

FILE NAME: D:\Work\Projects\24 Shadow Creek\Plan\SC-A0-0.dwg • Plotted on: Wednesday, 19 May 2021 at 10:03pm by: ADMIN •

ABBREVIATIONS

AC. Air Conditioning	EQUIP. Equipment	KIT. Kitchen	S. South
ACOUS. Acoustical	EXIST. Existing	LAM. Laminate	SAFF. Self-Adhesive Flexible Flashing
AD. Area Drain	EXP. Expansion	LAV. Lavatory	SCD. See Civil Drawings
ADJ. Adjustable	EXT. Exterior	LD. Load	SD. Slop Drain Soap Dispenser/Dish
ADJAC. Adjacent	FA. Fire Alarm	LN. Linear	SCHED. Schedule
AGGR. Aggregate	FAU. Forced Air Unit	LT. Light	SECT. Section
ALT. Alternate	FB. Flat Bar	MACH. Machine	SEP. Separation
ALUM. Aluminum	FD. Floor Drain	MANT. Mantel	SH. Sprinkler Head
APPROX. Approximate	FE. Fire Extinguisher Cabinet	MAT. Material	SHT. Sheet
ARCH. Architectural	FHMS. Flat Head Machine Screw	MAX. Maximum	SHTG. Sheathing
ASPH. Asphalt	FHWS. Flat Head Wood Screw	MB. Machine Bolt	SM. Sinker
BD. Board	FIN. Finish	M.C. Medicine Cabinet	SL. Siding
BTUM. Bituminous	FXT. Fixture	MD.O. Medium Density Overlay	SCD. See Civil Drawings
BLDG. Building	FLR. Floor	MECH. Mechanical	SGD. See Garage Drawings
BLK. Block	FLASH. Flashing	MEMB. Membrane	S.LD. See Landscape Drawings
BLKG. Blocking	FLUOR. Fluorescent	MTL. Metal	SLTD. See Lighting Drawings
BM. Beam	F.O.C. Face of Concrete	MFR. Manufacturer	SMD. See Mechanical Drawings
B.O. Bottom of	F.O.F. Face of Finish	MIN. Minimum	SPD. See Plumbing Drawings
BOT. Bottom	F.O.P. Face of Plywood	MISC. Miscellaneous	SPEC. Specification or Special
B.P. Building Paper	F.O.S. Face of Stud	MTD. Mounted	SQ. Square
BTWN. Between	F.PRF. Fireproof	MUL. Mulch	SS. Stainless Steel
CB. Catch Basin	FR. Frame	NO. New	S.SD. See Structural Drawing
CEM. Cement	FT. Foot or Feet	N. North	STD. Standard
CER. Ceramic	FTG. Footing	NI. Not in Contract	STL. Steel
C.J. Control Joint	FR. Furring	NO. or #. Number	STOR. Storage
CLG. Ceiling	FUT. Future	NOM. Nominal	STR. Structural
CLKG. Caulking	G. Gas Outlet	NT.S. Not to Scale	SV. Sheet Vinyl
CLR. Clear	GA. Gauge	OA. Overall	SW. Shear Wall
CMU. Concrete Masonry Unit	GALV. Galvanized	O.C. On Center	SYM. Symmetrical
CNTR. Counter	GD. Garbage Disposal	OD. Outside Diameter (Dim)	SYS. System
C.O. Clean-Out	GEN. General	OPNG. Opening	T. Tread
COL. Column	GFI. Ground Fault Interrupt	OPP. Opposite	TB. Towel Bar
CONC. Concrete	GL. Glass	PERM. Perimeter	T.C. Top of Curb
COND. Condition	GND. Ground	PL. Plate	TEL. Telephone
CONN. Connection	GR. Grade	PLAM. Plastic Laminate	TEMP. Tempered
CONSTR. Construction	GSM. Galvanized Sheet Metal	PLAS. Plaster	T.B.G. Tongue & Groove
CONT. Continuous	GYP. Gypsum	PLYWD. Plywood	TER. Terrazzo
CONTR. Contractor	HB. Hose Bibb	PNL. Panel	THK. Thick
CLOS. Closet	HC. Hollow Core or	PNT. Paint	TME. To Match Existing
C.T. Ceramic Tile	HD. Handcapped	PSI. Per Square Inch	T.O.C. Top of Concrete
CTR. Center	HDB. Hardboard	P.T. Point	T.O.P. Top of Plate
CW. Cold Water	HDR. Header	P.T. Pressure Treated	T.O.PLY. Top of Plywood
DBL. Double	HDW. Hardware	P.TD. Painted	T.O.W. Top of Wall
DET. Detail	HDWD. Hardwood	P.T.D. Paper Towel Dispenser	TYP. Typical
D.F. Drinking Fountain	HGR. Hanger	PIN. Partition	U.B.C. Uniform Building Code
DA. Diameter	HGT. Height	PTR. Paper Towel Receptacle	UNEXC. Unexcavated
DM. Dimension	H.M. Hollow Metal	Q.T. Quarry Tile	UNF. Unfinished
DXP. Dispenser	HORZ. Horizontal	R. Riser	UON. Unless Otherwise Noted
DN. Down	HR. Hour	RA. Return Air	VAR. Varies
DR. Door	HRZ. Horizontal	RAD. Recessed	V.C.T. Vinyl Composition Tile
D.W. Dishwasher	HR. Header	REF. Reference	VEN. Veneer
DWG. Drawing	HWH. Hot Water Heater	REFL. Reflected	VERT. Vertical
DWR. Drawer	ID. Inside Diameter	REFR. Refrigerator	VEST. Vestibule
EA. Each	INSUL. Insulation	REG. Register	V.G.D.F. Vertical Grain Douglas Fir
E. Existing	INT. Interior	REIN. Reinforced	VIF. Verify in Field
E.J. Expansion Joint	INTER. Intermediate	REQ. Required	VOL. Volume
EL. Elevation	JAN. Janitor	RESL. Resilient	W. West
ELEC. Electrical	J.B. Junction Box	RET. Retaining	WC. Wall Covering
EMER. Emergency	JT. Joint	REV. Revision/Revised/Reversed	WD. Wood
ENCL. Enclosure		RM. Room	WH. Water Heater
E.O.S. Edge of Slab		R.O. Rough Opening	WP. Work Point or Waterproofing
EPB. Electrical Panel Board		RWD. Redwood	WPM. Waterproof Membrane
EQ. Equal			WSCT. Wainscot
			WT. Weight
			WR. Water Resistant
			WW. Welded Wire

SCOPE OF WORK

The project consists of:
 -The addition of an 844 s.f. Detached Accessory Dwelling Unit within all setbacks.
 -The addition of 148 s.f. for the main house at the main level as part of a kitchen remodel under and within an existing porch
 -Proposed changes to the site plan include:
 -A new pool with built in spa
 -A new garden
 -An expanded driveway for additional vehicles (previous)

THIS PROJECT FALLS UNDER THE WILDLAND URBAN INTERFACE REQUIREMENTS

THIS SCOPE OF WORK DOES NOT CONSTITUTE A SUBSTANTIAL REMODEL.

THIS PROJECT IS NOT NEAR A CREEK

THIS PROJECT IS NOT IN A FLOOD ZONE

THE HOME CURRENTLY HAS A FIRE SPRINKLER SYSTEM. THE A.D.U WILL HAVE A FIRE SPRINKLER SYSTEM

DRAWING INDEX

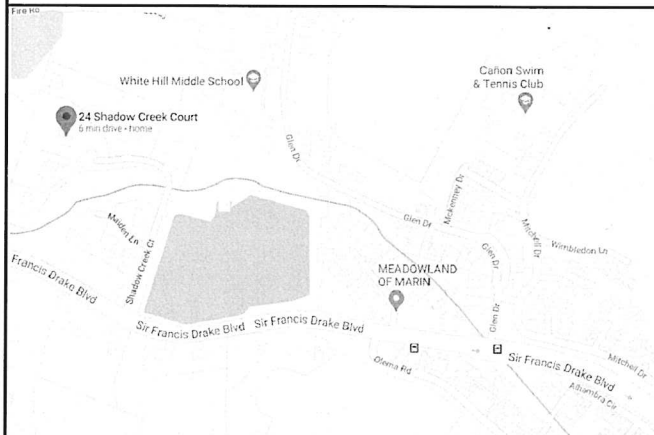
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A00	COVER SHEET, GENERAL NOTES AND ABBREV. / DWG INDEX	
C-1	EXISTING SITE SURVEY	
A01	AREA DIAGRAMS / PLANNING INFORMATION	
A11	SITEPLAN - ARCHITECTURAL	
A12	SITEPLAN - REFERENCE PHOTOS	
A21	MAIN HOUSE EXISTING MAIN LEVEL PLAN	
A22	MAIN HOUSE PROPOSED MAIN LEVEL PLAN	
A23	ADU FLOOR PLAN, ROOF PLAN	
A31	BUILDING ELEVATIONS - MAIN HOUSE	
A32	BUILDING ELEVATIONS - ADU	
A33	BUILDING SECTION ADU / MATERIALS BOARD	
LANDSCAPE		
L1	Site Plan	
L2	Site Character Details	
L3	Planting Plan	

PROJECT STATISTICS

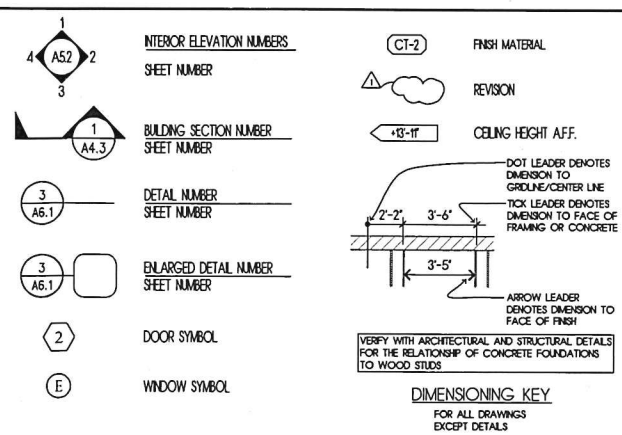
Basic Statistics		
Project Location	24 Shadow Creek Ct.	
Year Built	1996	
Permitted Use	PDD	NO CHANGE
Parcel No.	400	
Lot Size (SF)	1.09 acres	47,334
Zoned:	RS 7.5	
Sloped Site over 10%	Yes	
Allowable F.A.R. %	40%	
Allowable F.A.R. SF	18,934	
Lot Coverage Allowed	35%	16,567
Parking Requirement*	4 (2 covered)	
Parking Provided	4+ (3 covered)	
Setbacks - Front	6'	
Setbacks - Rear	15'	
Setbacks - Sides	10'	
Setbacks - Front/Rear Comb.	40'	
Setbacks - Sides Combined	25'	
Setbacks for ADU	Side 4', Front 10', Rear 4'	
Building Height (28.5' allowed)	28' existing	NO CHANGE
Building Height ADU (16' allowed)	17' proposed	See Sections
Type/Occupancy	Type V non-rated R-3	

*For ADU, not required if public transportation is provide within .5 miles

VICINITY PLAN

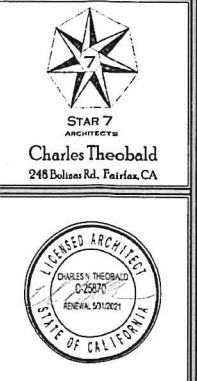


SYMBOLS



PROJECT DIRECTORY

OWNER/CLIENT: Chase and Alex Halberg 24 Shadow Creek Ct. Fairfax, CA	Tel (707) 217-8924 e: chase.licht@gmail.com
ARCHITECT: Star 7 Architects Charles Theobald 248 Bolinas Rd. Fairfax, CA 94930	Tel (415) 637-7428 e: charles@star7arch.com
LANDSCAPE ARCHITECT: Michael Yande 13 Ross Commons Ross, CA 94957	Tel (415) 464-0763 e: info@myande.com
CIVIL ENGINEER: Larry Doyle 100 Helens Ln Mill Valley, CA 94941	Tel (415) 388-9585



24 Shadow Creek Ct.
Fairfax, CA
 APN# 174-210-03

DATE	ISSUE

COVER SHEET
A0.0
 MAY 18, 2021

A.P. 174-070-31

A.P. 174-210-04

- LEGEND**
- TREE (AS INDICATED)
 - TOP OF WALL ELEVATION
 - CONCRETE
 - GRADE BREAK
 - WIRE FENCE
 - WOOD FENCE
 - EDGE OF PAVEMENT
 - SURVEY CONTROL POINT
 - JOINT POLE
 - CONCRETE WALL
 - ROCK WALL
 - ROCK BORDER
 - ELECTRIC / GAS METER
 - OVERHEAD LINES

