

Proposed Building at 79 Wood Lane

We are the Ford family, who resides at 75 Wood Lane, directly next door to the project at 79 Wood Lane. The proposed plan to build a 27'7" tall 2,762 sq foot residence is a major concern to our family as well as many of the neighbors on Wood Lane.

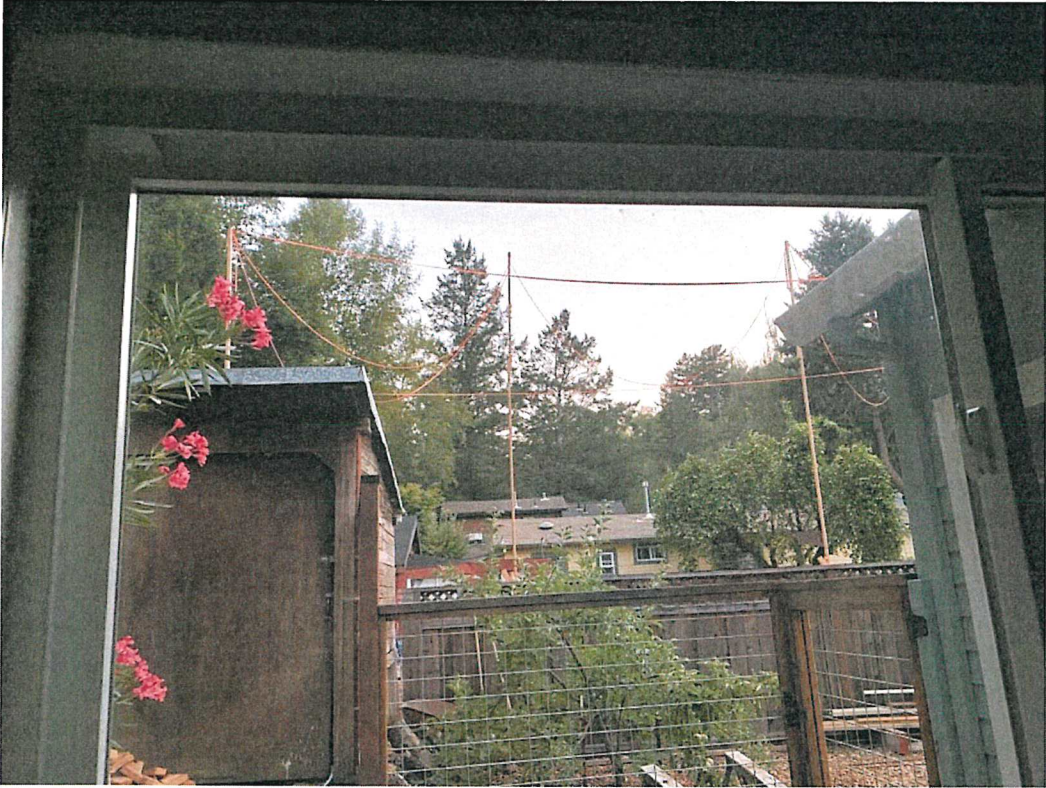
The design all but completely fills the flat area of the property with a box-like two story house plus basement, garage, and an ADU. The front is largely filled with a porch and stairway leading up to the first floor and two parking spaces. This is a narrow lot and while the property extends far up the hill, rendering the total acreage large, the usable space on the lot is much smaller and does not accommodate a house of this size. The house looks as though it was designed to squeeze maximal square footage legally allowed, while placing no value on the natural setting and giving absolutely no thought to the direct neighbors or the feel of the neighborhood.

The houses on either side of this lot have single story homes with square footage of approx 1600 sq feet and 1100 sq feet. We feel the plan to impose a 2762 square foot, 2 story house on a narrow lot between these homes is inappropriate. Our house at 75 Wood Lane is 1600 sq feet, yet sits on a lot that is twice the width of the lot at 79. We strongly believe that a single story home that fits naturally on the lot and gives consideration to the aesthetic of the adjacent houses and the impact on the neighbors would be much more appropriate.

The elevation on the east side wall of the house is approx 22 feet and sits only 5 feet from the fence along the 75 Wood Lane side. This creates a massive 22' high and 47' long wall very close to the property line. This wall will create an immense change to the feel of our property, changing our views of the valley to one of a very large and imposing wall, reduce our privacy, completely blocking the very minimal sun we experience here in the winter, as well as blocking our new solar panels.

This massive 1000+ square foot wall will be the only thing we see from the 3 bedrooms of our house. Pictured below are the views from each of the bedrooms. Keep in mind there is slack in the pink plastic tape, so the actual wall will extend even higher. Where before we had a view of the valley, trees and afternoon sun (viewable through the story boards in the photos), the proposed building would have us seeing primarily this very tall and expansive wall. There are also windows on both stories of this wall that look down into our property, significantly impacting our privacy in the yard, the swimming pool, in all 3 of our bedrooms and our cottage.

View from bedroom 1:



