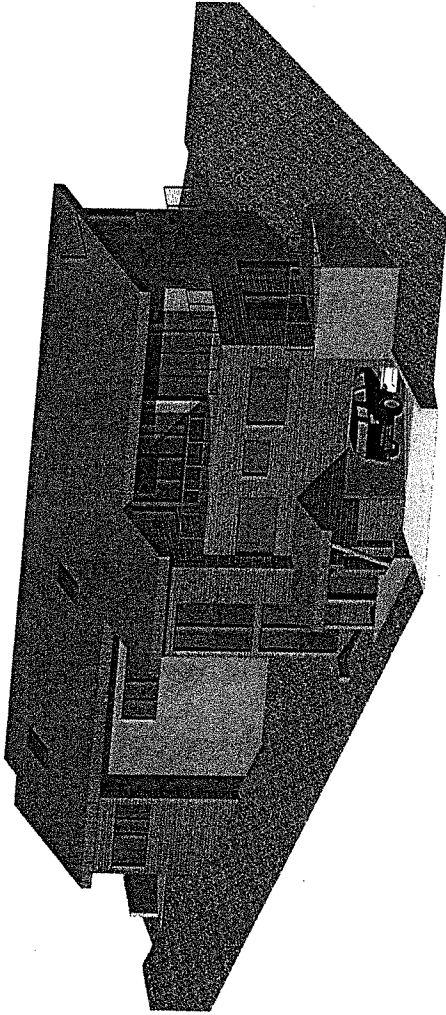


10/10/20

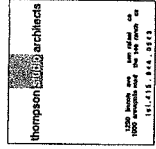
ISSUED FOR DESIGN & PLANNING REVIEW APN 002-174-05 REVISED: 16 OCT 2020, 27 JAN 2021

PEOPLES RESIDENCE



PEOPLES RESIDENCE

SPRING LANE  
FAIRFAX  
CALIFORNIA  
APN  
002-174-05







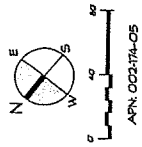
thompson architects

1027 N. 10th St., Suite 100  
 Los Angeles, CA 90012-5217  
 Tel: 310.412.2543  
 Fax: 310.412.2545



**PEOPLES  
 RESIDENCE**

13787 Spring Lane  
 Malibu, California



APN: 00217A-05

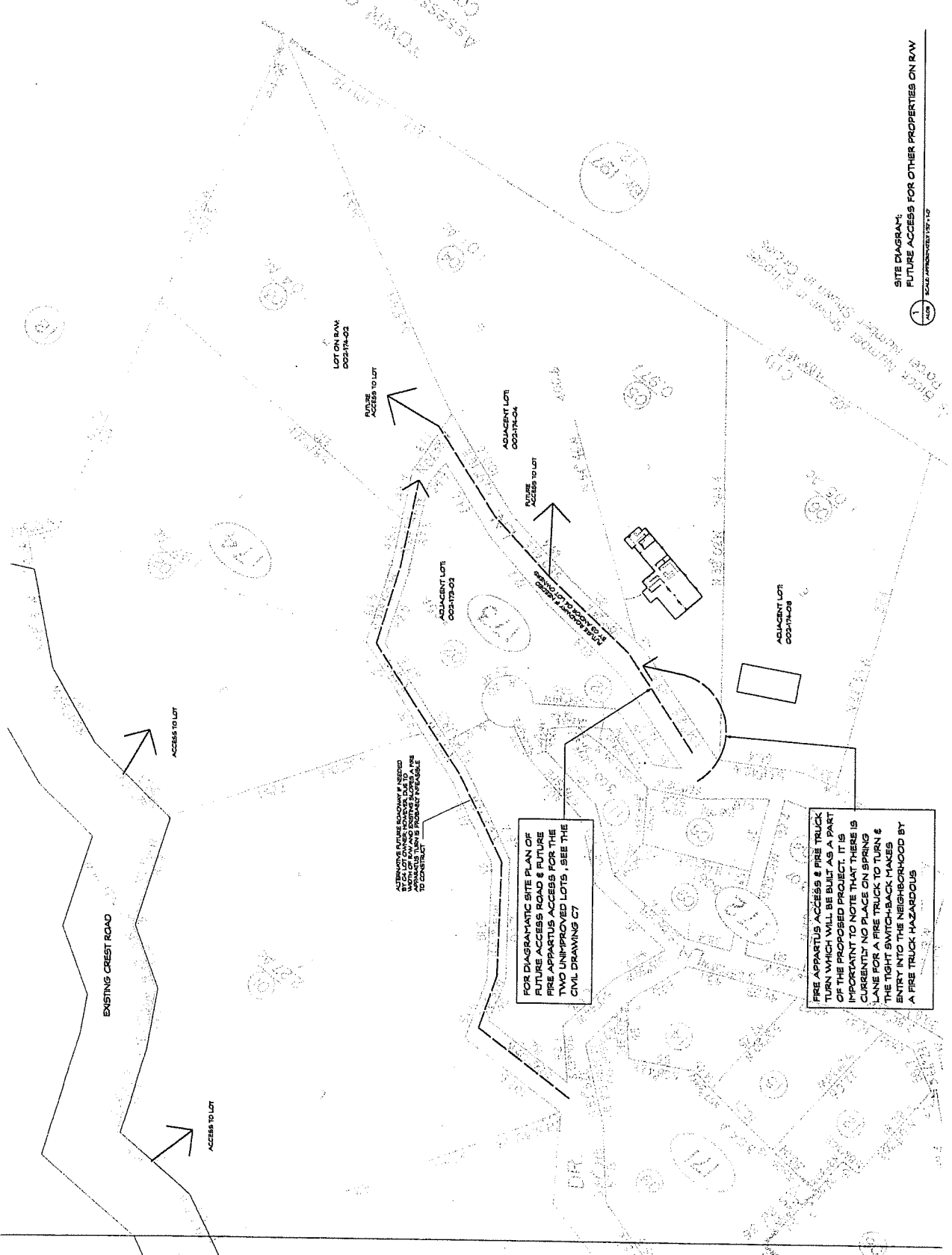
ISSUED FOR:		APPROVED FOR:

DECORATED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CHECKED BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 DRAWN BY: \_\_\_\_\_ DATE: \_\_\_\_\_  
 SCALE: 1/8" = 1'-0"  
 PROJECT NO.: 08-011  
 SHEET NO.: 05

FUTURE ACCESS TO  
 UNDEVELOPED  
 PROPERTIES ON  
 RAV

**A1.0B**

CONTRACT NO. 08-011



ALTERNATIVE FUTURE ROADWAY IS NEEDED TO MAINTAIN EXISTING ACCESS TO UNDEVELOPED PROPERTIES AS TO FUTURE ACCESS TO LOT, SEE THE APPARTUS CIVIL DRAWING C7 FOR FURTHER DETAILS.

FOR DIAGRAMMATIC SITE PLAN OF FUTURE APPARTUS ROAD & FUTURE FIRE APPARTUS ACCESS FOR THE TWO UNIMPROVED LOTS, SEE THE CIVIL DRAWING C7

FIRE APPARTUS ACCESS & FIRE TRUCK TURN WHICH WILL BE BUILT AS A PART OF THE PROPOSED PROJECT. IT IS IMPORTANT TO NOTE THAT THERE IS CURRENTLY NO PLACE ON SPRING LANE FOR A FIRE TRUCK TO TURN & THE TIGHT SWITCH-BACK MAKES ENTRY INTO THE NEIGHBORHOOD BY A FIRE TRUCK HAZARDOUS

**SITE DIAGRAM:  
 FUTURE ACCESS FOR OTHER PROPERTIES ON RAV**



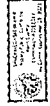
TOWN OF MALIBU COUNTY OF MALIBU  
 COUNTY OF MALIBU  
 MALIBU, CALIFORNIA





**FIRE ACCESS TURN  
IN  
EASEMENT**  
65 SPRING LANE  
PARIAH  
CALIFORNIA

DRAWN: \_\_\_\_\_  
DATE: \_\_\_\_\_  
SCALE: \_\_\_\_\_

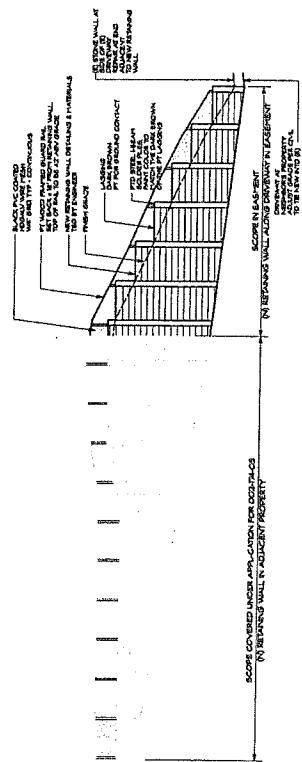


APR: 002-774-06

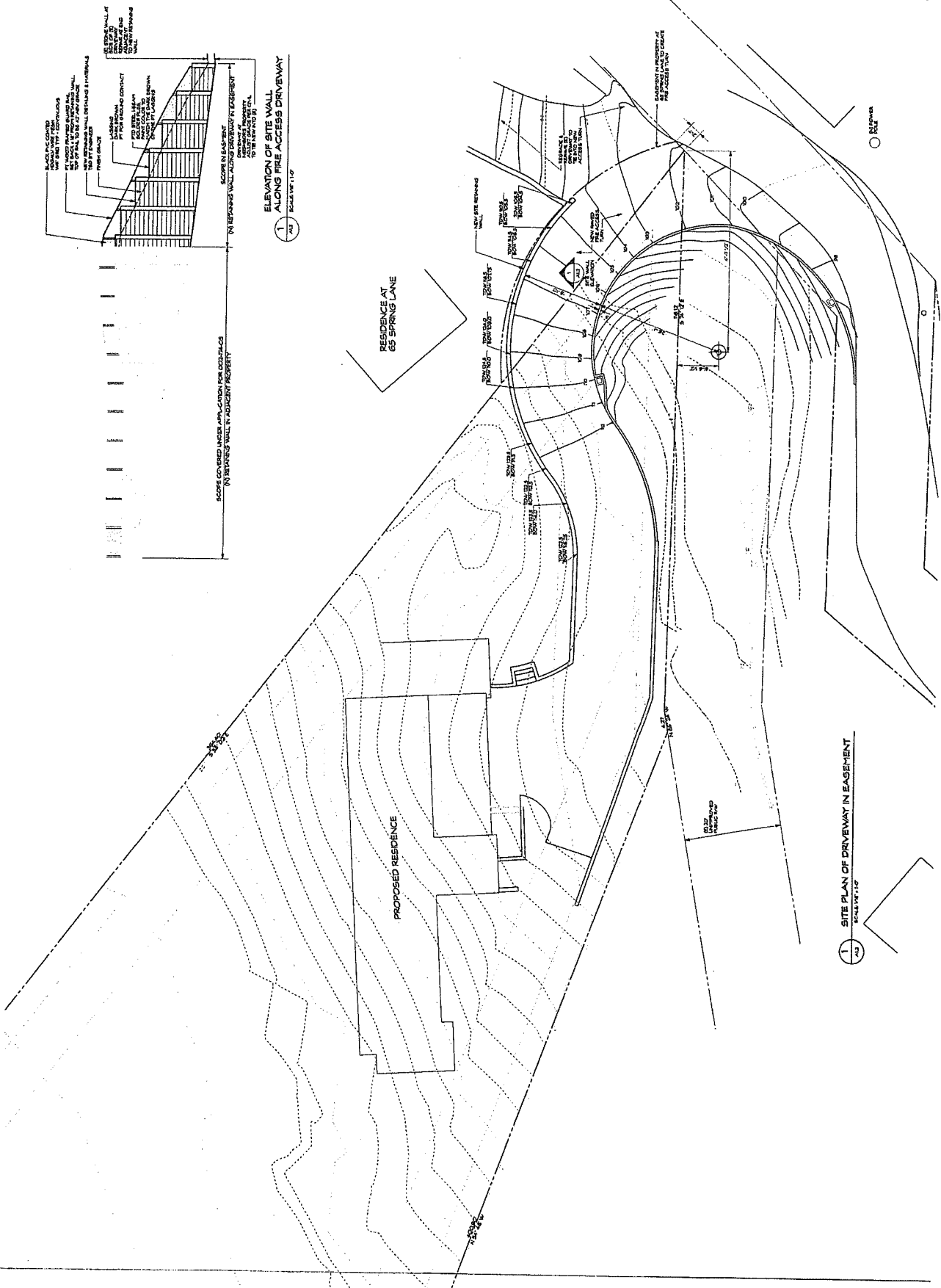
DESIGNED BY:	
CHECKED BY:	
DATE:	27 JAN 2020
REVISION:	3 AUG 2020
SCALE:	AS SHOWN
DRAWN BY:	AR BROWN
CHECKED BY:	

**SITE PLAN  
OF DRIVEWAY  
IN EASEMENT**

**A1.2**



**ELEVATION OF SITE WALL  
ALONG FIRE ACCESS DRIVEWAY**  
SCALE: 1/4" = 1'-0"



**SITE PLAN OF DRIVEWAY IN EASEMENT**  
SCALE: 1/4" = 1'-0"



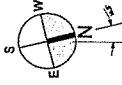








**PEOPLES RESIDENCE**  
 SPRING LAKE  
 INDIAN  
 CALIFORNIA



APRIL 002-714-05  
 (signature)

NO.	DATE	DESCRIPTION
1	21 JAN 2002	ISSUED FOR PERMITTING
2	18 FEB 2002	REVISIONS TO PERMITTING
3	14 APR 2002	ISSUED FOR CONSTRUCTION
4	24 MAY 2002	REVISIONS TO CONSTRUCTION
5	1 JUN 2002	ISSUED FOR AS-BUILT
6	15 JUN 2002	REVISIONS TO AS-BUILT

**VEGETATION MANAGEMENT PLAN**  
**A1.4**

**NOTES/SCOPE**

1. THIS PLAN IS A PART OF THE VEGETATION MANAGEMENT PLAN FOR THE PROJECT. IT SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.
2. THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.
3. THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.
4. THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.
5. THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.
6. THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**VMP - PEOPLES RESIDENCE, SPRING LN, FAIRFAX**

**VEGETATION MANAGEMENT PLAN**

THIS PLAN IS A PART OF THE VEGETATION MANAGEMENT PLAN FOR THE PROJECT. IT SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**VEGETATION MANAGEMENT PLAN**

THIS PLAN IS A PART OF THE VEGETATION MANAGEMENT PLAN FOR THE PROJECT. IT SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**VEGETATION MANAGEMENT PLAN**

THIS PLAN IS A PART OF THE VEGETATION MANAGEMENT PLAN FOR THE PROJECT. IT SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**REQUIREMENTS & DESCRIPTIONS PER ZONE**

THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**REQUIREMENTS & DESCRIPTIONS PER ZONE**

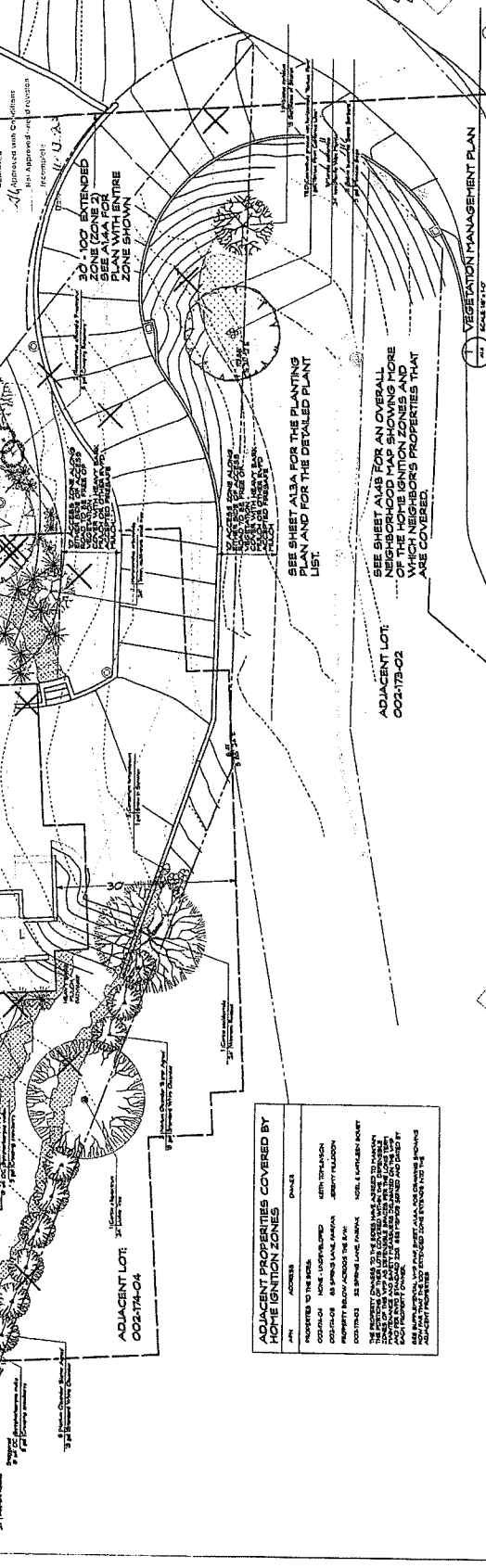
THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**REQUIREMENTS & DESCRIPTIONS PER ZONE**

THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**REQUIREMENTS & DESCRIPTIONS PER ZONE**

THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

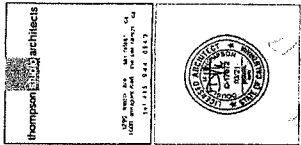


**ADJACENT PROPERTIES COVERED BY HOME IGNITION ZONES**

AREA	ADDRESS	OWNER
ADJACENT TO THE WEST	002-714-04	MR. & MRS. J. J. J.
ADJACENT TO THE EAST	002-713-02	MR. & MRS. J. J. J.

THE PROPERTY OWNERS OF THE ADJACENT PROPERTIES COVERED BY HOME IGNITION ZONES HAVE BEEN ADVISED OF THE VEGETATION MANAGEMENT PLAN AND HAVE GIVEN THEIR CONSENT TO THE VEGETATION MANAGEMENT PLAN. THE VEGETATION MANAGEMENT PLAN SHALL BE REVIEWED AND APPROVED BY THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION (CAL FIRE) AND THE CALIFORNIA DEPARTMENT OF WATER RESOURCES (CDWR) PRIOR TO CONSTRUCTION.

