

TRISTAN WARREN  
ARCHITECT

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PROJECT NAME  
**DANIEL  
REMODEL**

PERMIT#  
JOB NO. 2020003  
PROJECT ADDRESS  
APN# 001-261-44  
46 SAN GABRIEL  
FAIRFAX, CA 94930

CLIENT NAME  
KEVIN DANIEL

CURRENT RELEASE DATE:  
01.15.21

CURRENT RELEASE SET:  
PLANNING  
REVIEW  
RESPONSE

PREVIOUS RELEASE  
PLANNING REVIEW 09.15.20

# DANIEL RESIDENCE FAIRFAX, CA

## PROJECT DIRECTORY

### ARCHITECT

TRISTAN WARREN ARCHITECT  
3 MANZANITA ROAD  
FAIRFAX, CA 94930  
PHONE: 510.219.2975  
CONTACT: TRISTAN WARREN  
EMAIL: tristan.warren.arch@gmail.com

### OWNER

KEVIN DANIEL  
46 SAN GABRIEL  
FAIRFAX, CA 94930

### GENERAL CONTRACTOR

PHONE:  
FAX:  
CONTACT:  
EMAIL:

### STRUCTURAL ENGINEER

P.  
CONTACT:  
E.

### LANDSCAPE DESIGN

PHONE:  
FAX:  
CONTACT:  
EMAIL:

### GEOTECHNICAL ENGINEER / SHORING

PHONE:  
FAX:  
CONTACT:  
EMAIL:

### ARBORIST

PHONE:  
FAX:  
CONTACT:  
EMAIL:

### GREEN POINT RATER

PHONE:  
FAX:  
CONTACT:  
EMAIL:

### TITLE 24

PHONE:  
FAX:  
CONTACT:  
EMAIL:

### SURVEYOR

PHONE:  
FAX:  
CONTACT:  
EMAIL:

## PROJECT DATA

APN: 001-261-44  
YEAR BUILT: 1956  
ZONING: RS-7.5  
SITE SLOPE AVERAGE: 8.92%  
SETBACKS:  
FRONT YARD / REAR YARD: 30' - 0" + COMBINED (MIN 10' - 0")  
SIDE YARD: 20' - 0" + COMBINED (MIN 5' - 0")

HEIGHT: 28' - 6" AND 2 STORY MAX  
LOT SIZE: 8,450 SF  
FAR MAX: 3,500 SF (41.4%)  
FAR BASIC: (0.40 x LOT) 3,380 SF (41.0%)

LOT COVERAGE:  
EXISTING 2,023 SF (23.9%)  
PROPOSED 2,023 SF (23.9%) (NO CHANGE)

HOUSE SIZE (FAR):  
(EXISTING)  
(E) 1ST LVL 1,096 SF  
(E) 2ND LVL 902 SF  
(E) GARAGE 536 SF (33 SF COUNTED)  
(E) SHED 83 SF (0 SF COUNTED)  
TOTAL: 2,031 SF (24.0%)  
PROPOSED  
1ST LVL 1,096 SF (NO CHANGE)  
2ND LVL 1,083 SF (181 SF ADDITION)  
(E) GARAGE 536 SF (33 SF COUNTED - NO CHANGE)  
(E) SHED 83 SF (0 SF COUNTED)  
TOTAL: 2,212 SF (26.2%)

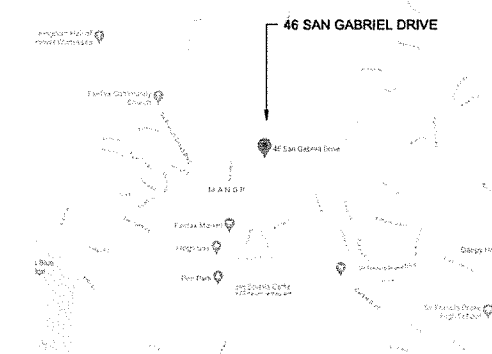
OCCUPANCY TYPE: R-3  
CONSTRUCTION TYPE: V-II  
SPRINKLERS: NO  
STORIES: 2 STORIES  
UNITS: 1 UNIT

PARKING  
EXISTING 2 COVERED AND 1 EXTERIOR (9' X 19')  
PROPOSED 2 COVERED AND 1 EXTERIOR (NO CHANGE)

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## VICINITY MAP



SHEET TITLE  
TITLE

SCALE  
1/4" = 1'-0"

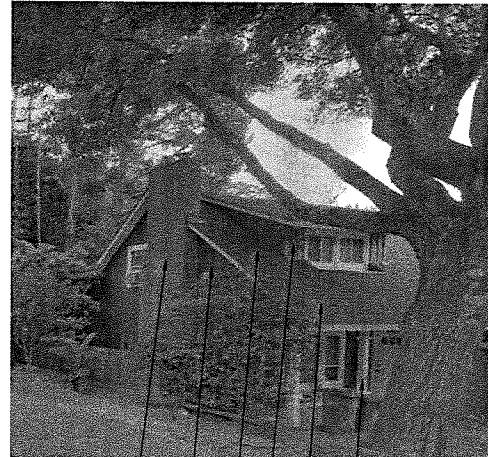
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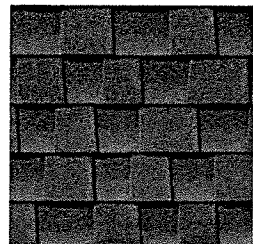
ATTACHMENT **C**

## MATERIAL NOTES

ALL NEW MATERIAL TO MATCH EXISTING IN MATERIAL AND COLOR



- RED BRICK
- BOARD AND BATTEN SIDING, PAINTED RED
- GAF TIMBERLINE COMPOSITE SHINGLE, CHARCOAL
- GUTTER & DOWNSPOUT, PAINTED WHITE
- WOOD WINDOWS, PAINTED WHITE
- WOOD TRIM, PAINTED WHITE

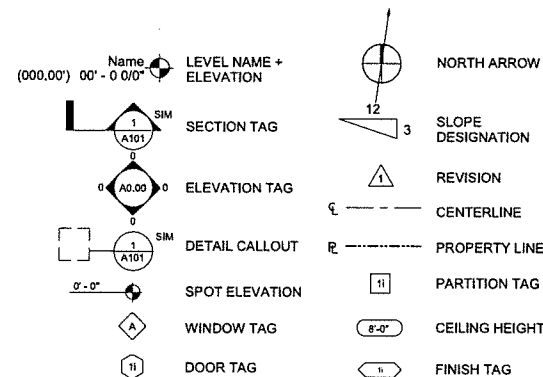


GAF TIMBERLINE COMPOSITE SHINGLE CHARCOAL

## GENERAL NOTES

- ALL CONSTRUCTION AND INSTALLATION SHALL CONFORM TO THE FOLLOWING CODES: 2019 UNIFORM BUILDING, RESIDENTIAL, PLUMBING, MECHANICAL, ELECTRICAL CODE, AND STATE ENERGY STANDARDS.
- AND ANY OTHER GOVERNING CODES AND ORDINANCES.
- IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY. THE CONTRACTOR SHALL REVIEW AND VERIFY ALL DIMENSIONS OF BUILDING AND SITE AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BEFORE PROCEEDING WITH CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION BETWEEN ARCHITECTURAL, STRUCTURAL, LANDSCAPE, CIVIL, MECHANICAL, PLUMBING, ELECTRICAL, AND FIRE PROTECTION. THIS INCLUDES REVIEWING REQUIREMENTS OF INDIVIDUAL SYSTEMS BEFORE ORDERING AND INSTALLATION OF ANY WORK. VERIFY ALL ARCHITECTURAL DETAILS AND ALL FINISH CONDITIONS (WHETHER DEPICTED IN DRAWINGS OR NOT) WITH SAME DISCIPLINES.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND THE OWNER BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL CLEAR DIMENSIONS ARE NOT TO BE ADJUSTED WITHOUT APPROVAL OF THE ARCHITECT.
- WHEN SHOWN IN PLAN, ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE, CENTERLINE OF COLUMNS, OR CENTERLINE OF FUD WITHIN WALL ASSEMBLIES, UNLESS OTHERWISE NOTED.
- WHEN SHOWN IN SECTION OR ELEVATION, ALL DIMENSIONS ARE TO TOP OF PLATE OR TOP OF CONCRETE UNLESS OTHERWISE NOTED.
- DETAILS SHOWN ARE TYPICAL, SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING AND OBTAINING ALL REQUIRED INSPECTIONS TO CONFORM WITH LOCAL BUILDING AND FIRE CODES.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, FIREPLACES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2019 CBC 718.2.2 & R302.11. FIRE-BLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:
  - IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT MIN. 10-FOOT INTERVALS.
  - IN CONCEALED INTERCONNECTIONS SUCH AS SOFFITS, DROP CEILINGS & COVE CEILINGS.
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN.
  - IN OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING & FLR. LEVEL W/ AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME & PRODUCTS OF COMBUSTION.
- PROVIDE DRAFT-STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL), AS PER 2019 CBC 718.3.4 & R302.11. DRAFT-STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS DIVIDED IN APPROX. EQUAL AREAS. WHERE A FLOR IS ENCLOSED ABV. & BELOW, DRAFT-STOPPING SHOULD BE PROVIDED IN THE FOLLOWING CIRCUMSTANCES:
  - SUSPENDED CEILING UNDER FLOOR FRAMING
  - OPEN WEB TRUSS OR PERFORATED FLOOR FRAMING MEMBERS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE WALLS IF THERE IS NO PROVIDED AIRGAP.