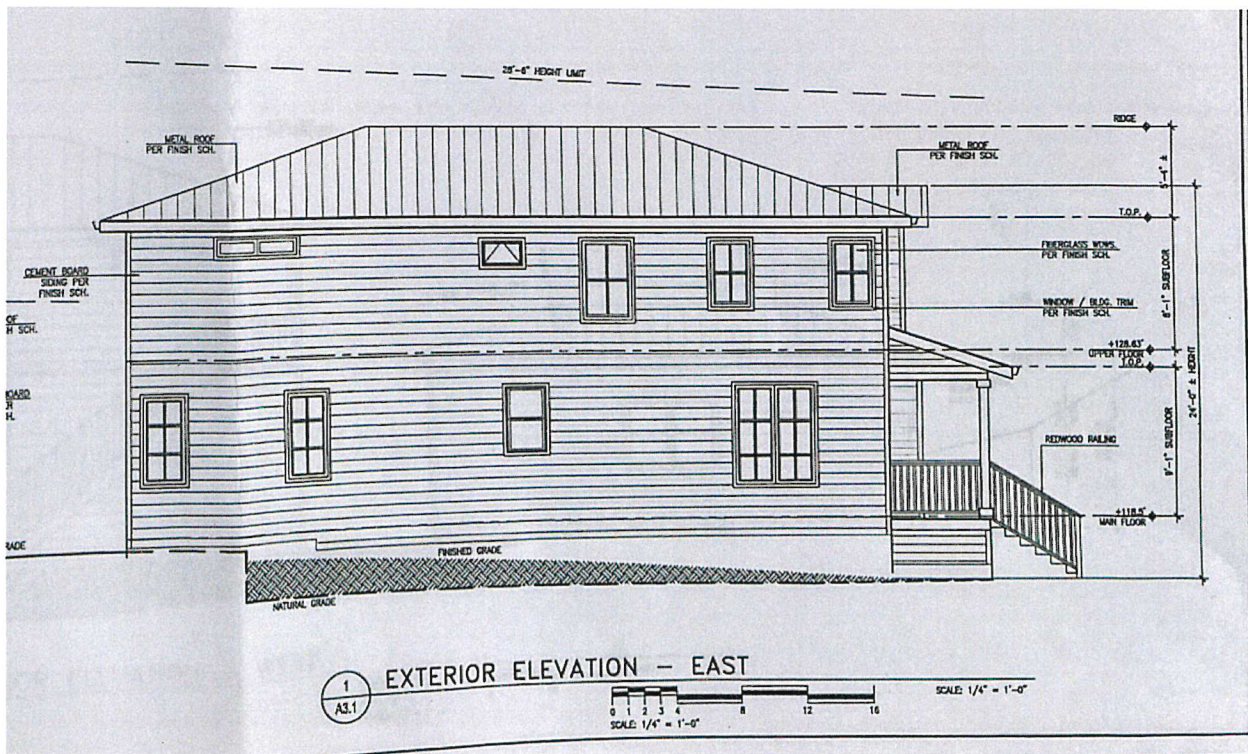
View from bedroom 2:



View from bedroom 3:

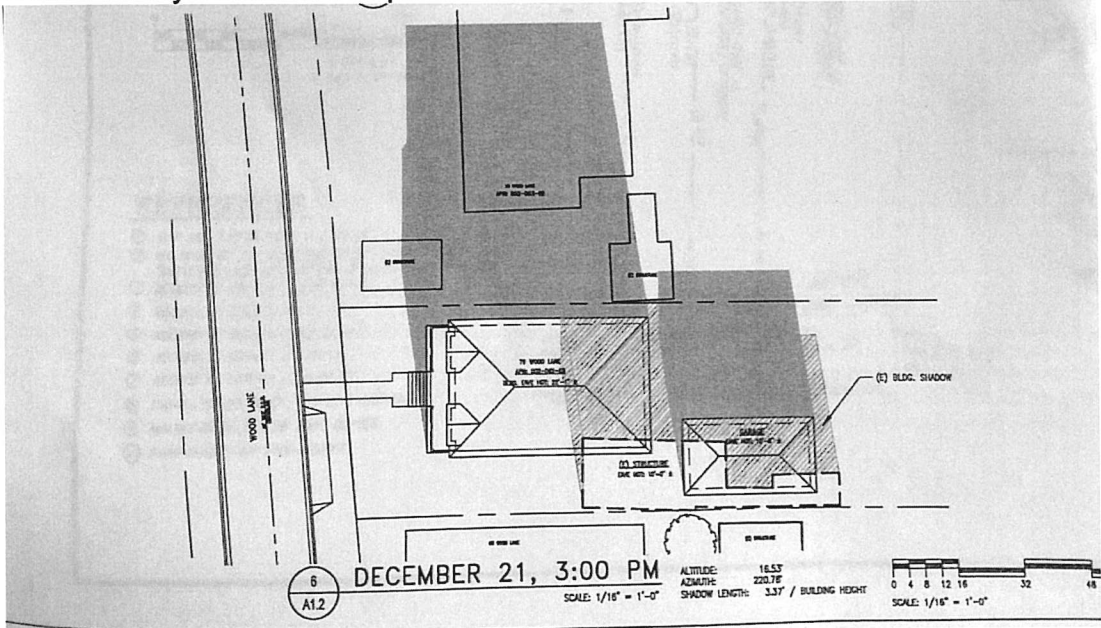


Proposed 1000+ sq foot wall including windows overlooking 75 Wood Lane:



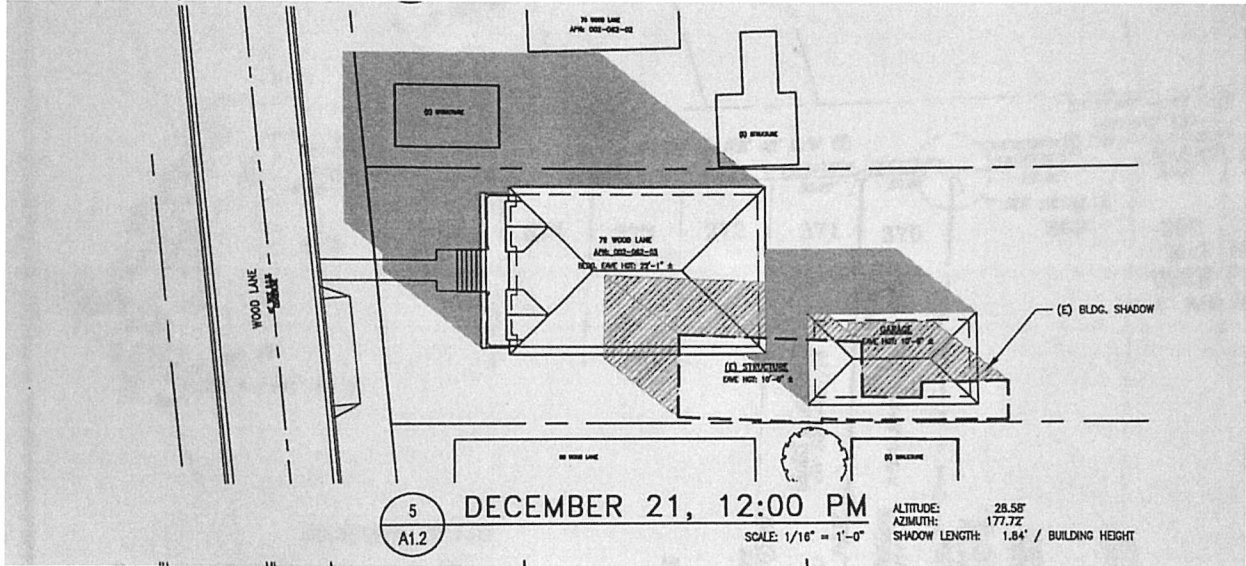
With the roofline height being even higher than the wall, at 27'7", the shade implications of this large building are significant. As everyone in the neighborhood is familiar, the Wood Lane valley is dark and shaded for several months in the winter, especially on the south side of the street. As evidenced in the shade studies, this large and very tall house sitting in the middle/front of the lot will significantly block sun in all directions in the winter. This will negatively impact the inherent value of the adjacent lots, especially at 75 Wood Lane. As noted below in the shade study, in December at 3pm, the house will cast a massive shadow over our property, completely blocking the small amount of direct sun that we usually get at this time of year. It would block the sun to all 3 bedrooms, the front windows, and porch as well as the new cottage. This not only reduces the value of our house, but significantly reduces the quality of life for us as residents.