**VEGETATION MANAGEMENT PLAN**  
 SCALE 1/8" = 1'-0"



**PEOPLES  
RESIDENCE**  
SPRING LAKE  
AREA  
CALIFORNIA



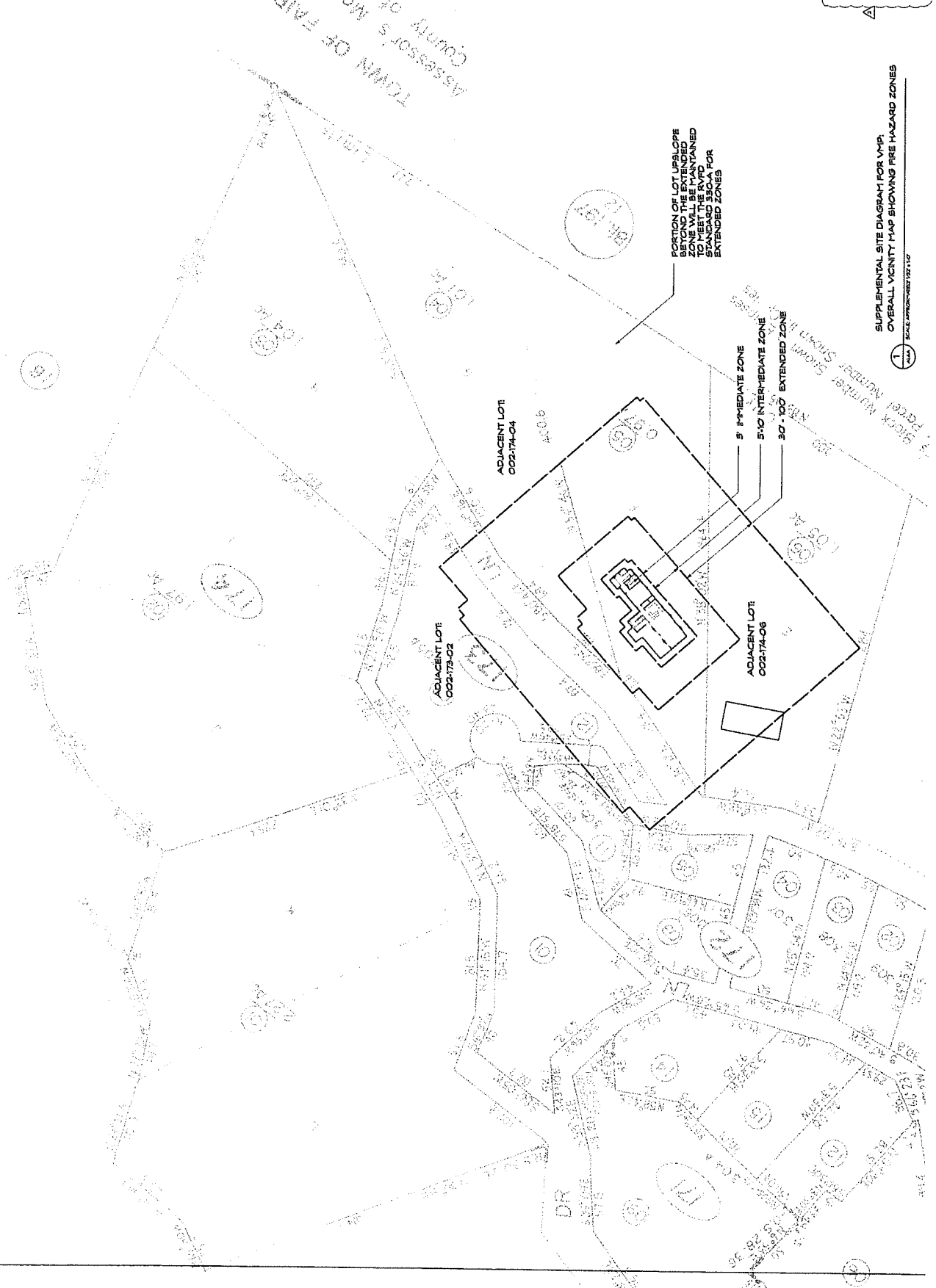
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APN: 002-174-05

ISSUED FOR:

NO.	DATE	DESCRIPTION
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2	21 MAY 2009	ISSUED FOR PERMITS
3	28 JAN 2009	ISSUED FOR PERMITS
4	10 MAR 2009	ISSUED FOR PERMITS
5	19 APR 2009	ISSUED FOR PERMITS
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49	24 APR 2009	ISSUED FOR PERMITS
50	24 APR 2009	ISSUED FOR PERMITS

SUPPLEMENTAL  
SITE DIAGRAM OF  
PERMITS FOR  
Hazardous Waste  
HAZARD ZONES  
**A1.4A**



PORTION OF LOT UPSLOPE  
ZONE AND THE EXTENDED  
ZONE MAY BE ADJUSTED  
TO MEET THE RVPD  
STANDARD 350A FOR  
EXTENDED ZONES

5' IMMEDIATE ZONE  
5'-10' INTERMEDIATE ZONE  
30'-100' EXTENDED ZONE

1  
SUPPLEMENTAL SITE DIAGRAM FOR VMP.  
OVERALL VICINITY MAP SHOWING FIRE HAZARD ZONES  
SCALE APPROXIMATE 1:5000

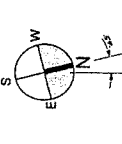
TOWN OF FAIRFAX  
Assessor's Map Book  
County of Marin  
CALIFORNIA







PEOPLES RESIDENCE  
 SPRING LAKE  
 FASBAC, CA

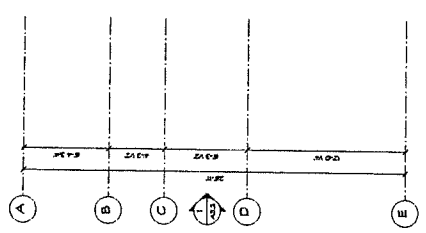
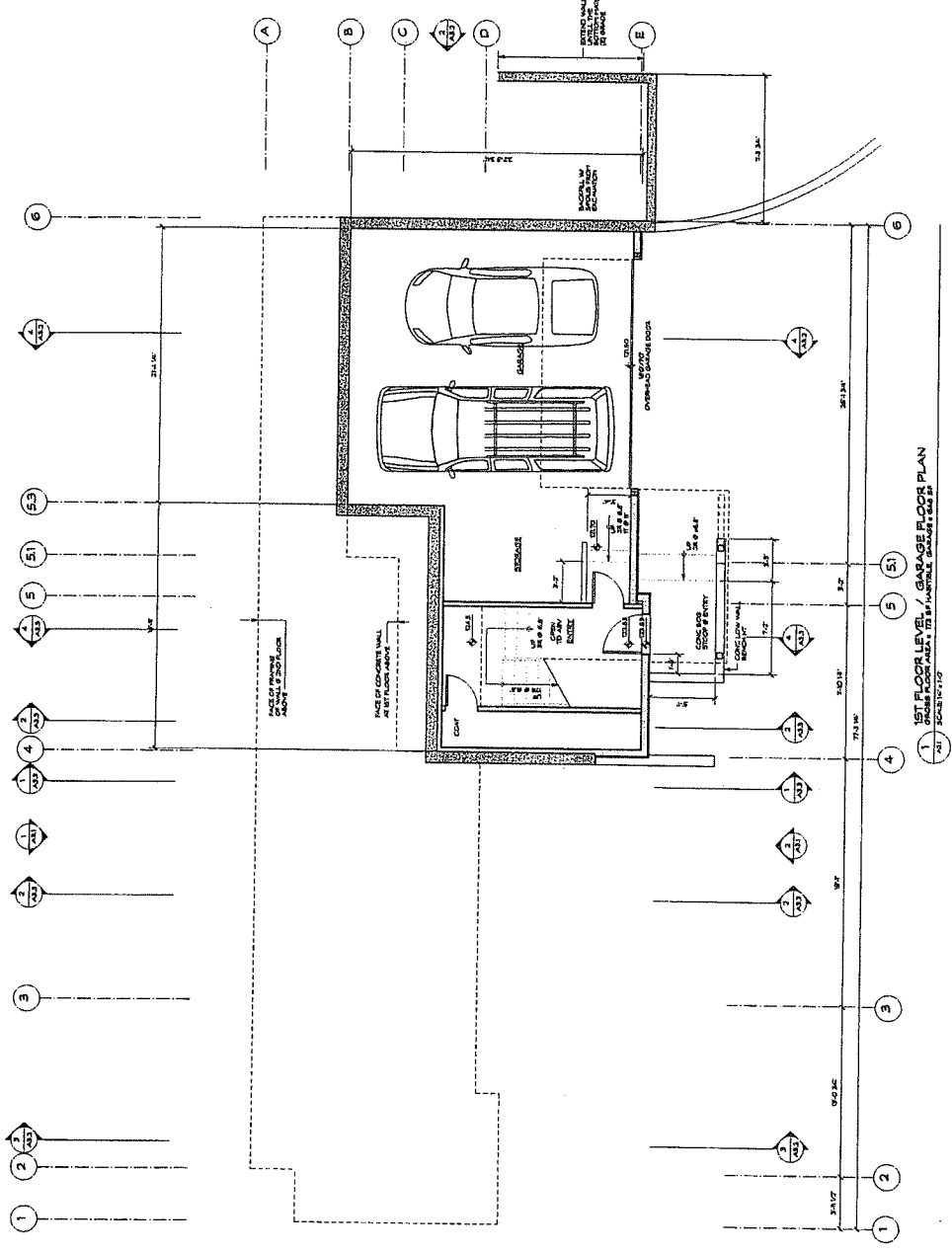


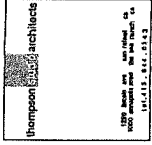
APN: 002-74-05

NO.	DATE	BY	DESCRIPTION
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2	21 MAR 2008	THOMPSON	REVISION
3	24 JAN 2008	THOMPSON	ISSUED FOR PERMIT
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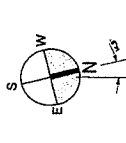
1st FLOOR GARAGE FLOOR PLAN  
 SCALE: 1/8" = 1'-0"

A2.1





**PEOPLES RESIDENCE**  
SPRING LAKE  
INDIAN CALIFORNIA



APR: 002-174-05

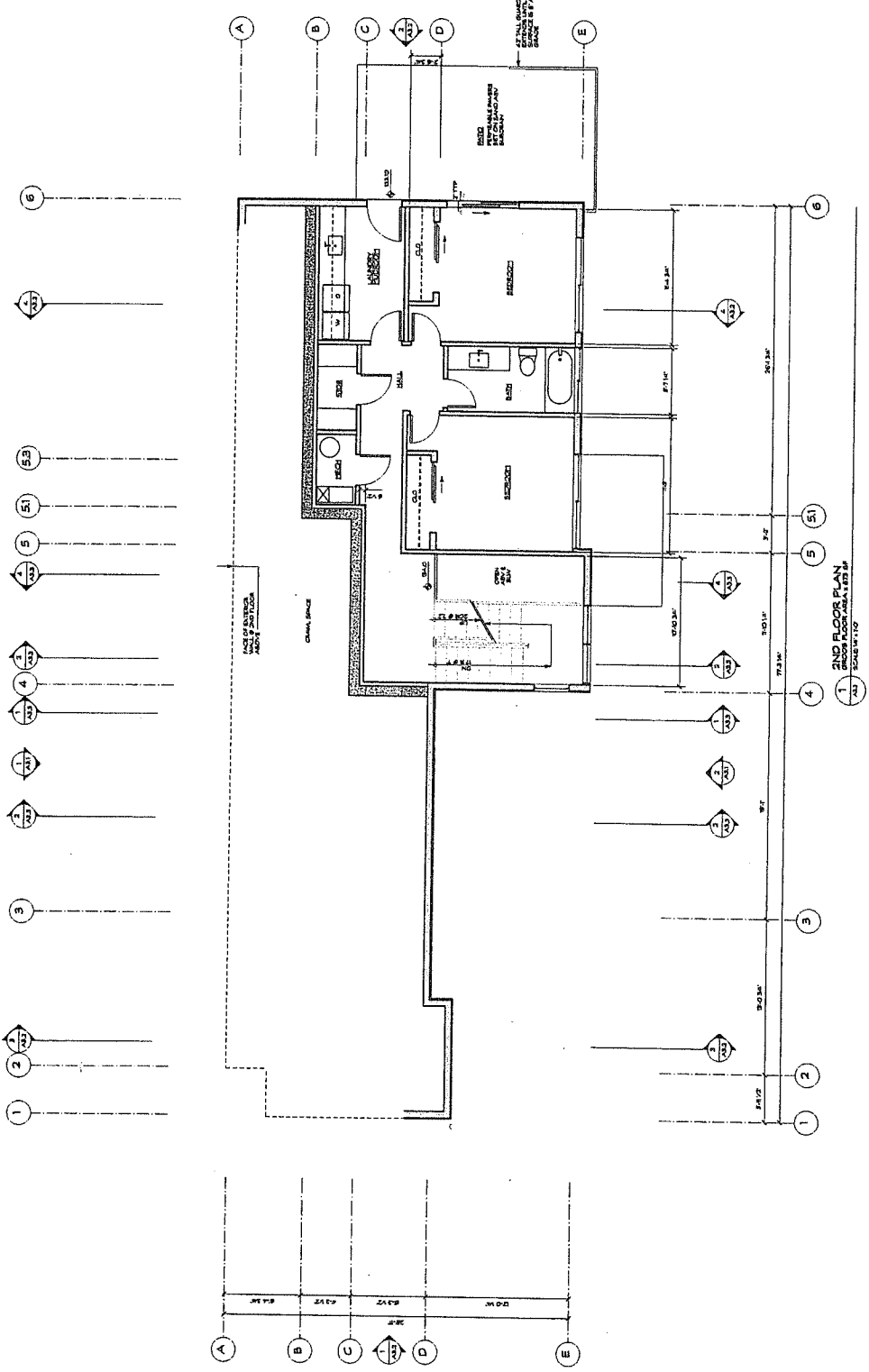
REVISIONS:

NO.	DATE	DESCRIPTION

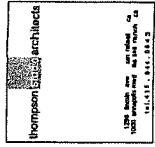
DESIGNER: THOMPSON ARCHITECTS  
ARCHITECT: DAVID A. THOMPSON  
DATE: 04/04/2005  
SCALE: AS SHOWN  
DRAWN BY: J. H. HARRIS  
CHECKED BY: DAVID A. THOMPSON  
PROJECT NO.: 002-174-05  
SHEET NO.: 2ND FLOOR PLAN

# A2.2

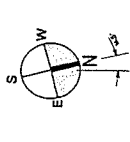
CONSTRUCTION CONTRACT NO. 002-174-05



2ND FLOOR PLAN  
SCALE: 1/8" = 1'-0"



**PEOPLES  
RESIDENCE**  
SPRING LAKE  
FARMHILL, CA



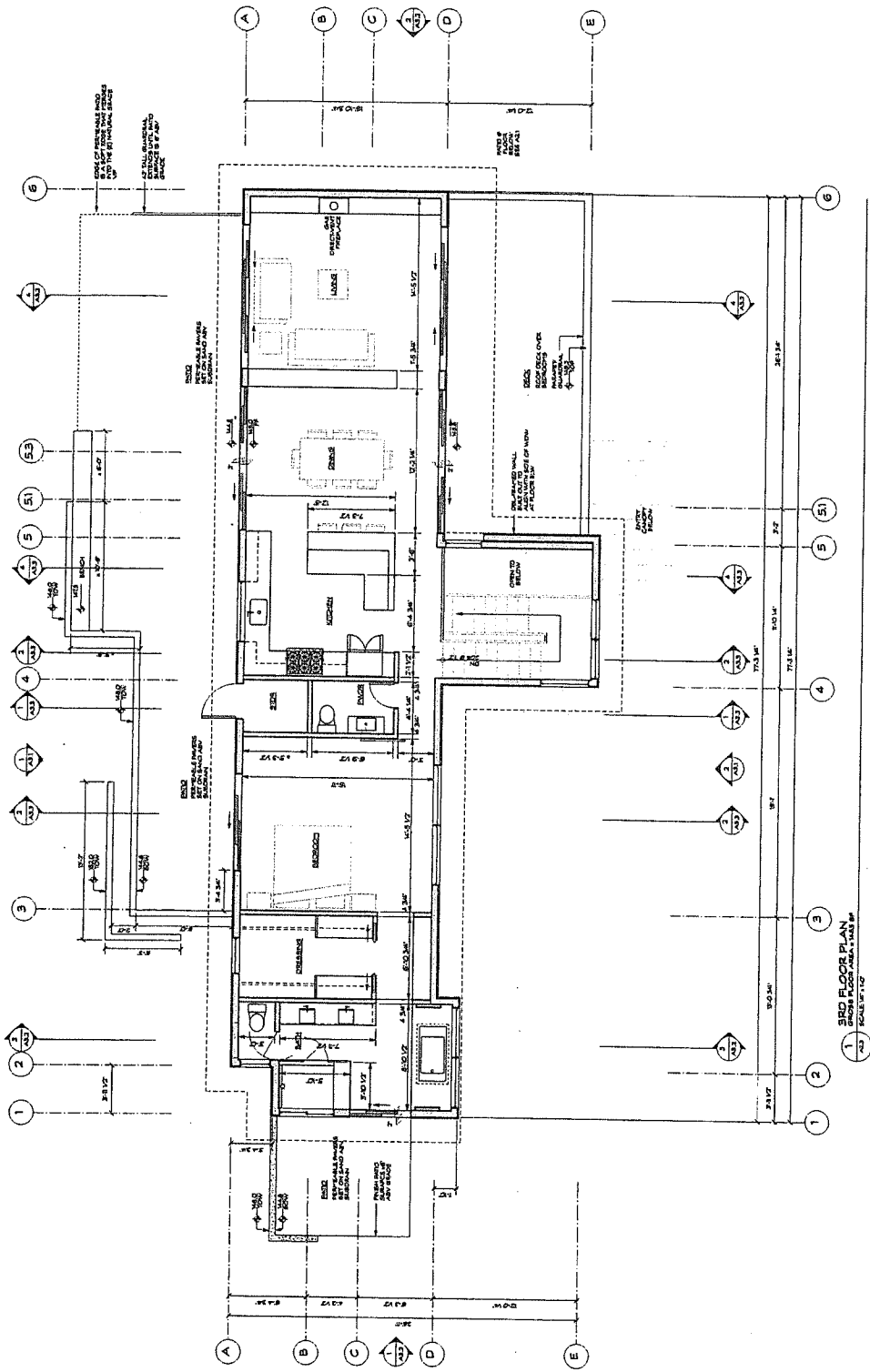
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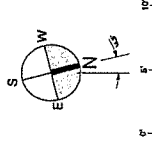
NO.	REVISION	DATE	BY	CHECKED BY

