

**GENERAL PROJECT REQUIREMENTS:**

1. FIRE SPRINKLERS REQUIRED IN STORAGE AREA UNDER GAR. PORT UNDER SEPARATE PERMIT. FIRE SPRINKLERS REQUIRED IN STORAGE AREA UNDER GAR BY LICENSED FIRE SPRINKLER DESIGN PROFESSIONAL.
2. HOUSE STREET ADDRESS SHALL BE ADJACENT TO THE FRONT YARD WALL IN HEIGHT. POSTED AS TO BE VISIBLE FROM THE STREET.
3. ALL ELECTRICAL PANELS SHALL BE LOCATED ON OTHER CIRCUIT BREAKER.
4. IF NOT VISIBLE FROM THE STREET, ADDITIONAL SIGNAGE WILL BE REQUIRED.
5. BRUSH AND WEEDS SHALL BE CLEARED A MINIMUM CLEARANCE OF 30 FEET FROM STRUCTURES AND 10 FEET FROM ROADS AND PROPERTY LINES.
6. ADDITIONAL DECEASED APPROVALS:
  - ELECTRICAL LOAD CALC'S DUE AT INSPECTION
  - SIGNAGE PERMITS TO FIRE DEPARTMENT - ON FILE
7. DEMOLITION: SEE PERMIT REQUIREMENTS ON THIS SHEET.
8. REQUIREMENT OF OCCUPANCY: ALL REQUIRED INFORMATION IS LISTED ON TITLE SHEET.
9. **LOADING PERMITS:** ALL CALCULATIONS, SKETCHES OF EXCAVATION, MATERIAL OFF-HALF MATERIAL IMPORT AND TOTAL FOR FOUNDATIONS AND DRIVEWAY. IF THE EXCAVATION, OFF-HALF OR PERMITS ARE REQUIRED, IF EQUAL TO OR GREATER THAN 100 CY, PLANNING COMMISSION APPROVAL IS REQUIRED.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BLDG OFFICIAL PRIOR TO REQUEST OF THE CF-4R TO THE OWNER AND BLDG OFFICIAL PRIOR TO REQUEST OF THE CF-4R TO THE OWNER AND BLDG OFFICIAL PRIOR TO REQUEST OF PERFORMANCE TYPE ANALYSIS. THE CF-4R MUST ALSO BE PROVIDED.

**Non-Residential Engineering**

THE PROPOSED DESIGN FOR THIS PROJECT HAS BEEN REVIEWED BY THE ENGINEER FOR THE FOLLOWING:

- \* A.P.N.# 02H-183-10
- \* A.P.N.# 02H-183-12
- \* A.P.N.# 02H-183-16
- \* A.P.N.# 02H-183-07

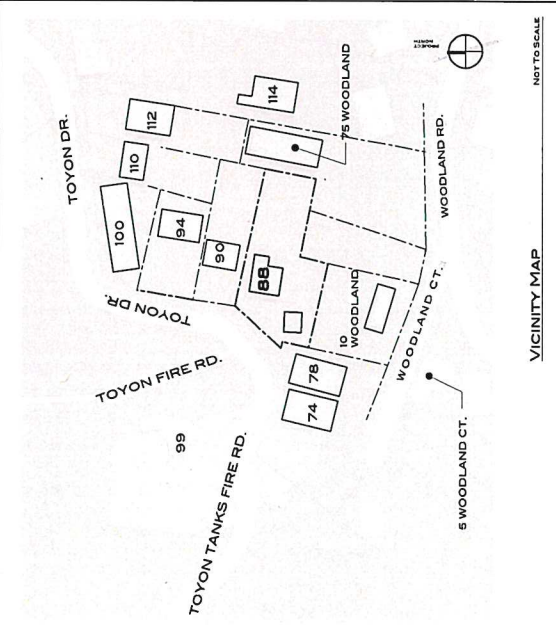


**ARCHITECT'S RENDERING OF PROPOSED ENTRY**

**APPLICABLE CODE NOTICE:**

ALL CONSTRUCTION REGARDLESS OF DETAILS ON PLANS, SHALL COMPLY WITH THE FOLLOWING:

- 2019 CALIFORNIA BUILDING CODE (CBC)
- 2019 CALIFORNIA RESIDENTIAL CODE (CRC)
- 14.2-FAMILY DWELLINGS ONLY
- 2019 CALIFORNIA ELECTRICAL CODE (CEC)
- 2019 CALIFORNIA PLUMBING CODE (CPC)
- 2019 CALIFORNIA MECHANICAL CODE (CMC)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS
- 2019 CALIFORNIA ENERGY CODE
- CITY OF FAIRFAX LOCAL CODES
- THIS PROJECT IS LOCATED IN A WILD-LAND URBAN INTERFACE (WUI) AREA. ALL EXTERIOR IMPROVEMENT, CONSTRUCTION MATERIAL, AND SKYLIGHTS SHALL COMPLY WITH CFC CHAPTER 49, CFC CHAPTER 70, OR CFC SECTION 4337.



**VICINITY MAP**

**SCOPE OF WORK**

1. COMPLETE REMODEL TO EXISTING 2-STORY, SINGLE-FAMILY DWELLING.
2. (N) LOWER FLOOR 3 BEDROOM ADDITION.
3. EXTEND LIVING SPACE AT EXISTING PORCH AT FRONT ENTRY & AT (E) DECK NEXT TO THE KITCHEN WITH REPAIRED ROOF.
4. REPAIR (E) DECK & REPLACE GUARDRAIL.
5. REPAIR AND REFINISH (E) POOL.
6. REPAIR AND REFINISH (E) PATIO.
7. TOPPOUR CONCRETE OVER EXISTING CONCRETE PLUS MAINTENANCE AND FUEL/PYROLYTIC SPECIES REMOVAL PER RVFD.

**PLANNING & ZONING DATA**

ADDRESS: 88 TOYON DR., FAIRFAX, CA 94904  
 PERMIT #: 2024-003-081-39  
 ZONING: RS-4  
 OCCUPANCY GROUP: R-20(1)  
 TOTAL LOT AREA: 10,722 SF  
 AVERAGE SLOPE: 2.1% PER 0.1%  
 PERMITTED: 2  
 ZONING TYPE: RS-4  
 BLOCK TYPE: V0 PER CBC 601

**LOT COVERAGE**

MAX LOT COVERAGE RATIO: 38%  
 MAX LOT COVERAGE AREA: 4,074 SF

**LOT COVERAGE**

BUILDING FOOTPRINT: 1,709 SF  
 DECKS: 856 SF  
 OVERHANGS > 24": 0 SF  
 HANDICAP UP ABOVE GRADE: 251 SF  
 LOT COVERAGE SUBTOTAL: 2,816 SF  
 CALCULATED LOT COVERAGE: 26.3%

**FLOOR AREA RATIO**

MAX FLOOR AREA RATIO: 38%  
 MAX FLOOR AREA: 4,074 SF

**FLOOR AREA**

LOWER FLOOR: 497 SF  
 UPPER FLOOR: 1,033 SF  
 FLOOR AREA SUBTOTAL: 1,530 SF  
 TOTAL ADDED FLOOR AREA: 789 SF  
 CALCULATED FAR: 10.4%  
 GARAGE STORAGE: 0 SF  
 STORAGE: 0 SF

**MAIN STRUCTURE**

MAX BLDG. HT.: 35 FT MAX. SEE PLAN  
 FRONT PORCH: 5 FT MIN. SEE PLAN  
 REAR YARD: 5 FT MIN. SEE PLAN  
 SIDE YARDS (20FT COMBINED): 5 FT MIN.