Shade study December 3pm:



In addition, the proposed building would completely block the solar panels in the winter. These solar panels were recently installed at 75 Wood Lane. The loss of power generation and the associated loss of income is not a small issue for us as homeowners. Furthermore, with the loss of direct sun in the winter, our heating costs will go up, and our power generation will go down. As noted in the shade study below, in December at 12 noon, the shade is completely obscuring the solar panels which sit on top of the structure at the front of the property.

Shade study December 12 noon:



Allowing the building of the proposed house on this narrow lot could set a dangerous precedent for the neighborhood and for Fairfax in general. There are several other lots on Wood Lane alone that could be next in line to request a similar type of inconsiderately designed and oversized house.

We have been residents of Fairfax for over 20 years. Our home was built in 1913. We purchased it in a relative state of disrepair from the Barry family who lived here for 50 years before that. We have spent significant time and money fixing and restoring our home. We are bringing up our children here, we have built a small ADU to allow my aging father to stay with us, and we had planned to live here for a long time. If this building were to be built as it is proposed, we would seriously reconsider staying here long term.

The building is grossly oversized for this small lot, and the box-like two story design has shown no consideration for the neighbors. This is not the house for the 79 Wood Lane lot.

We are not against construction of a new home at 79 Wood Lane, but we feel very strongly that the proposed design causes an unfair loss of value and quality of life for us on our property and is incompatible with the neighborhood.

Thank you,
Rick and Heather Ford
415-342-5261 and 415-306-2861

Linda Neal

From: jacquie phelan <jacquie@batnet.com>
Sent: Friday, August 6, 2021 5:31 PM
To: Linda Neal
Subject: Fwd: A couple of thoughts about the 79 wood lane proposed building

It may be irrelevant to the reader that Mr. Leveroni's little 1916 cabin has held the street in perfect balance, as houses are scraped and replaced...but as a 40 year resident on Wood Lane, it is with deep chagrin to see the story poles perched on that tiny lot that Leveroni built his little getaway cabin on .

Our street runs between massive hills that shade the lane a lot in the winter and a fair bit even in summer.

Our own garden is impacted by the growth of trees across the street (we're not complaining). To this we adapt.

But the shadow thrown by a 27 foot house will darken forever Rick and Heather's place, and loom over Renu's place in a most un-neighborly way. Is there not some way to have a smaller, one-story house, with reasonable setback margins to be built there?

We are not familiar with the way Marin County's building rules work. We are very familiar with the inevitability of time's march and the pressure for housing stock. If we can request that the home owner consider a "proportionally appropriate, thoughtfully sited" building, and be heard, we'd be overjoyed...

Charlie Cunningham and Jacquie Phelan since 1977 (121 Wood Lane)

Dear Linda, can you email me that you got this? (I am hoping it gets to you in time, and need positive feedback)

Over and over again, the world displays a regular irregularity. B. Mandelbrot

Over and over again, the world displays a regular irregularity. B. Mandelbrot

Joan Sanders.

To whom it may concern,

We are neighbors on Wood Lane who live at the end of the street, up from the proposed construction project at 79 Wood Lane. We would like to know how the town is planning to enforce proper egress during the construction process and ensure that we will be able to access our properties and get out in the event of an emergency.

Having reviewed the footprint of this project in relation to the lot size, it appears the contractors have not planned for equipment and material staging or material delivery parking on the property. Our concern is that without these allocated areas work trucks, equipment materials, and deliveries will impact the limited available parking and proper traffic flow on our narrow dead end street.

Parking on Wood Lane is limited to one side of the street which occurs opposite the side on which the property is located. With past projects, contractors have not considered the limited access to our dead end street and have blocked egress for extended periods in order to receive equipment and material deliveries.

Having experienced a complete home build on Wood Lane in the last few years, we understand the congestion and traffic that occurs with this type of project. Other projects on our street have had adequate space on the property to accommodate staging areas for equipment, materials, and deliveries. The limited space outside of the foot print of the proposed structure would mean that the construction crew will either need to store materials and equipment on the street or block fire crew access around the property in case of fire.

Other concerns we have are:

- The size of the proposed structure does not allow adjacent neighbors to enjoy their property as they have for many years and has potential impacts, like the loss of value to their property due to shading and view obstruction.
- Dust remediation during the project given the proximity to the adjacent neighbors and the street.
- Wear and tear on the pavement on our street with large heavy delivery trucks. If the project involves import of non native soils, this will potentially have trucks carrying 10-20 tons per load on our street.
- The only turnaround on Wood Lane is at the end of the street, at the stables, where this is a culvert that runs under the Lane. We do not know that the culvert is structurally sound enough to bear the weight of such loads.

We are not against building a reasonably sized home that fits this property, in fact, we think it will be great for the Lane. And there needs to be an appropriate plan to ensure egress, safety, and access.

Linda Neal

From: Charles STEWART <shadows60@hotmail.com>
Sent: Saturday, August 7, 2021 3:27 PM
To: Linda Neal
Subject: Construction at 79 Wood Lane

Hello Ms. Neal,

We have no objection to the building of a house a 79 Wood Lane, but we object to a house which is out of proportion to the size of the lot.

We have safety concerns as to the impact of potentially multiple residences and the impact of high density housing on parking, the flow of traffic, access for emergency vehicles and evacuation in case of wildfire.

We hope that the town planner will enforce all applicable set backs, etc. If a building this size in relation to the lot size is allowed then perhaps the Fairfax building codes should be reconsidered.

The town should not approve a project which shows so little concern for the neighbors.

Thank you for considering our viewpoint.

