

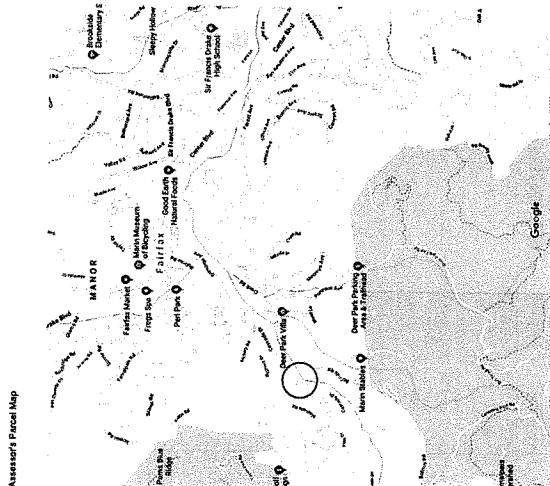
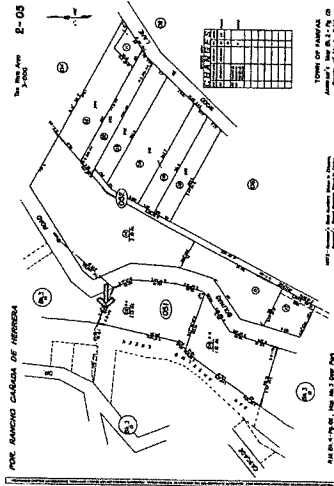
Project Description

Demolition of existing decaying deck surface. Preserve cantilevered structure as possible. Construction of new deck surface. New stairs to Lower and Basement levels. Replace (E) sliding glass doors and add 2 new sliding doors on the South Side. Install new lighting and miscellaneous electrical.

Project Data

Address: 500 Bolinas Road, Fairfax, CA 94930
 APN: 002-051-00
 Zone: RS-6

Lot Area	Existing	Proposed
Footprint (Barr)	987 SF	987 SF
Lower	1,200 SF	1,200 SF
Upper	2,500 SF	2,500 SF
Total	4,687 SF	4,687 SF
FAR (4 Max.)	18,748 SF	18,748 SF
FAR (Proposed Impervious deck)	1,419 SF	1,419 SF
Lot Coverage	4.3%	4.3%
Existing Deck Area	1,408 SF	1,419 SF
Proposed Deck Area	2,402 SF	2,402 SF
Yards, Slope over 10%	744 SF	744 SF
Front Setback 6'		
Side Setback 5' (Comb. 20')		



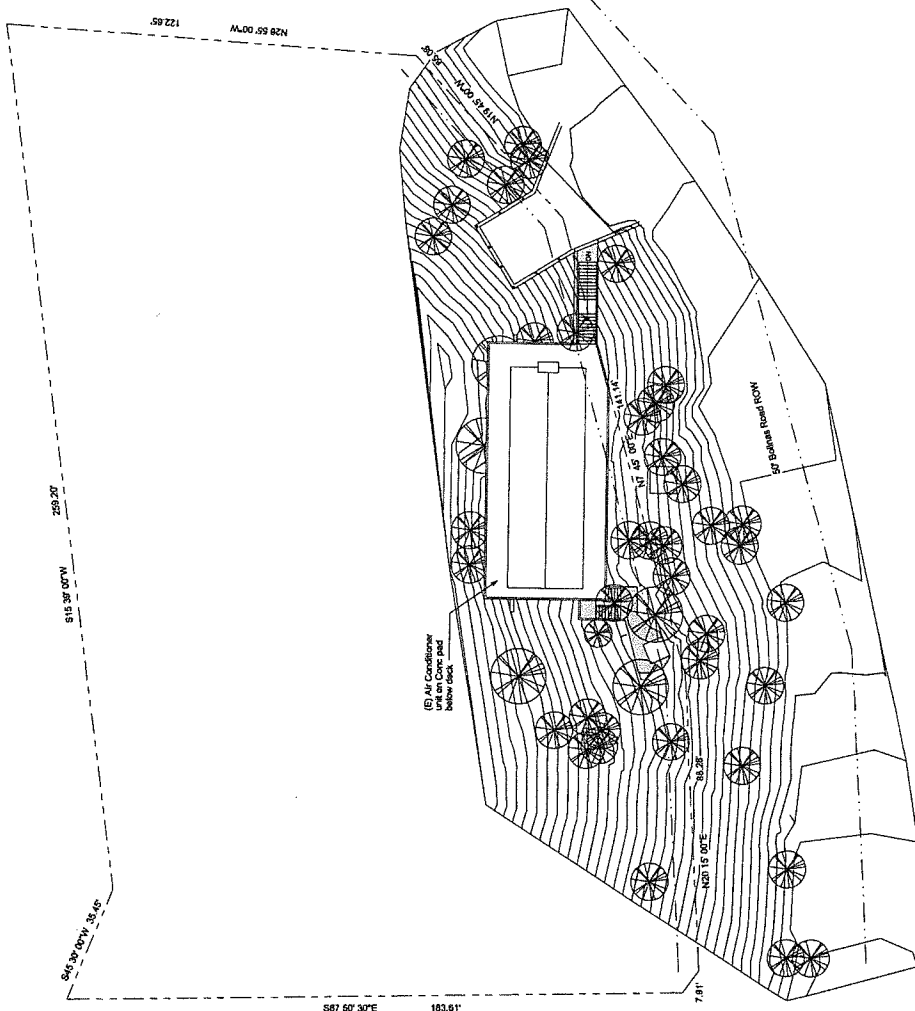
Sheet Index

- A1 Overall Site Plan / Project Information
- A2 Existing Building Footprint
- A3 Lower Level Existing Plan
- A4 Upper Level Existing Plan
- A5 Upper Level Proposed Plan
- A6 West Elevation
- A7 South Elevation
- A8 North Elevation
- A9 Lower Level Electrical Plan
- A10 Lower Level Mechanical Plan
- A11 Light Fixture Specifications
- A12 Perspectives

Taylor / Anderson Residence

Reconstructed Decks For:

Taylor/Anderson
 500 Bolinas Road
 Fairfax, CA 94930



① Site Plan Overall Existing
 1/16" = 1'-0"

Brian Fangsworth
 Architect
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 bfangs@gmail.com

Taylor/Anderson
 500 Bolinas Road
 Fairfax, CA 94930
 APN: 002-051-00

Taylor/Anderson
 Designer



Check Complete
 All construction, materials, and details
 2018 California Building Code
 2018 California Building Code
 2018 California Plumbing Code
 2018 California Electrical Code
 2018 California Energy Code
 2018 California Fire Code
 2018 California Fire Prevention Code
 2018 California Fire Safety Code

AUG 04 2020

DATE

DESCRIPTION

BY

DATE

DATE

DATE

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DATE

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DATE

Overall Site Plan
 Project Information
 Sheet Number: A1
 Project Number: 1805
 Design Review: 7/22/20
 By: BFF
 Date: 7/22/20

7/15/2020 2:23:38 PM

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Taylor/Anderson
500 Bolinas Road
Bolinas, CA 94920
415.482.6100

Taylor/Anderson
Engineers



Code Compliance
All construction conforms to minimum code
2018 California Building Code
2018 California Plumbing Code
2018 California Electrical Code
2018 California Fire Code
2018 California Energy Code
2018 California Mechanical Code
2018 California Building Energy Code

