

ELEMENT 7 TENANT IMPROVEMENT

1930 SIR FRANCIS DRAKE BLVD, FAIRFAX, CA 94930

PROJECT PRINCIPLES

OWNER
ELEMENT 7, LLC
8033 SUNSET BOULEVARD, UNIT 907
LOS ANGELES, CA 90046
ATTN: JOSH BLACK

LANDSCAPE ARCHITECT
ROTH / LAMOTTE
LANDSCAPE ARCHITECTURE
56 MANOR ROAD
FAIRFAX, CA 94930
(415) 451-8211
ATTN: GARY ROTH

ARCHITECT
SKS ARCHITECTS
1852 4TH STREET
SAN RAFAEL, CA 94901
(415) 382-1656
ATTN: STEWART SUMMERS

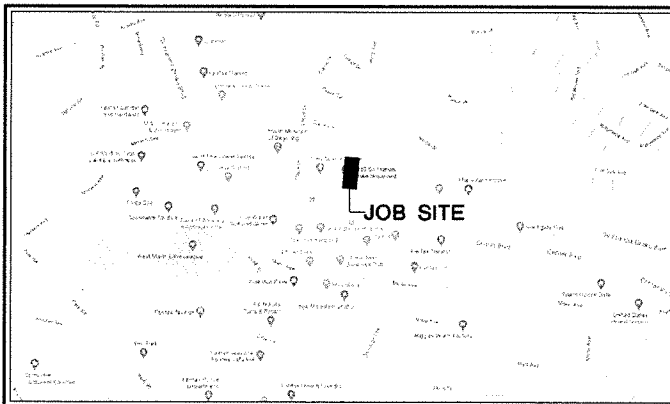
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VICINITY MAP

FAIRFAX, CA



PROJECT DATA

PROJECT DESCRIPTION :
TENANT IMPROVEMENT FOR MEDICAL CANNABIS DISPENSERY

SITE & BUILDING DATA :

A.P. NUMBER	001-223-10
ZONING	CC
OCCUPANCY CLASSIFICATION	M
DESCRIPTION OF USE	RETAIL
CONSTRUCTION TYPE	V-B
STORIES	ONE
SPINKLERS	NO

FLOOR AREAS:

LOT AREA	5,003 SF.
(E) BUILDING AREA	512 SF.
(E) STORAGE SHED AREA	63 SF.
TOTAL BUILDING AREA	575 SF.

PARKING:

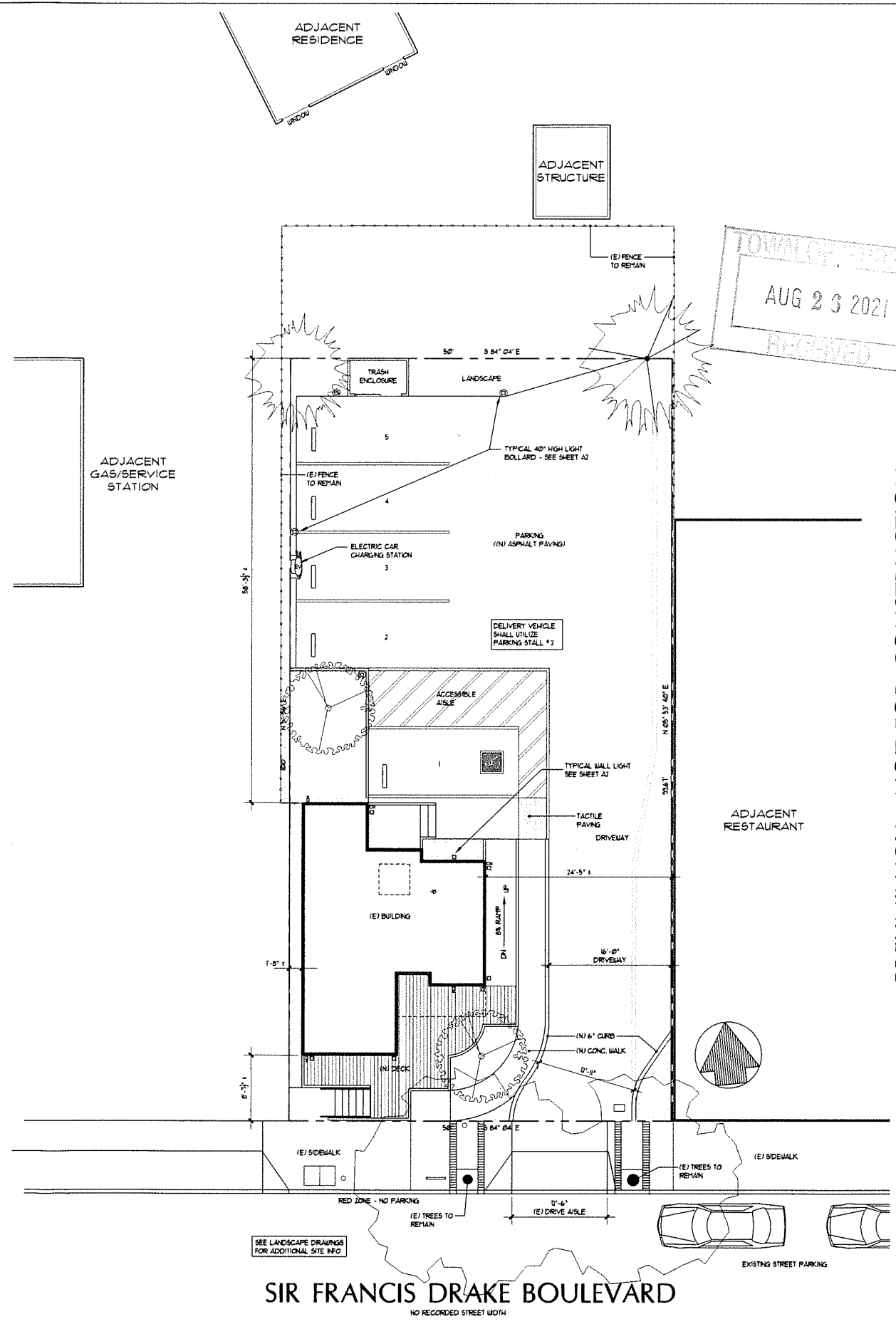
PARKING SPACES REQUIRED	6 TOTAL (INCLUDES 1 ADA SPACE)
(E) PARKING SPACES	5 (INCLUDES 1 ADA SPACE)
(N) PARKING SPACES	1

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO THESE PLANS, THE STANDARD SPECIFICATIONS OF THE CURRENT ADOPTED EDITION 2019 CALIFORNIA BUILDING CODE INCLUDING THE 2019 CFC, 2019 CMC, 2019 CFC, 2019 CEC, 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBS OR CALGREEN) & ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS FOR RESIDENTIAL CONSTRUCTION AND SPECIFICALLY FOR THE CONSTRUCTION OF THIS STRUCTURE IN THE TOWN OF FAIRFAX, CALIFORNIA.
- ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED THE BEST STANDARDS OF THE TRADE.
- ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOTED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- PROTECTION OF OWNER'S PROPERTY AND ALL ADJACENT PROPERTIES, AS WELL AS THE GENERAL PUBLIC, ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED AT ALL TIMES.
- ALL REFERENCES TO THE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHOWN IN THESE PLANS ARE INTENDED TO BE FOR DESIGN INTENT ONLY. SPECIALTY SUBCONTRACTORS SHALL BE RESPONSIBLE FOR FINAL DESIGN, SECURING PERMITS, INSTALLATION, INSPECTIONS, & PROPER OPERATION OF ALL SYSTEMS.
- ALL PAINTS, FINISHES, AND ADHESIVES, CAULKING, AND SEALANTS SHALL BE LOW VOC.
- PROVIDE FREQUENT AND THOROUGH DUST CONTROL AND CLEAN-UP.
- PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL THE APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2019 ENERGY EFFICIENT STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE OFIR, OFIR, CFIR FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