Charles and Jean Stewart
72 Wood Lane

Sent from [Mail](#) for Windows 10

Linda Neal

From: Joan Sanders <joaninart@hotmail.com>
Sent: Saturday, August 7, 2021 3:03 PM
To: Linda Neal
Subject: Planned construction at 79 Wood Lane

My name is Joan Sanders . I have owned and lived in my home on Wood Lane for 38 years. During that time, especially in recent years, many homes on the lane have been up.graded,altered and sold. This has been done, for the most part with neighbors consulting and working together in a thoughtful process.

The proposed plans for building on 79 Wood Lane are neither thoughtful of neighbors or the delicate terrain in this canyon.

This houses uses all the flat ground on the lot and includes a portion of the hillside. It is too large for the lot, towering over neighbors, having no green space, impeding drainage on a hill side prone to slides. Flooding on Wood Lane is common during rainy season, drainage is imperative. It devalues neighbors lives , casting a huge shadow over others homes.

It sets a precedent for homes of this kind to be built, ignoring surrounding ecosystems, animals and humans.

I have no problem with new building on the Lane. This house is inappropriate to the neighbor hood and all of the factors that go with it. It needs to be scaled back in its specifications and not be built to present specs.

Linda Neal

From: renu@thelemontree.org
Sent: Monday, August 9, 2021 4:42 PM
To: Linda Neal
Subject: 79 Wood Lane Proposed development

Hello Linda

My name is Renu Malhotra. I have lived in Fairfax for 29 years and at #85 Wood Lane for 20 years and plan to be there many years yet.

I know you have been in touch with Heather and Rick Ford at #75. Unfortunately I am in London, England for 2 weeks as this has all unfolded or I would have come to visit in person. I did leave a message for you and will return to Fairfax next weekend.

I do have multiple concerns with this proposed development, and I do intend to submit questions for the planning commission and attend the Zoom meeting.

Meanwhile, can you share if there are any variances or use permits being sought?

Is there a Geotechnical Engineering report submitted with the application that you could share?

Thank you
Best Regards
-Renu

*Renu Malhotra
85 Wood Lane
Fairfax CA 94930*

510 541 9808 cell

Linda Neal

From: Jeff Buennagel <jbuennagel@gmail.com>
Sent: Tuesday, August 10, 2021 3:29 PM
To: Linda Neal
Subject: Letter regarding 79 Wood Lane development (application # 21-17) for August 19th Commission meeting

Good afternoon Ms Neal (and other members of the Commission) -

This letter is in objection to the proposed development at 79 Wood Ln here in Fairfax.
I live just 2 doors down, and have strong reservations regarding the scope & scale of the development proposed.

In particular are the short term safety & quality of living concerns:

- 1) delivery trucks and construction staff blocking the street in case of emergency or even just to get in & out
- 2) compacting, adding foreign/contaminated soil, and inadequate drainage for the square footage in the event of heavy rains (don't laugh, it may rain again someday!)
- 3) dust, noise, water utilization during an unprecedented drought...

I have 2 small children that play outside on a regular basis and I'm concerned about the deleterious effects of the noise/dust. I understand that these are temporary and can be mitigated, but I still feel a smaller/better design would reduce the negative effects.

Secondly, the lasting impact we'll be left to deal with:

- 1) Setbacks. While appearing to abide by the 10' and 5' setback requirements, the large, imposing behemoth of this house creates a 'looming' feeling that feels like it is very much larger than those setbacks and that just doesn't fit in with, blend with or preserve the slow, comfortable nature of the street.
- 2) Privacy and a quiet place to feel at home is one of the best parts of this street. Having a large house placed within feet of the street (or our neighbors pool) seems unnecessarily invasive and likely to reduce their inherent enjoyment and value of their property.
- 3) Shadowing & canyoning effect: this house is built essentially right up against the public right of way along the front edge. A more neighborly design might exchange the house & the garage location.
- 4) Resale: this house seems like its designed for maximizing resale value for the developer which is always short-sighted & leaves a negative impact on the long-term residents nearby.
- 5) This street is wonderfully flat and to fill the entire flat portion of the lot with the house seems like a waste. There are plenty of hillsides to build on. Preserve the flats when possible! (By the way, how come that's not part of the town building code?)

I'm happy to see someone taking an interest in living here on Wood Lane, it's the best!, but I feel a reduced size and better location on the site will be better suited to preserve the neighborhood aesthetic and friendly, open camaraderie.

And while I realize that this development may be "by the book" and adhere to all rules & regulations, consider this: we've all been to a wonderful outdoor music experience where we got there early, picked a great spot, set up our stuff within a small, comfortable space and settled in to listen to our favorite performer when just as its about to start, a big, imposing and seemingly clueless person shows up, noisily sets up their own chair just a little too close and a little too noisily... Its not that they're wrong, its just that they could have been more polite and considerate of those around them.

In summary, I would just ask the developer to reduce the size and to set the house further back on the lot.

Thanks for your time and consideration.

Jeff Buennagel
65 Wood Lane

101

August 11, 2021

To whom it may concern,

We are neighbors on Wood Lane who live at the end of the street, up from the proposed construction project at 79 Wood Lane. We would like to know how the town is planning to enforce proper egress during the construction process and ensure that we will be able to access our properties and get out in the event of an emergency.

Having reviewed the footprint of this project in relation to the lot size, it appears the contractors have not planned for equipment and material staging or material delivery parking on the property. Our concern is that without these allocated areas work trucks, equipment materials, and deliveries will impact the limited available parking and proper traffic flow on our narrow dead end street.

Parking on Wood Lane is limited to one side of the street which occurs opposite the side on which the property is located. With past projects, contractors have not considered the limited access to our dead end street and have blocked egress for extended periods in order to receive equipment and material deliveries.












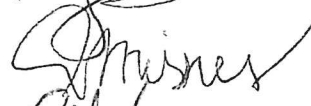



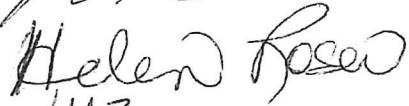
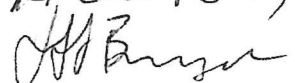
Having experienced a complete home build on Wood Lane in the last few years, we understand the congestion and traffic that occurs with this type of project. Other projects on our street have had adequate space on the property to accommodate staging areas for equipment, materials, and deliveries. The limited space outside of the foot print of the proposed structure would mean that the construction crew will either need to store materials and equipment on the street or block fire crew access around the property in case of fire.