**ACCESSORY STRUCTURE**

MAX BLDG. HT.: 15 FT MAX. SEE PLAN  
 BLDG. HT.: 0- FT 0-IN. SEE PLAN

**PARKING SPACES (EXIST):** COVERED: 3 MIN. ENCLOSED: 3 UNCOVERED: 3

**FEMA FLOOD ZONE DATA:** N/A  
**WUII ZONE:** YES

**PROJECT CONTACTS**

**OWNER:**  
 GUNDE FOSTER  
 1010 3RD FRANCIS DRAKE BLVD  
 KENTFIELD, CA 94904  
 T: 415-223-8891

**DESIGNER:**  
 HOLLER PARLETTE ARCHITECTURE & LANDSCAPES  
 SUITE 204  
 1010 3RD FRANCIS DRAKE BLVD  
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**ENGINEER:**  
 CIVIL ENGINEER  
 GLENN DERTH  
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**STRUCTURAL ENGINEER:**  
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 P.O. BOX 812  
 FAIRFAX, CA 94933  
 T: 707-981-7284

**BUILDER:**  
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 KENTFIELD, CA 94904  
 T: 415-223-8891

**SHEET INDEX**

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 A03 ARCHITECTURAL SHEET

**ARCHITECTURAL SHEET:**  
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 A99 EXISTING FLOOR PLAN  
 A100 EXISTING FLOOR PLAN

**ARCHITECT:**  
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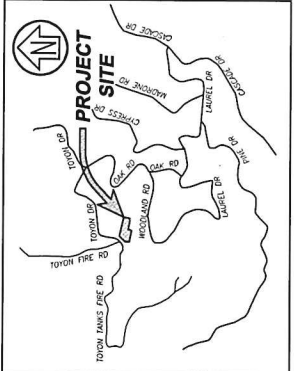
Consuelo Strick  
 Engineering Group, Inc.  
 4150 Wilshire Blvd., Suite 1000  
 Beverly Hills, CA 90210  
 Phone: (310) 274-1111  
 Fax: (310) 274-1112  
 Email: info@cswe.com

DATE	DESCRIPTION	BY	CHECKED
06/27/17	REVISION TO EXISTING POSE PLAN	CSW	CSW
06/27/17	REVISION TO EXISTING POSE PLAN	CSW	CSW
06/27/17	REVISION TO EXISTING POSE PLAN	CSW	CSW
06/27/17	REVISION TO EXISTING POSE PLAN	CSW	CSW
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06/27/17	REVISION TO EXISTING POSE PLAN	CSW	CSW

APN 003-081-39  
**TOPOGRAPHIC MAP**  
 88 TOYON DRIVE

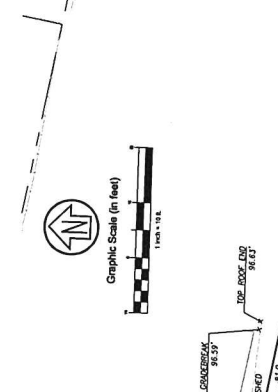
City of Fairfax  
 County of Marin  
 State of California  
 Prepared Under the Direction of

Scale: 1" = 10'  
 Date: 02/28/17  
 Project Number: 51107.00  
 Plan File: 04.dwg



**ABBREVIATIONS**

--- (dashed line)	BOUNDARY (SEE NOTE 6)
--- (dashed line with dots)	BOUNDARY ADJOINING (SEE NOTE 6)
---	BEILING
---	CONTOUR MAJOR (5' INTERNAL)
---	CONTOUR MAJOR (1' INTERNAL)
---	FENCE
---	GAS LINE
---	OVERHEAD UTILITY LINE
---	TOP OF BANK
---	TOP OF BANK
---	RETAINING WALL
---	WATER
---	CONTROL POINT



**ABBREVIATIONS**

---	ADJOINING	MANUFACTURER	WATER DISTRICT
---	ADJOINING	MANUFACTURER	WATER DISTRICT
---	ADJOINING	MANUFACTURER	WATER DISTRICT
---	ADJOINING	MANUFACTURER	WATER DISTRICT
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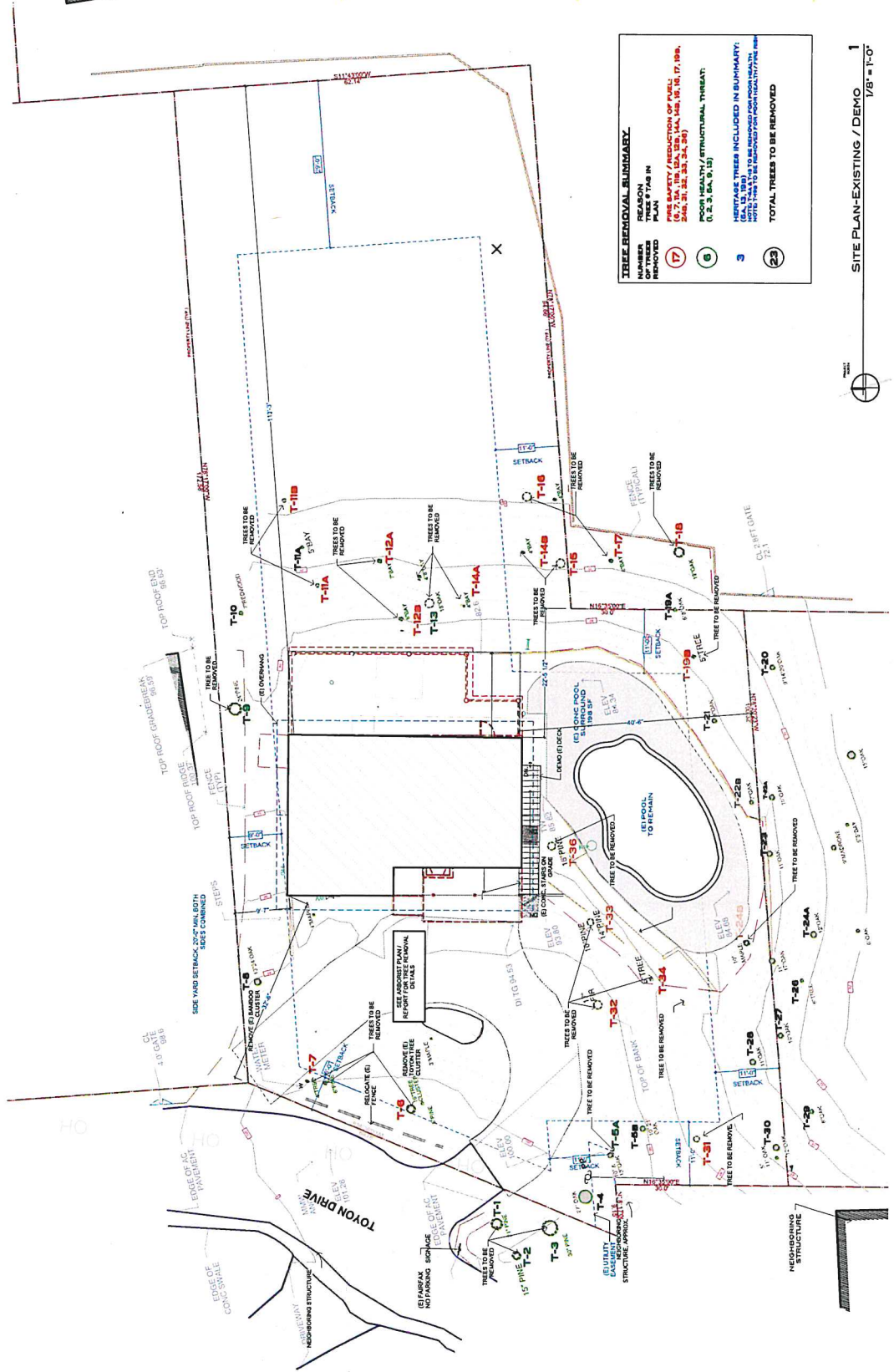
**NOTES**

- DISTANCES SHOWN ARE IN FEET AND DECIMALS THEREOF.
- HORIZONTAL DATUM IS ASSUMED.
- VERTICAL DATUM IS ASSUMED ELEVATION 100.00'.
- PROPERTY SHOWN WAS PERFORMED BY FIELD SURVEY IN MAY 2017.
- EXACT ROUTE MAY DIFFER FROM WHAT IS SHOWN FOR UNDERGROUND UTILITIES.
- EXISTING UNDERGROUND UTILITIES SHOWN ARE NOT SHOWN HEREON.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A BOUNDARY SURVEY PERFORMED BY CONSULTER-STRECH ENGINEERING GROUP, INC.
- BOUNDARY INFORMATION SHOWN HEREON IS ALSO BASED ON THE RECORD OF SURVEY FOR THE LANDS OF RUSSELL PREPARED BY CONSULTER-STRECH ENGINEERING GROUP, INC. ON FEBRUARY 24, 2014 IN BOOK 2918 OF MAPS AT PAGE 12 MARIN COUNTY RECORDS.
- EXISTING EASEMENTS ENGINEERING 88 TOYON DRIVE IN FAIRFAX, CALIFORNIA WHICH ARE APN 003-081-39 ARE SHOWN HEREON.



