGHT OF 72" MIN. OVER DRAIN INLET.</p> | <p>15 (N) SHOWER HEAD AND FAUCET CONTROLS. NEW SHOWER HEADS SHALL HAVE A MAX. FLOW RATE OF 2.0 gpm @ 80 psi. CONTROLS SHALL BE THERMOSTATIC MIXING VALVE TYPE. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER WHERE OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 gpm, OR SHOWER SHALL BE DESIGNED TO ALLOW ONLY 1 SHOWER OUTLET TO BE IN OPERATION AT A TIME.</p> <p>16 (N) TOILET: 1.28 MAX GPF. PROVIDE 24" MIN. CLEAR AT FRONT OF TOILET, AND 30" MIN. CLEAR WIDTH AT TOILET AND CLEAR AREA.</p> <p>17 (N) VANITY CASEWORK WITH SINK, FAUCET, AND MIRROR TO BE SELECTED BY OWNER. FAUCET SHALL HAVE A MAX FLOW RATE OF 1.5 GPM @ 60 PSI.</p> <p>18 (N) TEMPERED GLASS SHOWER ENCLOSURE.</p> <p>19 (N) DECK SURFACE SELECTED BY OWNER.</p> <p>20 (N) WINDOWS. SEE EXTERIOR ELEVATIONS SHEET A3 FOR ENERGY EFFICIENCY REQUIREMENTS.</p> <p>21 INFILL WALL TO MATCH ADJACENT SURFACES.</p> | <p>22 (E) GAS FURNACE FOR UPSTAIRS UNIT TO BE RELOCATED. ADJUST DUCTWORK AS NEEDED.</p> <p>23 (E) GAS WATER HEATER FOR UPSTAIRS UNIT TO BE RELOCATED.</p> <p>24 (N) ELECTRIC HEAT PUMP FOR DOWNSTAIRS UNIT.</p> <p>25 (N) TANKLESS GAS WATER HEATER FOR DOWNSTAIRS UNIT.</p> <p>26 (N) ELECTRICAL SUB PANEL.</p> <p>27 APPLY NOT LESS THAN 1/2" GYP. BD. @ GARAGE WALLS ADJACENT TO DWELLING UNIT.</p> <p>28 APPLY NOT LESS THAN 5/8" TYPE X GYP. BD. @ HABITABLE ROOMS ABOVE GARAGE.</p> |
|--|--|--|---|

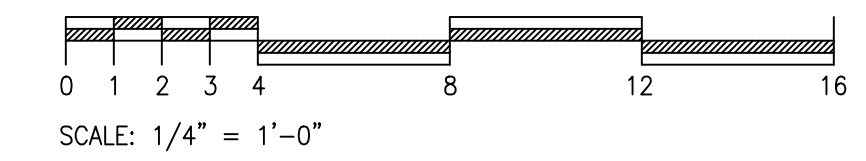
WALL LEGEND

	EXISTING WALLS TO REMAIN
	NEW WALLS - 2x6'S @ 16" o.c. U.N.O.
	EXISTING WALLS TO BE REMOVED
	NEW LOW WALLS - HEIGHT AS NOTED ON PLAN - 2x4'S @ 16" o.c. U.N.O.



(N) LOWER FLOOR 882 SF
 (N) GARAGE 302 SF
 (N) MECH. ROOM 60 SF

1 LOWER LEVEL FLOOR PLAN
 A2.1
 SCALE: 1/4" = 1'-0"



PROPOSED EXTERIOR FINISH COLORS

(E) FLAT ROOF:
(E) TO REMAIN

STUCCO:
(N) TO MATCH EXISTING

WINDOWS:
MILGARD VINYL "WHITE"

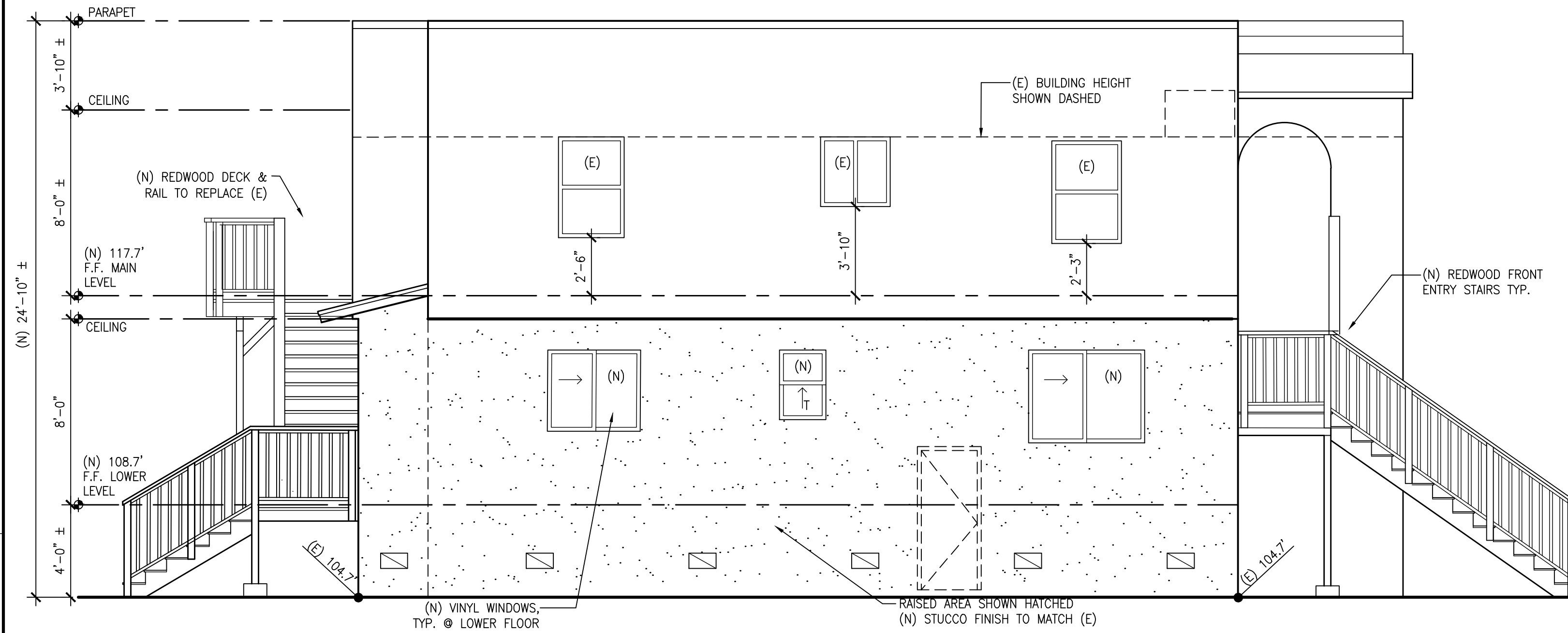
WINDOW TRIM:
KELLY MOORE "SWISS COFFEE"

