

**PARCEL DETAIL**

MarinMap Site Parcel Report

Property ID: 002-214-11  
 Report generated 10/6/2020 8:04:21 PM

Parcel Information

Property ID: 002-214-11  
 Address: 51 BELLE AVE FAIRFAX  
 Land Use: Single-Resid - Improved

Units: 1  
 Tax Rate Area: 003-000  
 Average Slope: 4.04

Parcel Information

Census: 114100  
 District: 2 Kettle Rice  
 Wildland Interface:  
 Community Plan: Upper Ross Valley  
 ClubList:  
 Traffic Zone: 145  
 Zoning: RD-5.5-7 Residential

Local Coastal Plan:  
 Dam Failure Area:  
 Alquist Prilo Zone:  
 Stream Conserv. Area/Buffer: N 0  
 CWP Area: Upper Ross Valley  
 CWP Corridor: CITY-CENTERED  
 Fire Service: Ross Valley Fire Service  
 Fire Authority: Ross Valley Fire District

Flood Zone: X Insurance Required: N  
 Zones B, C, and X are the flood insurance rate zones that correspond to areas outside the 1-percent annual chance floodplain, areas of 1-percent annual chance stream flow flooding where average depths are less than 1 foot, areas of 1-percent annual chance stream flooding where the contributing drainage area is less than 1 square mile, or areas protected from the 1-percent annual chance flood by levees. No other flood elevations or depths are shown within this zone. Insurance purchase is not required in these zones.

This map is a user-generated data output from an internet mapping site and is for reference only. Data from that source on this map may or may not be accurate, current, or otherwise reliable.

**IMPERVIOUS SURFACES**

EXISTING HOUSE: 1017sf =.24  
 EXISTING REINFORCED CONCRETE DRIVEWAY: 860sf = .20

NOTE: NO EASEMENTS

EXISTING/PROPOSED FAR: .24

**PROJECT DATA**

APN# 51 Belle Avenue  
 Fairfax CA 94930

Zone: R5.5  
 Lot Size: 4240 sf  
 Existing Structure: 1017sf  
 Existing/Proposed FAR: .24  
 Max FAR @ .40 = 1696sf  
 Flood Zone: NO  
 Slope: .04%  
 Existing/Proposed Roof Peak: 26' 3"

**IMPERVIOUS SURFACES DATA**

No new Impervious Surfaces.

Existing Front and Rear Hardscape to Remain as Noted.

Existing Concrete Driveway and Approach to Remain.

\*All proposed additional Garage floor areas to be constructed over existing impermeable surfaces, including garage, existing driveway and approach.

**FLOOR AREA DATA**

Existing 1017 sf  
 New Garage 330 sf  
 (E) + (N) sf = 1017 sf

**LANDSCAPE DATA**

Existing Landscaping to Remain  
 No New Landscaping.  
 No Tree Work. No Heritage Protection as Required

Sheet List	
Sheet Number	Sheet Name
A99	Project Data
A99.5	Existing Site Plan
A100	Proposed Site Plan
A102	Existing & Proposed
A103	Garage Electrical Plan
A104	North Elevation
A105	South Elevation
A106	West Elevation
A107	East Elevation
A109	Building Sections
A111	Survey of Record
A112	Record Detail/vey



**PROJECT DIRECTORY**

**Design Builder:**  
 Peter Brandelius  
 51 Belle Avenue  
 Fairfax CA 94930  
 Mobile: 415-235-0278  
 peterbrandelius@comcast.net

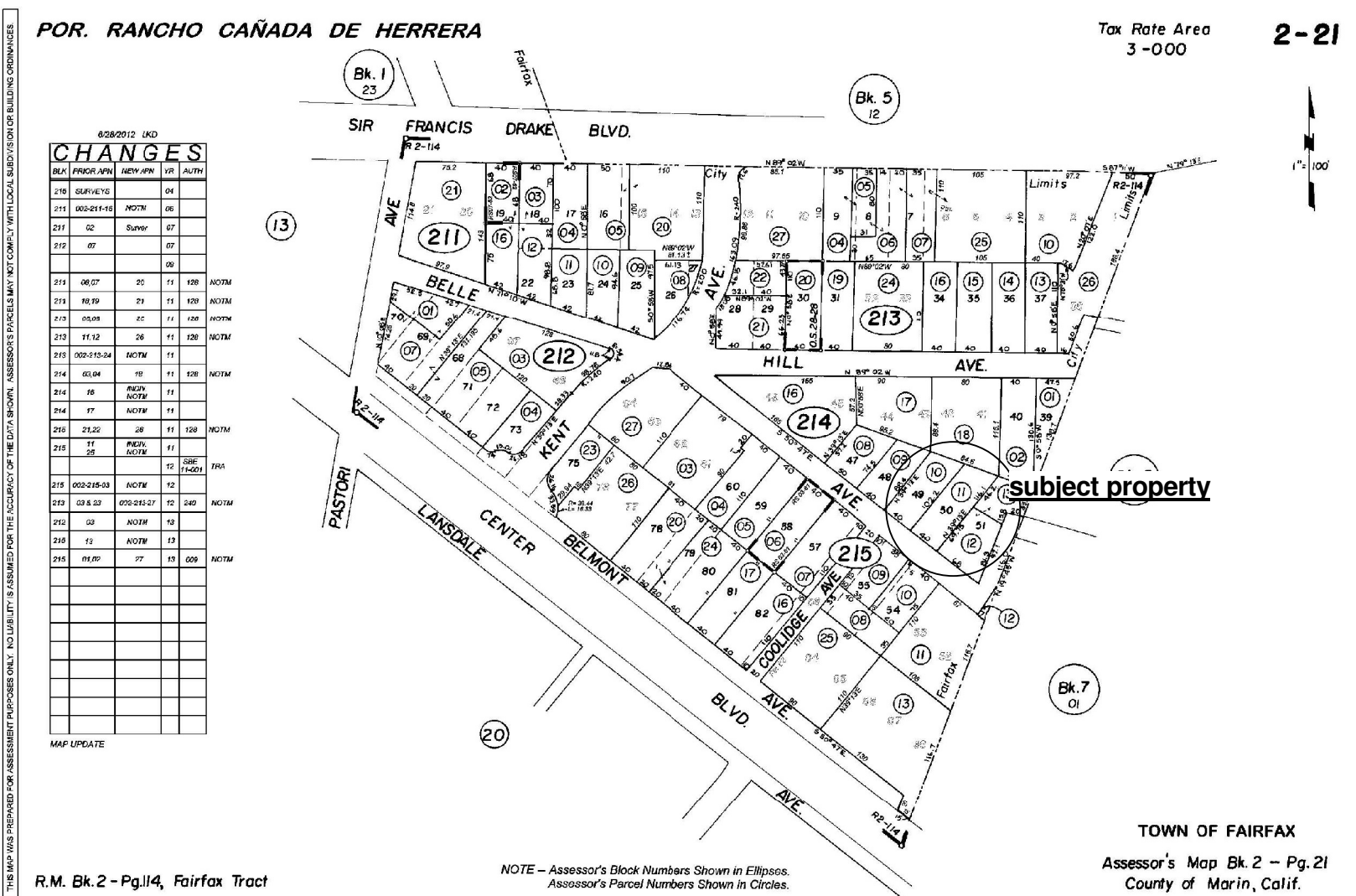
**Engineer:**  
 Rye Jorgensen  
 P.O. Box 812  
 Petaluma CA 94953

**DESIGN COMPLIANCE**

- 2019 California Building Volumes 1 & 2
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Existing Buildings Code
- 2019 California Fire Code
- 2019 California Energy Code
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No.	Description	Date

**AP & VICINITY MAP**



**SCOPE OF WORK**

Construct new 330sf garage at existing grade on the North property

Boundary per plan. Utilize existing Reinforced Concrete Driveway and approach @ new Garage Floor.

New Class A non-combustible Garage roof per plan. All exterior finishes and fenestration to match existing per plan.

**NOTE: THIS PROJECT SHALL COMPLY WITH THE FOLLOWING**

- The following parts of Title 24, California Code of Regulations are adopted by reference as construction codes for the Town of Fairfax, subject to the modifications included later in this Ch. 15.04:
- (A) 2019 edition of the California Administrative Code (Title 24 Part 1).
  - (B) 2019 edition of the California Building Code (Title 24 Part 2) based upon the 2018 Intern Building Code (IBC), including:
    - (1) Division II of Chapter 1, but not Section 113;
    - (2) Appendix Chapter A, Employee Qualifications;
    - (3) Appendix Chapter G, Flood-Resistant Construction;
    - (4) Appendix Chapter H, Signs;
    - (5) Appendix Chapter I, Patio Covers; and
    - (6) Appendix Chapter J, Grading.
  - (C) 2019 edition of the California Residential Code (Title 24 Part 2.5) based on the 2018 International Residential Code (IRC) including:
    - (1) Division II of Chapter 1, but not Section 112;
    - (2) Appendix Chapter V Swimming Pools Safety Act;
    - (3) Appendix Chapter H Patio Covers; and
    - (4) Appendix Chapter J Existing Buildings and Structures.
  - (D) 2019 edition of the California Electrical Code (Title 24 Part 3) based upon the 2017 Natl Electrical Code (NEC), including:
    - (1) Article 89, but not Section 89.108.8.
  - (E) 2019 edition of the California Mechanical Code (Title 24 Part 4) based upon the 2018 Ur Mechanical Code (UMC), including:
    - (1) Division II of Chapter 1, but not Section 107.0, 107.1, 107.2.
  - (F) 2019 edition of the California Plumbing Code (Title 24 Part 5) based upon the 2018 Unif Plumbing Code (UPC), including:
    - (1) Division II of Chapter 1, but not Section 107.0 or 107.1, 107.2.
  - (G) 2019 edition of the California Energy Code (Title 24 Part 6).
  - (H) 2019 edition of the California Historical Building Code (Title 24 Part 8).
  - (I) 2019 edition of the California Existing Building Code (Title 24 Part 10) based upon the 20 International Existing Building Code (IEBC) including:
    - (1) Appendix Chapter A1 Seismic Strengthening Provisions For Unreinforced Masonry Be: Wall Buildings.
    - (2) Appendix Chapter A3 Prescriptive Provisions For Seismic Strengthening Of Cripple We Sill Plate Anchorage Of Light, Wood-Frame Residential Buildings.
    - (3) Appendix Chapter A4 Earthquake Risk Reduction In Wood-Frame Residential Building Soft, Weak Or Open Front Walls.
  - (J) 2019 edition of the California Green Building Standards Code (CALGreen) (Title 24 Part 11), including:
    - (1) Appendix A4 Residential Voluntary Measures and Appendix A5 Nonresidential Voluntary Measures, Tier 1 measures, but excluding Appendix A4.2 and A5.2 (Energy Efficiency). The Tier 1 measures shall be mandatory for commercial and residential construction, and verification of such compliance shall be provided by the installer or designer.
    - (K) 2019 edition of the California Referenced Standards Code (Title 24 Part 12).
    - (L) 2018 edition of the International Property Maintenance Code, to the extent the same is not inconsistent with the California Buildings Standards Code (California Code of Regulations, Title 12, Parts 1-Part 12), as adopted and amended herein.
- (M) A copy of each of these documents is maintained in the office of the Building Official, and reference is made to them with like effect as if all the provisions and printed matter therein were herein set forth in full.
- (Ord. 773, passed 12-4-2013; Am. Ord. 803, passed 12-7-2016; Am. Ord. 841, passed 12-4-2019)