LEGEND

	EXISTING WALLS TO REMAIN U.O.N.	(E)	EXISTING
	NEW OR ALTERED EXISTING WALLS:	(R)	RELOCATED
	EXISTING TO BE REMOVED U.O.N.	P	PROPERTY LINE
	AREA OF ADDITION, SHADED	U.O.N.	UNLESS OTHERWISE NOTED
	EXISTING FENCE	V.I.F.	VERIFY IN FIELD
	DETAIL NO. SHEET NO.	C	CENTER LINE
	SECTION OR ELEV. NO. SHEET NO.	D.S.	DOWNSPOUT
	KEY NOTE	FF.	FINISH FLOOR
	NEW	F.O.	FACE OF
		G.C.	GENERAL CONTRACTOR
		E	PLATE
		VOL	VOLUME
		A	ALIGN

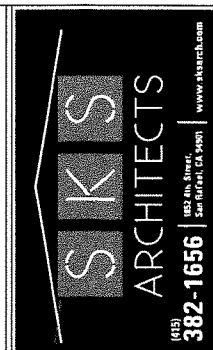


SITE PLAN

SCALE: 1/8" = 1'-0"

0' 2' 4' 8' 16'

PRELIMINARY - NOT FOR CONSTRUCTION



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REVISIONS	DATE	BY
EXTERIOR ELEVS	6/15/21	SKS

Element 7 - Tenant Improvement
1930 Sir Francis Drake Boulevard
Fairfax, CA 94930
A.P. # 001-223-10

COVER SHEET, SITE PLAN, & PROJECT DATA

BEFORE THE DRAWINGS, CAREFULLY DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS ARCHITECT

DATE: 5/22/20
SCALE: 1/8" = 1'-0"
DRAWN: SKS
JOB NO.

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REVISIONS	DATE	BY
EXTERIOR ELEV	6/15/21	SKS

Element 7 - Tenant Improvement
 1930 Sir Francis Drake Boulevard
 Fairfax, CA 94930
 A.P. # 001-223-10

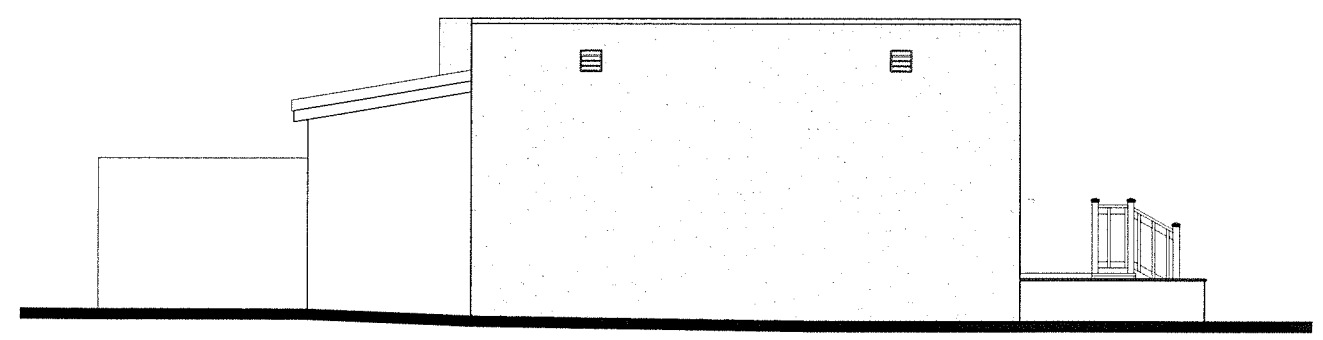
PRELIMINARY - NOT FOR CONSTRUCTION

EXISTING FLOOR PLAN & ELEVATIONS

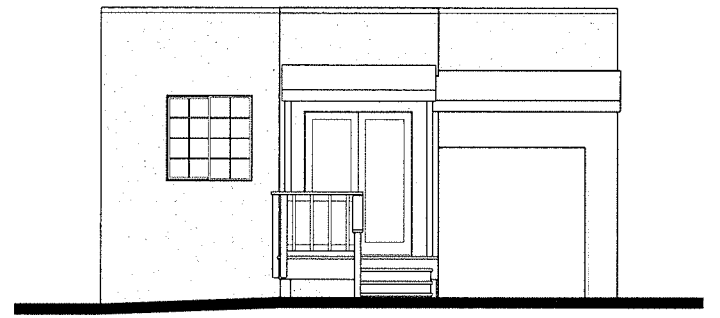
REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS ARCHITECT

DATE: 5/22/20
 SCALE: 1/4" = 1'-0"
 DRAWN: SKS
 JOB NO.
 SHEET NO:

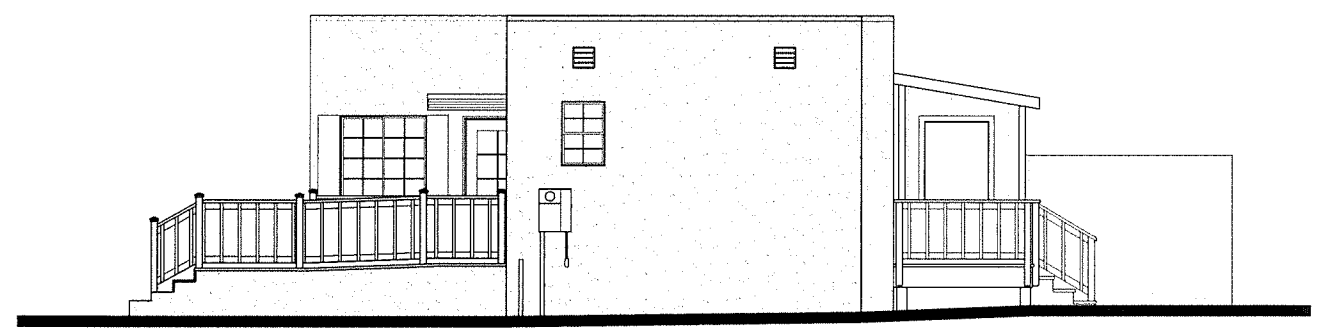
EC1



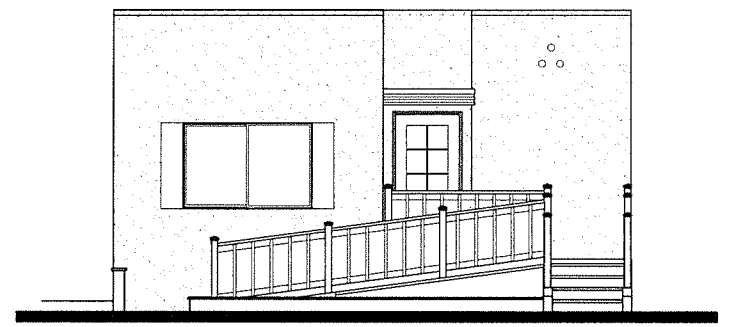
(E) LEFT ELEVATION
 SCALE: 1/4" = 1'-0"