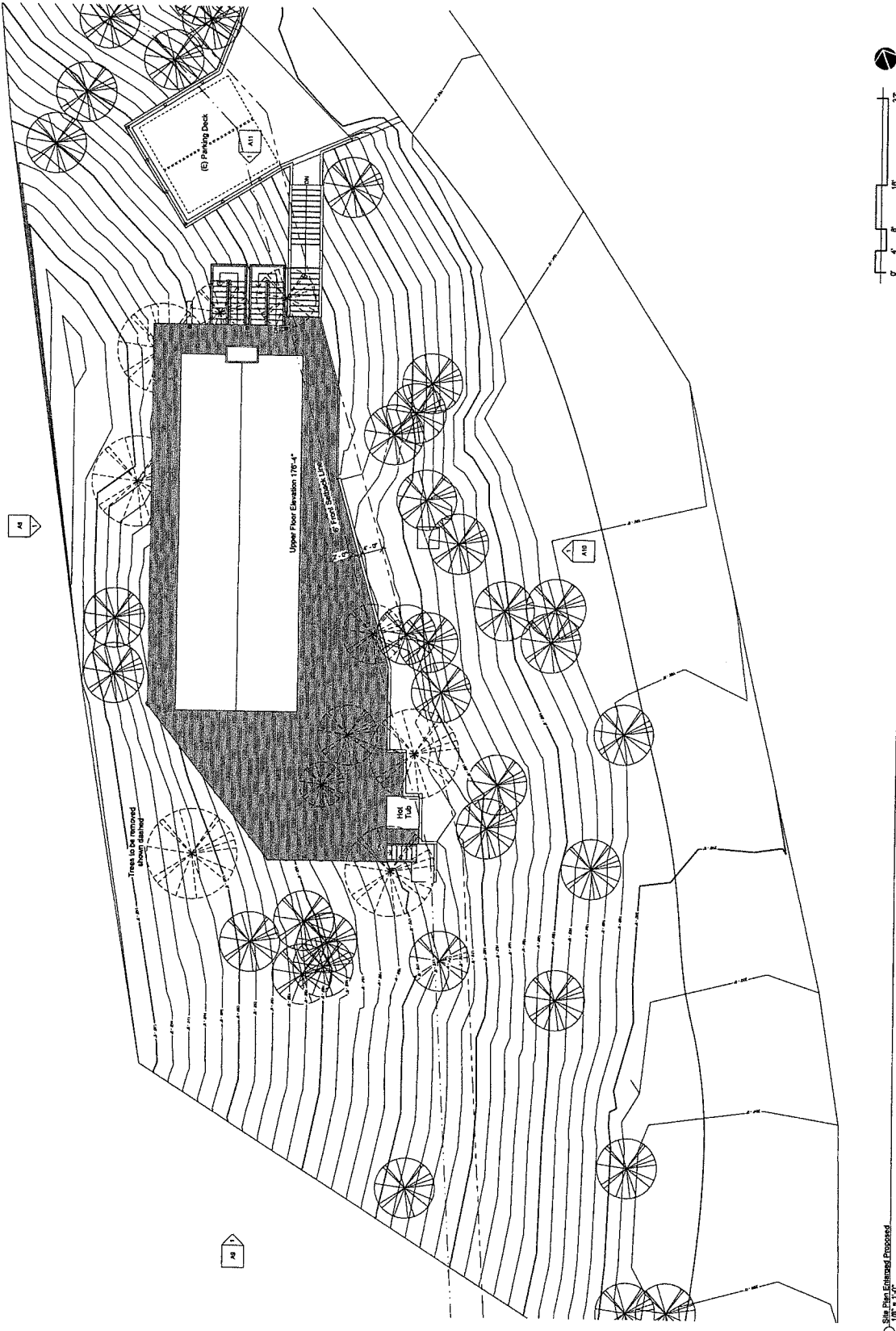
No.	Description	Date

Design Review	
Date	7/22/20
By	BFF
Project Number	1845

Sheet Name
Enlarged Site Plan, Proposed

Sheet Number
A2

151/22/20/02/2/22/20/02/02
All drawings and notes indicate proposed work. Construction shall be in accordance with the approved plan and notes. No field changes shall be made without the written consent of the architect.



① Site Plan, Enlarged Proposed.
1/8" = 1'-0"

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 415.531.1155
 bbfarms@gmail.com

Taylor/Anderson
 500 Bolinas Road
 Fairfax, CA 94930
 APN: 028-017-000

Taylor/Anderson
 Entry



Call C. Construction
 All construction, "whichever is greater"
 25116 Callahan Building Code
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 25116 Callahan Building Code
 25116 Callahan Building Code
 25116 Callahan Building Code
 25116 Callahan Building Code

No.	Description	Date

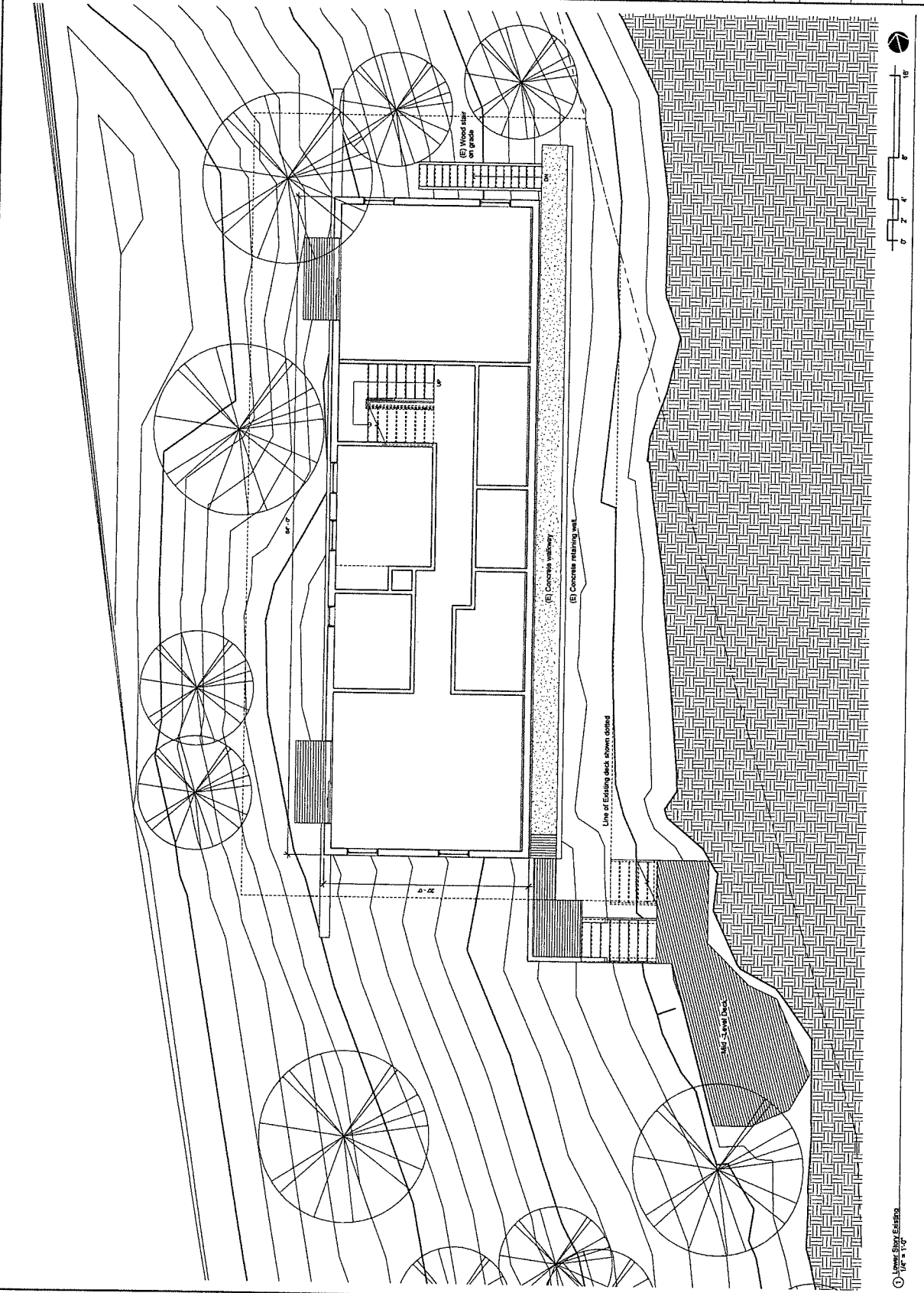
Date: 7/22/20
 Design/Review: BFF

Project Number: 1805

Sheet Name:
Lower Level Existing Plan

Sheet Number:
A3

Noted: All drawings and specifications are subject to change without notice. The contractor shall be responsible for obtaining all necessary permits and approvals. See notes on drawings for details.