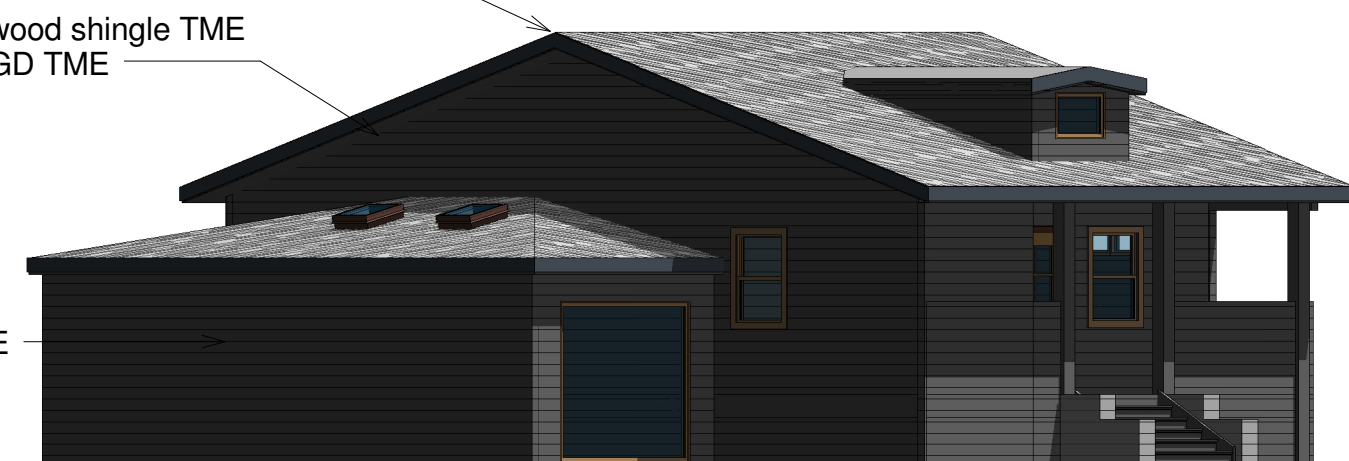
**Color Rendering**

Note: All painted surfaces shall be Benjamin Moore Amherst Gray Flat Finish TME

Class A comp Shingle TME

Painted wood shingle TME  
 Painted GD TME

Trim TME



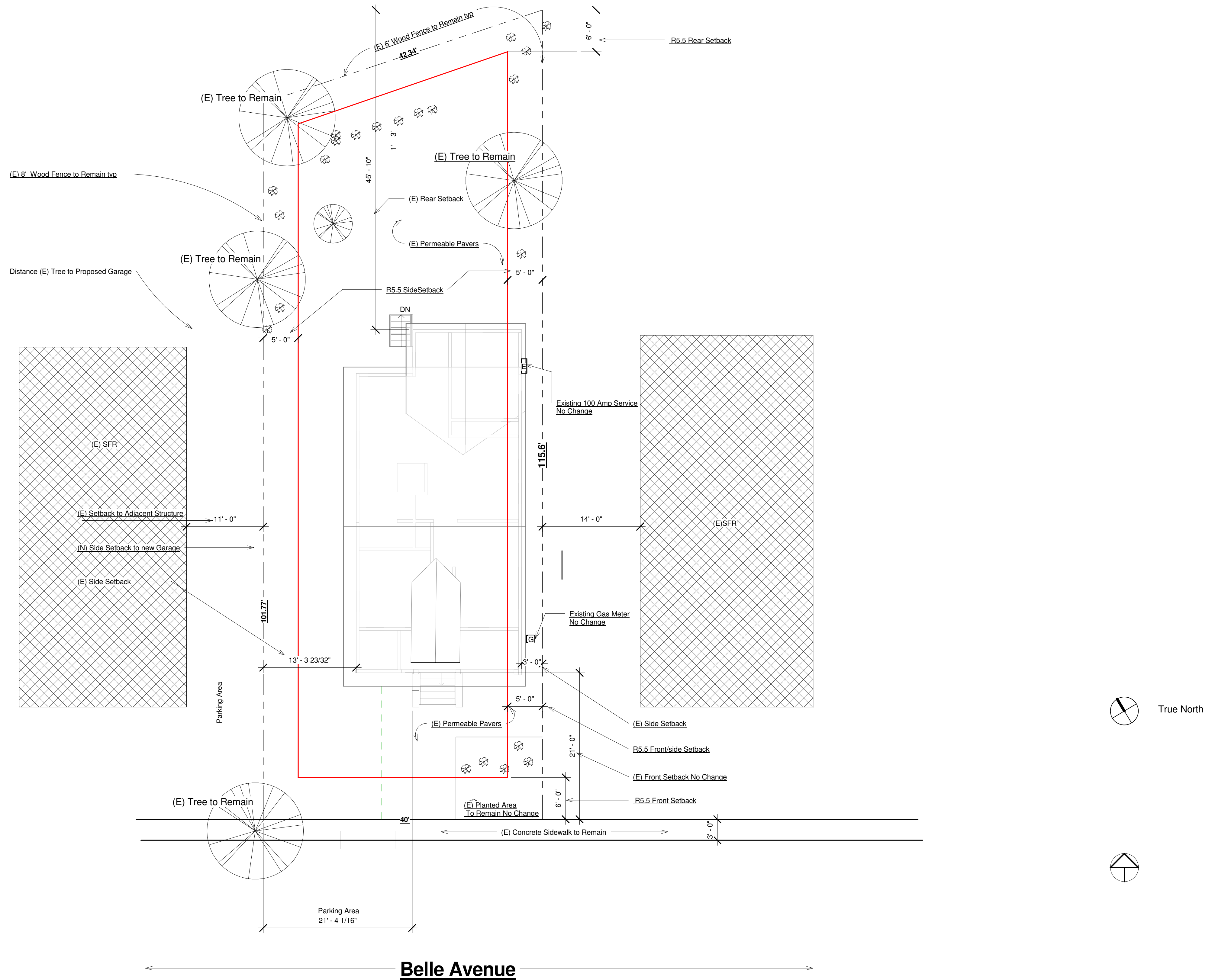
**Brandelius  
 51 Belle Avenue  
 Project Data**

Project number	420
Date	Issue Date
Drawn by	Peter Brandelius
Checked by	Peter Brandelius

**A99**

Site Key

	Indicates Required R5.5 Setbacks
	Indicates Property Boundary
	Indicates Neighboring Structure (NTS)



PROJECT DIRECTORY

**Design Builder:**  
 Peter Brandelius  
 51 Belle Avenue  
 Fairfax CA 94930  
 Mobile: 415-235-0278  
 peterbrandelius@comcast.net

**Engineer:**  
 Rye Jorgensen  
 P.O. Box 812  
 Petaluma CA 94953

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**Brandelius  
 51 Belle Avenue  
 Existing Site Plan**

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**A99.5**

Scale

**TOWN OF FAIRFAX**  
 142 BOLINAS ROAD  
 FAIRFAX, CA. 94930

**SUMMARY OF FAIRFAX ZONING REQUIREMENTS  
 SINGLE FAMILY AND DUPLEX ZONES**

For complete information, please refer to the Fairfax Town Code book.

SETBACKS PRINCIPAL STRUCTURES	RS 6 Zone (chpt. 17.42.070)	RS 7.5 Zone (chpt. 17.40.070)	RD 5.5-7 Zone (chpt. 17.44.070)
Front setback - 10% slope or less	6 ft.	10 ft.	6 ft.
Over a 10% slope	6 ft.	6 ft.	6 ft.
Rear setback - 10% slope or less	6 ft.	10 ft.	6 ft.
Over a 10% slope	12 ft.	15 ft.	10 ft.
Front/Rear combination			
10% slope or less	25 ft.	30 ft.	25 ft.
Over a 10% slope	35 ft.	40 ft.	35 ft.
Side setback - 10% slope or less	5 ft.	5 ft.	5 ft.
Over a 10% slope	5 ft.	10 ft.	5 ft.
Two sides combined			
10% slope or less	15 ft.	20 ft.	15 ft.
Over a 10% slope	20 ft.	25 ft.	20 ft.

SETBACKS ACCESSORY STRUCTURES (Chapter 17.22.020A, B & C)	CORNER LOT SETBACKS (Chapter 17.22.020D)
Front - 10 ft. in all zones *	10 ft. from any property line which parallels a street in all zones
Rear - 10 ft. in all zones *	
Sides - 5 ft. in all zones *	
* see also combined setbacks in above table	

**CREEK SETBACK** (Town Code § 17.22.040) - 20 feet from the top of the creek bank or twice the depth of the creek, whichever is greater.

**FLOOR AREA RATIO (FAR)** (Town Ordinance 696) - the maximum floor area for single family residences and duplexes shall not exceed a ratio between house size and lot area of .40. No single-family residence or duplex shall exceed 5,000 sq. ft. Garages or parking structures that are less than 500 s.f. in size are not included in the Floor Area Ratio.

**LOT COVERAGE** - structures and paved areas (other than driveways) may only cover 35% of the property.

HEIGHT	MAXIMUM HEIGHT AND # OF STORIES
Principal Structures - 10% slope or less	28.5 ft. above natural grade and 2 stories
10% slope or more uphill	28.5 ft. above natural grade and 3 stories
10% or more downhill slopes	34 ft. above natural grade and 3 stories
Accessory Structures	15 ft. above natural grade and 1 story

**HEIGHT OF BUILDING** (Chapter 17.04.255) - means the vertical distance measured from a point on the natural grade to the highest point of the structure directly above. At no point shall the height of the building exceed the allowable height above natural grade.

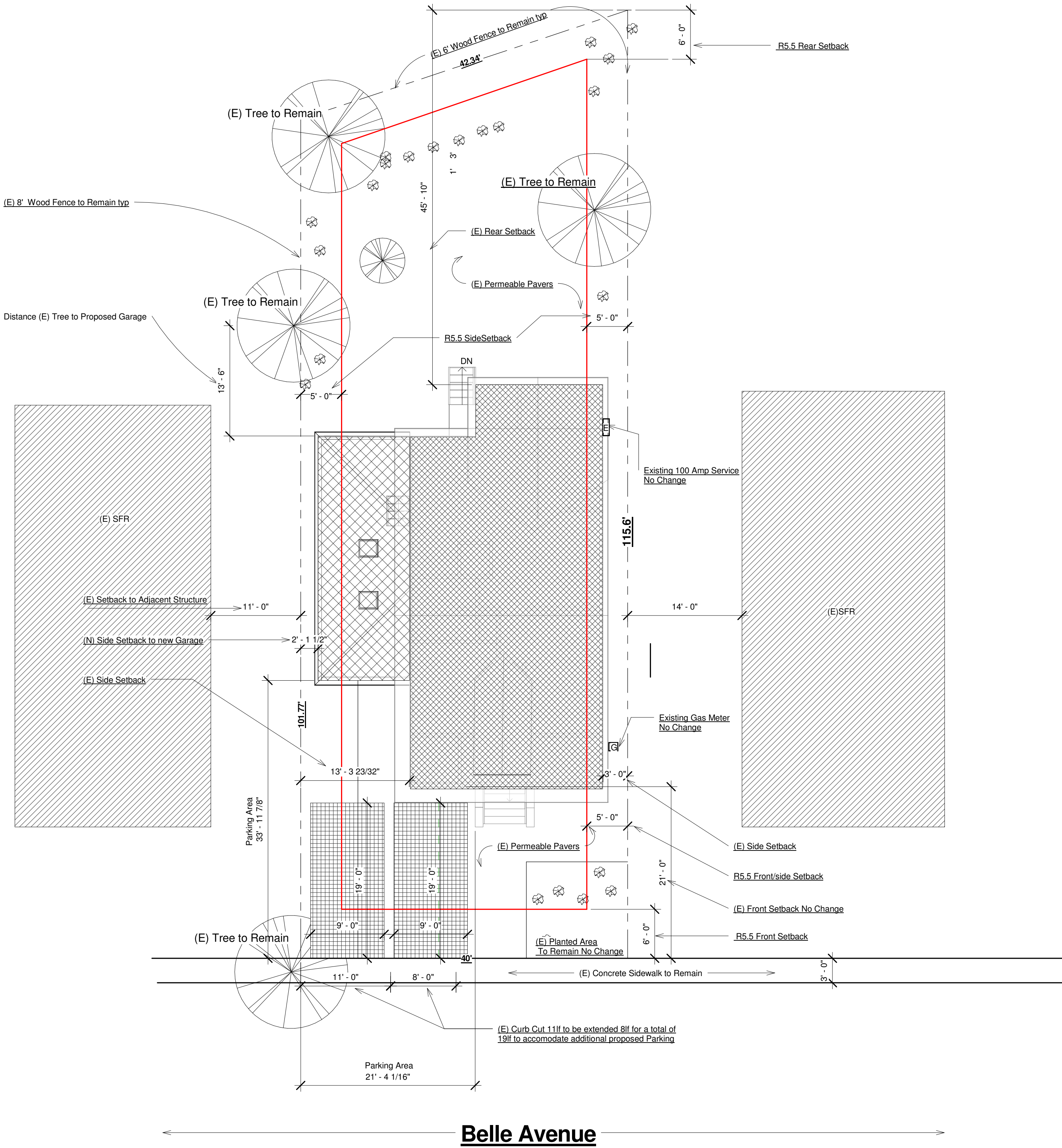
**PARKING** (Chapter 17.28)

Studio Units - 1 space, 9' x 19' in size  
 Units of 1 bedroom or more - 2 spaces, 9' x 19' in size and 1 guest space, 9' x 19' in size, if legal on street parking is not available along the immediate frontage of the property  
 Spaces located parallel to another structure, the curb, sidewalk, or a sloped area, must be a minimum of 9' x 22' in size  
 In all residential zones, at least one of the required parking spaces must be covered in all zones  
 Uncovered parking spaces may be located in the front yard setback but not in the side yard setback