## ARCHITECTURAL SYMBOLS



## PROJECT DATA

APN:	001-261-44
YEAR BUILT:	1956
ZONING:	RS-7.5
SITE SLOPE AVERAGE:	8.92%
SETBACKS:	
FRONT YARD / REAR YARD:	30' - 0" + COMBINED (MIN 10' - 0")
SIDE YARD:	20' - 0" + COMBINED (MIN 5' - 0")
HEIGHT:	28' - 6" AND 2 STORY MAX
LOT SIZE:	8,450 SF
FAR MAX:	3,500 SF (41.4%)
FAR BASIC: (0.40 x LOT)	3,380 SF (41.0%)
LOT COVERAGE:	
EXISTING	2,023 SF (23.9%)
PROPOSED	2,023 SF (23.9%) (NO CHANGE)
HOUSE SIZE (FAR):	
(EXISTING)	
(E) 1ST LVL	1,096 SF
(E) 2ND LVL	902 SF
(E) GARAGE	583 SF (33 SF COUNTED)
(E) SHED	83 SF (0 SF COUNTED)
TOTAL:	2,031 SF (24.0%)
PROPOSED	
1ST LVL	1,096 SF (NO CHANGE)
2ND LVL	1,083 SF (181 SF ADDITION)
(E) GARAGE	533 SF (33 SF COUNTED - NO CHANGE)
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TOTAL:	2,212 SF (26.2%)
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CONSTRUCTION TYPE:	V-II
SPRINKLERS:	NO
STORIES:	2 STORIES
UNITS:	1 UNIT
PARKING	
EXISTING	2 COVERED AND 1 EXTERIOR (9' X 19')
PROPOSED	2 COVERED AND 1 EXTERIOR (NO CHANGE)

## PROJECT DESCRIPTION

THE PROJECT CONSISTS OF CREATING AN ADDITIONAL BATHROOM AND OFFICE SPACE ON THE SECOND LEVEL, WITH THE CREATION OF A NEW ROOF ALONG EXISTING FIRST LEVEL EXTERIOR WALLS, IN AN EXISTING SINGLE FAMILY HOME.

## APPLICABLE CODES

- 2019 CALIFORNIA BUILDING CODE VOLS 1 AND 2
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRICAL CODE
- 2019 CALIFORNIA FIRE CODE
- 2019 CALIFORNIA WILDLIFE-URBAN INTERFACE FIRE AREA
- 2019 CALIFORNIA ENERGY CODE
- 2019 CALIFORNIA GREEN BUILDING STANDARD CODE

ALONG WITH OTHER APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS

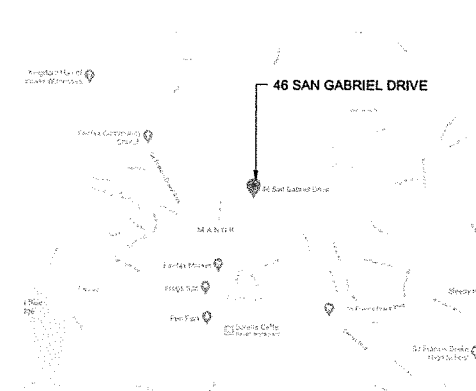
## DEFERRED SUBMITTALS

NO DEFERRED SUBMITTALS

## ARCHITECTURAL ABBREVIATIONS

AB. ANCHOR BOLT	JAN. JANITOR
A.F.F. ABOVE FINISHED FLOOR	JH. JOIST HANGER
AGGR. AGGREGATE	JNT. JOINT
ALUM. ALUMINUM	JST. JOIST
ALT. ALTERNATE	KIT. KITCHENLAB
ANOD. ANODIZED	LAB. LABORATORY
APPROX. APPROXIMATE	LAM. LAMINATE
ARCH. ARCHITECTURAL	LAV. LAVATORY
BD. BOARD	LT. LIGHT
BLDG. BUILDING	MAX. MAXIMUM
BLK. BLOCK	MECH. MECHANICAL
BLKG. BLOCKING	MEMB. MEMBRANE
BM. BEAM	MFR. MANUFACTURER
BOT. BOTTOM	MIN. MINIMUM
BTWN. BETWEEN	MISC. MISCELLANEOUS
B.U.R. BUILT UP ROOFING	M.O. MASONRY OPENING
B.W. BOTH WAYS	MTL. METAL
C.J. CONTROL JOINT	MUL. MULLION
CLG. CEILING	N. NORTH
CLG. CALKING	(N) NEW
CLR. CLEAR	N.I.C. NOT IN CONTRACT
C.M.U. CONCRETE MASONRY UNIT	NO. NUMBER
COL. COLUMN	NOM. NOMINAL
CONC. CONCRETE	N.T.S. NOT TO SCALE
CONN. CONNECTION	O.C. ON CENTER
CONSTR. CONSTRUCTION	O.D. OUTSIDE DIAMETER
CONT. CONTINUOUS	OH. OVERHEAD
C.T. CERAMIC TILE	OPG. OPENING
DEG. DEGREE	OPP. OPPOSITE
DET/DTL. DETAIL	PCT. PRE-CAST
D.F. DRINKING FOUNTAIN	P.L. PROPERTY LINE
DIAG. DIAGONAL	P.LAM. PLASTIC LAMINATE
DIA. DIAMETER	PLAS. PLASTER
DN. DOWN	PLYWD. PLYWOOD
DS. DOWNSPOUT	PR. PAIR
DWG. DRAWING	Q.T. QUARRY TILE
E. EAST	R. RISER
(E) EXISTING	(R) REMODELED
EA. EACH	R.D. ROOF DRAIN
E.J. EXPANSION JOINT	RE. REFER TO
E.I.F.S. EXTERIOR INSULATION AND FINISH SYSTEM	REFR. REFRIGERATOR
EL. ELEVATION	REINF. REINFORCED
ELEC. ELECTRICAL	RECD. REQUIRED
ELEV. ELEVATOR	RM. ROOM
EMER. EMERGENCY	R.O. ROUGH OPENING
ENCL. ENCLOSURE	RWL. RAINWATER LEADER
EQ. EQUIP.	S. SOUTH
EQUIP. EQUIPMENT	S.A.S.M. SELF ADHERED SHEET
EXT. Exterior	MEMBRANE
F.A. FIRE ALARM	S.C. SOLID CORE
F.D. FLOOR DRAIN	SCHED. SCHEDULE
F.D.C. FIRE DEPARTMENT CONNECTION	SECT. SECTION
FDNFND. FOUNDATION	S.F. SQUARE FOOT
F.E. FIRE EXTINGUISHER	SHT. SHEET
F.E.C. FIRE EXTINGUISHER CABINET	SIM. SIMILAR
F.F. FINISH FLOOR	SMT. SEALANT
FFE. FINISH FLOOR ELEVATION	SPEC. SPECIFICATION
F.H.C. FIRE HOSE CABINET	SQ. SQUARE
FIN. FINISH	S.S. STAINLESS STEEL
FL. FLOOR LINE	STAGG. STAGGERED
FLR. FLOOR	STD. STANDARD
FLUR. FLUORESCENT	STL. STEEL
F.O.B. FACE OF BRICK	STRUC. STRUCTURAL
F.O.C. FACE OF CONCRETE	SUSP. SUSPENDED
F.S. FULL SIZE	TR. TREAD
FT. FOOT OR FEET	T&B. TOP AND BOTTOM
FTG. FOOTING	TER. TERRAZO
FURR. FURRING	T&G. TONGUE AND GROOVE
GA. GAUGE	THK. THICK
GALV. GALVANIZED	T/ TOP OF
G.C. GENERAL CONTRACTOR	TYP. TYPICAL
GL. GLASS	UNON. UNLESS OTHERWISE NOTED
GLB. GLUE LAM BEAM	VCT. VIBRIL COMPOSITION TILE
GR. GRADE	VER. VERIFY
GYP. GYPSUM	V.I.F. VERIFY IN FIELD
GYP. BD. GYPSUM BOARD	VERT. VERTICAL
GSM. GALVANIZED SHEET METAL	W. WEST
HB. HOSE BIB	W/ WITH
H.C. HOLLOW CORE	W.C. WATER CLOSET
HC. HANDICAPPED	WD. WOOD
HDWD. HARDWOOD	W/O WITHOUT
HDWE. HARDWARE	& AND
H.M. HOLLOW METAL	L. ANGLE
HR. HOUR	@ AT
HT. HEIGHT	
HVAC. HEATING VENTILATION AIR CONDITIONING	
HW. HOT WATER	
I.D. INSIDE DIAMETER	