3RD FLOOR PLAN

**A2.3**





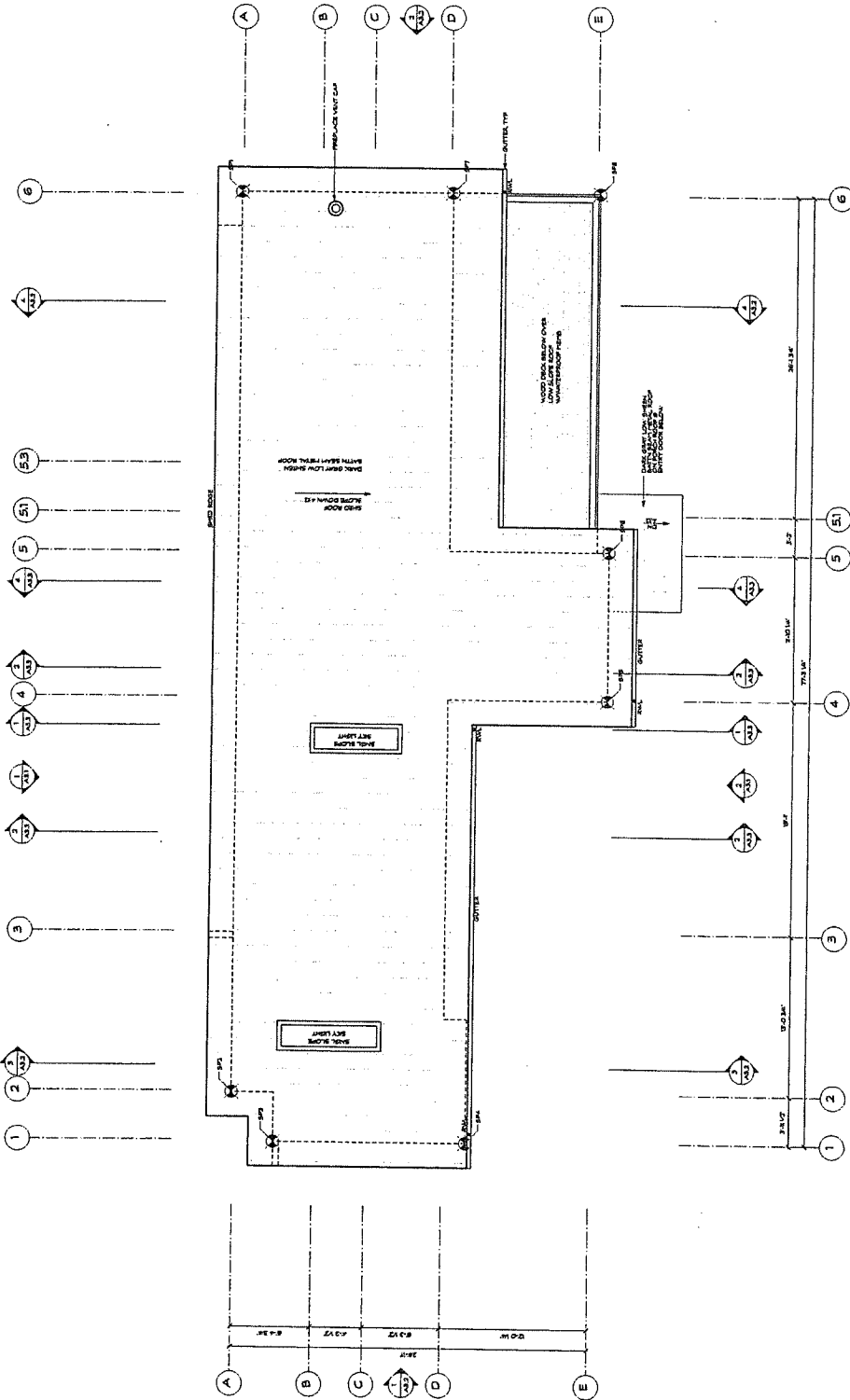


APR 002-174-05

DESIGNED BY:	
CHECKED BY:	
DATE:	04/02/20
PROJECT:	18 03T 2500
DATE:	03/27/20
REVISION:	03/27/20
SCALE:	1/8" = 1'-0"
SHEET NO.:	14 OF 20
TITLE:	ROOF PLAN

A2.4

1 ROOF PLAN  
 1/4" SCALE, 1/4" = 1'-0"



**NOTES**

1. ROOF PLAN SHALL BE DARK GREY LOW ALBEDO WATER-BEAM AND OVER-SLANT ACROSS ENTIRE EXTERIOR SURFACE OF ROOF AND UNDERSTANDING BATH SKYLIGHT AND KITCHEN SKYLIGHT.

**ROOF ASSEMBLIES**

1. ROOF ASSEMBLY SHALL BE DARK GREY LOW ALBEDO WATER-BEAM AND OVER-SLANT ACROSS ENTIRE EXTERIOR SURFACE OF ROOF AND UNDERSTANDING BATH SKYLIGHT AND KITCHEN SKYLIGHT.

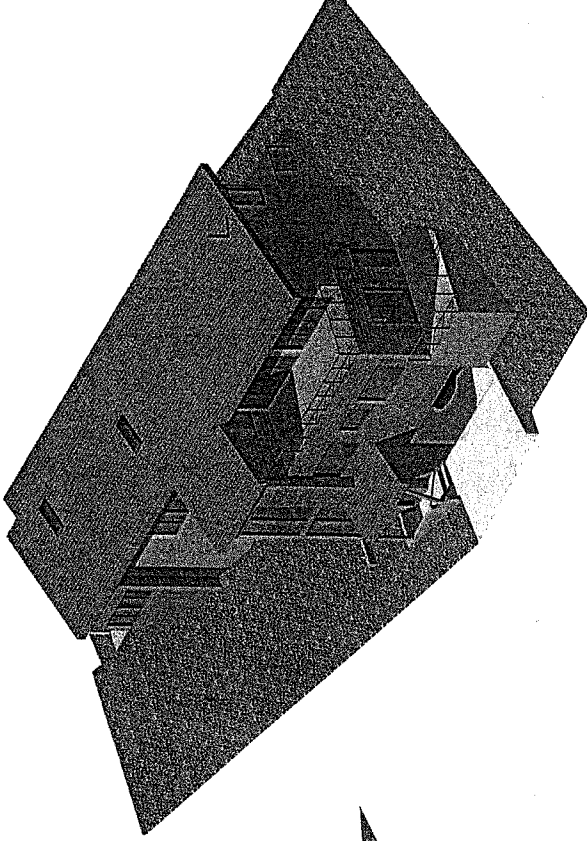
**SKYLIGHTS**

1. SKYLIGHTS SHALL BE DARK GREY LOW ALBEDO WATER-BEAM AND OVER-SLANT ACROSS ENTIRE EXTERIOR SURFACE OF SKYLIGHT AND UNDERSTANDING BATH SKYLIGHT AND KITCHEN SKYLIGHT.

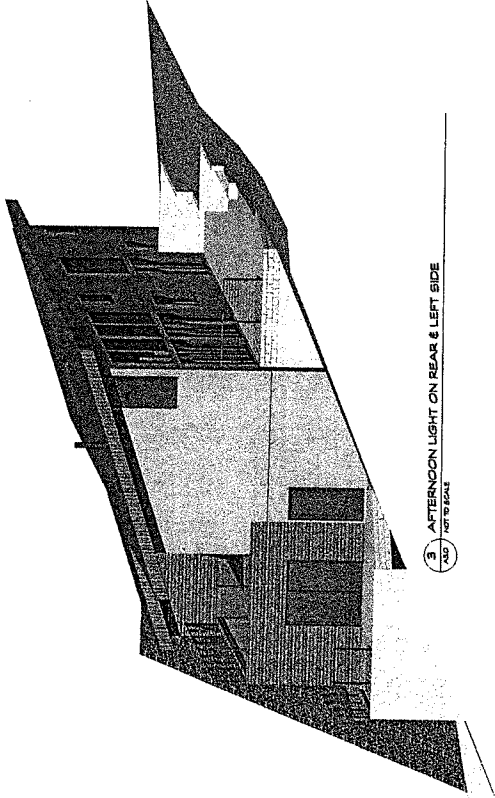
thompson architects  
 1276 North 2nd Ave. Suite 200  
 1000 Broadway Blvd. Suite 200  
 PASADENA, CA 91106  
 TEL: 626.797.1234



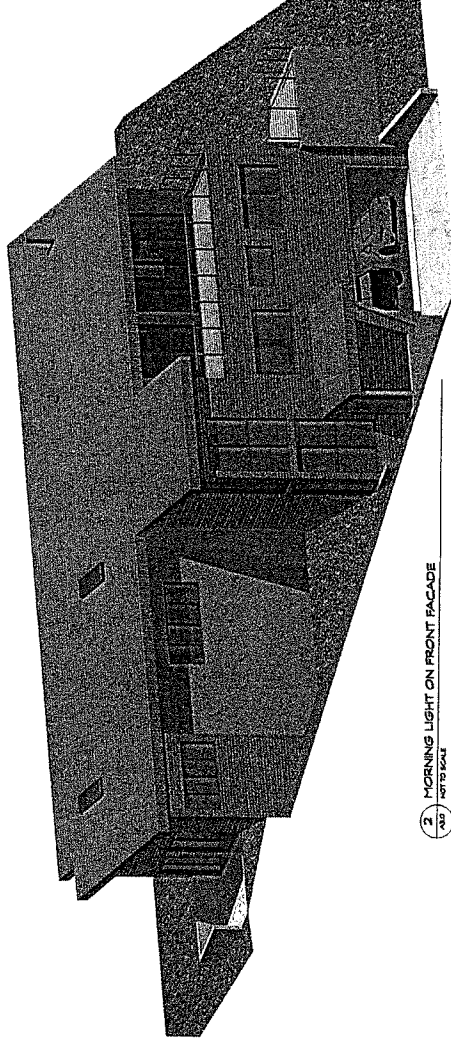
PEOPLES  
 RESIDENCE  
 SPRING LAKE  
 PASADENA, CA



1 MORNING LIGHT ON FRONT FACADE  
 3/07 1/4" = 1'0" SCALE



3 AFTERNOON LIGHT ON REAR & LEFT SIDE  
 3/07 1/4" = 1'0" SCALE



2 MORNING LIGHT ON FRONT FACADE  
 3/07 1/4" = 1'0" SCALE

APR: 002-174-05

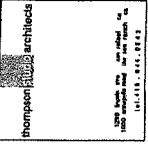
REVISIONS:

NO.	DATE	DESCRIPTION

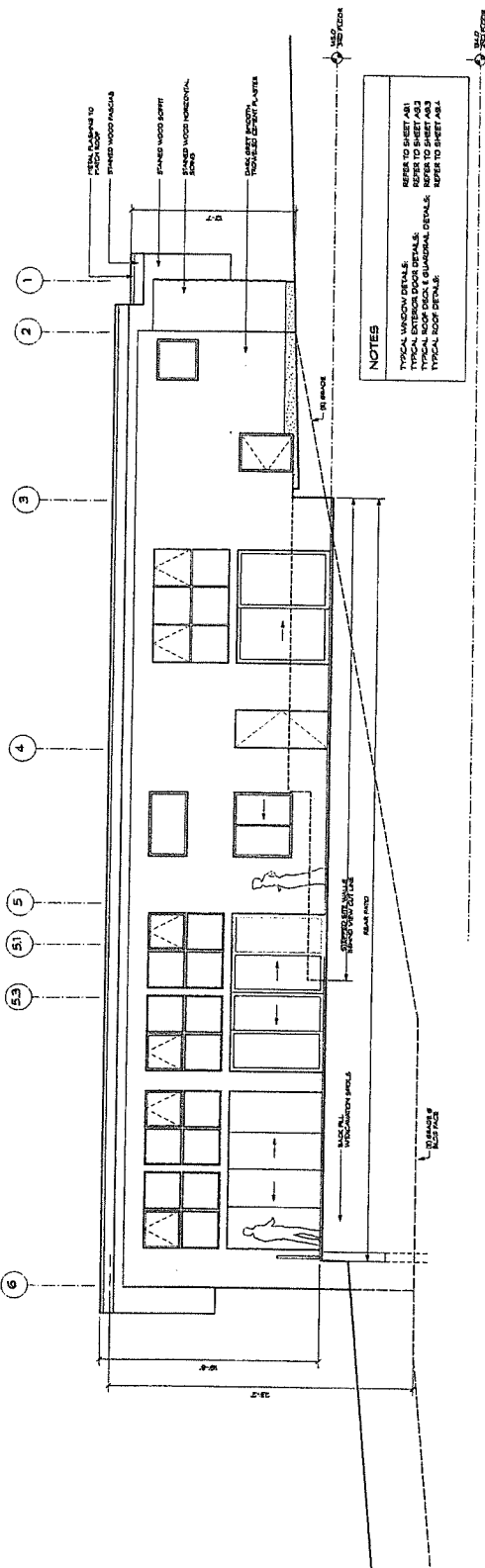
PROJECT: 18 OCT 2000  
 ARCHITECT: THOMPSON ARCHITECTS  
 CLIENT: JAMES & JUDITH M. HARRIS  
 LOCATION: SPRING LAKE, CALIFORNIA  
 SCALE: 1/4" = 1'0"  
 DRAWN BY: J. HARRIS  
 CHECKED BY: J. HARRIS

MODEL VIGNETTES

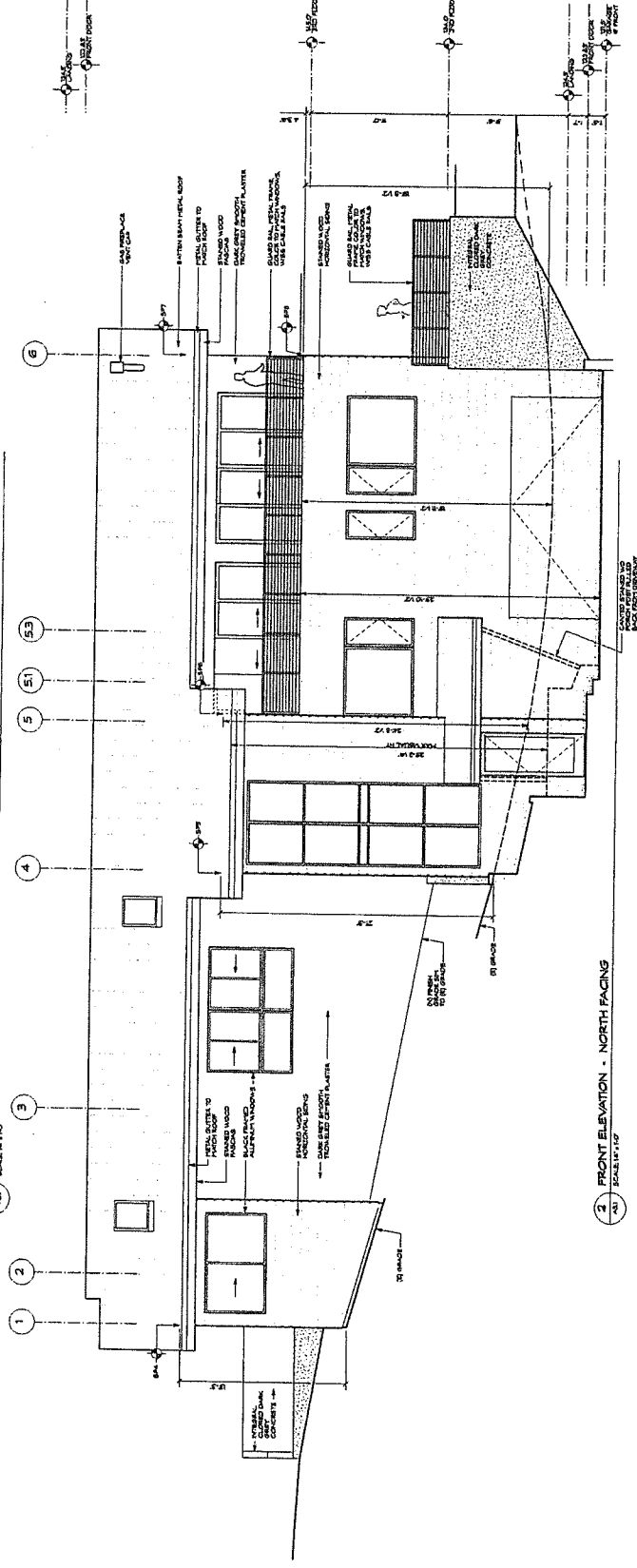
A3.0  
 THOMPSON ARCHITECTS



**PEOPLES RESIDENCE**  
 SPRING LAKE  
 FAIRFAX, CA




1 REAR ELEVATION - SOUTH FACING  
SCALE 1/8" = 1'-0"



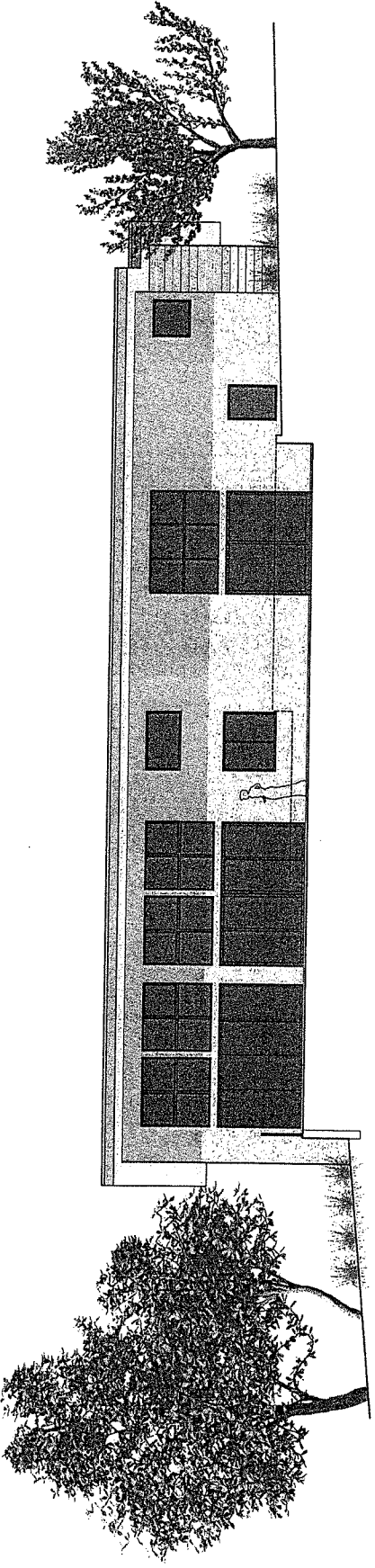
3 FRONT ELEVATION - NORTH FACING  
SCALE 1/8" = 1'-0"

thompson architects

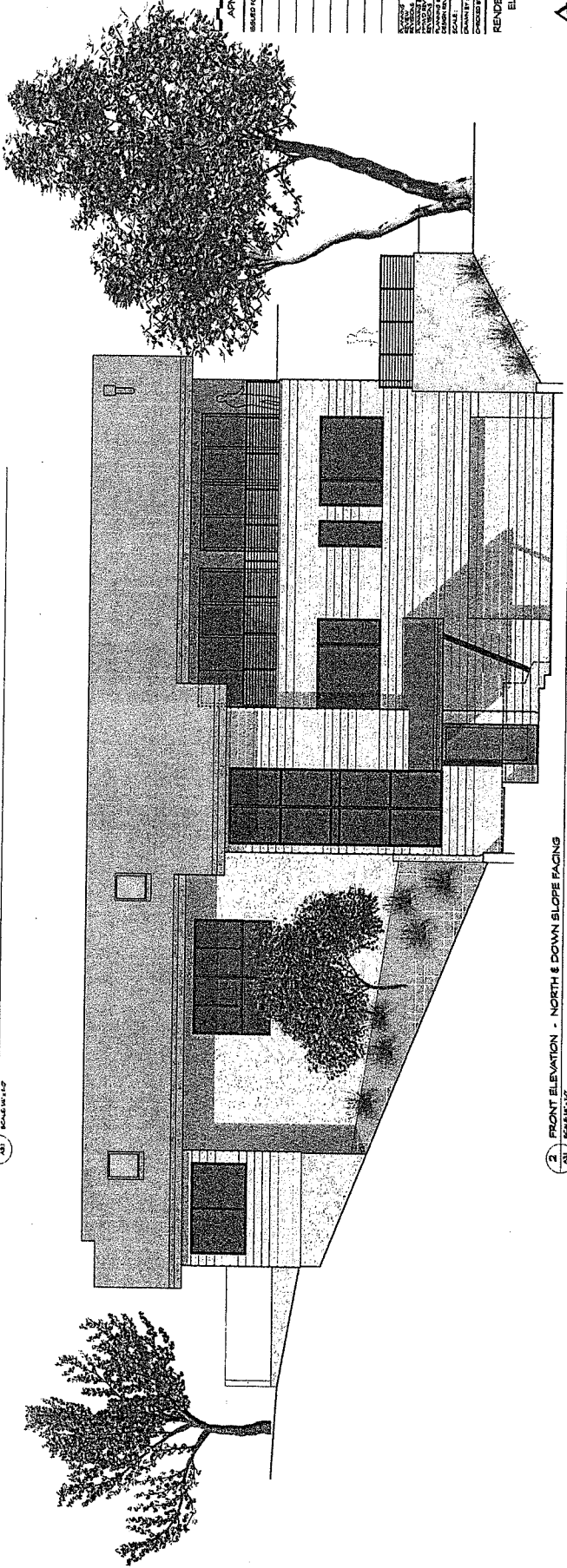
10000 Wilshire Blvd, Suite 1000, Beverly Hills, CA 90210  
 310.274.1111  
 www.thompsonarchitects.com