GENZONE0306\_19\_07a

**Site Key**

	Indicates Area of Work
	Indicates Property Boundary
	Indicates Neighboring Structure (NTS)
	Indicates Existing Structure to Remain
	Indicates 9x19' Parking Area
	Indicates Required R5.5 Setbacks



1 Site  
 1/8" = 1'-0"



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No.	Description	Date

**Brandelius**  
 51 Belle Avenue  
 Proposed Site Plan

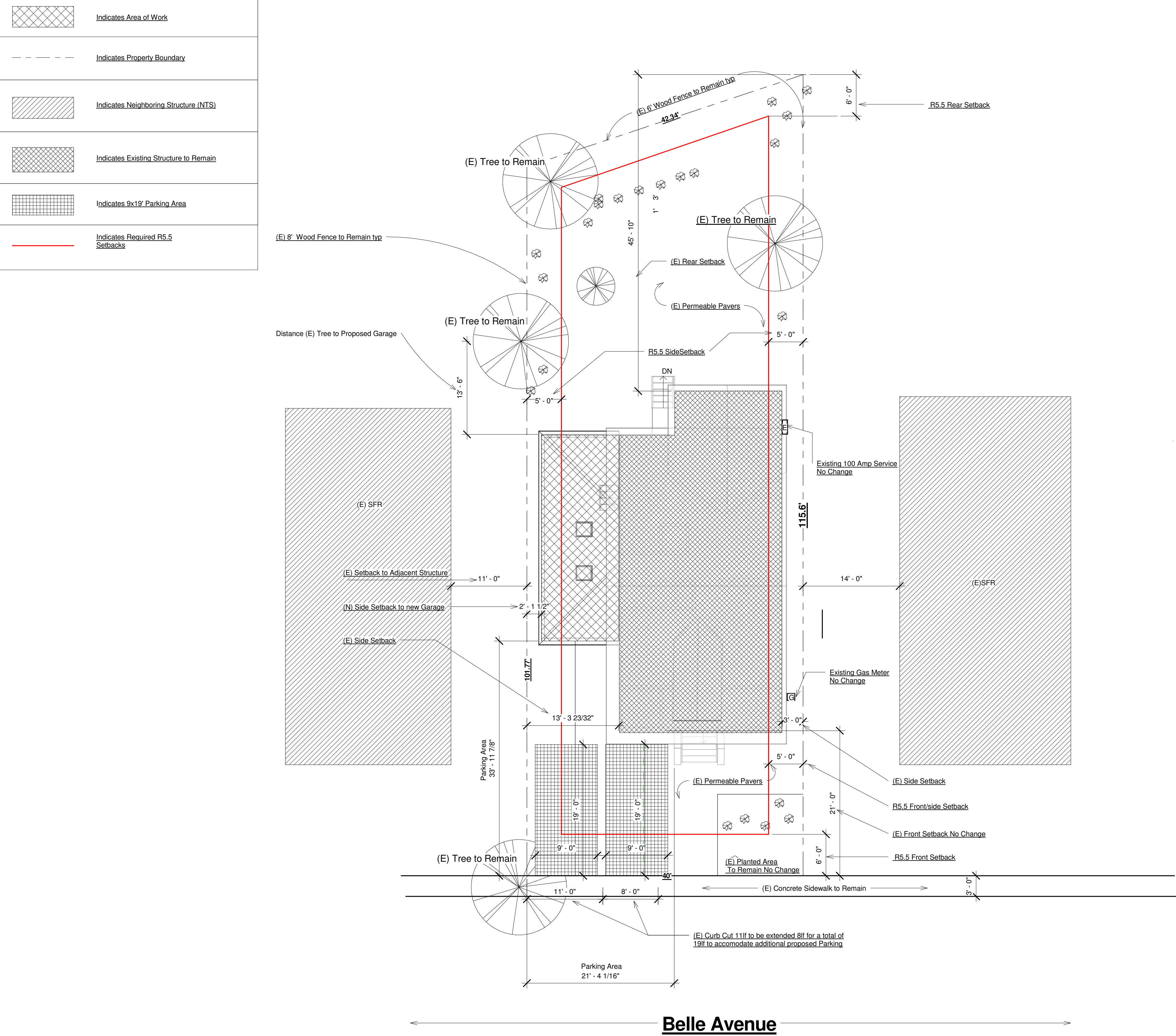
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**A100**

Scale

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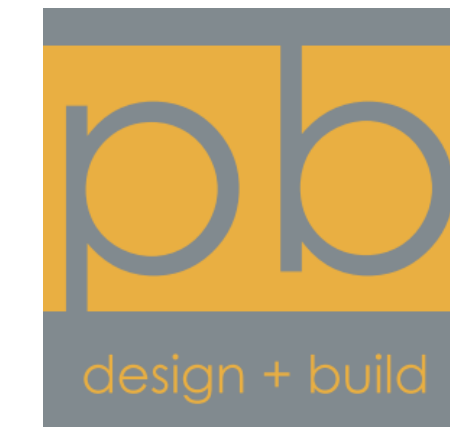
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GENZONE006\_19\_070a



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Brandelius  
51 Belle Avenue  
Proposed Site Plan

Project number	420
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Drawn by	Peter Brandelius
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A100

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1 Site  
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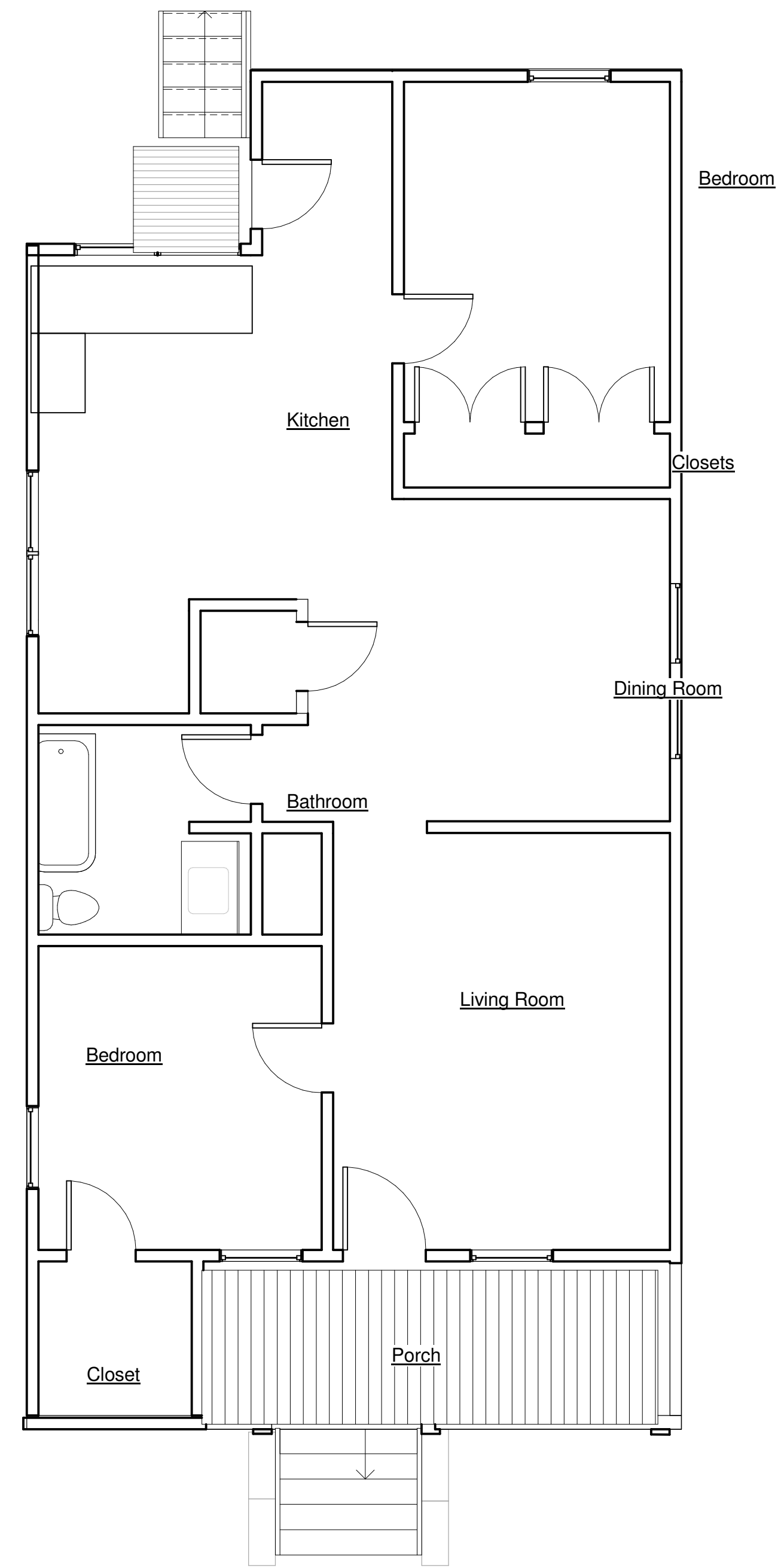
**Brandelius**  
**51 Belle Avenue**  
**Existing & Proposed**

Project number 420  
 Date Issue Date  
 Drawn by Peter Brandelius  
 Checked by Peter Brandelius

**A102**

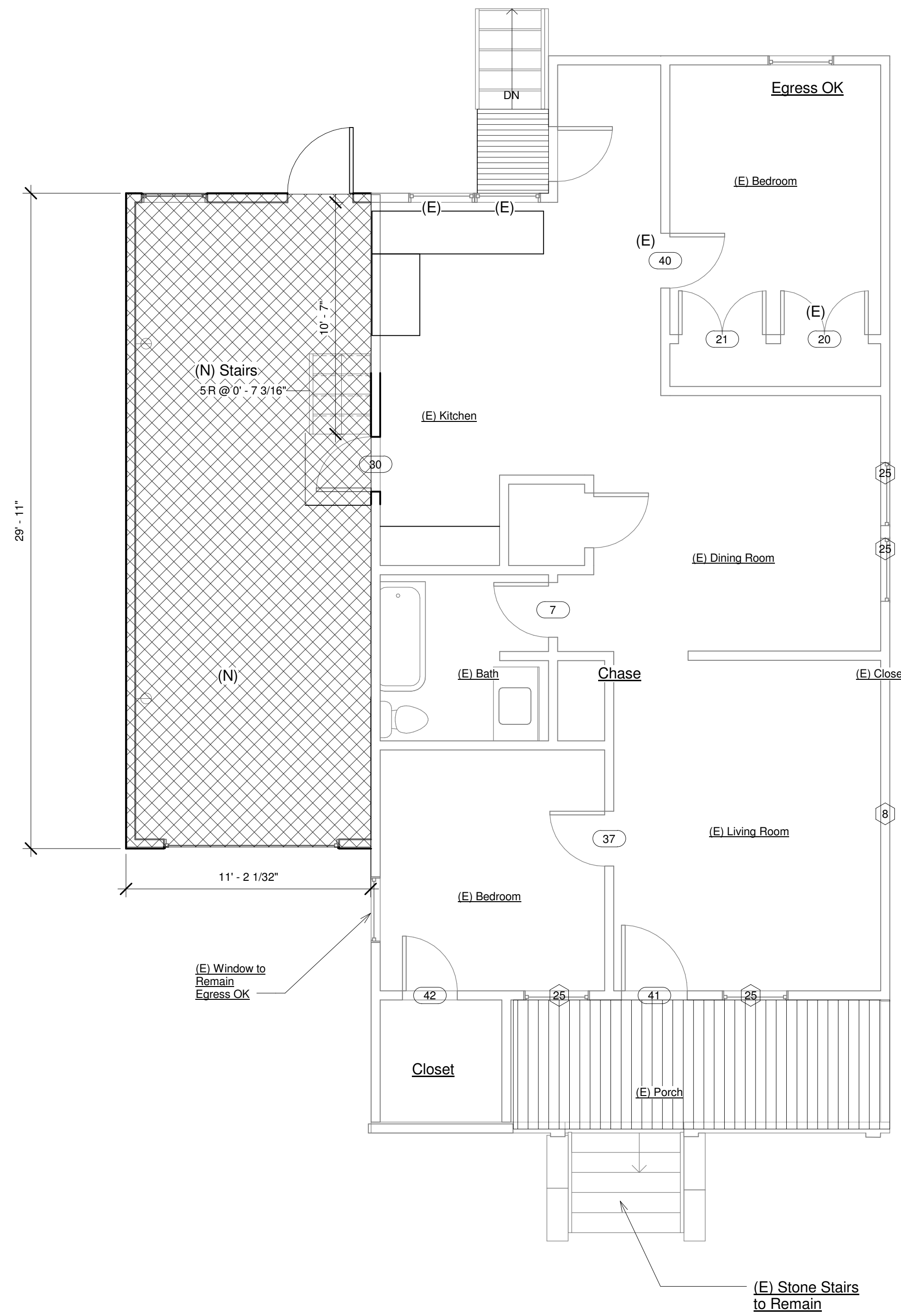
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2 Existing First Floor  
 1/4" = 1'-0"