## VICINITY MAP



## TRISTAN WARREN ARCHITECT

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## PROJECT NAME DANIEL REMODEL

PERMIT#  
JOB NO. 2020003  
PROJECT ADDRESS  
APN# 001-261-44  
46 SAN GABRIEL  
FAIRFAX, CA 94930

CLIENT NAME  
KEVIN DANIEL

CURRENT RELEASE DATE:  
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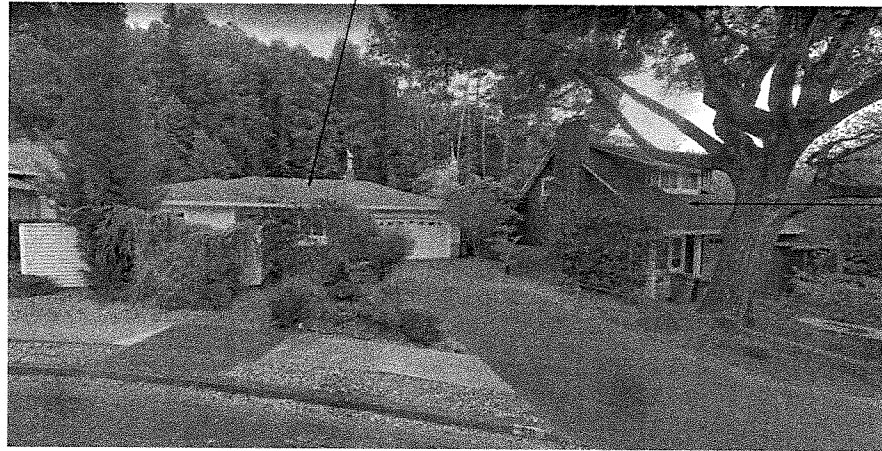
PREVIOUS RELEASE  
PLANNING REVIEW 09.15.20

SHEET TITLE  
GENERAL NOTES

SCALE  
1/4" = 1'-0"

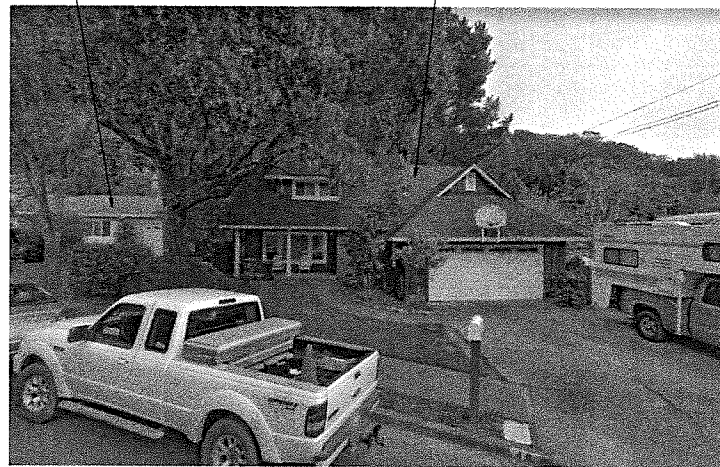
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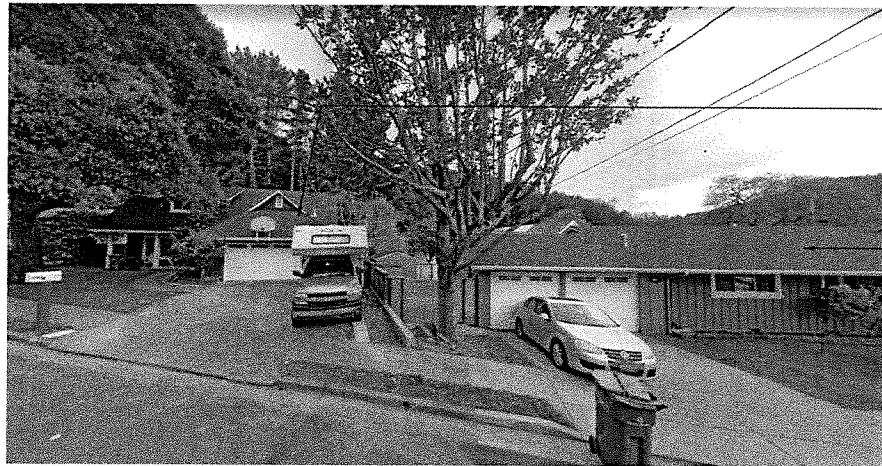


50 SAN GABRIEL

46 SAN GABRIEL

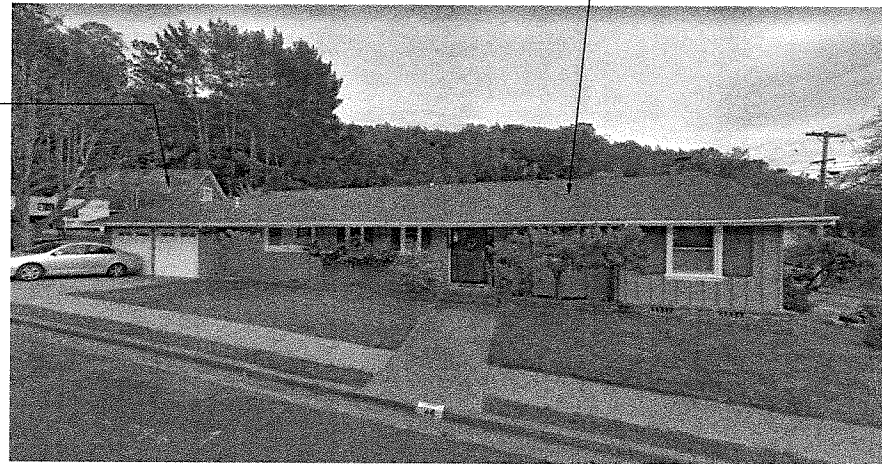


46 SAN GABRIEL

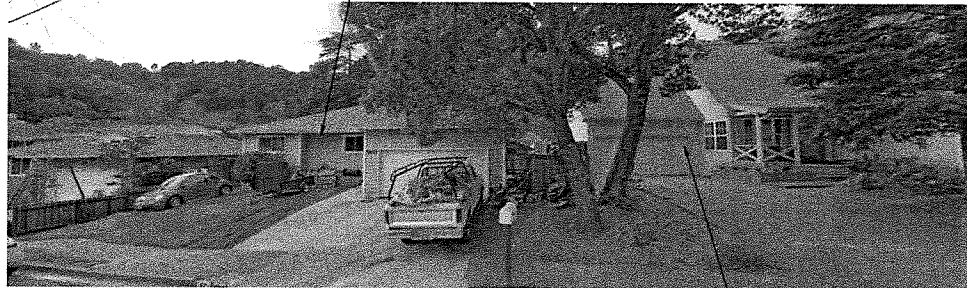


46 SAN GABRIEL

44 SAN GABRIEL

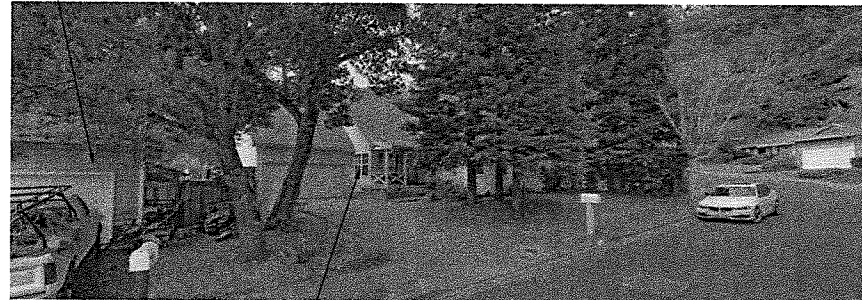


44 SAN GABRIEL



47 SAN GABRIEL

51 SAN GABRIEL



**TRISTAN WARREN**  
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PROJECT NAME  
**DANIEL  
REMODEL**

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SHEET TITLE  
SITE CONTEXT

SCALE

**G-0.2**



PROJECT NAME DANIEL REMODEL PROJECT ADDRESS APN# 001-261-44 46 SAN GABRIEL FAIRFAX, CA 94930

CLIENT NAME KEVIN DANIEL

CURRENT RELEASE DATE: 01.15.21

RELEASE SET: PLANNING REVIEW RESPONSE

PREVIOUS RELEASE: PLANNING REVIEW 09.15.20

SHEET TITLE TITLE 24 MANDATORY MEASURES

SCALE

G-0.4

2019 Low-Rise Residential Mandatory Measures Summary

2019 Low-Rise Residential Mandatory Measures Summary. This document summarizes the 2019 California Building Code (CBC) Title 24, Part 2, Chapter 2, Section 201.01, which outlines the mandatory measures for low-rise residential buildings.