ENERGY EFFICIENCY REQUIREMENTS

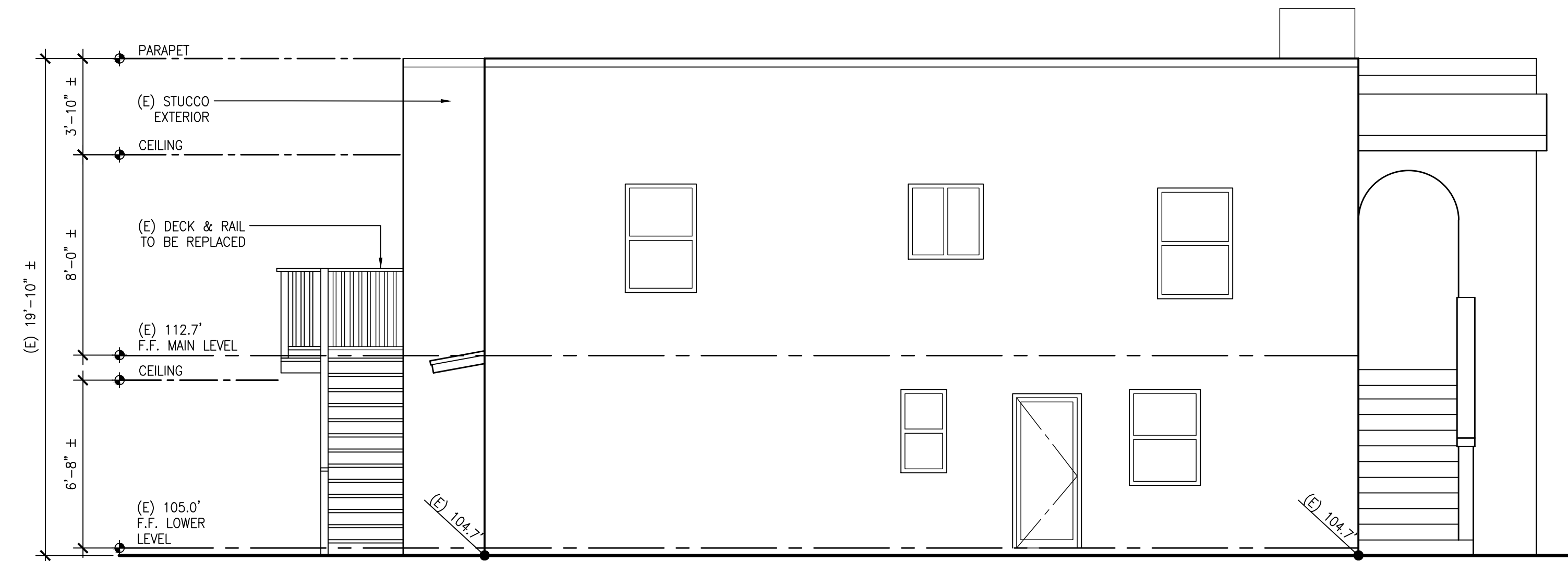
1. VERTICAL GLAZING SHALL HAVE A U-FACTOR OF 0.32 OR LESS, AND SHGC OF 0.45 OR LESS.
2. HORIZONTAL GLAZING (SKYLIGHTS) SHALL HAVE A U-FACTOR OF 0.45 OR LESS, AND SHGC OF 0.27 OR LESS.

GENERAL TEMPERED GLAZING REQUIREMENTS CRC §R308 AND CBC §2406.

1. IN THE SAME PLANE OF A DOOR IN THE CLOSED POSITION AND WITHIN TWO FEET OF EITHER SIDE OF THE DOOR.
2. GLAZING IN FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS.
3. ON A WALL PERPENDICULAR TO THE PLANE OF A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE HINGE SIDE OF IN-SWINGING DOOR.
4. ADJACENT TO A BOTTOM STAIR LANDING WHERE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE LANDING.
5. ADJACENT TO STAIRS OR RAMP WHERE GLAZING IS LOCATED LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
6. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.
7. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
8. ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:
EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET
EXPOSED BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR
EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR
WHERE A WALKING SURFACE IS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING



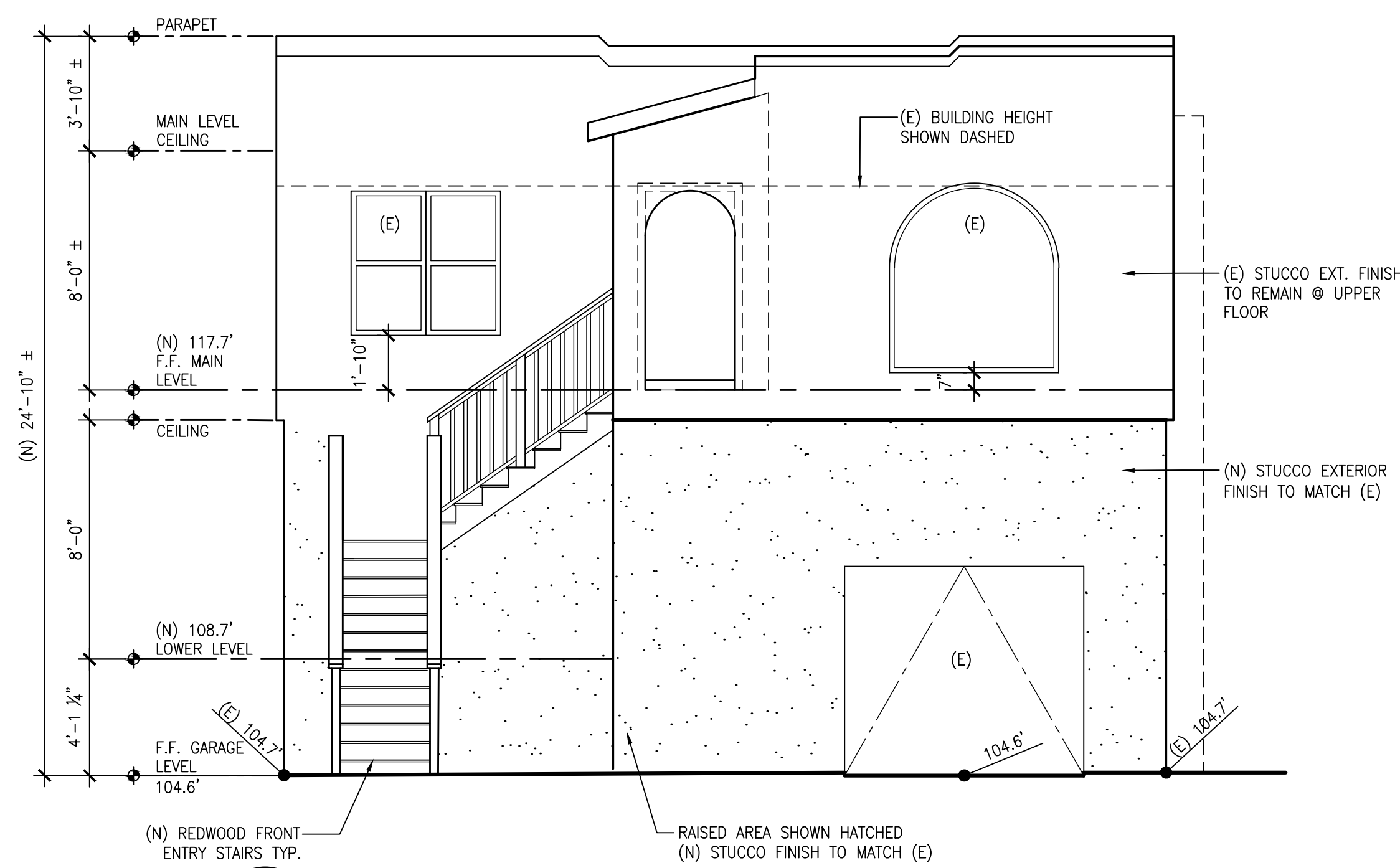
4 PROPOSED WEST ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