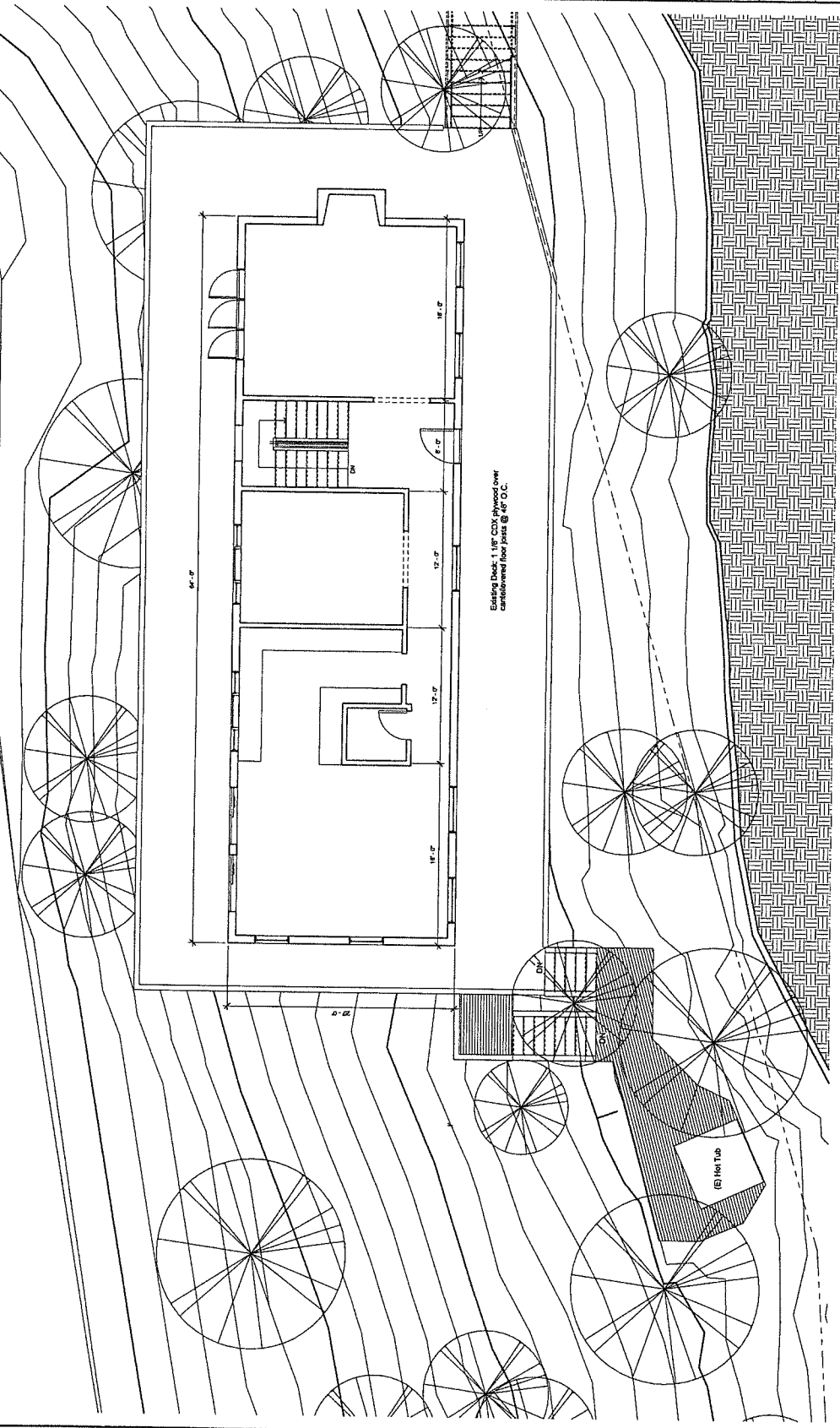




Each Consultant's responsibility is limited to the work specifically designated in the scope of work. The Architect is not responsible for the work of the other consultants. The Architect is not responsible for the work of the other consultants. The Architect is not responsible for the work of the other consultants.

No.	Description	Date
	Design Review	7/22/20
	By	BFF
	Project Number	1805
	Sheet Name	Upper Level Existing Plan
	Sheet Number	A4

17A202012300 PH
 All drawings are subject to change without notice. The user of these drawings is responsible for verifying the accuracy of the information and for obtaining all necessary permits and approvals. The user of these drawings is responsible for obtaining all necessary permits and approvals.



Existing Duct: 1 1/8" CDX plywood over
 cantilevered floor joists @ 16" O.C.



Upper Level Existing Plan
 1/8" = 1'-0"

Brian Farnsworth
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150 Center Plazza
Greenwich, CT 06834
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bfa@bfa.com

Project
Taylor/Anderson
600 Balaux Road
APN: 000-051-03
Taylor/Anderson
Sheets



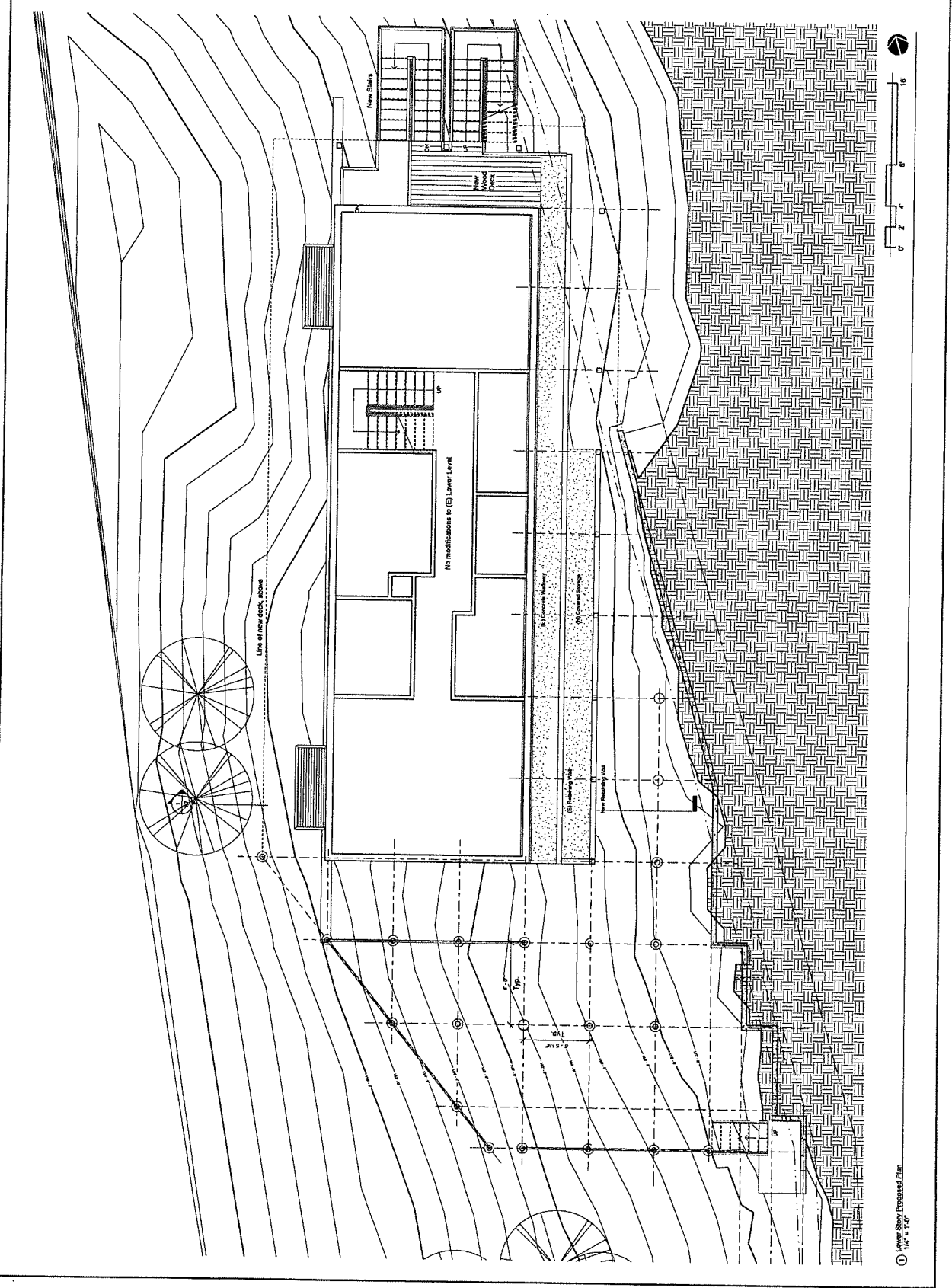
Code Compliance
This plan was prepared, checked, or sealed by a professional engineer or architect who is duly licensed in the State of Connecticut. The professional engineer or architect is not responsible for the design or construction of the work shown on this plan if it is found to be in violation of the applicable Code of Ordinances of the City of Greenwich, Connecticut.
2010 Connecticut General Statutes, Chapter 54-2a, Sec. 54-2a(1) and 54-2a(2)
2010 Connecticut General Statutes, Chapter 54-2b, Sec. 54-2b(1) and 54-2b(2)

No.	Description	Date

Issue	Design Review
Date	7/22/20
By	BFF
Project Number	1905
Sheet Name	Lower Level Proposed Plan
Sheet Number	A5

14018227-0002-101

All drawings and specifications submitted to the building department shall be the property of the architect. No reproduction or alteration of any part of these drawings or specifications is permitted without the written consent of the architect.