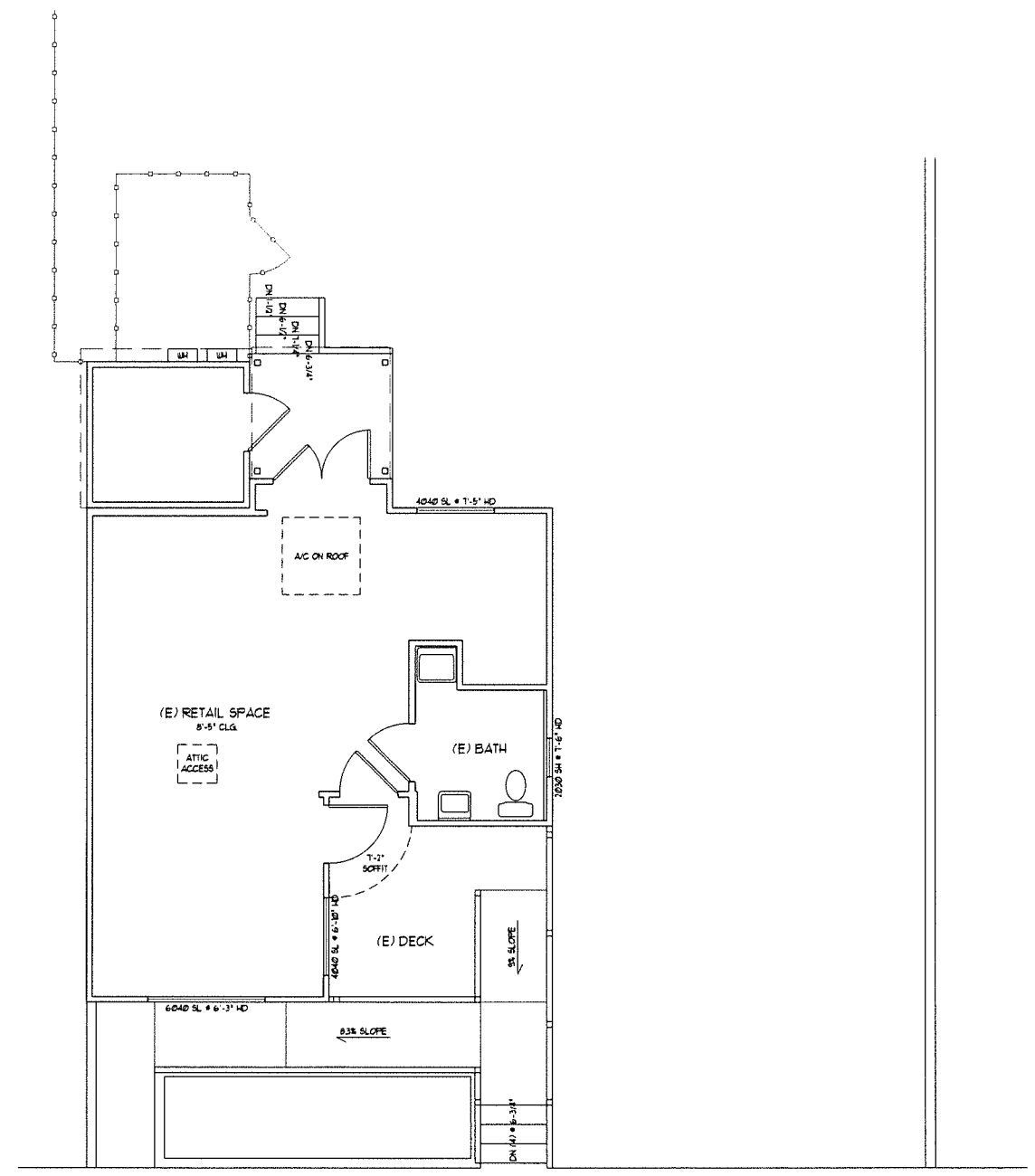
(E) REAR ELEVATION
 SCALE: 1/4" = 1'-0"



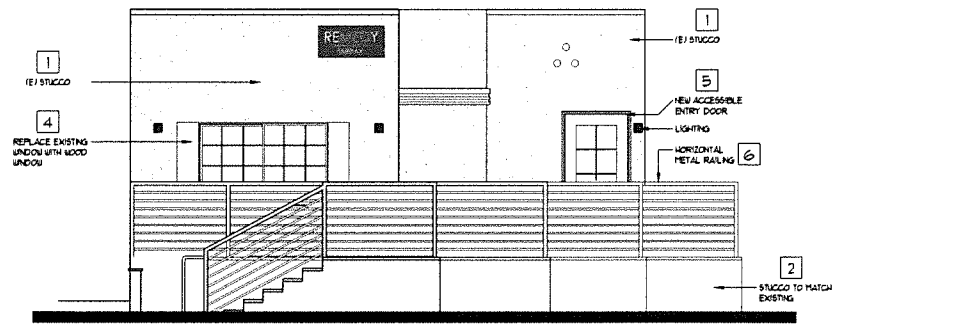
(E) RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"



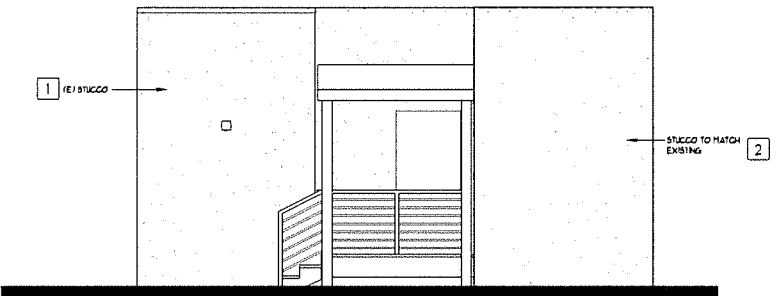
(E) FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



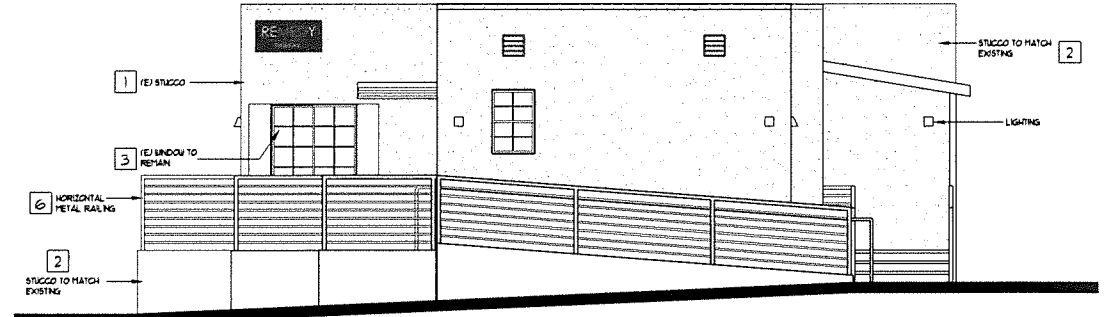
(E) FLOOR PLAN & ROOF PLAN
 SCALE: 1/4" = 1'-0"



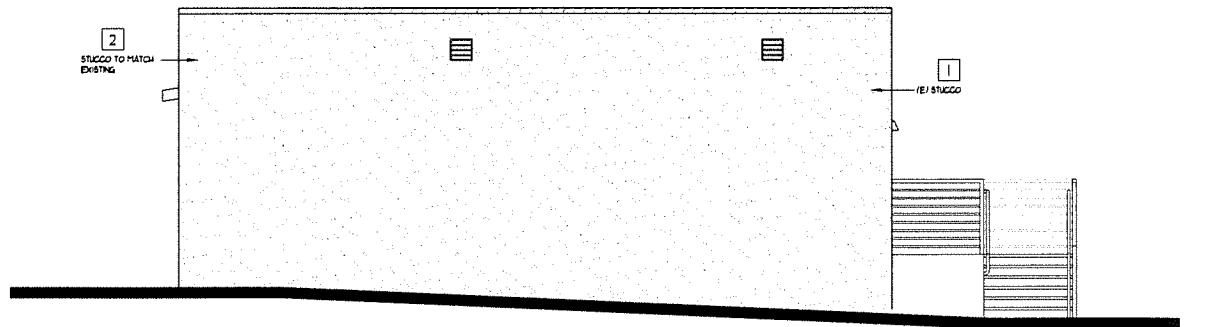
(N) FRONT ELEVATION (SIR FRANCIS DRAKE)
SCALE: 1/4" = 1'-0"