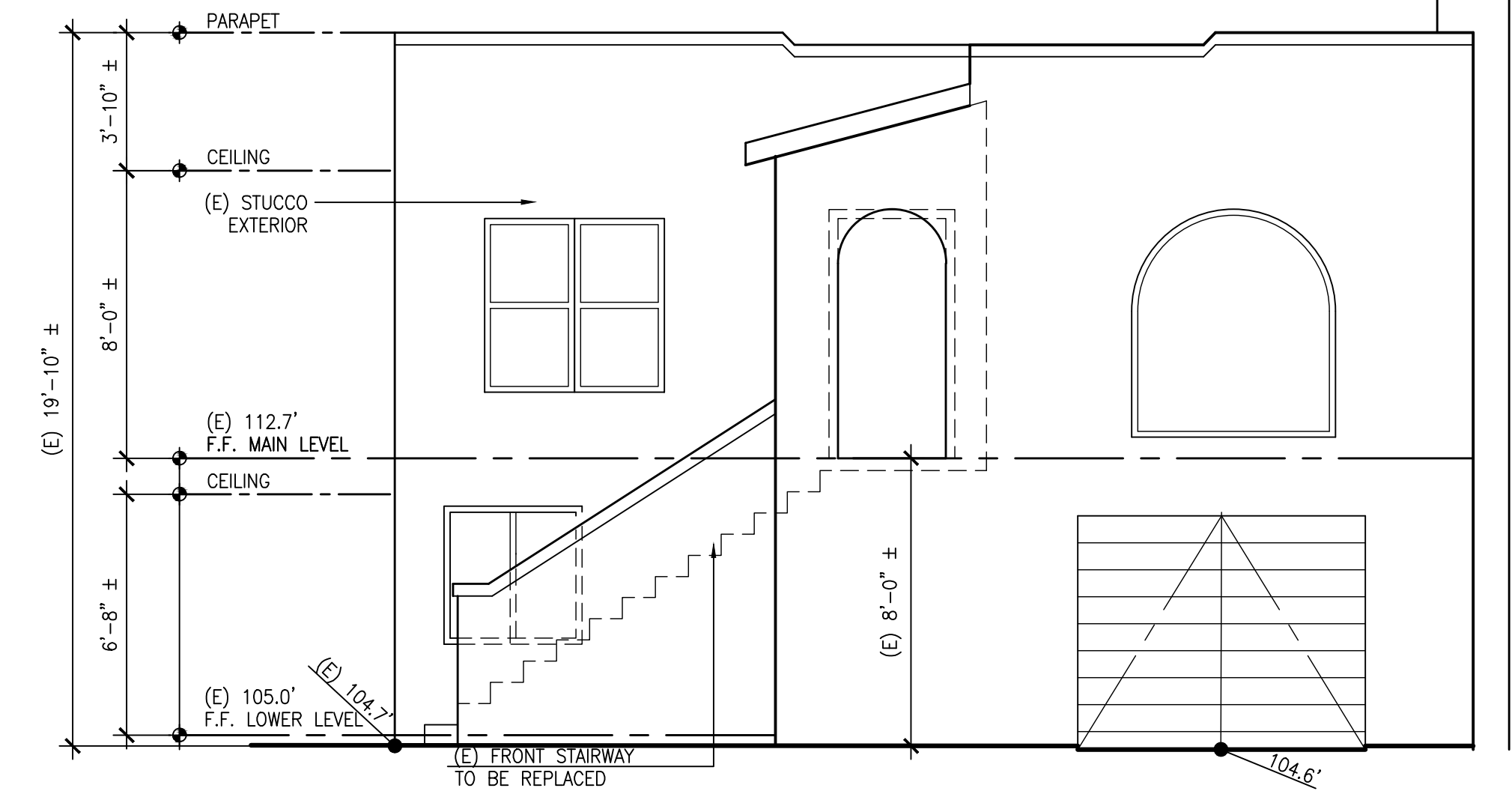
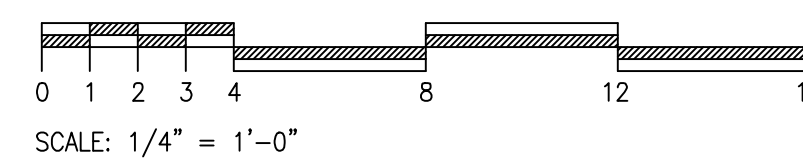
3 AS BUILT WEST ELEVATION
A3.0 SCALE: 1/4" = 1'-0"

CRAWL SPACE VENTING

928 SF = 6.19 SF (891 SQ. IN.)
150
USE (13) 14"x8" MESH SCREEN FDN. VENTS (NON-WUI) @ 71 SI NVA
OR (13) 14"x6" MESH SCREEN FDN. VENTS (NON-WUI) @ 52 SI NVA



2 PROPOSED SOUTH ELEVATION
A3.0 SCALE: 1/4" = 1'-0"



1 AS BUILT SOUTH ELEVATION
A3.0 SCALE: 1/4" = 1'-0"

Revisions	DATE	DESCRIPTION
PROGRESS SET	07-03-20	
SUBMITTAL SET	08-04-20	
PLANNING APPLICATION	10-05-20	
PLANNING COMMENTS	11-23-20	

Date: 08-04-20
Scale: As Noted
Drawn: LSK/ MNP
Job #: 20010
Prototype: DIVINE

PROPOSED EXTERIOR FINISH COLORS

(E) FLAT ROOF:
(E) TO REMAIN

STUCCO:
(N) TO MATCH EXISTING

WINDOWS:
MILGARD VINYL "WHITE"

WINDOW TRIM:
KELLY MOORE "SWISS COFFEE"