**PEOPLES  
 RESIDENCE**  
 SPRING LANE  
 FAIRFAX, CA



1 REAR ELEVATION - SOUTH & UP SLOPE FACING  
 SCALE: 1/8" = 1'-0"



2 FRONT ELEVATION - NORTH & DOWN SLOPE FACING  
 SCALE: 1/8" = 1'-0"

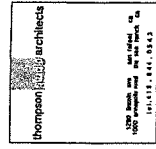
APN: 002174-05

DATE	DESCRIPTION
10 OCT 2020	ISSUED FOR PERMITS
27 MAR 2020	REVISED PER COMMENTS
28 JAN 2020	REVISED PER COMMENTS
18 JUL 19	ISSUED FOR PERMITS

DESIGNED BY: [Signature]  
 DRAWN BY: [Signature]

RENDERED EXTERIOR  
 ELEVATIONS

**A3.1R**  
 PRINTED: 11/24/2020 11:17 AM



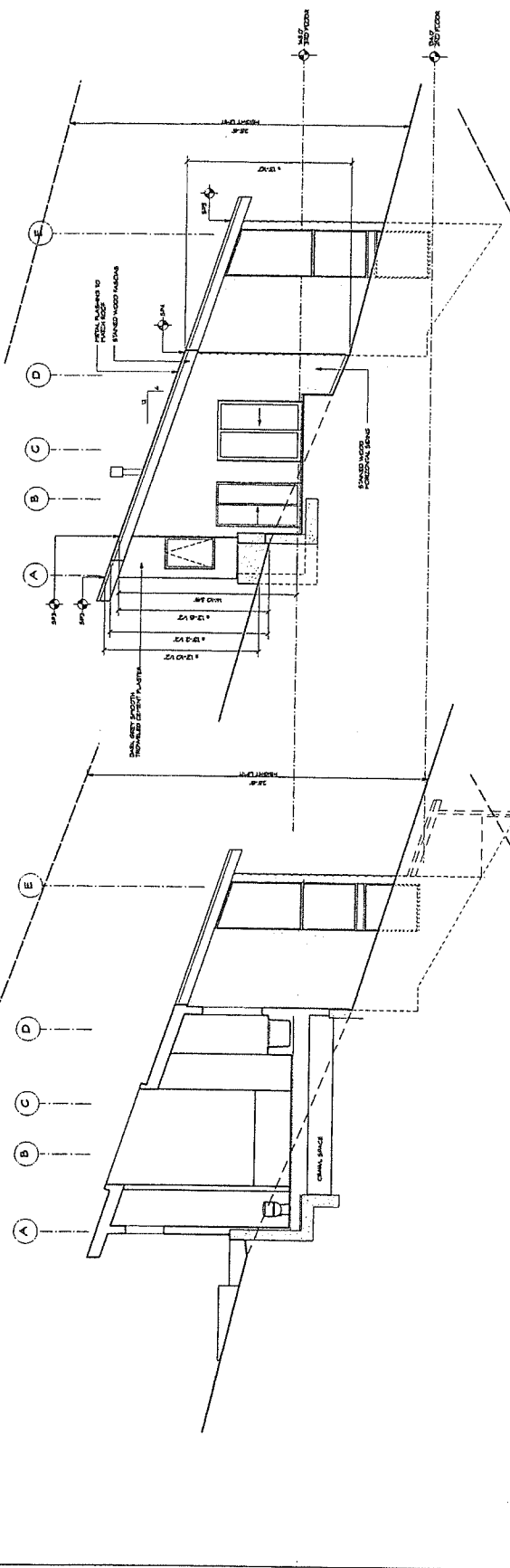
**PEOPLES RESIDENCE**  
 SPRING LANE  
 PASADENA, CA

APR: 002-TL-05  
 SHEET 041

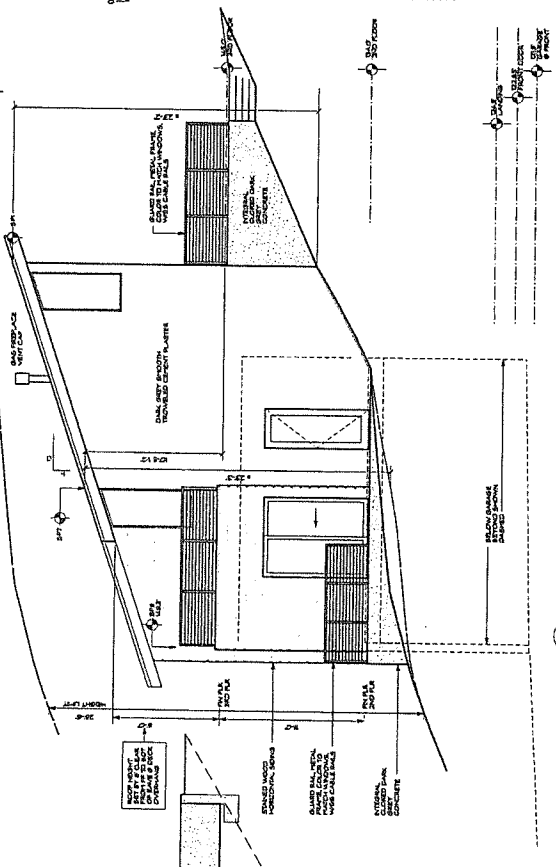
DESIGNED BY:	THOMPSON ARCHITECTS
DRAWN BY:	THOMPSON ARCHITECTS
SCALE:	AS SHOWN
PROJECT NO.:	002-TL-05
DATE:	28 JAN 2005
PROJECT NAME:	PEOPLES RESIDENCE
OWNER:	AS SHOWN
DATE:	28 JAN 2005
PROJECT NO.:	002-TL-05
PROJECT NAME:	PEOPLES RESIDENCE

**EXTERIOR ELEVATION**

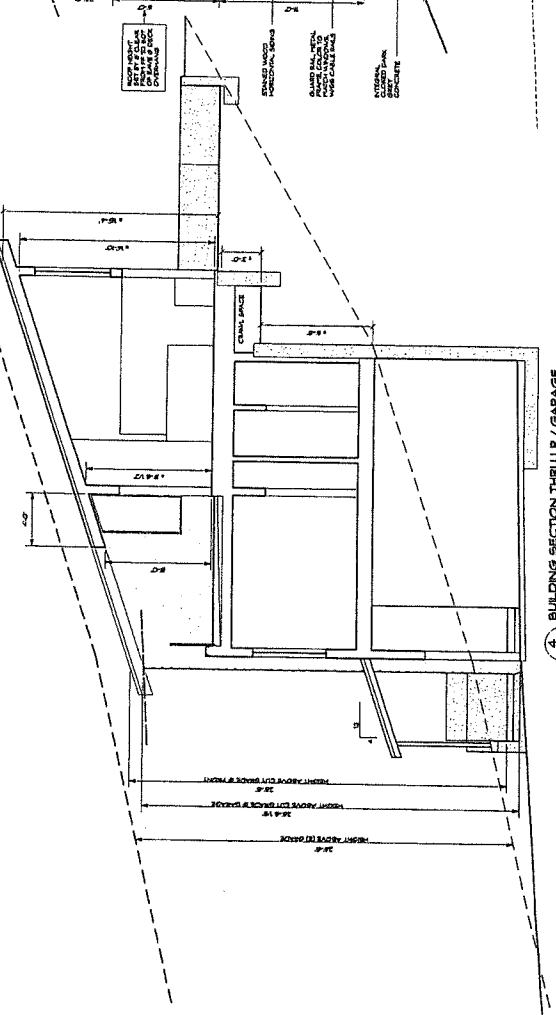
**A3.2**



**1 LEFT ELEVATION - EAST FACING**  
 SCALE 1/4" = 1'-0"



**2 RIGHT ELEVATION - WEST FACING**  
 SCALE 1/4" = 1'-0"



Thompson **ELLWOOD** architects

1320 Beach Blvd. San Rafael, CA  
1600 Broadway Ave. San Francisco, CA  
TEL: 415.478.1122

**PEOPLES  
RESIDENCE**  
SPRING LAKE  
PASADENA, CA

0' 5' 10'

APN: 002-7A-05

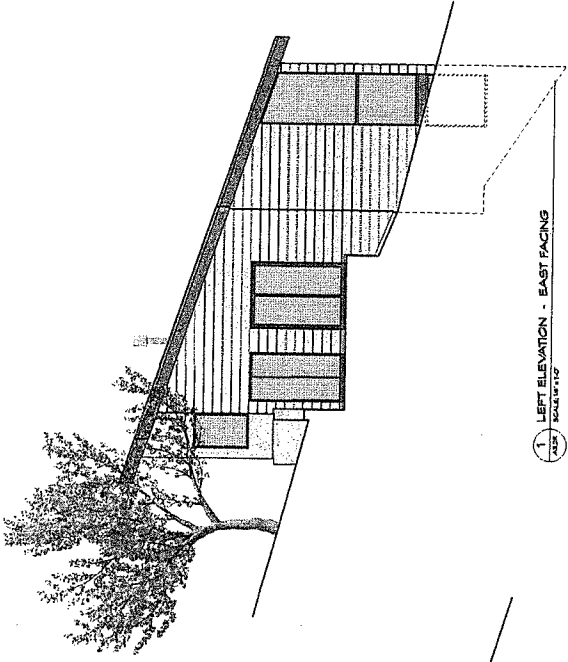
DESIGNED FOR:

PROJECT NO.	18-007-000
DATE	21 MAY 2018
PROJECT	PEOPLES RESIDENCE
CLIENT	24 MAY 2018
SCALE	1/8" = 1'-0"
DRAWN BY	DT
CHECKED BY	DT

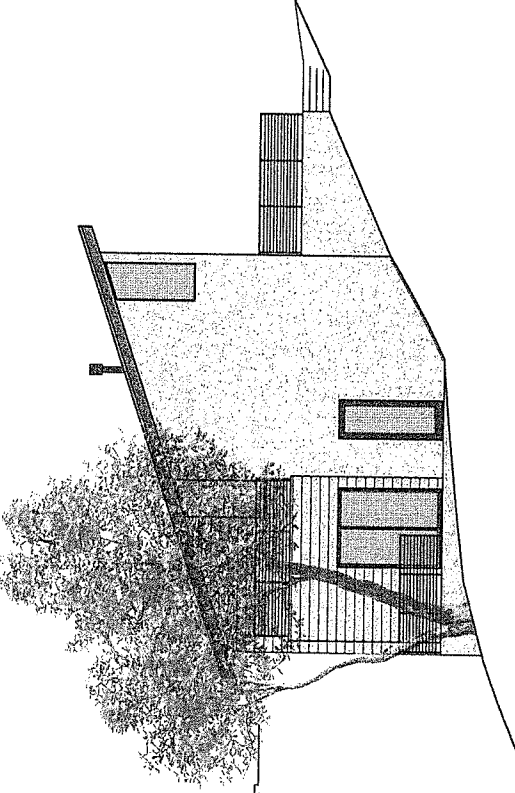
RENDERED  
EXTERIOR  
ELEVATION

**A3.2R**

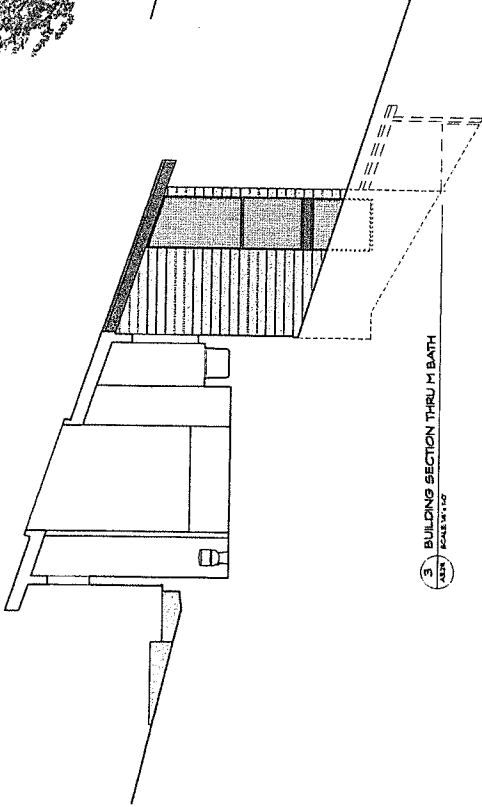
THOMPSON ELLWOOD ARCHITECTS



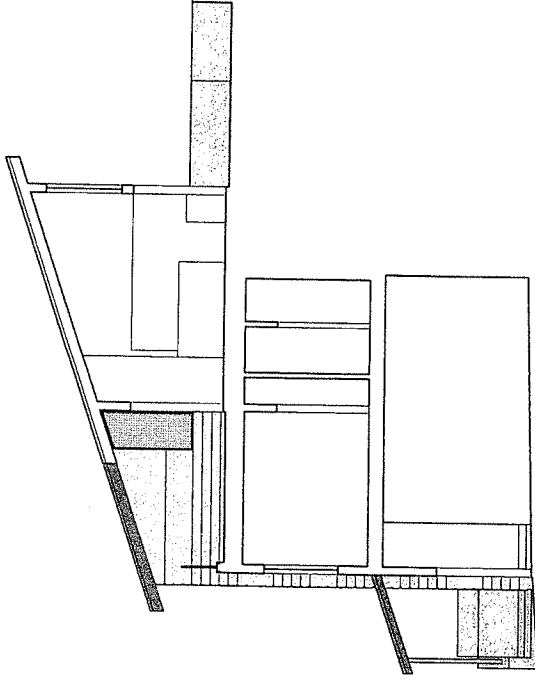
1 LEFT ELEVATION - EAST FACING  
ASB SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION - WEST FACING  
ASB SCALE: 1/8" = 1'-0"



3 BUILDING SECTION THRU BATH  
ASB SCALE: 1/8" = 1'-0"



4 BUILDING SECTION THRU LR / GARAGE  
ASB SCALE: 1/8" = 1'-0"

thompson architects  
 1000 ...  
 415.411.1000



PEOPLES  
 RESIDENCE  
 SPRING LAKE  
 FAIRFAX, CA

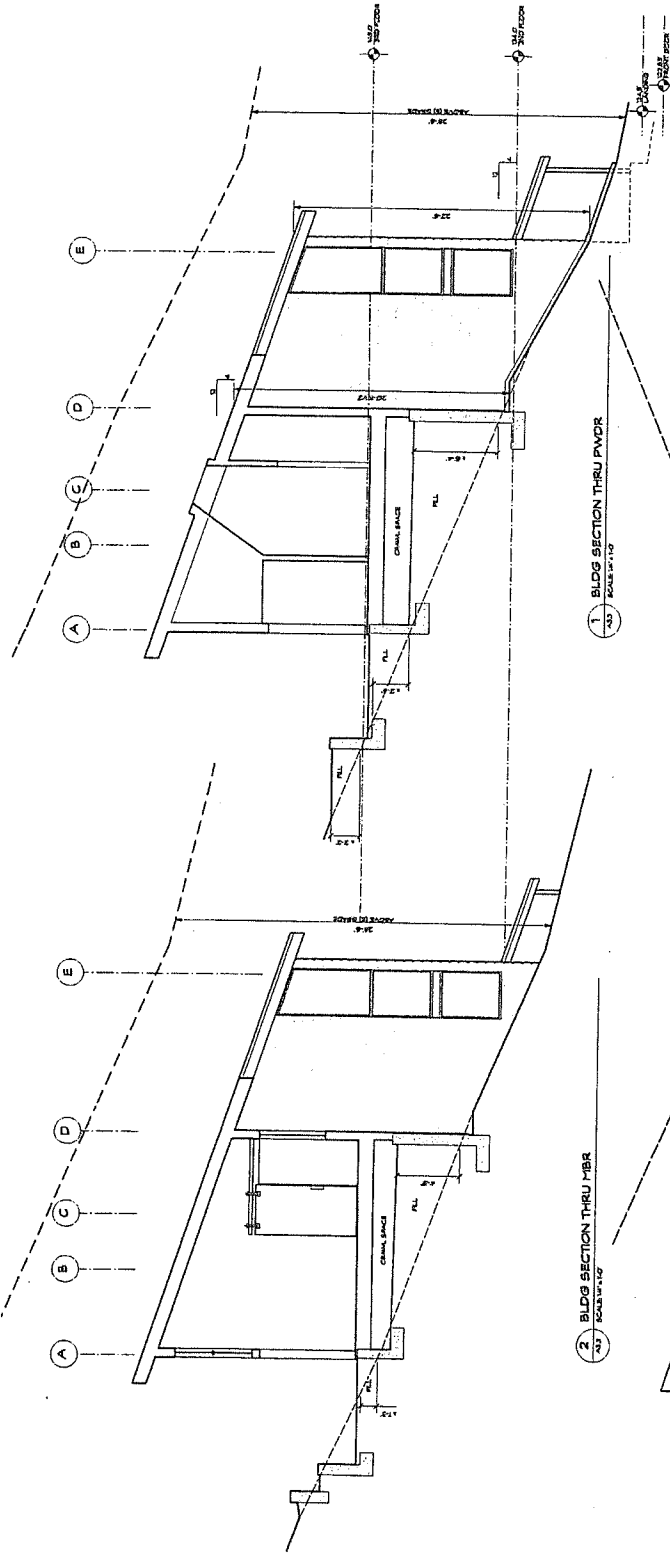


APN: 002-74-05

DESIGNED FOR:	
DATE:	
PROJECT:	
NO. OF SHEETS:	
NO. OF SHEETS USED:	
DATE:	
SCALE:	
DRAWN BY:	
CHECKED BY:	