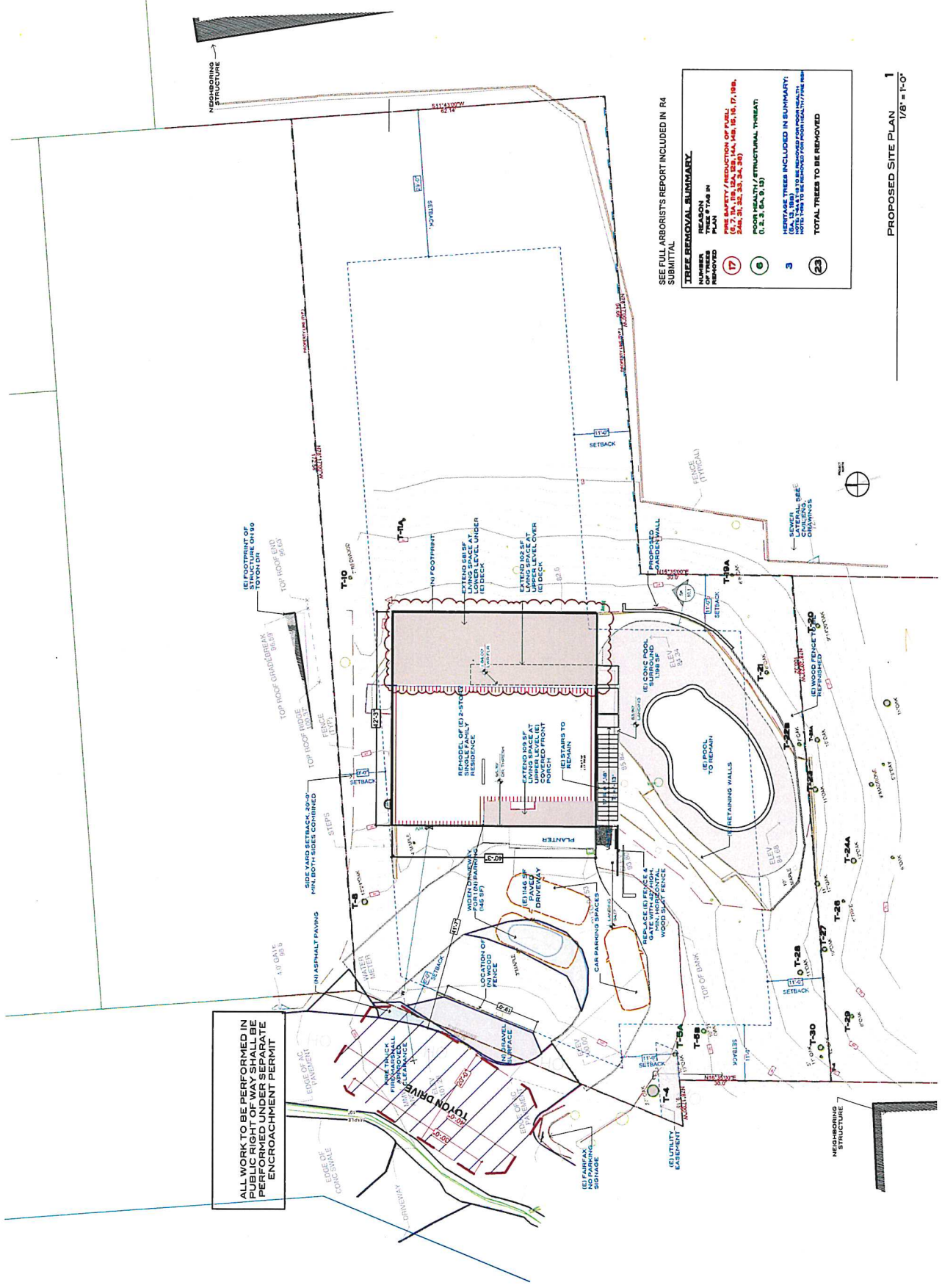


NOTE: SEE FULL ARBORIST'S REPORT FOR TREE DISPOSITION & CONDITION AND REMOVAL DETAILS



SITE PLAN-EXISTING / DEMO 1/8" = 1'-0"

DATE:	ISSUE:
12/23/20	01
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12/23/20	100



ALL WORK TO BE PERFORMED IN PUBLIC RIGHT OF WAY SHALL BE PERFORMED UNDER SEPARATE ENCROACHMENT PERMIT

SEE FULL ARBORIST'S REPORT INCLUDED IN R4 SUBMITTAL

NUMBER OF TREES TO BE REMOVED	REASON
17	POOR HEALTH / STRUCTURAL THREAT: (0, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25)
6	POOR HEALTH / STRUCTURAL THREAT: (0, 1, 2, 3, 4, 5)
3	HERITAGE TREES INCLUDED IN SUMMARY: (0, 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25)
23	TOTAL TREES TO BE REMOVED

NOTE: TREES TO BE REMOVED FOR POOR HEALTH, STRUCTURAL THREAT, OR HERITAGE TREES INCLUDED IN SUMMARY.

PROPOSED SITE PLAN 1  
 1/8" = 1'-0"