Other concerns we have are:

- The size of the proposed structure does not allow adjacent neighbors to enjoy their property as they have for many years and has potential impacts, like the loss of value to their property due to shading and view obstruction.
- Dust remediation during the project given the proximity to the adjacent neighbors and the street.
- Wear and tear on the pavement on our street with large heavy delivery trucks. If the project involves import of non native soils, this will potentially have trucks carrying 10-20 tons per load on our street.
- The only turnaround on Wood Lane is at the end of the street, at the stables, where there is a culvert that runs under the Lane. We do not know that the culvert is structurally sound enough to bear the weight of such loads.

We are not against building a reasonably sized home that fits this property, in fact, we think it will be great for the Lane. And there needs to be an appropriate plan to ensure egress, safety, and access.

Signed,

	Eryka Milligan	112 Woodlane
	Tess Milligan	112 wood lane
	Heather Ford	75 Wood Lane
	Eric Ford	75 Wood Lane
	Marla Hedlund	132 Wood Lane
	Jacquie Phelan	121 Wood.
	Jennifer Loyer	88 Wood Ln
	YANNICK LOYER	88 Wood Lane
	Aaron Albach	110 Wood Lane
	Erin Albach	110 wood lane
	LARRY Sternhardt	129 wood Ln
	Claudia Misney	129 Wood Ln.
	Brian Witzel	60 wood lane
	Caitlin Roman	89 Wood Ln
	Forrest Francell	89 Wood Ln
	Helen Rosen	57 Wood Ln
	JEFF Buehner	65 Wood Lane

Linda Neal

From: Angela Ginsburg <feedingyou@gmail.com>
Sent: Wednesday, August 11, 2021 4:58 PM
To: Linda Neal
Subject: construction at 79 Wood Lane

Hi Linda

I would like to put in my voice, as someone who has recently built on Wood Lane and has experienced the process of becoming a new resident on the street.

While I know Fairfax does it's due diligence on new dwellings and while it does not look like this build goes against any town restrictions, it does look like a *very* oversized house for our street. It is tough to walk by the story polls and not think "jeez!".

That being said, a lot of homes on the Lane could really use a facelift. I generally support new development because change is necessary for sustainable growth of a town. However, it saddens me that the folks who live next door to this home will be cast into shade. We already face a lot of cold on the lane! The homeowners on Wood Lane strive to preserve the values of the town by keeping gardens, stewarding old fruit trees and taking care of each other's well being. I know if someone saddled up next to us and proposed this kind of build it would destroy a lot of our hard work, render our solar panels obsolete and bring a lot of chaos to our peace of mind.

I hope it all works out the best it can for everyone involved.

Thanks

--

Angela Ginsburg
(415) 497-1719

Linda Neal

From: Chris Reilly <reillycf@yahoo.com>
Sent: Wednesday, August 11, 2021 4:22 PM
To: Linda Neal
Subject: 79 Wood Lane

Ms. Neal,

I am a resident of Wood Lane and I am opposed to the current project as proposed for the new residence at 79 Wood Lane.

The plans call for a building that is out of character for the neighborhood. It is too large and high creating shade on the neighbors houses. The proposed design seems to ignore setback and lot coverage requirements

Thank you for your consideration

Chris Reilly

Sent from my iPhone

Linda Neal

From: Alex Caldwell <Alex@fcccpas.com>
Sent: Wednesday, August 11, 2021 1:42 PM
To: Linda Neal
Subject: FW: proposed new home at 79 Wood Ln.

Linda,

Not happy about the plans to build a very large two story house on a very small lot on Wood lane. Such a large and tall structure does not fit this lot nor is it at all in the feel and home size of this neighborhood. It will block valuable light from the neighbors as well as rendering their solar panels useless. I live on 86 Porteous Ave in a 900 square foot house. We were given such a hard time when we tried to double our square footage and it became not cost effective. Now we see mega homes in the neighborhood? Sincerely, Alex Caldwell, 86 Porteous Ave, 415-305-5354

Linda Neal

From: Cat Caldwell <catcaldwell@comcast.net>
Sent: Wednesday, August 11, 2021 1:24 PM
To: Linda Neal
Cc: 'Alex Caldwell'; libby.caldwell5@gmail.com
Subject: proposed new home at 79 Wood Ln.

Dear Linda,

I have been horrified by the plans to build a very large two story house on a very small lot on Wood lane. Such a large and tall structure does not fit this lot nor is it at all in the feel and home size of this neighborhood. It will block valuable light from the neighbors as well as rendering their solar panels useless. I will not go on and on about all the reasons that this planned construction is a terrible idea. I'm sure you have heard from others, but I needed to let you know I, who live on Porteous Ave. am hugely against this construction. Thank you, Catherine Caldwell, 86 Porteous Ave, 415-235-5354

Proposed Design at 79 Wood Lane, Fairfax – Comments from next door neighbor at #85

My name is Renu Malhotra. I live at 85 Wood Lane, immediately next door to the proposed residence and ADU at 79 Wood Lane.

I am currently out of the country for 2 weeks, so I am requesting a continuance for this design review to allow sufficient time to engage the services of a professional civil engineer hydrologist. I am very concerned to understand any potentially adverse effects for my property including potential hillside instability both during construction and any long-term flooding repercussions.

Wood Lane has been my home for 20 years and I have had to deal with the unique challenges that living there brings, namely periodic flooding, hillside maintenance, falling trees from the hillside woodland and, from being on the SE side of the street, significantly reduced sunlight for 5 months of the year. But I still love living on such a challenging street because it is beautiful and has been an extraordinarily cohesive supportive neighborhood.

This project is substantial in scope, involving major hillside work, site excavation and demolition in an area where we see regular flooding and a neighbor's actions can easily impact those around them significantly. Both Rick Ford and I, on either side of #79, run sump pumps in extreme storm events for standing water in the crawl space from a risen water table. I am concerned that the proposed basement at #79 could create a dam effect for water on my side and exacerbate my issues which currently resolve themselves after a few days when water levels recede.

There is inherent risk of instability associated with hillside construction. Who would be liable in the event of such an occurrence of damage to my property?

The design calls for a debris catchment fence uphill of improvements and periodic removal of accumulated material. What will the access be from the retaining wall to the back side of the fence to remove the accumulated material? It would become a fuel load for fire if not maintained.