Entry



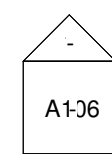
1 Existing First Floor  
 1/4" = 1'-0"

**Area & Wall Key**

= 330 SF

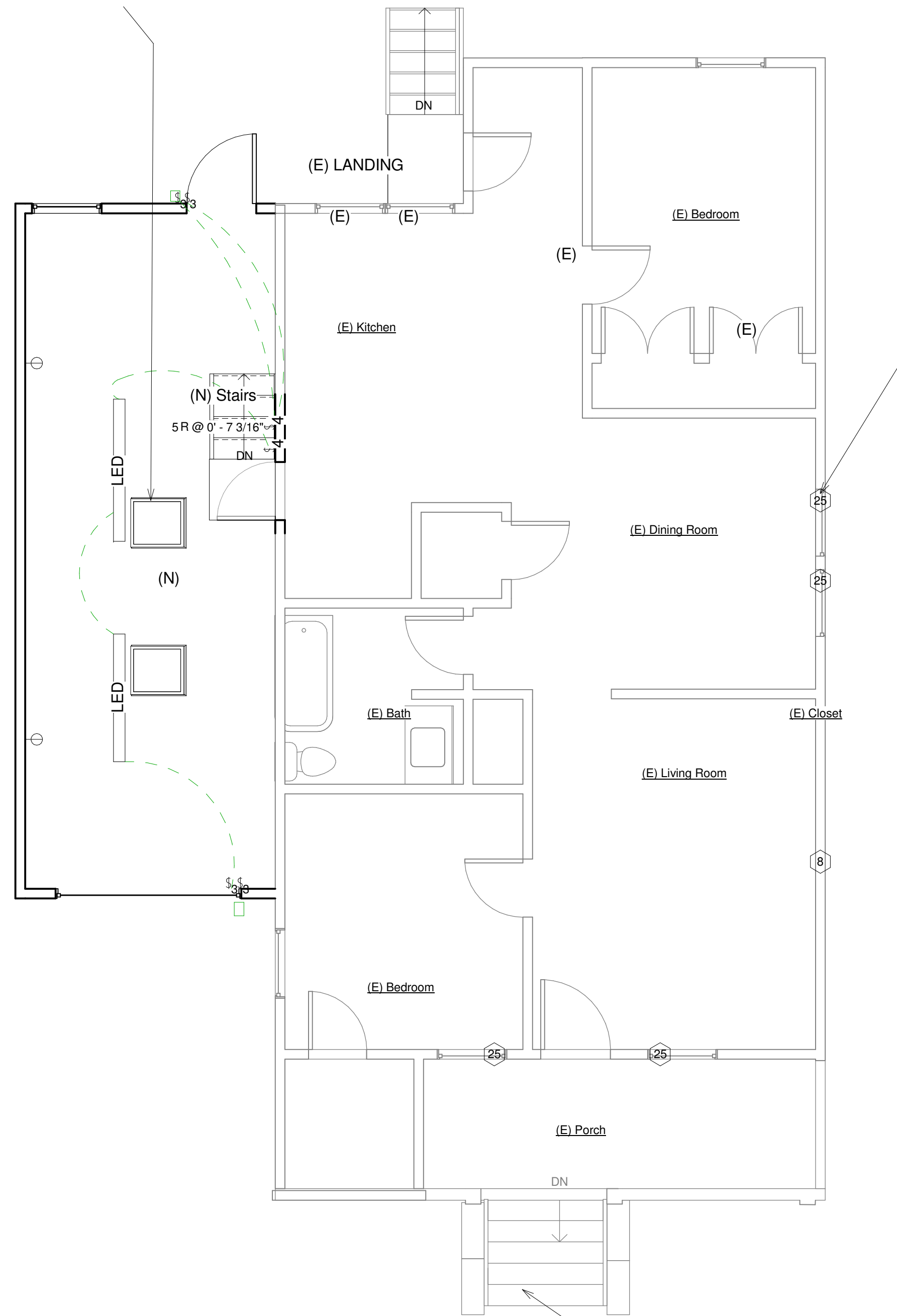
Indicates (N) Walls

Indicates (E) Walls



NOTE:  
NO LUMINAIRES IN SKYLIGHT WELLS TYPICAL

EXISTING 100A SERVICE TO REMAIN



ELECTRICAL KEY	
	single pole receptacle
	LED Dark Sky Fixture 1.103
	LED Shop Downlight
	Single pole switch
	Three way switch

Area & Wall Key	
	= 330 SF
	Indicates (N) Walls
	Indicates (E) Walls

#### ELECTRICAL NOTES

- E1. Two dedicated 20 amp GFCI protected small appliance circuits shall be provided at kitchen counters. Circuits cannot serve outside plugs, range hoods, disposals, dishwashers, refrigerators or microwaves- only the required countertop/wall outlets. C.E.C. Article 210.11 (1) & 210.52 (B)
- E2. One dedicated 20 amp GFCI protected outlets shall be provided at each bathroom C.E.C. Article 210.12 (B)
- E3. A.C. powered Smoke alarms shall be provided & **interconnected** (where possible) in the following locations per C.R.C. Section R314.3
  - a. In each existing sleeping room
  - b. Outside each separate existing sleeping area in the immediate vicinity of bedrooms
  - c. On each floor
- E4. A.C. Carbon monoxide alarms/detectors shall be compliant with UL 3034 & UL 2075 per C.R.C. Section R315.3
- E5. A.C. Carbon monoxide alarms/detectors shall be installed per 2010 C.R.C. & current NFPA 720
- E6. All branch circuits that supply 125 volt, single phase, and 20 ampere receptacles installed in dwelling unit bedrooms, family rooms, dining rooms, closets, hallways, living rooms, parlors, libraries, dens, sunrooms, recreation rooms, or similar rooms shall be protected by an arc-fault circuit interrupter. Interrupter listed to provide protection of entire branch circuit. C.E.C. Article 210.12 (B)
- E7. Each receptacle for fixed appliances shall remain accessible.
- E8. Each Fixed appliance shall be supplied by a rated separate branch circuit for the unit or load served.
- E9. Electrician shall label all circuits at subpanel. Maintain 36" clearance
- E10. In all defined space outlets shall be installed so that no point along the floor line on any wall space is more than six feet measured horizontally from an outlet in that space.
- E11. All new low voltage halogen light shall be controlled by electronically dimmed switching or controlled by an occupant sensor that does not turn on automatically or have an always on option.
- E12. All new recessed luminaires located in insulated ceilings shall be I.C. rated, electronic ballast, and Air-tight (AT)
- E13. Contractor shall submit load calculations for the sizing of new subpanel information to the building department for approval prior to installation.
- E14. Electrician to provide new UFER ground at new foundation if existing ground is deemed noncompliant (V.I.F)
- E15. Electrician shall provide bonding for water and gas piping.
- E16. As prescribed by SMFD & current NFPA regulations at least 4" tall address numbers shall be placed adjacent to front entry door. Numbers must be clearly visible from street. Numbers may only be internally illuminated or by an adjacent light controlled by a photocell and switched only by a dedicated breaker so both remain illuminated all night.
- E17. Lighting in bathrooms, garages, laundry rooms & utility rooms must be high efficacy or be controlled by a manual-on occupant sensor.
- E18. Outdoor lighting attached to the building shall be high efficacy or controlled by occupant sensors with integral photo control
- E 19. All 125 volt and 15 and 20 amp receptacles in the dwelling shall be tamper resistant per C.E.C. Article 406.11

Visit our web site at [www.SeaGullLighting.com](http://www.SeaGullLighting.com)  
8547701EN-04 - page 1 of 1

#### 1.103



8547701EN-04: Small One Light Outdoor Wall Lantern



**Dimensions:**  
 Diameter: 10"  
 Width: 10"  
 Height: 11 15/16"  
 Weight: 2.6 lbs.  
**Extends:** 11 5/8"  
**Wire:** 6" (color/Black/White)  
**Mounting Proc.:** Single Cap Nut  
**Connection:** Mounted To Box

**Bulbs:**  
 1 - LED Medium A19 10w Max. 120v - included

- Features:**
- ENERGY STAR® Qualified
  - Dark sky friendly. Designed to emit no light above the 90° horizontal plane. Photometry unavailable.
  - LED Bulbs are an efficient, versatile and durable light source that deliver exceptional performance.
  - Meets Title 24 energy efficiency standards
  - Title 24 compliant when used with included Joint Appendix (JA8) approved lamp.

**Material List:**  
 1 Body - Aluminum - Satin Aluminum

**Safety Listing:**  
 Safety Listed for Wet Locations

**Instruction Sheets:**  
 Trilingual (English, Spanish, and French) (990W8\_47701-FRB)

#### Backplate / Canopy Details:

Type	Height / Length	Width	Depth	Diameter	Outlet Box Up	Outlet Box Down
Back Plate			1 1/8	4 3/4	5 3/4	6 1/4

#### Replacement Bulb Data:

Product #	Type	Base	Watts	Watts Consumed	Volts	Hours	Lumens	Temp (°K)	CRI
10A19DLED27JA8	Frosted	A19	Medium	10	10	120v	25000	800	2700 90

#### Shipping Information:

Package Type	Product #	Quantity	UPC	Length	Width	Height	Cube	Weight	Frt. Class	UPS Ship
Individual	8547701EN-04	1	785652023675	14.5	14.5	12	1.46	3.4	250	Yes
NJ Pallet		50		48	40	64	71.111	170		No
NV Pallet		50		48	40	64	71.111	170		No

Sea Gull Lighting reserves the right to revise the design of components of any product due to parts availability or change in safety listing standards without assuming any obligation or liability to notify any products previously manufactured and without notice. This literature depicts a product design that is the sole and exclusive property of Sea Gull Lighting. In compliance with U.S. copyright and patent requirements, notification is hereby presented in the form that this literature, or the product it depicts, is not to be copied, altered or used in any manner without the express written consent of or contrary to the best interests of Sea Gull Lighting, a Generator Brands Company.



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No.	Description	Date

**Brandelius**  
 51 Belle Avenue  
 Garage Electrical Plan

Project number **420**  
 Date **Issue Date**  
 Drawn by **Peter Brandelius**  
 Checked by **Peter Brandelius**  

# A103

  
 Scale

1 Electrical Plan  
1/4" = 1'-0"

A106

1/26/2021 7:53:46 PM



**PROJECT DIRECTORY**

**Design Builder:**  
Peter Brandelius  
51 Belle Avenue  
Fairfax CA 94930  
Mobile: 415-235-0278  
peterbrandelius@comcast.net

**Engineer:**  
Rye Jorgensen  
P.O. Box 812  
Petaluma CA 94953

**DESIGN COMPLIANCE**

- 2019 California Building Volumes 1 & 2
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Existing Buildings Code
- 2019 California Fire Code
- 2019 California Energy Code
- 2019 California Residential Building Code
- 2019 California Green Building Standards Code
- 2019 Mandatory Measures
- 2019 County/Municipal Codes & Ordinances