(N) REAR ELEVATION
SCALE: 1/4" = 1'-0"



(N) RIGHT ELEVATION (PERRY'S SIDE)
SCALE: 1/4" = 1'-0"



(N) LEFT ELEVATION (GAS STATION SIDE)
SCALE: 1/4" = 1'-0"

Pitch LED Indoor/Outdoor Wall Sconce
By Tech Lighting



Product Options

Finish: Black, Bronze, Chrome, Silver
Voltage: 120V, 277V AC

Details

- Max. 100 lumens per foot
- Max. 100 degree beam angle
- Max. 100 degree beam angle
- Max. 100 degree beam angle
- Max. 100 degree beam angle
- Max. 100 degree beam angle
- Max. 100 degree beam angle
- Max. 100 degree beam angle

Dimensions

D30 Wall Sconce Fixture: 4.00" H x 1.50" W x 1.50" D
277V Wall Sconce Fixture: 4.00" H x 1.50" W x 1.50" D

Lighting

- 277V Wall Sconce: 2000K, 1.5W, 150lm
- 277V Wall Sconce: 3000K, 1.5W, 150lm
- 277V Wall Sconce: 4000K, 1.5W, 150lm
- 277V Wall Sconce: 5000K, 1.5W, 150lm

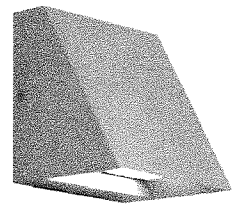
Additional Details

Product URL: [http://www.techlighting.com/indoor-outdoor-wall-sconce](#)
by Tech Lighting: TLP190024-001
Rating: ETL, UL, IES, ENEC

Product ID: TLP190024

Prepared by:

Prepared For:
Project:
Client:
Approved:



Created: May 2, 2012

TYPICAL WALL MOUNTED LIGHT FIXTURE

SEE FLOOR PLANS SYMBOL: (SHEET A1)

ULI-10022
Light Linear PT 1 Single Head Bollard

LIGMAN LIGHTING USA

Construction
Aluminum
Less than 0.1% copper content - Marine Grade 6061 extruded & LM6 Aluminum Light Pressure die casting provides excellent mechanical strength, clean detailed production lines and excellent heat dissipation.

Pre-paint
8 step degrease and anodize process that includes deoxidizing and etching, as well as a zinc and nickel phosphating process before product painting.

Memory Retentive - Silicon Gasket
Provided with special injection molded "fit for purpose" long life high temperature memory retentive silicon gaskets. Maintains the gaskets exact profile and seal over years of use and compression.

Thermal management
LM6 Aluminum is used for its excellent mechanical strength and thermal dissipation properties in low and high ambient temperatures. The superior thermal heat sink design by Ligman used in conjunction with the driver, controls thermal below critical temperature range to ensure maximum luminous flux output, as well as providing long LED service life and ensuring less than 10% lumen depreciation at 50,000 hours.

Area distribution bollard-integrated projectors.
Stylish but technically precise area lighting solutions as part of a large flexible family.

Light Linear PT Bollard is an elegant minimalist bollard that is suitable for both modern and classic architecture. Ideal for creating visual guidance with exceptional visual comfort. The dual sided optical chamber with integrated heat sink houses a range of field interchangeable optically controlled LED, providing type II, III, IV or V distribution, as well as variations of beam for precise light distribution requirements.

An example of this is using a combination of Type II and Type IV distribution optics inside the same fixture.

This product range is available in 2' and 3' options, as single & double head styles.

Customer specific wattages can be provided, contact the factory for more information.

This luminaire complies to Dark Sky requirements.

Bollards can be provided with GFCI boxes positioned to specific heights specified by the customer.

Internal house side shields are available as an option.

Optional: Security Bollard
The Light Linear Bollard is available as a traffic rated security bollard.

This security bollard provides restraint of vehicular traffic in unauthorized areas.

Impact evaluation shows this bollard will stop a 5,000 lb/2.75 ton vehicle, traveling at 30mph.

The galvanneal pole must be filled with concrete up to the waterproof driver housing to provide a solid concrete barrier.

55W LED - 8240 Lumens
IP65 - Suitable For Wet Locations
IK08 - Impact Resistant (Vandal Resistant)
Weight 26 lbs

TYPICAL PARKING LOT BOLLARD LIGHTING

SEE SITE PLAN SYMBOL: (SHEET A0)

EXTERIOR ELEVATION NOTES

1. EXISTING STUCCO TO REMAIN - COLOR "EXISTING"
2. STUCCO TO MATCH EXISTING
3. EXISTING WINDOW TO REMAIN PLANT WALL
4. NEW REPLACEMENT WINDOW TO MATCH (E) WOOD WINDOWS
5. NEW ACCESSIBLE ENTRY DOOR - WOOD TO MATCH EXISTING
6. HORIZONTAL TUBE STEEL GUARDRAIL FOR ACCESSIBLE RAMP / ENTRY

PRELIMINARY - NOT FOR CONSTRUCTION

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 AP. # 001-223-10



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REVISIONS	DATE	BY
EXTERIOR ELEV	6/15/21	SKS

ELEVATIONS

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT.

DATE: 5/22/20
SCALE: 1/4" = 1'-0"
DRAWN: SKS
JOB NO.
SHEET NO:

A2

GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.
2. SPECIAL INSPECTION OR STRUCTURAL OBSERVATION IS NOT A SUBSTITUTE FOR INSPECTION BY THE BUILDING OFFICIAL OR BUILDING INSPECTOR. SPECIALLY INSPECTED WORK THAT IS INSTALLED OR COVERED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL AND THE SPECIAL INSPECTOR AND DESIGN ENGINEER IS SUBJECT TO REMOVAL OR EXPOSURE.
3. FIELD VERIFY AND OTHERWISE BECOME FAMILIAR WITH ALL EXISTING IMPROVEMENTS. COORDINATE ALL WORK OF THIS CONTRACT WITH EXISTING SITE UTILITIES AND IMPROVEMENTS. BRING ALL CONFLICTS TO THE ATTENTION OF THE OWNER AND OBTAIN DIRECTION PRIOR TO PROCEEDING WITH THE WORK AFFECTED.
4. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY.
5. ALL LAYOUT AND GRADES SHOWN IN DRAWINGS TO BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. DISCREPANCIES FROM THE CONSTRUCTION DOCUMENTS TO BE BROUGHT TO ATTENTION OF LANDSCAPE ARCHITECT AND CIVIL ENGINEER. QUESTIONS REGARDING DIMENSIONS AND ELEVATIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT AND CIVIL ENGINEER.
6. CONTRACTOR TO LAYOUT ALL ASPECTS OF THE PROJECT IN FIELD FOR CONFIRMATION AND APPROVAL BY LANDSCAPE ARCHITECT AND CLIENT PRIOR TO PROCEEDING WITH CONSTRUCTION.
7. ALL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
8. BASE SURVEY INFORMATION SUPPLIED BY THE ARCHITECT. THE INFORMATION PROVIDED THEREIN IS NOT THE RESPONSIBILITY OF THE LANDSCAPE ARCHITECT.
9. LIMIT OF WORK SHOWN IS APPROXIMATE.
10. CONTRACTOR TO ESTABLISH/RE-ESTABLISH FINISH GRADES THROUGHOUT THE WORK AREA PRIOR TO COMPLETION OF THE WORK. FINISH GRADES AS NECESSARY TO INSURE PROPER DRAINAGE AND ELIMINATE AREAS OF PONDING. OBTAIN OWNER AND LANDSCAPE ARCHITECT APPROVAL OF FINISH GRADES PRIOR TO PLACEMENT OF EROSION CONTROL MEASURES.
11. CONSTRUCTION ACCESS OUTSIDE THE LIMIT OF WORK WILL BE BY PRIOR APPROVAL ONLY.
12. IDENTIFY LOCATIONS OF ALL EXISTING UTILITIES BEFORE DIGGING OR TRENCHING. CALL UNDERGROUND SERVICE ALERT (USA) PRIOR TO GROUND DISTURBBANCE (811 or 1-800-227-2600)