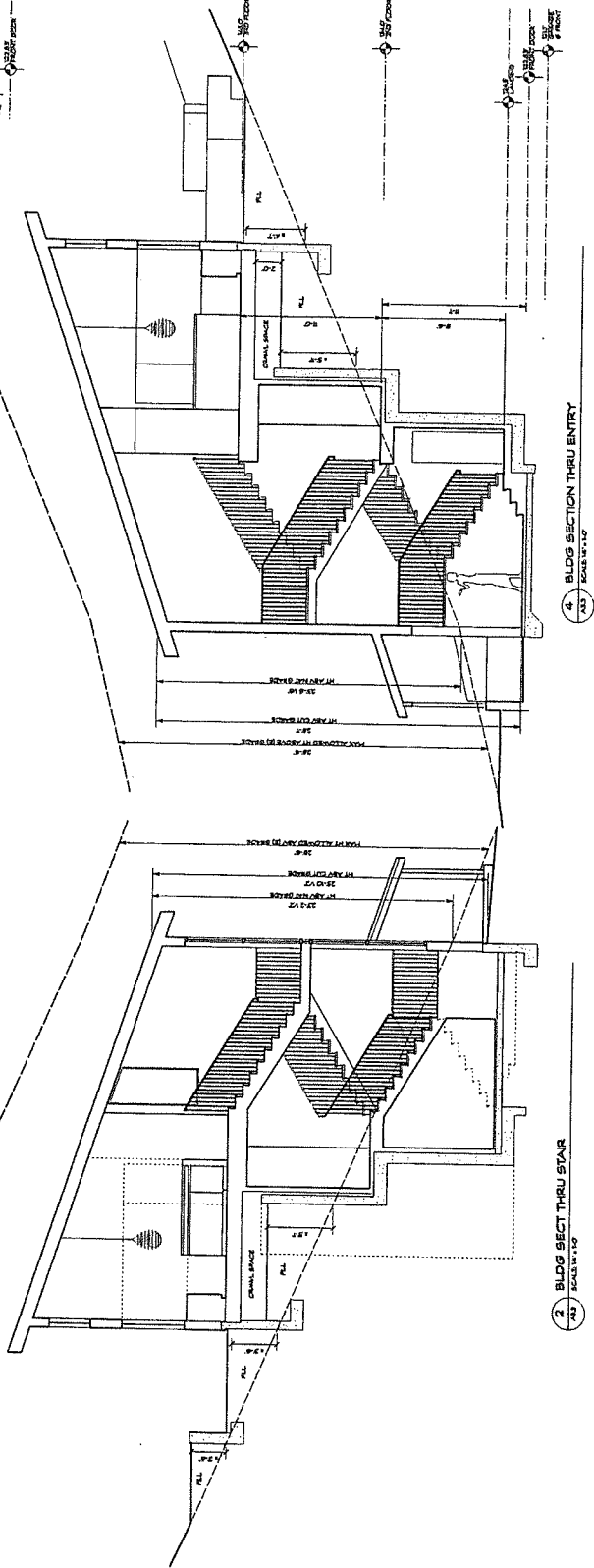
BUILDING  
 SECTIONS

A3.3



1 BLDG SECTION THRU PWDR  
 1/8" = 1'-0"

2 BLDG SECTION THRU HBR  
 1/8" = 1'-0"



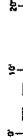
3 BLDG SECTION THRU ENTRY  
 1/8" = 1'-0"

4 BLDG SECT THRU STAIR  
 1/8" = 1'-0"

thompson architects  
 1226 Ocean Ave. Suite 100, San Francisco, CA  
 1000 Broadway, San Francisco, CA  
 TEL: 415.774.1343



PEOPLES  
 RESIDENCE  
 SPRING LAKE  
 PASADENA, CA



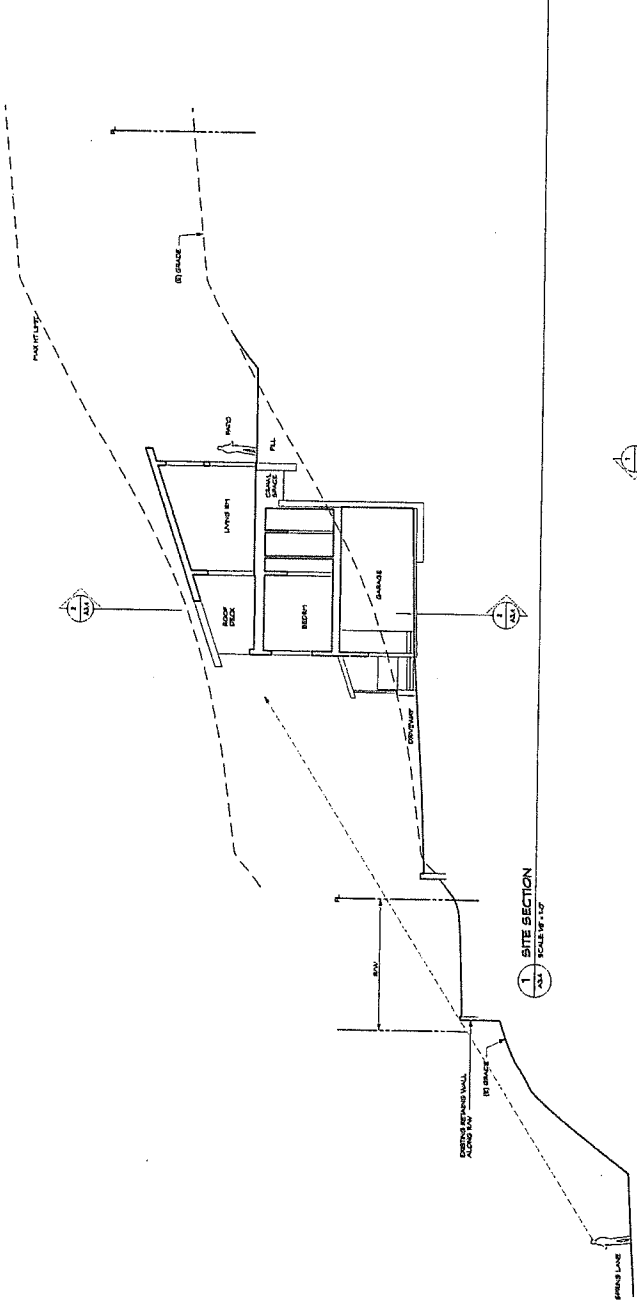
APN: 002-174-05

DESIGNED BY:	
DRAWN BY:	
CHECKED BY:	
DATE:	18 OCT 2009
PROJECT NO.:	21 PAV 0228
PROJECT NAME:	PEOPLES RESIDENCE
SCALE:	AS SHOWN
DATE:	28 JAN 2010
PROJECT NO.:	21 PAV 0228
PROJECT NAME:	PEOPLES RESIDENCE
SCALE:	AS SHOWN
DATE:	28 JAN 2010
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PROJECT NAME:	PEOPLES RESIDENCE
SCALE:	AS SHOWN
DATE:	28 JAN 2010

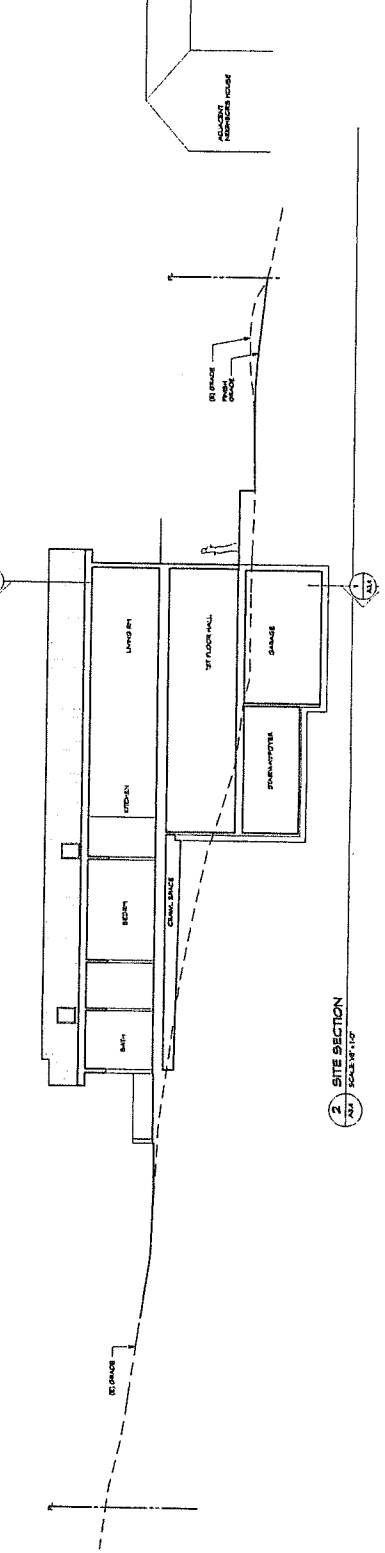
SITE SECTIONS

A3.4

DATE: 01/01/2008



1 SITE SECTION  
 SCALE: 1/4" = 1'-0"

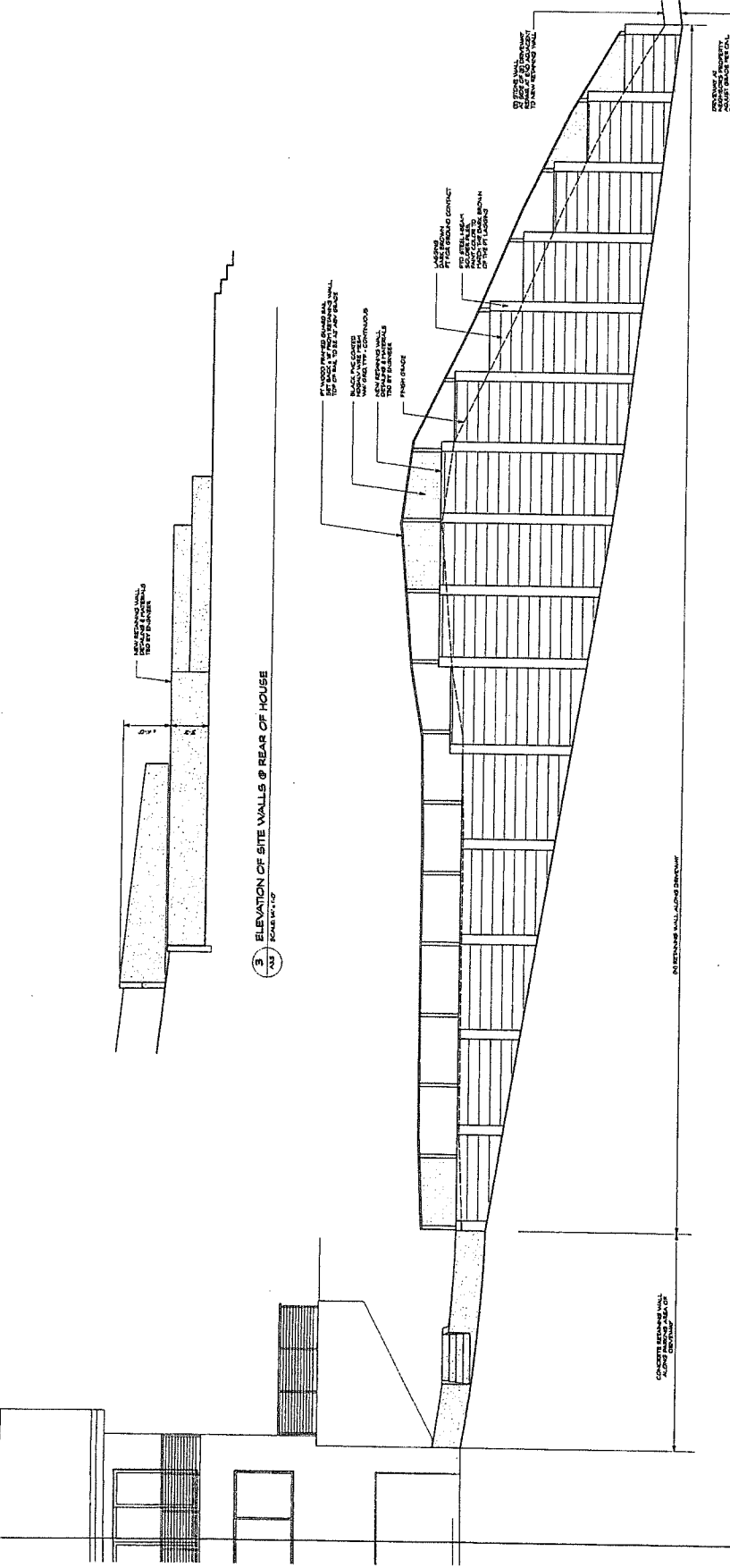


2 SITE SECTION  
 SCALE: 1/4" = 1'-0"





**PEOPLES RESIDENCE**  
 SPRING LAKE  
 FARGO, CA

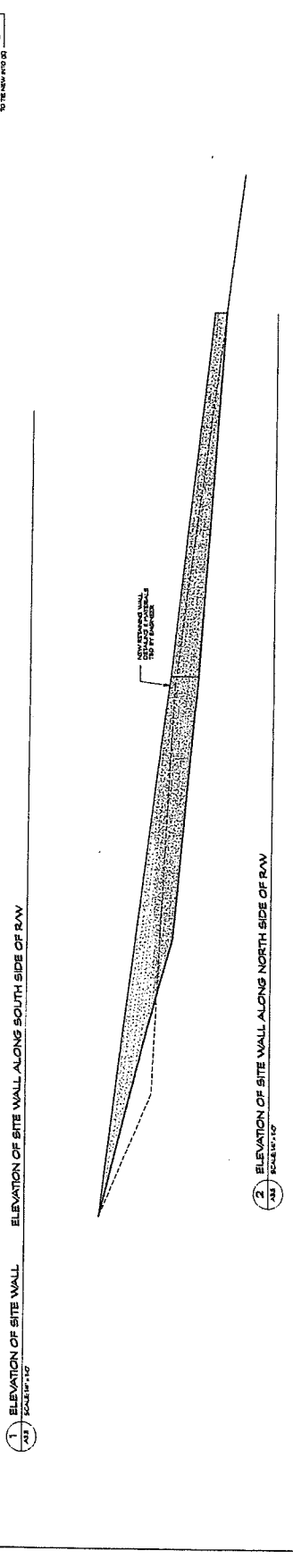


APRIL 002-174-05  
 SHEET NO. 1

DATE	18 OCT 2004
REVISION	1
BY	DAVID A. JOHNSON
CHECKED BY	DAVID A. JOHNSON
SCALE	AS SHOWN
PROJECT	PEOPLES RESIDENCE
DATE	18 OCT 2004
BY	DAVID A. JOHNSON
CHECKED BY	DAVID A. JOHNSON
SCALE	AS SHOWN

**SITE WALL ELEVATIONS**

**A3.5**



1 ELEVATION OF SITE WALL ALONG SOUTH SIDE OF RAV  
 SCALE: 1/8" = 1'-0"

2 ELEVATION OF SITE WALL ALONG NORTH SIDE OF RAV  
 SCALE: 1/8" = 1'-0"

3 ELEVATION OF SITE WALLS @ REAR OF HOUSE  
 SCALE: 1/8" = 1'-0"



REVISIONS	BY
DATE	DESCRIPTION

SHEPHERD & BLANK  
 PROFESSIONAL LAND SURVEYOR  
 P. O. BOX 1844  
 SAN ANSELMO, CALIFORNIA 94960  
 (415) 457-0041

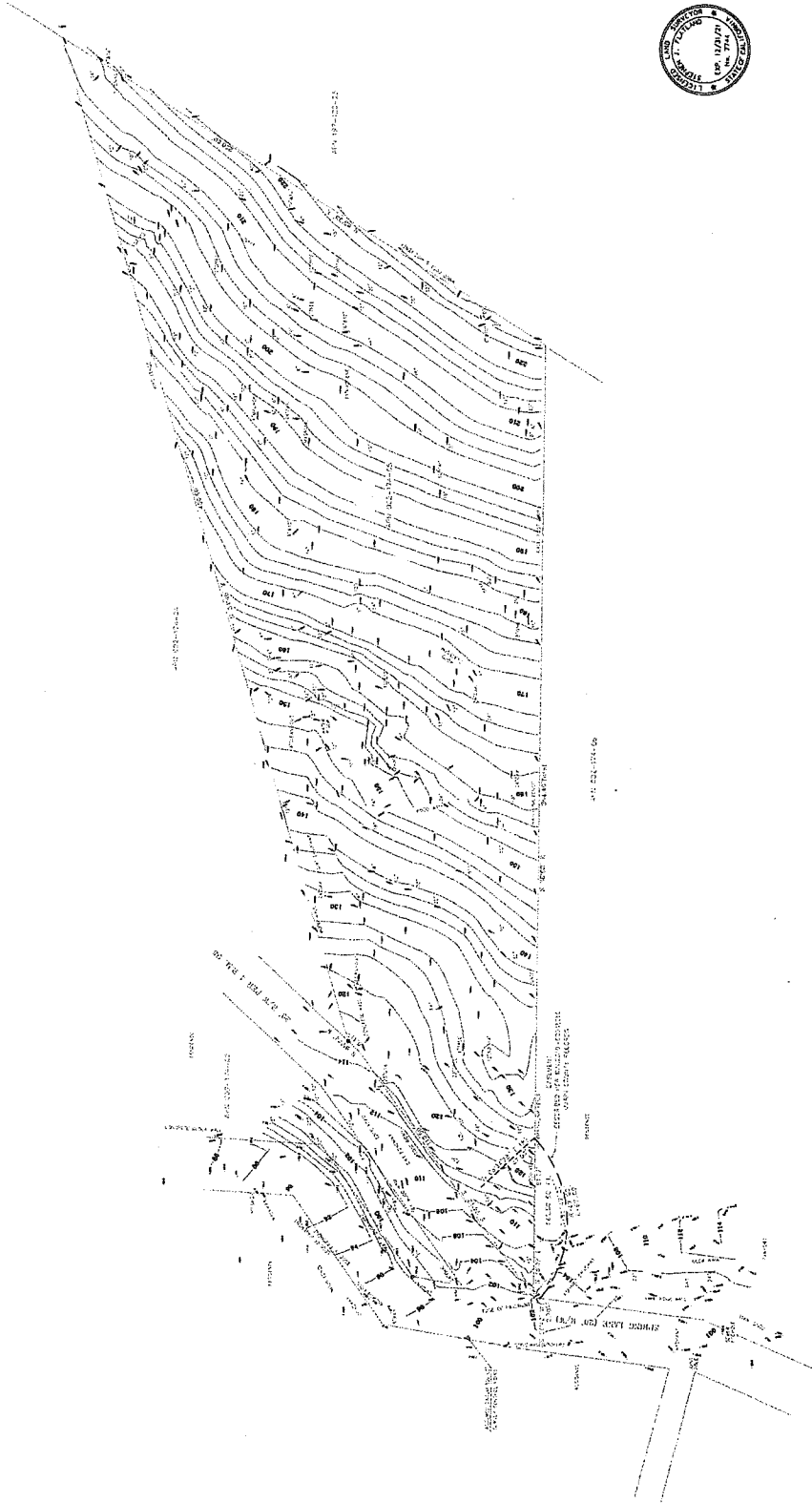
BOUNDARY & TOPOGRAPHIC SURVEY  
 FOR: JOHN & STACY ALBRICH  
 43 SPRING LAKE  
 SAN ANSELMO, CALIFORNIA  
 APR. 02, 1988

DATE: APR. 1988  
 SCALE: 1" = 20'  
 DRAWN: [Signature]  
 CHECKED: [Signature]  
 JOB NO.: 1137

Scale 1" = 20'  
 0 20 40 60 80 100 120 140 160 180 200 220 240 260 280 300 320 340 360 380 400 420 440 460 480 500 520 540 560 580 600 620 640 660 680 700 720 740 760 780 800 820 840 860 880 900 920 940 960 980 1000



THIS SURVEY WAS MADE BY THE METHOD OF  
 DIRECT MEASUREMENTS.  
 THE DATA WAS CHECKED BY [Signature]  
 AND FOUND TO BE CORRECT.  
 THE SURVEY WAS MADE ON APRIL 1, 1988.  
 THE SURVEY WAS MADE BY [Signature]  
 AND CHECKED BY [Signature].  
 SHEPHERD & BLANK  
 PROFESSIONAL LAND SURVEYOR



22

**COUNTY RECORDER'S STATEMENT**  
 Filed this 17 day of February, 2020, at San An, in Book 2020  
 of Maps at Page 22, at the Request of the Marin County Department  
 of Public Works.