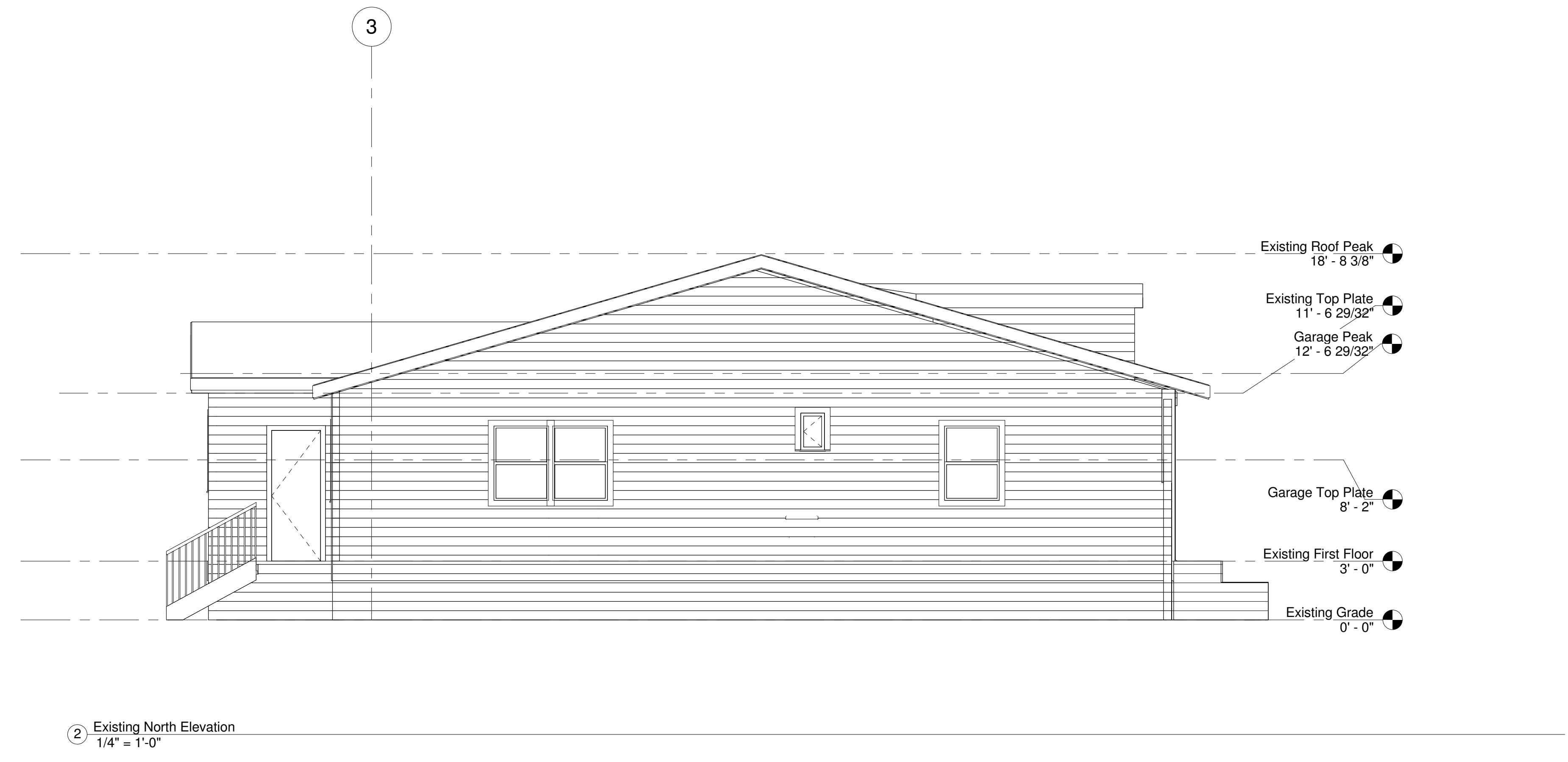
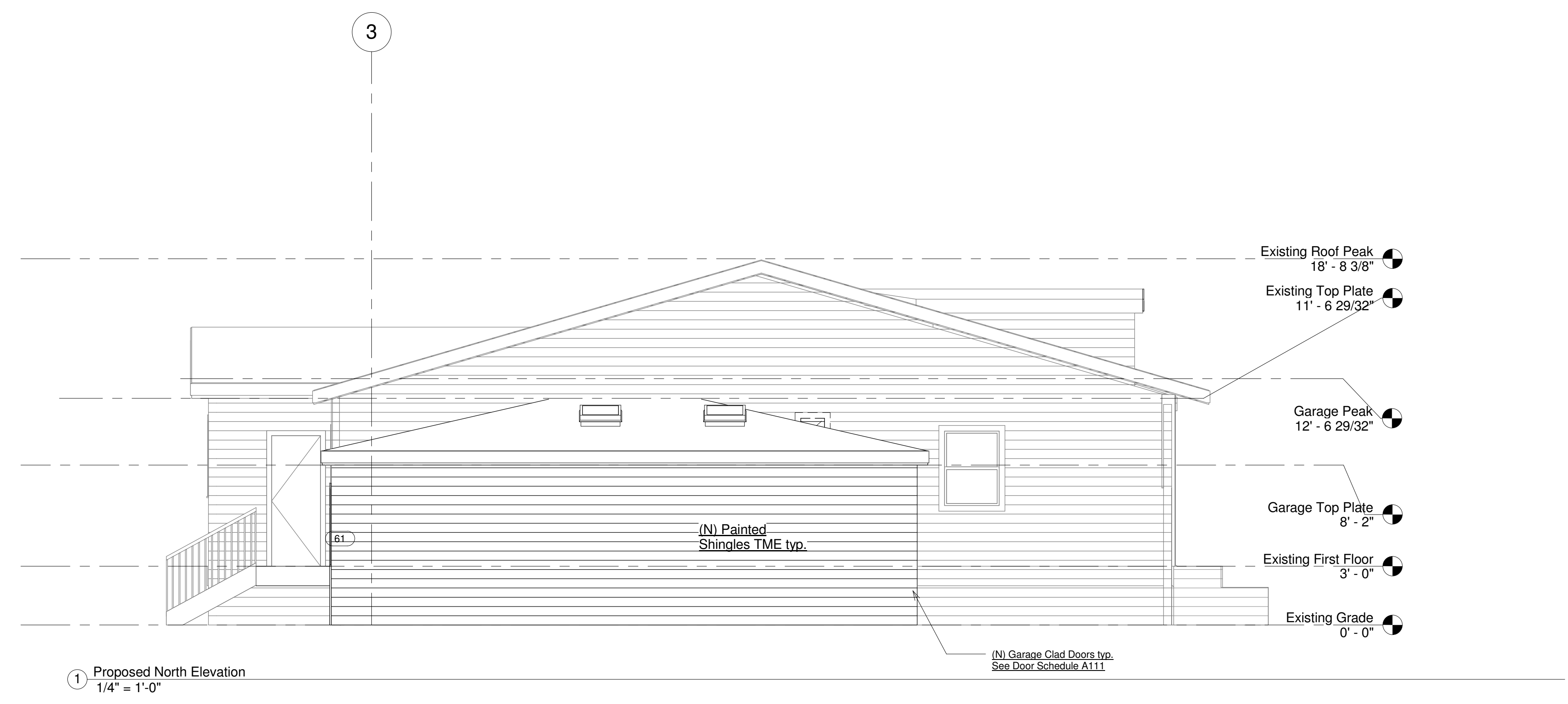
No.	Description	Date

**Brandelius**  
**51 Belle Avenue**  
**North Elevation**

Project number 420  
Date Issue Date  
Drawn by Peter Brandelius  
Checked by Peter Brandelius

**A104**

Scale



1/26/2021 7:53:49 PM



**PROJECT DIRECTORY**

**Design Builder:**  
 Peter Brandelius  
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 peterbrandelius@comcast.net

**Engineer:**  
 Rye Jorgensen  
 P.O. Box 812  
 Petaluma CA 94953

**DESIGN COMPLIANCE**

- 2019 California Building Volumes 1 & 2
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Existing Buildings Code
- 2019 California Fire Code
- 2019 California Energy Code
- 2019 California Residential Building Code
- 2019 California Green Building Standards Code
- 2019 Mandatory Measures
- 2019 County/Municipal Codes & Ordinances

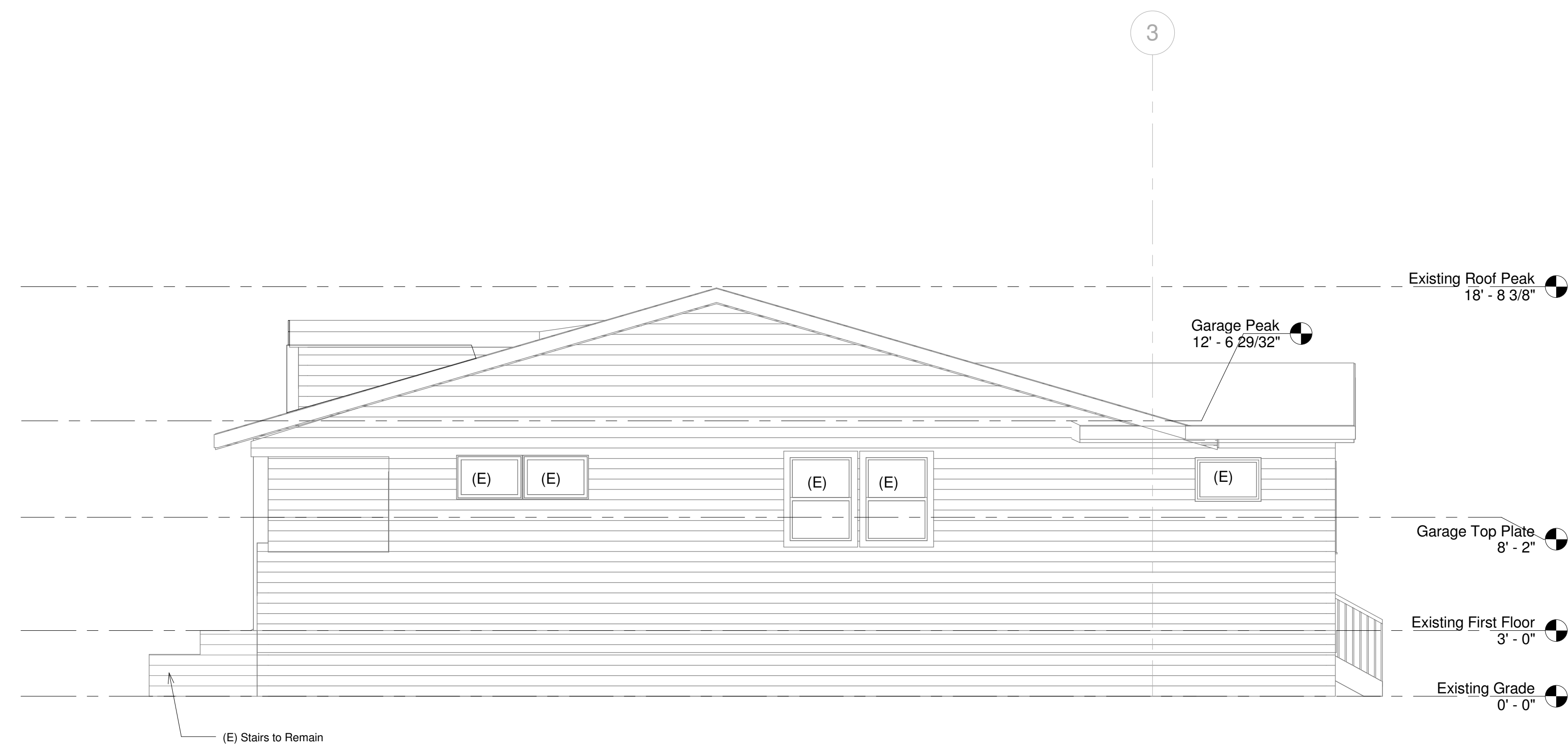
No.	Description	Date

**Brandelius**  
**51 Belle Avenue**  
**South Elevation**

Project number 420  
 Date Issue Date  
 Drawn by Peter Brandelius  
 Checked by Peter Brandelius

**A105**

Scale



① Proposed South Elevation  
 1/4" = 1'-0"



② Existing South Elevation  
 1/4" = 1'-0"





PROJECT DIRECTORY

**Design Builder:**  
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 Fairfax CA 94930  
 Mobile: 415-235-0278  
 peterbrandelius@comcast.net

**Engineer:**  
 Rye Jorgensen  
 P.O. Box 812  
 Petaluma CA 94953

DESIGN COMPLIANCE

- 2019 California Building Volumes 1 & 2
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Existing Buildings Code
- 2019 California Fire Code
- 2019 California Energy Code
- 2019 California Residential Building Code
- 2019 California Green Building Standards Code
- 2019 Mandatory Measures
- 2019 County/Municipal Codes & Ordinances