PLANTING AND SOIL PREPARATION NOTES

1. SOIL TESTING - PRIOR TO FINAL, DETAILED DESIGN, A SOIL FERTILITY REPORT SHALL BE COMPLETED. TESTING SHALL INDICATE SOIL PREPARATION REQUIREMENTS THAT SPECIFICALLY ADDRESS THE HORTICULTURAL REQUIREMENTS FOR NEW PLANTINGS.
2. REMOVE AND DISPOSE OF ALL EXCAVATED ASPHALT AND SUBGRADE ROADBASE FROM ALL PLANTED AREAS TO EXPOSE NATIVE SUBSOIL. EXCAVATE ALL PLANTING AREAS TO EXPOSE SUB-SOIL.
3. SCARIFY NATIVE SOIL / SUBSOIL FOR UNIFORM ROOT ZONE TO ANTICIPATED DEPTHS FOR ROOT BOX DEPTHS. A MINIMUM OF 8" OF NON-MECHANICALLY COMPACTED SOILS SHALL BE AVAILABLE FOR WATER ABSORPTION AND ROOT GROWTH IN PLANTED AREAS.
4. IMPORT FILL OR AMEND EX. SITE SOIL OF ENTIRE PLANTING AREA WITH LOCAL BLEND OF ORGANIC COMPOSTED GREENWASTE MATERIAL AND OTHER SPECIFIED ORGANIC AMENDMENTS AND FERTILIZERS, PER RATES DETERMINED BY APPROVED SOIL TESTING LABORATORY FROM SITE SOIL SAMPLES. A MINIMUM RATE OF 6 CU. YARDS OF GREENWASTE PER 1000 SQ. FEET SHALL BE ASSUMED PENDING APPROVED SOIL TEST RESULTS.
5. COORDINATE WITH LANDSCAPE ARCHITECT FOR FINAL SELECTION, APPROVAL AND PURCHASING OF ALL PLANT MATERIAL.
6. LANDSCAPE ARCHITECT TO VERIFY PLANT LOCATIONS AS STAKED IN FIELD BY LANDSCAPE CONTRACTOR PRIOR TO DIGGING OF PLANTING HOLES.
7. DIG PLANTING HOLES 2 TIMES WIDER THAN DIAMETER OF CONTAINER. BACKFILL PLANTING HOLE WITH AMENDED SOIL MIXTURE AS RECOMMENDED BY SOIL TESTING ANALYSIS. TEST ALL PLANTING PITS FOR DRAINAGE.
8. PRIOR TO PLANTING ALL SPECIFIED PLANTS, TEST DRAIN ALL PLANTING AREAS AS FOLLOWS:
 - a. PLANT OR TREE PITS: FILL WITH 12 INCHES OF WATER. WATER SHALL DRAIN COMPLETELY IN 48 HOURS.
 - b. PLANT BEDS: IRRIGATE UNTIL SOIL IS SATURATED. SATURATED CONDITION SHALL NOT REMAIN AFTER 24 HOURS.
9. DO NOT BURY THE CROWN OF THE PLANTS. THE SOIL LEVEL OF THE CONTAINER SHOULD BE MIN. 1" HIGHER THAN EXISTING GRADE FOLLOWING PLANTING. DO NOT BURY CROWN OF PLANT WITH BACKFILL MATERIAL.
10. MULCH TO BE FIBROUS SHREDDED OR CHIPPED BARK. APPLY TO ALL PLANTED AREAS BESIDES LAWN, FOLLOWING PLANTING TO A MINIMUM DEPTH OF 3". DO NOT PLACE MULCH AGAINST THE CROWN OR BASE OF PLANT. LEAVE A 4" GAP BETWEEN BASE OF PLANT AND MULCH. PAINTED OR DYED BARK AND 'GORILLA HAIR' ARE PROHIBITED.
11. PLANTING IS SCHEMATIC. FINAL PLANT PLACEMENT AND LAYOUT TO BE DONE IN THE FIELD BY LANDSCAPE ARCHITECT.
12. STAKE ALL TREES PER THE FOLLOWING GUIDELINES:
 - a. STABILIZATION OF TREES SHALL BE PERMITTED ONLY IF SITE CONDITIONS OR CONDITION OF TREE ARE SUCH THAT THE TREE IS ANTICIPATED TO BE UNSTABLE.
 - b. IF TREES MUST BE STAKED, PLACE STAKES AS LOW AS POSSIBLE BUT NO HIGHER THAN 2/3 THE HEIGHT OF THE TREE.
 - c. MATERIALS USED TO TIE THE TREE TO THE STAKE SHOULD BE FLEXIBLE AND ALLOW FOR MOVEMENT ALL THE WAY DOWN TO THE GROUND.
 - d. REMOVE ALL STAKING MATERIAL AFTER ROOTS HAVE ESTABLISHED. THIS SHOULD BE NO LONGER THAN ONE GROWING SEASON.
13. FOR GRAPHIC CLARITY, NOT ALL INDIVIDUAL PLANTS ARE LABELED ON THE PLAN. PLEASE SEE PLANT LIST LEGEND FOR PLANTS UNDER CONSIDERATION.
14. ALL TREES TO BE MINIMUM 15 GALLON CONTAINERS, STREET TREES TO BE 24" BOX OR LARGER.

PLAN PREPARER:

ROTH LAMOTTE
LANDSCAPE ARCHITECTURE
56 MANOR RD. FAIRFAX, CA
TEL: 415-451-8211

APPLICABLE CODES:

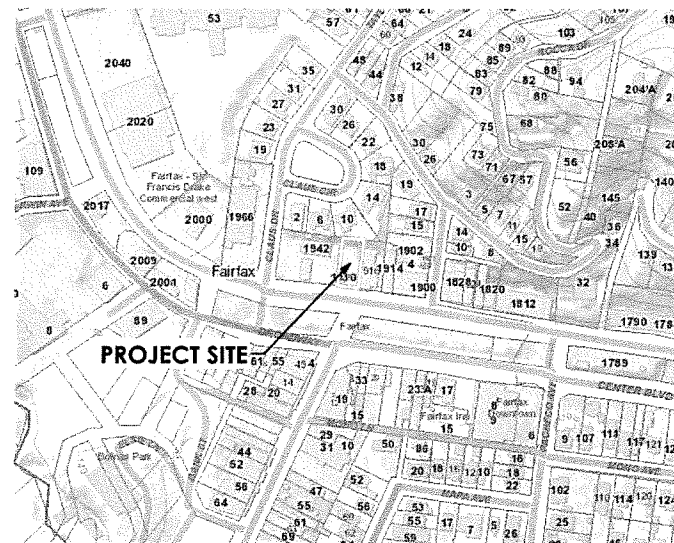
- CALIFORNIA RESIDENTIAL CODE 2016
- CALIFORNIA ENERGY CODE 2016
- CALIFORNIA ELECTRICAL CODE 2016
- CALIFORNIA PLUMBING CODE 2016
- CALIFORNIA MECHANICAL CODE 2016
- CALIFORNIA FIRE CODE 2016

