

PROJECT DESCRIPTION

The project encompasses construction of an approximately forty-foot long retaining wall that varies from two feet to eleven feet in height to create a nine foot by twenty-two-foot parking space, and installation of an inclined lift up the north side property line providing access to the rear of the residence. Also included in the project is a minor modification of the front entry stairway to create a level landing for loading the inclined lift car. Construction of the parking space retaining wall requires the removal of two Coast Live Oaks. The face of the poured concrete wall will be textured with a "Board Form" finish which can be viewed on page A3 of the project plans. The wall and parking project encroach approximately eleven feet into the Forrest Terrace right-of-way.

BACKGROUND

The 6,119 square-foot, fifty-five-foot wide, site slopes up from Forrest Terrace at an average rate of 53%. The site is developed with a 1,544 square-foot, three-bedroom, two-bathroom single-family residence that was constructed in 1926. A portion of the frontage of the property is retained with a rock wall that matches the rock walls that run up either side of the entry stairway that consists of approximately ninety-five concrete, at grade, stairs that access the property and run up the southern side of the site to access the lower floor improved with one bedroom, one bathroom, a laundry room and a storage room before proceeding up the hill to access the rear patio. The main access is from the rear, east side, of the house into the upper main floor containing two of the three bedrooms, the kitchen, the living room and one of the bathrooms.

DISCUSSION

The project requires the approval of a Preferential Parking Permit, a Tree Removal Permit and Front Setback, Combined Front-Rear Setback, Minimum Side-yard and Combined Side-yard Setback Variances.

Preferential Parking Permit

As a result of the Oakland Hills Fires in 1994, the Fairfax Town Council adopted a Preferential Parking Permit process as Chapter 10.24, Preferential Parking Privileges for Newly Created Parking Spaces, contained in Town Code Title 10, Vehicles and Traffic.

The findings for the adoption of the ordinance which the Commission should keep in mind when reviewing this application include the following:

- (A) Parking spaces along the streets of the Town of Fairfax are at a premium due to the topography of the town and its many narrow, winding streets.
- (B) By the adoption of this Chapter 10.24, it is the intent of the town to contribute to the alleviation of crowded parking conditions by encouraging the owners and occupants of developed residential properties to create new and additional parking spaces where none now exist.

(C) In furtherance of that purpose, the public interest requires that persons investing private funds in the creation of such parking spaces be given preferential parking privileges wherever such spaces require the use of the right-of-way of a town street or other town property.

Resolution No. 1863 adopted by the Town Council on December 12, 1994, established the minimum monetary outlay required for the construction of parking to allow it to be processed with a Preferential Parking Permit (Attachment B). The amount was set at \$10,000. The 7 Forrest Terrace parking is estimated to cost approximately \$200,000 so it qualifies.

The proposed parking space parallel to Forrest Terrace is similar in design to many other parking spaces on upsloping properties along Forrest Avenue immediately adjacent to Forrest Terrace and throughout the hillsides of the Town. The Town's General Plan Land Use policies and the Hill Area Residential Development Ordinance of the Zoning Ordinance stress that excavation in the landslide prone hillsides of the Town should be minimized to decrease the potential for instability and disruption of the hillside environment. Creating parking parallel to the roadway minimizes the amount of excavation required to create parking and avoid site disturbance.

The project has been designed in accordance with accepted engineering principals and meets the intent of the Preferential Parking Permit process. The preliminary plans have been reviewed by the Ross Valley Fire Department, the Fairfax Police Department and the Fairfax Public Works Department and none of them found that the proposed parking would pose any significant danger to pedestrians or vehicles traveling on Forrest Terrace beyond that caused by other types of parking configurations. Therefore, the determination can be made that the project will benefit the public by getting one more car off a street that has limited on-street parking and several properties without on-site parking. Therefore, the approval of the Preferential Parking Permit is in the public interest [Town Code §10.24.020(B)(2)].

Excavation and Retaining Wall Height Variance

Preferential Parking Permit projects are not exempt from requiring excavation permits. However, this project will only require the excavation of 80.5 cubic yards of material and is not subject to the approval of an excavation permit by the Commission because it will not reach the one-hundred cubic yards that triggers that requirement (Town Code § 12.20.080).

Town code § 10.24.060 relieves Preferential Parking Permit projects from having to obtain any variances that might be associated with the construction of the improvements for the parking. Therefore, the eleven-foot-tall retaining wall, limited by Town Code 17.044.080(B)(1) to four feet in height along the property frontage, required to create the parking space, will not require the approval of a retaining wall height variance.