No.	Description	Date

Brandelius  
 51 Belle Avenue  
 West Elevation

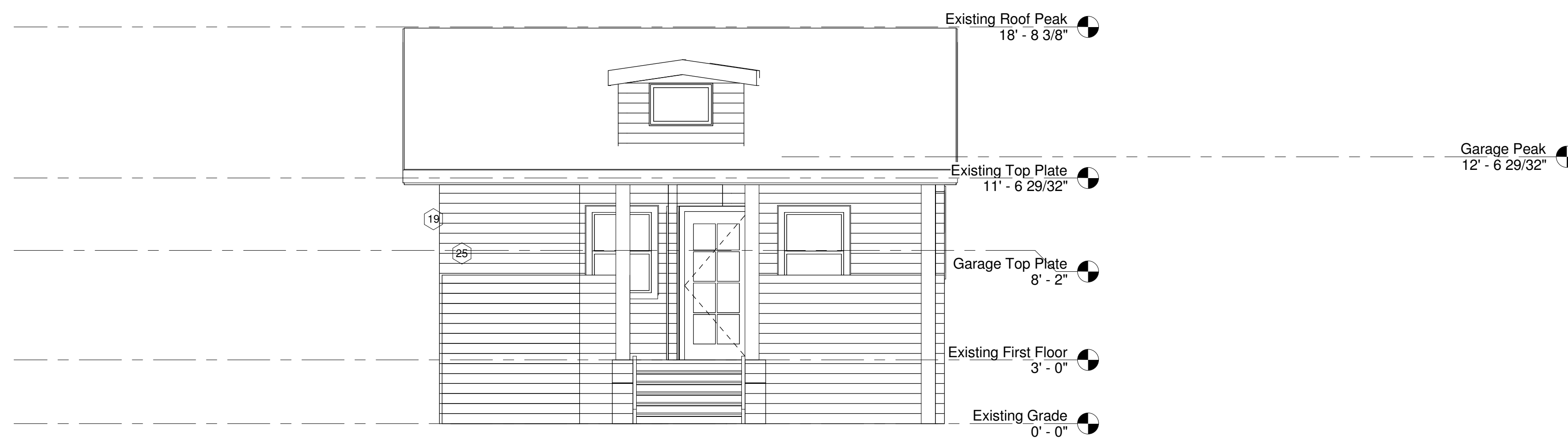
Project number 420  
 Date Issue Date  
 Drawn by Peter Brandelius  
 Checked by Peter Brandelius

**A106**

Scale



① Proposed West Elevation  
 1/4" = 1'-0"



② Existing West Elevation  
 1/4" = 1'-0"

1/26/2021 7:53:51 PM



**PROJECT DIRECTORY**

**Design Builder:**  
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 Mobile: 415-235-0278  
 peterbrandelius@comcast.net

**Engineer:**  
 Rye Jorgensen  
 P.O. Box 812  
 Petaluma CA 94953

**DESIGN COMPLIANCE**

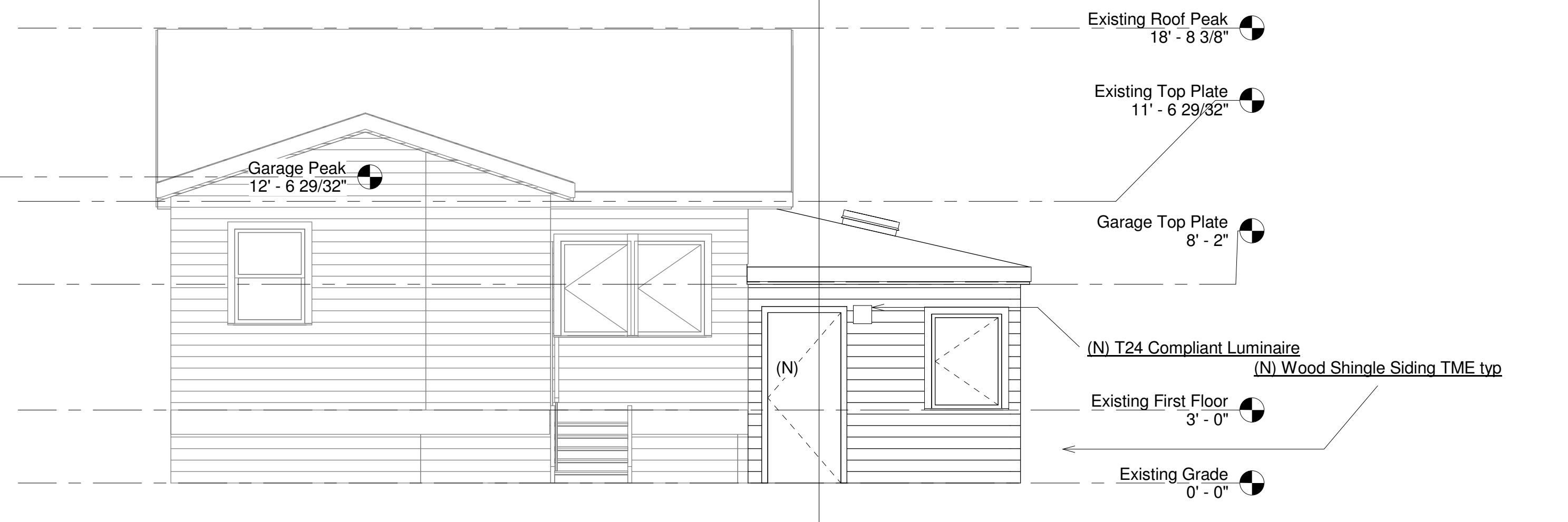
- 2019 California Building Volumes 1 & 2
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Existing Buildings Code
- 2019 California Fire Code
- 2019 California Energy Code
- 2019 California Residential Building Code
- 2019 California Green Building Standards Code
- 2019 Mandatory Measures
- 2019 County/Municipal Codes & Ordinances

No.	Description	Date

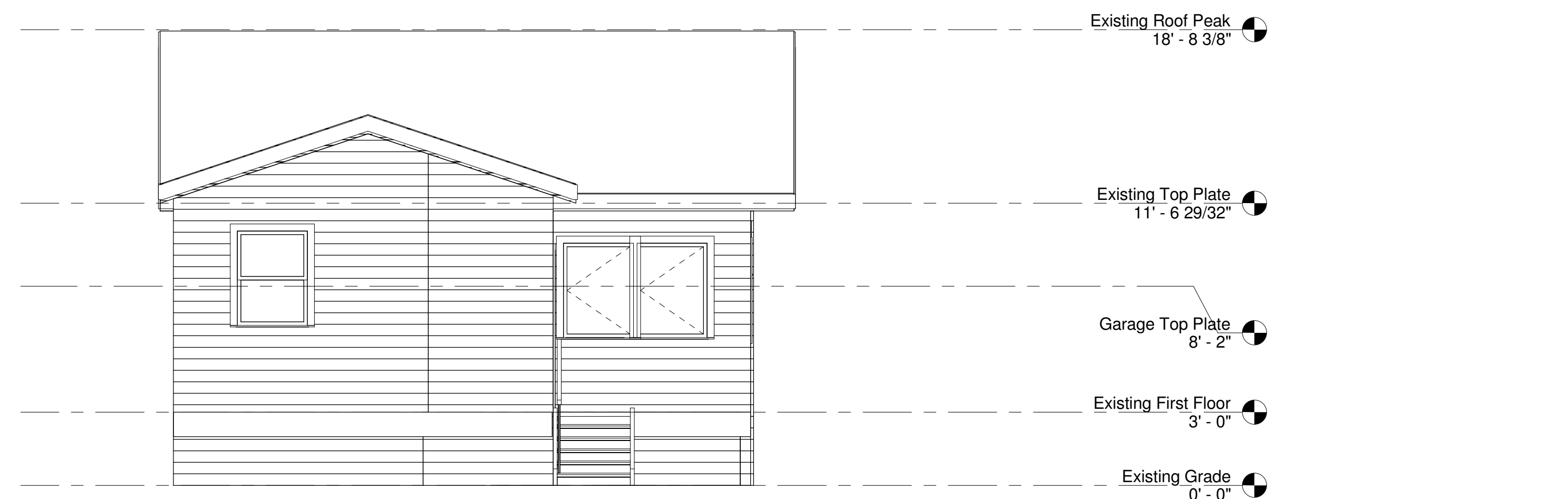
**Brandelius  
51 Belle Avenue  
East Elevation**

Project number	420
Date	Issue Date
Drawn by	Peter Brandelius
Checked by	Peter Brandelius
<b>A107</b>	
Scale	

2  
A107



1 Proposed East Elevation  
1/4" = 1'-0"



2 Existing East Elevation  
1/4" = 1'-0"



PROJECT DIRECTORY

**Design Builder:**  
 Peter Brandelius  
 51 Belle Avenue  
 Fairfax CA 94930  
 Mobile: 415-235-0278  
 peterbrandelius@comcast.net