SHEET INDEX

SHEET	TITLE OF SHEET
L0.0	COVER SHEET & NOTES
L1.0	CONCEPT PLAN

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
AGG	AGGREGATE
AL	ALUMINUM
APPROX.	APPROXIMATE
BC	BOTTOM OF CURB
B.O.	BOTTOM OF
BS	BOTTOM OF STEP
BW	BOTTOM OF WALL (FINISH GRADE)
CDR	CEDAR
CIP	CAST-IN-PLACE
CJ	COLD JOINT
CL	CENTERLINE
CTR	CENTER
CO	CLEANOUT
CONC	CONCRETE
CY	CUBIC YARDS
DI	DROP INLET
DS	DOWNSPOUT
(E)	EXISTING
EG	EXISTING GRADE
EJ	EXPANSION JOINT
FO	FACE OF
FFE	FINISH FLOOR ELEVATION
FS	FINISH SURFACE
FG	FINISH GRADE
FL	FLOW LINE
FTG	FOOTING
HDG	HOT DIP GALVANIZED
HT	HEIGHT
GB	GRADE BREAK
HB	HOSE BIB
HP	HIGH POINT
LD	LANDSCAPE DRAIN
LOG	LIMIT OF GRADING
LOW	LIMIT OF WORK
LP	LOW POINT
MAX	MAXIMUM
MIN	MINIMUM
(N)	NEW
NIC	NOT IN CONTRACT
N/A	NOT APPLICABLE
NOM	NOMINAL
OH	OVERHEAD
OC	ON CENTER
PA	PLANTED AREA
PTDF	PRESSURE TREATED DOUGLAS FIR
R	RADIUS
REQ'D	REQUIRED
RDWD	REDWOOD
ROW	RIGHT-OF-WAY
SIM	SIMILAR
SJ	SCORE JOINT
SS	STAINLESS STEEL
S.A.D.	SEE ARCHITECTURAL DRAWINGS
S.C.D.	SEE CIVIL DRAWINGS
S.S.D.	SEE STRUCTURAL DRAWINGS
TC	TOP OF CURB
TS	TOP OF STEP
TW	TOP OF WALL
TO	TOP OF
TYP.	TYPICAL
TW	TOP OF WALL
U.O.N.	UNLESS OTHERWISE NOTED
V.I.F.	VERIFY IN FIELD
WM	WATER METER



VICINITY MAP

56 Manor Road
Fairfax, CA 94930
roth@rothlamotte.com
tel: 415-451-8211
fax: 415-451-7009

Roth LaMotte
Landscape Architecture
CONSULTANT

ELEMENT 7
1930 SIR FRANCIS DRAKE BLVD
FAIRFAX, CA
APN: 001-223-10

COVER SHEET
& NOTES

Date: 5/22/20
File name: E7 Dispensary Plan GR.vwx

NO. DATE ISSUE NOTES

NO. DATE REV. NOTES

DATE:
5/18/20

SCALE
AS SHOWN

DESIGNED BY
GR

DRAWN BY
LR

CHECKED BY
GR

**DESIGN REVIEW SUBMITTAL
NOT FOR CONSTRUCTION**

L0.0

NO.	DATE	ISSUE NOTES

NO.	DATE	REV. NOTES

DATE: 5/18/20
 SCALE: AS SHOWN
 DESIGNED BY: GR
 DRAWN BY: LR
 CHECKED BY: GR

L1.0

FOR PROJECT NOTES SEE COVER SHEET L0.0

PLANTING SCHEDULE

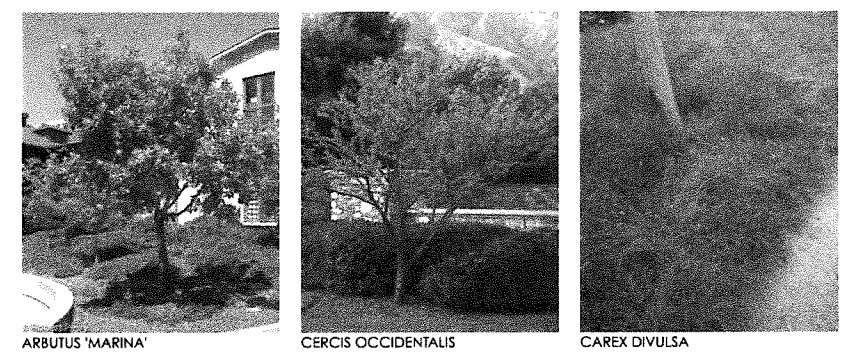
TREES						
ID	Qty	Botanical Name	Common Name	Size	Spacing Type	WUCOL Notes
ARB MAR	1	Arbutus 'Marina'	Arbutus 'Marina'	24" box	20'0"	Trees Low Standard
CER OCC	1	Cercis occidentalis	Western Redbud	24" box	12'0"	Trees Low Multi - Protect from Deer

SHRUBS / PERENNIALS						
ID	Qty	Botanical Name	Common Name	Size	Spacing Type	WUCOL Notes
CAR DIV	78	Carex divulsa	Berkeley Sedge	1 gal	2'0"	Perennial Grass Low
SAR CON	4	Sarcococca confusa	Sweet Box	15 gal	3'0"	Shrubs Low Formal screening hedge

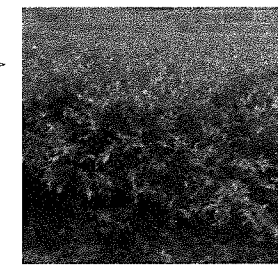
VINES/GROUNDCOVERS						
ID	Qty	Botanical Name	Common Name	Size	Spacing Type	WUCOL Notes

SCHEDULE NOTES:
 [1] QUANTITIES ON PLANT SCHEDULE ARE TO BE USED AS GUIDELINES ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE AND VERIFY THE ACTUAL QUANTITY OF ALL PLANT MATERIALS.