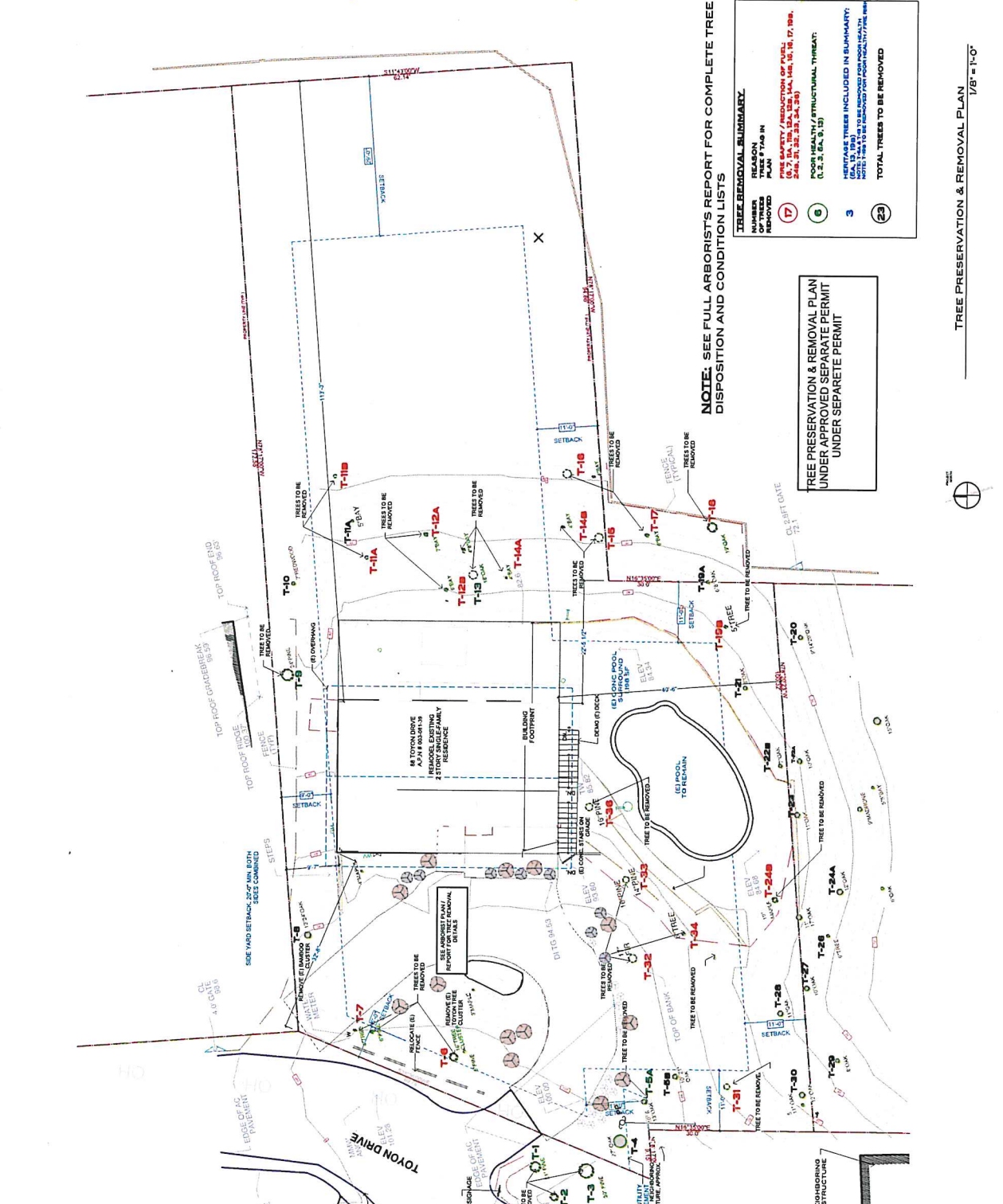




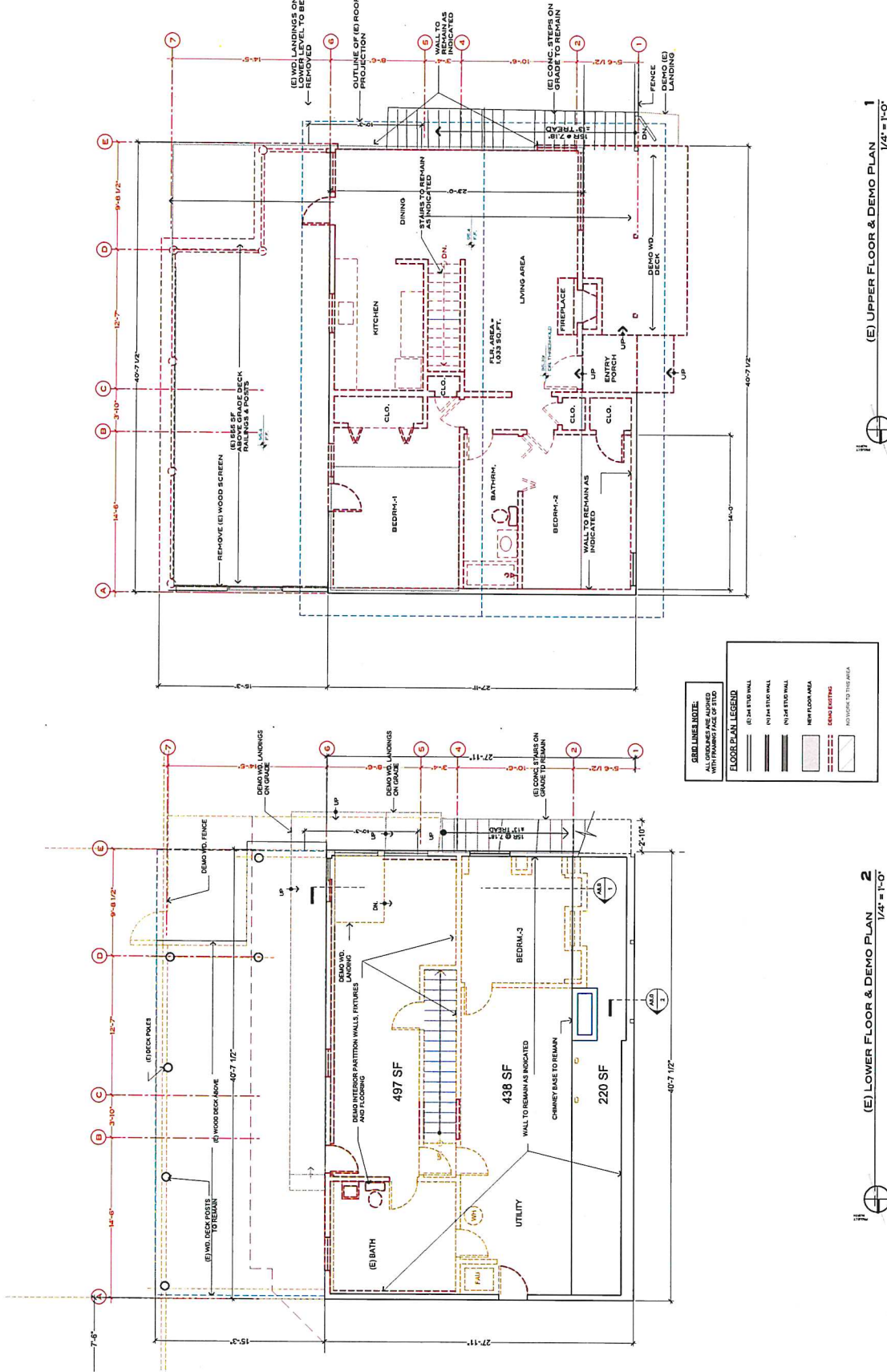


**TREE PLANTING, CLEARANCE & MAINTENANCE NOTES:**

1. PLANT SPECIES AND CURRENT DIMENSIONS
2. PLANTING SPECIFICATIONS
3. CLEARANCE SPECIFICATIONS
4. MAINTENANCE SPECIFICATIONS
5. ADJACENCY TO EXISTING UTILITIES
6. ADJACENCY TO EXISTING STRUCTURES
7. ADJACENCY TO EXISTING DRIVEWAYS
8. ADJACENCY TO EXISTING FENCES
9. ADJACENCY TO EXISTING SETBACKS
10. ADJACENCY TO EXISTING SIDEWALKS
11. ADJACENCY TO EXISTING STAIRS
12. ADJACENCY TO EXISTING TERRACES
13. ADJACENCY TO EXISTING PATIOS
14. ADJACENCY TO EXISTING PORCHES
15. ADJACENCY TO EXISTING DECKS
16. ADJACENCY TO EXISTING BALCONIES
17. ADJACENCY TO EXISTING ROOFS
18. ADJACENCY TO EXISTING FOUNDATIONS
19. ADJACENCY TO EXISTING FOUNDATIONS
20. ADJACENCY TO EXISTING FOUNDATIONS



TREE PRESERVATION & REMOVAL PLAN  
 1/8" = 1'-0"