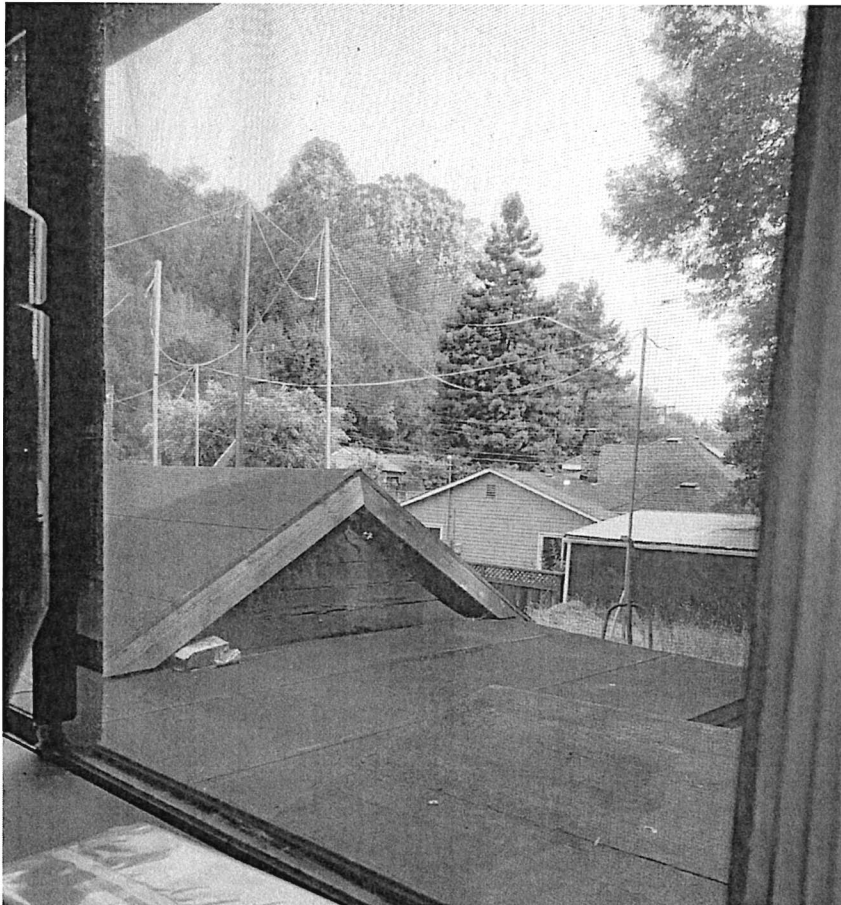
As part of FireWise efforts, our neighborhood has been clearing the wildly invasive and flammable french broom from our hillsides and taking measures to slow down runoff from the ridgetop. There has been no such effort or interest from the owner of #79 so the broom on that property continues to spread seed while all around is clear. This WUI property requires more consideration of fire awareness than just home hardening.

As a note of observation from walking on Wood Lane after a sequence of storms, there is a steady stream of considerable water for many days into the street from some properties, but only from the homes with a large retaining wall that runs the full width of the property. This seems counter to the general attempt by Marin County to reduce runoff into storm drains. The occasional level of runoff from this 200'+ tall hillside cannot be underestimated; the swale

could be overwhelmed periodically by the sheer volume of water in extreme events of a water logged hillside coupled with a new storm- what happens then to the water flow? These extreme events are happening more frequently but have not happened since the current owner purchased the property. What would the impact on neighbors be?

My property comprises a small 900 sq ft home with additional 250 sq ft studio/ADU and single car garage. Part of the charm of Wood Lane is the variety of homes on the street, some are single storey, some double but the larger homes are on wider lots and generally the 2-storey homes are set way back from the road and are not impacting light on neighbors. This proposed design is fine for a wide lot but on this 50' wide lot surrounded by smaller cottages, it is just not in keeping with the character of the location.

The proposed property layout is extremely insensitive to the neighbors. For example the proposed garage location is going to completely block the view and significantly reduce light to the studio cottage/ADU at the rear of my property where I have a long term tenant. This legal second unit studio is grandfathered in and is 3' from the property line. The storyboards for the garage have not been put up but here is the view from the studio window – the proposed house and garage will totally fill this view.



The right-side wall of the existing residence lies directly on our shared property line and borders my garden. What provisions would there be to minimize dust and debris in my garden and for the ADU ?

I would happily support a suitable new home design on this property. When starting from a clean slate for design, surely it is possible to contribute more positively to a future neighborhood?

Thank you

Renu Malhotra
85 Wood Lane
Fairfax CA 94930

510 541 9808

MARIN COUNTY 2019 CALGREEN CHECKLIST

Tier 1 Standards for Residential New Construction

This checklist is effective January 1, 2020, for newly constructed hotels, motels, lodging houses, dwellings, dormitories, condominiums, shelters, congregate residences, employee housing, factory-built housing and other types of dwellings containing sleeping accommodations with or without a common toilet or cooking facilities including accessory buildings, facilities and uses thereto. Existing site and landscaping improvements that are not otherwise disturbed are not subject to CALGreen.

Submit this checklist with your plans to demonstrate compliance with the green building ordinance. This checklist includes modifications specific to Marin County. For more information on the County's Green Building requirements, please visit www.maringreenbuilding.org

For more information on CALGreen and complete measure language, see Chapters 4 and Appendix 4 here: <https://codes.iccsafe.org/content/CAGBSC2019/table-of-contents>

PROJECT DETAILS

79 Wood Lane, Fairfax CA

002-062-03

Project Address

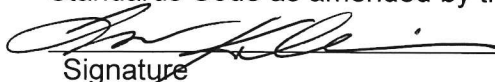
APN

Laura Kehrlein, Architect

Applicant Name (Please Print)

PROJECT VERIFICATION

The Green Building Rater, listed below, has reviewed the plans and certifies that the mandatory and elective measures listed above are hereby incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the 2019 California Green Building Standards Code as amended by the County of Marin.



Signature

06-25-2021

Date

Laura Kehrlein

Name (Please Print)

LEED AP 10754075

Green Building Certification¹ and License Number

¹ CALGreen Special Inspector, LEED AP, or Green Point Rater are

MARIN COUNTY 2019 CALGREEN CHECKLIST

Tier 1 Standards for Residential New Construction

DIVISION 4.1 PLANNING AND DESIGN

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

A minimum of TWO elective measures must be completed/selected.