① Lower Story Proposed Plan
1/4" = 1'-0"

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 bfairm@brianfairm.com

Taylor/Anderson
 500 Business Road
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 435.766.9193

Taylor/Anderson
 Owner



Code Compliance:
 All construction, regardless of date:
 2015 California Building Code
 2015 California Fire Code
 2015 California Mechanical Code
 2015 California Electrical Code
 2015 California Energy Code
 2015 California Landscape Code
 2015 California Existing Building Code
 2015 California Energy Efficiency Code

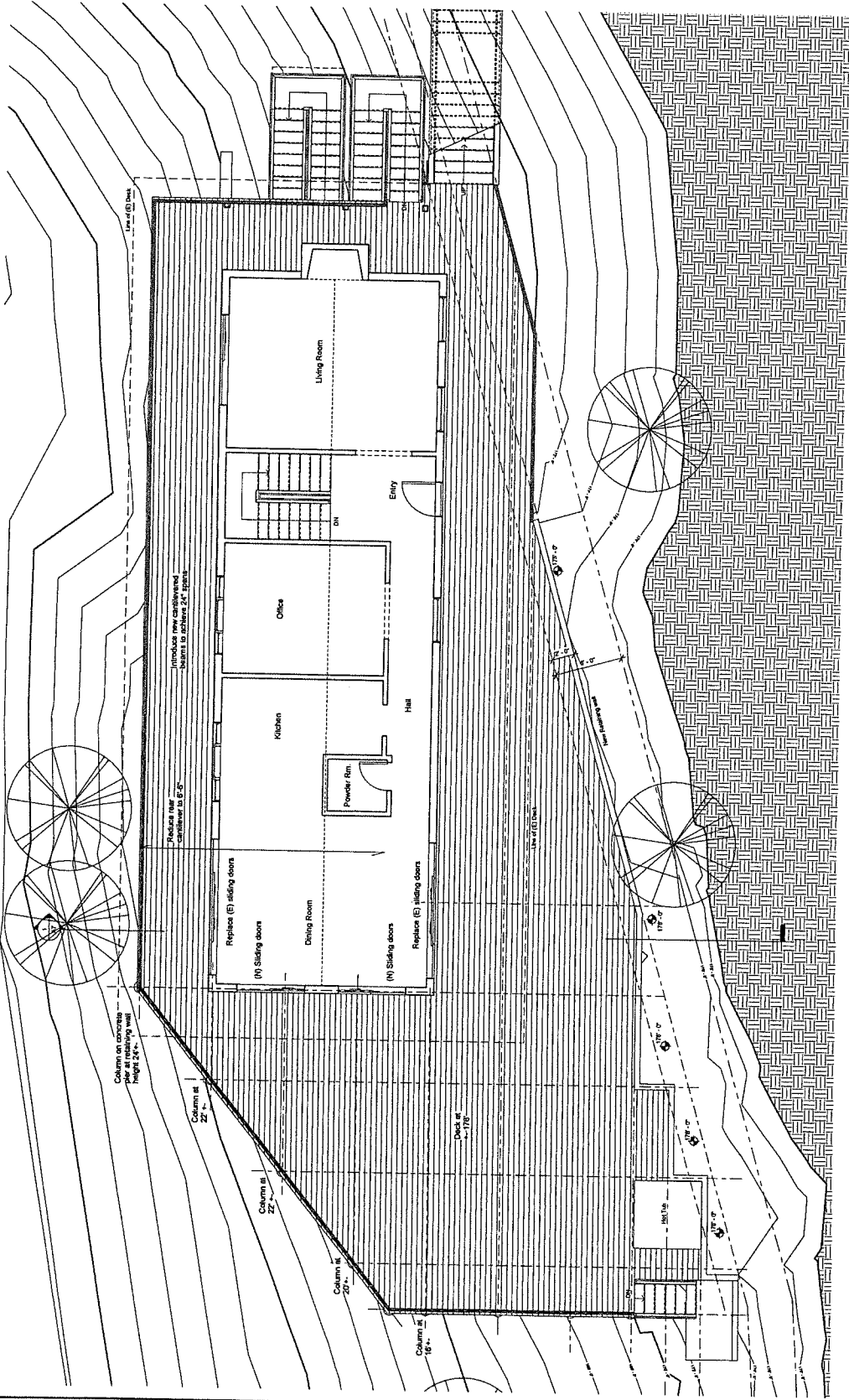
No.	Description	Date

Issue
 Design Review
 Date: 7/22/20
 By: BFF
 Project Number: 1805

Sheet Name:
**Upper Level
 Proposed Plan**

Sheet Number:
A6

Not to Scale
 All drawings and specifications are subject to change without notice. The contractor shall verify all dimensions and conditions shown on the drawings and specifications before construction. The architect shall not be responsible for any errors or omissions on the drawings and specifications.



Upper Level Proposed Plan
 1/4" = 1'-0"

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Project

Taylor/Anderson
500 Biceps Road
APN: 032501400

Taylor/Anderson
Name



Code Compliance
as shown and verified with
2015 California Residential Code
2015 California Building Code
2015 California Mechanical Code
2015 California Fire Code
2015 California Energy Title 24

Rev	Description	Date

Issue

Design Review

Date

7/22/20

By

BFF

Project Number

1865

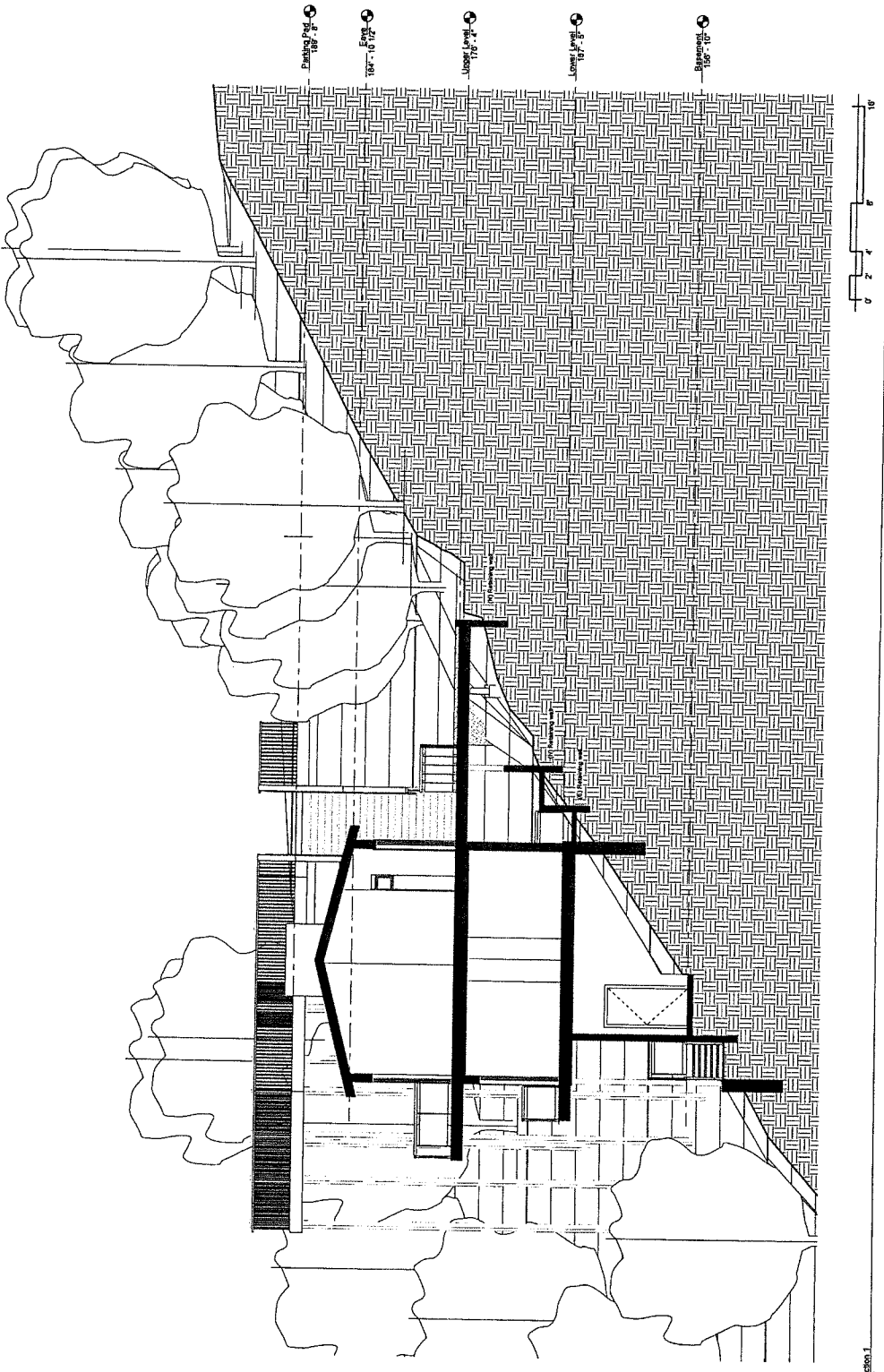
Sheet Name

Building Section

Sheet Number

A7

PH 03 02 2 00261612
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① Building Section 1
1/4" = 1'-0"

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Project
Taylor/Anderson
500 Ridge Road
Foster, CA 94300
APN: 005-051-03

Taylor/Anderson
Architect



As-Noted Conditions
Architect's responsibility is limited to the work shown on the drawings and shall not be construed as a warranty. The architect's responsibility is limited to the work shown on the drawings and shall not be construed as a warranty. The architect's responsibility is limited to the work shown on the drawings and shall not be construed as a warranty.