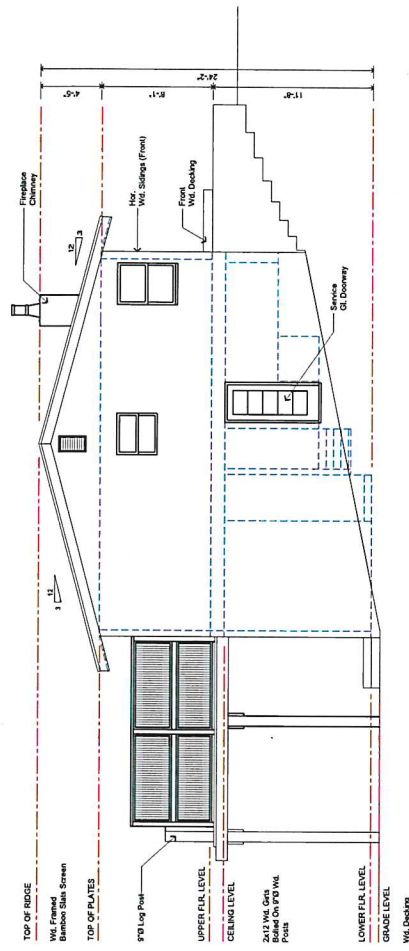




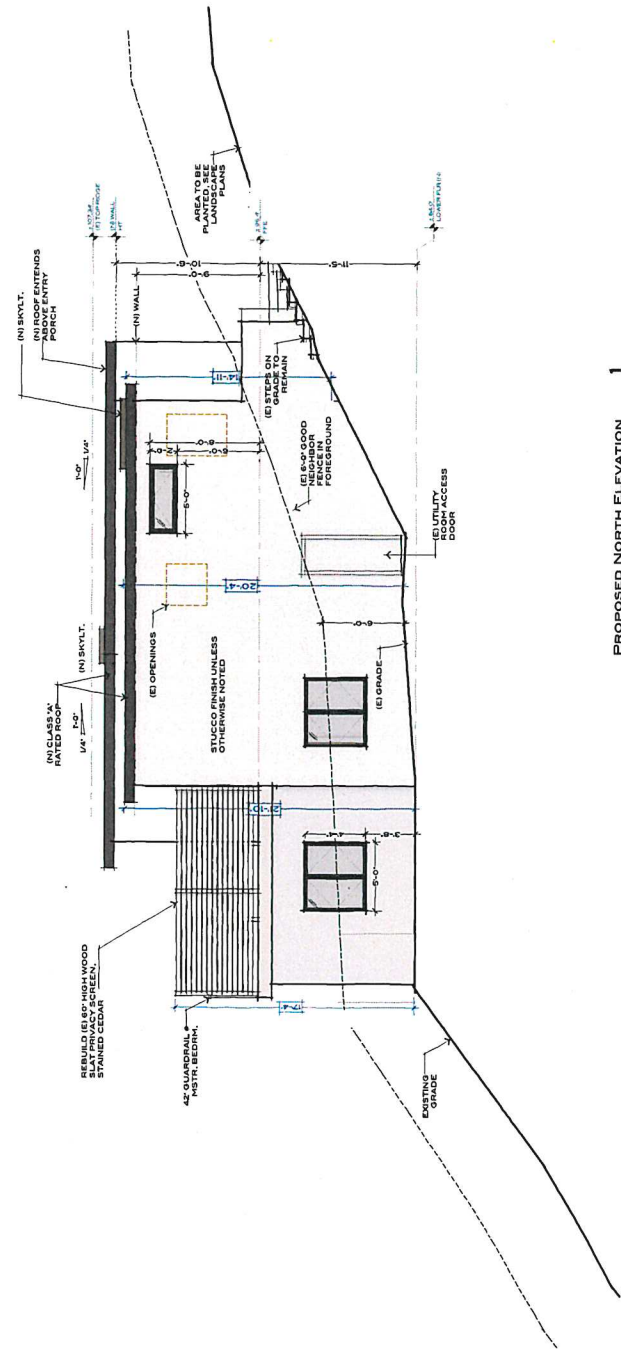
- WALL REQUIREMENTS FOR EXTERIOR WALL COVERING AND OPEN ROOF EAVES**
- THE EXTERIOR WALL COVERING, OR WALL ASSEMBLY SHALL BE OF NON-COMBUSTIBLE MATERIAL OR SHALL BE PROTECTED BY AN EXTERIOR WALL COVERING OF NON-COMBUSTIBLE MATERIAL OR HEAVY TIMBER OR LOG WALL CONSTRUCTION.
  - EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, TERMINATING AT Z' NOMINAL SOLID ROOFING MATERIAL OR AT THE EXTERIOR FINISH OF THE ROOF, OR TERMINATING AT THE ENCLOSURE OF ENCLOSED EAVES.
  - THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF NON-COMBUSTIBLE MATERIAL OR HEAVY TIMBER OR LOG WALL CONSTRUCTION. X-PYRUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE UNDERSIDE OF THE ROOF DECK SHALL BE PROTECTED BY A PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK.
  - THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE PROTECTED BY A PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK, OR THE EXTERIOR WALL COVERING SHALL BE PROTECTED BY A PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK.

STORY POLE MARKER	
POLE #1 POLE LENGTH ABOVE SURFACE BELOW (1) 100'-0" (1) 100'-0" (1) 100'-0"	
POLE #2 POLE LENGTH ABOVE SURFACE BELOW (1) 100'-0" (1) 100'-0" (1) 100'-0"	
POLE #3 POLE LENGTH ABOVE SURFACE BELOW (1) 100'-0" (1) 100'-0" (1) 100'-0"	
POLE #4 POLE LENGTH ABOVE SURFACE BELOW (1) 100'-0" (1) 100'-0" (1) 100'-0"	
POLE #	HEIGHT ABOVE REF. BASE SURFACE (E) BELOW (E) BELOW
BASE ELEV. 9' GRADE	TOP OF BLDG. CORNER OR RIDGE
11	106.0' 106.0'
12	107.0' 107.0'
13	108.0' 108.0'
14	109.0' 109.0'
15	110.0' 110.0'
16	111.0' 111.0'
17	112.0' 112.0'
18	113.0' 113.0'
19	114.0' 114.0'
20	115.0' 115.0'
21	116.0' 116.0'
22	117.0' 117.0'
23	118.0' 118.0'
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- WALL REQUIREMENTS FOR EXTERIOR WALL COVERING AND OPEN ROOF EAVES.**
- THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE OF NONCOMBUSTIBLE MATERIAL, OR SHALL BE OF HEAVY-TIMBER OR HEAVY-TIMBER OR LOU WALL CONSTRUCTION.
  - EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, TERMINATING AT 2" NOMINAL SOLID UNFINISHED WOOD SHINGLES OR HEAVY-TIMBER OR LOU WALLS TERMINATING AT THE ENCLOSURE OF ENCLOSED EAVES.
  - THE EXPOSED ROOF DECK ON THE UNDERSIDE OF UNENCLOSED ROOF EAVES SHALL CONSIST OF NONCOMBUSTIBLE MATERIAL, OR 1-LAYER 5/8" TYPE X GYPSUM SHEATHING APPLIED TO THE UNDERSIDE OF THE ROOF DECK OR THE EXTERIOR PORTION OF THE ROOF DECK. THE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, OR GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE EXTERIOR PORTION OF THE ROOF DECK. THE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK.
  - THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILING SHALL BE PROTECTED BY NONCOMBUSTIBLE MATERIAL, OR GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE EXTERIOR PORTION OF THE ROOF DECK. THE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK.



EXISTING NORTH ELEVATION 2  
1/4" = 1'-0"



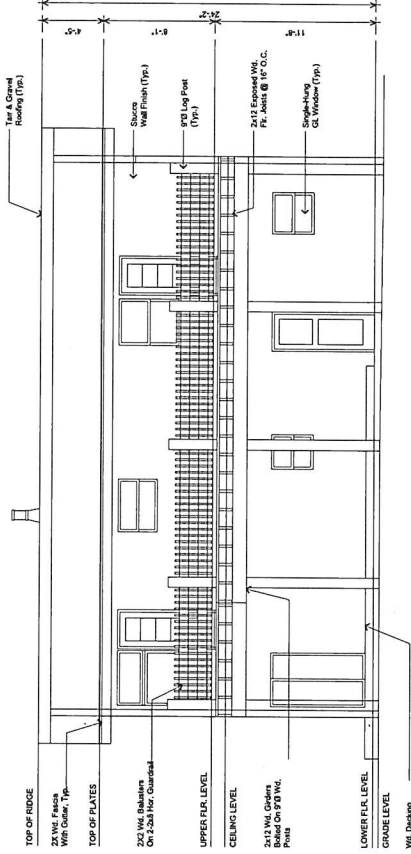
PROPOSED NORTH ELEVATION 1  
1/4" = 1'-0"



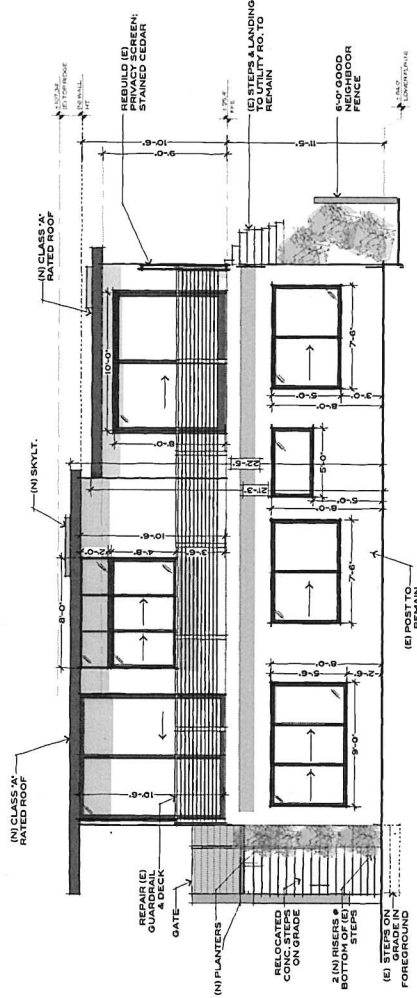
**WALL REQUIREMENTS FOR EXTERIOR WALL COVERING AND OPEN ROOF EAVES**

- A. THE EXTERIOR WALL COVERING OR WALL ASSEMBLY SHALL BE NONCOMBUSTIBLE OR SHALL BE AN IGNITION-RESISTANT MATERIAL OR HEAVY TIMBER OR LOG WALL CONSTRUCTION.
- B. EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE EXTERIOR WALL TO THE FINISH CEILING LINE, WITH A SOLID WOOD BALUSING BETWEEN RAFTERS OR JOISTS, OR TERMINATING AT THE ENCLOSURE OF ENCLOSED EAVES.
- C. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NONCOMBUSTIBLE OR SHALL BE AN IGNITION-RESISTANT MATERIAL OR HEAVY TIMBER OR LOG WALL CONSTRUCTION. SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK.
- D. THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILINGS SHALL BE NONCOMBUSTIBLE OR SHALL BE AN IGNITION-RESISTANT MATERIAL OR HEAVY TIMBER OR LOG WALL CONSTRUCTION. SHEATHING APPLIED BEHIND AN EXTERIOR COVERING ON THE PORTION OF AN HOUR FIRE RESISTIVE ASSEMBLY APPLIED TO THE UNDERSIDE OF THE ROOF DECK.