4.106.2 (MANDATORY) A plan is developed and implemented to manage stormwater runoff from the construction activities through compliance with the County of Marin's stormwater management ordinance.
Link: County of Marin's stormwater management ordinance

Completed N/A Plan sheet reference (if applicable): Civil Site Plan Drawing 1

4.106.3 (MANDATORY) Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.

Completed N/A Plan sheet reference (if applicable): Civil Site Plan Drawing 1

A4.106.2.3 (MANDATORY) Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion.

Completed N/A Plan sheet reference (if applicable): Civil Notes and Details Drawing 2

A4.106.4 (MANDATORY) Permeable paving is utilized for not less than 20 percent of the total parking, walking, or patio surfaces.

Completed N/A Plan sheet reference (if applicable): Arch Site Plan 1/A1, Civil Site Plan Drawing 1

A4.106.5 (MANDATORY) Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in Tables A4.106.5.1(3).

In Marin County, this measure applies only to high-rise residential buildings, hotels, and motels with a roof slope >2:12.

Completed N/A Plan sheet reference (if applicable): _____

A4.106.8.1 (MANDATORY) For one- and two-family dwellings and townhouses with attached private garages, install a dedicated 208/240-volt branch circuit, including an overcurrent protective device rated at 40 amperes minimum per dwelling unit for future EV charging, as required in the Marin County Building Code, Chapter 19.04, Subchapter 2.

Link: Marin County Building Code, Chapter 19.04, Subchapter 2

Completed N/A Plan sheet reference (if applicable): To be incorporated in permit dwgs

A4.106.8.2 (MANDATORY) For multi-family dwellings and new hotels/motels, provide capability for future electrical vehicle charging as specified in the Marin County Building Code, Chapter 19.04, Subchapter 2.

Link: Marin County Building Code, Chapter 19.04, Subchapter 2

Completed N/A Plan sheet reference (if applicable): _____

A4.103.1 Site Selection (ELECTIVE) - Selection

Plan sheet reference (if applicable): Infill site development

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A4.103.2 Site Selection (ELECTIVE)- Community connectivity

Plan sheet reference (if applicable): _____

A4.104 Site Preservation (ELECTIVE)- Supervision and education

Plan sheet reference (if applicable): _____

A4.105.1 Deconstruction and Reuse of Existing Materials (ELECTIVE)- General

Plan sheet reference (if applicable): _____

A4.105.2 Deconstruction and Reuse of Existing Materials (ELECTIVE)- Reuse of materials

Plan sheet reference (if applicable): _____

A4.106.6 Site Development (ELECTIVE)- Vegetated roof

Plan sheet reference (if applicable): _____

A4.106.7 Site Development (ELECTIVE)- Reduction of heat island effect for nonroof areas

Plan sheet reference (if applicable): _____

A4.106.9 Site Development (ELECTIVE)- Bicycle parking

Plan sheet reference (if applicable): _____

A4.106.10 Site Development (ELECTIVE)- Light pollution reduction

Plan sheet reference (if applicable): Dark Sky compliant lighting

A4.306.1 Innovative Concepts and Local Environmental Conditions (ELECTIVE)

Plan sheet reference (if applicable): _____

DIVISION 4.2 ENERGY EFFICIENCY

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

4.201.1 (MANDATORY) Building meets or exceeds the requirements of the California Building Energy Efficiency Standards, and complies with one of the energy efficiency and electrification compliance options outlined in the Marin County Building Code, Chapter 19.04, Subchapter 2.

Link: Marin County Building Code, Chapter 19.04, Subchapter 2

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

A4.203.1.1.1 (MANDATORY) Total Energy Design Rating (Total EDR) and Energy Efficiency Design Rating (Efficiency EDR) for the Proposed Design Building is included in the Certificate of Compliance Documentation

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

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A4.203.1.3.1 (MANDATORY) Buildings complying with the first level of advanced energy efficiency shall have additional integrated efficiency and onsite renewable energy generation to achieve a Total EDR margin as specified in Marin County Building Code, Chapter 19.04, Subchapter 2, or lower as calculated by Title 24, Part 6 Compliance Software approved by the Energy Commission. This Total EDR is in addition to meeting the Efficiency EDR.

Link: [Marin County Building Code, Chapter 19.04, Subchapter 2](#)

Completed N/A Plan sheet reference (if applicable): _____

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

A minimum of TWO elective measures must be completed/selected.

4.303.1 (MANDATORY) Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.

Completed N/A Plan sheet reference (if applicable): To be incorporated in permit dwgs

4.303.1.4.3 (MANDATORY) Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.

Completed N/A Plan sheet reference (if applicable): _____

4.303.2 (MANDATORY) Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the *California Plumbing Code* and shall meet the applicable referenced standards.

Completed N/A Plan sheet reference (if applicable): To be incorporated in permit dwgs

4.304.1 (MANDATORY) Residential developments shall comply with local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELo), whichever is more stringent.

Completed N/A Plan sheet reference (if applicable): To be incorporated in permit dwgs

4.305.1 (MANDATORY) Newly constructed residential developments, where disinfected tertiary recycled water is available from a municipal source to a construction site, may be required to have recycled water supply systems installed, allowing the use of recycled water for residential landscape irrigation systems.

Completed N/A Plan sheet reference (if applicable): Laundry graywater system

A4.303.2 Indoor Water Use (ELECTIVE) - Alternate water sources for nonpotable applications

Plan sheet reference (if applicable): _____

A4.303.3 Indoor Water Use (ELECTIVE) - Appliances

Plan sheet reference (if applicable): ENERGY STAR dishwasher or clothes washer to be installed.

A4.303.4 Indoor Water Use (ELECTIVE)- Nonwater urinals and waterless toilets

Plan sheet reference (if applicable): _____

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A4.303.5 Indoor Water Use (ELECTIVE) - Hot water recirculation systems

Plan sheet reference (if applicable): _____

A4.304.1 Outdoor Water Use (ELECTIVE) - Rainwater catchment systems

Plan sheet reference (if applicable): _____

A4.304.2 Outdoor Water Use (ELECTIVE) - Potable water elimination

Plan sheet reference (if applicable): _____

A4.304.3 Outdoor Water Use (ELECTIVE) - Landscape water meters

Plan sheet reference (if applicable): _____

A4.305.1 Water Reuse Systems (ELECTIVE) - Graywater

Plan sheet reference (if applicable): Laundry graywater system

A4.305.2 Water Reuse Systems (ELECTIVE) - Recycled water piping

Plan sheet reference (if applicable): _____

A4.305.3 Water Reuse Systems (ELECTIVE) - Recycled water for landscape irrigation

Plan sheet reference (if applicable): _____

A4.306.1 Innovative Concepts and Local Environmental Conditions (ELECTIVE)

Plan sheet reference (if applicable): _____

DIVISION 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

A minimum of TWO elective measures must be completed/selected.