Table with 2 columns: Measure ID and Description. Includes measures for Building Egress Measures, Fire Protection, and Mechanical Systems.

2019 Low-Rise Residential Mandatory Measures Summary

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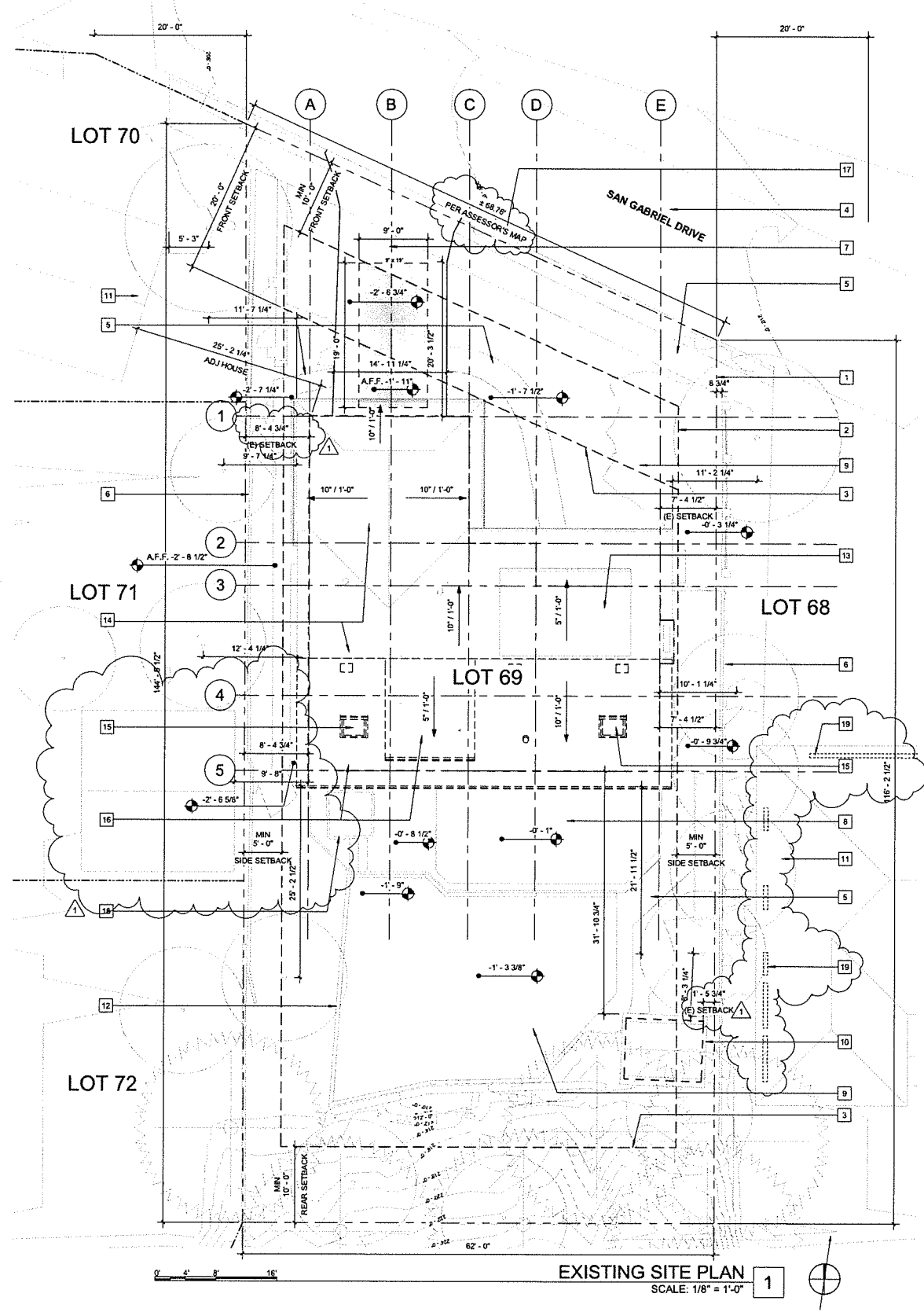
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**GENERAL NOTES**

THE PROPOSED PROJECT WILL NOT ADD TO THE LOT COVERAGE OF THE BUILDING.  
 PROPERTY LINE LOCATIONS ASSUMED PER TAX ASSESSOR RECORDS & PLACED AT EDGE OF SIDEWALK. VERIFY W/ BOUNDARY SURVEY. NO ADDITIONAL EASEMENTS WITHIN.

**SHEET NOTES**

KEY KEYNOTE TEXT

- 1 PROPERTY LINE, SHOWN DASH DOT DOT, TYP.
- 2 5' - 0" MIN. SIDE YARD SETBACK LINE, SHOWN DASHED, TYP. 20' - 0" COMBINED SIDE YARD SETBACK.
- 3 10' - 0" MIN. FRONT & REAR YARD SETBACK LINE, SHOWN DASHED, TYP. 30' - 0" COMBINED FRONT & REAR YARD SETBACK.
- 4 (E) CITY RIGHT OF WAY
- 5 (E) HARDSCAPE AREA TO REMAIN, TYP.
- 6 (E) FENCING TO REMAIN, TYP. REPAIR & REPLACE AS REQUIRED
- 7 (E) DRIVEWAY TO REMAIN
- 8 (E) DECK TO REMAIN
- 9 (E) YARD AREA TO REMAIN, TYP.
- 10 (E) 81 SF STORAGE SHED TO REMAIN (<120SF ACCESSORY STRUCTURE W/ NO UTILITIES)
- 11 (E) ADJACENT PROPERTY
- 12 (E) SITE WALL OR RETAINING WALL TO REMAIN, TYP.
- 13 EXISTING & PROPOSED SITE PLANS
- 14 (E) ROOF TO REMAIN, TYP.
- 15 (E) SKYLIGHT TO BE DEMOLISHED, SHOWN DASHED
- 16 (E) ROOF TO BE DEMOLISHED, SHOWN DASHED
- 17 (E) CURB @ OR ADJACENT TO PROPERTY LINE
- 18 (E) HOT TUB TO REMAIN
- 19 ADJACENT PROPERTY WINDOW OR DOOR, SHOWN DASHED AND SHADED FOR CLARITY, TYP.