DATE:	REVISION:
08/20/18	1
09/11/18	2
10/15/18	3
11/15/18	4
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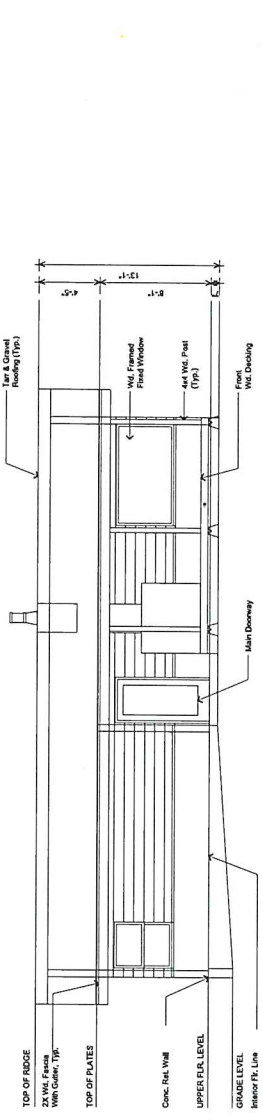
EXISTING EAST ELEVATION 2  
 1/4" = 1'-0"



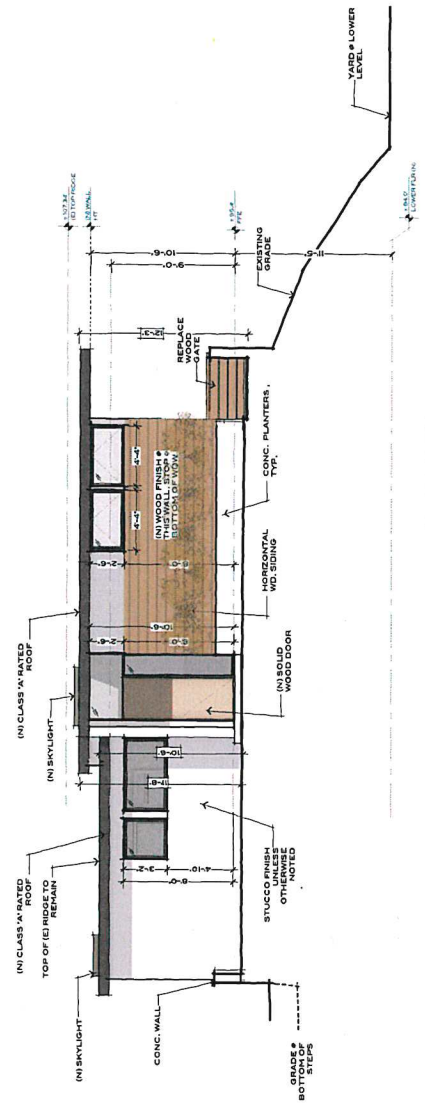
PROPOSED EAST ELEVATION 1  
 1/4" = 1'-0"



- WALL REQUIREMENTS FOR EXTERIOR WALL COVERING AND OPEN ROOF EAVES**
- THE EXTERIOR WALL COVERING, OR WALL ASSEMBLY SHALL BE A MINIMUM 1 1/2" THICK AND SHALL BE OF NON-IGNITION-RESISTANT MATERIAL, OR HEAVY-TIMBER OR LOG WALL CONSTRUCTION.
  - EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE EXTERIOR WALL TO THE ROOF, TERMINATING AT A NOMINAL SOLID WOOD FINISH ON THE ROOF. THE COVERING SHALL BE NON-IGNITION-RESISTANT MATERIAL, OR HEAVY-TIMBER OR LOG WALL CONSTRUCTION, TERMINATING AT THE ENCLOSURE OF ENCLOSED EAVES.
  - THE EXPOSED ROOF DECK ON THE UNDERSIDE OF THE EXTERIOR WALL COVERING SHALL BE A MINIMUM 1 1/2" THICK AND SHALL BE OF NON-IGNITION-RESISTANT MATERIAL, OR HEAVY-TIMBER OR LOG WALL CONSTRUCTION. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF THE EXTERIOR WALL COVERING SHALL BE A MINIMUM 1 1/2" THICK AND SHALL BE OF NON-IGNITION-RESISTANT MATERIAL, OR HEAVY-TIMBER OR LOG WALL CONSTRUCTION. THE EXPOSED ROOF DECK ON THE UNDERSIDE OF THE EXTERIOR WALL COVERING SHALL BE A MINIMUM 1 1/2" THICK AND SHALL BE OF NON-IGNITION-RESISTANT MATERIAL, OR HEAVY-TIMBER OR LOG WALL CONSTRUCTION.
  - THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILING SHALL BE A MINIMUM 1 1/2" THICK AND SHALL BE OF NON-IGNITION-RESISTANT MATERIAL, OR HEAVY-TIMBER OR LOG WALL CONSTRUCTION. THE EXPOSED UNDERSIDE OF EXTERIOR PORCH CEILING SHALL BE A MINIMUM 1 1/2" THICK AND SHALL BE OF NON-IGNITION-RESISTANT MATERIAL, OR HEAVY-TIMBER OR LOG WALL CONSTRUCTION.

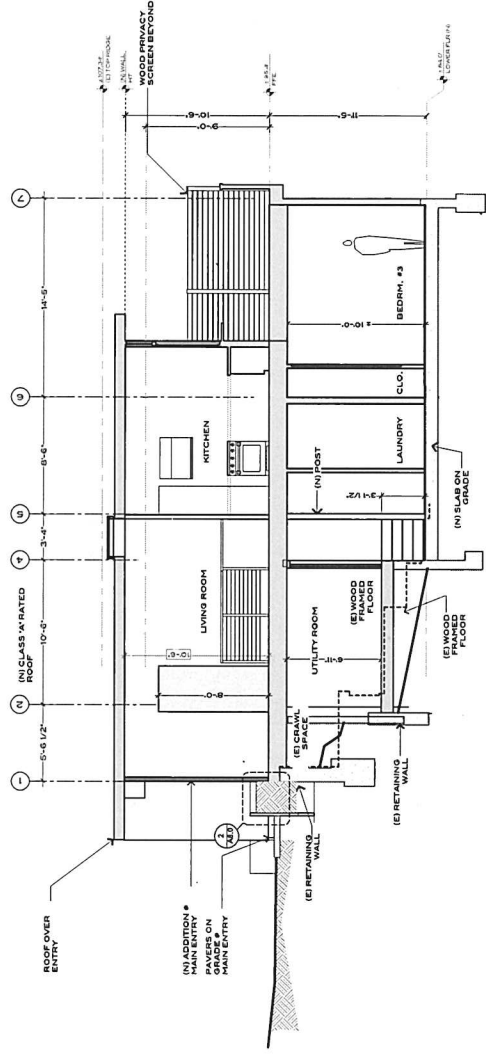


EXISTING WEST ELEVATION 1  
 1/4" = 1'-0"



PROPOSED WEST ELEVATION 1  
 1/4" = 1'-0"