No.	Description	Date

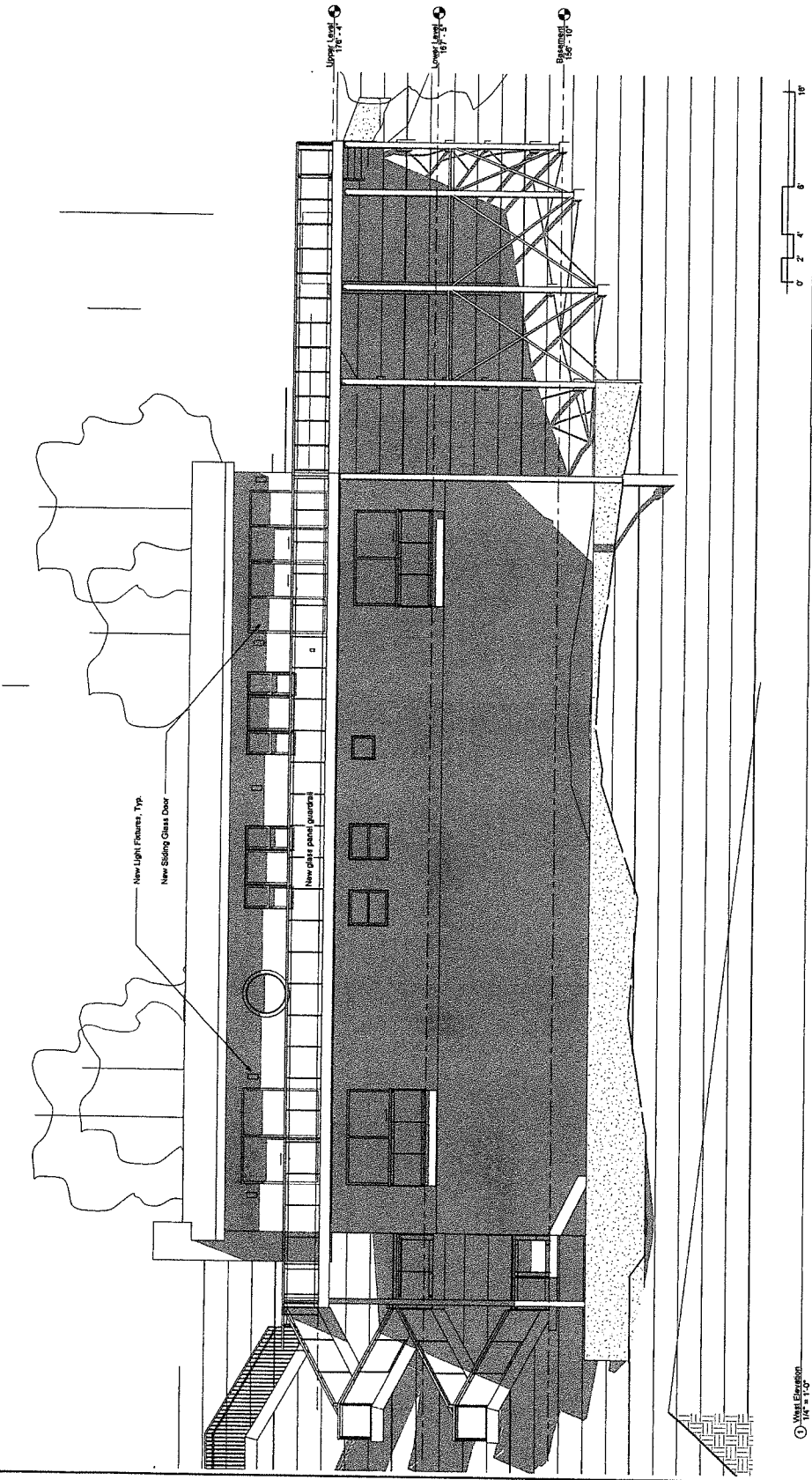
Issue
Design Review
Date
7/22/20

By
BFF
Project Number
1805

Sheet Name
West Elevation

Sheet Number
A8

1/4" = 1'-0"
Check for clashes with adjacent sheets.
Use of sheet edges is subject to change without notice.
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① West Elevation
1/8" = 1'-0"

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Taylor/Anderson
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APN: 02025120

Taylor/Anderson
Sawyer



Client Comments:
See above for project details
on items with priority items.
2018 California Building Code
2018 California Fire Code
2018 California Electrical Code
2018 California Plumbing Code
2018 California Mechanical Code
2018 California Energy Code

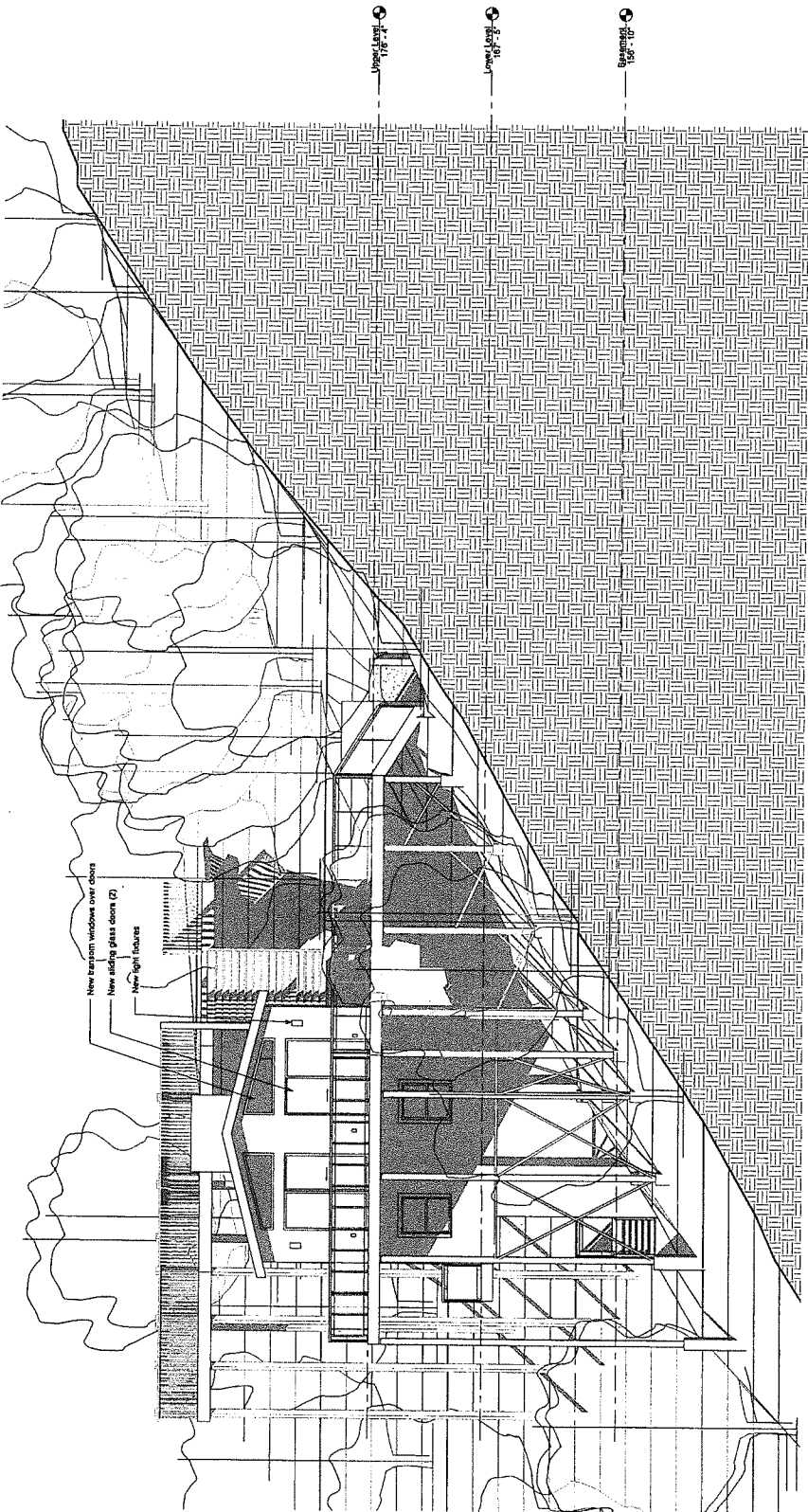
No.	Description	Date

Issue Design Review
Date 7/22/20
By BFF
Project Number 1805

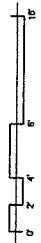
Sheet Name
South Elevation

Sheet Number
A9

Proj. ID: SAC 2 00021424
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1 South Elevation
1/4" = 1'-0"