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ARCHITECT

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RESPONSE

PREVIOUS RELEASE  
PLANNING REVIEW 09.15.20

SHEET TITLE  
EXISTING SITE PLAN

SCALE  
As Indicated

**A1.0**







PROJECT NAME  
**DANIEL  
REMODEL**

PERMIT#  
JOB NO. 2020003  
PROJECT ADDRESS  
APN# 001-261-44  
46 SAN GABRIEL  
FAIRFAX, CA 94930

CLIENT NAME  
KEVIN DANIEL

CURRENT RELEASE DATE:  
01.15.21

CURRENT RELEASE SET:  
PLANNING  
REVIEW  
RESPONSE

PREVIOUS RELEASE  
PLANNING REVIEW 09.15.20

SHEET TITLE  
STORY POLE PLAN

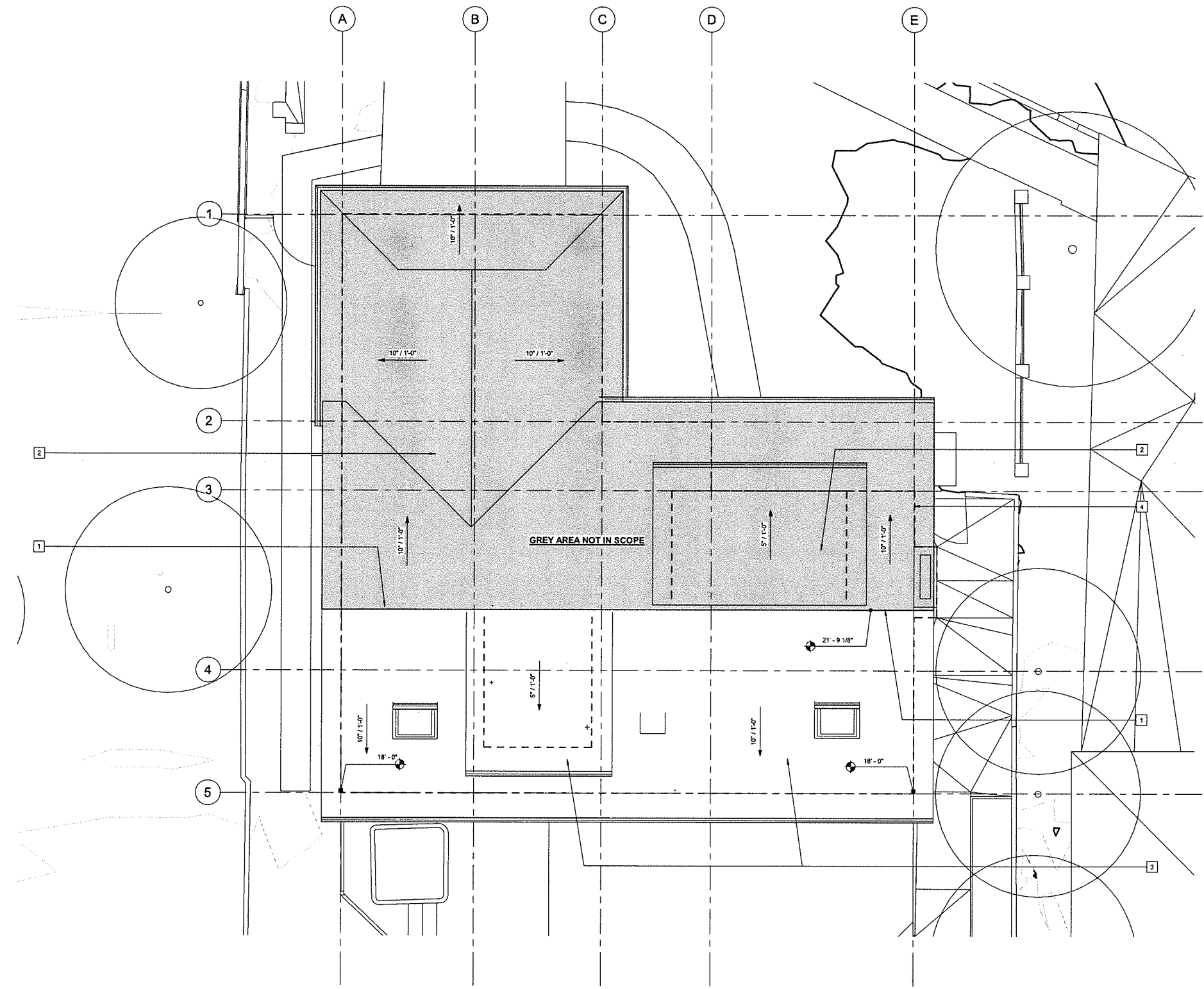
SCALE  
1/4" = 1'-0"