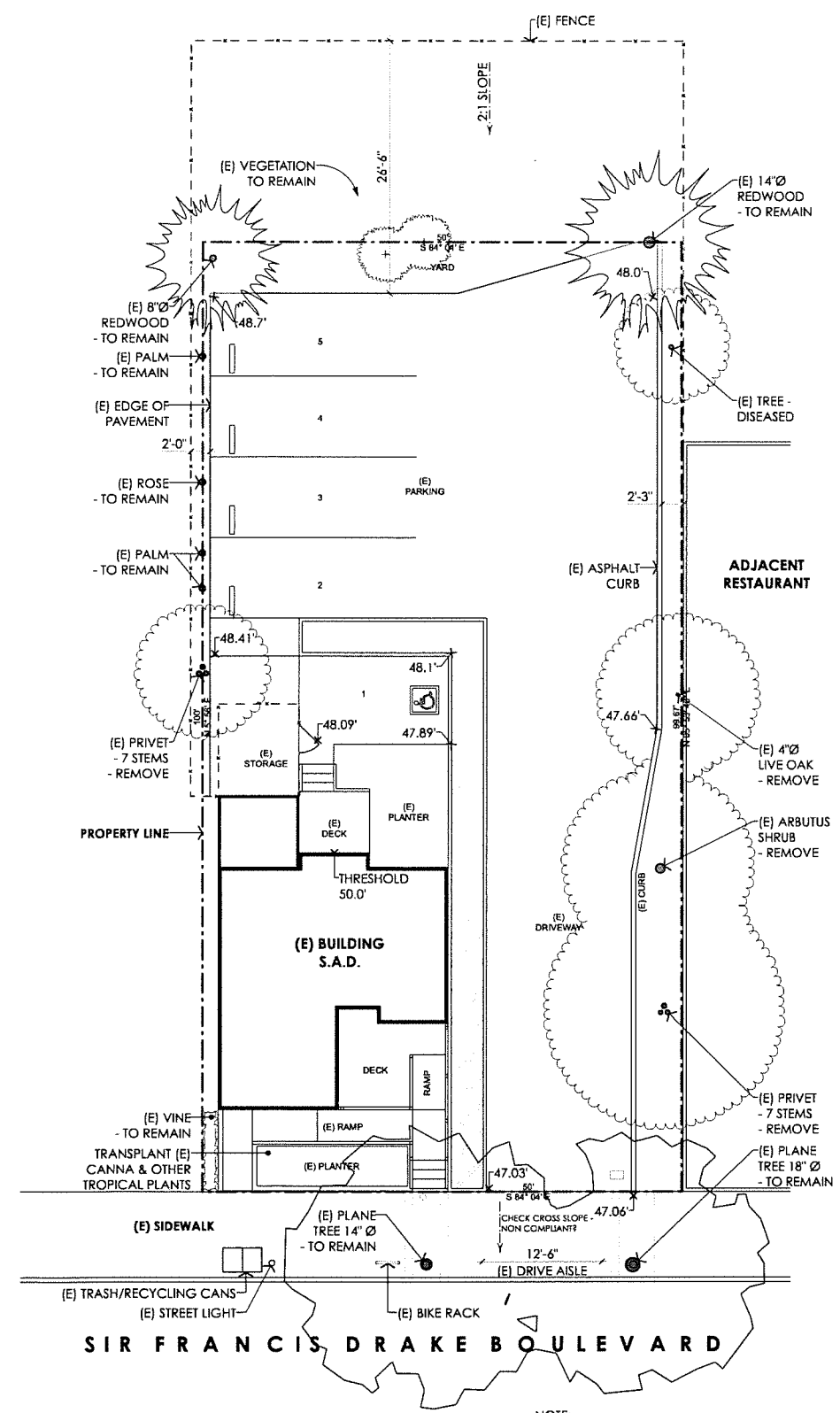
PLANT IMAGERY



ARBUTUS 'MARINA' CERCIS OCCIDENTALIS CAREX DIVULSA

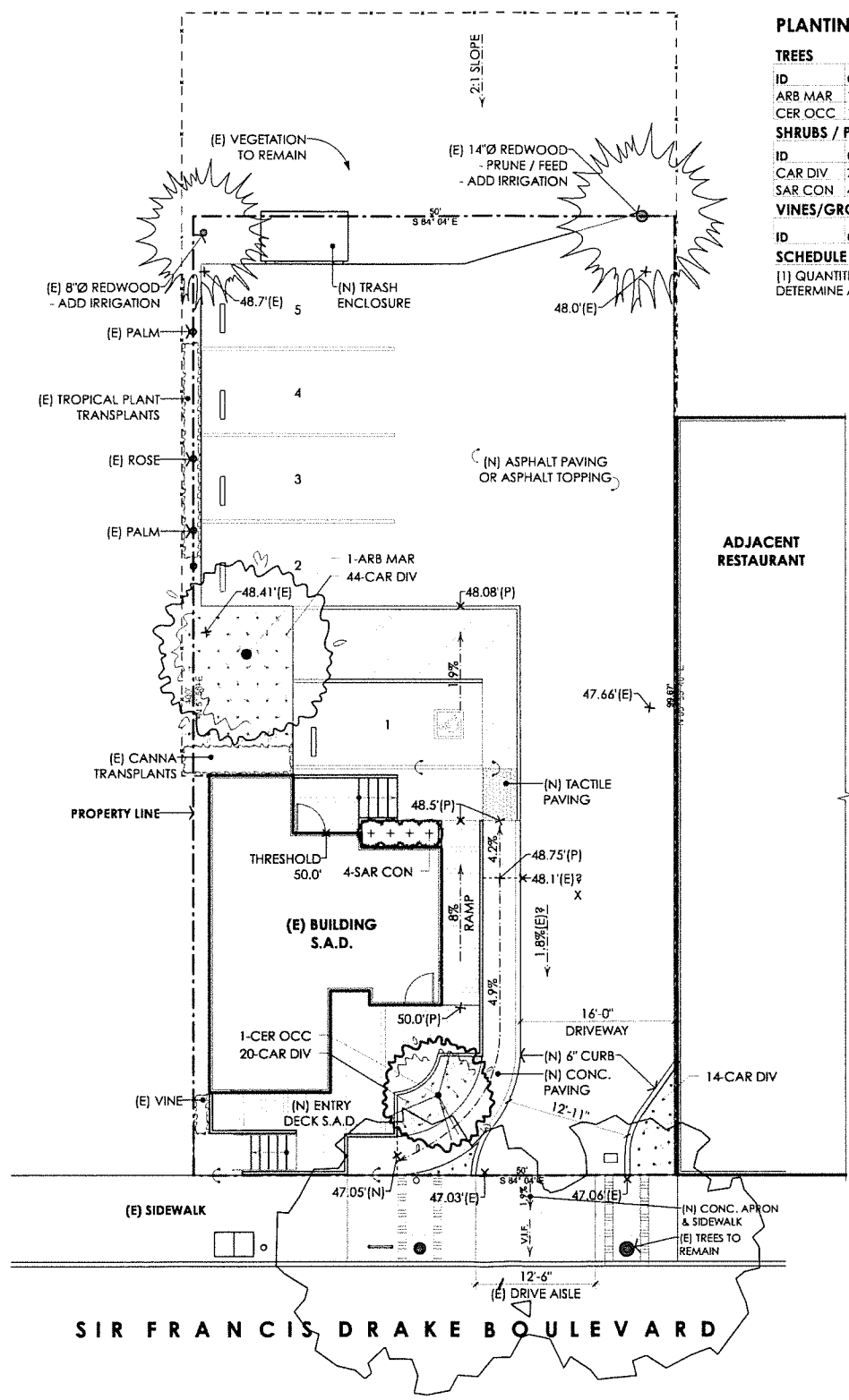


SARCOCOCCA CONFUSA

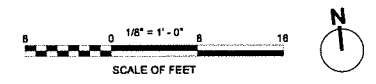


NOTE:
 SITE MEASUREMENTS, PROPERTY LINES AND SPOT ELEVATIONS ARE APPROXIMATE AND REQUIRE CONFIRMATION BY A LICENSED SURVEYOR.