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APN: 033-051-03

Taylor/Anderson
Owner



All elevations: 1/32" scale
2117 California Building Code
2011 California Building Code
2011 California Penal Code
2011 California Penal Code
2011 California Penal Code
2011 California Penal Code
2011 California Penal Code
2011 California Building Energy Code

Rev.	Description	Date

Sheet
Design Review
Code
7/23/2012

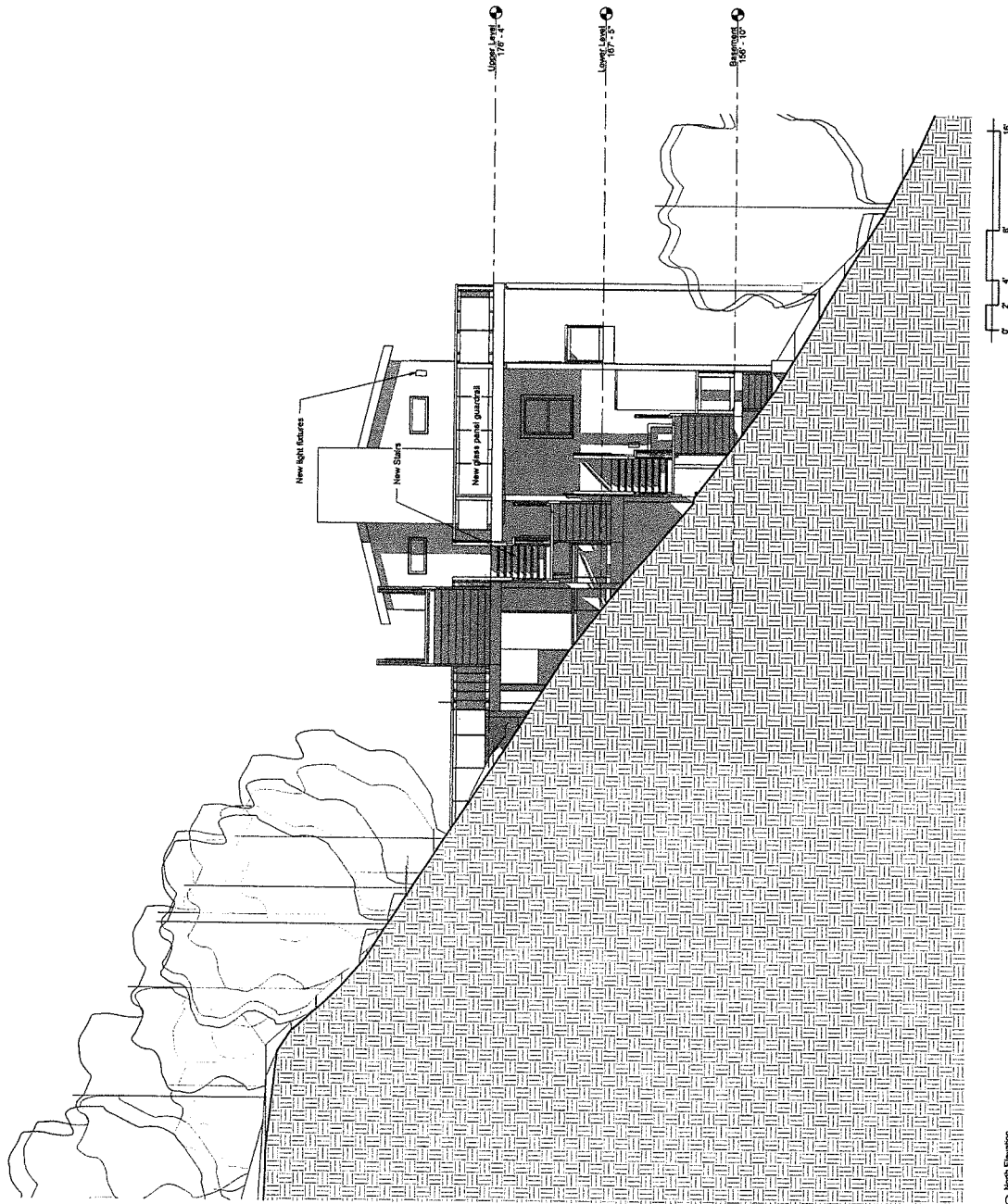
BY
BFF

Project Number
1905

Sheet Name
North Elevation

Sheet Number
A11

All drawings shall be subject to the California Building Code and all other applicable laws and regulations. No liability is assumed for any errors or omissions.



North Elevation
1/4" = 1'-0"

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brianf@gmail.com

Taylor/Anderson
500 Bishop Road
San Jose, CA 95131
APR 02/05 1:03



Contract Completion: 08/15/05
Contractor: Taylor/Anderson
2011 California Professional Code
2011 California Business Code
2011 California Labor Code
2011 California Public Code
2011 California Building Code

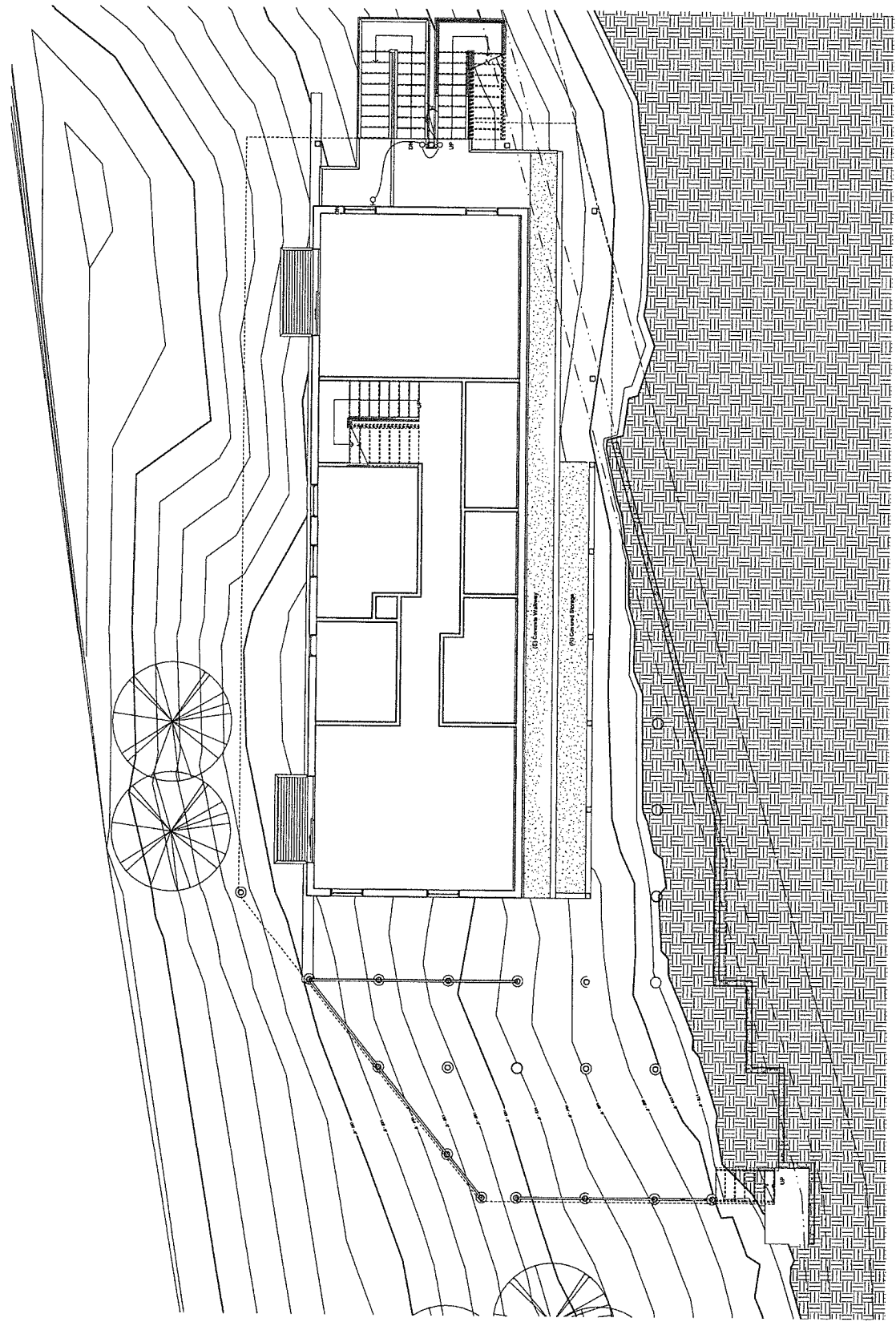
No.	Description	Date

Issue: Design Review
Date: 7/22/20
By: BFF
Project Number: 1805

Sheet Name:
**Lower Level
Electrical Plan**

Sheet Number:
A12

All drawings and related information are the property of Brian Farnsworth Architect and shall remain confidential and not be disseminated to the public.