Minimum Front, Combined Front-Rear and Minimum and Combined Side-yard Setback Variances

The inclined lift is proposed along approximately eighty-three feet of the northern side property line starting at the front property line and maintaining a one-foot setback from the side property line as it extends up the hillside to the rear of the house. The existing residence maintains a twelve-foot setback from the south side property line so the inclined lift will maintain a minimum side-yard setback of one foot and a combined side-yard setback of thirteen feet. The inclined lift will start at the front property line, maintaining no front setback while the rear of the house maintains a twenty-nine-foot setback from the eastern rear property line. Town Code §17.080.070(B)(1) requires hillside lots such as the project site in the RS-6 Zone maintain a minimum front-yard setback of six feet and a combined front-rear setback of thirty-five feet and Town Code § 17.080.070(B)(2) requires that such lots maintain minimum side-yard setbacks of five feet and a combined side-yard setback of twenty feet. The inclined lift will maintain a minimum front setback of zero feet and a combined front-rear setback of twenty-nine feet, a minimum northern side property setback of one foot and a combined side-yard setback of thirteen feet. Therefore, the inclined lift requires the approval of a variance by the Planning Commission.

The site is small and narrow for a hillside property being fifty-five feet wide and 6,119 square feet in size. The location of the residence on the site and the existing access stairway as well as decks makes it impossible to locate the inclined lift somewhere else on the property and/or outside the required setbacks.

The neighboring house to the north at 5 Forrest Terrace maintains an approximately forty-foot setback from the inclined lift and the house to the south at 17 Forrest Terrace maintains approximately a 161-foot setback from the inclined lift. Therefore, visual and noise impacts from the inclined lift will be minimal. The owners of 5 Forrest Terrace have provided a written letter indicating they have no objections to the inclined lift location (Attachment C).

Different life phases make ascending approximately ninety-five stairs (85 stairs if you haul everything through the lower floor access and up the interior stairs to the kitchen) with groceries and other items difficult. People may have differing opinions on whether an inclined lift is a necessity for a hillside home. Staff believes that most people will have the need for such an improvement at some point in their lives. We know many people who have had to leave their homes in Fairfax over the years due to an inability to easily negotiate their extensive exterior stairways to their hillside homes. Several similar hillside elevators have been installed throughout the Town in the past. They were on larger lots in compliance with the setbacks and staff was able to approve the building permits for these ministerially.

The setback variances are the minimum required to allow the installation of the inclined lift on this property and staff believes the findings can be made to support this portion of the project. We have included these findings in the attached Resolution # 2022-07 as follows (staff suggested findings in bold italicized font):

- (1) Because of special circumstances applicable to the property, including size, shape, topography, location of surroundings, the strict application of this title will deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification; ***The steep 53% slope and narrow fifty-five foot width are special circumstances that result in the project being unable to maintain the required front, combined front-rear, minimum side and combined side yard setback requirements. Requiring a strict adherence to these setbacks will deprive the owner of the ability to install an inclined lift that will enable them to continually access their home throughout their lives and will be an improvement that will benefit future residents of this hillside residence.***
- (2) The variance or adjustment will not constitute a grant of special privilege, is consistent with the limitations upon other properties in the vicinity and under identical zone classification and is consistent with the objectives of this title; ***The hillside setback regulations were adopted in 1973 (Ordinance 352) making it difficult to make improvements to this site without encroaching into the increased minimum and combined setbacks. This is true of many of the hillside properties throughout Fairfax and where it is common to find properties that have been granted setback variances for improvements made after the 1973 adoption of Ordinance 352.***
- (3) The strict application of this title would result in excessive or unreasonable hardship; ***The strict application of the setback variances would make it impossible for the owner to make the improvements she feels are necessary for her to continue to enjoy living in her residence.***
- (4) The granting of the variance or adjustment will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated; ***The approximately forty foot setback from the house to the north at 5 Forrest Terrace, the approximately 161 foot setback from the house at 17 Forrest Terrace to the south and the thirteen foot combined side setback that will be maintained by the inclined lift will meet the intent of the setback regulations and therefore, the granting of the setback variances will not be detrimental to the public welfare or injurious to other property in the project vicinity.***

Tree Removal Permit

Construction of the parking will require/or required the removal of two Coast Live Oaks. The Tree Advisory Committee reviewed the proposal at their December 20, 2021, meeting and recommended that the Planning Commission approve the requested tree removal with no special conditions (Attachment D). Subsequent to the Tree Committee's recommendation that the Planning Commission approve the request to remove these two trees, PG & E removed them. The arborist report attached to the Tree Removal Recommendation permit also analyzed the health of two other Coast Live Oaks on the property that are in the vicinity of the proposed inclined lift. The owners

hope to retain these two trees (tree numbers 1 and 2 in the attached arborist report contained in attachment D). Staff included conditions in Resolution No. 2022-07 that mimic the recommendations of the arborist as follows:

Staff recommends that the Commission approve the requested tree removal permit because the proposed removals are necessary "To allow the owner(s) to reasonably develop and use the subject property" for the project [Town Code § 8.26.060(B)(4)].

Other Agency/Department Comments/Conditions

Ross Valley Fire Department (RVFD)

RVSD submitted in writing the following requirements for the project which are incorporated into conditions of approval in the attached resolution and summarized as follows:

Encroachment shall be revocable, future improvements to the structure or neighboring structures may require that the existing Forrest Avenue fire lane be widened to twenty feet removing/incorporating the parking into the roadway improvements, the parking deck will need to meet minimum standards with regard to weight bearing, property shall remain clear of hazardous vegetation for the life of the property, backlist address letters at least four inches tall must be placed adjacent to the front door and if these are not visible to first responders from the street, additional numbers must be provided at the street frontage, and the applicant may propose alternative materials or methods in the plans submitted for building permit approval of complying with fire conditions in accordance with Town Code Chapter 8, §8.06.011, section 103.3 (California Fire Code Administration).