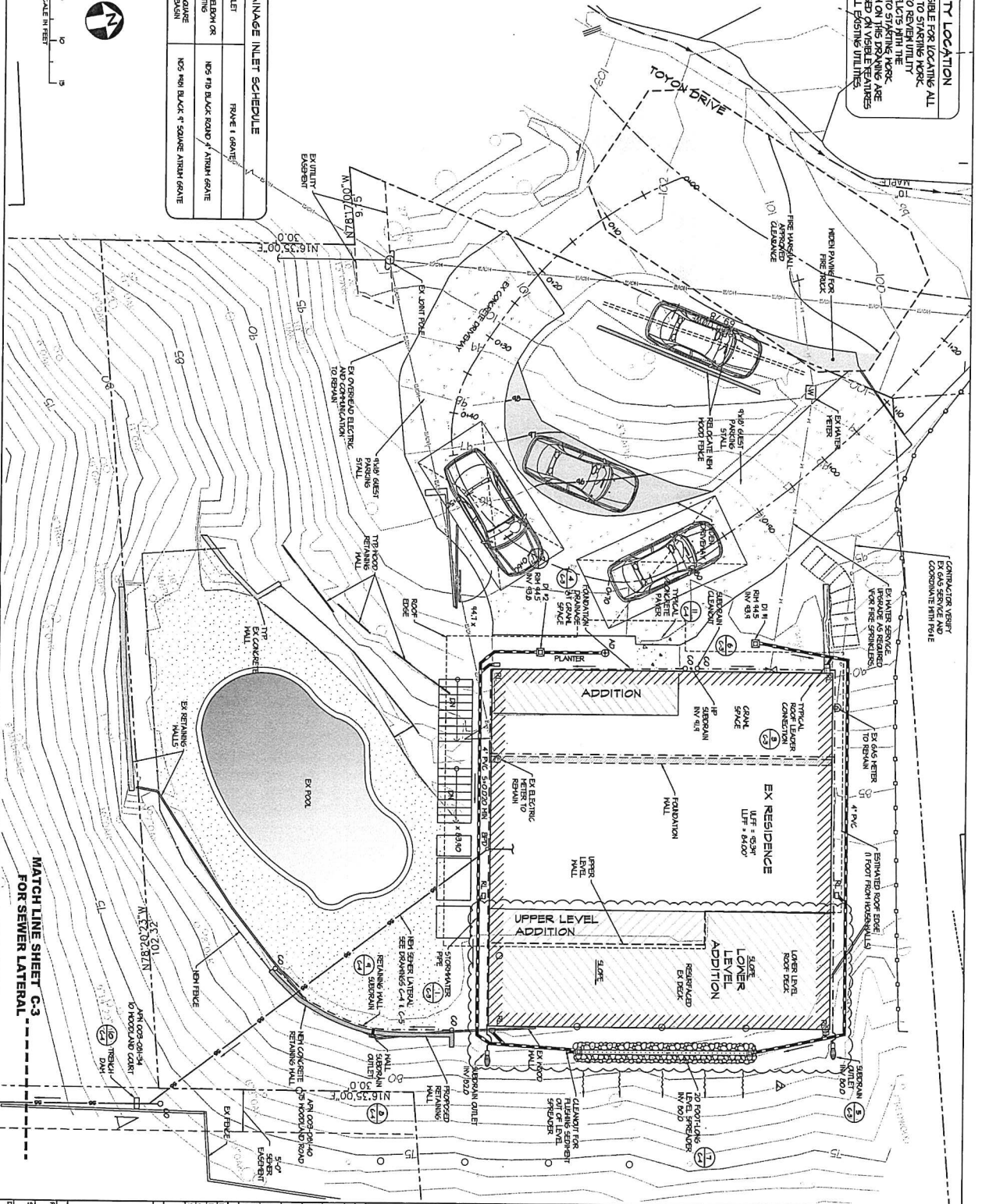


PROPOSED SITE SECTION 1  
1/4" = 1'-0"



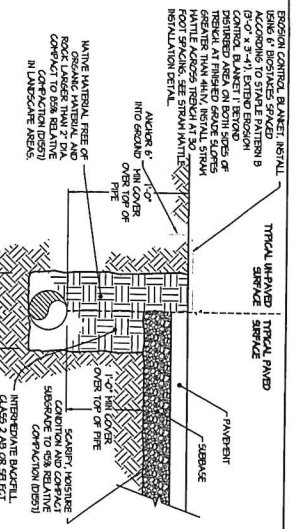
**EXISTING UTILITY LOCATION**  
 CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTRACT THE ENGINEER TO REVEAL UTILITY LOCATION AND NOT COME IN CONTACT WITH THE UTILITIES. THE ENGINEER'S RESPONSIBILITY FOR UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSIGNED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.

DRAINAGE INLET SCHEDULE			
NUMBER	DROP INLET	FRAME 1 GRAVE	FRAME 2 GRAVE
AD	4" PVC 6" DEPTH 8" BROW OR ANGLE FITTING	105 119 BLACK ROUND 4" ATRYUM GRAVE	105 119 BLACK ROUND 4" ATRYUM GRAVE
1	105 119 BLACK ROUND 4" ATRYUM GRAVE	105 119 BLACK ROUND 4" ATRYUM GRAVE	105 119 BLACK ROUND 4" ATRYUM GRAVE

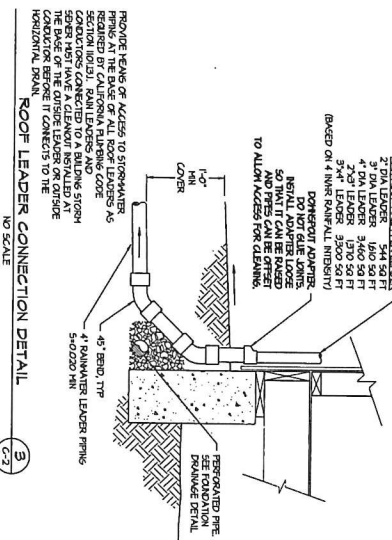


<b>PROGRESS PRINT</b> NOT FOR CONSTRUCTION		LTD Engineering Inc 1959 Highway 200, Suite 115 Fairfax, CA 94930 415.454.1111 info@ltdengineering.com	
ISSUED FOR REVIEW NOT FOR CONSTRUCTION		APN 003-081-39 88 BAYLOR BLVD FAIRFAX, CALIFORNIA	
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<b>REVISIONS</b>			
NO.	DATE	DESCRIPTION	BY
1	12/11/2020	ISSUED FOR REVIEW	E. MATHEN
2	12/11/2020	SCHEMATIC DEVELOPMENT	E. MATHEN
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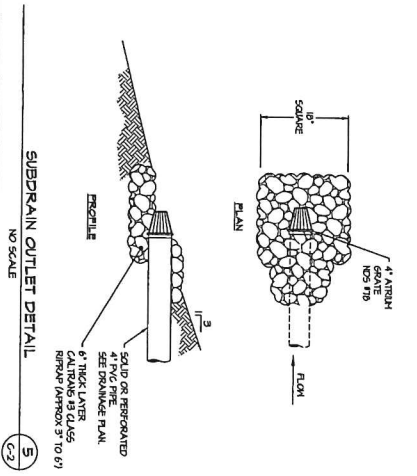
GRADING AND DRAINAGE PLAN  
 SHEET NO. 2 OF 6  
 DRAWING NO. C-2



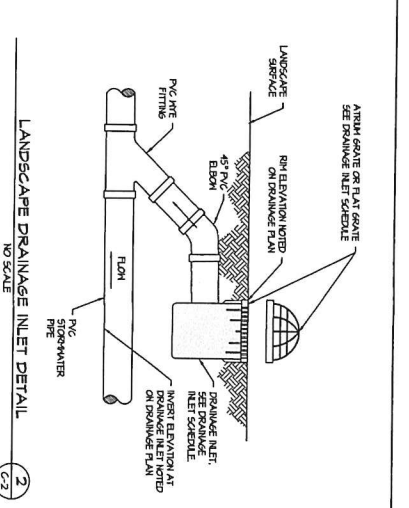
**TYPICAL DRAINAGE PIPE TRENCH DETAIL**  
NO SCALE



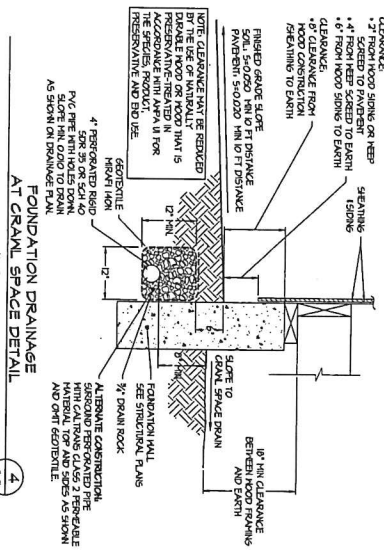
**ROOF LEADER CONNECTION DETAIL**  
NO SCALE