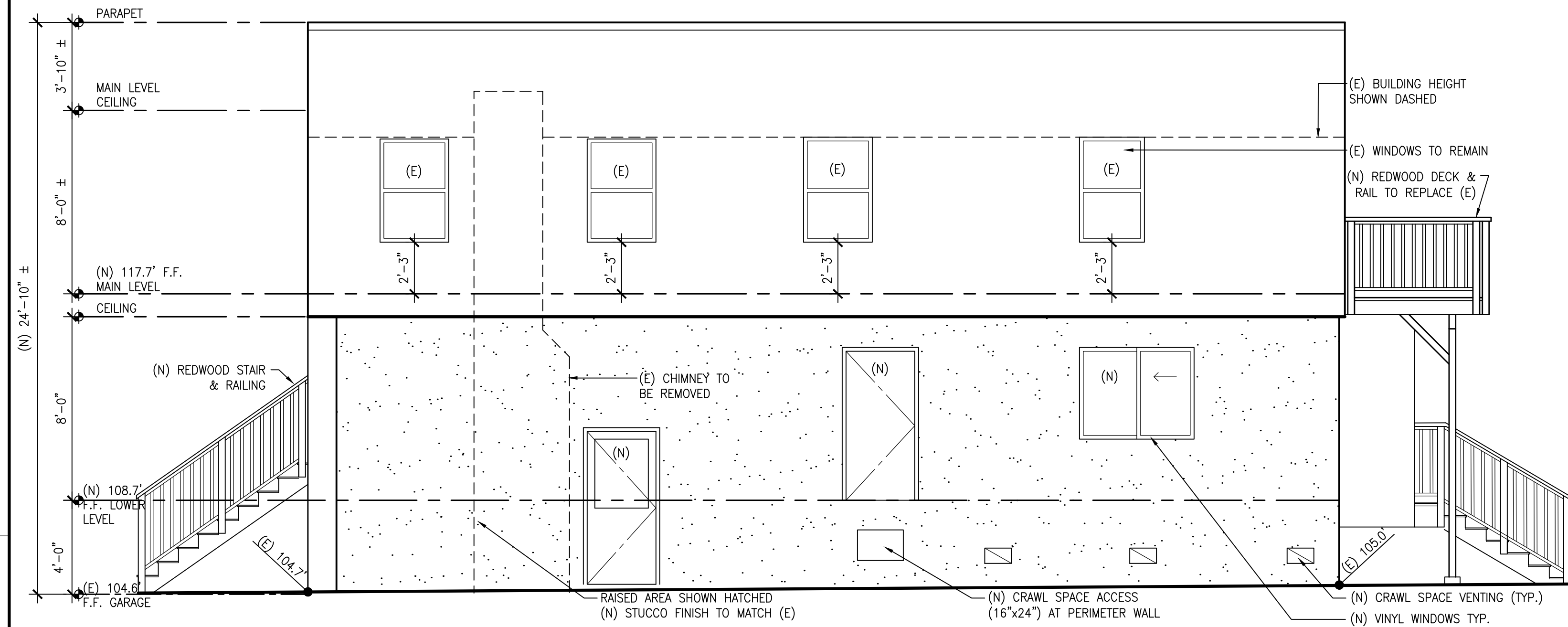
WOOD DECK & RAILINGS:
REDWOOD

ENERGY EFFICIENCY REQUIREMENTS

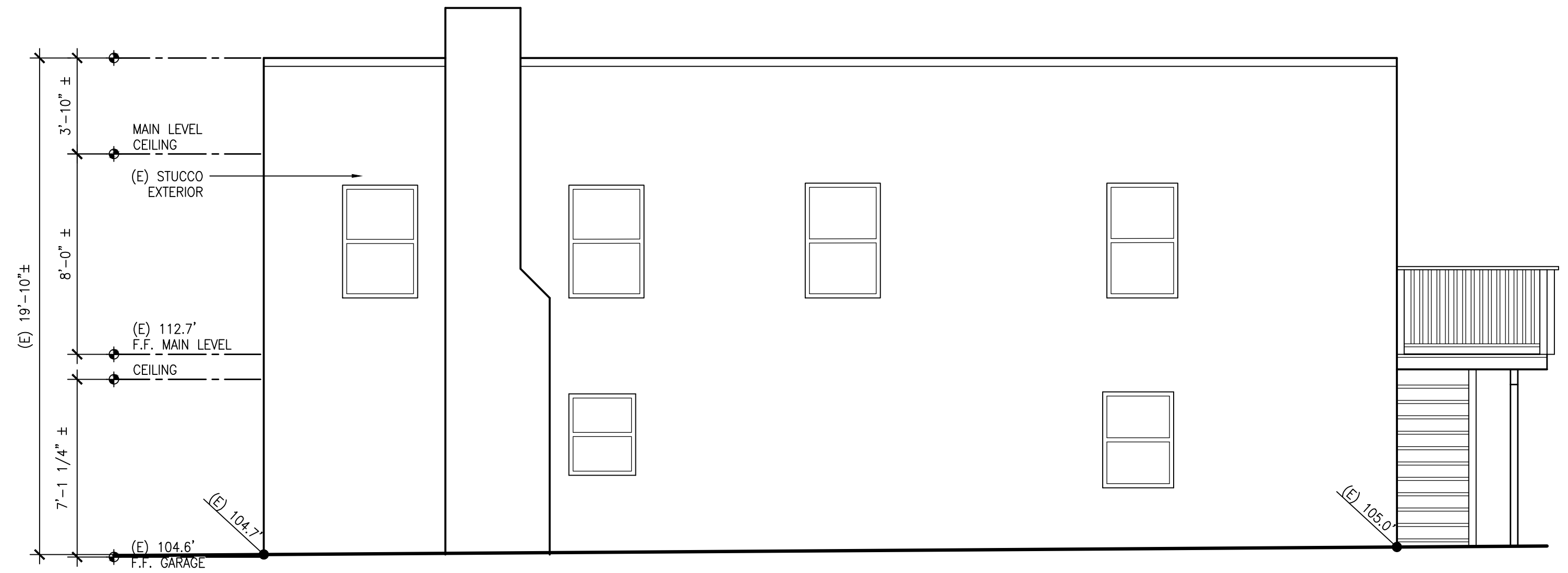
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4. ADJACENT TO A BOTTOM STAIR LANDING WHERE GLAZING IS LESS THAN 36 INCHES ABOVE THE LANDING AND WITHIN 60 INCHES HORIZONTALLY OF THE LANDING.
5. ADJACENT TO STAIRS OR RAMP WHERE GLAZING IS LOCATED LESS THAN 36 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
6. WITHIN A PORTION OF WALL ENCLOSING A TUB/SHOWER WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE AND DRAIN INLET.
7. WITHIN 60 INCHES OF A TUB/SHOWER WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
8. ANY GLAZING MEETING ALL THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET
 - EXPOSED BOTTOM EDGE IS LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR
 - EXPOSED TOP EDGE IS GREATER THAN 36 INCHES ABOVE THE FINISHED FLOOR
 - WHERE A WALKING SURFACE IS WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING



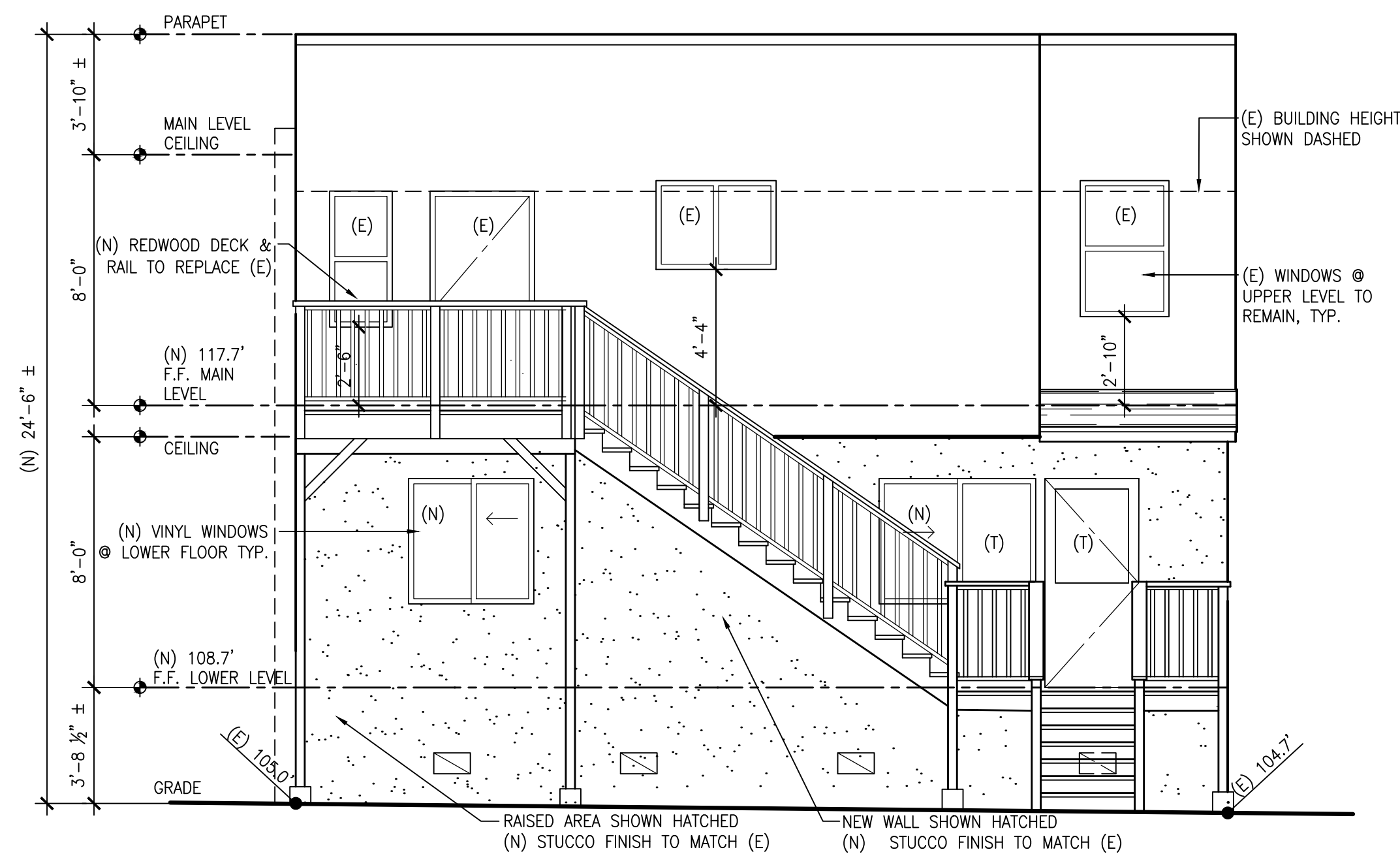
2 PROPOSED EAST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



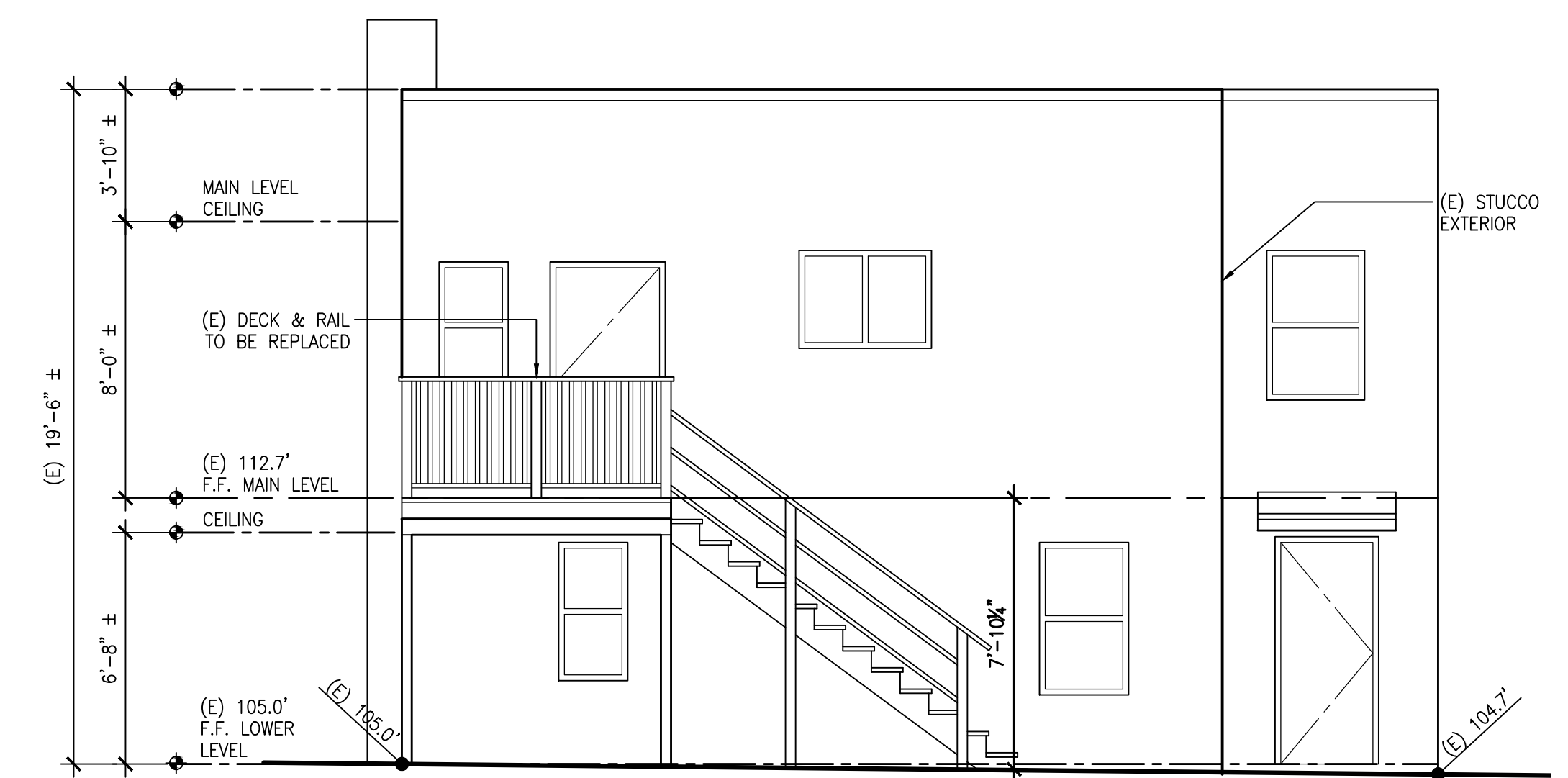
1 AS BUILT EAST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