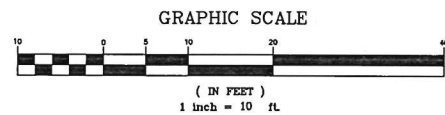
- NOTES**
1. ONLY SIGNIFICANT TREES SHOWN
 2. LOT MAY BE SUBJECT TO EASEMENTS NOT SHOWN
 3. DATUM IS PER MARIN GIS MAPPING
 4. BASIS OF BEARING AND BOUNDARY IS PER 21 R.M. 38
 5. BUILDING ENVELOPE PER 21 R.M. 38 NOT SHOWN



A.P. 174-060-06

A.P. 174-210-05

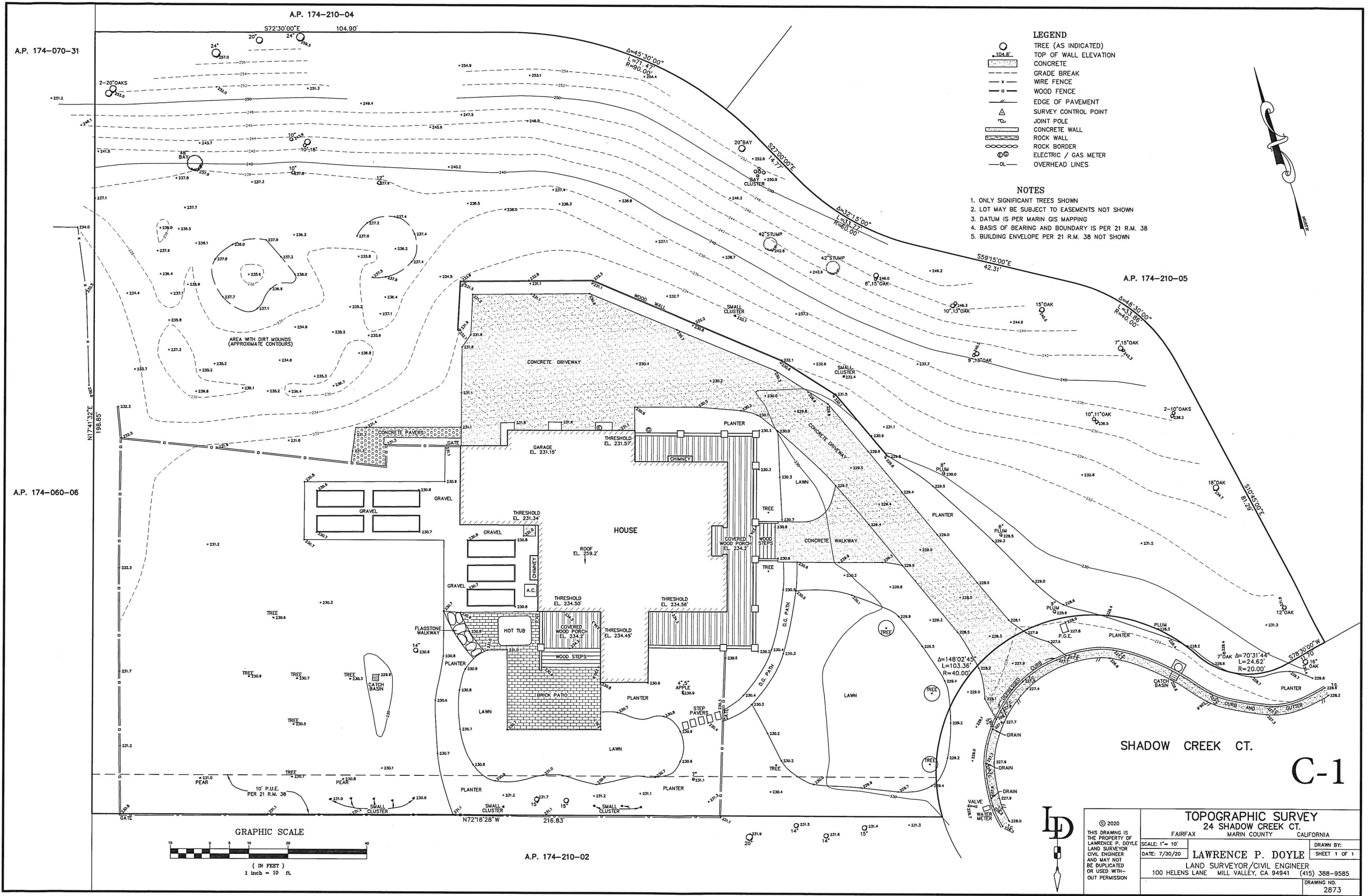
A.P. 174-210-02



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SCALE: 1"= 10' DATE: 7/30/20	DRAWN BY: SHEET 1 OF 1 LAWRENCE P. DOYLE LAND SURVEYOR/CIVIL ENGINEER 100 HELENS LANE MILL VALLEY, CA 94941 (415) 388-9585	DRAWING NO. 2873

C-1

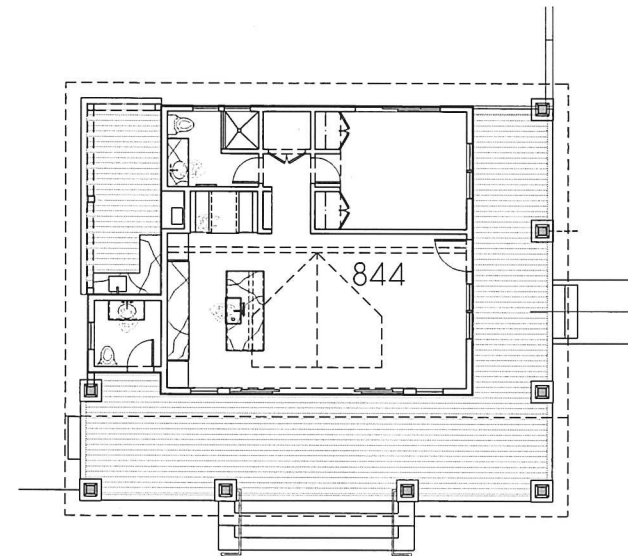
SHADOW CREEK CT.



DATE	ISSUE

Town of Fairfax Accessory Dwelling Unit (ADU) Standards

STANDARDS	
Zones allowed	All residential and mixed-use zones with limited exceptions
Min / Max ADU size	Minimum: 150 square feet Maximum: 850 square feet for studio/one bedroom 1000 square feet for more than one bedroom
Minimum lot size	None
Lot or location restrictions	Lot Coverage: can be considered if ADU is more than 800 square feet Restrictions: No closer than 20 feet to top of streambank
ADU building height	Up to 16 feet and one story or detached. No greater than height of primary residence if attached.
Setbacks	None for conversions of existing living area or structure. 4-foot side and rear setbacks for new construction per State law and 10-foot front setbacks. Side and rear setbacks must meet fire safety requirements.
Parking requirements	One parking space per ADU (unless 1) within 1/2 mile of transit, historic district or car share, or 2) created by converting or demolishing garage or carport, then none required. Tandem parking and parking in setbacks are both allowed.
Deed or Income restrictions	None
Amount of ADUs/Bedrooms	One ADU and one JADU allowed on each single-family property. Also allowed on multifamily properties under state law. Maximum of 2 bedrooms.
Owner occupancy	Not required for ADU or primary residence. Required for JADU. • Exterior Lighting: night sky compliant, shielded and 2 lumens max • Fire Sprinklers: Needed if required for primary residence • Floor Area Ratio (FAR): 40 FAR if ADU more than 800 sf • Materials and Design: same as the primary dwelling unit • Protected Trees: 2:1 replacement with 36-inch box trees • Windows: Second-story windows facing side and rear of property must have minimum plate height of 6 feet above floor height unless set back more than 30 feet from property line.
Other requirements	
Process	Complete applications reviewed by City within 60 days per State law. ADUs not defined in State Code, such as ADUs above a garage require Design Review Approval.
Exceptions	None
Contact information	Ben Berio, bberio@townoffairfax.org
Website Link	TBD
ADU Ordinance Link	http://zipcode.us/codes/milvalley/view.php?topic=20-20-90&frames=on



ADU FLOOR PLAN
for reference

Project Statistics 5/12/2021

Basic Statistics		
Project Location	24 Shadow Creek Ct.	
Year Built	1966	
Permitted Use	PDO	NO CHANGE
Parcel No.	400	
Lot Size (SF)	47,334	
Zoned	RS 7.5	
Unimproved Site over 10%	33%	
Allowable F & R %	49%	
Maximum F & R SF	18,184	
Lot Coverage Allowed	35%	
Lot Coverage	16,597	
Parking Requirements*	4 (2 covered)	
Parking Provided	4 (2 covered)	
Setbacks - Front	0'	
Setbacks - Rear	10'	
Setbacks - Sides	10'	
Setbacks - Front/Rear Courts	0'	
Setbacks - Sides Combined	20'	
Setbacks for ADU	Side 4'	Front 10' Rear 4'
Building Height (28' allowed)	28' existing	NO CHANGE
Building Height ADU (16' allowed)	17' proposed	See Sections
Type/Occupancy	Type V Residential R-3	

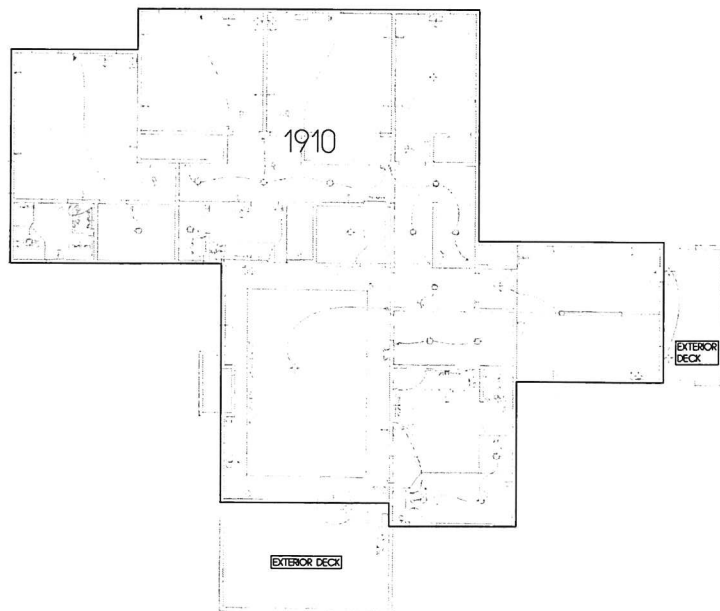
*For ADU not required if public transportation is provided within 5 miles

F.A.R. Calculations for addition	Area	Existing	Proposed	Added	Removed
Main Floor	1779	1779	148	0	0
Change over 500 sf	316	316	0	0	0
Upper Floor	1500	1500	0	0	0
Total	4005	4005	148	0	0
F.A.R.	8.5%	8.5%	0.3%	0	0

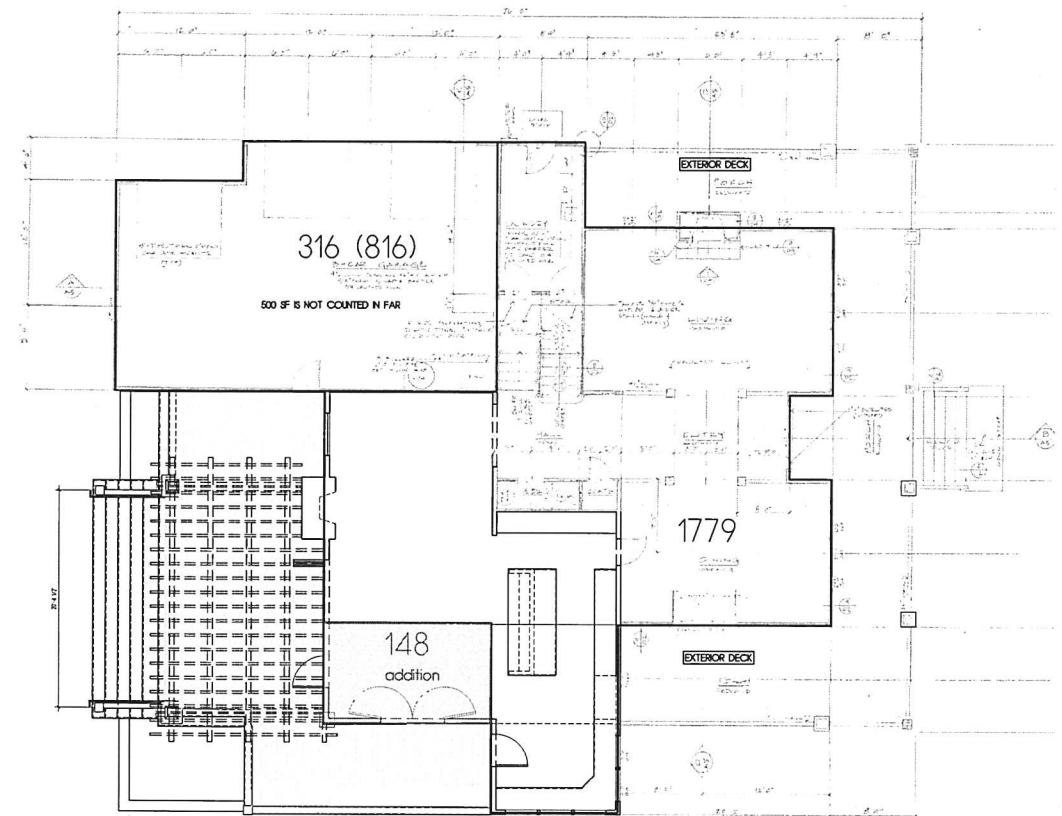
* From Assessor
**ADU of 844 sf not included

4 AREA CALCULATIONS
A0.1 N.T.S.

3 Town Requirements
A0.1 N.T.S.



UPPER FLOOR PLAN



MAIN FLOOR PLAN

1 MAIN HOUSE FLOOR PLANS - AREA DIAGRAMS - PROPOSED
A0.1 1/8" = 1'-0"

1/17/2021 FLOOR AREA EXCEPTION PROCESS.
An exception to the maximum floor area requirement may be granted to convert or remove nonconforming uses with the floor area of accessory or existing structures. It shall be the responsibility of the applicant to provide a plan showing the proposed floor area and the proposed use of the structure. The applicant shall provide a plan showing the proposed use of the structure. The applicant shall provide a plan showing the proposed use of the structure. The applicant shall provide a plan showing the proposed use of the structure.