1 Lower Level Electrical Plan
1/4" = 1'-0"

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Greenbrae, CA 94904
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bfa@bfa.com

Project
Taylor/Anderson
509 Jackson Road
Fairfax, CA 94930
APN: 022-051-03

Client
Taylor/Anderson



2012 California Building Code
All construction, regardless of date
shall conform to the California Building Code
2012 California Building Code
2012 California Building Code
2012 California Building Code
2012 California Building Code
2012 California Building Code
2012 California Building Code
2012 California Building Code

No.	Description	Date

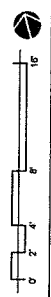
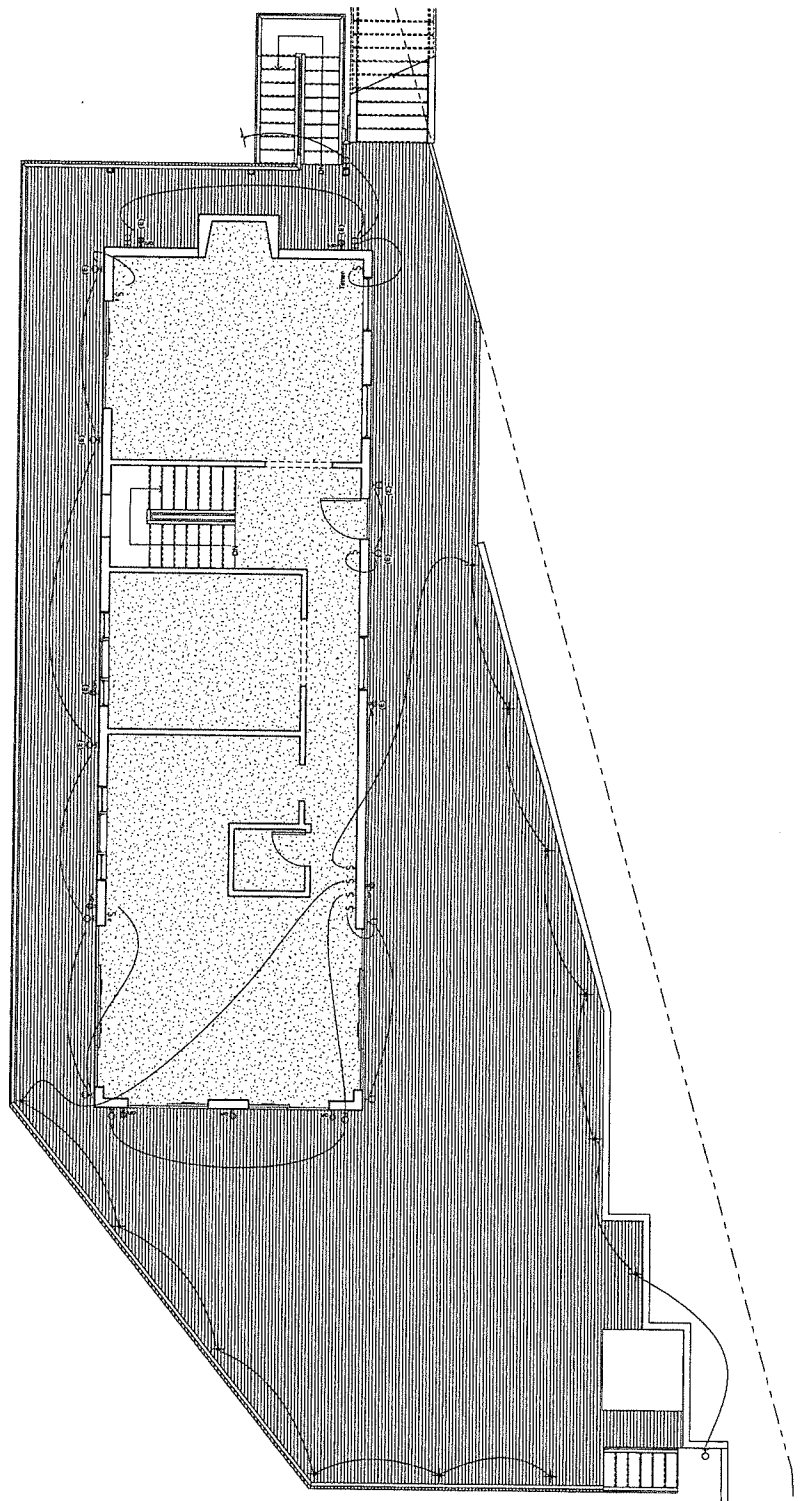
Design Review
Date: 7/22/20

Project Number: 1005

Sheet Name: Upper Level Electrical Plan

Sheet Number: A13

1/4" = 1'-0"
Upper Level Electrical Plan



SLANT-LED Outdoor Science
WS-W14911



dweLED
by WAC Lighting

Fluorescent Type:
 Catalog Number:
 Project:
 Location:

DESCRIPTIONS:
 • 100% LED
 • 100W
 • 1000lm
 • 1000lm
 • 1000lm
 • 1000lm



WS-W14911

Color	Temp	Beam	Output	Power	Life
White	3000K	30°	1000lm	100W	50,000 hrs

WARRANTY:
 5 Year Limited Warranty
 100,000 Hours
 100,000 Hours

2" INGROUND SINGLE APERTURE
2091



WAC
LANDSCAPE LIGHTING

Fluorescent Type:
 Catalog Number:
 Project:
 Location:

DESCRIPTIONS:
 • 100% LED
 • 100W
 • 1000lm
 • 1000lm
 • 1000lm

Color	Temp	Beam	Output	Power	Life
White	3000K	30°	1000lm	100W	50,000 hrs

WARRANTY:
 5 Year Limited Warranty
 100,000 Hours
 100,000 Hours

2" INGROUND SINGLE APERTURE
2091



WAC
LANDSCAPE LIGHTING

Fluorescent Type:
 Catalog Number:
 Project:
 Location:

DESCRIPTIONS:
 • 100% LED
 • 100W
 • 1000lm
 • 1000lm
 • 1000lm

Color	Temp	Beam	Output	Power	Life
White	3000K	30°	1000lm	100W	50,000 hrs

WARRANTY:
 5 Year Limited Warranty
 100,000 Hours
 100,000 Hours

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 415.631.1155
 bfarne@bfarne.com

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 500 Sargent Road
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 APR: 000-581-105

Taylor/Anderson
 500 Sargent Road
 Fairfax, CA 94930



California Contractors:
 An incorporation, registration of Architects
 2012 California Building & Construction
 2012 California Building & Construction
 2012 California Building & Construction
 2012 California Building & Construction
 2012 California Building & Construction
 2012 California Building & Construction

No.	Description	QTY	Unit

Design Review

Date: 7/22/20

By: BFF

Project Number: 1825

Sheet Name: Light Fixture Specifications

Sheet Number: A14

All drawings and specifications are prepared by the architect and are subject to change without notice. The contractor shall verify all dimensions and quantities before construction.

Scale: 1/8" = 1'-0"

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 APR: 002.057.03

Taylor/Anderson



State of California
 ARCHITECTURE
 License No. 18531
 Brian Farnsworth
 2018 California Building Code
 2018 California Fire Code
 2018 California Electrical Code
 2018 California Mechanical Code
 2018 California Plumbing Code
 2018 California Safety Code
 2018 California Structural Code
 2018 California Title Code
 2018 California Building Standards Code