A4.403.2 (MANDATORY) Cement use in foundation mix design is reduced as directed by Marin County Ordinance 3717.

[Link: Marin County Ordinance 3717](#)

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

A4.405.3 (MANDATORY) Postconsumer or preconsumer recycled content value (RCV) materials are used on the project, not less than a 10 percent recycled content value.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.406.1 (MANDATORY) Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

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4.408.1 (MANDATORY) Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with the reporting standards outlined by Zero Waste Marin.

[Link: Zero Waste Marin](#)

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

A4.408.1 (MANDATORY) Construction waste generated at the site is diverted to recycle or salvage in compliance with at least a 65 percent reduction. Any mixed recyclables that are sent to mixed-waste recycling facilities shall include a qualified third party verified facility average diversion rate. Verification of diversion rates shall meet minimum certification eligibility guidelines, acceptable to the local enforcing agency.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.410.1 (MANDATORY) An operation and maintenance manual shall be provided to the building occupant or owner.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.410.2 (MANDATORY) Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance if more restrictive.

Completed N/A *Plan sheet reference (if applicable):* _____

A4.403.1 Foundation Systems (ELECTIVE) - Frost protected foundation systems

Plan sheet reference (if applicable): _____

A4.404.1 Efficient Framing Techniques (ELECTIVE) - Lumber size

Plan sheet reference (if applicable): _____

A4.404.2 Efficient Framing Techniques (ELECTIVE) - Dimensions and layouts

Plan sheet reference (if applicable): _____

A4.404.3 Efficient Framing Techniques (ELECTIVE) - Building systems

Plan sheet reference (if applicable): _____

A4.404.4 Efficient Framing Techniques (ELECTIVE) - Pre-cut materials and details

Plan sheet reference (if applicable): _____

A4.405.1 Material Sources (ELECTIVE) - Prefinished building materials

Plan sheet reference (if applicable): _____

A4.405.2 Material Sources (ELECTIVE) - Concrete floors

Plan sheet reference (if applicable): _____

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A4.405.4 Material Sources (ELECTIVE) - Use of building materials from rapidly renewable sources

Plan sheet reference (if applicable): _____

A4.407.1 Water Resistance and Moisture Management (ELECTIVE) - Drainage around foundations

Plan sheet reference (if applicable): To be incorporated in permit dwgs

A4.407.2 Water Resistance and Moisture Management (ELECTIVE) -Roof drainage

Plan sheet reference (if applicable): Civil Site Plan Drawing 1

A4.407.3 Water Resistance and Moisture Management (ELECTIVE) - Flashing details

Plan sheet reference (if applicable): _____

A4.407.4 Water Resistance and Moisture Management (ELECTIVE) - Material protection

Plan sheet reference (if applicable): To be incorporated in permit dwgs

A4.407.6 Water Resistance and Moisture Management (ELECTIVE) - Door protection

Plan sheet reference (if applicable): _____

A4.407.7 Water Resistance and Moisture Management (ELECTIVE) - Roof overhangs

Plan sheet reference (if applicable): _____

A4.411.1 Innovative Concepts and Local Environmental Conditions (ELECTIVE)

Plan sheet reference (if applicable): _____

DIVISION 4.5 ENVIRONMENTAL QUALITY

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

A minimum of ONE elective measure must be completed/selected.

4.503.1 (MANDATORY) Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with the U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances including the County of Marin Municipal Code (Wood-Burning Devices).

Link: County of Marin Municipal Code (Wood-Burning Devices)

Completed N/A *Plan sheet reference (if applicable):* _____

4.504.1 (MANDATORY) Duct openings and other related air distribution component openings shall be covered during construction.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

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4.504.2.1 (MANDATORY) Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.504.2.2 (MANDATORY) Paints, stains and other coatings shall be compliant with VOC limits.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.504.2.3 (MANDATORY) Aerosol paints and coatings shall be compliant with product weighted MIR Limits for ROC and other toxic compounds.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.504.2.4 (MANDATORY) Documentation shall be provided to verify that compliant VOC limit finish materials have been used.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.504.3 (MANDATORY) Carpet and carpet systems shall be compliant with VOC limits.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.504.4 (MANDATORY) 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.504.5 (MANDATORY) Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

A4.504.2 (MANDATORY) Install VOC compliant resilient flooring systems. Ninety (90) percent of floor area receiving resilient flooring shall comply with the VOC-emission limits established in section A4.504.2.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

A4.504.3 (MANDATORY) Thermal insulation installed in the building shall install thermal insulation in compliance with VOC limits.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.505.2 (MANDATORY) Vapor retarder and capillary break is installed at slab on grade foundations.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.505.3 (MANDATORY) Moisture content of building materials used in wall and floor framing is checked before enclosure.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

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4.506.1 (MANDATORY) Each bathroom shall be provided with the following:

1. ENERGY STAR fans ducted to terminate outside the building.
2. Fans must be controlled by a humidity control (Separate or built-in); OR functioning as a component of a whole-house ventilation system.
3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

4.507.2 (MANDATORY) Duct systems are sized, designed, and equipment is selected using the following methods:

1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent.
2. Size duct systems according to ANSI/ACCA 1 Manual D - 2016 or equivalent.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.

Completed N/A *Plan sheet reference (if applicable):* To be incorporated in permit dwgs

A5.5041. Pollutant Control (ELECTIVE) - Compliance with formaldehyde limits

Plan sheet reference (if applicable): _____

A5.506.2 Indoor Air Quality and Exhaust (ELECTIVE) - Construction filter

Plan sheet reference (if applicable): _____

A5.506.3 Indoor Air Quality and Exhaust (ELECTIVE) - Direct-vent appliances

Plan sheet reference (if applicable): _____

A5.509.1 Innovative Concepts and Local Environmental Conditions (ELECTIVE)

Plan sheet reference (if applicable): _____