24 Shadow Creek Ct.
174-210-03

Land Use Pl.	44,334
Construction Year	1966
Living Area Sq. Ft.	3,463
Number of Bedrooms	5
Number of Bathrooms	5.5
Garage Sq. Ft.	615

3609+316+4005/47334= 8.5%

10 Shadow Creek Ct.
174-210-03

Land Use Pl.	44,400
Construction Year	1966
Living Area Sq. Ft.	4,000
Number of Bedrooms	4
Number of Bathrooms	4
Garage Sq. Ft.	815

4056+316+4005/47334= 9.1%

12 Shadow Creek Ct.
174-210-03

Land Use Pl.	27,000
Construction Year	1967
Living Area Sq. Ft.	3,100
Number of Bedrooms	5
Number of Bathrooms	5
Garage Sq. Ft.	615

3609+316+4005/27000= 14.7%

18 Shadow Creek Ct.
174-210-03

Land Use Pl.	24,600
Construction Year	1967
Living Area Sq. Ft.	2,700
Number of Bedrooms	4
Number of Bathrooms	4
Garage Sq. Ft.	724

2717+204+3921/27000= 18.2%

26 Shadow Creek Ct.
174-210-03

Land Use Pl.	27,000
Construction Year	1966
Living Area Sq. Ft.	1,900
Number of Bedrooms	4
Number of Bathrooms	4
Garage Sq. Ft.	610

3001+332+333/27000= 12.1%

32 Shadow Creek Ct.
174-210-03

Land Use Pl.	28,000
Construction Year	1966
Living Area Sq. Ft.	2,300
Number of Bedrooms	3
Number of Bathrooms	3
Garage Sq. Ft.	720

2710+220+2130/27000= 12.7%

1 MARDEN LN
174-210-03

Land Use Pl.	9,400
Construction Year	1964
Living Area Sq. Ft.	2,100
Number of Bedrooms	4
Number of Bathrooms	2.5
Garage Sq. Ft.	615

3182/3427= 92.8%

2 MARDEN LN
174-210-03

Land Use Pl.	14,379
Construction Year	1964
Living Area Sq. Ft.	3,363
Number of Bedrooms	3
Number of Bathrooms	3
Garage Sq. Ft.	591

3043+20+337/14979= 2.0%

3 MARDEN LN
174-210-03

Land Use Pl.	10,739
Construction Year	1964
Living Area Sq. Ft.	2,433
Number of Bedrooms	3
Number of Bathrooms	2
Garage Sq. Ft.	576

2633+76+2700/11716= 23.1%

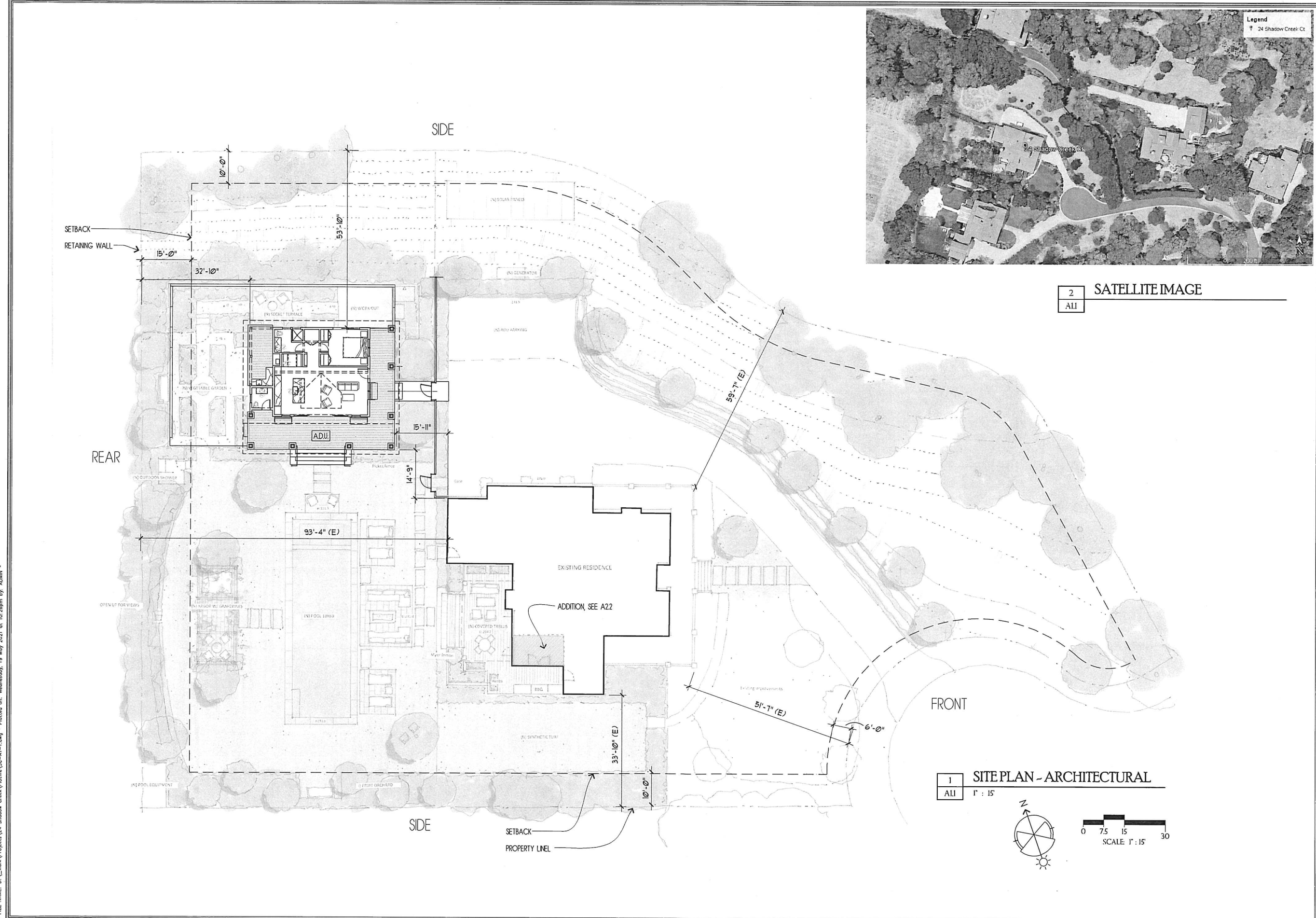
19 MARDEN LN
174-210-03

Land Use Pl.	18,337
Construction Year	1965
Living Area Sq. Ft.	3,793
Number of Bedrooms	4
Number of Bathrooms	2.5
Garage Sq. Ft.	510

2723+76+2799/16,227= 17.1%

2 BASIS FOR F.A.R. DENSITY
A0.1 N.T.S.

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STAR 7
ARCHITECTS
Charles Theobald
245 Dolson Rd, Fairfax, CA

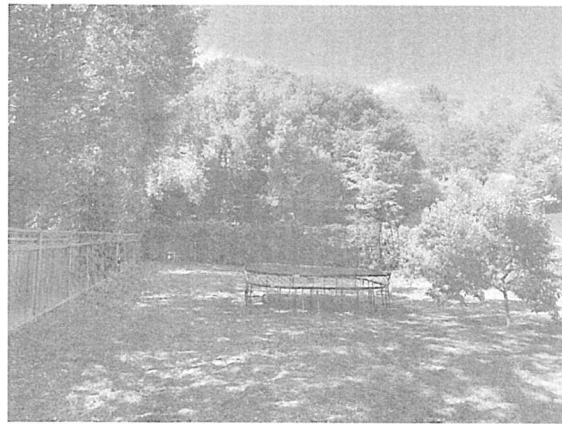


24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-03

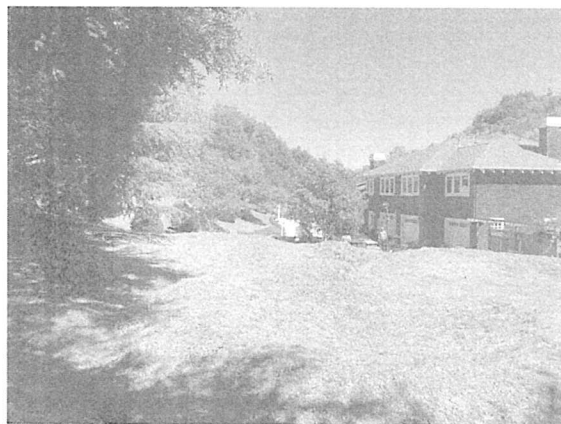
DATE	ISSUE

PROPOSED
SITEPLAN
A1.1
MAY 18, 2021

PLANNING SET



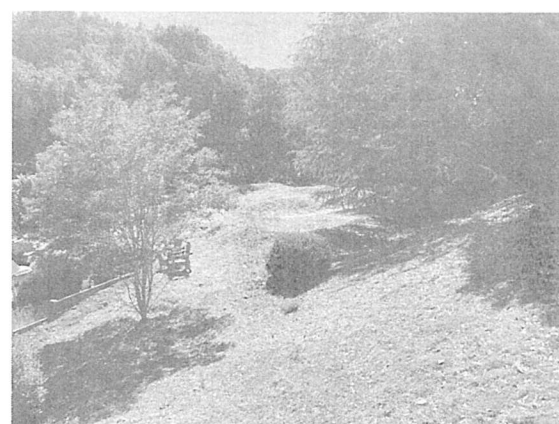
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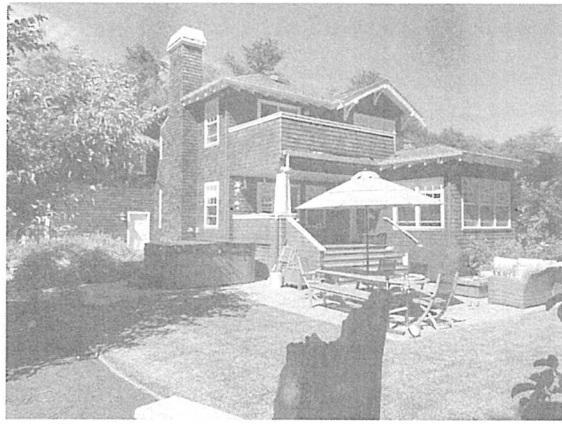
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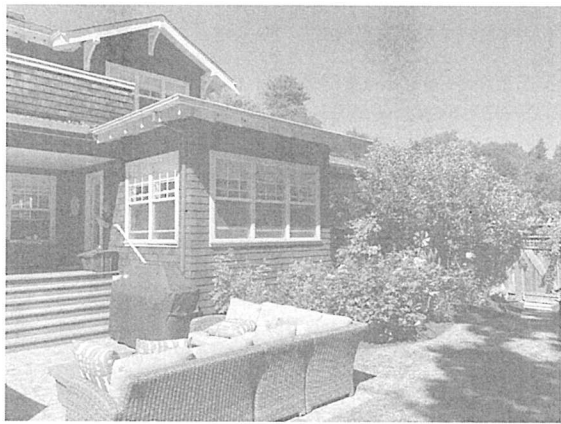
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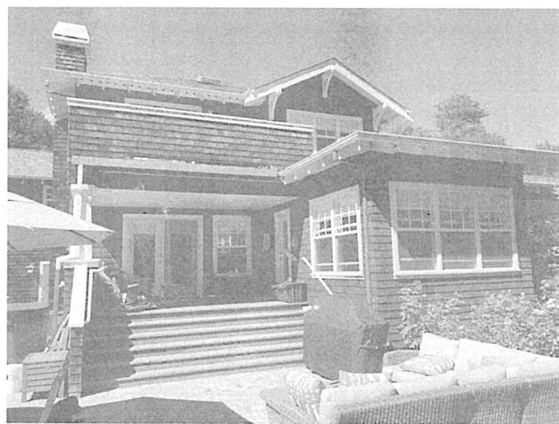
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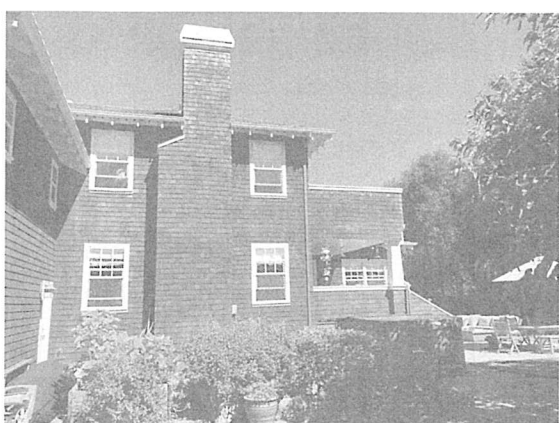
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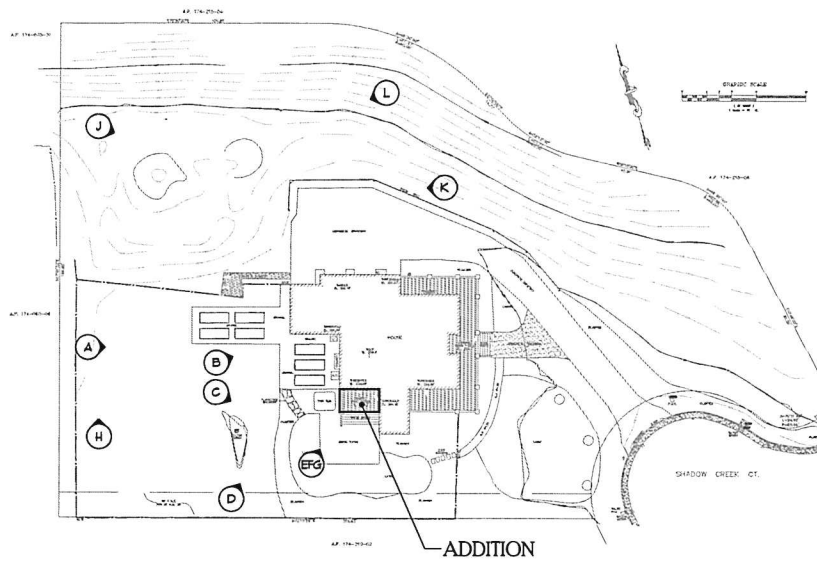
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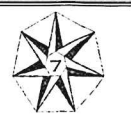