Serial Number 2020-0005709  
 Fee: \$ 84.00  
Shelly Scott  
 County Recorder  
A. Q. S. S. S.  
 Deputy County Recorder

**COUNTY SURVEYOR'S STATEMENT**  
 This map has been prepared in accordance with Section 8766 of the Professional Land  
 Surveyors Act on the 17th day of February, 2020.

DAVID O'CONNOR  
 County Surveyor  
 1000 W. Park PLS 8176  
 San An, CA 94060  
 Phone: (415) 330-3300  
 Deputy County Surveyor



**SURVEYOR'S STATEMENT**  
 This map correctly represents a survey made by me or under my direction  
 in accordance with the requirements of the Professional Land Surveyors Act  
 at the request of Stephen J. Flatland PLS 7744  
Stephen J. Flatland PLS 7744

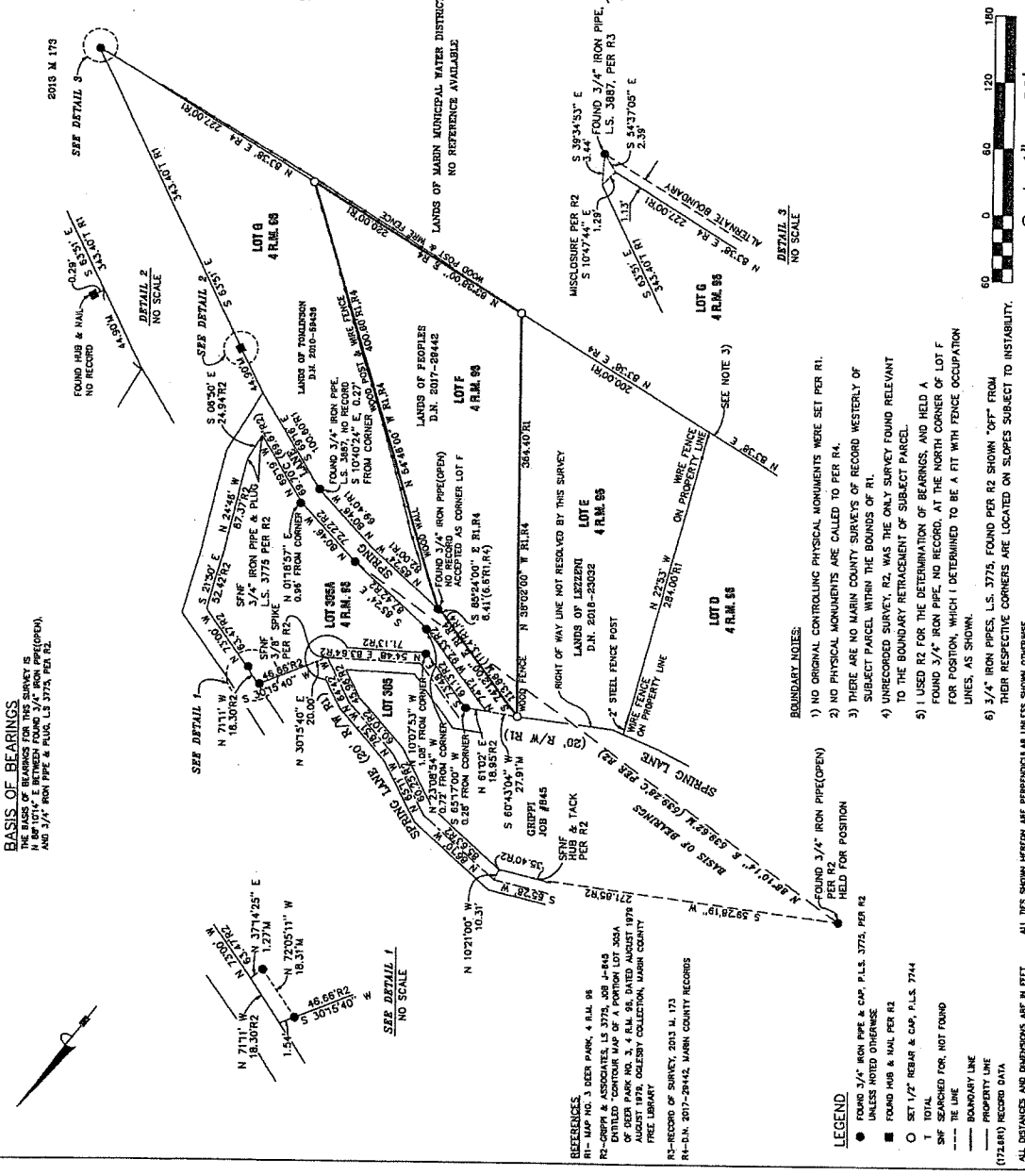


**RECORD OF SURVEY**  
 LANDS OF PEOPLES  
 D.N. 2017-29442

Being Lot F as shown upon "Map No. 3 Deer Park, Fairfax"  
 filed in Book 4 of Maps, at Page 96 Marin County Records  
 TOWN OF FAIRFAX COUNTY OF MARIN CALIFORNIA  
 SCALE: 1" = 60' DATE: NOVEMBER, 2018

STEPHEN FLATLAND LAND SURVEYOR  
 P.O. BOX 1837 SAN ANSELMO, CA  
 Ph: (415) 457-5081

A.P.N. 002-174-05 SHEET 1 OF 1



**BASIS OF BEARINGS**  
 THE BASIS OF BEARINGS FOR THIS SURVEY IS  
 N 89°10'14" E BETWEEN FOUND 3/4" IRON PIPE(OPEN)  
 AND 3/4" IRON PIPE & PUGL L.S. 3775, PER R2.

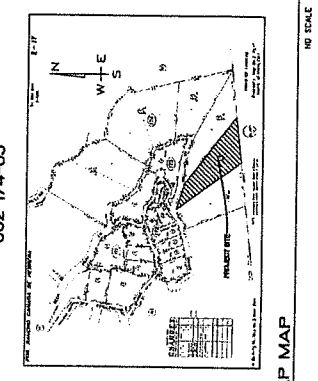
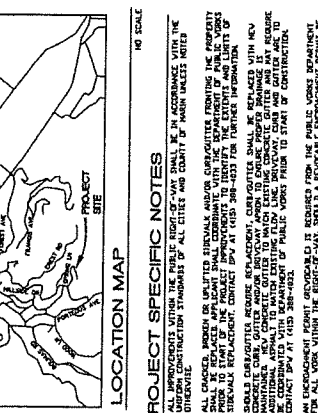


- BOUNDARY NOTES:**
- 1) NO ORIGINAL CONTROLLING PHYSICAL MONUMENTS WERE SET PER R1.
  - 2) NO PHYSICAL MONUMENTS ARE CALLED TO PER R4.
  - 3) THERE ARE NO MARIN COUNTY SURVEYS OF RECORD WESTERLY OF SUBJECT PARCEL WITHIN THE BOUNDS OF R1.
  - 4) UNRECORDED SURVEY, R2, WAS THE ONLY SURVEY FOUND RELEVANT TO THE BOUNDARY RETRACEMENT OF SUBJECT PARCEL.
  - 5) I USED R2 FOR THE DETERMINATION OF BEARINGS, AND HELD A FOUND 3/4" IRON PIPE, NO RECORD, AT THE NORTH CORNER OF LOT F FOR POSITION, WHICH I DETERMINED TO BE A FIT WITH FENCE OCCUPATION LINES, AS SHOWN.
  - 6) 3/4" IRON PIPES, L.S. 3775, FOUND PER R2 SHOWN "OFF" FROM THEIR RESPECTIVE CORNERS ARE LOCATED ON SLOPES SUBJECT TO INSTABILITY.

- LEGEND**
- FOUND 3/4" IRON PIPE & CAP, P.L.S. 3775, PER R2 UNLESS NOTED OTHERWISE
  - FOUND HUB & NAIL PER R2
  - SET 1/2" REBAR & CAP, P.L.S. 7744
  - T TOTAL
  - SNF SEARCHED FOR, NOT FOUND
  - THE LINE
  - BOUNDARY LINE
  - PROPERTY LINE
  - (172187) RECORD DATA
- ALL DISTANCES AND DIMENSIONS ARE IN FEET  
 DATE OF FIELD SURVEY: NOVEMBER, 2018

**REFERENCES**  
 R1- MAP NO. 3 DEER PARK, 4 P.L.S. 816  
 R2- MARIN COUNTY RECORDS, L.S. 3775, 208 P. 113  
 R3- MARIN COUNTY RECORDS, L.S. 3775, 208 P. 113  
 R4- DEER PARK NO. 3, 4 P.L.S. 58, DATED AUGUST 1978  
 AUGUST 1978, OGDENSBY COLLECTION, MARIN COUNTY  
 FREE LIBRARY  
 R5- RECORD OF SURVEY, 2013 H. 173  
 R6- D.N. 2017-29442, MARIN COUNTY RECORDS

**GRADING AND DRAINAGE PLAN**  
FOR  
**63 SPRING LANE**  
FAIRFAX, CA  
002-174-05



**PROJECT SPECIFIC NOTES**

1. ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION.
2. ALL CHANGES, MODIFICATIONS OR DEVIATIONS FROM THE ORIGINAL DRAWINGS SHALL BE MADE IN WRITING AND APPROVED BY THE ENGINEER AND THE CITY OF FAIRFAX.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FAIRFAX AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FAIRFAX AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS PRIOR TO THE START OF CONSTRUCTION.
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7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FAIRFAX AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS PRIOR TO THE START OF CONSTRUCTION.

**EARTHWORK - PUBLIC IMPROVEMENTS**

EARTHWORK REGION	CUT	FILL	NET
RESIDENCE AND GARAGE	205 CY	80 CY	125 CY CUT
DRIVEWAY PRIVATE PORTION	105 CY	0 CY	105 CY CUT
GRADING	30 CY	35 CY CUT	
TOTAL	340 CY	145 CY	195 CY CUT

**EARTHWORK - PRIVATE IMPROVEMENTS**

EARTHWORK REGION	CUT	FILL	NET
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TOTAL	340 CY	145 CY	195 CY CUT

**EARTHWORK - IMPROVEMENTS ASSOCIATED WITH DRIVEWAY (FIRE APPARATUS ACCESS AND TURN)**

EARTHWORK REGION	CUT	FILL	NET
DRIVEWAY (FIRE APPARATUS PORTION)	420 CY	0 CY	420 CY CUT
TOTAL	420 CY	0 CY	420 CY CUT

**INDEX OF DRAWINGS**

- C1 COVER SHEET, NOTES, AND LOCATION MAP
- C2 GENERAL NOTES, PLAN AND DETAILS
- C3 EROSION CONTROL PLAN AND DETAILS
- C4 EROSION CONTROL PLAN AND DETAILS
- C5 EROSION CONTROL PLAN AND DETAILS
- C6 EROSION CONTROL PLAN AND DETAILS
- C7 EROSION CONTROL PLAN AND DETAILS
- C8 EROSION CONTROL PLAN AND DETAILS
- C9 EROSION CONTROL PLAN AND DETAILS
- C10 EROSION CONTROL PLAN AND DETAILS

**CONTRACTOR'S RESPONSIBILITIES**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF FAIRFAX AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS PRIOR TO THE START OF CONSTRUCTION.
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**CONTRACTOR'S RESPONSIBILITIES**

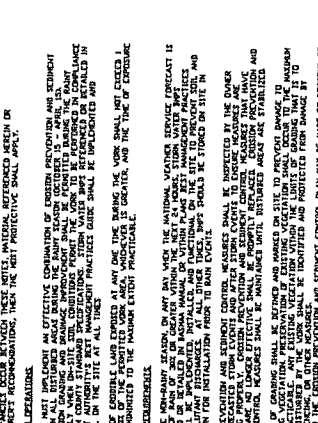
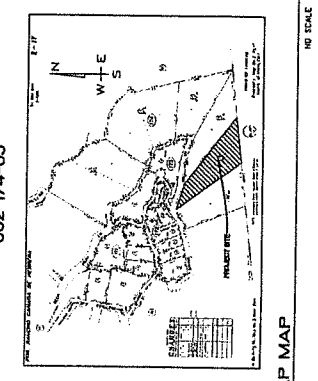
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**EROSION PREVENTION AND SEDIMENT CONTROL NOTES**

1. EROSION PREVENTION AND SEDIMENT CONTROL SHALL BE INSTALLED AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH THE CALIFORNIA STANDARD SPECIFICATIONS FOR PUBLIC WORKS, LATEST EDITION.
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**EARTHWORK - PUBLIC IMPROVEMENTS**

EARTHWORK REGION	CUT	FILL	NET
RESIDENCE AND GARAGE	205 CY	80 CY	125 CY CUT
DRIVEWAY PRIVATE PORTION	105 CY	0 CY	105 CY CUT
GRADING	30 CY	65 CY	35 CY CUT
TOTAL	340 CY	145 CY	195 CY CUT

**EARTHWORK - PRIVATE IMPROVEMENTS**

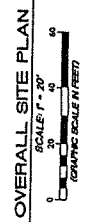
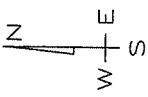
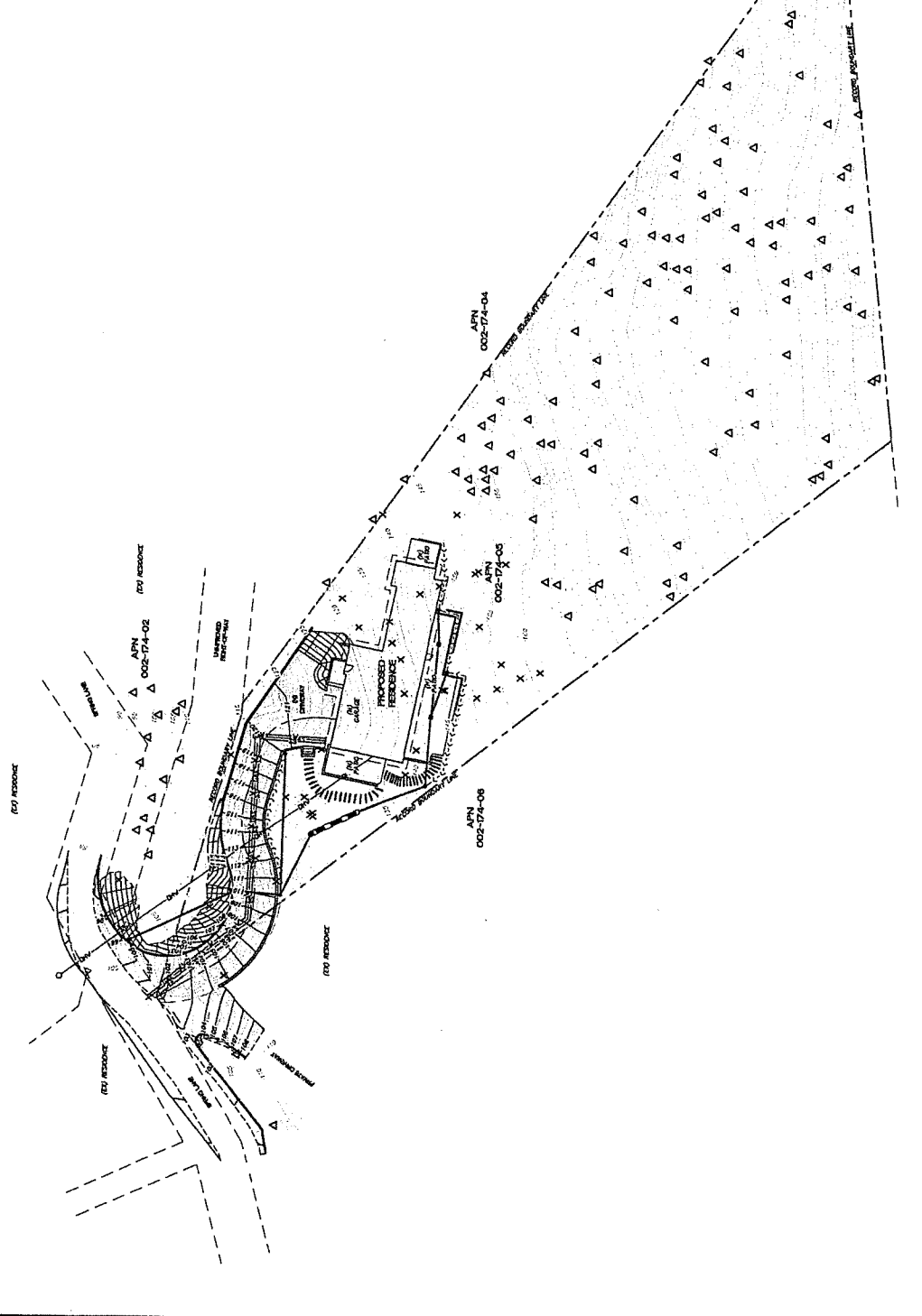
EARTHWORK REGION	CUT	FILL	NET
RESIDENCE AND GARAGE	205 CY	80 CY	125 CY CUT
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GRADING	30 CY	65 CY	35 CY CUT
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EARTHWORK REGION	CUT	FILL	NET
DRIVEWAY (FIRE APPARATUS PORTION)	420 CY	0 CY	420 CY CUT
TOTAL	420 CY	0 CY	420 CY CUT

**LEGEND**

- PROPOSED ASHLEAF PER ARCHITECTURAL PLANS
- PROPOSED PAVEMENT PER ARCHITECTURAL PLANS
- PROPOSED CONCRETE PER ARCHITECTURAL PLANS
- PROPOSED BUILDING PER ARCHITECTURAL PLANS
- RETAINING WALL SEE DESIGN BY OTHERS
- TREE TO BE SAVED
- TREE TO BE REMOVED