**A1.1**

**SHEET NOTES**

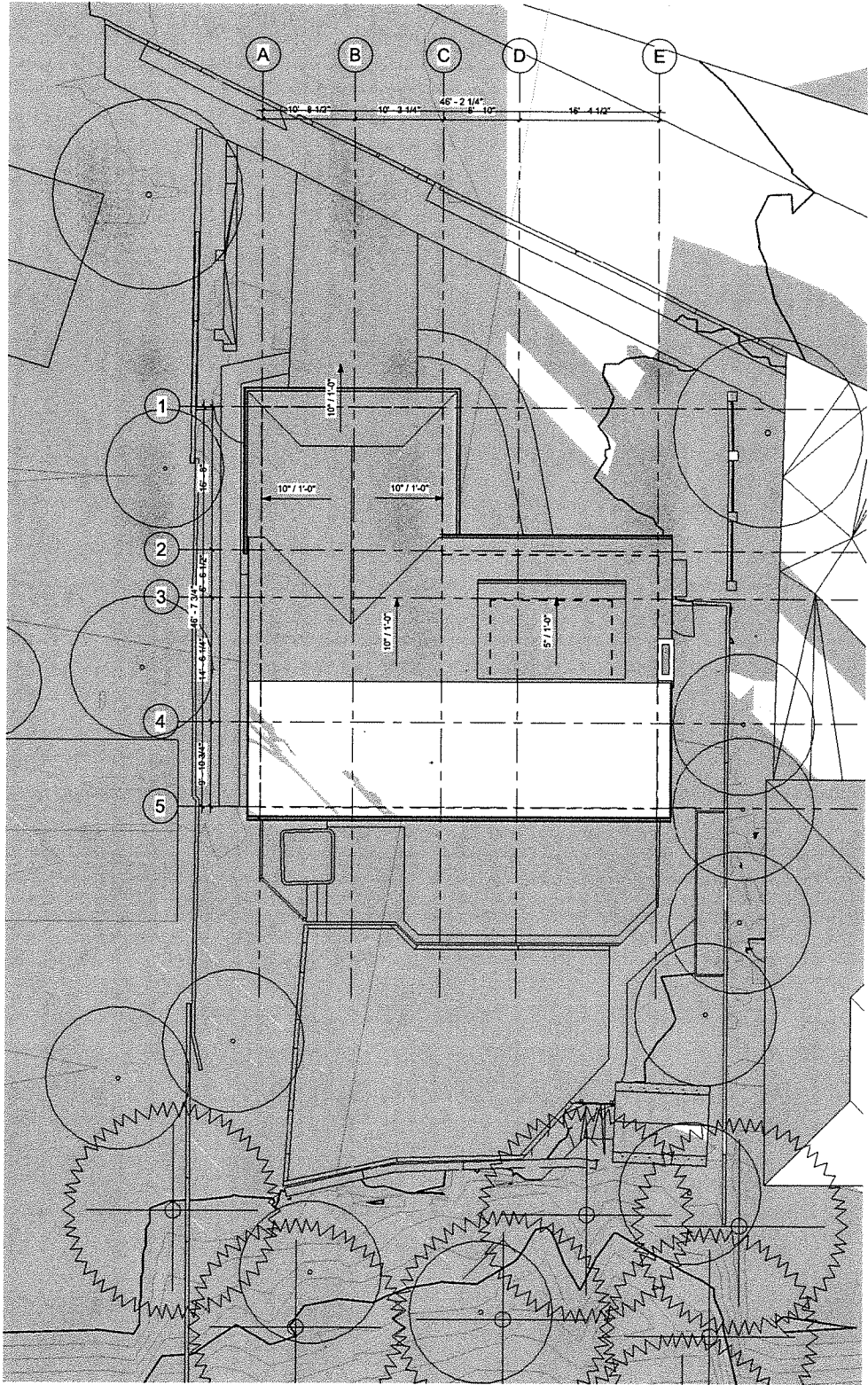
KEY KEYNOTE TEXT

- 1 (E) RIDGE TO REMAIN
- 2 (E) ROOF TO REMAIN, TYP
- 3 (E) ROOF TO BE DEMOLISHED
- 4 EDGE OF WALL BELOW, SHOWN DASHED

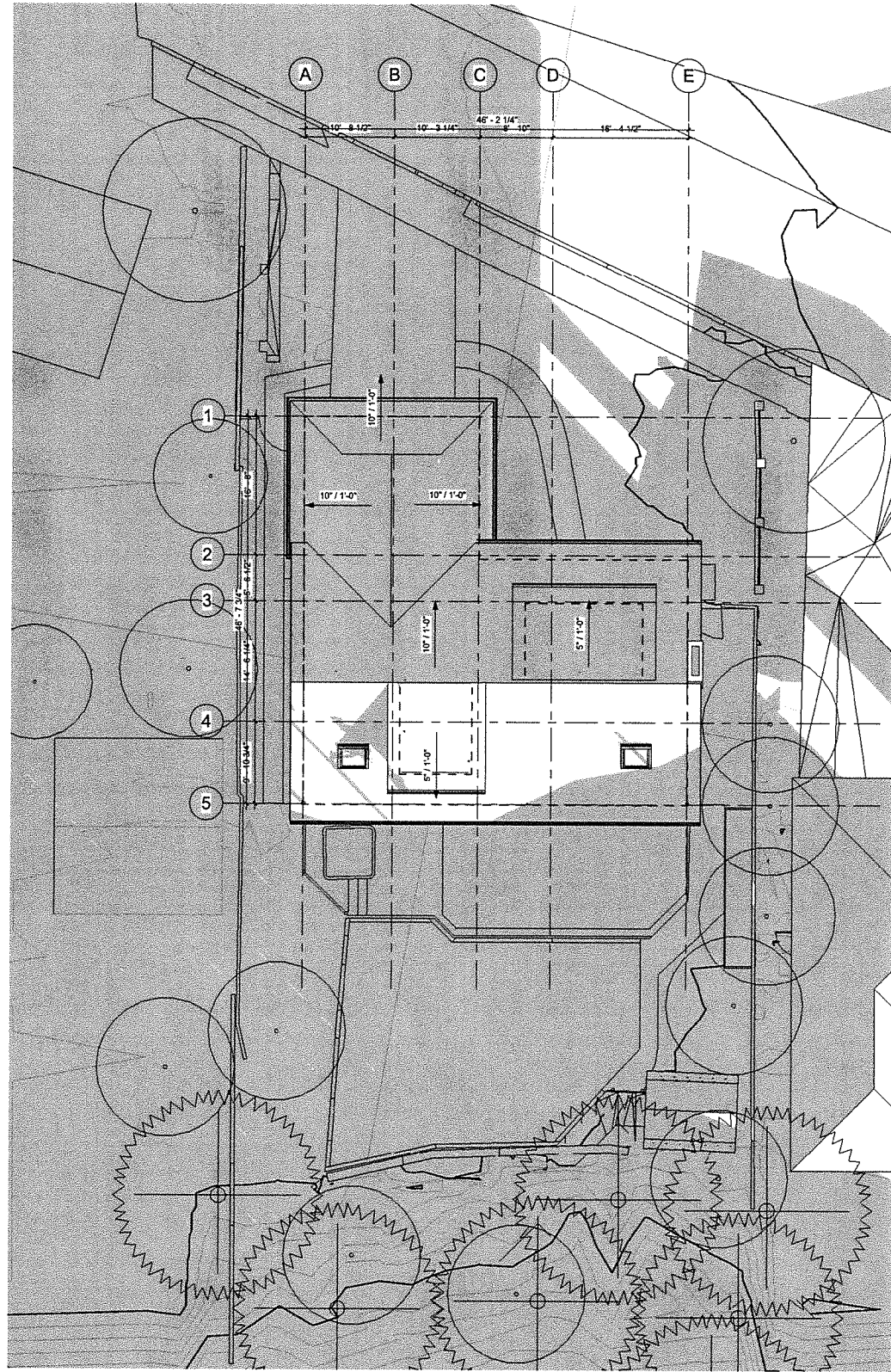


PROPOSED STORY POLE PLAN 1  
SCALE: 1/4" = 1'-0"

1/13/2021 8:54:35 PM



(N) ROOF WINTER SOLSTICE 9AM 2  
SCALE: 1/8" = 1'-0"



(E) ROOF WINTER SOLSTICE 9AM 1  
SCALE: 1/8" = 1'-0"

SHEET NOTES  
KEY KEYNOTE TEXT

TRISTAN WARREN  
ARCHITECT

three manzanita road  
fairfax, ca 94930  
t. 510.219.2975  
e. tristan.warren.arch@gmail.com



PROJECT NAME  
**DANIEL  
REMODEL**

PERMIT#  
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APN# 001-261-44  
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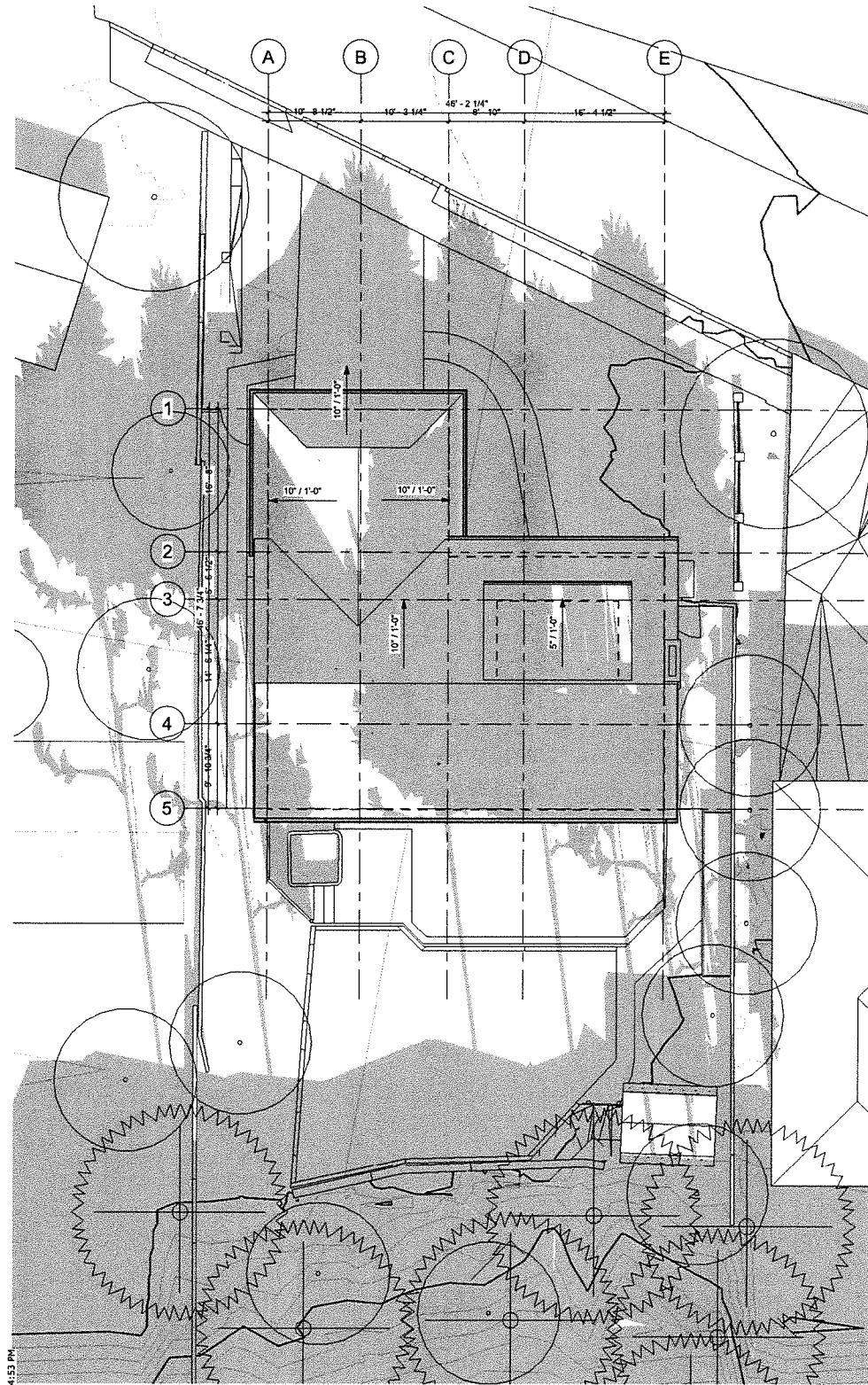
SHEET TITLE  
ROOF PLANS  
SHADOW STUDY

SCALE  
1/8" = 1'-0"