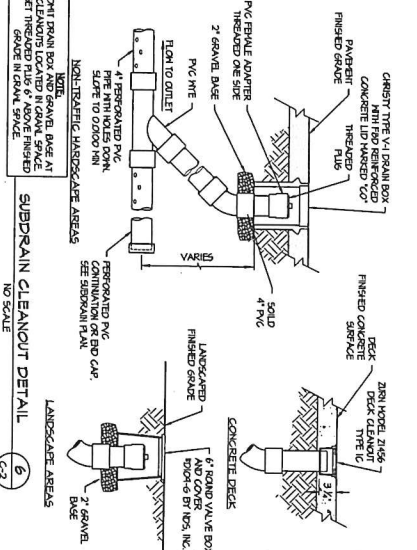
**SUBRAIN OUTLET DETAIL**  
NO SCALE



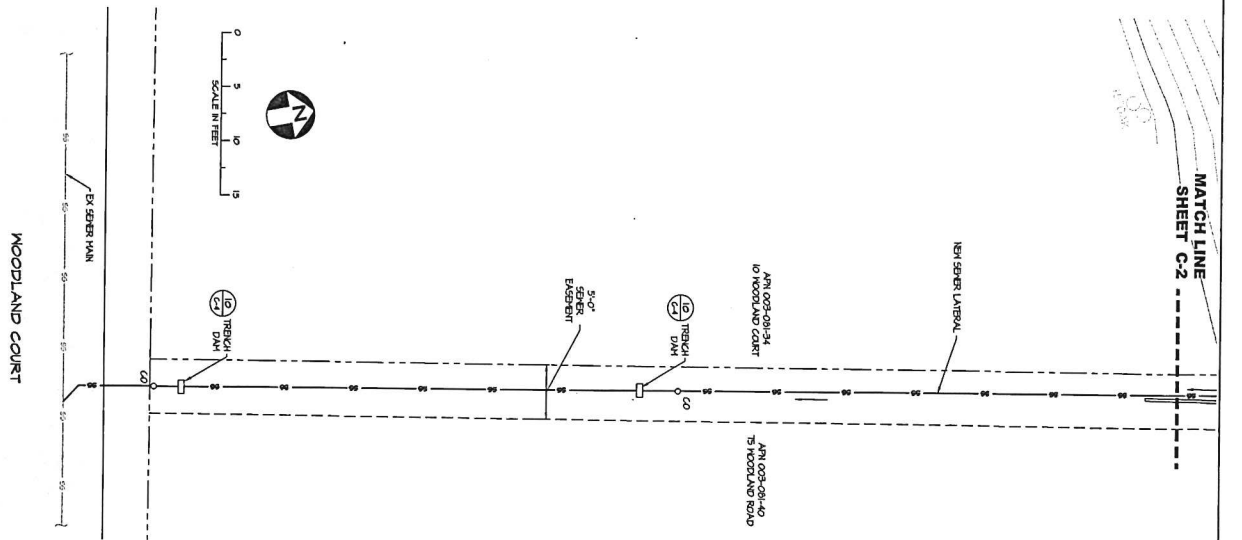
**LANDSCAPE DRAINAGE INLET DETAIL**  
NO SCALE



**FOUNDATION DRAINAGE AT CRANK SPACE DETAIL**  
NO SCALE



**SUBRAIN CLEANOUT DETAIL**  
NO SCALE



**PROGRESS PRINT**  
NOT FOR CONSTRUCTION

ISSUED FOR PERMIT  
NOT FOR CONSTRUCTION

**LTD Engineering, Inc.**  
1000 Montgomery Drive, Suite 215  
San Rafael, CA 94903  
Tel: 415.456.1111  
www.ltd-engineering.com

**APN 003-081-39**  
**88 TOYON DRIVE**  
**FAIRFAX, CALIFORNIA**

NO.	DATE	DESCRIPTION
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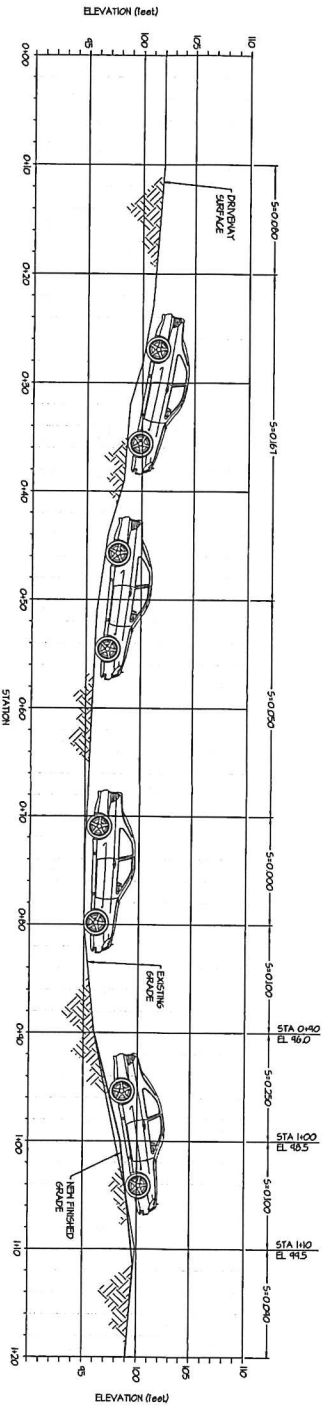
**DESIGNED BY:** E. MATHIAS  
**DRAWN BY:** E. MATHIAS  
**CHECKED BY:** E. MATHIAS  
**APPROVED BY:** E. MATHIAS  
**SCALE:** AS SHOWN  
**DATE:** 12/20/20

**REVISIONS:**

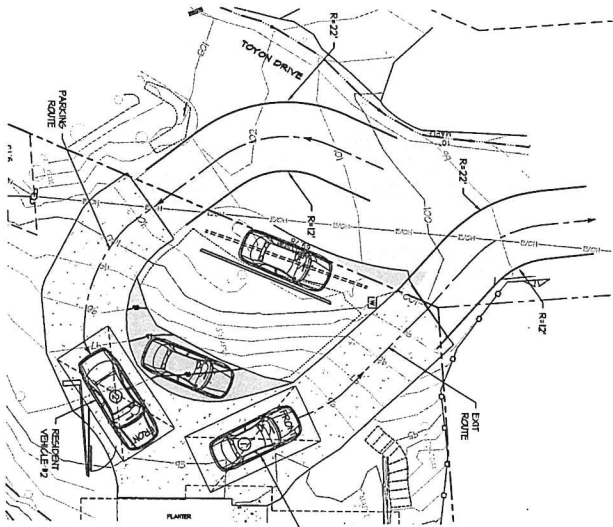
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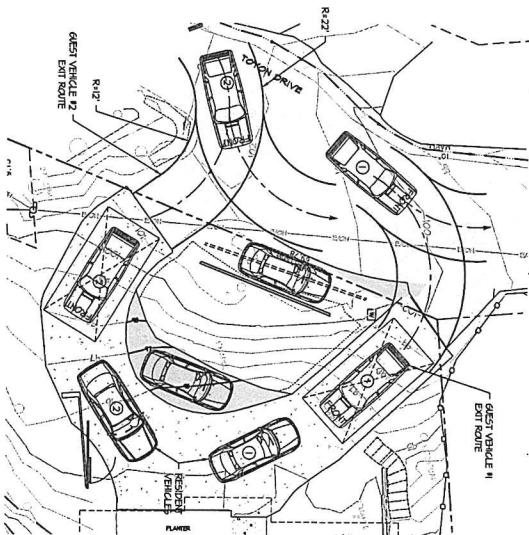




DRIVEMAY PROFILE  
SCALE: 1"=40'



RESIDENT PARKING DETAIL  
SCALE: 1"=8'-0"



GUEST PARKING DETAIL  
SCALE: 1"=8'-0"

<p>LTD Engineering, Inc. 1501 Navigation Drive, Suite 315 Ft. Lauderdale, FL 33304-4119 phone: 754/333-0333 www.ltdengineering.com</p>		<p><b>PROGRESS FOR CONSTRUCTION</b> NOT FOR CONSTRUCTION</p>		<p>ISSUED FOR REVIEW NOT FOR CONSTRUCTION</p>		<p>© LTD Engineering, Inc. 2020 This document and the ideas and design contained herein are the property of LTD Engineering, Inc. and are not to be distributed, copied, or used in any way without the written consent of LTD Engineering, Inc.</p>																																		
<p><b>HOLDER DESIGN ASSOCIATES</b></p> <p>APN 003-081-38 88 TOYON DRIVE FAIRFAX, CALIFORNIA</p>																																								
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