CRAWL SPACE VENTING

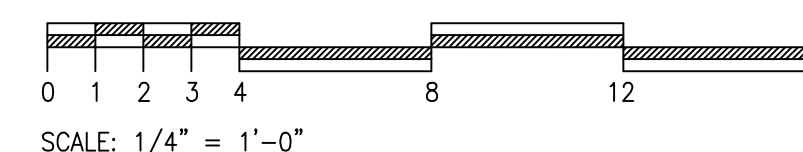
928 SF = 6.19 SF (891 SQ. IN.)
150
USE (13) 14"x8" MESH SCREEN FDN. VENTS
(NON-WUI) @ 71 SI NVA
OR (13) 14"x6" MESH SCREEN FDN. VENTS
(NON-WUI) @ 52 SI NVA



4 PROPOSED NORTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



3 AS BUILT NORTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

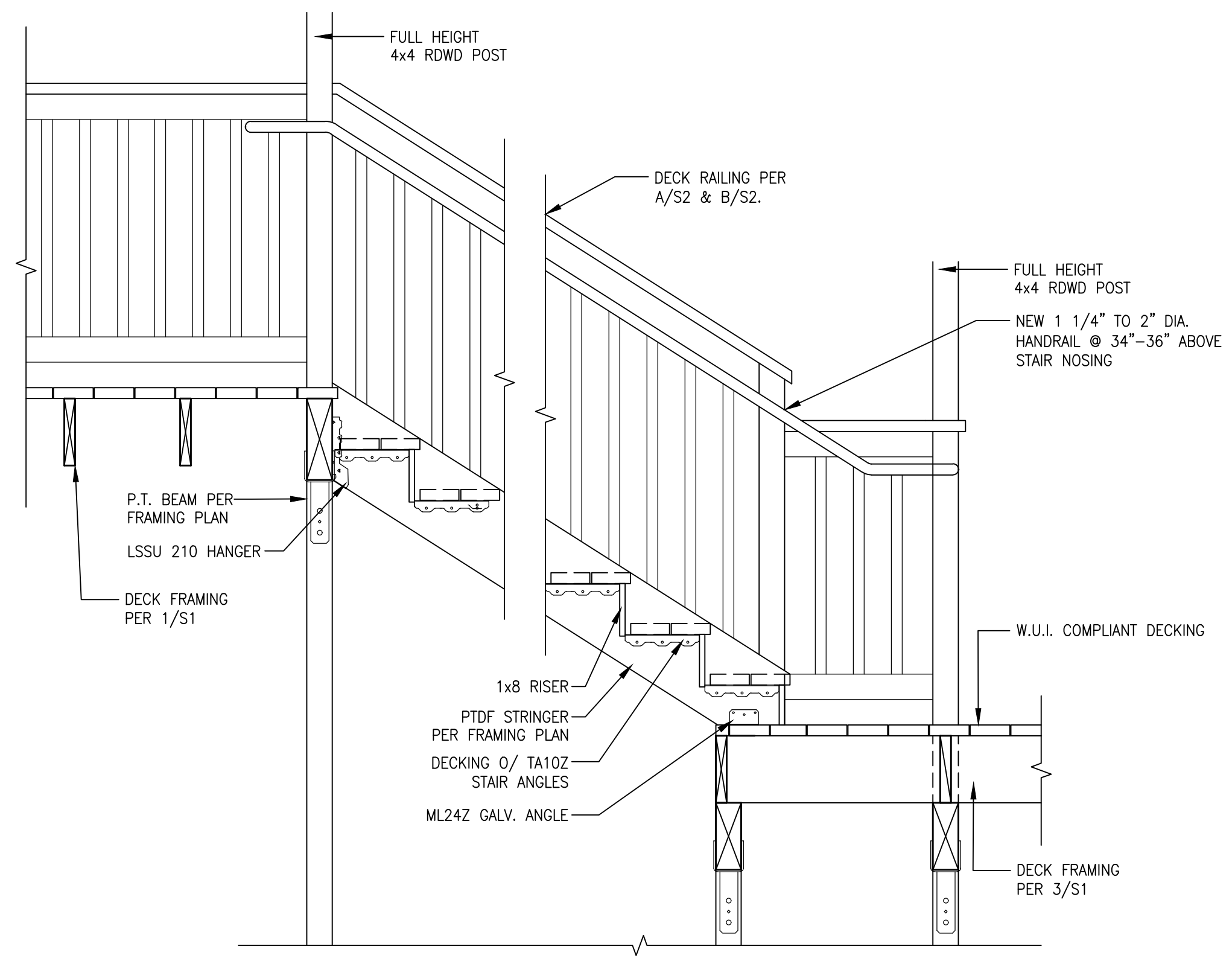


Revisions	Date
PROGRESS SET	07-03-20