C



KEY

I	REFERENCE PHOTOS
A1.2	NTS



STAR 7
ARCHITECTS
Charles Theobald
248 Dolans Rd, Fairfax, CA



24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-03

DATE	ISSUE

REFERENCE PHOTOGRAPHS
A1.2
MAY 18, 2021



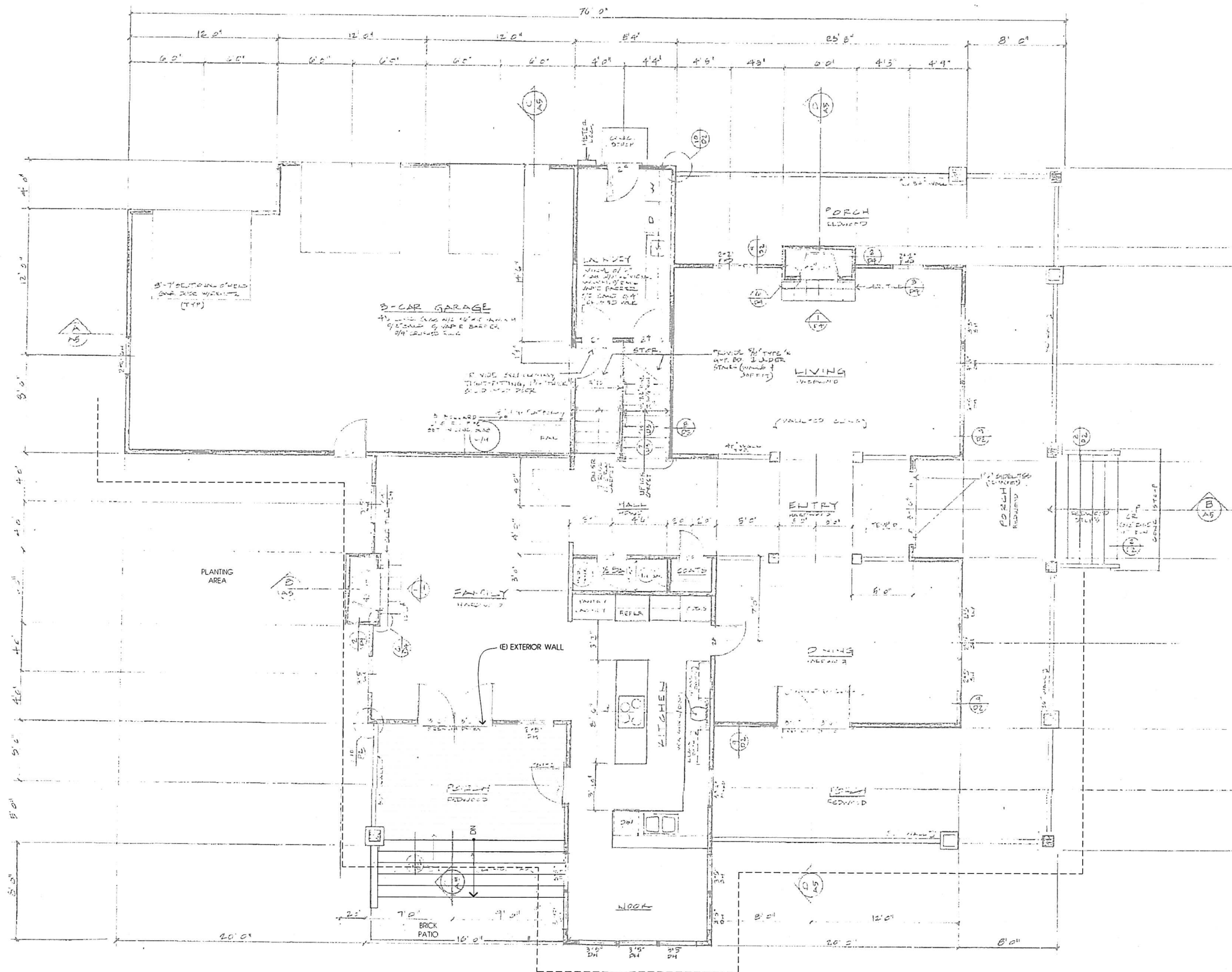
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Charles Theobald
246 Dolans Rd., Fairfax, CA



24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-05

DATE	ISSUE

MAIN HOUSE
ADDITION
A2.1
MAY 18, 2021



1 MAIN FLOOR PLAN - MAIN HOUSE - EXISTING
A2.1 1/4" = 1'-0"



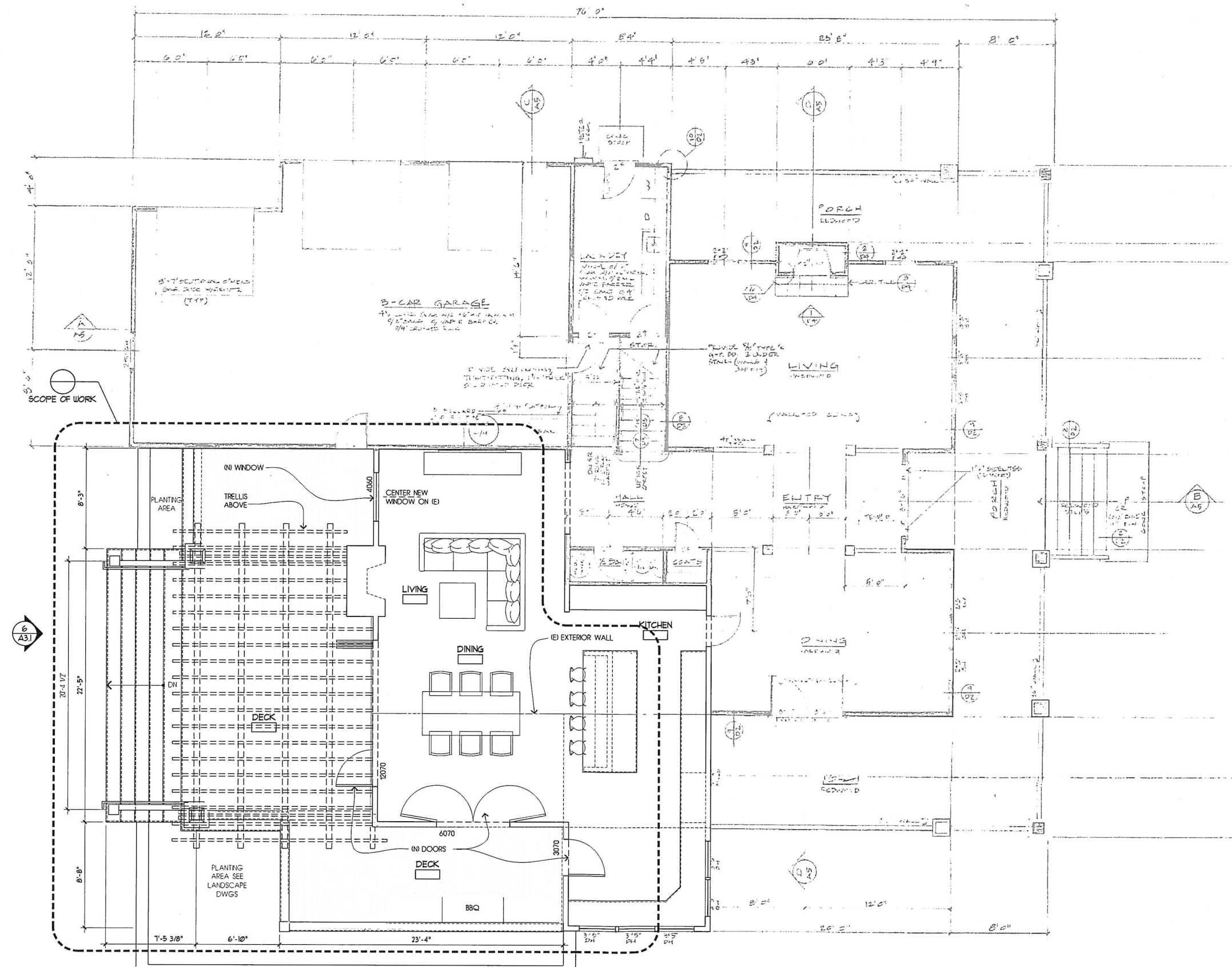
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Charles Theobald
248 Dolson Rd., Fairfax, CA