Marin Municipal Water District (MMWD)

MMWD submitted in writing the following comments:

The proposed project will not impact the District's ability to continue service to the property, the property must comply with all indoor and outdoor requirements of District Code Title 13 – Water Conservation as a condition of water service and should backflow protection be required, said protection shall be installed as a condition of water service.

Other Agency/Department Condition/Comments

No other agencies or departments had any comments or conditions to place on the project.

ATTACHMENTS

Attachment A – Commission Resolution No. 2022-07

Attachment B – Town Council Resolution No. 1863

Attachment C – Letter of support from owners of 7 Forrest Terrace

Attachment D – Tree Removal Permit recommendation

Attachment E – Revocable encroachment form

RESOLUTION NO. 2022-07

A Resolution of the Fairfax Planning Commission Approving a Preferential Parking Permit for an On-Street Parking Space Along the Street Frontage and a Tree Removal Permit, Front Setback, Combined Front-Rear Yard Setback, Minimum Side-yard Setback, and Combined Side Setback Variances for the Construction of an Inclined Lift at 7 Forrest Terrace

WHEREAS, the Town of Fairfax received an application on December 1, 2021, from owner Nathalie Worthington to construct an off street parking space by building a nine foot by twenty-two-foot parking space that encroaches approximately 11 feet within the Forrest Terrace right-of-way for an existing three-bedroom, two-bathroom single-family residence and to install a inclined lift and perform a minor remodel of the existing front access stairway to provide a loading area for that lift at 7 Forrest Terrace; and,

WHEREAS, based on the plans and other documentary evidence in the record, the Planning Commission has determined that the applicant has met the burden of proof required to support the findings necessary to approve the project with certain conditions of approval as listed below; and

WHEREAS, the Commission has determined, based on the recommendation of the Principal Planner at the direction of the Director of Planning and Building Services, that the creation of the proposed parking space is in the public interest as it will assist in decreasing the parking congestion within the Forrest Terrace right-of-way by providing one off-street parking space for the resident of 7 Forrest Terrace; and

WHEREAS, the cost to construct the parking has been determined to be approximately \$200,000, exceeding the \$10,000 threshold warranting the granting of preferential parking privileges to the owner of 7 Forrest Terrace for her exclusive use of the space once constructed; and

WHEREAS, the Town Engineer, after reviewing the project plans by SKS Architects and LTD Engineering, received by the Town on February 16, 2022, recommends that the project can be constructed in compliance with both the preferential parking ordinance and California Building Code without impacting neighboring residences, the public right-of-way and pedestrian and vehicular safety for those using the Forrest Terrace right-of-way as long as the conditions below are complied with; and

WHEREAS, the Planning Commission finds the following with respect to Preferential Parking Permit and the front, combined front-rear, minimum and combined side-yard setback variances:

Preferential Parking Permit (Town Code Chapter 10.24)

The Commission finds that in accordance with Town Code Chapter 10, Vehicles and Traffic, § 10.24.020(B)(2), the construction of the parking space being proposed parallel to Forrest Terrace along the frontage of the property at 7 Forrest Terrace is in the public interest; and

Tree Removal Permit (Town Code Chapter 8.36)

The Commission finds that in accordance with Town Code Chapter 8 the requested tree removals are approved because the proposed removals are necessary to allow the owner to reasonably develop and use the subject property for the project [Town Code § 8.26.060(B)(4)].

Variance Findings [Town Code 17.028.070(A)(1 through 4)]

1. Because of special circumstances applicable to the property, including size, shape, topography, location of surroundings, the strict application of this title will deprive the applicant of privileges enjoyed by other property owners in the vicinity and under identical zone classification. Due to the steep 53% slope and narrow fifty-five-foot width of the site, the strict application of the required minimum six foot front-yard setback, combined thirty-five foot Front-Rear setback, minimum five foot side-yard setback and combined twenty-foot side yard setback, would prohibit the owner from installing an inclined lift to ease the effort required to access the main house entrance which is located on the second floor, ninety feet up the 53% inclined site.
2. The variance or adjustment will not constitute a grant of special privilege, is consistent with the limitations upon other properties in the vicinity and under identical zone classification and is consistent with the objectives of this title. A few of the lots on Forrest Terrace and many of the lots on Forrest Avenue, created by "Map No. 2, Deer Park" subdivision map approved by the Board of Supervisors of the County of Marin on October 6, 1908, are narrow measuring only forty-eight to fifty feet wide. Parking and front entrance access stairs for many properties on both the upslope and downslope sides of Forrest Terrace extend into the front and side yard setbacks and sometimes into the public right-of-way due to Forrest Terrace not being developed to its full forty-foot roadway easement width; and,
3. Early residences in Fairfax such as this one constructed in 1926 were often built at the top of properties for view and sunlight purposes with no thought given to the difficulties locating the houses in such a manner would propose when transporting supplies into the residence. A head in garage would require the excavation of a substantial amount of material and would disturb a much larger area of the natural hillside. The strict application of this title would result in excessive or unreasonable hardship because the owner would be unable to render accessible access to the main entrance of the home located ninety feet up a 53% inclined site except at a much greater expense and with more disturbance to the hillside site.
4. The inclined lift would be located along approximately eighty-three feet of the northern side property line starting at the front property line and maintaining a one-foot setback from the side property line as it extends up the hillside to the rear of the house. The neighboring house to the north at 5 Forrest Terrace maintains an approximately forty-foot setback from the inclined lift and the house to the south at 17 Forrest Terrace maintains approximately a 161-foot setback from the inclined lift. The visual and noise impacts from the inclined lift will be minimal on nearby properties. Therefore, the granting of the