NO. Description DATE

Name Design Review

Date 7/22/20

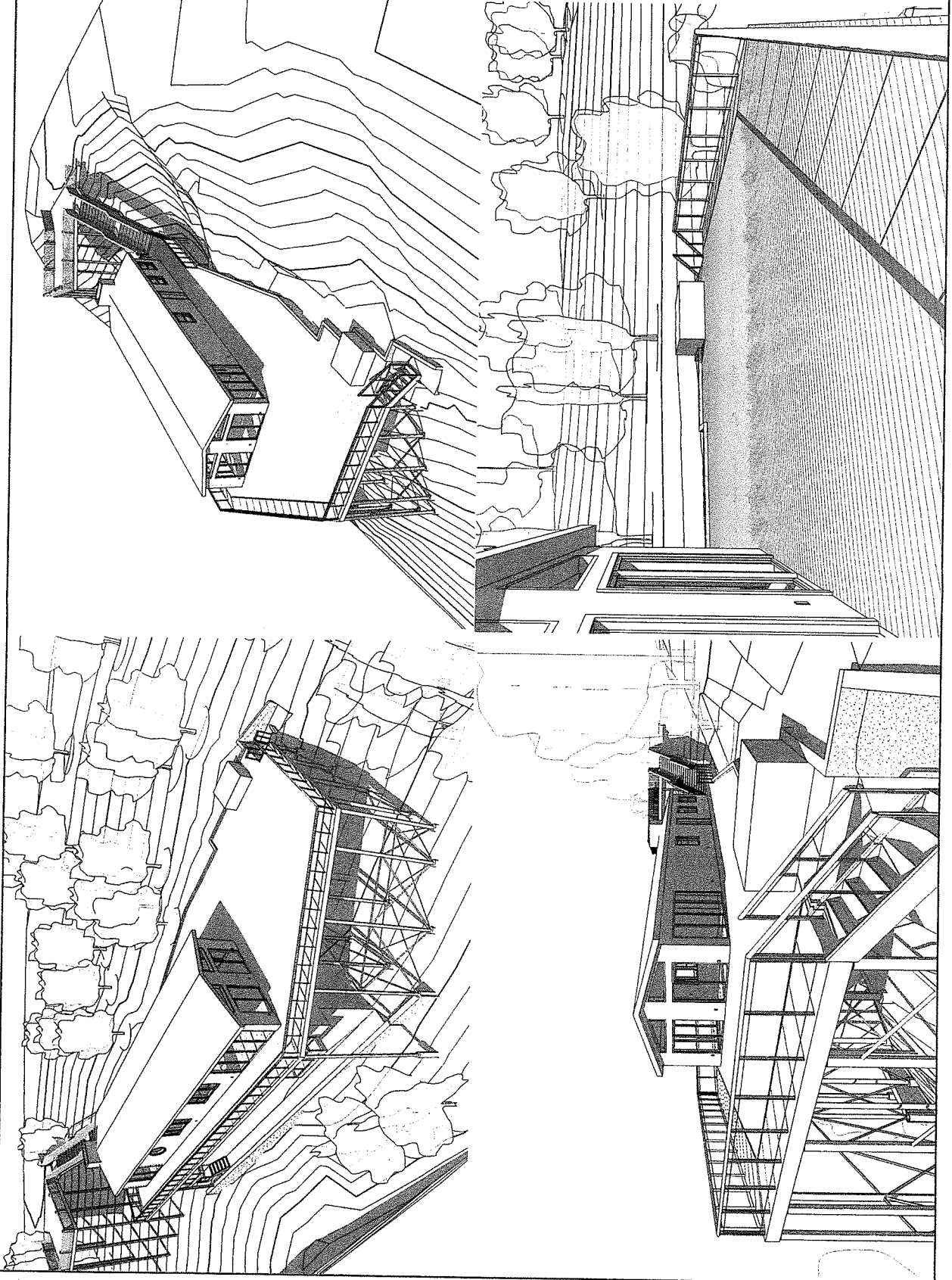
By BFF

Project Number 1865

Sheet Name Perspectives

Sheet Number A15

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GENERAL NOTES

1. THE INFORMATION OF THIS SURVEY IS BASED ON THE DATA PROVIDED BY THE CLIENT AND THE SURVEYOR'S FIELD NOTES.
2. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
3. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
4. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
5. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
6. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
7. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
8. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
9. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.
10. THE SURVEYOR HAS CONDUCTED VISUAL INSPECTIONS OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNRECORDED INTERESTS.

BASIS OF SURVEY

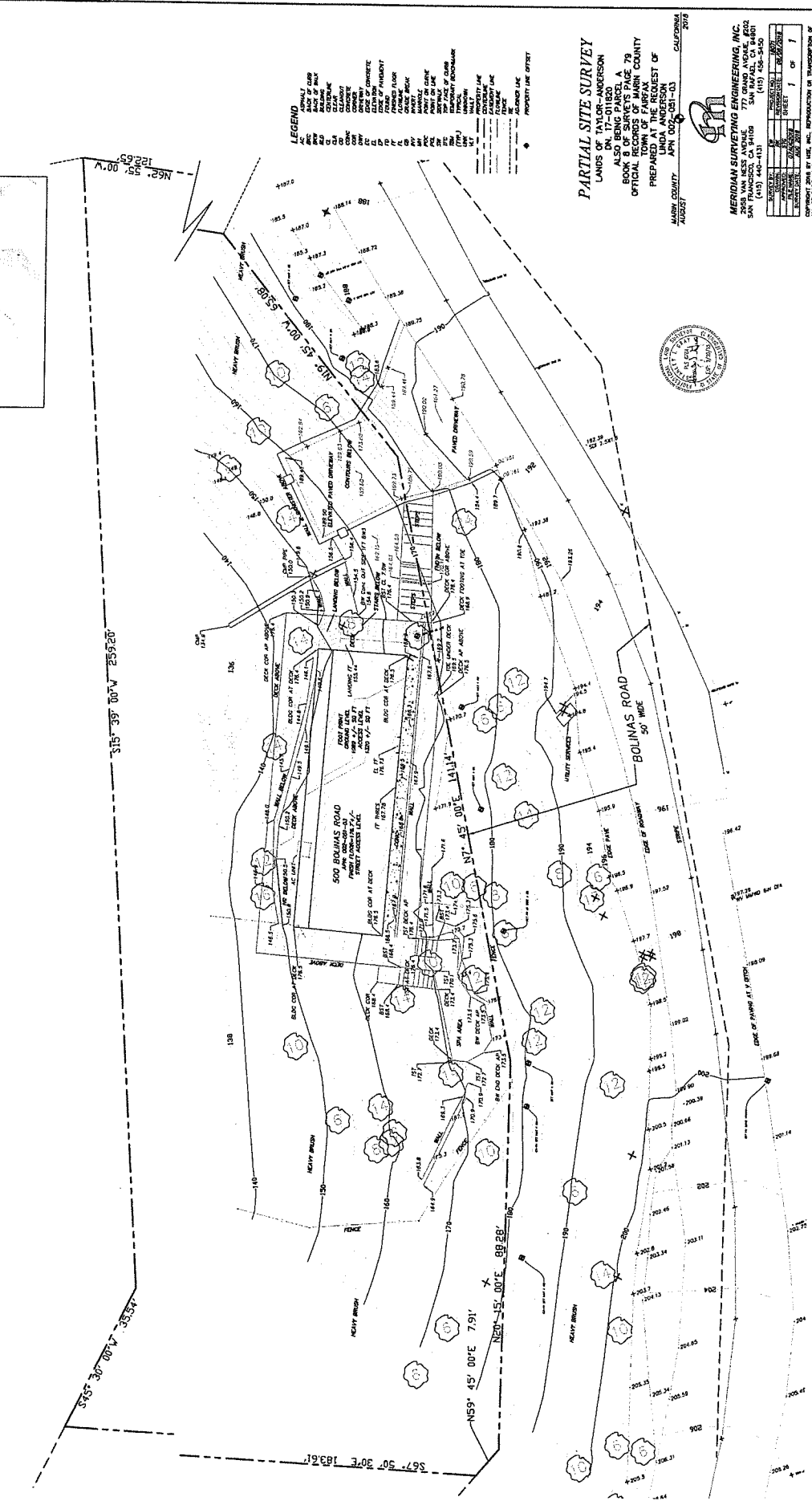
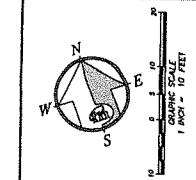
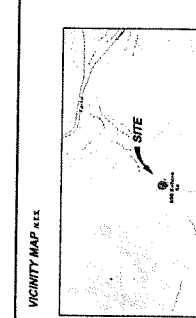
THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE CALIFORNIA SURVEYING ACT AND THE RULES AND REGULATIONS THEREOF. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE CALIFORNIA SURVEYING ACT AND THE RULES AND REGULATIONS THEREOF.

MAP REFERENCES

THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE CALIFORNIA SURVEYING ACT AND THE RULES AND REGULATIONS THEREOF.

BASIS OF ELEVATION

THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE CALIFORNIA SURVEYING ACT AND THE RULES AND REGULATIONS THEREOF.



PARTIAL SITE SURVEY

LANDS OF JAMES W. JOHNSON
ON 17-011820
ALSO BEING PARCEL A
BOOK 10000000000 PAGE 79
OFFICIAL RECORDS OF MARIN COUNTY
PREPARED AT THE REQUEST OF
MARIN COUNTY APN 002-051-03 CALIFORNIA
AUGUST 2017

MERIDIAN SURVEYING ENGINEERING, INC.
770 SAND AVENUE, SUITE 202
SAN FRANCISCO, CA 94108
(415) 442-4131
(415) 428-4549

DATE: 08/15/17
PROJECT: 17-011820
SHEET: 1 OF 1