24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-03

DATE	ISSUE

MAIN HOUSE
ADDITION
A2.2
MAY 18, 2021



1 MAIN FLOOR PLAN - MAINHOUSE - PROPOSED
A2.2 1/4" = 1'-0"

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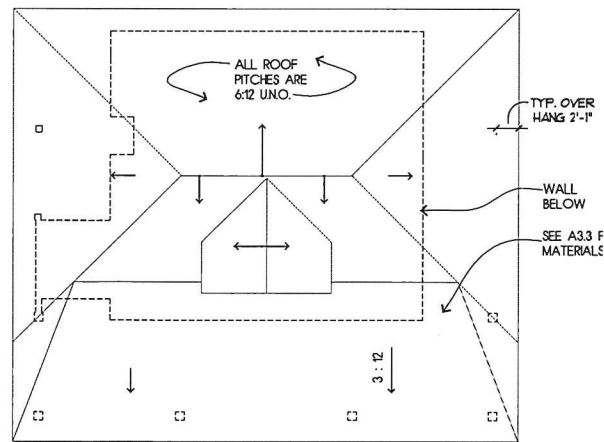
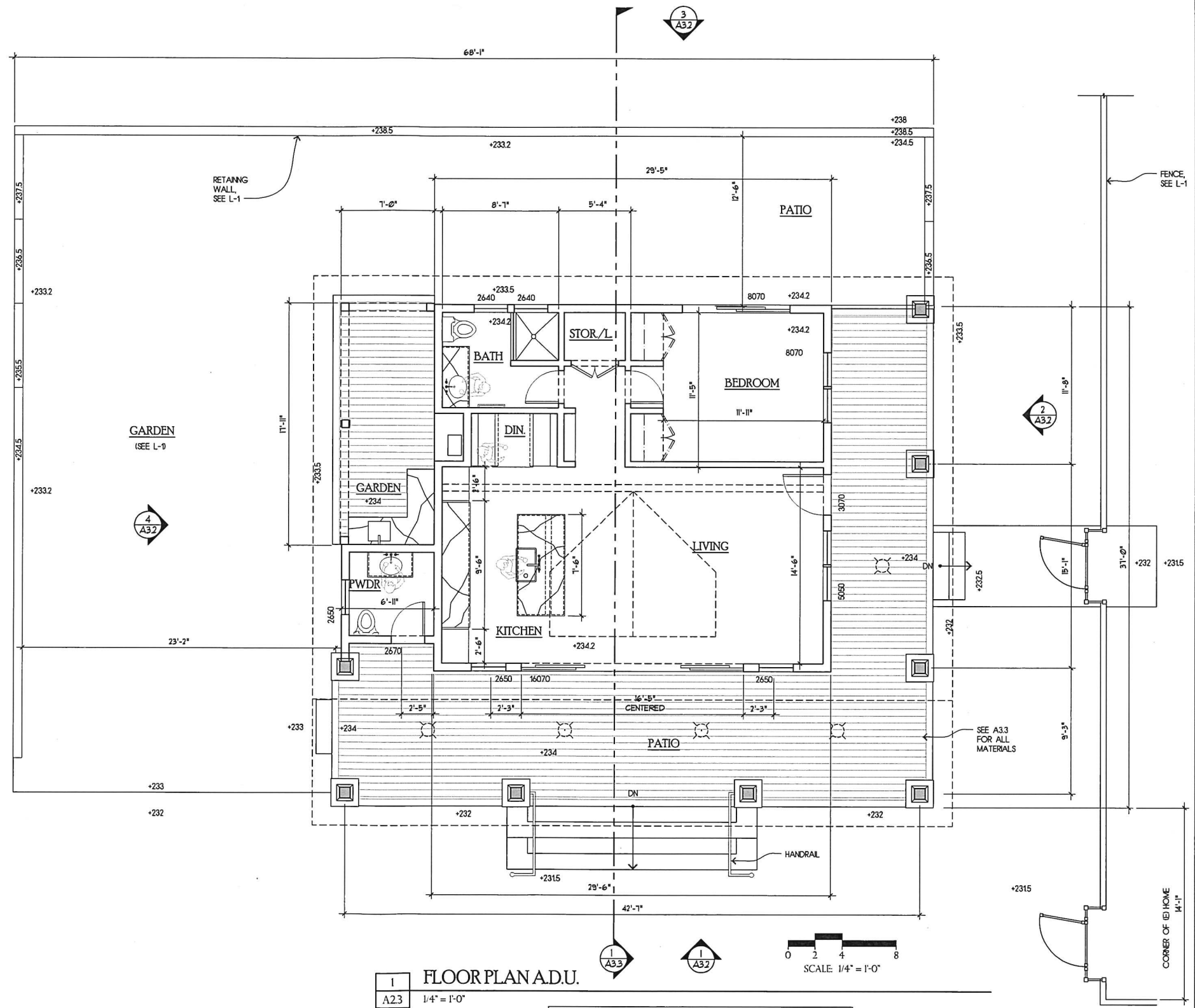
STAR 7 ARCHITECTS
Charles Theobald
245 Dallas Rd., Fairfax, CA



24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-03

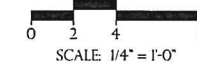
DATE	ISSUE

A.D.U.
FLOOR PLAN
A2.3
MAY 18, 2021



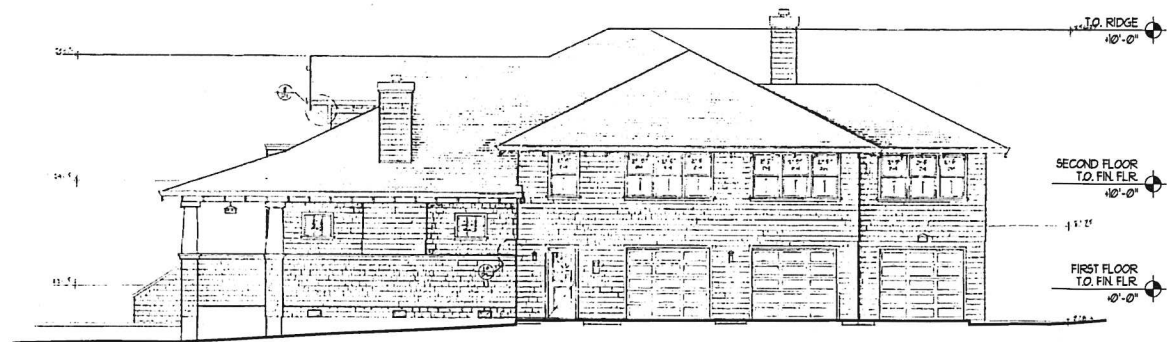
3 ROOF PLAN
A2.1 1/8" = 1'-0"

1 FLOOR PLAN A.D.U.
A2.3 1/4" = 1'-0"

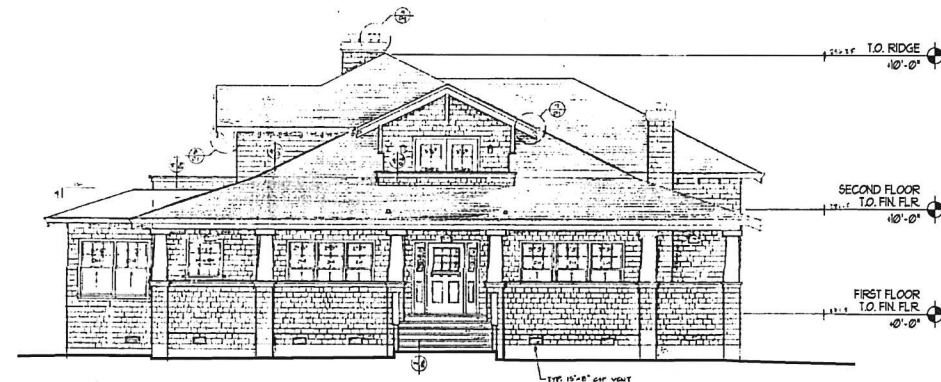


THIS STRUCTURE SHALL HAVE A FIRE SPRINKLER SYSTEM

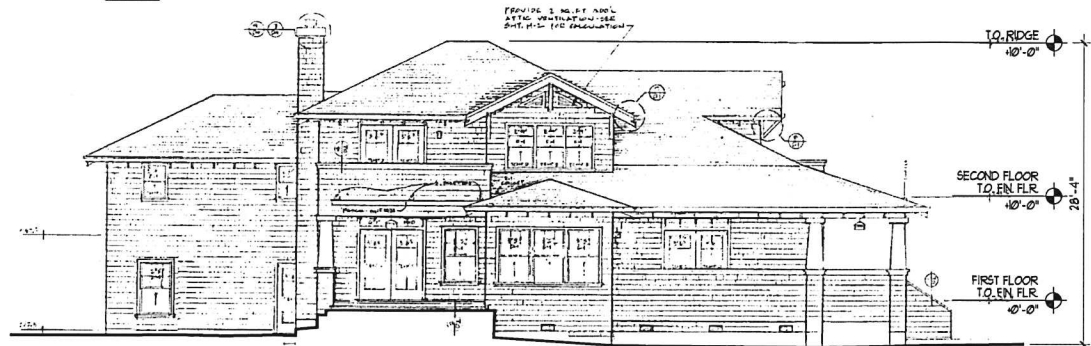
FILE NAME: D:\Work\Projects\24 Shadow Creek\Plan\A2-A2-3.dwg * Plotted on: Wednesday, 19 May 2021 at 10:18pm by: ADMIN *



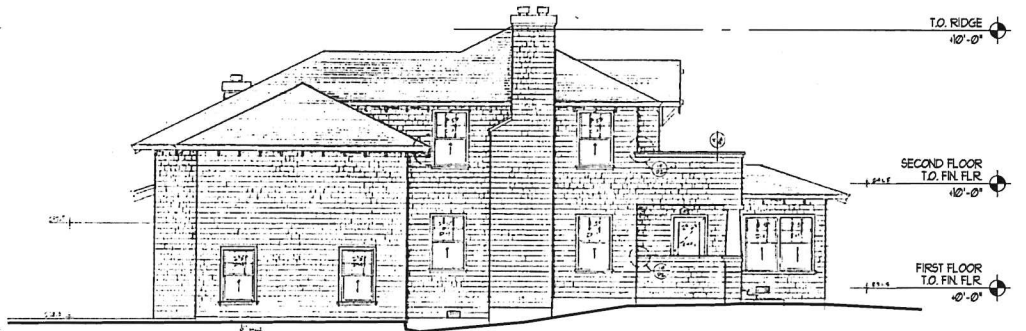
8 NORTH ELEVATION - EXISTING (SIDE)
A3.1 1/8" = 1'-0"