SUBMITTAL SET	08-04-20
PLANNING APPLICATION	10-05-20
PLANNING COMMENTS	11-23-20

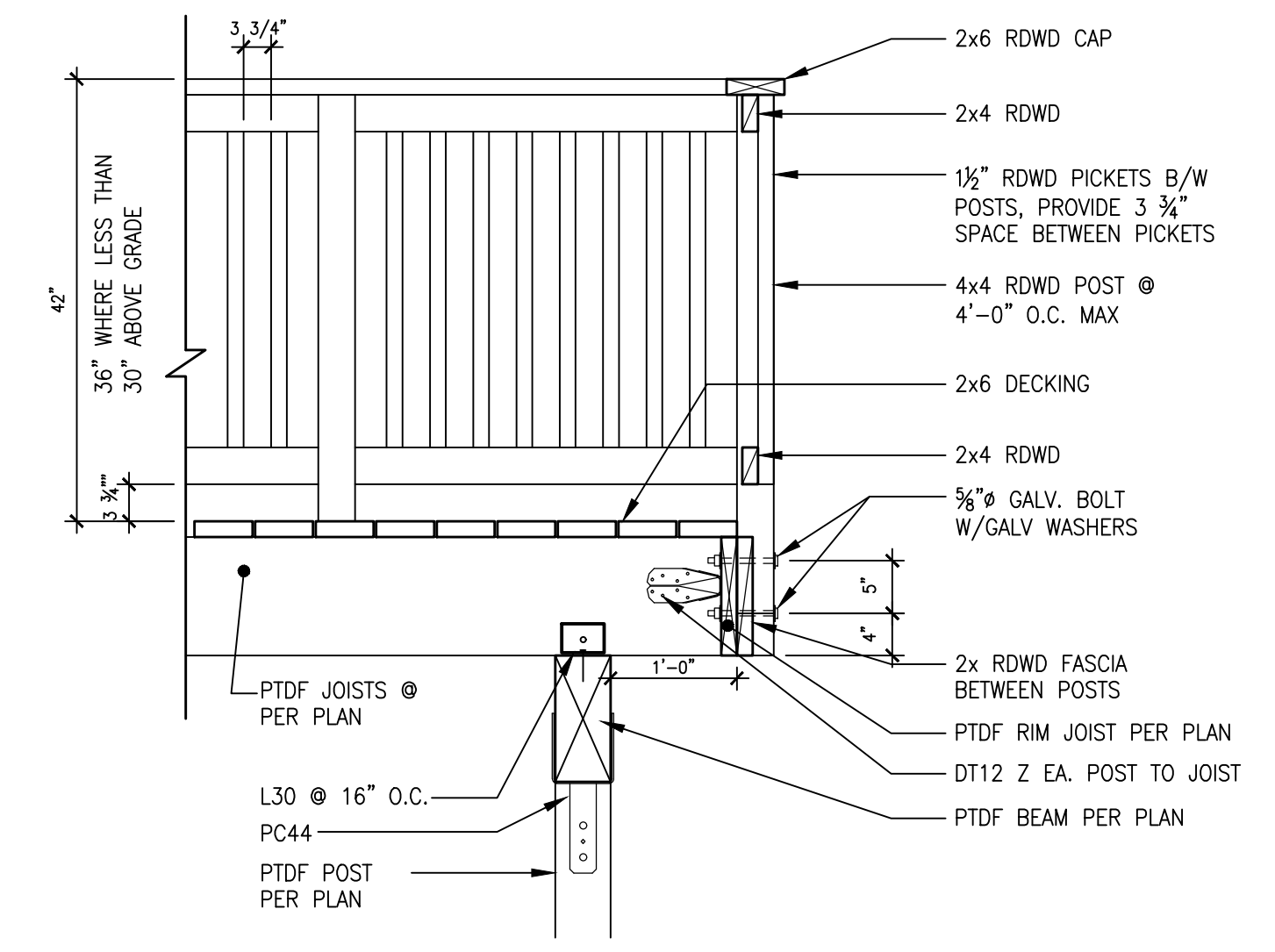
Date: 08-04-20
Scale: As Noted
Drawn: LSK/ MNP
Job #: 20010
Prototype: DIVINE

Revisions	DATE	DESCRIPTION
07-03-20		PROGRESS SET
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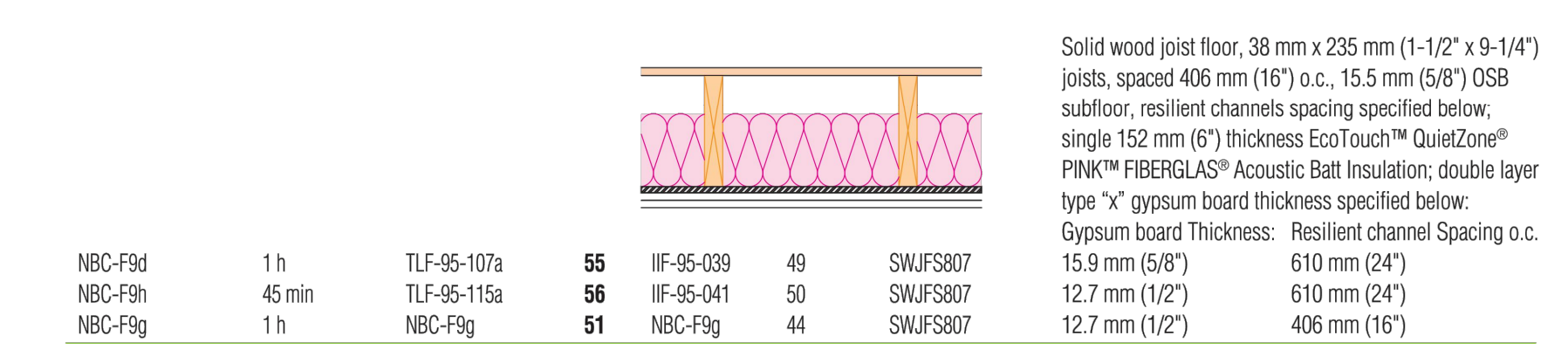
Date: 08-04-20
 Scale: As Noted
 Drawn: LSK/ MNP
 Job #: 20010
 Prototype: DIVINE