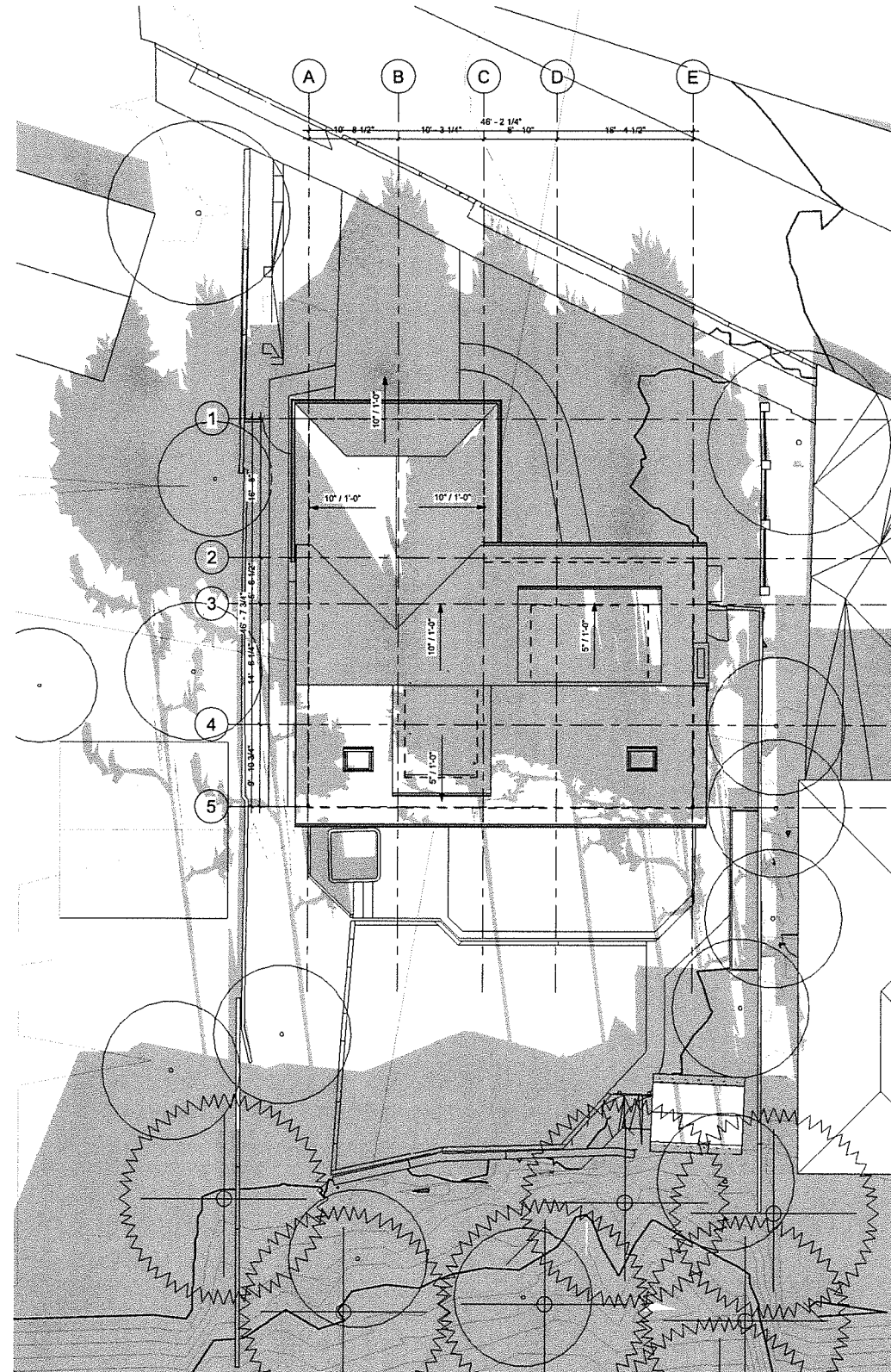
**A1.8**

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(N) ROOF WINTER SOLSTICE 12PM  
SCALE: 1/8" = 1'-0" 2



(E) ROOF WINTER SOLSTICE 12PM  
SCALE: 1/8" = 1'-0" 1

SHEET NOTES  
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CLIENT NAME  
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01.15.21

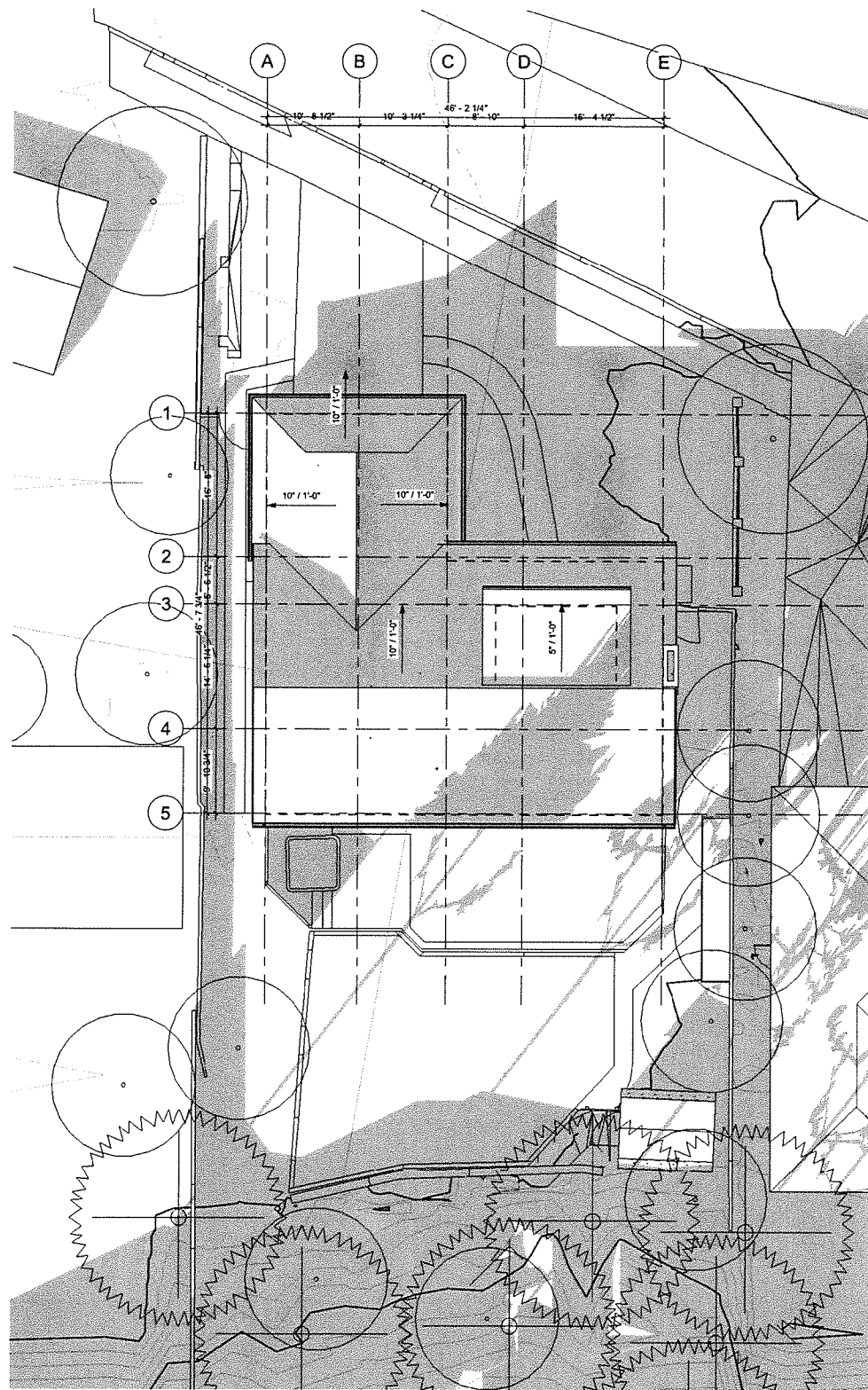
CURRENT RELEASE SET:  
PLANNING  
REVIEW  
RESPONSE