7 EAST ELEVATION - EXISTING (FRONT)
A3.1 1/8" = 1'-0"

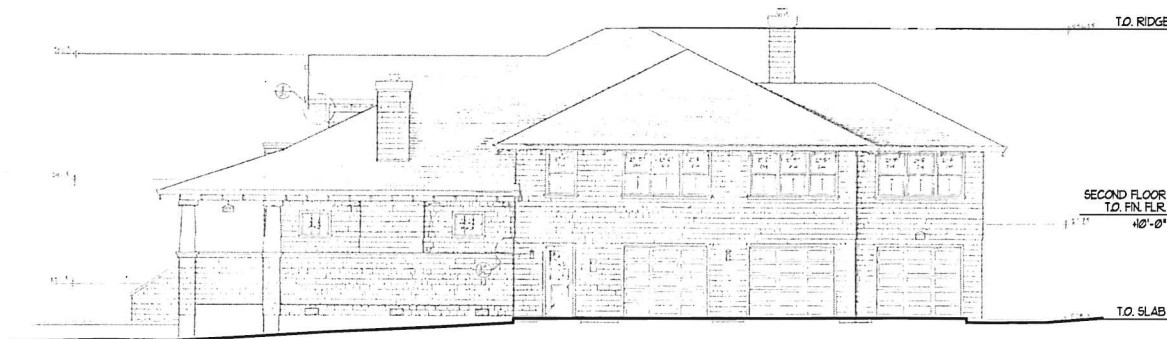


6 SOUTH ELEVATION - EXISTING (SIDE)
A3.1 1/8" = 1'-0"

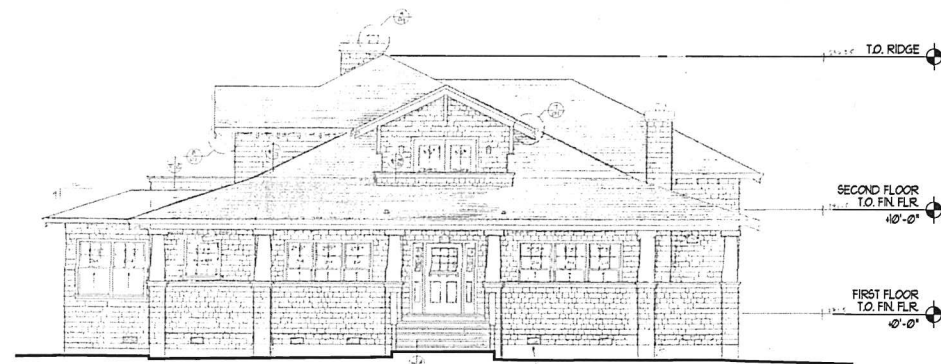


5 WEST ELEVATION - EXISTING (REAR)
A3.1 1/8" = 1'-0"

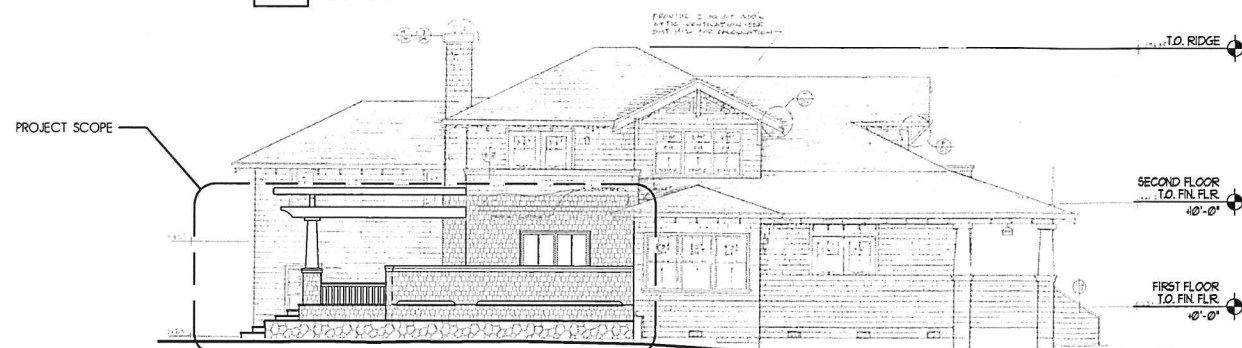
Existing



8 NORTH ELEVATION - PROPOSED (SIDE)
A3.1 1/8" = 1'-0"

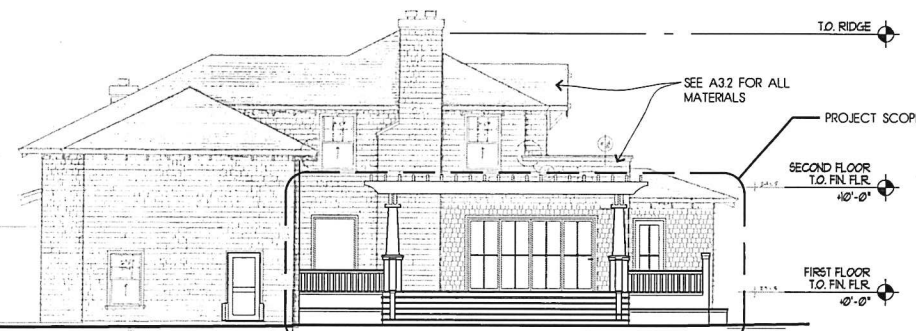


7 EAST ELEVATION - PROPOSED (FRONT)
A3.1 1/8" = 1'-0"



6 SOUTH ELEVATION - PROPOSED (SIDE)
A3.1 1/8" = 1'-0"

0'-0" = 2315'
SEE CIVIL DRAWINGS



5 WEST ELEVATION - PROPOSED (REAR)
A3.1 1/8" = 1'-0"

Proposed



STAR 7 ARCHITECTS
Charles Theobald
248 Dolans Rd., Fairfax, CA



24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-03

DATE	ISSUE

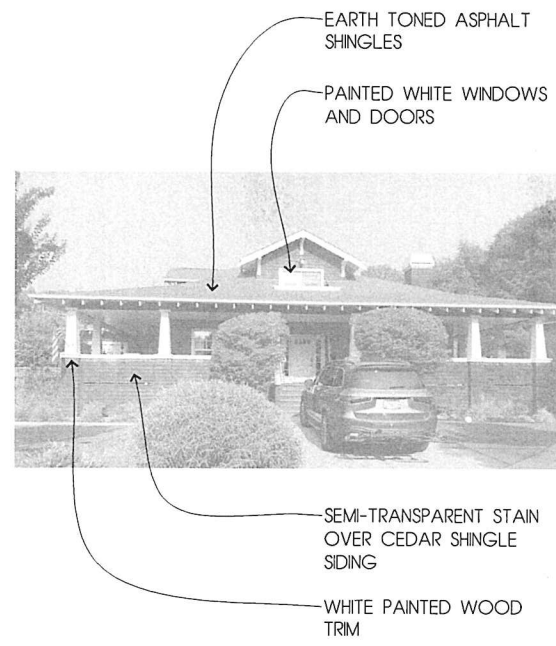
EXISTING/
PROPOSED ELEVS.
A3.1
MAY 18, 2021



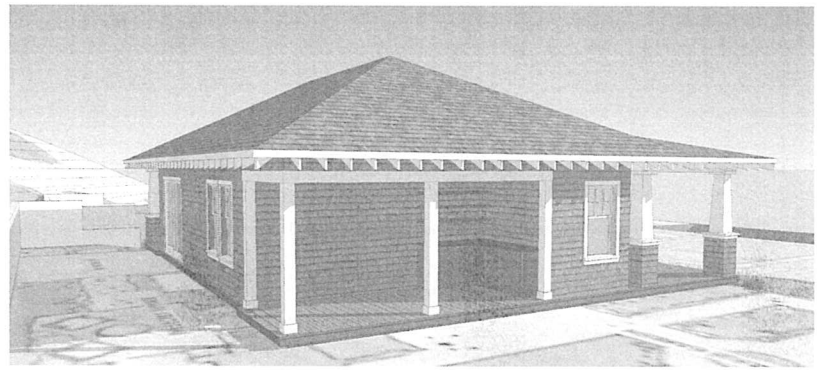
STAR 7
ARCHITECTS
Charles Theobald
246 Dolans Rd., Fairfax, CA



24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-03



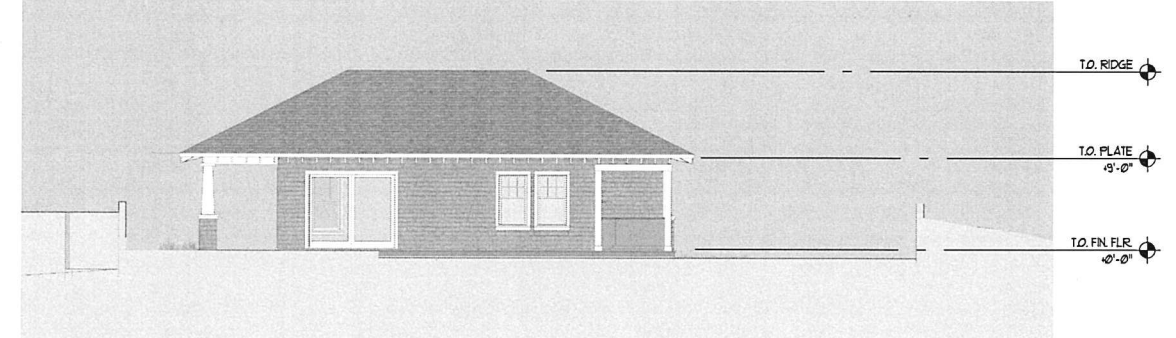
6 ADDITION AND ADU MATERIALS
A3.2 NO SCALE



5 A.D.U. PERSPECTIVES
A3.2 NO SCALE



4 A.D.U. ELEVATIONS - WEST
A3.2 1/8" = 1'-0"



3 A.D.U. ELEVATIONS - NORTH
A3.2 1/8" = 1'-0"



2 A.D.U. ELEVATIONS - EAST
A3.2 1/8" = 1'-0"

SEE A3.3 FOR MATERIALS INFORMATION



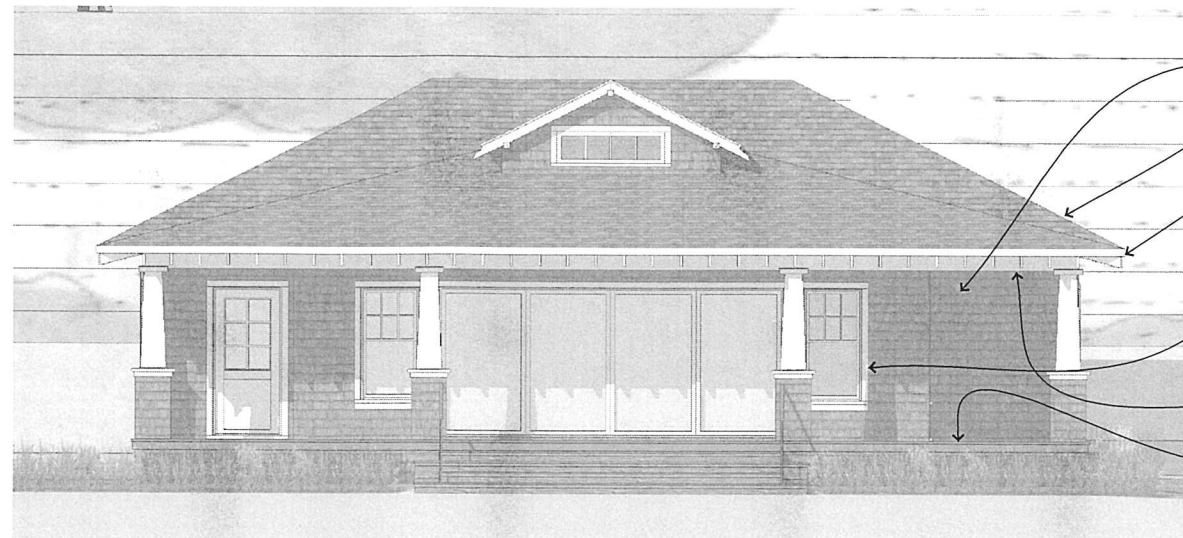
1 A.D.U. ELEVATIONS - SOUTH
A3.2 1/8" = 1'-0"

DATE	ISSUE

PROPOSED ELEVATIONS
A3.2
MAY 18, 2021



STAR 7
ARCHITECTS
Charles Theobald
948 Dolans Rd., Fairfax, CA



TYPICAL EXTERIOR SIDING:
CEDAR SHINGLES FINISH TO MATCH (E), OVER ONE LAYER
DENSELTD 5/8" TYPE X (PER ASTM C178) ON PLYWOOD SHEATHING
(SSD)

TYPICAL ROOFING:
40 YR ASPHALT/FLT COMP SHINGLE BY CERTANTEED, LANDMARK SERIES,
W/UVI NOTE: ASTM E888 Class A Fire Resistance is required.
COLOR: TO MATCH (E)

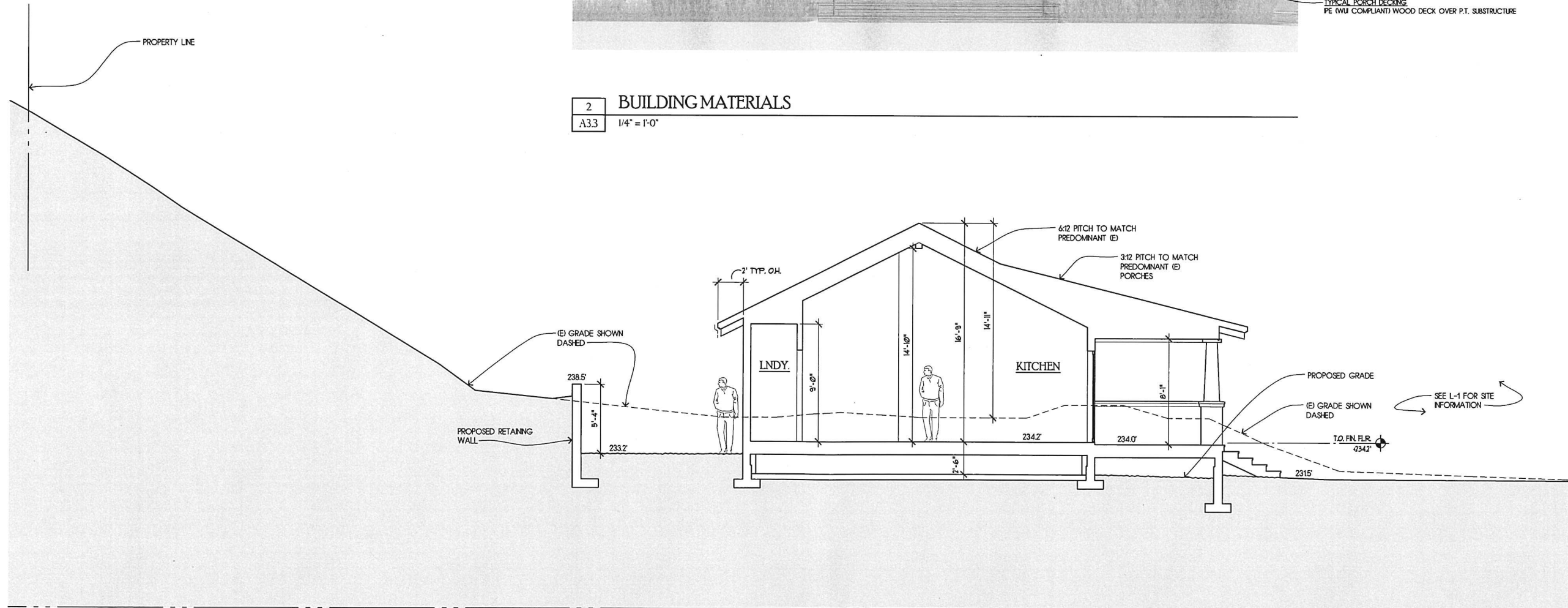
TYPICAL GUTTER AND DOWNSPOUT:
PAINTED ALUMINUM GUTTERS TO MATCH (E) PROVIDE ALL GUTTERS
WITH PROTECTION TO PREVENT THE ACCUMULATION OF LEAVES
AND DEBRIS (GUTTER GUARD BY MASTER SHIELD OR APPROVED EQ)
TYPICAL DOWNSPOUT: PAINTED ALUMINUM 2" X 3" DOWNSPOUTS,
TIE DOWNSPOUTS INTO (E) DRAINAGE SYSTEM.
PROVIDE CLEANOUTS WHERE DOWNSPOUT MEETS SUB DRAINAGE
SYSTEM.

TYPICAL WINDOW AND DOOR:
ALUMINUM CLAD WOOD WINDOWS, WHITE EXTERIOR (KOLBE &
KOLBE) OR APPROVED EQUAL, INTERIOR PAINT GRADE, W/UVI NOTE:
WINDOWS MUST BE INSULATED GLASS WITH A MINIMUM OF 1
TEMPERED PANE.