**Engineer:**  
 Rye Jorgensen  
 P.O. Box 812  
 Petaluma CA 94953

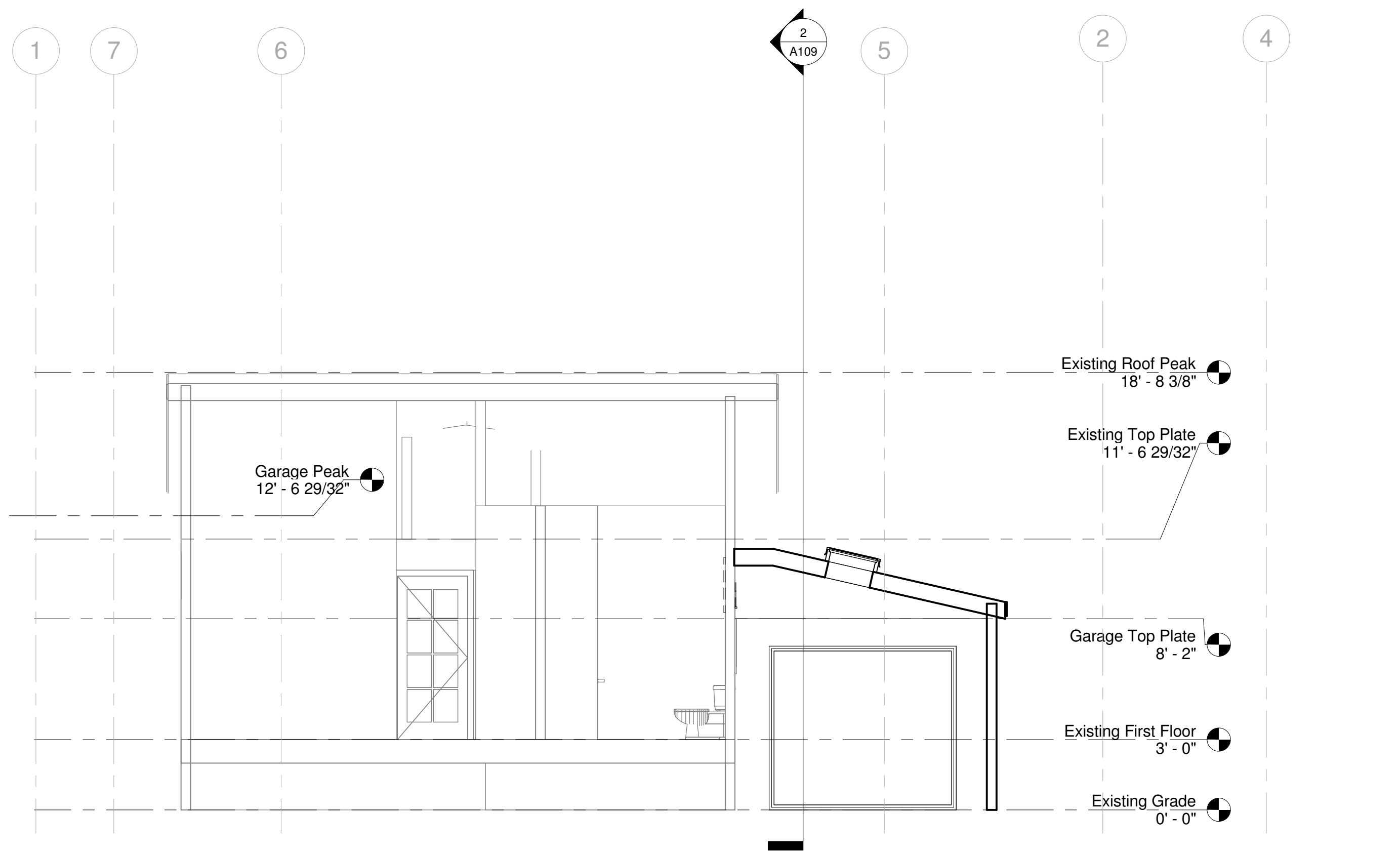
DESIGN COMPLIANCE

- 2019 California Building Volumes 1 & 2
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
- 2019 California Existing Buildings Code
- 2019 California Fire Code
- 2019 California Energy Code
- 2019 California Residential Building Code
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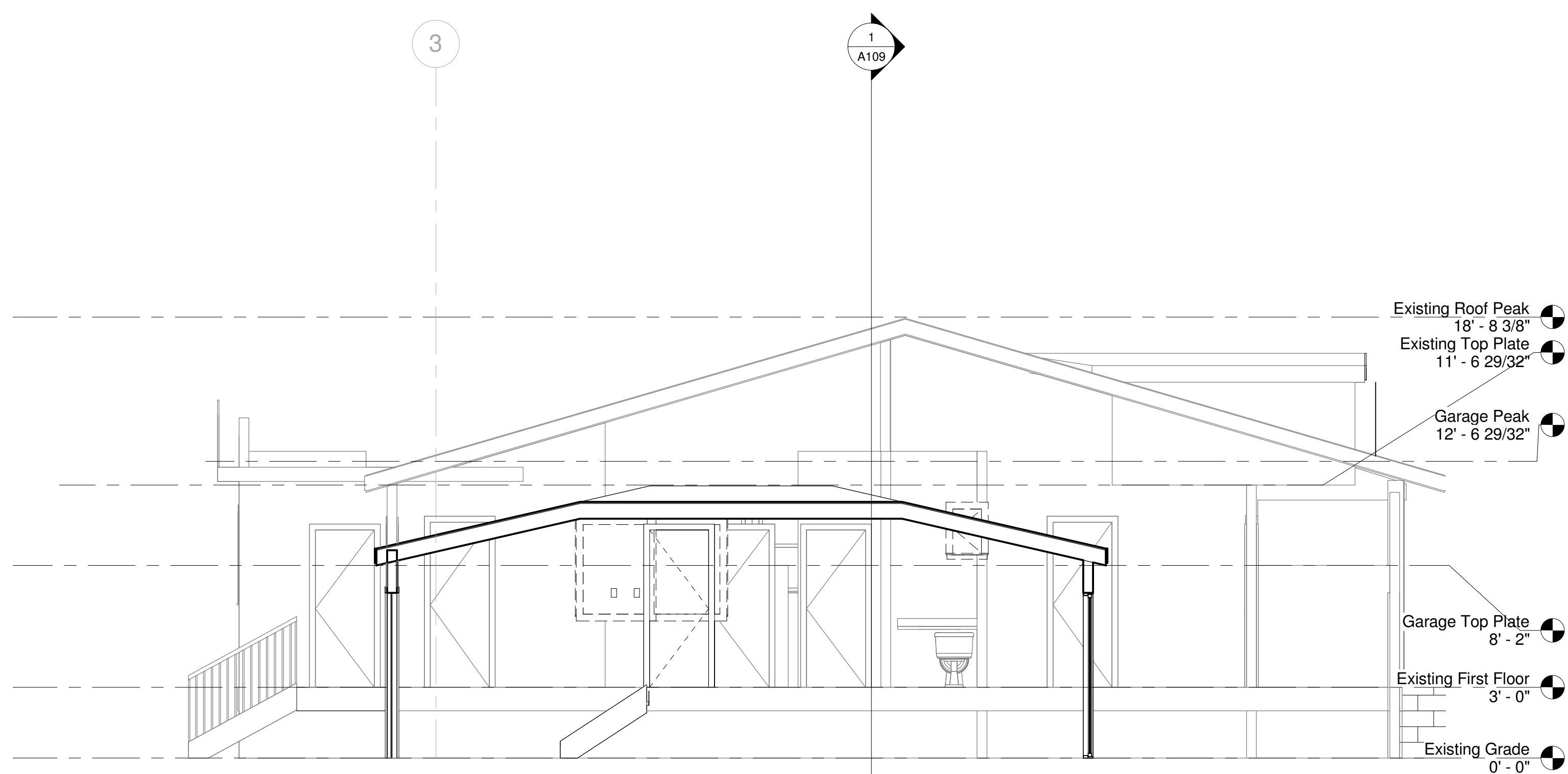
No.	Description	Date

**Brandelius**  
**51 Belle Avenue**  
**Building Sections**

Project number	420
Date	Issue Date
Drawn by	Peter Brandelius
Checked by	Peter Brandelius
<b>A109</b>	
Scale	



1 Section 1  
 1/4" = 1'-0"



2 Section 3  
 1/4" = 1'-0"

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### Skylight Specifications

VELUX America Inc.  
SPECIFICATION FOR MODEL FS  
"NO LEAK" FIXED SKYLIGHT  
4

#### 1.04 PERFORMANCE REQUIREMENTS

- A. The FS deck mount skylight is independently tested in accordance with listed standards for compliance with the unit skylight provisions of the 2003, 2006 and 2009 IBC, IECC, and IRC as follows:
  - a. AAMA/WDMA/CSA 101/1.S.2/A440-05 (NAFS – 05) and/or AAMA/WDMA/CSA 101/1.S.2/A440-08 (NAFS – 08)  
Performance Grades must be greater than or equal to:
    - i. Downward design pressure = 100 psf
    - ii. Uplift Design Pressure = 40 psf
  - b. AAMA/WDMA/CSA 101/1.S.2/A440-02 (NAFS – 02)  
Rated pressures must be greater than or equal to:
    - i. Downward design pressure = 100 psf
    - ii. Uplift Design Pressure = 50 psf
- B. Air leakage: Maximum of 0.4 l/s/m<sup>2</sup> (0.08 CFM/ft<sup>2</sup>) of total unit area, measured at a pressure of 75 Pa (1.57 psf) in accordance with ASTM E 283, per the NAFS standards in (A).
- C. Water infiltration: No water penetration noted as measured in accordance with ASTM E 331 with a test pressure differential of 720 Pa (15.0 psf). Exceeds requirements of NAFS standards in (A).
- D. Thermal Performance: U-factor = 0.45 Btu/h\*in<sup>2</sup>\*F° or less, SHGC = 0.26 or less and [VI = 0.52 or greater (clear) or [VI = 0.39 or greater (white)]. Tested and certified in accordance with NRC 100 and 200 procedures. Applicable to aluminum and copper clad models. 2010 ENERGY STAR qualified in all U.S. zones. Applicable to aluminum and copper-clad models.
- E. FS skylights with impact glazing (IG): Tested and certified in accordance with ASTM E 1886 and ASTM E 1996, Rated for Wind Zone 3, Missile Level C, Cycle Pressure +50 / -50.
- F. Limit member deflection to flexure limit of glass with full recovery of glazing materials.
- G. System accommodates, without damage to components or deterioration of seals, movement between frame and perimeter components.

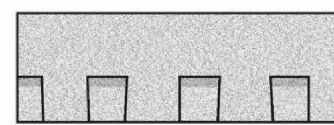
Revised 11-Dec-13

### Composite Shingle Specifications



**Technical Data Sheet**  
LANDMARK™ Premium Shingles  
LANDMARK Pro/Architect™ 80 Shingles (NW Region only)  
LANDMARK™ Pro Shingles  
LANDMARK™ Shingles

**PRODUCT INFORMATION**  
Landmark™ shingles reflect the same high manufacturing standards and superior warranty protection as the rest of CertainTeed's line of roofing products. Landmark Premium (and Algae Resistant AR), Landmark Pro (and AR) and Landmark (and AR) are built with the industry's toughest fiber glass mat base, and their strict dimensional tolerance assures consistency. Complex granule color blends and subtle shadow lines produce a distinctive color selection. Landmark is produced with the unique NailTrak™ nailing feature. Please see the installation instruction section below for important information regarding NailTrak™.



In the Northwest (NW) Region Landmark Pro (AR) is double-branded as Landmark Pro/Architect 80 (AR). Landmark algae-resistant (AR) shingles have the additional attribute of resisting the growth of algae especially in damp regions. AR shingles are not available in all regions.

Colors: Please refer to the product brochure or CertainTeed website for the colors available in your region.

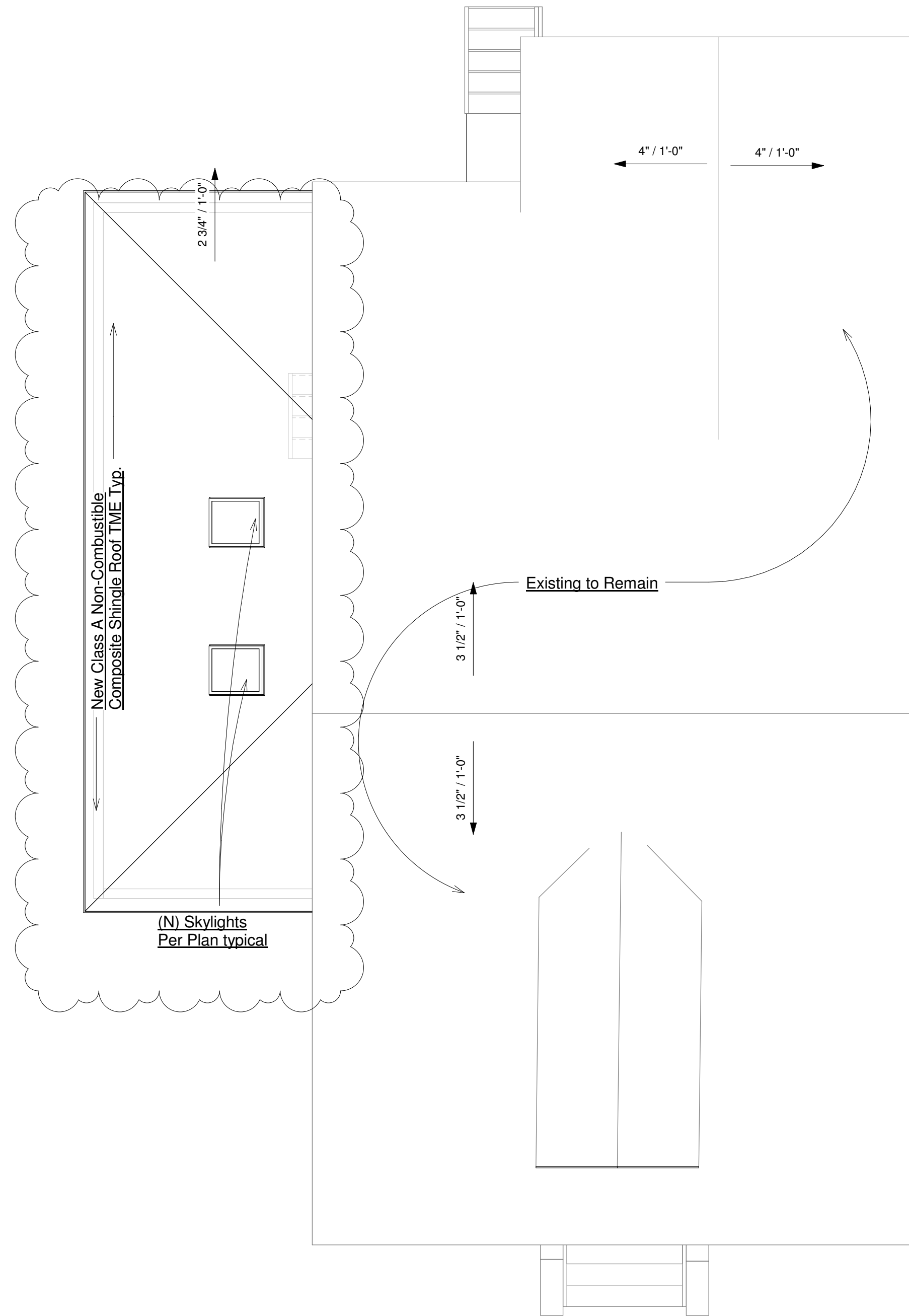
Limitations: Use on roofs with slopes greater than 2° per foot. Low-slope applications (2° to 4° per foot) require additional underlayment. In areas where icing along eaves can cause the back-up of water, apply CertainTeed WinterGuard™ Waterproofing Shingle Underlayment, or its equivalent, according to application instructions provided with the product and on the shingle package.

Product Composition: Landmark series shingles are composed of a fiber glass mat base. Ceramic-coated mineral granules are tightly embedded in carefully refined, water-resistant asphalt. Two pieces of the shingle are firmly laminated together in a special, tough asphaltic cement. All Landmark shingles have self-sealing adhesive strips.

