

LEVEL 02 FLOOR PLAN - EXISTING
SCALE: 1/4" = 1'-0" 1

GENERAL NOTES

CALGREEN COMPLIANCE NOTES
CONSTRUCTION AND DEMOLITION DEBRIS:
100% OF MIXED DEBRIS MUST BE
TRANSPORTED BY A REGISTERED HAULER TO A
REGISTERED FACILITY AND BE PROCESSED FOR
RECYCLING.
IN COMPLIANCE WITH THE TOWN OF FAIRFAX
CONSTRUCTION AND DEMOLITION DEBRIS
ORDINANCE

FLOOR AREA LEVEL 2:

LIVING AREA: 902 SF
UNINHABITABLE ATTIC AREA: ± 321 SF

SHEET NOTES

KEY KEYNOTE TEXT

- 1 PROPERTY LINE, SHOWN DASH DOT DOT, TYP.
- 2 5'-0" MIN. SIDE YARD SETBACK LINE, SHOWN DASHED, TYP. 20'-0" COMBINED SIDE YARD SETBACK.
- 3 10'-0" MIN. FRONT & REAR YARD SETBACK LINE, SHOWN DASHED, TYP. 30'-0" COMBINED FRONT & REAR YARD SETBACK.
- 4 (E) ROOF TO REMAIN, TYP.
- 5 (E) WALL ASSEMBLY TO REMAIN, TYP.
- 6 (E) WINDOW TO REMAIN, TYP.
- 7 (E) WALLS TO BE DEMOLISHED SHOWN DASHED, TYP.
- 8 (E) ROOF ASSEMBLY TO BE DEMOLISHED, SHOWN DASHED
- 9 (E) DOORS TO BE DEMOLISHED SHOWN DASHED
- 10 (E) BATHROOM CASEWORK & FIXTURES TO BE DEMOLISHED, SHOWN DASHED, TYP. DEMOLISH & CAP (E) PLUMBING AS REQ'D

TRISTAN WARREN
ARCHITECT

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PROJECT NAME
**DANIEL
REMODEL**

PERMIT#
JOB NO. 2020003
PROJECT ADDRESS
APN# 001-261-44
46 SAN GABRIEL
FAIRFAX, CA 94930

CLIENT NAME
KEVIN DANIEL

CURRENT RELEASE DATE:
01.15.21

CURRENT RELEASE SET:
PLANNING
REVIEW
RESPONSE

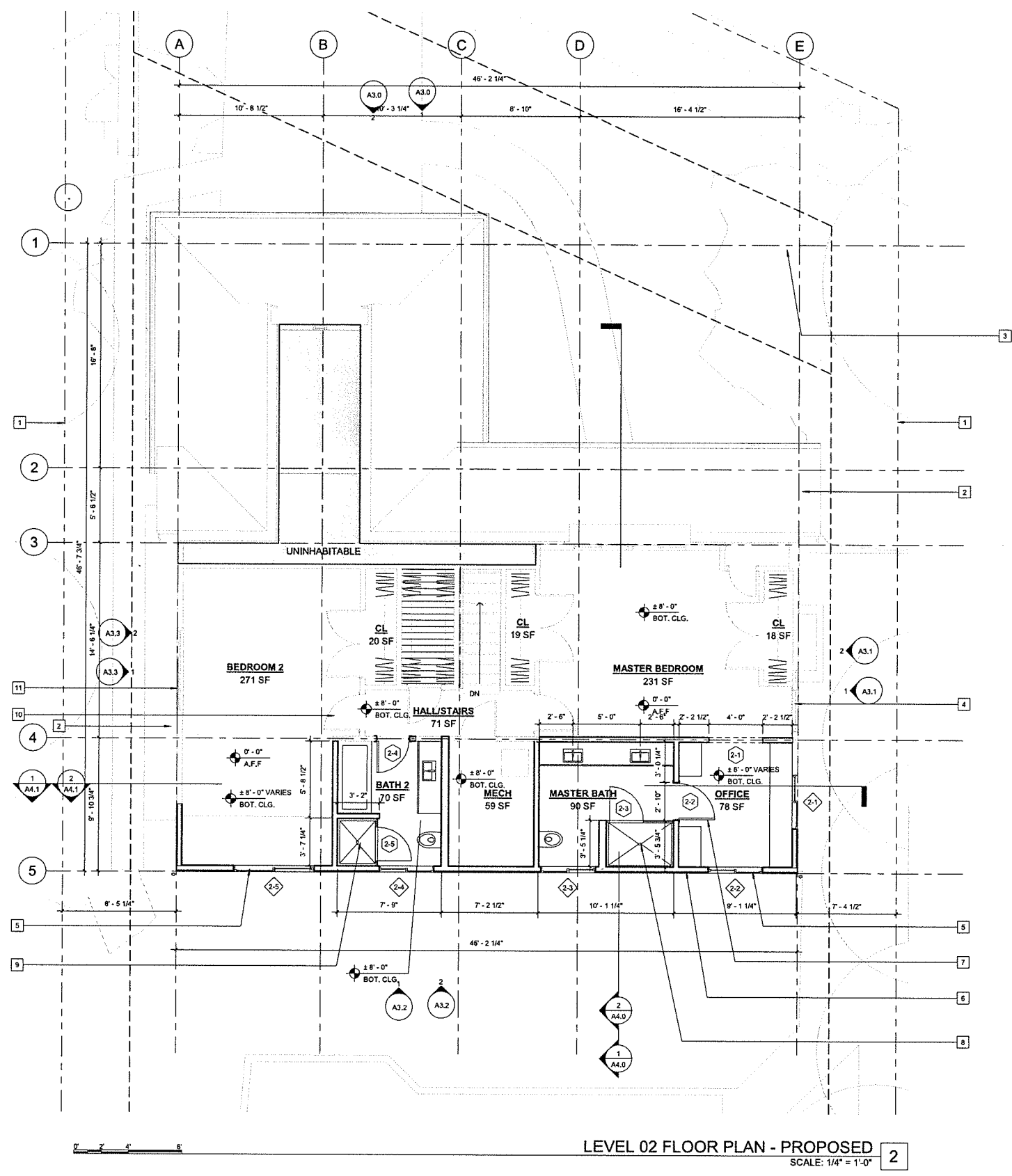
PREVIOUS RELEASE
PLANNING REVIEW 09.15.20

SHEET TITLE
EXISTING LEVEL 02
PLAN

SCALE
1/4" = 1'-0"

A2.1

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LEVEL 02 FLOOR PLAN - PROPOSED
SCALE: 1/4" = 1'-0" 2

GENERAL NOTES

CALGREEN COMPLIANCE NOTES
CONSTRUCTION AND DEMOLITION DEBRIS:
100% OF MIXED DEBRIS MUST BE
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REGISTERED FACILITY AND BE PROCESSED FOR
RECYCLING.
IN COMPLIANCE WITH THE TOWN OF FAIRFAX
CONSTRUCTION AND DEMOLITION DEBRIS
ORDINANCE

FLOOR AREA LEVEL 2:

LIVING AREA: 1,083 SF
UNINHABITABLE ATTIC AREA: ± 140 SF

SHEET NOTES

- KEY KEYNOTE TEXT
- 1 PROPERTY LINE, SHOWN DASH DOT DOT, TYP.
 - 2 5' - 0" MIN. SIDE YARD SETBACK LINE, SHOWN DASHED, TYP. 20' - 0" COMBINED SIDE YARD SETBACK.
 - 3 10' - 0" MIN. FRONT & REAR YARD SETBACK LINE, SHOWN DASHED, TYP. 30' - 0" COMBINED FRONT & REAR YARD SETBACK.
 - 4 (E) WINDOW TO REMAIN, TYP.
 - 5 (N) WINDOW, TYP. REF. A10.0
 - 6 (N) EXTERIOR WALL, TO MATCH (E) WALL TYPE AND FINISH
 - 7 (N) SWING DOOR, TYP. REF. A10.0
 - 8 (N) PLUMBING FIXTURES IN MASTER BATH
 - 9 (N) PLUMBING FIXTURES IN BATH 02
 - 10 (E) DOOR TO REMAIN, TYP.
 - 11 (E) WINDOW TO REMAIN, TYP.

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PLANNING REVIEW 09.15.20

SHEET TITLE
PROPOSED LEVEL 2
PLAN

SCALE
1/4" = 1'-0"

A2.2

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SHEET NOTES

KEY KEYNOTE TEXT

- 1 PROPERTY LINE, SHOWN DASH DOT DOT, TYP.
- 2 (E) WOOD FENCING TO REMAIN, TYP.
- 3 (E) CONCRETE WALKWAY TO REMAIN, TYP.
- 4 MAXIMUM HEIGHT LINE: 28' - 6"
- 5 (E) TREE TO REMAIN, TYP. SHOWN DASHED
- 6 (E) BRICK CHIMNEY TO REMAIN
- 7 (E) BRICK TO REMAIN, TYP.
- 8 (E) WOOD WINDOWS TO REMAIN, TYP. PTD WHITE
- 9 (E) GUTTERS & DOWNSPOUTS TO REMAIN, TYP. PTD WHITE
- 10 (E) INSULATED ROOF W/ GREY COMPOSITE SHINGLES TO REMAIN, TYP.
- 11 (E) ENTRY PORCH TO REMAIN
- 12 (E) STRUCTURAL COLUMNS TO REMAIN, TYP. PTD WHITE
- 13 (E) GARAGE DOOR TO REMAIN
- 14 (E) EXTERIOR WOOD SIDING TO REMAIN, TYP. PTD RED
- 15 (E) EXTERIOR WALL TO BE DEMOLISHED, SHOWN DASHED
- 16 (E) WOOD TRIM TO REMAIN, TYP. PTD WHITE
- 17 (E) GRADE TO REMAIN, NO GRADING IN SCOPE OF WORK