5 STAIR DETAIL
 SCALE: 1/2" = 1'-0"

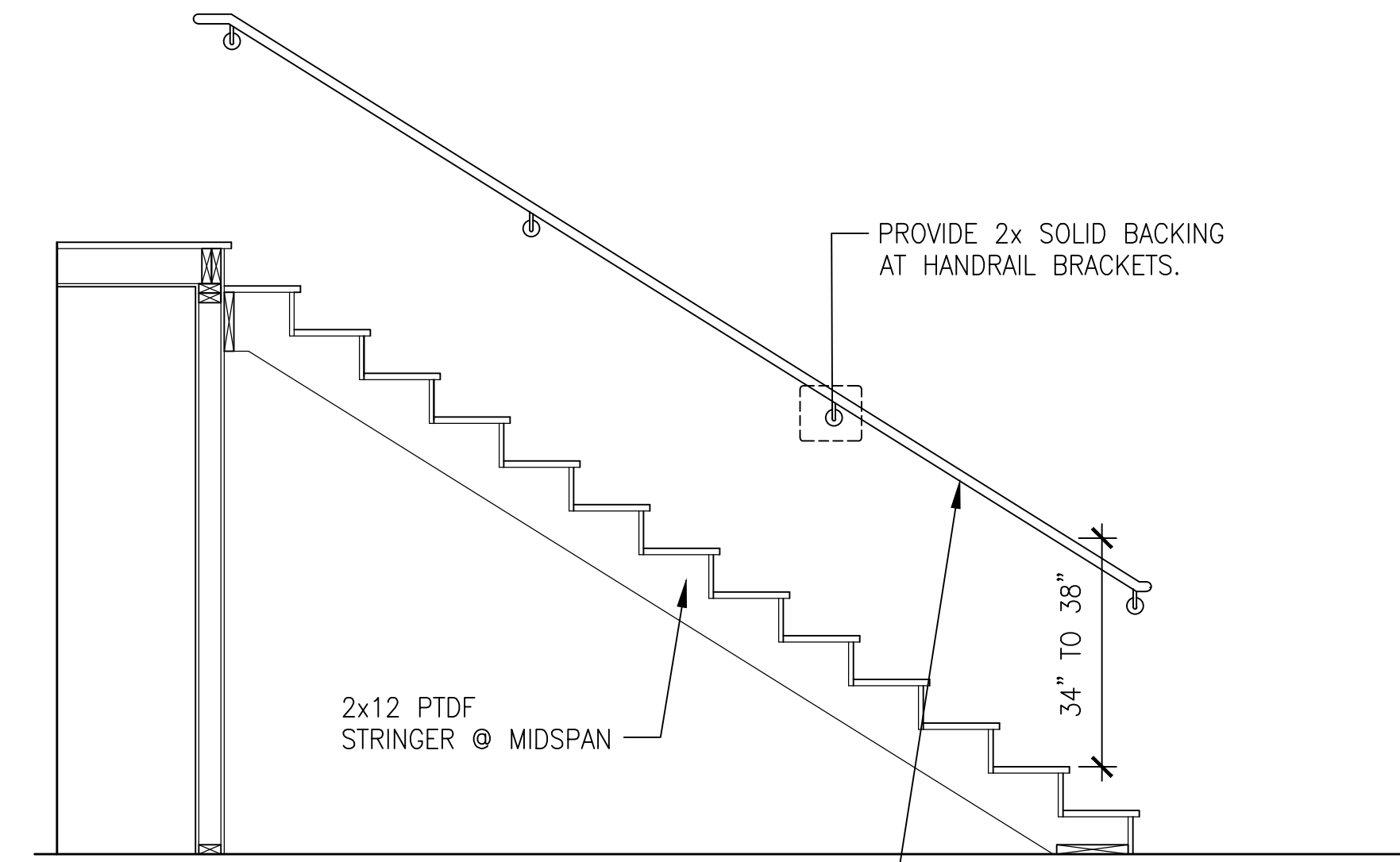


4 DECK RAILING
 SCALE: 3/4" = 1'-0"



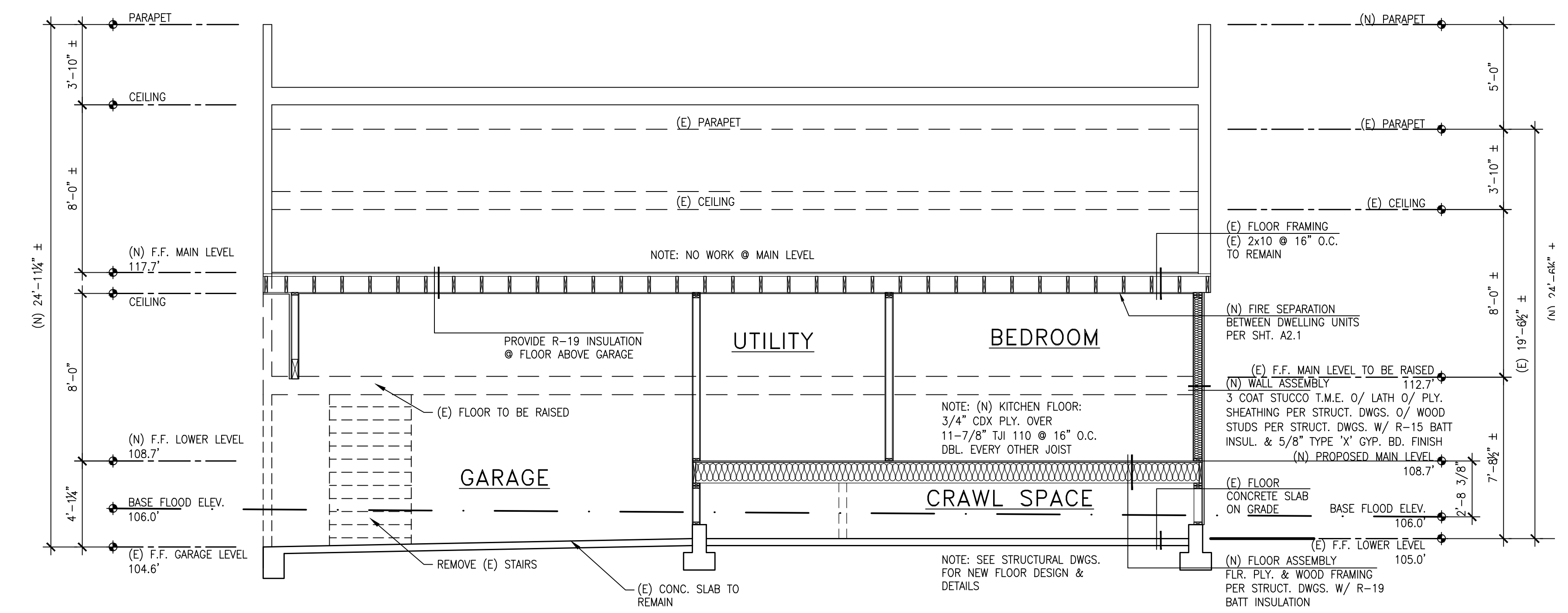
NBC-F9d	1 h	TLF-95-107a	55	IF-95-039	49	SWJFS807	
NBC-F9h	45 min	TLF-95-115a	56	IF-95-041	50	SWJFS807	
NBC-F9g	1 h	NBC-F9g	51	NBC-F9g	44	SWJFS807	

3 FIRE SEPARATION DETAIL
 SCALE: N.T.S.



-1 1/2" HANDRAIL SHALL BE PROVIDED ON ONE SIDE OF STAIRWAY. ENDS OF HANDRAIL SHALL BE RETURNED OR HAVE ROUNDED TERMINATIONS OR BENDS.
 - HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1-1/2" BETWEEN THE WALL & HANDRAILS
 STAIR REQUIREMENTS:
 -MAXIMUM RISER HEIGHT OF 7.75".
 -MINIMUM TREAD DEPTH OF 10", MEASURED FROM THE PROJECTION OF THE NOSING ABOVE.
 -A NOSING OF NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON TREADS LESS THAN 11".
 -STAIR TREADS AND NOSING TO BE UNIFORM. THE TOLERANCE BETWEEN THE LARGEST AND SMALLEST RISER OR TREAD SHALL NOT EXCEED 3/8".
 -MINIMUM STAIR WIDTH IS 36".
 -HANDRAIL AND GUARDRAIL ASSEMBLIES SHALL BE MOUNTED TO WITHSTAND A CONCENTRATED LOAD OF 200 LBS. APPLIED IN ANY DIRECTION, AT ANY POINT ALONG THE TOP.

2 STAIR REQUIREMENTS
 SCALE: 1/2" = 1'-0"



1 PROPOSED BUILDING SECTION
 SCALE: 1/4" = 1'-0"