TYPICAL SOFFIT AT EAVES:
2" WOOD BEAD BOARD SMOOTH FACE PAINT GRADE TO MATCH
(E) EAVES, OVER 5/8" TYPE "X" DENSELTD TO MEET W/UVI

TYPICAL PORCH DECKING:
PE (W/UVI COMPLIANT) WOOD DECK OVER P.T. SUBSTRUCTURE

2 BUILDING MATERIALS
A3.3 1/4" = 1'-0"



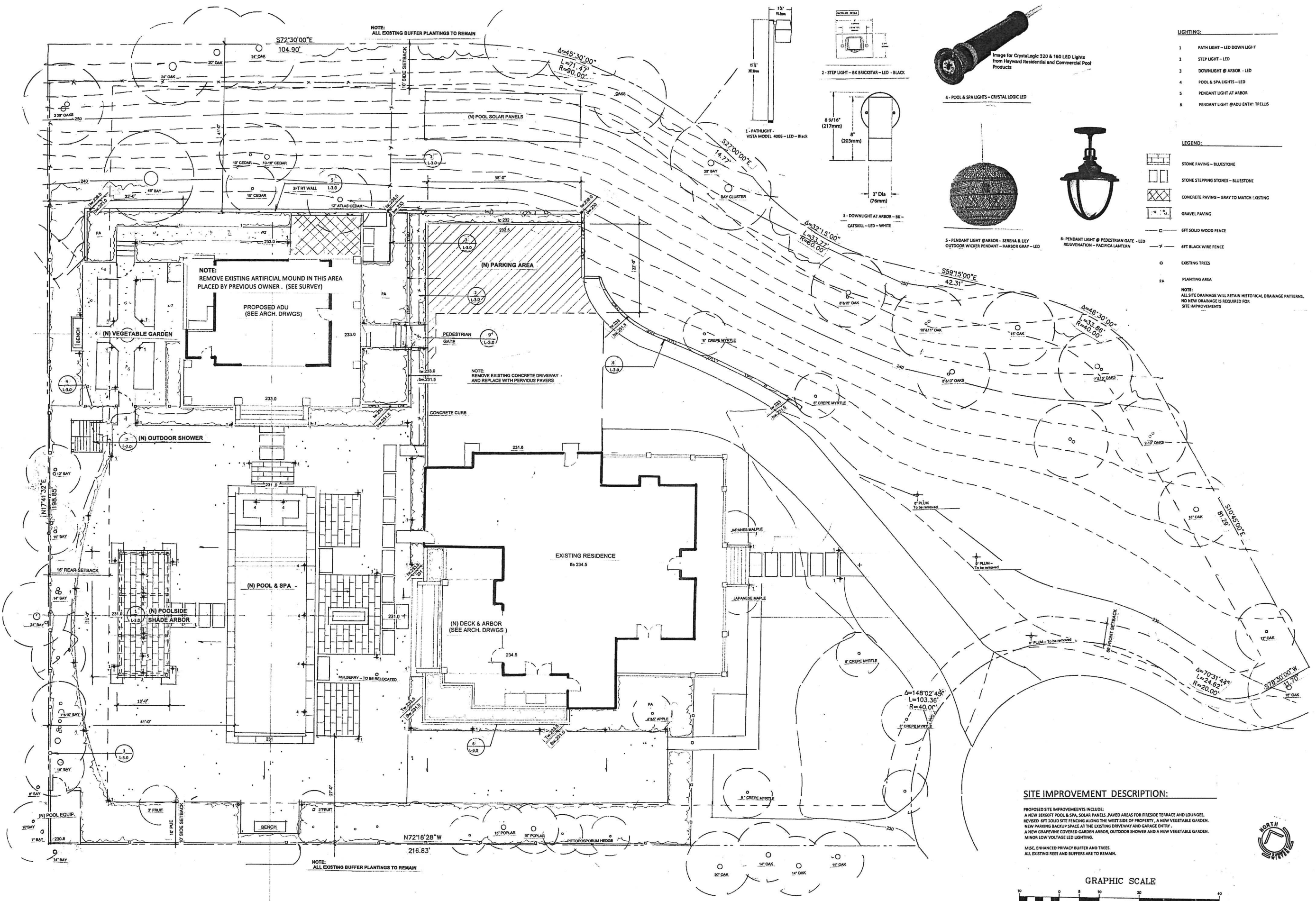
1 BUILDING SECTION
A3.3 1/4" = 1'-0"

24 Shadow Creek Ct.
Fairfax, CA
APN# 174-210-05

DATE	ISSUE

SECTION /
MATERIALS
A3.3
MAY 18, 2021

* FILE NAME: D:_Work\Projects\24 Shadow Creek\Profile\SC-A3-3.dwg * Plotted on: Wednesday, 19 May 2021 at 10:24pm by ADMIN *



- LIGHTING:**
1. PATH LIGHT - LED DOWN LIGHT
 2. STEP LIGHT - LED
 3. DOWNLIGHT @ ARBOR - LED
 4. POOL & SPA LIGHTS - LED
 5. PENDANT LIGHT @ ARBOR
 6. PENDANT LIGHT @ ADU ENTRY TRELLIS

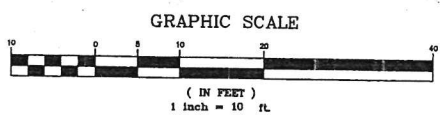
- LEGEND:**
- STONE PAVING - BLUESTONE
 - STONE STEPPING STONES - BLUESTONE
 - CONCRETE PAVING - GRAY TO MATCH EXISTING
 - GRAVEL PAVING
 - 6FT SOLID WOOD FENCE
 - 6FT BLACK WIRE FENCE
 - EXISTING TREES
 - PLANTING AREA

NOTE: ALL SITE DRAINAGE WILL RETAIN HISTORICAL DRAINAGE PATTERNS. NO NEW DRAINAGE IS REQUIRED FOR SITE IMPROVEMENTS.

SITE IMPROVEMENT DESCRIPTION:

PROPOSED SITE IMPROVEMENTS INCLUDE:
 A NEW LEDSIT POOL & SPA, SOLAR PANELS, PAVED AREAS FOR FRESIDE TERRACE AND LOUNGES.
 REVISED 6FT SOLID SITE FENCING ALONG THE WEST SIDE OF PROPERTY, A NEW VEGETABLE GARDEN.
 NEW PARKING BACKUP SPACE AT THE EXISTING DRIVEWAY AND GARAGE ENTRY.
 A NEW GRAPEVINE COVERED GARDEN ARBOR, OUTDOOR SHOWER AND A NEW VEGETABLE GARDEN.
 MINOR LOW VOLTAGE LED LIGHTING.

MISC. ENHANCED PRIVACY BUFFER AND TREES.
 ALL EXISTING REES AND BUFFERS ARE TO REMAIN.



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 Co. Lic# 3136
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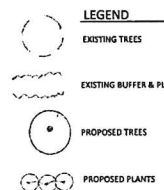
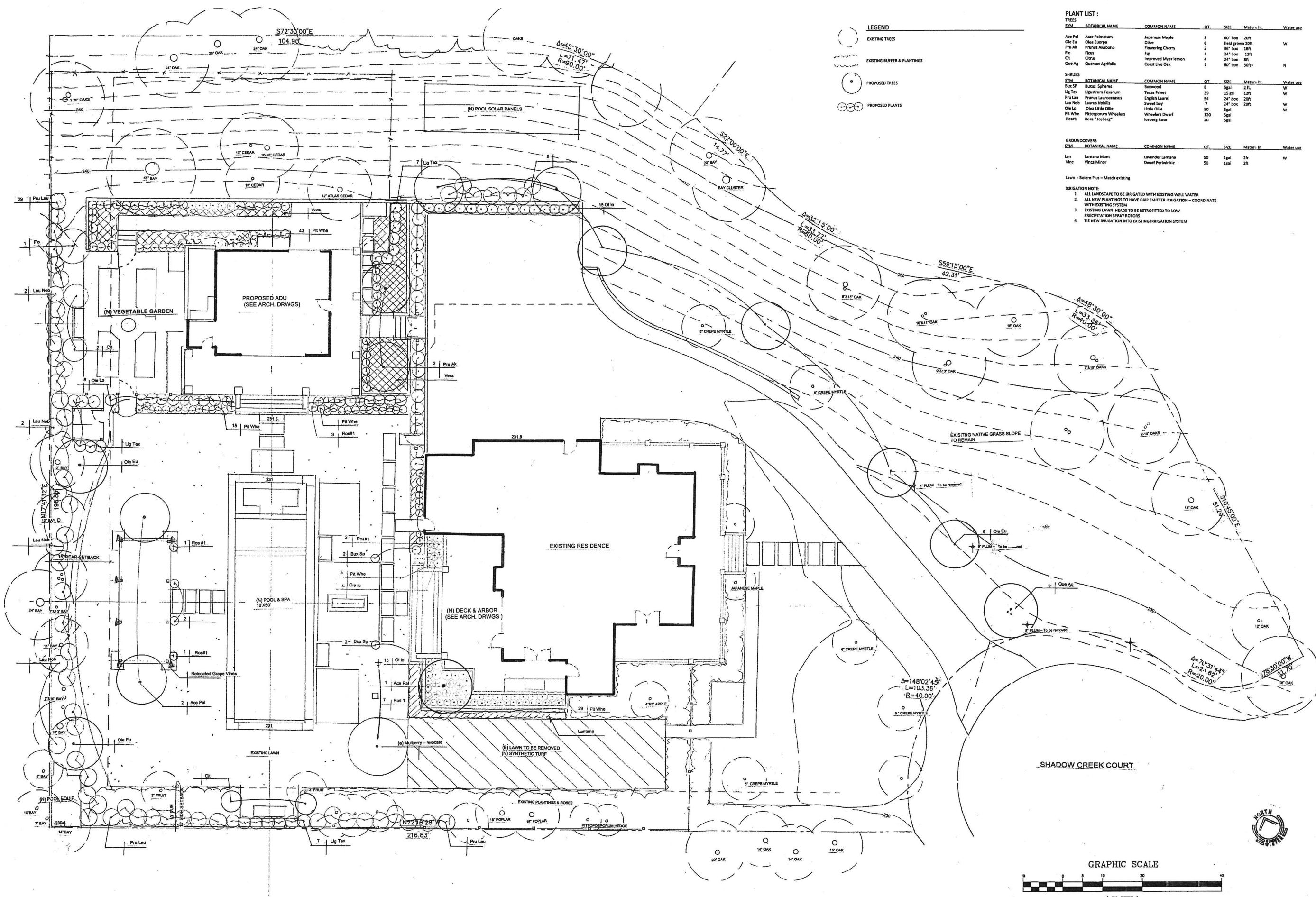
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 Fax: 415-442-0273
 Email: mbyandle@earthlink.net

SITE IMPROVEMENT PLAN & LIGHTING
24 SHADOW CREEK COURT
 FAIRFAX, CALIFORNIA
 APN# 174-21002

DATE:
 SCALE: 1"=10'-0"
 JOB: ALPERT-20
 PHASE: DESIGN REVIEW
 REVISIONS:

L-1



PLANT LIST:

TREES	SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	Mature Ht	Water Use
Aca Pal		Acer Palmatum	Japanese Maple	3	60" box	20ft	
Ole Eu		Olea Europaea	Olive	6	field grown	20ft	W
Fru Ak		Prunus Akabono	Flowering Cherry	2	36" box	18ft	
Fic		Ficus	Fig	1	24" box	12ft	
Ci		Citrus	Improved Meyer lemon	4	24" box	8ft	
Que Ag		Quercus Agrifolia	Coast Live Oak	1	50" box	30ft+	N

SHRUBS	SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	Mature Ht	Water Use
Bux SP		Buxus Spherae	Borwood	8	5gal	2 ft.	W
Lig Tex		Ligustrum Texanum	Texas Privet	39	15 gal	12ft	W
Fru Lau		Prunus Laurocarpa	English Laurel	54	24" box	20ft	
Lau Nob		Laurus Nobilis	Sweet bay	7	24" box	20ft	W
Ole Lo		Olea Little Olive	Little Olive	50	5gal		W
Prs Wne		Pittosporum Winey	Wineberry Dwarf	130	5gal		W
Rosa1		Rosa "Iceberg"	Iceberg Rose	20	5gal		

GROUNDCOVERS	SYM	BOTANICAL NAME	COMMON NAME	QTY	SIZE	Mature Ht	Water Use
Lan		Lantana Mont	Lavender Lantana	50	1gal	2ft	W
Vinc		Vinca Minor	Dwarf Periwinkle	50	1gal	2ft	W

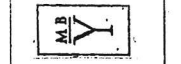
Lawn - Bolero Plus - Match existing

- IRRIGATION NOTE:**
1. ALL LANDSCAPE TO BE IRRIGATED WITH EXISTING WELL WATER WITH EXISTING SYSTEM
 2. ALL NEW PLANTINGS TO HAVE DAP EMITTER IRRIGATION - COORDINATE
 3. EXISTING LAWN HEADS TO BE RETROFITTED TO LOW PRECIPITATION SPRAY ROTORS
 4. THE NEW IRRIGATION INTO EXISTING IRRIGATION SYSTEM

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PLANTING PLAN
 24 SHADOW CREEK COURT
 FAIRFAX, CALIFORNIA
 APN# 174-21002