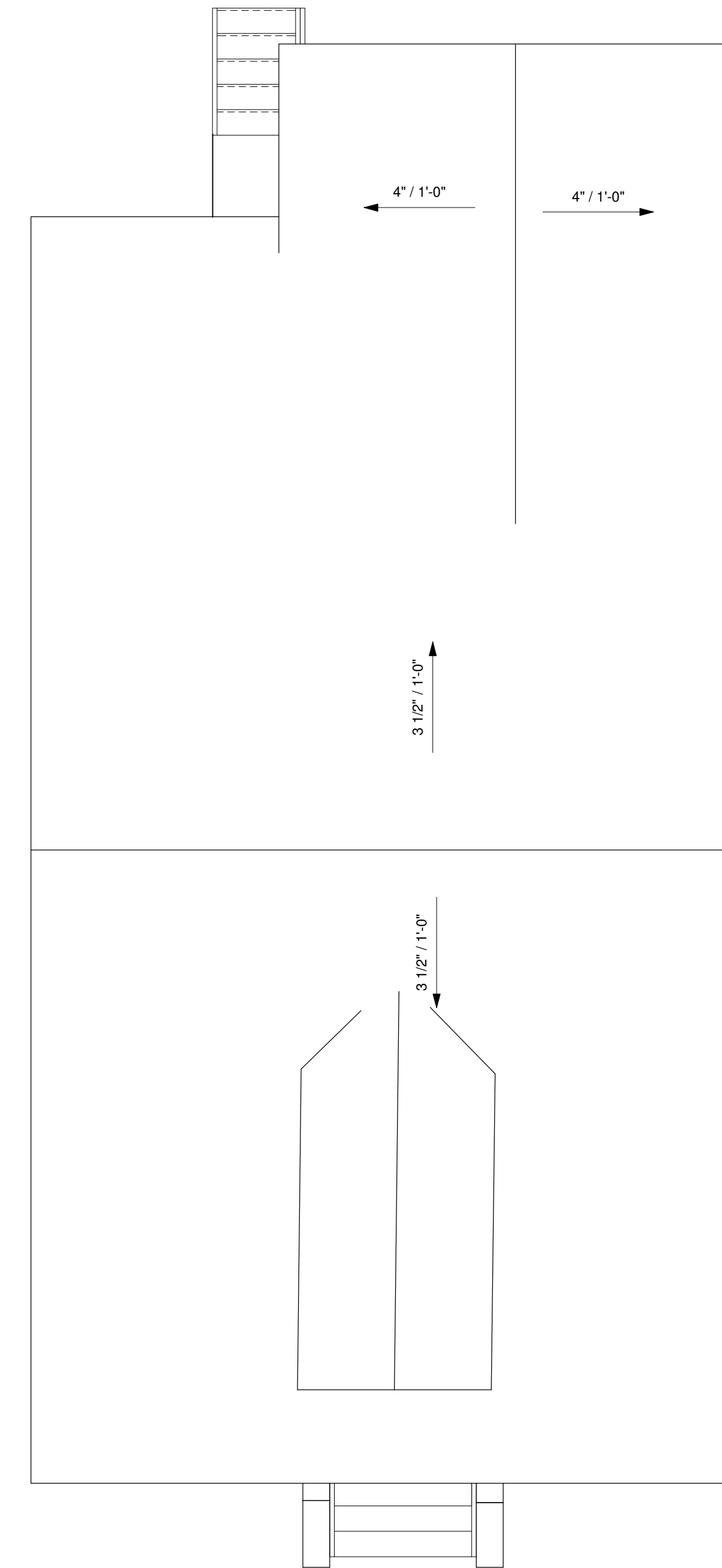
Applicable Standards  
ASTM D3018 Type I  
ASTM D3482  
ASTM E108 Class A Fire Resistance  
ASTM D3161 Class F Wind Resistance  
ASTM D7158 Class H Wind Resistance  
UL 790 Class A Fire Resistance  
ICC Evaluation Report ESR-1389  
ICC Evaluation Report ESR-3537  
CSA Standard A123.5 (Regional)  
Miami-Dade Product Control Approved (Regional)  
Florida Product Approval # FL5444 (Regional)  
TDI Windstorm Resistance (Regional)

Technical Data:	Landmark (and AR)	Landmark Pro* (and AR)	Landmark Premium (and AR)
Weight/Square (approx.)	229 / 240 lb**	250 / 270 lb**	300 lb
Dimensions (overall)	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"	13 1/4" x 38 3/4"
Shingles/Square (approx.)	65	66	66
Weather Exposure	5 5/8"	5 5/8"	5 5/8"

\*Includes Landmark Pro AR/Architect 80  
\*\*Dependent on manufacturing location

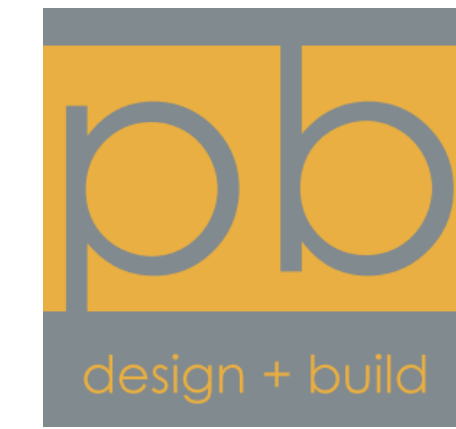


1 Proposed Roof  
1/4" = 1'-0"



2 Existing Roof  
1/4" = 1'-0"

A106



### PROJECT DIRECTORY

**Design Builder:**  
Peter Brandelius  
51 Belle Avenue  
Fairfax CA 94930  
Mobile: 415-235-0278  
peterbrandelius@comcast.net

**Engineer:**  
Rye Jorgensen  
P.O. Box 812  
Petaluma CA 94953

### DESIGN COMPLIANCE

- 2019 California Building Volumes 1 & 2
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Electrical Code
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- 2019 Mandatory Measures
- 2019 County/Municipal Codes & Ordinances

No.	Description	Date
1	Revision 1	8/23/2020

**Brandelius**  
**51 Belle Avenue**  
**Roof Plan**

Project number: 420  
Date: Issue Date  
Drawn by: Peter Brandelius  
Checked by: Peter Brandelius

**A110**

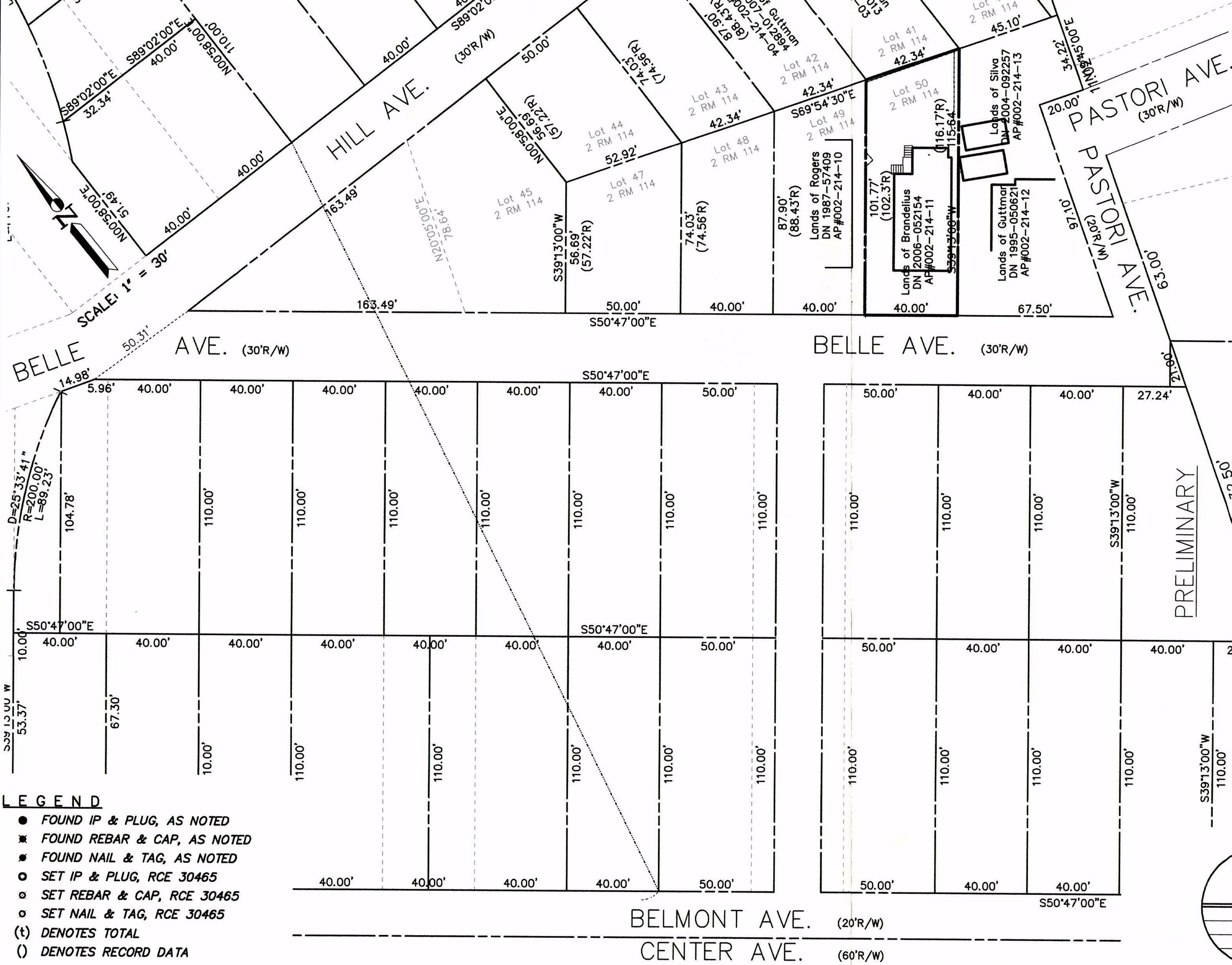
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Server01\drawings\Land Projects 2004\2007\2007-096\dwg\Bas-bndy.dwg, ROS, 7/20

**REFERENCES**

- R1 DENOTES 2 RM 114
- R2 DENOTES DN 2006-052154
- R3 DENOTES ?? PM ???
- R4 DENOTES ?? RS ???



- LEGEND**
- FOUND IP & PLUG, AS NOTED
  - ★ FOUND REBAR & CAP, AS NOTED
  - ✱ FOUND NAIL & TAG, AS NOTED
  - SET IP & PLUG, RCE 30465
  - SET REBAR & CAP, RCE 30465
  - SET NAIL & TAG, RCE 30465
  - (t) DENOTES TOTAL
  - (r) DENOTES RECORD DATA

2007-096\DWG\BAS-BNDY.DWG,ROS

NOTE: All distances are in feet and decimals thereof.

**ENGINEER'S STATEMENT:**

This map correctly represents a survey made by me or under my direction and is based on a field survey in conformance with the requirements of the Professional Lands Surveyor's Act at the request of Brandelius in Oct. 2006.

Signed this 20 Day of July, 2007.

James L. Hallberg  
RCE No. 30465, Exp. 3/31/08



**COUNTY SURVEYOR'S STATEMENT:**

This map has been examined in accordance with Section 8766 of the Professional Land Surveyor's Act dated this 29 day of JULY, 2007.

Craig Tackabery, County Surveyor

**RECORDER'S STATEMENT**

Filed this 20 day of July, 2007, at 11:00 am in Book 2007 of Maps at Page 126 at the request of the Marin County Public Works.

Serial No. 2007-00117 Fees: \$10

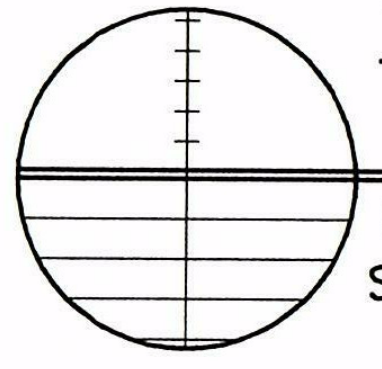
County Recorder Janet Ayer Deputy Don Wilds

**BASIS OF BEARINGS**

The basis of bearing for this survey is --, between the found

**RECORD OF SURVEY**

Lands of BRANDELIUS  
(DN 2006-052154)  
Being Lot 50, Blk. ??, 2 RM 114  
Fairfax, Marin County, California  
Scale: 1" = 30' Date: Jul. 2007



**J.L. ENGINEERING**  
Civil Engineers - Land Surveyors  
San Rafael, California

A.P. No. 002-214-11

Sheet 1 of 1 Sheets



**PROJECT DIRECTORY**

**Design Builder:**  
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**Engineer:**  
Rye Jorgensen  
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**DESIGN COMPLIANCE**

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- 2019 California Fire Code
- 2019 California Energy Code
- 2019 California Residential Building Code
- 2019 California Green Building Standards Code
- 2019 Mandatory Measures
- 2019 County/Municipal Codes & Ordinances

No.	Description	Date

Brandelius  
51 Belle Avenue  
Record of Survey

Project number 420  
 Date Issue Date  
 Drawn by Peter Brandelius  
 Checked by Peter Brandelius

**A112**

1/26/2021 7:53:57 PM