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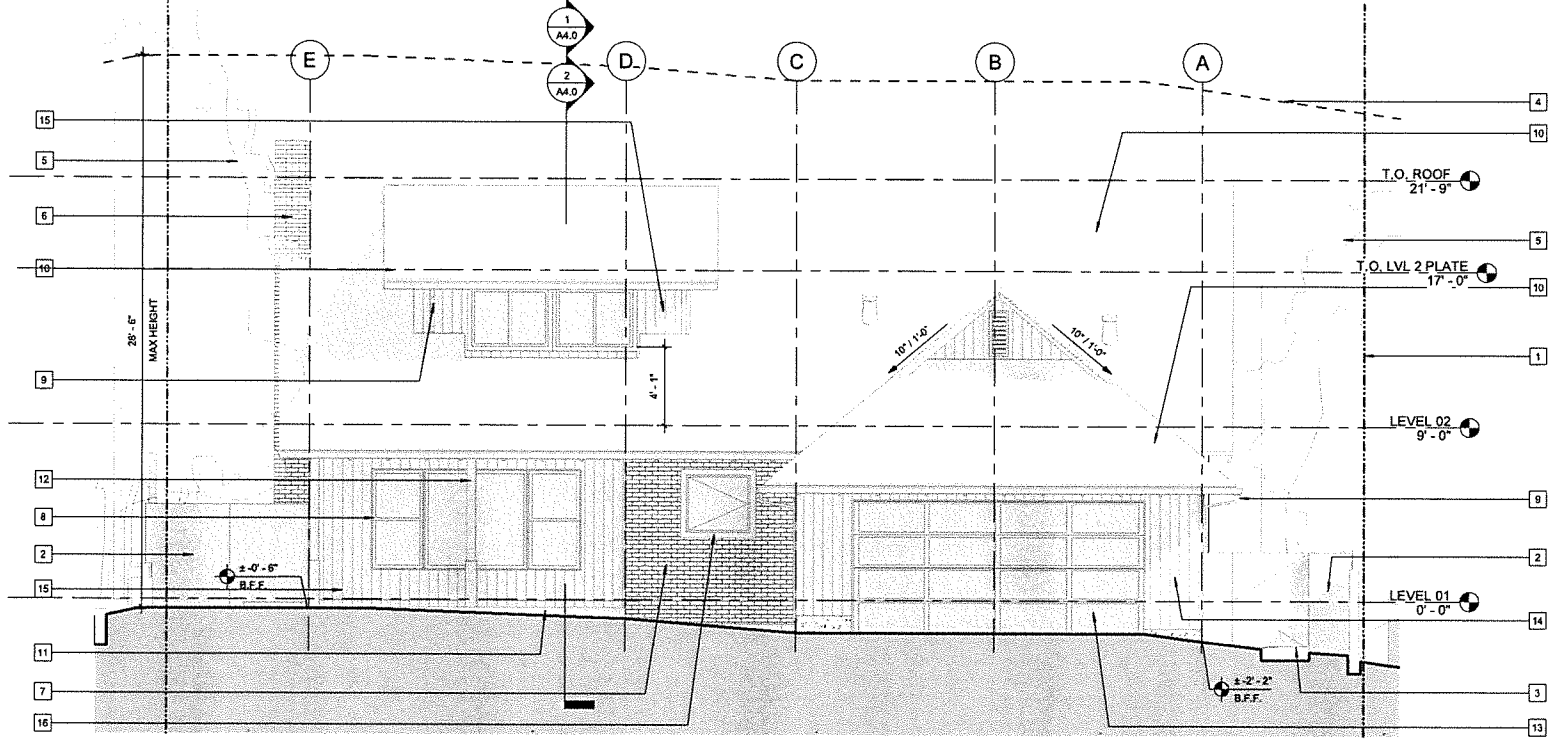
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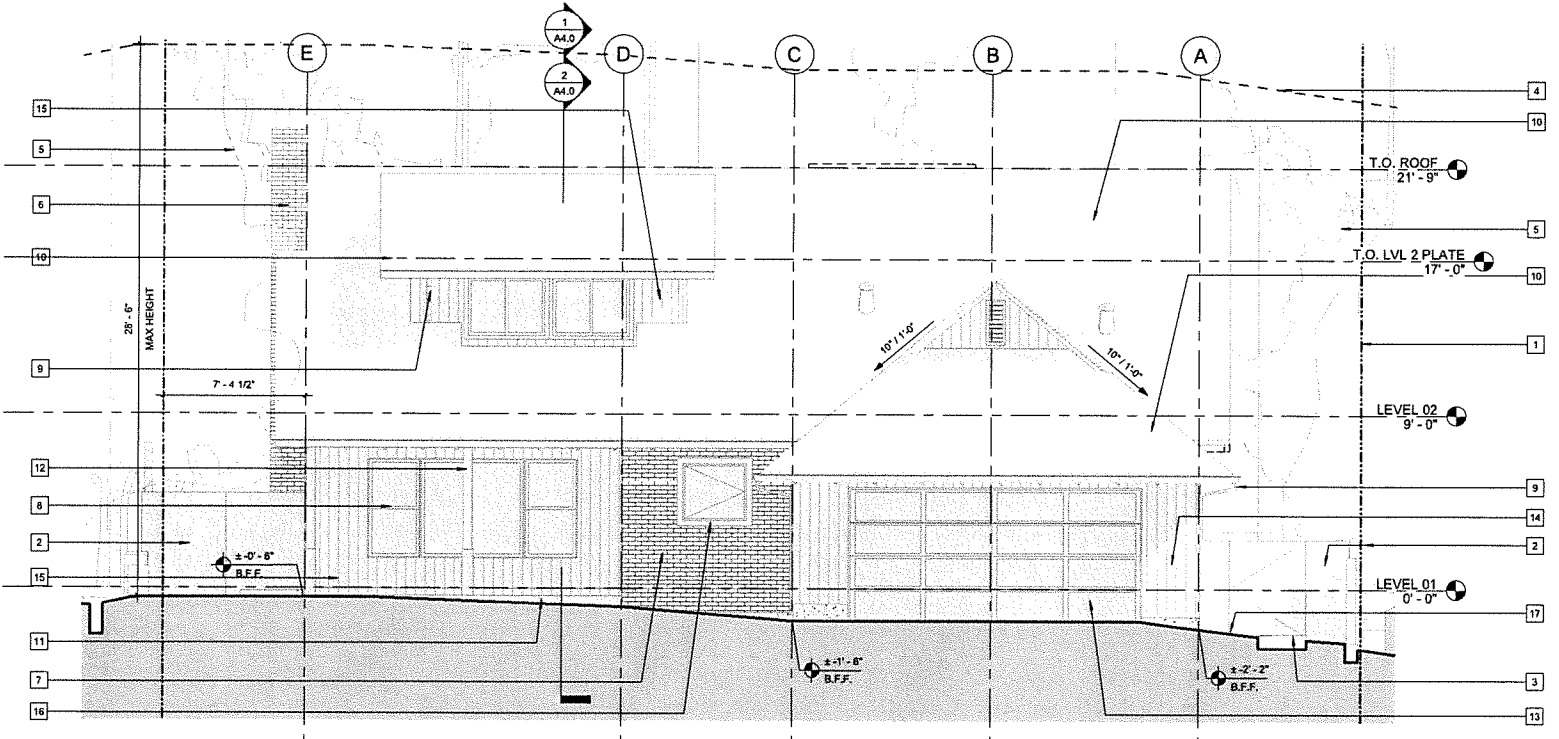
SHEET TITLE
ELEVATIONS

SCALE
1/4" = 1'-0"

A3.0

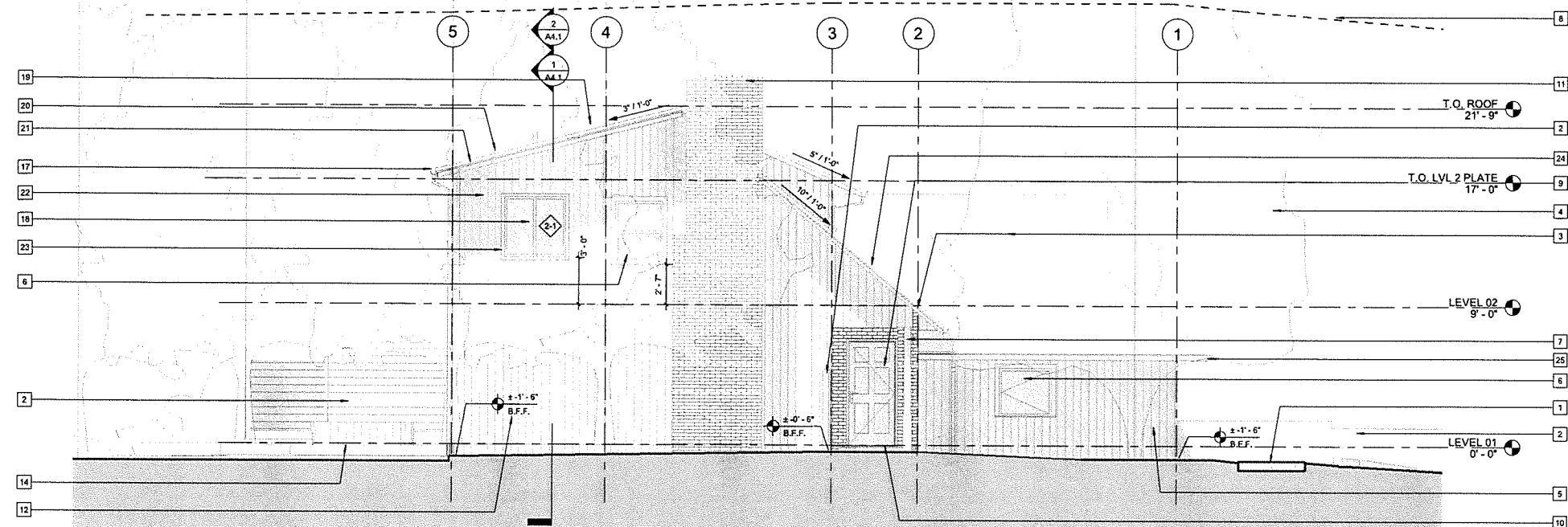


PROPOSED NORTH ELEVATION 2
SCALE: 1/4" = 1'-0"