variance of adjustment will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with the following conditions:

Conditions of Approval

1. The Building Official shall review and approve the entire body of information for the project including engineering reports and the construction drawings prior to issuance of the project building permit referring them to the Town Engineer or the outside plan checker engineer for a second review if he deems it necessary.
2. The owner shall record the Revocable Encroachment Permit for the parking prior to issuance of the building permit for the project and provide a copy of the recorded document to the Town Planning and Building Services Department.
3. The applicant shall comply with any building permit conditions of the Fairfax Building Official, Public Works Director/Manager, Town Engineer, Ross Valley Fire Department, Marin Municipal Water District and Ross Valley Sanitary District.
4. This approval is limited to the development shown on the plans provided to the Planning Commission at their March 24, 2022, meeting and received by the Town on February 16, 2022 by Stewart Summers, Architect and LTD Engineering.
5. Prior to issuance of a building permit, the applicant or his assigns shall submit a bond, cash deposit or letter of credit to the Town in an amount that will cover the cost of grading, weatherization, and repair of possible roadway damage and the completion of the parking should it not be completed as approved by the Planning Commission.
6. The applicant shall submit contractor's estimates for any grading, site weatherization and improvement plans for approval by the Public Works Director. Upon approval of the contract costs, the applicant shall submit a cash deposit, letter of credit or bond equaling 100% of the estimated construction costs.
7. Prior to issuance of the building permit, the applicant shall provide the Public Works Department with a video of the access streets to be used during construction. The Public Works Director shall decide prior to the project final, regarding street resurfacing and repair that may be required as a result of damage and wear and tear from project vehicles.
8. Prior to issuance of the building permit, the applicant shall submit a Construction Management Plan subject to review and approval by the Building Official/Public Works Manager. The plan shall include:

- a) Construction delivery routes approved by the Department of Public Works
 - b) Construction schedule (deliveries, worker hours, etc.)
 - c) Notification to area residents
 - d) Emergency access routes; and
 - a. Parking plan to minimize the impacts of contractor/employee vehicles and construction equipment on neighborhood parking
9. During the construction process the following shall be required:
- a. The project engineer shall be on-site during the parking space grading process and prior to installation of the retaining wall shall submit written certification to the Town staff that the grading has been completed as designed and recommended.
 - b. All construction related vehicles including equipment delivery, cement trucks and construction materials shall always be situated off the travel lane of the adjacent public right(s)-of-way. This condition may be waived by the building official on a case-by-case basis with prior notification from the contractor.
 - c. Additionally, any proposed temporary closure of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
10. Prior to the project final inspection, the following shall be completed:
- a. The project engineer shall field check the completed project and submit written certification to Town Staff stating that the retaining, grading and drainage elements have been installed in conformance with the approved building plans.
 - b. The Building Official shall field check the completed project to verify that the work has been installed as per the approved plan.
 - c. The Planning Department shall field check the completed project to verify that all conditions, if there are any, of the Planning Commission have been complied with prior to the final inspection.
11. Excavation shall not occur between October 1st and April 1st of any year. The Town Engineer has the authority to waive this condition depending upon the weather.
12. The applicant shall comply with the Town Noise Ordinance Chapter 8.16 of the Fairfax Town Code.
13. Any changes, modifications, additions, or alterations made to the approved set of plans will require approval of the Planning Commission. Any construction based on plans that

have been altered without the benefit of an approved modification will result in the job being immediately stopped and red tagged.

14. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director, or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel.
15. Prior to issuance of the building permit the project arborist shall do further investigation to determine if Tree # 1, a Coast Live Oak, can be retained. If the arborist determines there is no way to retain the tree and provides a written explanation to the Town which is approved by the Town Arborist at applicant's expense, tree # 1 may be removed.
16. The project arborist shall be on-site during the excavation within ten feet of tree #2 and excavation shall be done by hand to expose and preserve as many roots one inch or larger in diameter as possible.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Front yard, Combined Front-Rear yard, Minimum/Combined Side Yard Setback Variances for an inclined lift and the Preferential Parking Permit granting exclusive parking rights for the use of the parking depicted in the plans dated received by the Town of Fairfax on February 16, 2022, drawn by Stewart Summer, Architect and LTD Engineering, will not cause significant visual impacts on neighboring residences or obstruct the flow of pedestrian or vehicular traffic along Forrest Terrace and the proposed project is in compliance with the Fairfax Town Code and Fairfax Zoning Ordinance and will benefit the property owners and the general public.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on March 24, 2022, by the following vote:

AYES:
NOES:
ABSTAIN:

Chair, Norma Fragoso

Attest:

Linda Neal, Principal Planner

RESOLUTION NO. 1863

A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF FAIRFAX SETTING A FILING FEE AND ESTABLISHING A THRESHOLD FOR PRIVATE FUNDS EXPENDED TO QUALIFY FOR PREFERENTIAL PARKING PRIVILEGES

WHEREAS, The Fairfax Town Council has adopted Ordinance No. 636 establishing preferential parking privileges for persons creating new vehicle parking spaces; and

WHEREAS, the Ordinance allows the Town Council to determine the amount of a filing fee; and

WHEREAS, the Ordinance requires that an applicant demonstrate that the creation of the parking space will require the investment of private funds in an amount to be determined from time to time by the Town Council.


NOW, THEREFORE, BE IT RESOLVED, that the Fairfax Town Council set a filing fee of one hundred dollars (\$100.00) plus required signage at cost and establish a threshold for private funds expended on creating a new parking space in the amount of ten thousand dollars (\$10,000.00).

The Foregoing Resolution was duly and regularly adopted by the Town Council of the Town of Fairfax, County of Marin, State of California, at a regular meeting thereof, held on the 12th day of December, 1994, by the following vote, to wit:

AYES: Brandborg, Egger, Vanni, Mayor Peterson

NOES: None

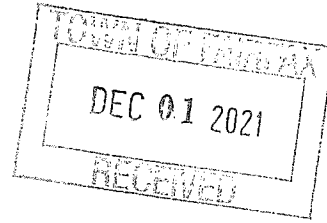
ABSENT: Wilson


SUE PETERSON, MAYOR

ATTEST:


JUDITH ANDERSON, TOWN CLERK

Fairfax Building and Planning Department
Fairfax Town Hall
142 Bolinas Rd,
Fairfax CA 94930



Regarding: Proposed Hill Hiker on Nathalie Worthington's property at 7 Forrest Terrace, Fairfax

Greetings Fairfax Planning Department,

We are Nathalie's neighbors to the west, and in closest proximity to the proposed "hill hiker" .

We have no objection to this feature being built on Nathalie's property even though she doesn't have room for the standard set backs. A variance seems appropriate in this case in our opinion.

Thank you,

Heather Kusimo
Ben H.



TOWN OF FAIRFAX

142 BOLINAS ROAD, FAIRFAX, CALIFORNIA 94930
(415) 453-1584 / FAX (415) 453-1618

Date: December 21, 2021

Permit #21-T-101

NOTICE OF TREE COMMITTEE ACTION

This action may be appealed to the Fairfax Town Council within 10 days of the Tree Committee decision. This permit is not in effect until the 10 day appeal period is over.

Request for a tree permit to remove: (2) Coast Live oak

Address of Tree(s) to be removed: 7 Forrest Terrace

Applicant's Phone: Nathalie Worthington (727) 510-7573

On December 20, 2021 the Fairfax Tree Committee took the following action on the above referenced tree permit application:

FOR RECOMMENDATION TO PLANNING COMMISSION ONLY

 X APPROVED - Childers moved to approve this recommendation to the Planning Commission, seconded by Pugh.

Vote

Benson - Aye

Childers - Aye

Pugh - Aye

Richardson-Mack - Aye

Romaidis - Aye

Item 8 Vote Ayes-5, Noes-0

REMINDER: PLEASE KEEP PERMIT NOTICE UP DURING THE 10 DAY WAITING PERIOD

 CONTINUED

 DENIED

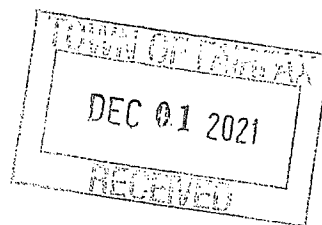
CONDITIONS OF APPROVAL:

THIS APPROVED APPLICATION IS YOUR PERMIT-KEEP IT ON THE JOB SITE. FAILURE TO HAVE THE PERMIT ON THE SITE WHILE THE TREE WORK IS IN PROGRESS MAY RESULT IN THE WORK BEING HALTED UNTIL YOU SHOW PROOF OF APPROVAL.

Please verify that the tree company performing the work has a current Fairfax Business license and worker's compensation coverage.

THIS TREE PERMIT EXPIRES IN SIX MONTHS. If necessary, you may apply for an extension in writing prior to the expiration date.