PREVIOUS RELEASE  
PLANNING REVIEW 09.15.20

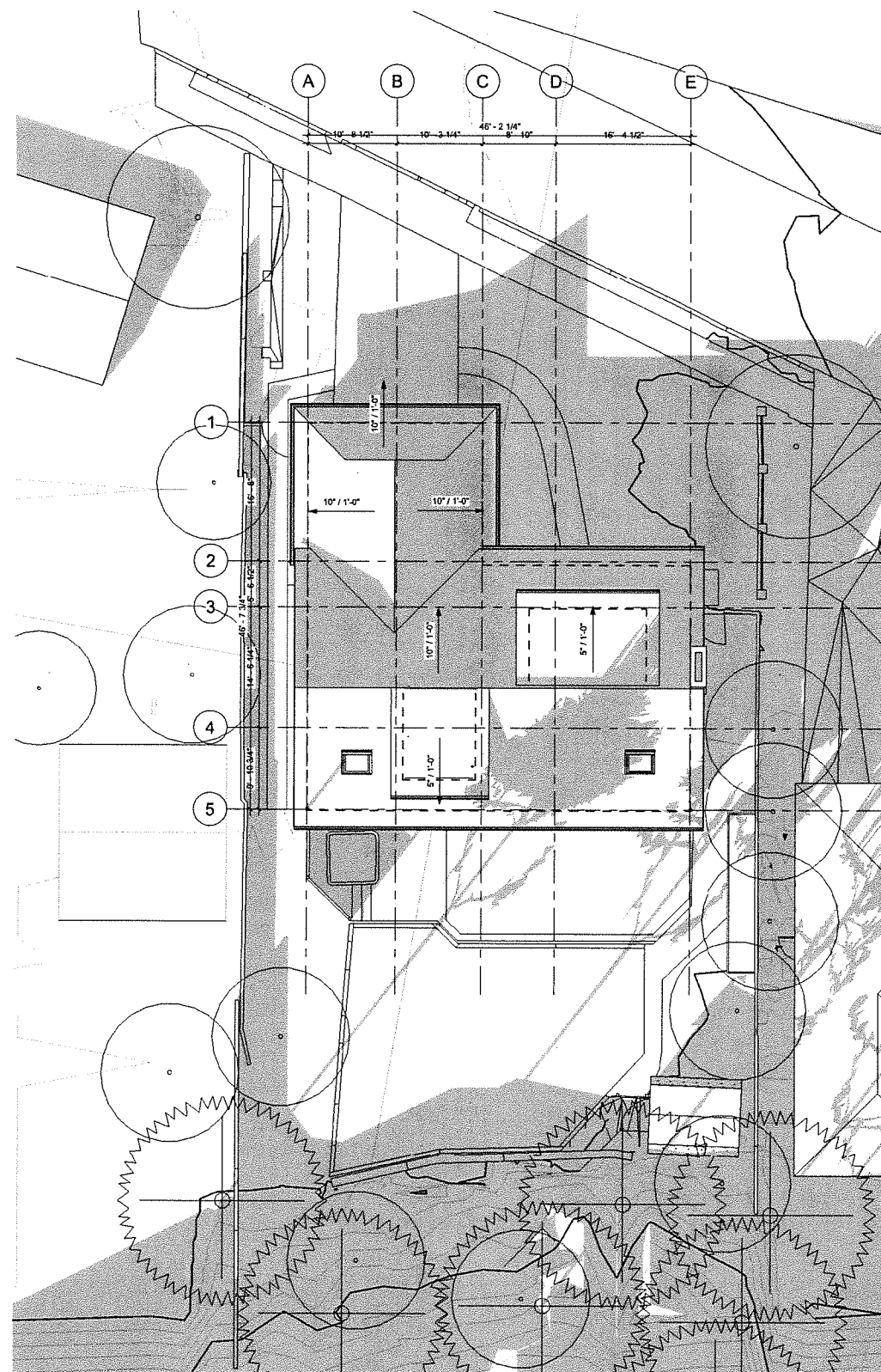
SHEET TITLE  
ROOF PLANS  
SHADOW STUDY

SCALE  
1/8" = 1'-0"

**A1.9**



(N) ROOF WINTER SOLSTICE 3PM 2  
SCALE: 1/8" = 1'-0"



(E) ROOF WINTER SOLSTICE 3PM 1  
SCALE: 1/8" = 1'-0"

SHEET NOTES  
KEY KEYNOTE TEXT

TRISTAN WARREN  
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PROJECT NAME  
**DANIEL  
REMODEL**

PERMIT#  
JOB NO. 2020003  
PROJECT ADDRESS  
APN# 001-261-44  
46 SAN GABRIEL  
FAIRFAX, CA 94930

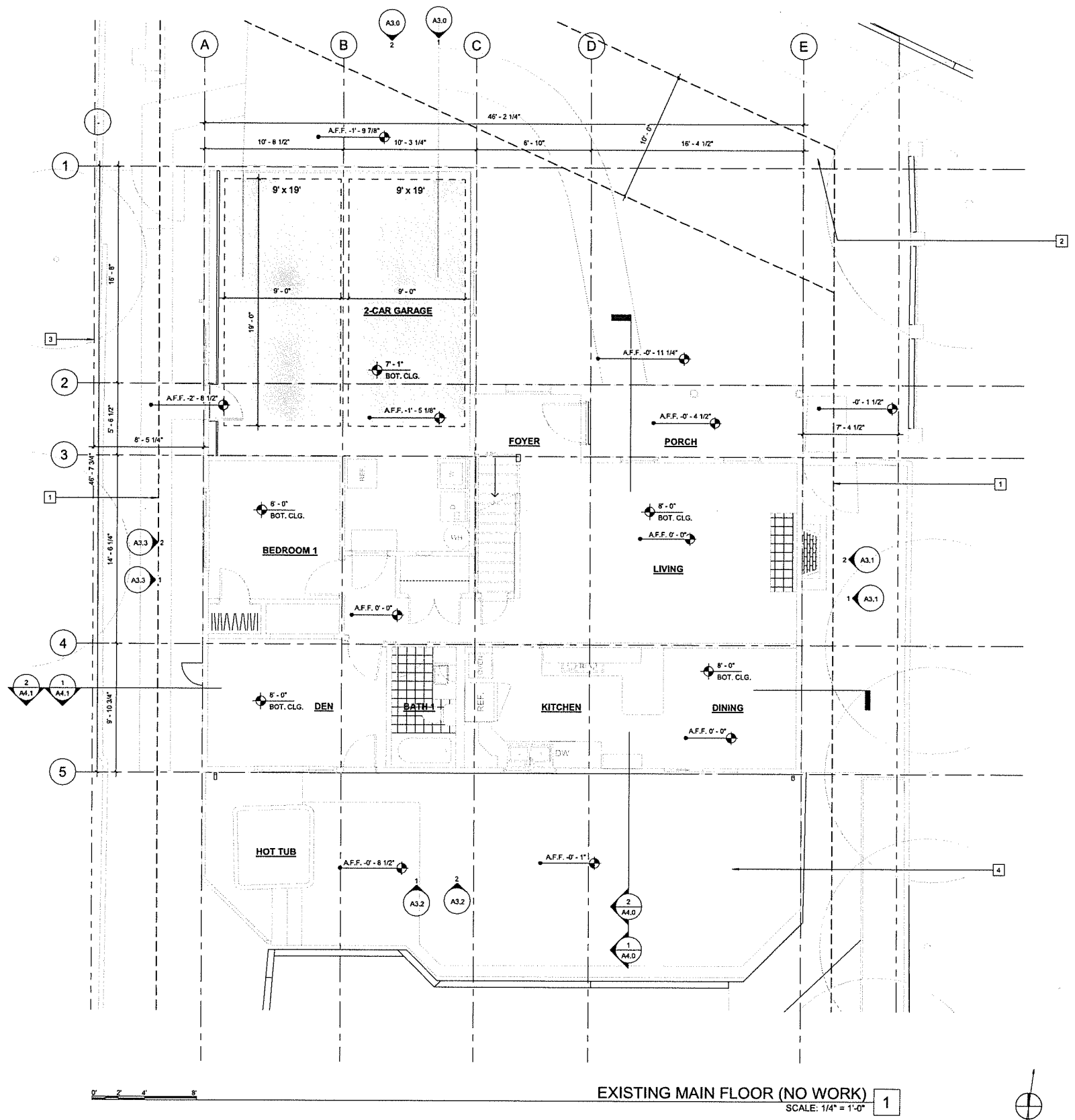
CLIENT NAME  
KEVIN DANIEL

CURRENT RELEASE DATE:  
01.15.21  
CURRENT RELEASE SET:  
PLANNING  
REVIEW  
RESPONSE  
PREVIOUS RELEASE  
PLANNING REVIEW 09.15.20

SHEET TITLE  
ROOF PLANS  
SHADOW STUDY

SCALE  
1/8" = 1'-0"

**A1.10**



**GENERAL NOTES**

CALGREEN COMPLIANCE NOTES  
 CONSTRUCTION AND DEMOLITION DEBRIS:  
 100% OF MIXED DEBRIS MUST BE  
 TRANSPORTED BY A REGISTERED HAULER TO A  
 REGISTERED FACILITY AND BE PROCESSED FOR  
 RECYCLING.  
 IN COMPLIANCE WITH THE TOWN OF FAIRFAX  
 CONSTRUCTION AND DEMOLITION DEBRIS  
 ORDINANCES

**FLOOR AREA LEVEL 1:**

GARAGE UTILITY:	833 SF
LIVING AREA:	1,096 SF
COVERED PORCH:	91 SF
WOODEN DECK:	715 SF

**SHEET NOTES**

- KEY KEYNOTE TEXT
- 5'-0" MIN. SIDE YARD SETBACK LINE, SHOWN DASHED, TYP. 20'-0" COMBINED SIDE YARD SETBACK.
  - 10'-0" MIN. FRONT & REAR YARD SETBACK LINE, SHOWN DASHED, TYP. 30'-0" COMBINED FRONT & REAR YARD SETBACK.
  - PROPERTY LINE, SHOWN DASH DOT DOT, TYP.
  - (E) WOOD DECK TO REMAIN, TYP.

**TRISTAN WARREN**  
 ARCHITECT

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 t. 510.219.2975  
 e. tristan.warren.arch@gmail.com



PROJECT NAME  
**DANIEL  
 REMODEL**

PERMIT#  
 JOB NO. 2020003  
 PROJECT ADDRESS  
**APN# 001-261-44  
 46 SAN GABRIEL  
 FAIRFAX, CA 94930**

CLIENT NAME  
**KEVIN DANIEL**

CURRENT RELEASE DATE:  
 01.15.21  
 CURRENT RELEASE SET:  
**PLANNING  
 REVIEW  
 RESPONSE**  
 PREVIOUS RELEASE  
 PLANNING REVIEW 09.15.20

SHEET TITLE  
**EXISTING LEVEL 01  
 PLAN**

SCALE  
 1/4" = 1'-0"

**A2.0**

1/13/2021 8:55:02 PM