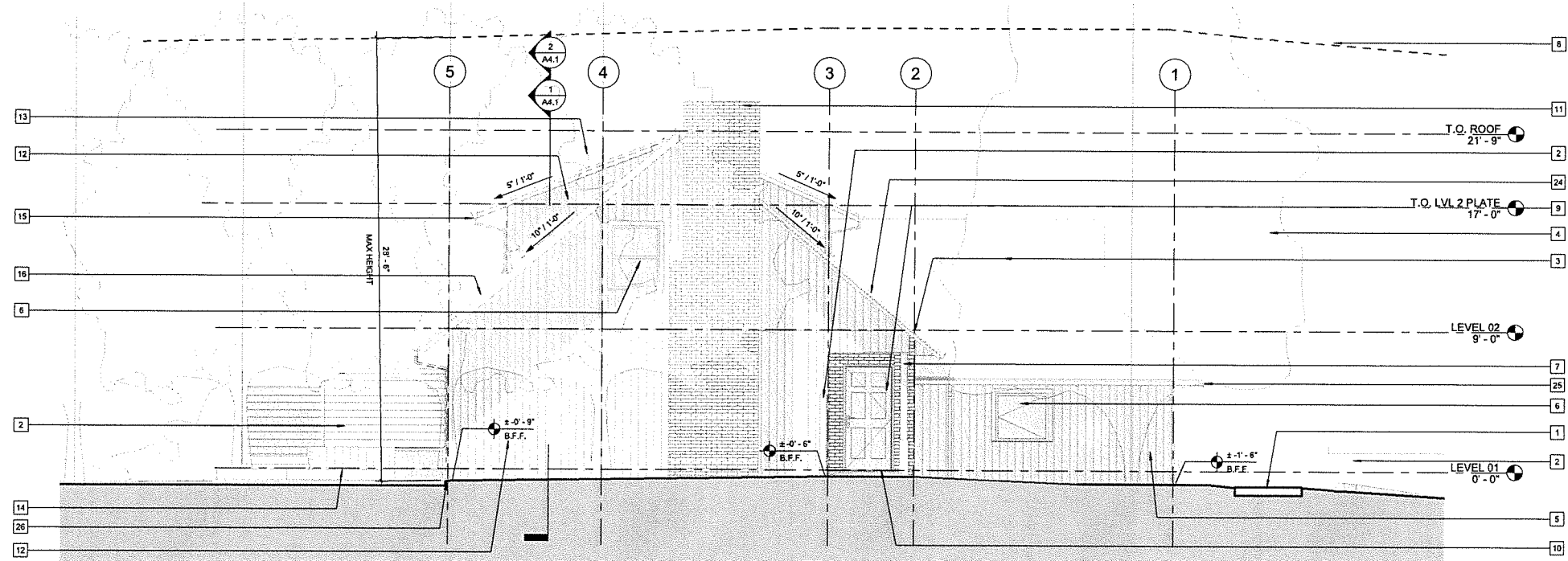


EXISTING NORTH ELEVATION 1
SCALE: 1/4" = 1'-0"

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PROPOSED EAST ELEVATION 2
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION 1
SCALE: 1/4" = 1'-0"

SHEET NOTES
KEY KEYNOTE TEXT

- 1 (E) CONCRETE WALKWAY TO REMAIN, TYP.
- 2 (E) WOOD FENCING TO REMAIN, TYP.
- 3 (E) INSULATED ROOF W/ GREY COMPOSITE SHINGLES TO REMAIN, TYP.
- 4 (E) TREE TO REMAIN, TYP. SHOWN DASHED
- 5 (E) EXTERIOR WOOD SIDING TO REMAIN, TYP. PTD RED
- 6 (E) WOOD WINDOWS TO REMAIN, TYP. PTD WHITE
- 7 (E) STRUCTURAL COLUMNS TO REMAIN, TYP. PTD WHITE
- 8 MAXIMUM HEIGHT LINE: 28' - 6"
- 9 (E) DOOR TO REMAIN, TYP.
- 10 (E) ENTRY PORCH TO REMAIN
- 11 (E) BRICK CHIMNEY TO REMAIN
- 12 (E) EXTERIOR WALL TO BE DEMOLISHED, SHOWN DASHED
- 13 (E) VENT PIPES TO BE RELOCATED TO (N) ROOF, TYP.
- 14 (E) WOOD DECK TO REMAIN, TYP.
- 15 (E) GUTTERING TO BE REMOVED, SHOWN DASHED, TYP.
- 16 (E) ROOF TO BE DEMOLISHED, SHOWN DASHED
- 17 (N) GSM GUTTERS & DOWNSPOUTS TO MATCH (E), PTD WHITE.
- 18 (N) WOOD WINDOW, TYP. REF. A10.1
- 19 (N) RELOCATED ROOF VENT PIPE
- 20 (N) INSULATED COMPOSITE SHINGLE ROOF TO MATCH (E), GREY
- 21 (N) 2X BUILT UP WOOD FASCIA TO MATCH (E) PTD WHITE
- 22 (N) SECOND LEVEL EXTERIOR WALL ASSEMBLY TO MATCH (E) WOOD SIDING, PTD RED
- 23 (N) WOOD TRIM TO MATCH (E), TYP. PTD WHITE
- 24 (E) 2X BUILT UP WOOD FASCIA PTD WHITE
- 25 (E) GUTTERS & DOWNSPOUTS TO REMAIN, TYP. PTD WHITE
- 26 (E) GRADE TO REMAIN, NO GRADING IN SCOPE OF WORK

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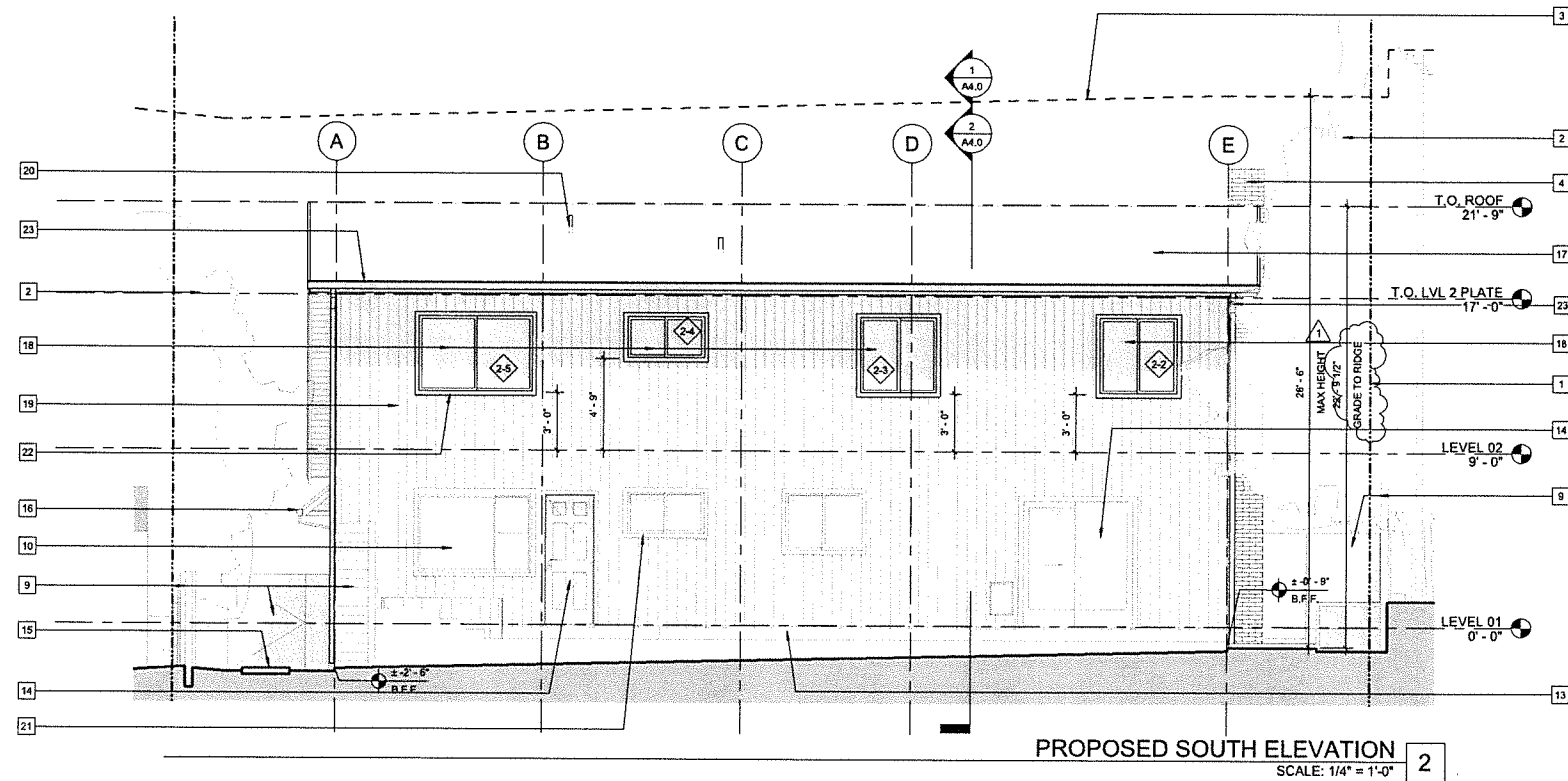
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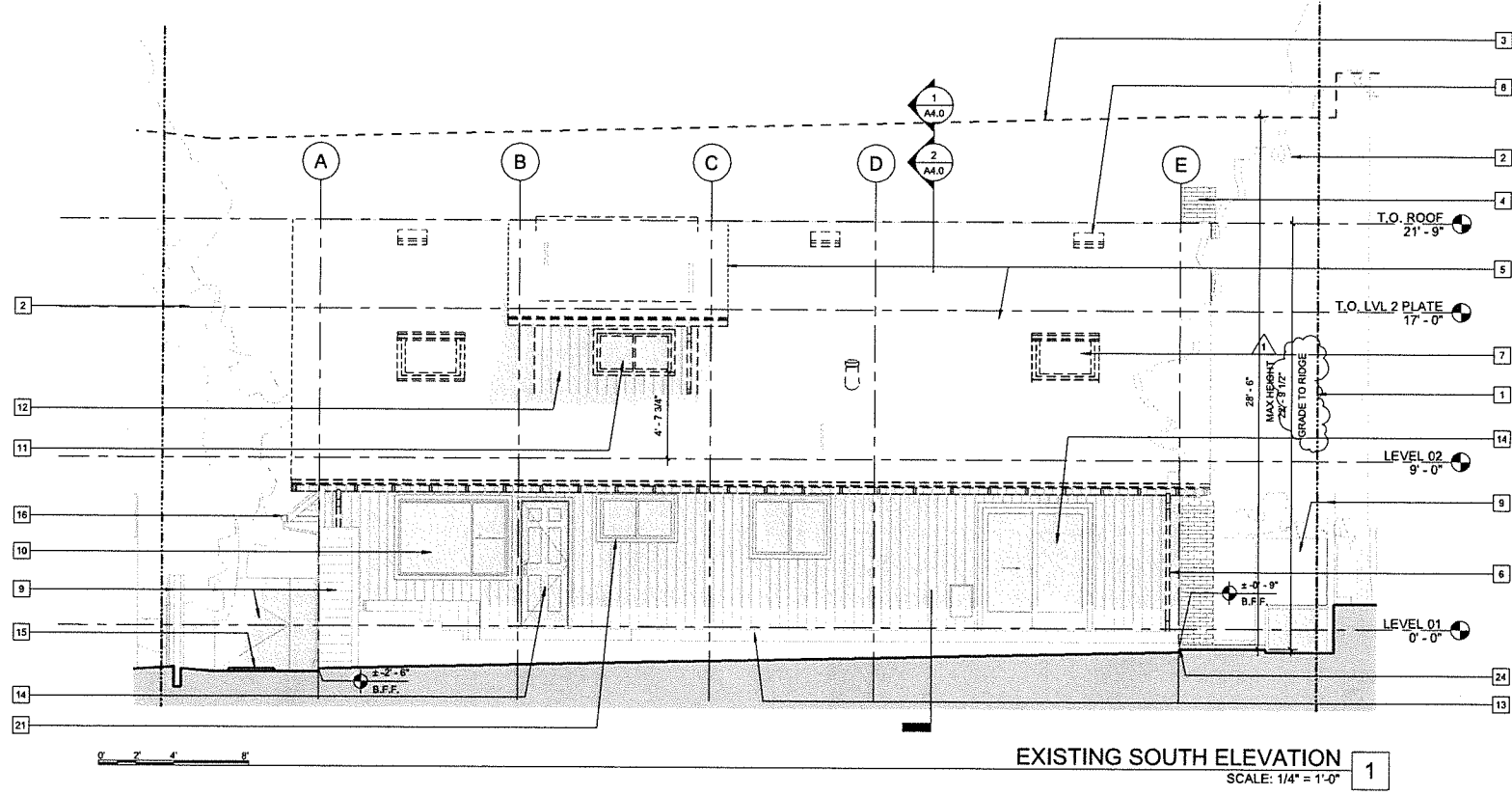
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1/4" = 1'-0"