Fairfax Building and Planning Department
Fairfax Town Hall
142 Bolinas Rd,
Fairfax CA 94930



Regarding: Proposed Hill Hiker on Nathalie Worthington's property at 7 Forrest Terrace, Fairfax

Greetings Fairfax Planning Department,

We are Nathalie's neighbors to the west, and in closest proximity to the proposed "hill hiker" .

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Thank you,

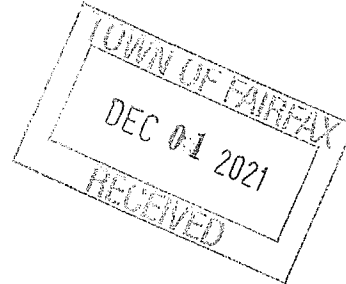
Heather Kusner
Ben M.



November 18, 2021

Town of Fairfax
Community Development Department

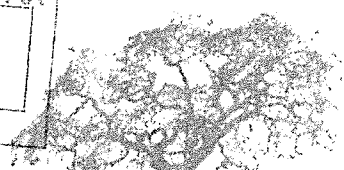
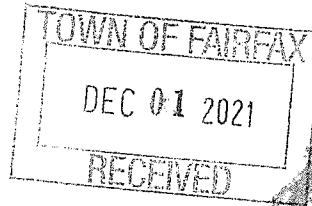
Re: 7 Forrest Terrace
Fairfax, CA 94930
A.P. # 002-141-23



PROJECT NARRATIVE

The project proposed at 7 Forrest Terrace has two components.

1. A parking space is proposed at the downhill side of the property on Forrest Terrace. Due to the front boundary being located many feet horizontally and vertically from the edge of paving, The proposal is to construct a retaining wall and a parking space located in the ROW (Right of Way).
2. A Hill Hiker is proposed at the side of the property to provide reasonable access for the occupant and anyone visiting the property to the entrance of the existing home. Currently the entry to the home is over 50 vertical feet from the street and over 90 stairs thus the proposal appears a rational request.



Client: Nathalie Worthington
Arborist: Zach Vought
Project Address: 7 Forrest Terrace, Fairfax
Inspection Date: April 6, 2021

URBAN FORESTRY ASSOCIATES, INC.

SUMMARY

Two Heritage-size oak trees will be removed. A mature Coast live oak tree and Valley oak tree have a potential to be impacted by the project but are scheduled to be preserved and protected. Tree-3 has already been scheduled for removal by PG&E but was included in this report as it is near the proposed parking area and it is unclear when PG&E it will be removed. Two small oaks, located on the neighboring parcel (002-141-71) may be impacted by the excavation for the parking deck but can likely be preserved with slight alterations of the parking area.

ASSIGNMENT/ BACKGROUND

I was hired by Nathalie Worth to evaluate trees that could be impacted as a part of a hillside elevator and parking improvement project on her residential property in Fairfax. I visited the site on April 6, 2020 to visually assess document the trees.

ASSESSMENT

Photographs of the trees can be found in Figures 1-4.

Tree #	Common Name	Botanical Name	Trunk Circumference (inches)	Health	Structure	Form	Comments	Conclusions
1	Coast live oak	<i>Quercus agrifolia</i>	48	Good	Good	Fair to Good	The tree is located within a couple feet of the proposed hillivator. Further field investigation will be required to evaluate the possibility of retaining this tree. However, the tree may be significantly impacted by the excavation required for the hillivator.	Further analysis is necessary to determine if this tree can be retained. The goal is to keep this tree.
2	Coast live oak	<i>Quercus agrifolia</i>	47	Good	Good	Fair to Good	The hillivator will be constructed within a few feet of this tree and may be impacted by the project.	All excavation within 10 feet of this tree should be performed by hand to expose and preserve as many roots one-inch or larger in diameter as possible.
3	Coast live oak	<i>Quercus agrifolia</i>	58	Good	Fair	Poor	While this tree would be impacted by the proposed parking area, it is reportedly earmarked for removal by PG&E, presumably due to safety concerns. The root zone is severely limited due to the existing stairway and road cut bank. The canopy is oriented over the powerlines.	Tree is slated for removal by PG&E.
4	Coast live oak	<i>Quercus agrifolia</i>	51	Good	Fair	Fair	The limbs from this tree are conflicting with the service drop lines to the house. The canopy is severely asymmetric and oriented downslope over the road and powerlines. A soil cut for the proposed parking area will impact the rootzone of this tree.	This tree should be removed for safety and due to expected construction impacts.

On an adjacent parcel (APN 002-141-71), there are two small Coast live oak trees shown on the survey near the proposed parking area. As shown a large soil cut will occur near these trees. The trees appear relatively healthy but lean severely downslope over the road. See Figure 1.