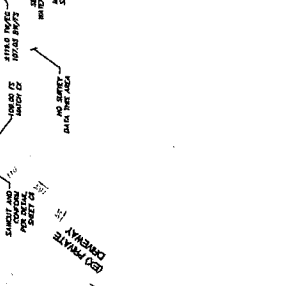
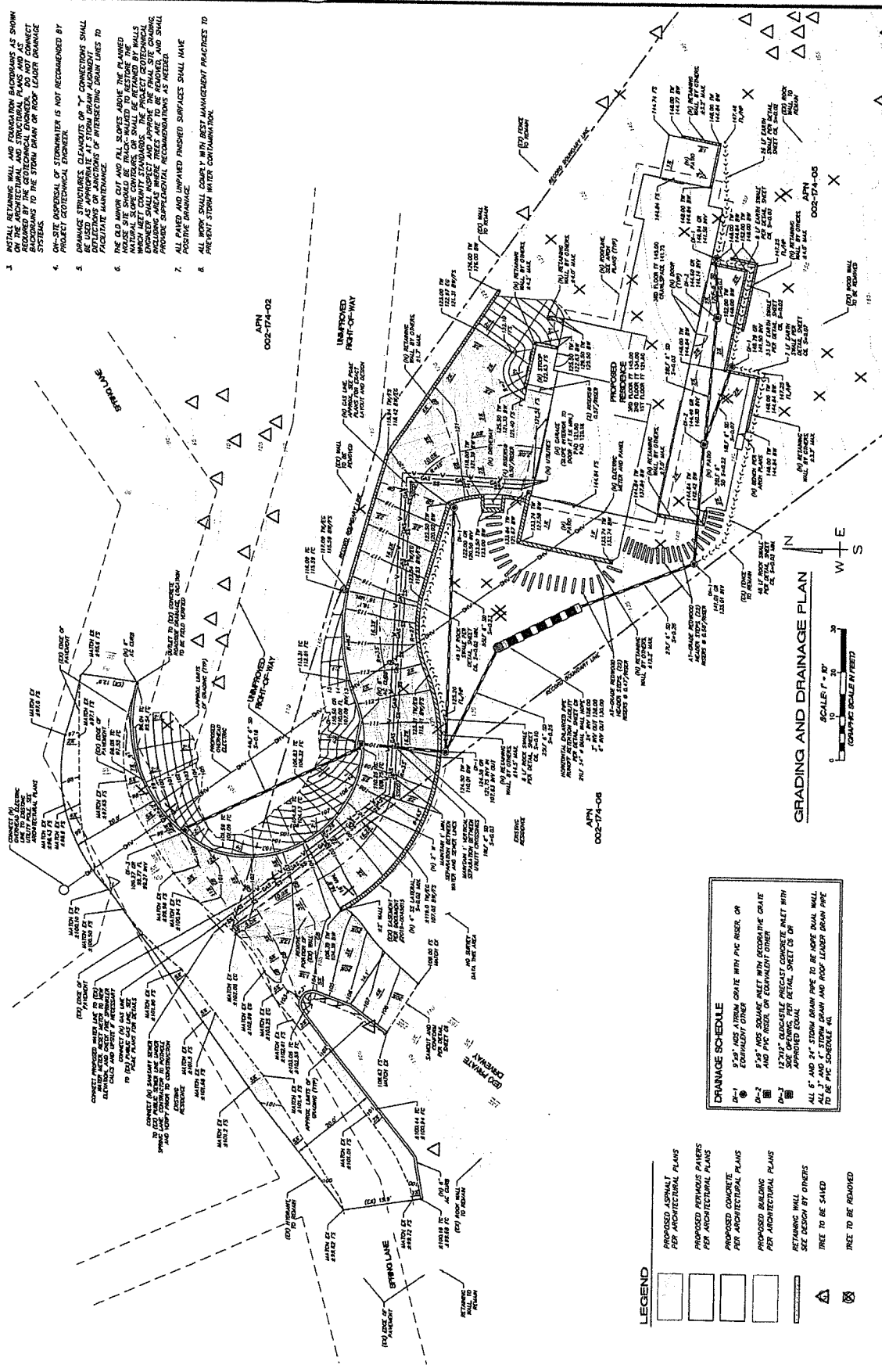
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3	04/05/00	REVISION
4	04/20/00	REVISION
5	05/10/00	REVISION
6	05/24/00	REVISION
7	06/08/00	REVISION
8	06/22/00	REVISION

63 SPRING LANE  
GRADING AND DRAINAGE PLAN  
02-21-00  
02-24-00  
02-28-00  
DVC GROUP INC.  
2650 CENTURY BLVD, SUITE 200  
IRVINE, CA 92614  
(949) 261-0000

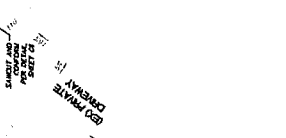
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BY: [Signature]  
SCALE: 1" = 30'  
SHEET NO. 82  
OF 8 SHEETS

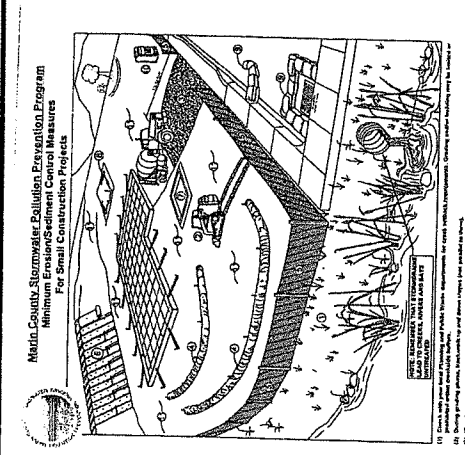
### GRADING AND DRAINAGE NOTES

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, WALLS AND FOUNDATION DETAILS.
- DOWNSPOUT ARE TO BE CONNECTED DIRECTLY INTO STORM DRAIN SYSTEMS. DOWNSPOUTS SHALL NOT BE CONNECTED TO SEWER AND LOCATION SHALL BE REFERRED TO ARCHITECTURAL PLANS.
- INSTALL RETAINING WALL AND FOUNDATION EXCAVATIONS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS NOTED ON THE GRADING AND DRAINAGE PLANS. DO NOT CONNECT BACKWARDS TO THE STORM DRAIN ON THE EXISTING DRAINAGE SYSTEMS.
- ON-SITE DISPOSAL OF STORMWATER IS NOT RECOMMENDED BY PROJECT GEOTECHNICAL ENGINEER.
- DRAINAGE STRUCTURES CLEANOUTS OR "T" CONNECTIONS SHALL BE INSTALLED TO ALLOW FOR CLEANOUTS OF STORM DRAIN ALIGNMENT AT REGULAR INTERVALS. SEE SECTION 05210 FOR SPECIFICATIONS TO FIGURATIVE MAINTENANCE.
- THE OLD MAKE OUT AND FALL SLOPES ABOVE THE PLANNED NATURAL SLOPE COULD BE SOILED TO RESTORE THE ORIGINAL SLOPE COVERS. THE PROJECT GEOTECHNICAL ENGINEER WILL VERIFY THE SLOPE RESTORATION AREAS. TREE PRESERVING AREAS WHERE TREES ARE TO BE REMOVED, THE PROJECT GEOTECHNICAL ENGINEER WILL PROVIDE SUPPLEMENTAL RECOMMENDATIONS AS NEEDED.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL HAVE POSITIVE DRAINAGE.
- EXISTING AND PROPOSED WALLS SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.



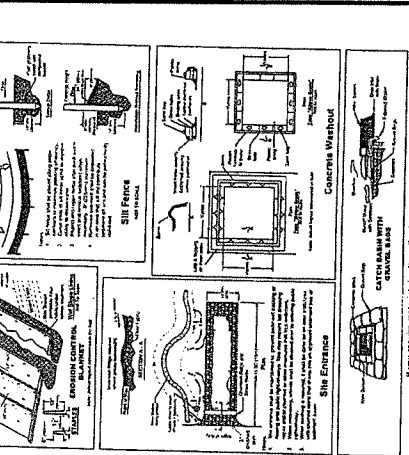
- LEGEND**
- PROPOSED ASPHALT PER ARCHITECTURAL PLANS
  - PROPOSED REMOVAL PER ARCHITECTURAL PLANS
  - PROPOSED CONCRETE PER ARCHITECTURAL PLANS
  - PROPOSED BRICKS PER ARCHITECTURAL PLANS
  - RETAINING WALL SEE DESIGN BY OTHERS
  - TREE TO BE SAVED
  - TREE TO BE REMOVED
- DRAINAGE SCHEDULE**
- 1-1 12" x 12" GLASS-BLOCK PRECAST CONCRETE INLET WITH APPROVED EQUAL
  - 1-2 6" x 6" SQUARE INLET WITH DECORATIVE GRATE AND PVC RISER OR EQUIVALENT OTHER
  - 1-3 6" x 6" SQUARE INLET WITH PVC RISER, OR EQUIVALENT OTHER
  - 1-4 ALL 6" AND 8" STORM DRAIN SHALL BE 18" HIGH MAN WALL TO BE PVC SCHEDULE 40



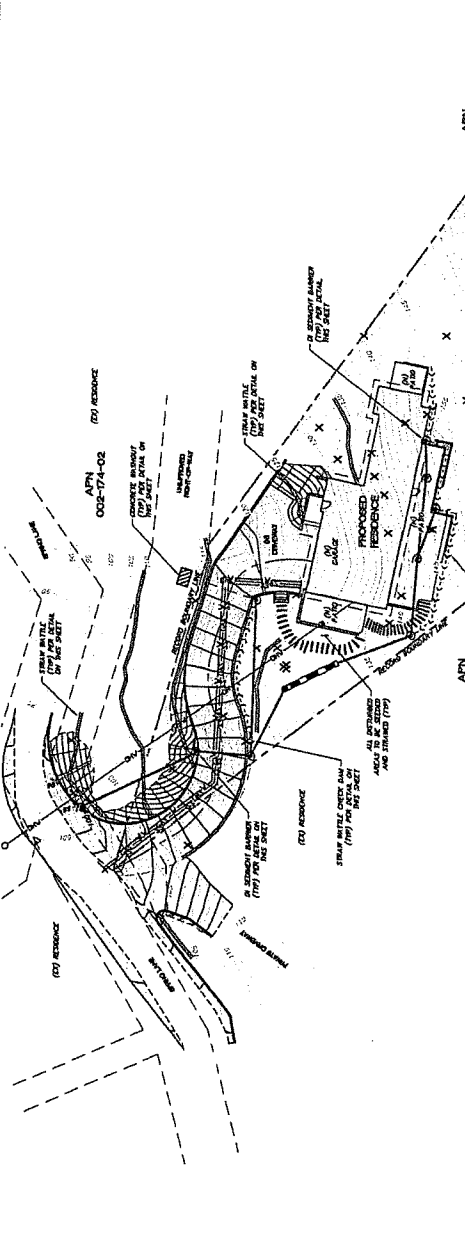


**LEGEND**  
 STRAW WATTLE  
 STRAW WATTLE CHECK DAM  
 RECEIVED SWALE  
 DROP INLET SEDIMENT BARRIER

**NOTES:**  
 1. THE GEOTECHNICAL ENGINEER MUST MONITOR EROSION AND SEDIMENTATION AND REPORT TO THE OWNER AS SOON AS POSSIBLE. A MONTHLY EROSION MONITORING REPORTS FROM THE JOB SITE AT ALL TIMES.  
 2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND MAINTAINED AT ALL TIMES.  
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES MUST BE MAINTAINED WITHIN 10 FEET OF THE EROSION CONTROL MEASURES.

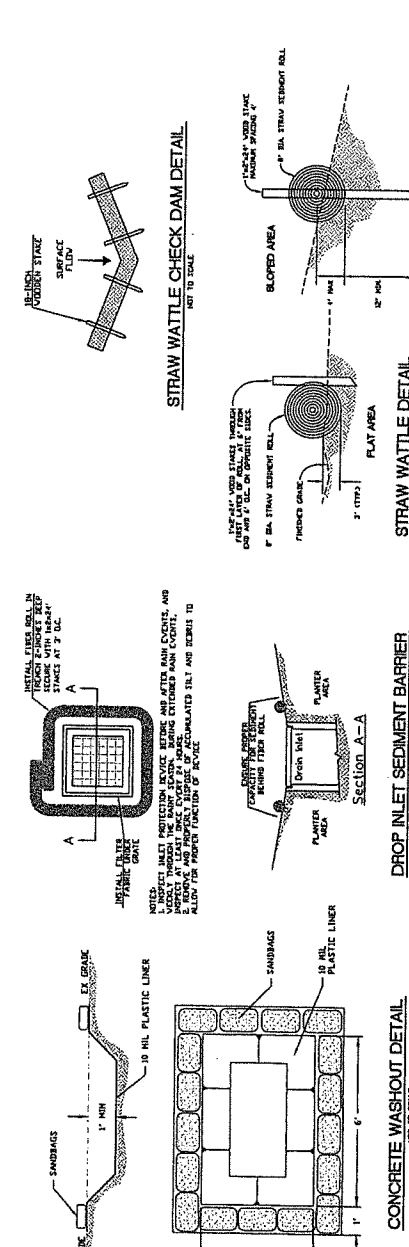


**TYPICAL DETAILS**  
 1. STRAW WATTLE CHECK DAM DETAIL (NOT TO SCALE)  
 2. STRAW WATTLE DETAIL (NOT TO SCALE)  
 3. DROP INLET SEDIMENT BARRIER (SECTION A-A, NOT TO SCALE)  
 4. CONCRETE WASHOUT DETAIL (NOT TO SCALE)  
 5. Silt Fence  
 6. Concrete Washout



**LEGEND**  
 STRAW WATTLE  
 STRAW WATTLE CHECK DAM  
 RECEIVED SWALE  
 DROP INLET SEDIMENT BARRIER

**NOTES:**  
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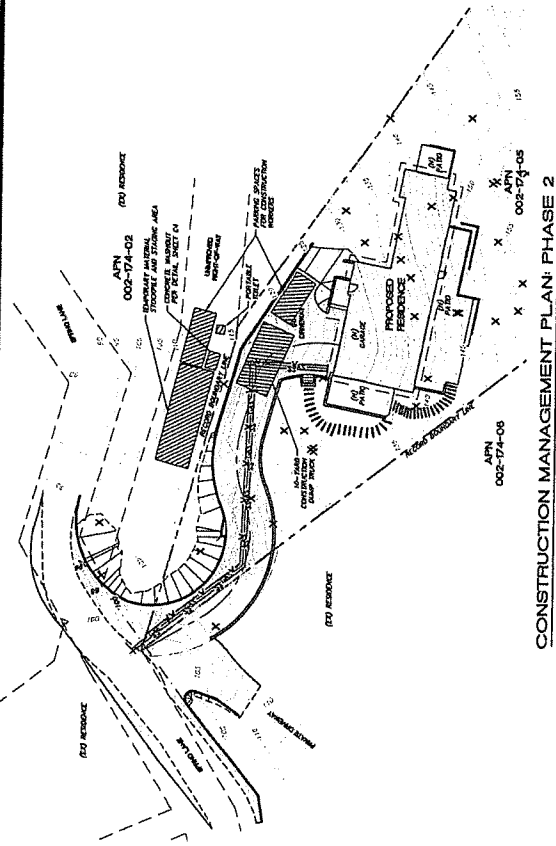


NO. DRAWN	DATE	REVISION

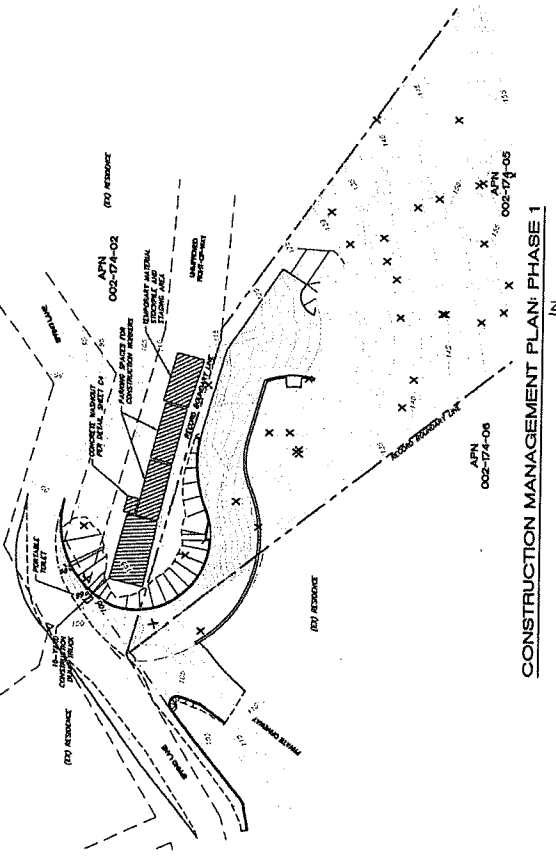
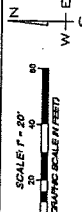
**DVC GROUP INC.**  
PLANNING & ENGINEERING - CA  
15000 BAYVIEW BLVD, SUITE 100  
HEALING SPRING, CA 94446  
(925) 968-0048



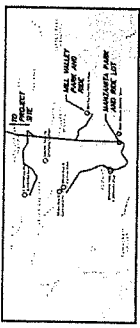
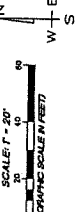
**CONSTRUCTION MANAGEMENT PLAN**  
63 SPRING LANE  
002-74-06  
002-74-06  
002-74-06  
002-74-06



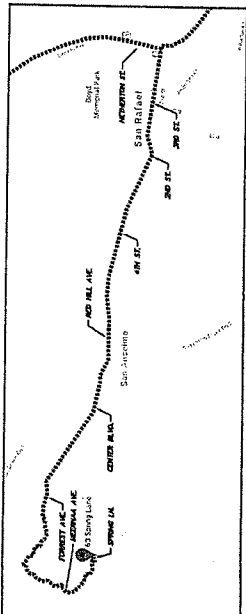
**CONSTRUCTION MANAGEMENT PLAN: PHASE 1**



**CONSTRUCTION MANAGEMENT PLAN: PHASE 2**



**CARPOOL PARKING**



**CONSTRUCTION TRAFFIC AND TRUCK ROUTE**

**CONTACT INFORMATION**

GENERAL CONTRACTOR: TO BE DETERMINED  
 ARCHITECT: TO BE DETERMINED  
 ENGINEER: TO BE DETERMINED

**PROJECT SCHEDULE**

CONSTRUCTION PHASE	START	END
UTILIZATION/EXISTING CONTROL	TBD	TBD
SITE DEMOLITION	TBD	TBD
ROUGH GRADING	TBD	TBD
BUILDING FOUNDATION	TBD	TBD
LANDSCAPING	TBD	TBD
HOUSE FINAL	TBD	TBD

PHASE I - AFTER DRIVEWAY CONSTRUCTION AND BEFORE HOME CONSTRUCTION  
 PHASE II - DURING HOME CONSTRUCTION

**CONSTRUCTION MANAGEMENT NOTES**

1. SOBERING PLAN STRATEGY AND CONSTRUCTION MANAGEMENT PLAN SHALL BE MAINTAINED AT ALL TIMES. THE LOCATION OF ALL CONSTRUCTION EQUIPMENT AND MATERIALS WILL BE CONTAINED WITHIN THE PROJECT SITE IMMEDIATELY ADJACENT TO THE CURB OF ANY DRIVEWAY OR SIDEWALK.
2. CONSTRUCTION SHALL BE UNDER THE DIRECT SUPERVISION OF THE PROJECT GEOTECHNICAL ENGINEER.
3. THIS PLAN SHALL BE A MINIMUM REQUIREMENT. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.
4. THE PROJECT OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF SAN JOSE AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.
5. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
6. TRUCKS AND EQUIPMENT SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. TRUCKS AND EQUIPMENT SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
7. DELIVERIES SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. DELIVERIES SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
8. ROAD CLOSURES SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. ROAD CLOSURES SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
9. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
10. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
11. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.
12. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY. CONSTRUCTION SHALL BE LIMITED TO 8 AM TO 5 PM MONDAY THROUGH FRIDAY.