A3.1

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PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0" 2



EXISTING SOUTH ELEVATION
SCALE: 1/4" = 1'-0" 1

SHEET NOTES
KEY KEYNOTE TEXT

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- 2 (E) TREE TO REMAIN, TYP. SHOWN DASHED
- 3 MAXIMUM HEIGHT LINE: 28' - 6"
- 4 (E) BRICK CHIMNEY TO REMAIN
- 5 (E) ROOF TO BE DEMOLISHED, SHOWN DASHED
- 6 (E) GUTTERING TO BE REMOVED, SHOWN DASHED, TYP.
- 7 (E) SKYLIGHT TO BE DEMOLISHED, SHOWN DASHED, TYP.
- 8 (E) VENT PIPES TO BE RELOCATED TO (N) ROOF, TYP.
- 9 (E) WOOD FENCING TO REMAIN, TYP.
- 10 (E) WOOD WINDOWS TO REMAIN, TYP. PTD WHITE
- 11 (E) WINDOW TO BE DEMOLISHED, SHOWN DASHED
- 12 (E) EXTERIOR WALL TO BE DEMOLISHED, SHOWN DASHED
- 13 (E) WOOD DECK TO REMAIN, TYP.
- 14 (E) DOOR TO REMAIN, TYP.
- 15 (E) CONCRETE WALKWAY TO REMAIN, TYP.
- 16 (E) GUTTERS & DOWNSPOUTS TO REMAIN, TYP. PTD WHITE
- 17 (N) INSULATED COMPOSITE SHINGLE ROOF, MATCH (E)
- 18 (N) WOOD WINDOW, TYP. REF. A10.1
- 19 (N) SECOND LEVEL EXTERIOR WALL ASSEMBLY TO MATCH (E) WOOD SIDING, PTD RED
- 20 (N) RELOCATED ROOF VENT PIPE
- 21 (E) WOOD TRIM TO REMAIN, TYP. PTD WHITE
- 22 (N) WOOD TRIM TO MATCH (E), TYP. PTD WHITE
- 23 (N) GSM GUTTERS & DOWNSPOUTS TO MATCH (E), PTD WHITE.
- 24 (E) GRADE TO REMAIN, NO GRADING IN SCOPE OF WORK

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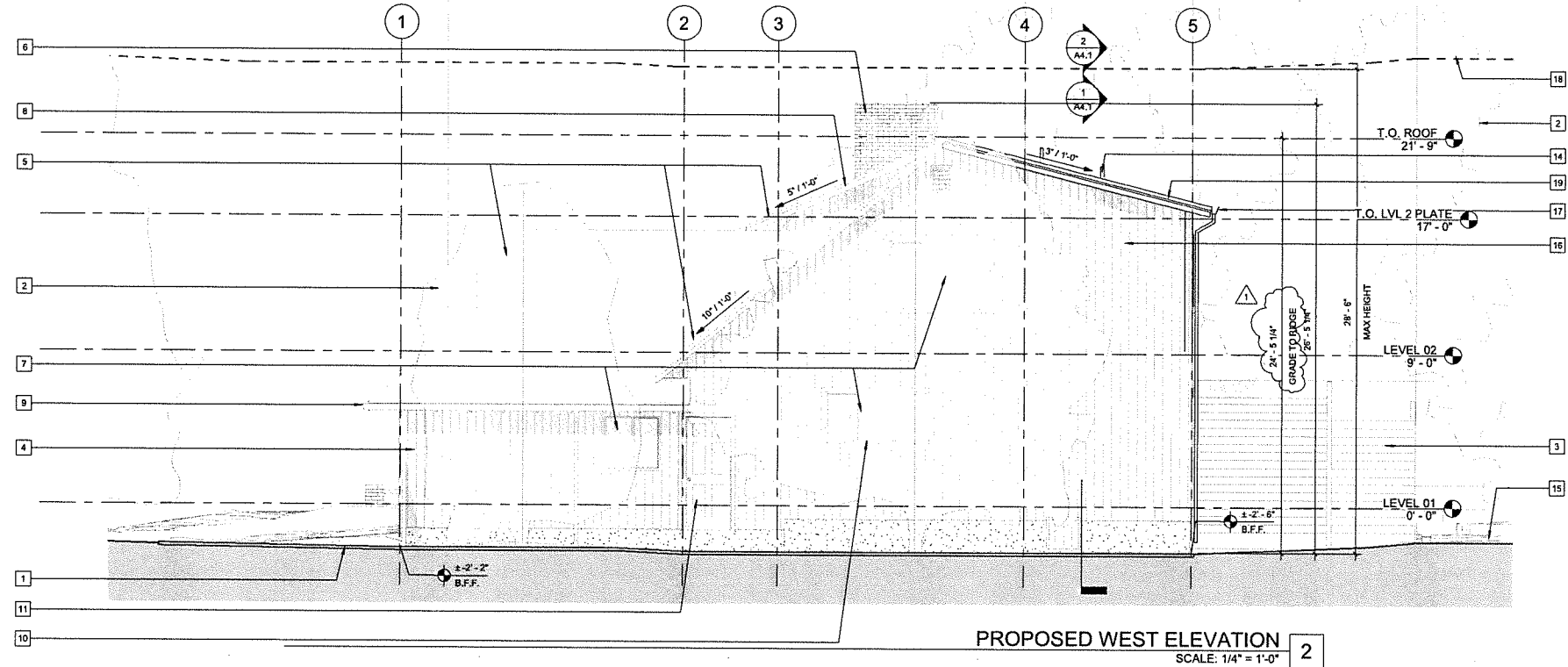
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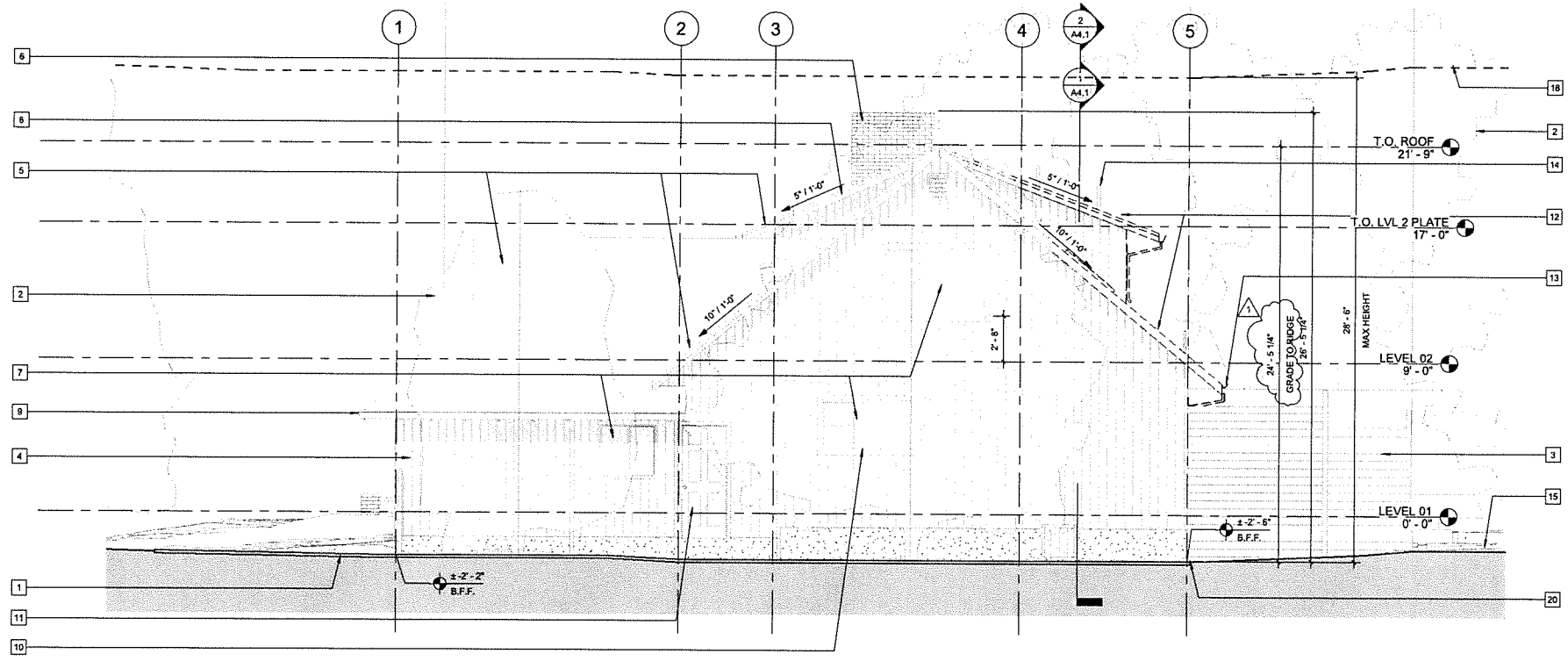
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1/4" = 1'-0"