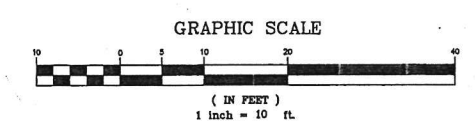
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SCALE: 1"=10'-0"

JOB: ALPERT - 20

PHASE: DESIGN REVIEW

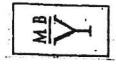
REVISIONS:



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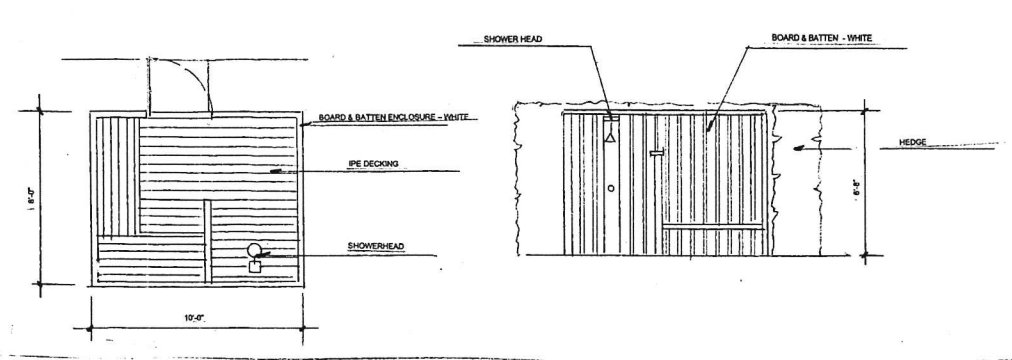
MICHAEL B. YANDLE
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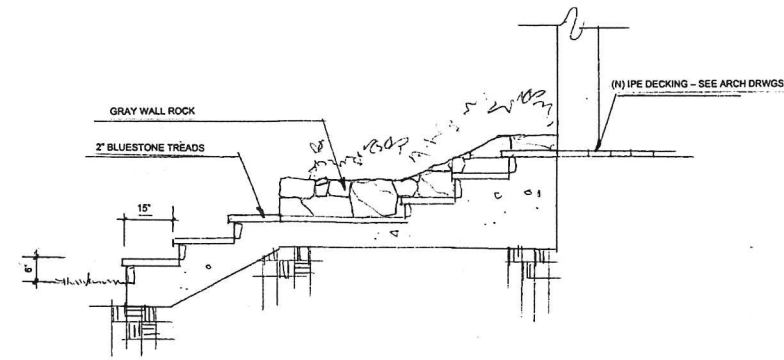
SITE CHARACTER DETAILS
24 SHADOW CREEK COURT
FAIRFAX, CALIFORNIA
APN# 174-21002

DATE:
SCALE:
JOB: ALPERT-20
PHASE: DESIGN REVIEW
REVISIONS:

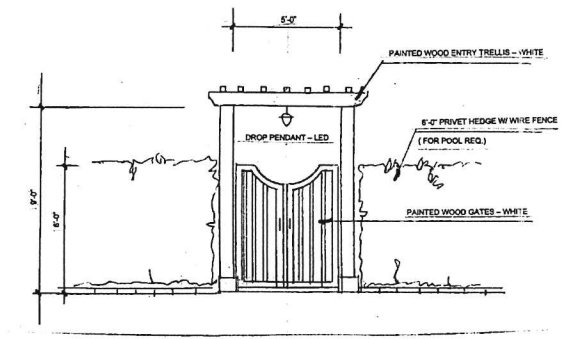
L-3.0



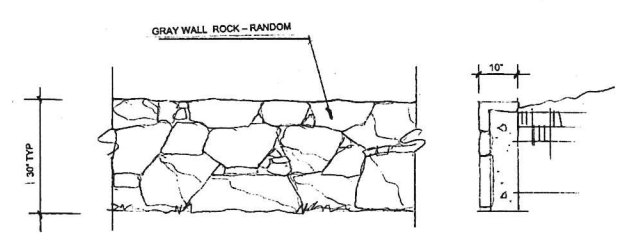
4 OUTDOOR SHOWER
1/2"=1'-0"



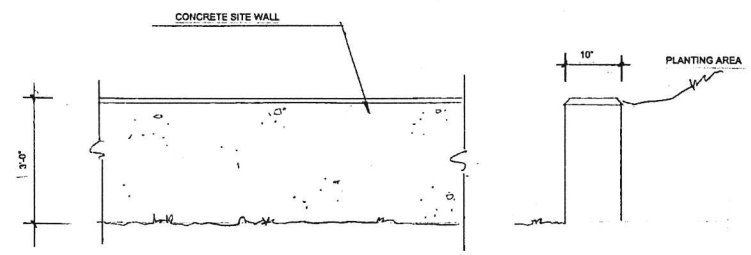
5 SECTION @ STEPS
1/2"=1'-0"



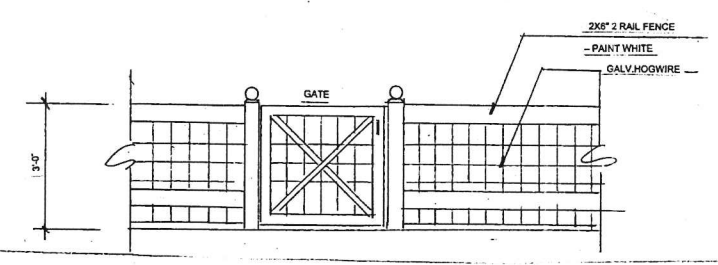
9 PEDESTRIAN GATE
1/2"=1'-0"



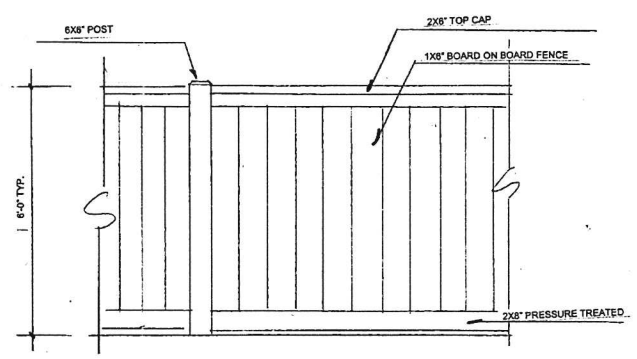
6 STONE WALL TYP.
1/2"=1'-0"



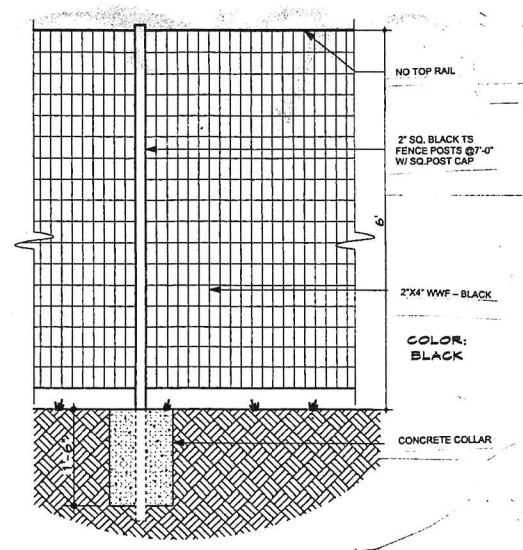
5 CONCRETE WALL TYP.
1/2"=1'-0"



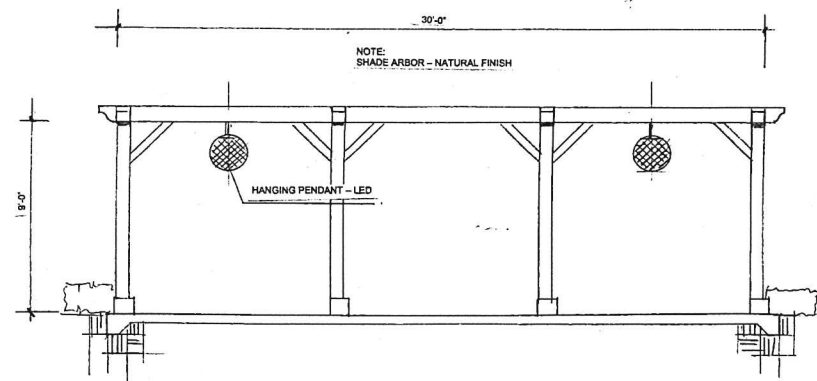
4 2 RAIL FENCE
1/2"=1'-0"



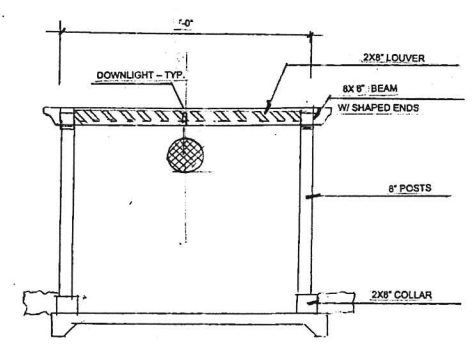
3 6FT WOOD FENCE
1/2"=1'-0"



2 WIRE FENCE
1/2"=1'-0"



1 POOLSIDE ARBOR
1/2"=1'-0"

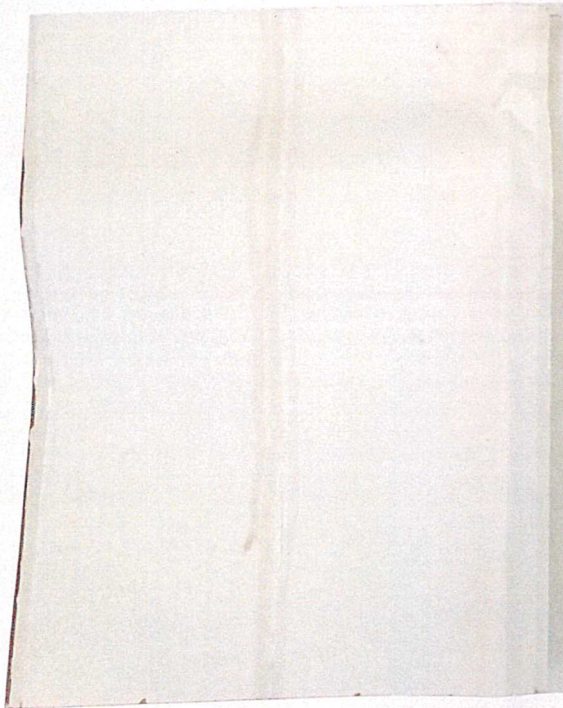




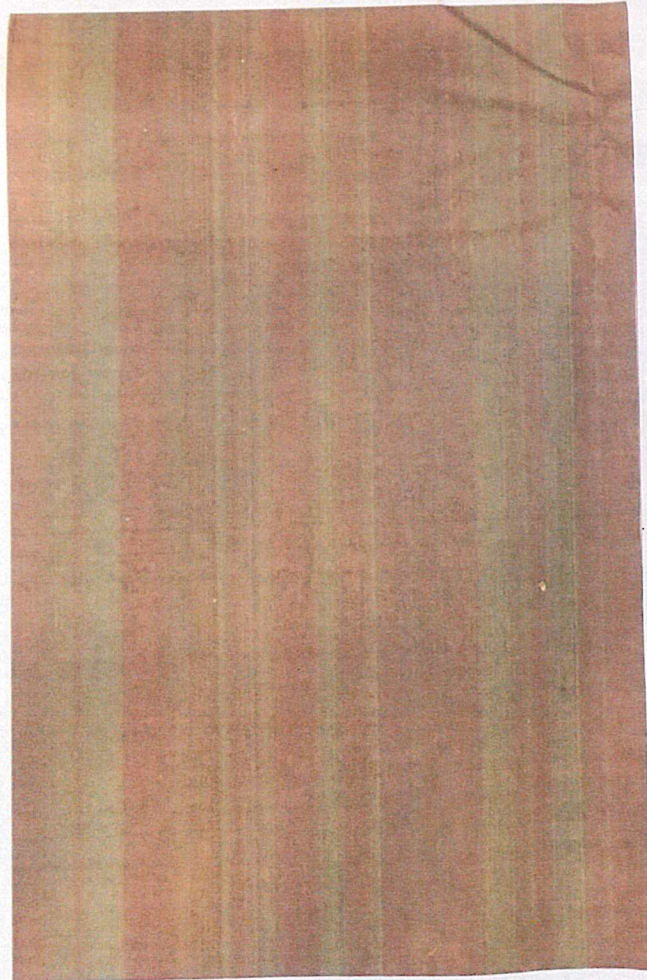
MINOR ADDITION



ACCESSORY DWELLING UNIT



WINDOWS,, TRIM, PERGOLAS ON
BUILDING AND LANDSCAPE
(MATCH E)
BENJAMIN MOORE: WHITE DOVE
SEMI-GLOSS



EXTERIOR SHINGLES
(MATCH E)

DECKING
5/4 X 6 IPE
WOOD DECKING



ROOFING
CERTAINTED LANDMARK SERIES
COLOR: WEATHERED WOOD
(MATCH E)