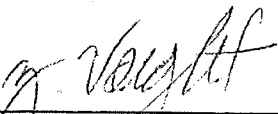
DISCUSSION/CONCLUSIONS

- Tree-1 is located close to the proposed hillivator and may be significantly impacted. Ms. Worth is interested in retaining this tree and protecting it during construction. The hillivator is shown within a few feet of this tree. I have not reviewed details for the hillivator, however, piers are typically used to support the structure. Any excavation within ten feet of this tree should be carefully dug by hand to expose and cleanly cut roots or shift the pier to avoid roots 2-inches in diameter or larger. Trunk protection should be provided either via strapped 2x4's attached to the trunk or with an osb box built around the trunk.
- Tree-2 is a mature Valley oak. The tree appears healthy and stable. As discussed for Tree-1, hand excavation should be utilized to minimize impacts to this tree. Exclusion fencing should be installed to protect this tree during construction. See detail on Page 4.
- Tree-3 has apparently been identified as a hazard to the electric distribution lines and has been earmarked for removal by PG&E. I agree with this course of action as the tree has a severely limited root zone and lean downslope. This is a protected tree that would normally require a permit, but it is unclear how this is handled when PG&E decides to remove trees.
- Tree-4 are expected to be significantly impacted by the proposed hillivator and cut for the new parking space and are slated for removal.

Oaks on neighbor's property

The design could most likely be altered slightly to increase the clearance between the trees and the cut for the new parking space. Ideally the closest soil cut would occur no closer than four feet from the trees.

- The contractor should adhere to the Arborist's Checklist items included on Page 5. If there are questions or concerns regarding the type and location of tree protection measures, I am happy to discuss alternatives.
- Prior to and during construction irrigation is a good option to promote the health of leave trees, especially Tree-1 and Tree-2.
- To mitigate the loss of the oak trees I understand Ms. Worth is prepared to plant replacement trees or shrubs. I recommend purchasing 15-gallon size nursery stock. Toyon (*Heteromeles arbutifolia*), California buckeye (*Aesculus californica*), Vine maple (*Acer cercinatum*), Coast silk tassel (*Garrya elliptica*), Western red bud (*Cercis occidentalis*) are some native tree and shrub species to consider.



Zachary Vought, Urban Forester
Registered Consulting Arborist #691
ISA Board Certified Master Arborist WE-9995B
ISA Qualified Tree Risk Assessor