1 EXISTING CONDITIONS
 L1.0 1/8" = 1'-0"



2 CONCEPT PLAN
 L1.0 1/8" = 1'-0"



DESIGN REVIEW SUBMITTAL
 NOT FOR CONSTRUCTION

PROPOSED IRRIGATION ZONES

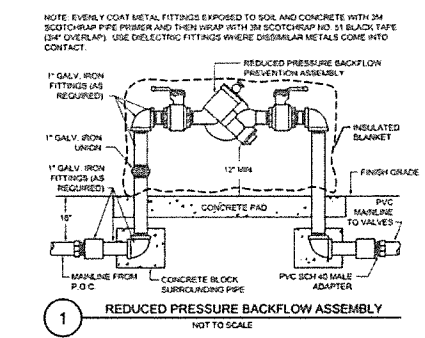
ID	AREA	TYPE	NOTES
1	EXISTING TREES	-	-
2	EXISTING SHRUBS	-	-
3	NEW SPECIMEN TREES	BUBBLER	2 PER TREE
4	NEW SHRUBS & PERENNIALS	DRIP	INLINE

HYDROZONES SUMMARY

HYDROZONE	SQ. FT.	IRR TYPE	% OF TOTAL
LOW	276 SF	DRIP	100%
MODERATE	0 SF	DRIP	0%
HIGH	0 SF	-	0%
SLA	0 SF	-	-
TOTAL:	276 SF		

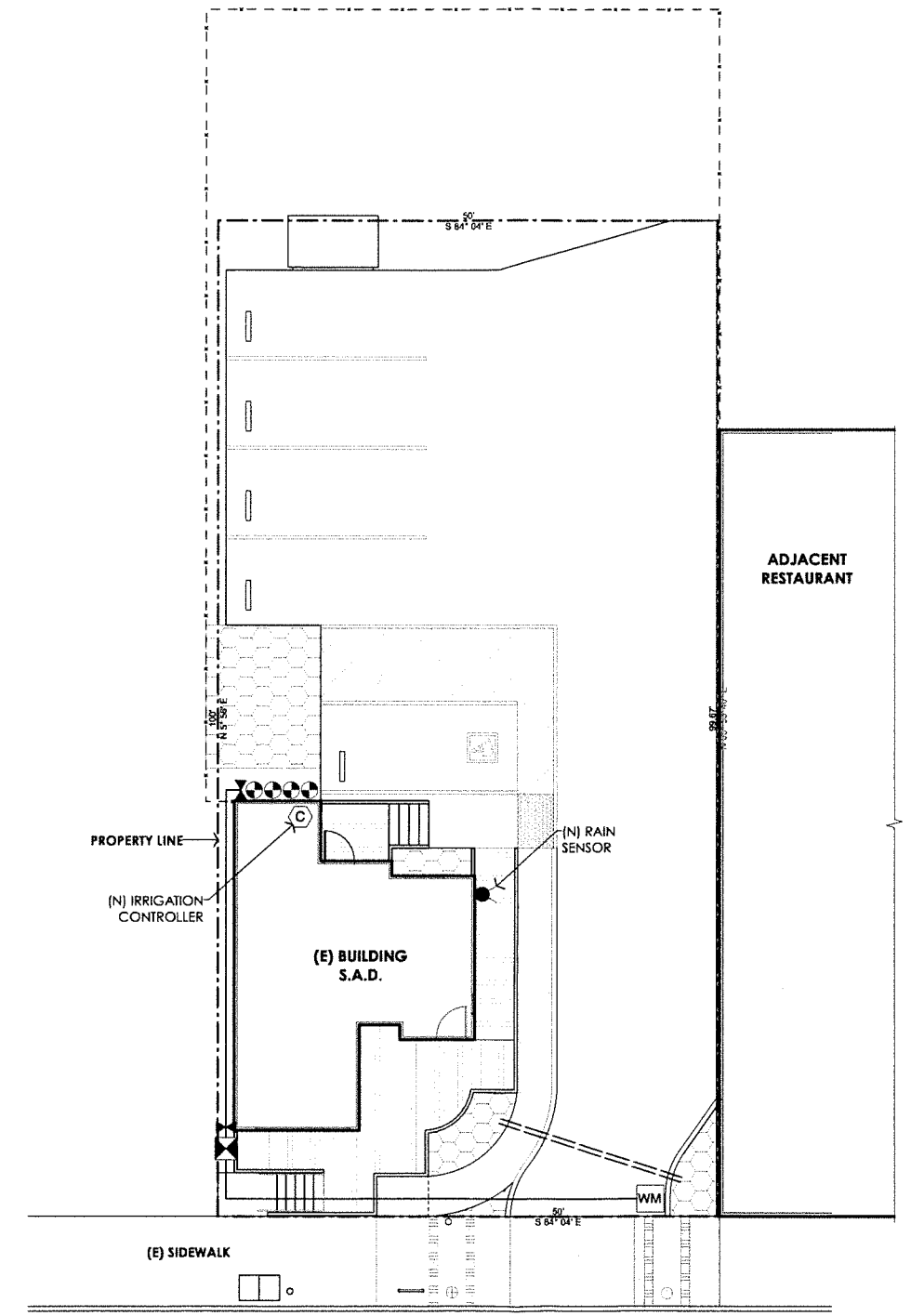
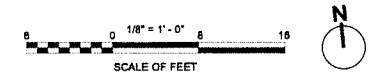
IRRIGATION LEGEND

SYMBOL	MODEL NUMBER	DESCRIPTION
☒	1 1/2 825Y-QT	FEBCO REDUCED PRESSURE BACKFLOW PREVENTER, ASSEMBLY WITH WYE STRAINER AND PRESSURE REGULATING VALVE W/ FROST GUARD
⊙	PRO-HC-24	HUNTER, HYDRAWISE, PRO HC
●	RAIN CLIK	RAIN SENSOR - RAIN CLIK
⊙	DZK-700-1-LF / LT-1000-T	TORO DRIP ZONE KIT
⊗	T-113-LF	NIBCO BALL VALVE (BY LINE SIZE)
WM	-	WATER METER #
—	-	MAIN LINE: 1 1/2" SCHEDULE 40 PVC, SOLVENT WELD PIPE WITH SCHEDULE, 40 PVC SOLVENT WELD FITTINGS (unless otherwise noted). 20' MIN. COVER 24" MAX., DIAM 1"
—	-	SLEEVE (SL): 1 1/2" CLASS 200 PVC PLASTIC PIPE, 24" COVER, DIAM, AS INDICATED.



IRRIGATION NOTES

1. THE IRRIGATION SYSTEM WILL BE DESIGNED TO DISTRIBUTE A MINIMUM AMOUNT OF WATER IN ORDER TO PROMOTE ACTIVE AND HEALTHY GROWTH OF ALL PROPOSED PLANTINGS.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED IN CONFORMANCE WITH MHWDO ORDINANCE 421 AND TITLE 13 AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, BY LICENSED CONTRACTORS AND EXPERIENCED WORKMEN.
3. THE IRRIGATION CONTROLLER SHALL BE AN AUTOMATIC WEATHER-BASED SYSTEM, RELYING ON SOIL MOISTURE, RAIN GAUGE OR OTHER LOCAL WEATHER-BASED CONTROLLING DEVICE.
4. ALL VALVES SHALL HAVE SEPARATE PRESSURE REGULATORS, FILTERS AND SHUT OFFS, AS NECESSARY.
5. THE SYSTEM SHALL HAVE A DEDICATED METER WITH SHUT-OFF AND REDUCED PRESSURE BACKFLOW PREVENTION DEVICE INSTALLED PER LOCAL ORDINANCE.
6. SPRAY AREAS SHALL NOT BE LESS THAN 8 FEET WIDE, PAVEMENT ADJACENT TO SPRAY AREAS WILL BE GRADED SO THAT OVERSPRAY WILL BE DRAIN INTO PLANTED AREAS.
7. DRIP IRRIGATION SHALL BE DESIGNED WITH RIGID SUBSURFACE LATERALS.
8. PLANTS WITH SIMILAR WATER NEEDS SHALL BE GROUPED TOGETHER IN HYDROZONES.



SIR FRANCIS DRAKE BOULEVARD

1 CONCEPT PLAN
 L1.1 1/8" = 1'-0"

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