A3.2

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PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0" 2



EXISTING WEST ELEVATION
SCALE: 1/4" = 1'-0" 1

SHEET NOTES

KEY KEYNOTE TEXT

- 1 (E) CONCRETE WALKWAY TO REMAIN, TYP.
- 2 (E) TREE TO REMAIN, TYP. SHOWN DASHED
- 3 (E) WOOD FENCING TO REMAIN, TYP.
- 4 (E) EXTERIOR WOOD SIDING TO REMAIN, TYP. PTD RED
- 5 (E) INSULATED ROOF W/ GREY COMPOSITE SHINGLES TO REMAIN, TYP.
- 6 (E) BRICK CHIMNEY TO REMAIN
- 7 (E) WOOD WINDOWS TO REMAIN, TYP. PTD WHITE
- 8 (E) 2X BUILT UP WOOD FASCIA PTD WHITE
- 9 (E) GUTTERS & DOWNSPOUTS TO REMAIN, TYP. PTD WHITE
- 10 (E) WOOD TRIM TO REMAIN, TYP. PTD WHITE
- 11 (E) DOOR TO REMAIN, TYP.
- 12 (E) ROOF TO BE DEMOLISHED, SHOWN DASHED
- 13 (E) GUTTERING TO BE REMOVED, SHOWN DASHED, TYP.
- 14 (E) VENT PIPES TO BE RELOCATED TO (N) ROOF, TYP.
- 15 (E) YARD AREA TO REMAIN
- 16 (N) SECOND LEVEL EXTERIOR WALL ASSEMBLY TO MATCH (E) WOOD SIDING, PTD RED
- 17 (N) GSM GUTTERS & DOWNSPOUTS TO MATCH (E), PTD WHITE.
- 18 MAXIMUM HEIGHT LINE: 28' - 6"
- 19 (N) 2X BUILT UP WOOD FASCIA TO MATCH (E) PTD WHITE
- 20 (E) GRADE TO REMAIN, NO GRADING IN SCOPE OF WORK

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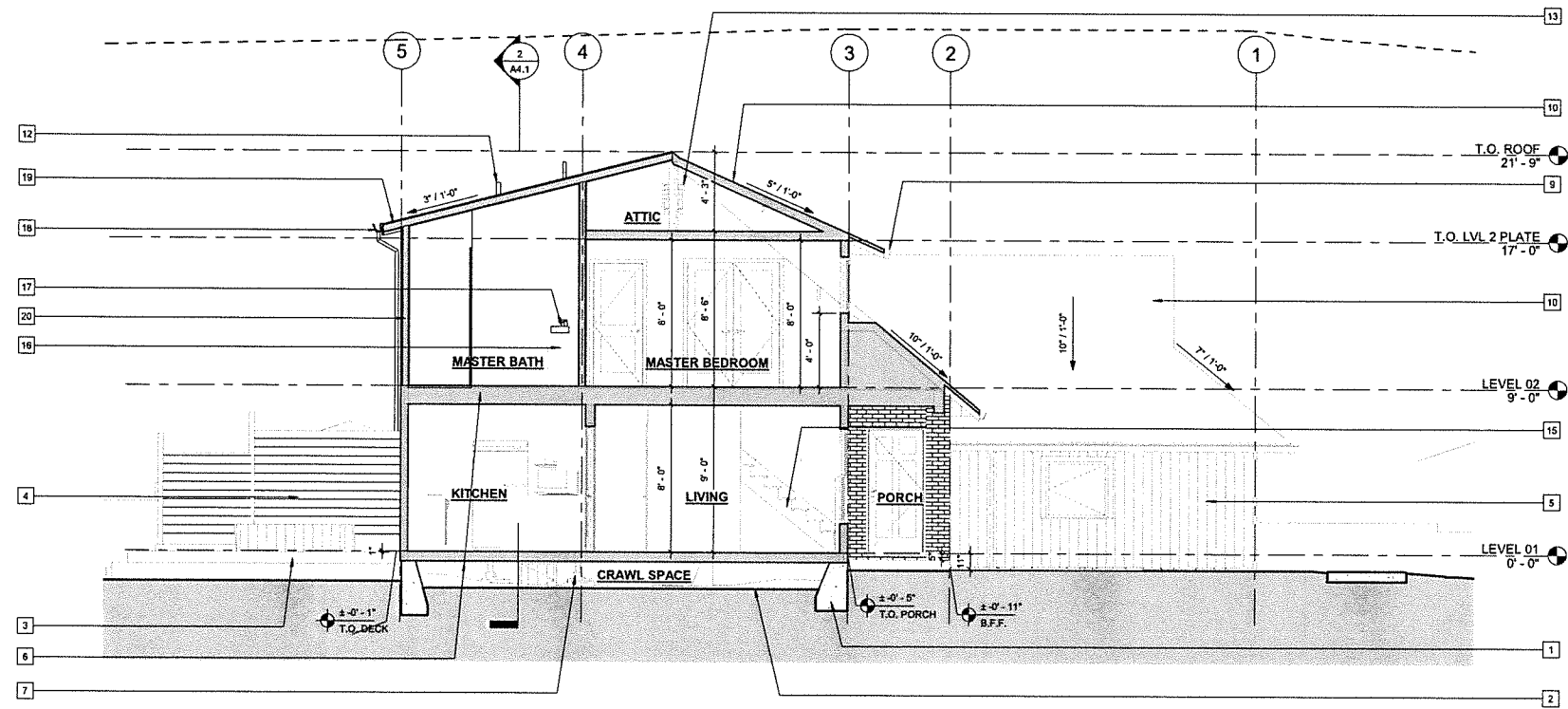
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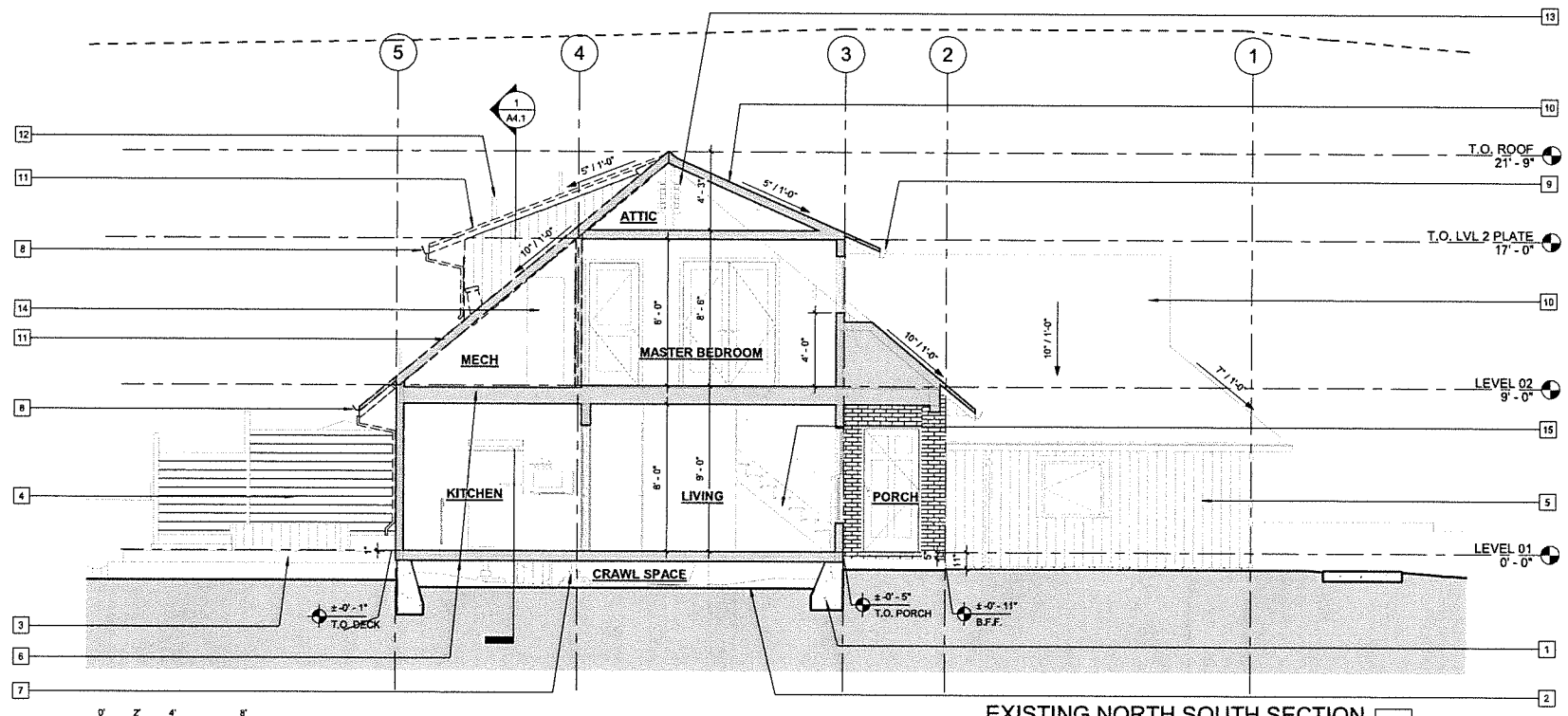
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A3.3