REVISION	DATE	BY	CHKD

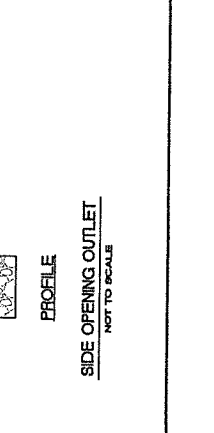
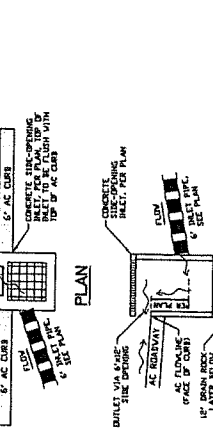
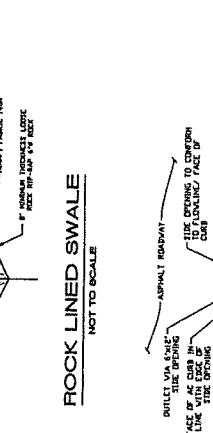
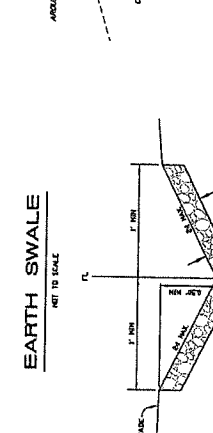
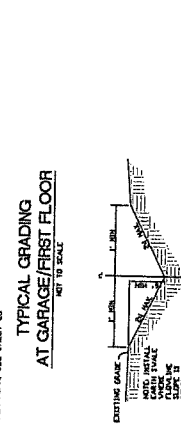
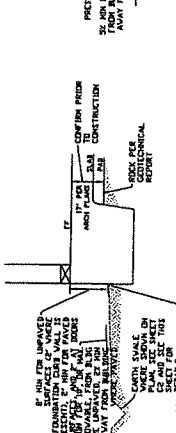
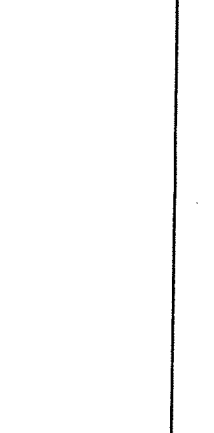
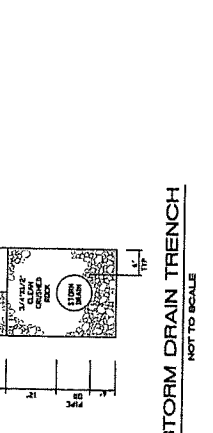
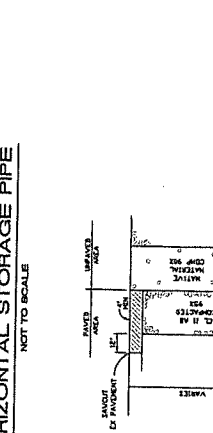
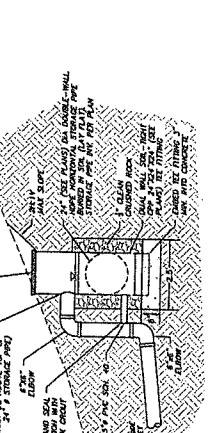
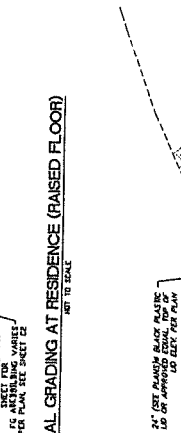
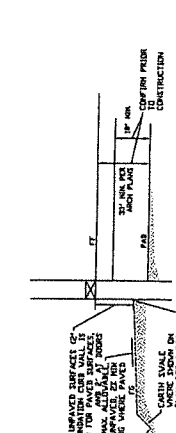
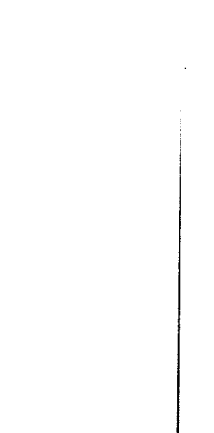
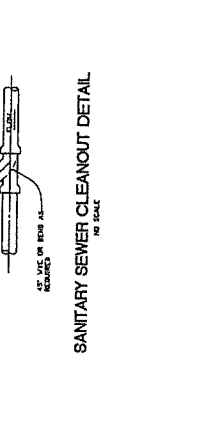
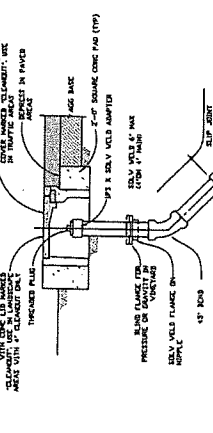
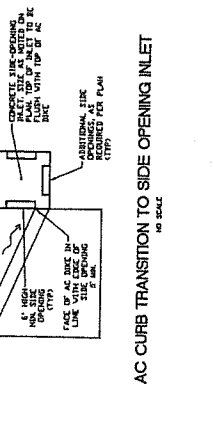
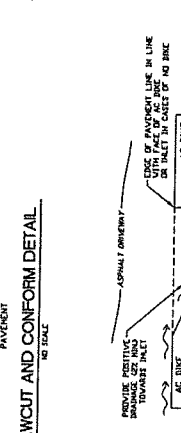
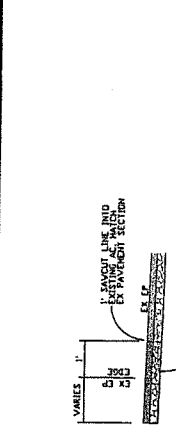
DGC GROUP INC.  
PLANNING + ENGINEERING + CM  
10000 BELLEVUE BLVD. SUITE 100  
REDMOND, WA 98073  
(206) 881-0088



DATE: 02-04-18  
DRAWN: JOHN HOOKER  
DATE: 02-04-18

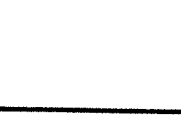
63 SPRING LANE  
DETAIL  
02-04-18  
PUNYA, CA

03  
8  
SHEETS



63 SPRING LANE  
DETAIL  
02-04-18  
PUNYA, CA

DATE: 02-04-18  
DRAWN: JOHN HOOKER  
DATE: 02-04-18



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DATE: 02-04-18

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DETAIL  
02-04-18  
PUNYA, CA

03  
8  
SHEETS

REVISION	DATE	BY	CHK

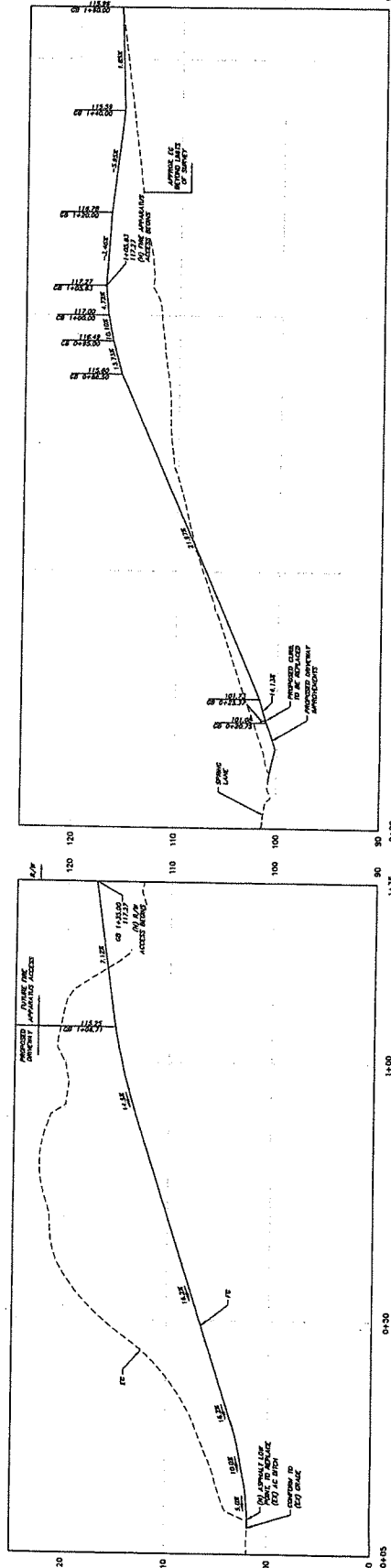
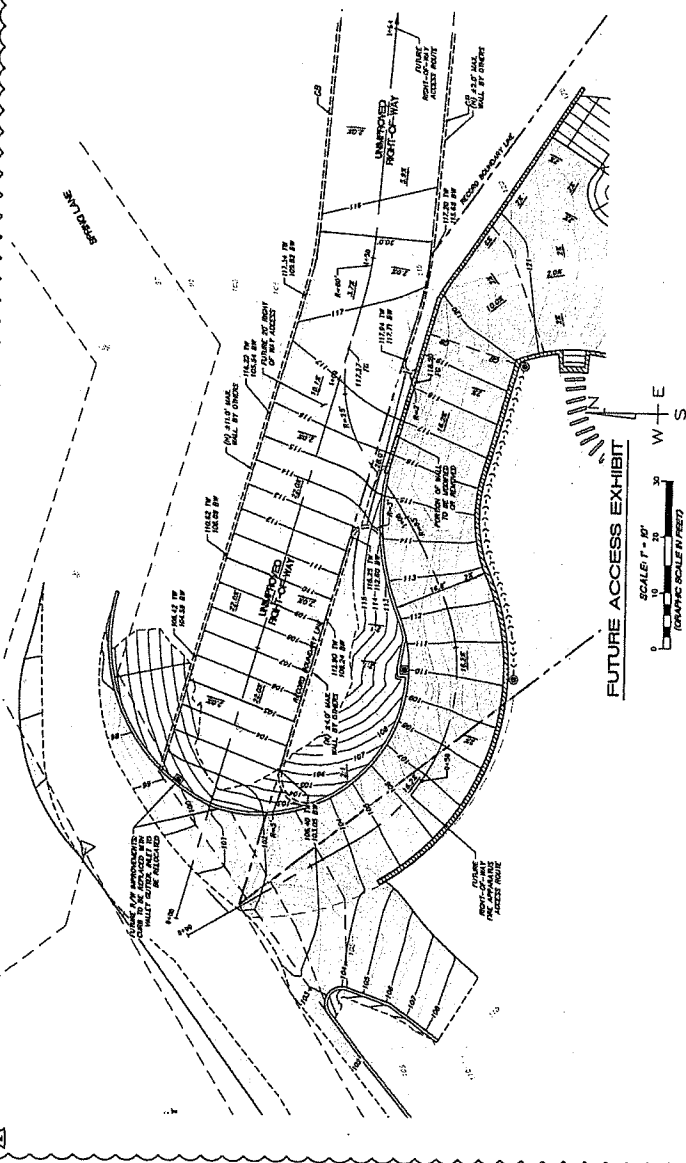
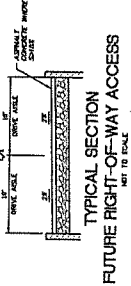
DVG GROUP INC.  
 PLANNING & ENGINEERING, C.A.  
 1500 CENTERS DRIVE  
 FARMERSVILLE, CA 94535  
 (707) 845-0048



DATE: 02/24/08  
 DRAWN: JOHN HUCKER-DUNN  
 JOB NO: 0000000000

63 SPRING LANE  
 FUTURE ACCESS EXHIBIT  
 63 SPRING LANE  
 PAPER, CA  
 02-24-08  
 JANUARY 23, 2011  
 JOB NO. 07-19  
 SHEET NO. C7

- LEGEND**
- PROPOSED ASPHALT PER ARCHITECTURAL PLANS
  - PROPOSED PERVIOUS PAVERS PER ARCHITECTURAL PLANS
  - PROPOSED CONCRETE PER ARCHITECTURAL PLANS
  - PROPOSED BUILDING PER ARCHITECTURAL PLANS
  - RETAINING WALL SEE DESIGN BY OTHERS
  - TREE TO BE SAVED
  - TREE TO BE REMOVED



FUTURE FIRE APPARATUS ACCESS PROFILE  
 1"=40' HORIZONTAL  
 1"=8' VERTICAL

FUTURE RIGHT OF WAY ACCESS PROFILE  
 1"=40' HORIZONTAL  
 1"=8' VERTICAL

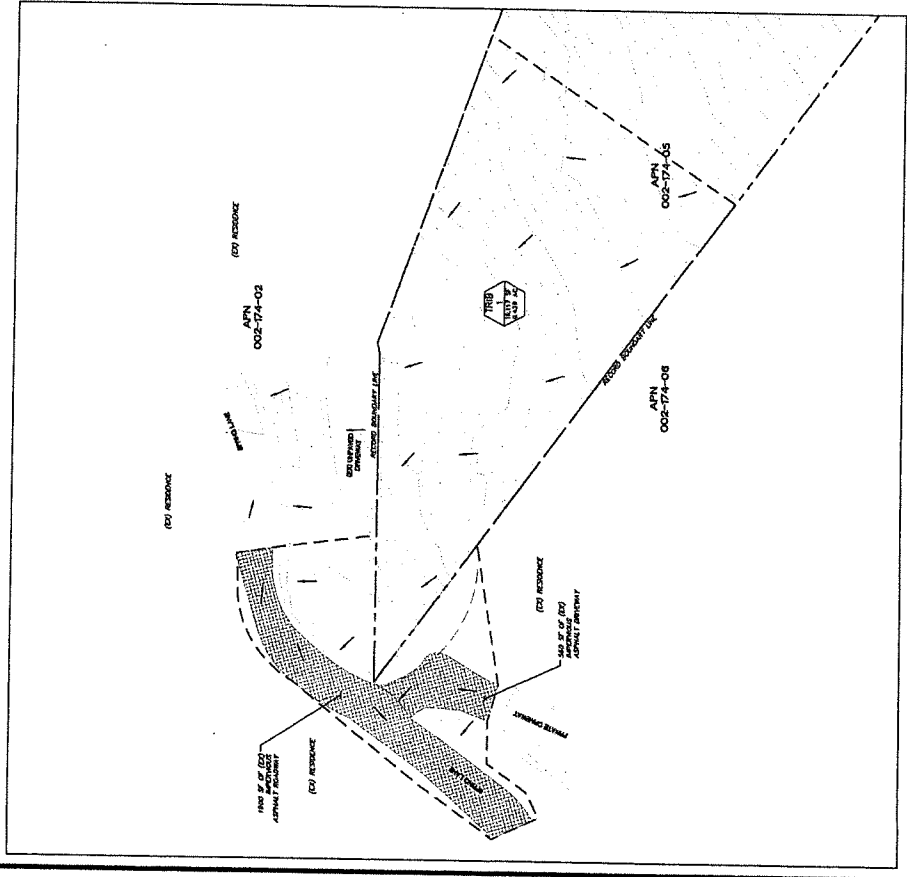
### DRAINAGE LEGEND

(---)	BOUNDARY
(---)	THRESHOLD (1.5')
(---)	EXISTING IMPERVIOUS AREA
(---)	EXISTING INTERVIOUS AREA
(---)	PROPOSED IMPERVIOUS AREAS
(---)	PROPOSED INTERVIOUS AREAS
(---)	THRESHOLD IS AREA OF
(---)	AREA, FC

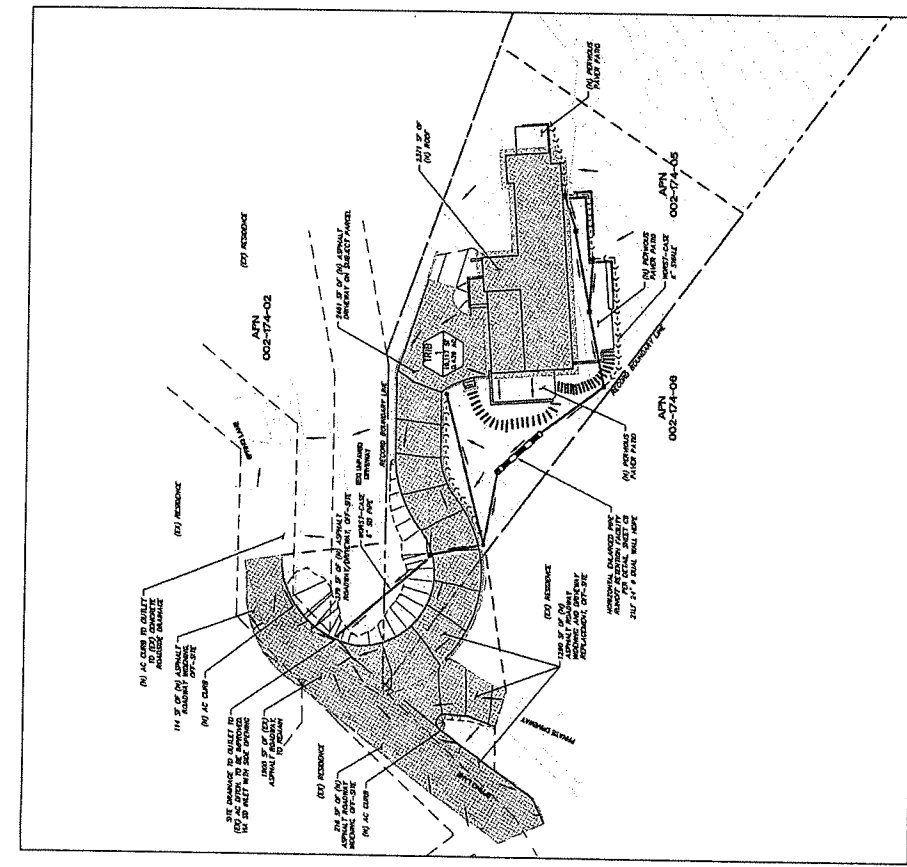
### PERMEABILITY CALCULATIONS

PRE- AND POST-CONSTRUCTION PERMEABILITY ANALYSIS

APN	PRE-CONSTRUCTION PERMEABILITY ANALYSIS	POST-CONSTRUCTION PERMEABILITY ANALYSIS
002-74-02	4.00 SF	4.00 SF
002-74-03	1.00 SF	1.00 SF
002-74-05	4.00 SF	4.00 SF
002-74-06	4.00 SF	4.00 SF
<b>TOTAL</b>	<b>13.00 SF</b>	<b>13.00 SF</b>



PRE-CONSTRUCTION HYDROLOGY MAP  
SCALE 1" = 20'  
GRAPHIC SCALE (IN FEET)



POST-CONSTRUCTION HYDROLOGY MAP  
SCALE 1" = 20'  
GRAPHIC SCALE (IN FEET)

**NRCS SOILS DATA**  
KENTON-AMARILLO COMPLEX, SB TO 14  
CERES & SUTHERLAND STS  
SAN JOSE, CA 95128