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PROPOSED NORTH SOUTH SECTION 2
SCALE: 1/4" = 1'-0"



EXISTING NORTH SOUTH SECTION 1
SCALE: 1/4" = 1'-0"

SHEET NOTES
KEY KEYNOTE TEXT

- 1 (E) FOUNDATION TO REMAIN, TYP.
- 2 (E) CRAWL SPACE TO REMAIN
- 3 (E) DECK TO REMAIN, TYP.
- 4 (E) FENCE TO REMAIN, TYP.
- 5 (E) EXTERIOR WALL W/ BOARD & BATTEN FINISH TO REMAIN, TYP. PTD. RED
- 6 (E) FLOOR ASSEMBLY TO REMAIN, TYP.
- 7 (E) WINDOW TO BE DEMOLISHED, SHOWN DASHED
- 8 (E) GUTTERS & DOWNSPOUTS TO BE DEMOLISHED, SHOWN DASHED, TYP.
- 9 (E) METAL GUTTERS & DOWNSPOUTS TO REMAIN, TYP. PTD. WHITE
- 10 (E) INSULATED, COMPOSITE SHINGLE ROOF TO REMAIN, TYP.
- 11 (E) ROOF ASSEMBLY TO BE DEMOLISHED, SHOWN DASHED
- 12 (E) ROOF VENTS PIPES TO BE RELOCATED AS REQ'D
- 13 (E) ATTIC VENT TO REMAIN, TYP.
- 14 (E) FAU TO BE RELOCATED AS NEEDED
- 15 (E) STAIRS TO REMAIN
- 16 (N) CASEWORK, TYP.
- 17 (N) PLUMBING FIXTURES IN BATHROOM, TYP.
- 18 (N) GSM GUTTERS & DOWNSPOUTS TO MATCH (E), PTD. WHITE
- 19 (N) INSULATED, GAF TIMBERLINE COMPOSITE SHINGLE ROOF TO MATCH (E) CHARCOAL
- 20 (N) EXTERIOR WALL W/ BOARD & BATTEN FINISH TO MATCH (E), PTD. RED

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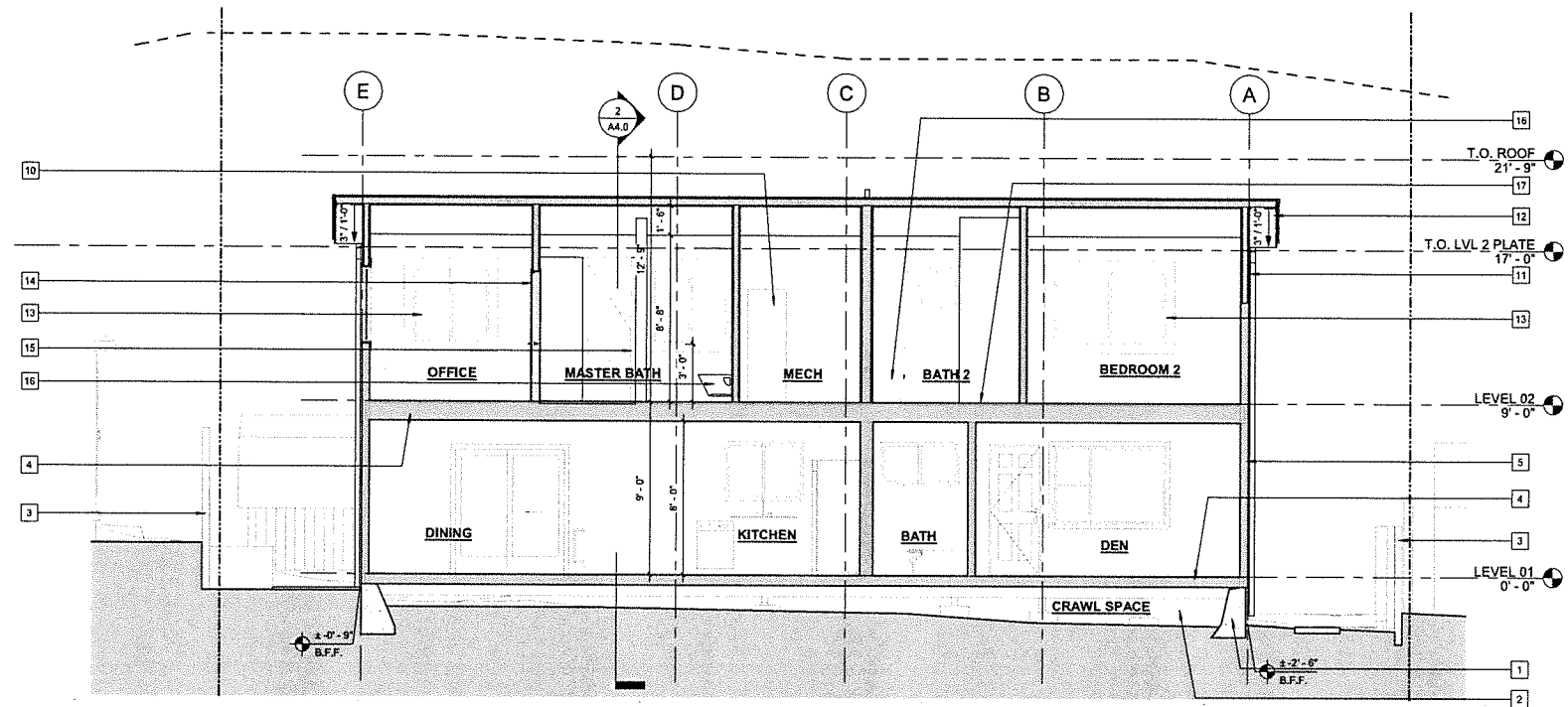
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SHEET TITLE
SECTIONS

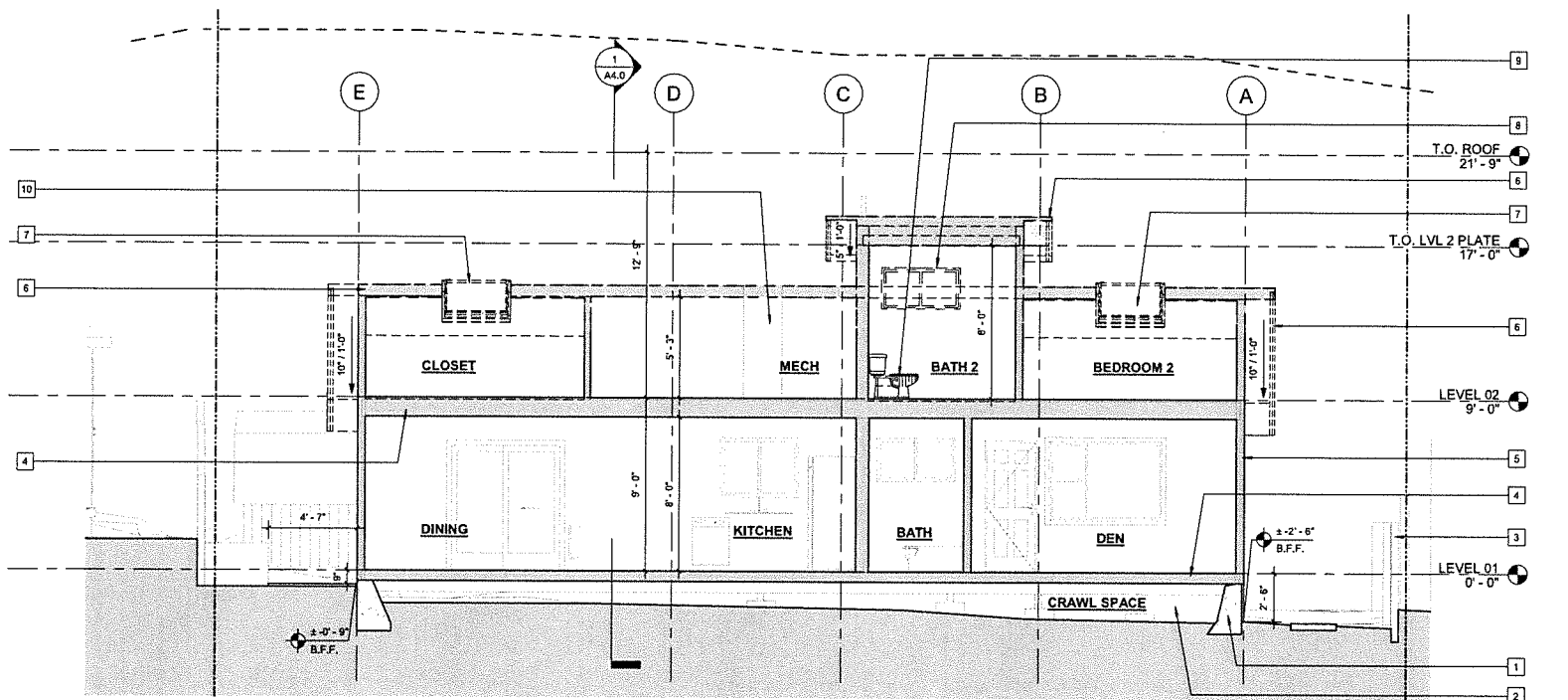
SCALE
1/4" = 1'-0"

A4.0

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PROPOSED EAST WEST SECTION 2
SCALE: 1/4" = 1'-0"



EXISTING EAST WEST SECTION 1
SCALE: 1/4" = 1'-0"

SHEET NOTES
KEY KEYNOTE TEXT

- 1 (E) FOUNDATION TO REMAIN, TYP.
- 2 (E) CRAWL SPACE TO REMAIN
- 3 (E) FENCE TO REMAIN, TYP.
- 4 (E) FLOOR ASSEMBLY TO REMAIN, TYP.
- 5 (E) EXTERIOR WALL W/ BOARD & BATTEN FINISH TO REMAIN, TYP. PTD. RED
- 6 (E) ROOF ASSEMBLY TO BE DEMOLISHED, SHOWN DASHED
- 7 (E) SKYLIGHT TO BE DEMOLISHED, SHOWN DASHED
- 8 (E) WINDOW TO BE DEMOLISHED, SHOWN DASHED
- 9 (E) PLUMBING FIXTURES TO BE DEMOLISHED, SHOWN DASHED
- 10 (E) FAU TO BE RELOCATED AS NEEDED
- 11 (N) EXTERIOR WALL W/ BOARD & BATTEN FINISH TO MATCH (E), PTD. RED
- 12 (N) INSULATED, GAF TIMBERLINE COMPOSITE SHINGLE ROOF TO MATCH (E) CHARCOAL
- 13 (N) WINDOW, TYP. REF. A10.0
- 14 (N) SWING DOOR, TYP. REF. A10.0
- 15 (N) CASEWORK, TYP. REF. A5.0
- 16 (N) PLUMBING FIXTURES IN BATHROOM, TYP.
- 17 (N) FLOORING IN BATHROOM, TBD.

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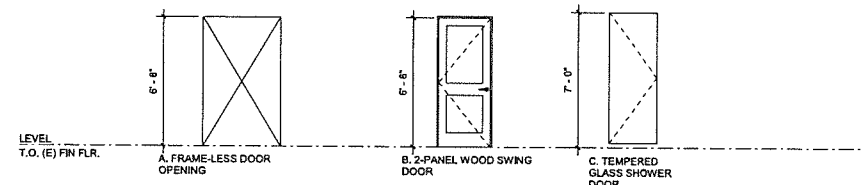
SHEET TITLE
SECTIONS

SCALE
1/4" = 1'-0"

A4.1



DOOR SCHEDULE														
MARK	TYPE	LEVEL	DOOR LOCATION	OPENING* (SEE NOTES BELOW)		AREA	DETAILS				MFR	FINISH/MAT L	HARDWARE	NOTES
				WIDTH	HEIGHT		HEAD	THRESHOLD	RIGHT JAMB	LEFT JAMB				
LEVEL 01														
2-6	YYYYY	LEVEL 01			3'-0"	6'-8"								
LEVEL 02														
2-1	A	LEVEL 02	MASTER BEDROOM		4'-0"	6'-8"						N/A	NONE	
2-2	B	LEVEL 02	OFFICE		2'-8"	6'-8"						WOOD	PR	
2-3	C	LEVEL 02	MASTER BATH		2'-6"	7'-6"						TEMPERED/OBSCURED	SH	
2-4	B	LEVEL 02	BATHROOM 2		2'-4"	6'-8"						WOOD	PR	
2-5	C	LEVEL 02	BATHROOM 2		2'-6"	7'-6"						TEMPERED/OBSCURED	SH	



DOOR LEGEND

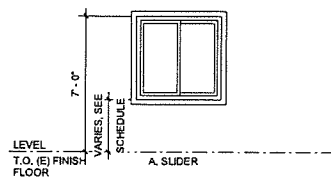
1/4" = 1'-0"

DOOR CONSTRUCTION	DOOR HARDWARE
GA GARAGE	CL CLOSET
HC HOLLOW CORE	DB PUSH PLATE/DOOR PULL W/ DEAD BOLT
SC SOLID CORE	EX EXTERIOR LOCK W/ DEAD BOLT
SR STILE & RAIL	PA PASSAGE
SR/G STILE & RAIL W/ GLASS	PO POCKET DOOR W/LOCK
FR FRENCH W/ GLASS	PR PRIVACY

DOOR ABBREVIATIONS

1/4" = 1'-0"

WINDOW SCHEDULE												
MARK	TYPE	MFG / SERIES	GLASS	DETAIL			NOTES	LEVEL	HEAD HEIGHT	WINDOW HEAD R.O.	NOMINAL UNIT WIDTH	NOMINAL UNIT HEIGHT
				HEAD	SILL	JAMB						
2-1	SLIDER	MARVIN INTEGRITY	T,I								4'-1"	4'-0"
2-2	SLIDER	MARVIN INTEGRITY	T,I					LEVEL 02	7'-0"		4'-1"	4'-0"
2-3	SLIDER	MARVIN INTEGRITY	T,I					LEVEL 02	7'-0"		4'-1"	4'-0"
2-4	SLIDER	MARVIN INTEGRITY	T,I					LEVEL 02	7'-0"		4'-1"	2'-3"
2-5	SLIDER	MARVIN INTEGRITY	T,I					LEVEL 02	7'-0"		6'-0"	4'-0"



WINDOW LEGEND

1/4" = 1'-0"

NOTE:

- NOMINAL WINDOW DIMENSIONS SHOULD BE TREATED AS OUTSIDE OF FRAME SIZE
- GRILLE SIZE IS 1 1/4"
- HARDWARE FINISH: SATIN NICKEL

GLASS TYPE:

GB	GLASS BLOCK
I	DOUBLE GLAZED LOW-E2
S	SINGLE GLAZED
SB	SAND BLASTED
T	TEMPERED
TN	TINTED

GLAZING ABBREVIATION

1/2" = 1'-0"

GENERAL NOTES

THE EXTERIOR WINDOWS AND DOORS ADDED TO THE BUILDING ARE ALL LOCATED IN UNCONDITIONED SPACE: THE GARAGE. NO TITLE - 24 ENERGY IMPACT

WINDOW NOTES

- CONTRACTOR TO VERIFY ALL ROUGH OPENINGS AND JAMB THICKNESS BEFORE FINALIZING WINDOW ORDER.
- TEMPERED OR SAFETY GLASS IS REQUIRED IN THE FOLLOWING HAZARDOUS LOCATIONS:
 - GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 - GLAZING IN STORM DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS
- ALL WINDOWS SHALL CONFORM TO FENESTRATION SPECIFICATION SET FORTH IN TITLE 24 CONDITIONS
- ALL EMERGENCY RESCUE WINDOWS SHALL HAVE MIN NET CLEAR OPENING OF 5.7-SF (EX. GRADE FLOOR MAY BE 5.0 SF), MIN CLEAR WIDTH OF 20", MIN CLEAR HEIGHT OF 24", AND HEIGHT TO THE BOTTOM OF THE CLEAR OPENING NO GREATER THAN 44" AFF. CONTRACTOR TO VERIFY PRIOR TO ORDERING AND INSTALLATION.
- ALL WINDOWS SHALL CONFORM TO FENESTRATION SPECIFICATION SET FORTH IN TITLE 24 CONDITIONS

DOOR NOTES

- CONTRACTOR TO VERIFY ALL ROUGH OPENINGS AND JAMB THICKNESS BEFORE FINALIZING DOOR ORDER(S).
- TEMPERED OR SAFETY GLASS IS REQUIRED IN THE FOLLOWING HAZARDOUS LOCATIONS:
 - GLAZING IN INGRESS AND EGRESS DOORS EXCEPT JALOUSIES.
 - GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS.
 - GLAZING IN STORM DOORS.
 - GLAZING IN ALL UNFRAMED SWINGING DOORS.
 - GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS. GLAZING IN ANY PORTION OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - GLAZING IN FIXED OR OPERABLE PANELS ADJACENT TO A DOOR WHERE THE NEAREST EXPOSED EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.
 - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS ALL OF THE FOLLOWING CONDITIONS:
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
 - EXPOSED BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
 - EXPOSED TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.
 - GLAZING IN RAILINGS REGARDLESS OF HEIGHT ABOVE A WALKING SURFACE. INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS
- ALL FIRE RATED DOORS TO HAVE SELF-CLOSER AND SMOKE GASKET PER NFPA.
- ALL INTERIOR DOORS TO BE SOLID CORE BIRCH VENEER, U.O.N.
- 3/4-INCH MAXIMUM THRESHOLD ABOVE LANDING AT ALL EXTERIOR DOORS. (SEC 1008.1.7) NOTE: IN A SINGLE FAMILY DWELLING, DOORS MAY HAVE LANDINGS THAT ARE NOT MORE THAN 7 3/4 INCHES LOWER THAN THE FLOOR LEVEL PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING. (SEC 1008.1.7 EX1.2)
- DOOR FROM GARAGE TO RESIDENCE TO BE SELF-CLOSING, TIGHT-FITTING, 13/8" THICK SOLID WOOD OR 20-MINUTE RATED ASSEMBLY. (CRC R302.5.1)
- ALL WINDOWS SHALL CONFORM TO FENESTRATION SPECIFICATION SET FORTH IN TITLE 24 CONDITIONS

PROJECT NAME
DANIEL REMODEL

PERMIT#
JOB NO. 2020003
PROJECT ADDRESS
**APN# 001-261-44
46 SAN GABRIEL
FAIRFAX, CA 94930**

CLIENT NAME
KEVIN DANIEL

CURRENT RELEASE DATE:
01.15.21

CURRENT RELEASE SET:
PLANNING REVIEW RESPONSE

PREVIOUS RELEASE
PLANNING REVIEW 09.15.20

SHEET TITLE
DOOR AND WINDOW SCHEDULES

SCALE
As Indicated

A10.0

TO BETTER UNDERSTAND HOW THE PROPOSED ADDITION AT 46 SAN GABRIEL DRIVE WOULD FIT INTO THE CONTEXT OF THE NEIGHBORHOOD THE DESIGN TEAM REVIEWED THE EXTENTS OF THE GREATER NEIGHBORHOOD (SAN GABRIEL DRIVE, SAN GABRIEL COURT, MARINDA DRIVE, MARINDA COURT, ARCHANGEL COURT, VISTA WAY) BASED ON THE FOLLOWING CONTEXT:

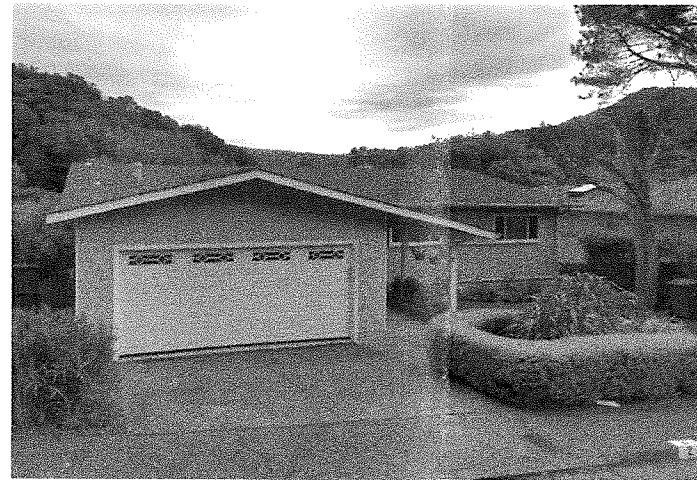
PARCEL SIZE: > 8,450 SF
 HABITABLE SPACE: <1,800 SF
 BEDROOMS: 3+
 BATHROOMS: 3+

THESE METRICS EQUATE TO ROUGHLY THE SIZE OR LARGER (WITH THE EXCEPTION OF PARCEL SIZE) OF 46 SAN GABRIEL DRIVE WITH THE PROPOSED ADDITION.

THE PRECEDENTS WERE FURTHER REFINED BY VISUAL ANALYSIS TO EXISTING NON-CONFORMING HOMES THAT APPEAR TO SIMILARLY ENCROACH INTO THE REQUIRED COMBINED SIDE SETBACK.

PLEASE NOTE THAT SOME OF THE HOMES ARE DOWNSLOPE FROM THE STREET WITH THE TWO STORY ELEVATION NOT VISIBLE FROM THE STREET, BUT CLEAR FROM THE SATELLITE INFORMATION REVIEWED.

THE FOLLOWING PARCELS MEET THIS CONTEXT:



2 MARINDA COURT



8 SAN GABRIEL COURT



15 ARCHANGEL COURT

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	6,030
Construction Year	1960
Living Area Sq. Ft.	2,680
Number of Bedrooms	4
Number of Bathrooms	3
Garage Sq. Ft.	484
Deck/Patio Sq. Ft.	994
Pool Sq. Ft.	0
Unfinished Sq. Ft.	180

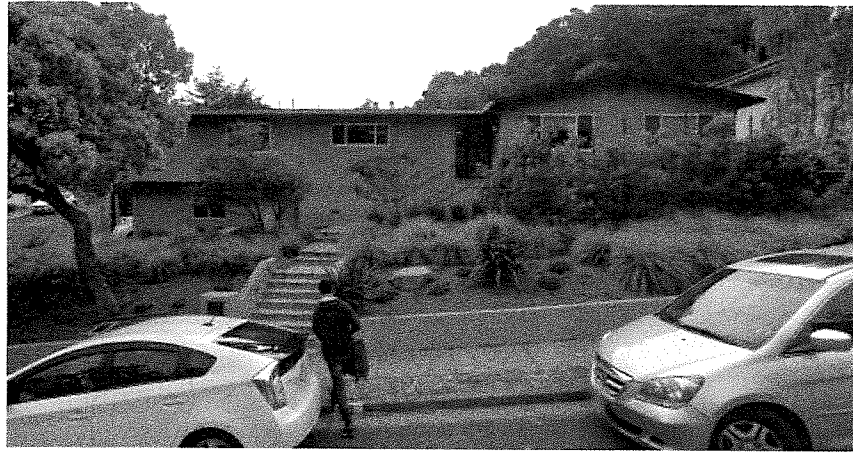
See [California Revenue and Taxation Code §408.3](#): Property

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	7,877
Construction Year	1955
Living Area Sq. Ft.	2,717
Number of Bedrooms	6
Number of Bathrooms	3
Garage Sq. Ft.	416
Deck/Patio Sq. Ft.	876
Pool Sq. Ft.	612
Unfinished Sq. Ft.	0

See [California Revenue and Taxation Code §408.3](#): Prope

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	6,900
Construction Year	1956
Living Area Sq. Ft.	2,232
Number of Bedrooms	3
Number of Bathrooms	2.5
Garage Sq. Ft.	576
Deck/Patio Sq. Ft.	40
Pool Sq. Ft.	0
Unfinished Sq. Ft.	0

See [California Revenue and Taxation Code §408.3](#): Propert



101 SAN GABRIEL DRIVE

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	7,600
Construction Year	1956
Living Area Sq. Ft.	2,091
Number of Bedrooms	5
Number of Bathrooms	3.5
Garage Sq. Ft.	525
Deck/Patio Sq. Ft.	383
Pool Sq. Ft.	392
Unfinished Sq. Ft.	0

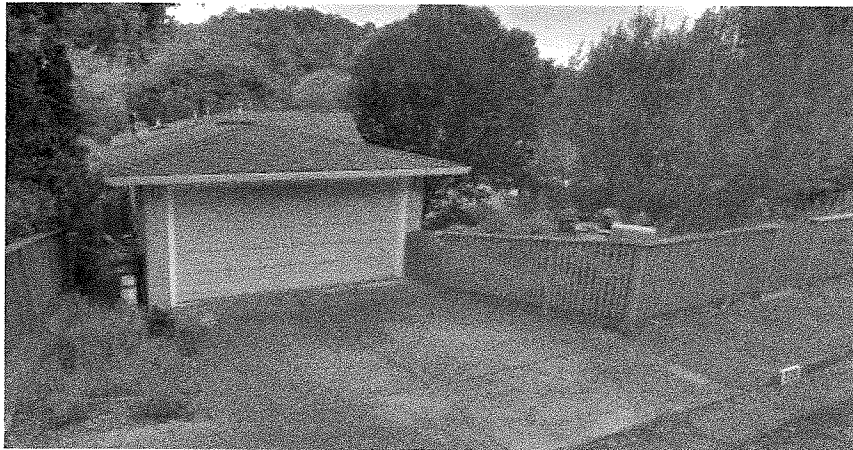
See [California Revenue and Taxation Code §408.3](#): Propert



232 MARINDA DRIVE

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	5,760
Construction Year	1964
Living Area Sq. Ft.	2,614
Number of Bedrooms	3
Number of Bathrooms	3
Garage Sq. Ft.	506
Deck/Patio Sq. Ft.	376
Pool Sq. Ft.	0
Unfinished Sq. Ft.	0

See [California Revenue and Taxation Code §408.3](#): Prc



220 MARINDA DRIVE

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	6,760
Construction Year	1959
Living Area Sq. Ft.	2,229
Number of Bedrooms	3
Number of Bathrooms	3
Garage Sq. Ft.	380
Deck/Patio Sq. Ft.	272
Pool Sq. Ft.	0
Unfinished Sq. Ft.	0

See [California Revenue and Taxation Code §408.3](#): Proper



236 MARINDA DRIVE

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	5,760
Construction Year	1964
Living Area Sq. Ft.	2,614
Number of Bedrooms	3
Number of Bathrooms	3
Garage Sq. Ft.	506
Deck/Patio Sq. Ft.	376
Pool Sq. Ft.	0
Unfinished Sq. Ft.	0

See [California Revenue and Taxation Code §408.3](#): Proper



228 MARINDA DRIVE

Use Code	11
Use Code Definition	Single-Resid. - Improved
Living Units	1
Land Sq. Ft.	6,030
Construction Year	1962
Living Area Sq. Ft.	2,150
Number of Bedrooms	4
Number of Bathrooms	3
Garage Sq. Ft.	440
Deck/Patio Sq. Ft.	212
Pool Sq. Ft.	0
Unfinished Sq. Ft.	0

See [California Revenue and Taxation Code §408.3](#): Propert

TRISTAN · WARREN
ARCHITECT

46 SAN GABRIEL
KEVIN & SUSAN DANIEL

NEIGHBORHOOD PRECEDENTS
4.15.2021