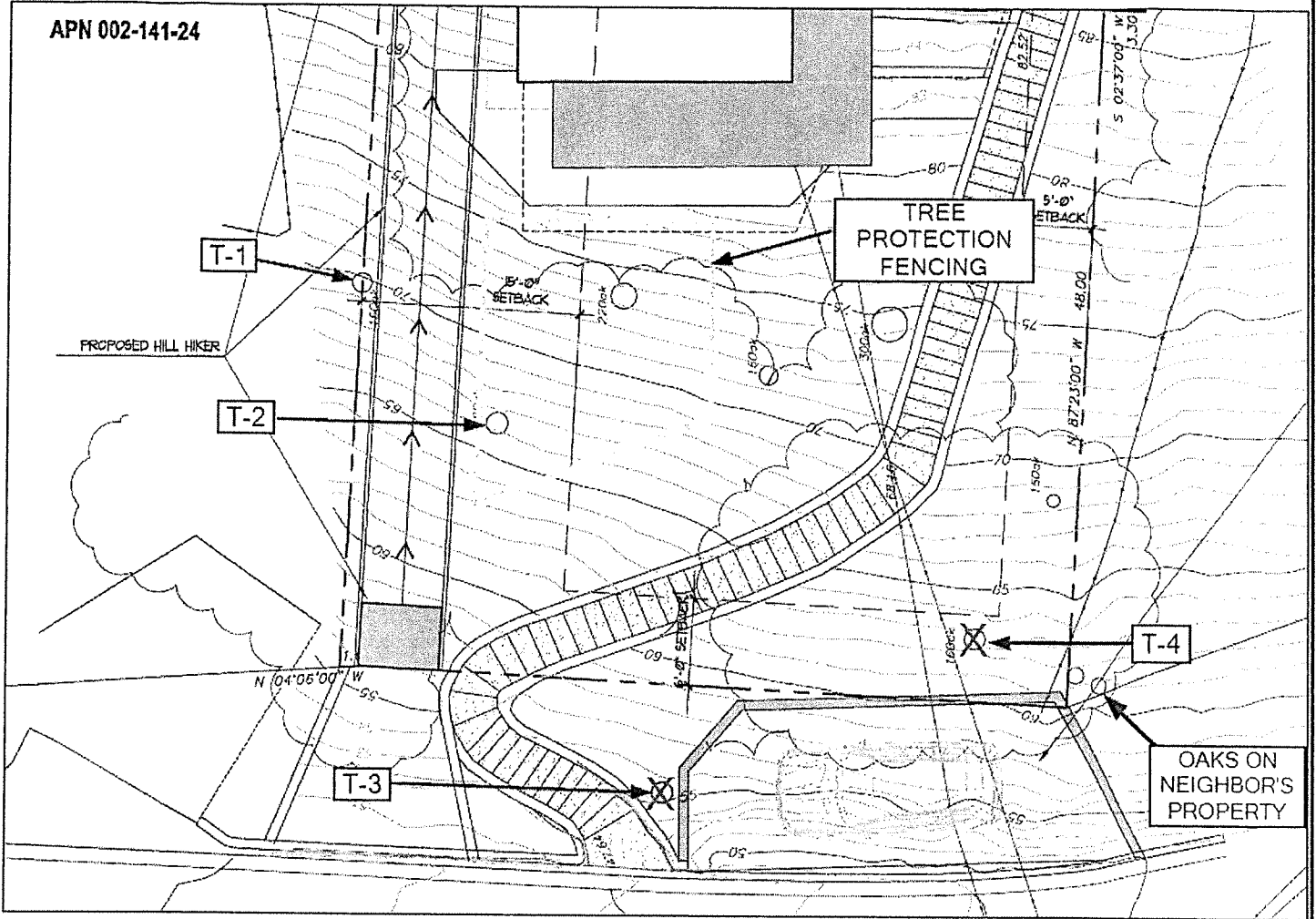
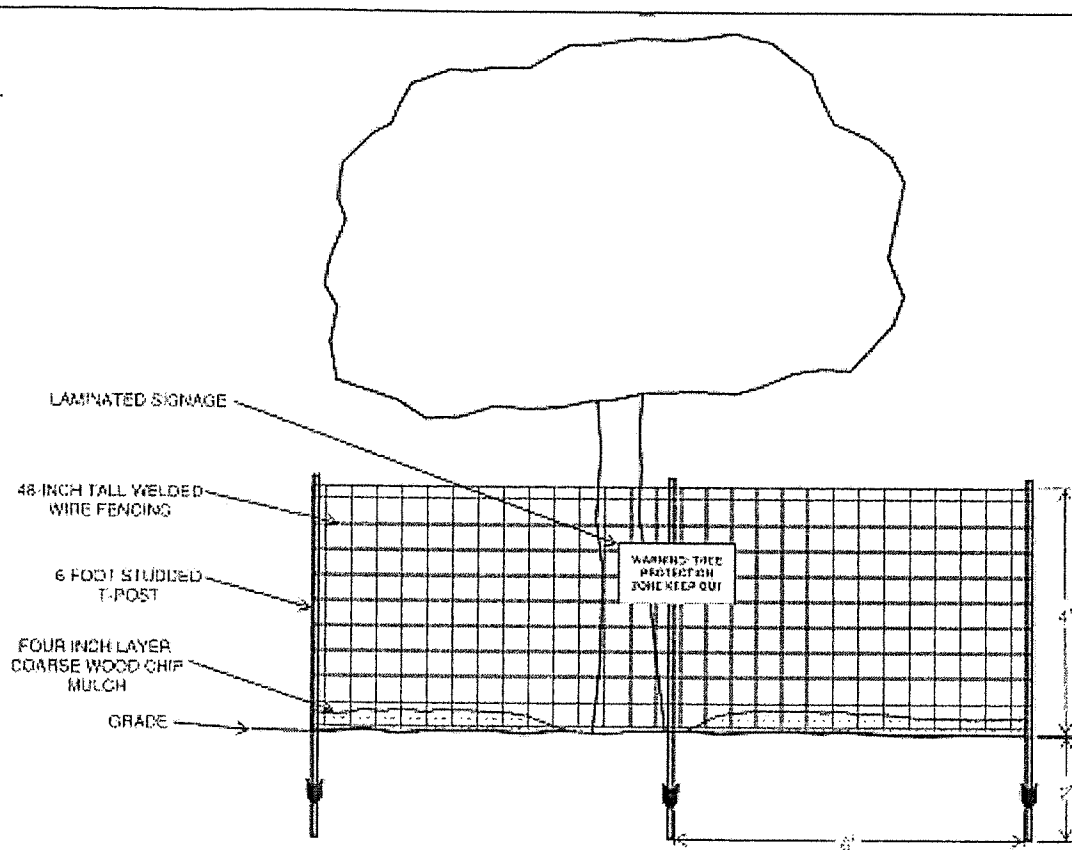


Figure 1. Annotated Screenshot of the preliminary site plan.



TREE PROTECTION FENCING

1. Four foot tall welded wire fencing shall be used to create the Tree Protection Zone (TPZ) as shown on the Arborist's Map. Orange Plastic construction fencing may be placed on the outside of the wire fencing but is not a substitute for the wire fencing.
2. Fencing shall be supported by six foot tall studded metal t-posts installed six feet on center.
3. Material storage is not permitted within the TPZ.
4. Laminated signs shall be attached to fencing and read "Warning: Tree Protection Zone Keep Out" in English and Spanish. Signs shall be kept visible throughout the project. Failure to comply with the tree protection plan may result in a Stop Work order.

ARBORIST'S CHECKLIST

- An urban forester, certified or consulting arborist shall establish the Tree Protection Zone (TPZ) prior to starting the demolition work. Four-foot-high metal wire deer fencing will be erected by the contractor and inspected by the arborist to limit access to the TPZ. This will protect the trunk and root zone throughout construction.
- The Arborist shall have a pre-demolition meeting with contractor or responsible party and all other foremen or crew managers on site prior to any work to review all work procedures, access and haul routes, and tree protection. The contractor must notify the Arborist if roots are exposed or if trunk or branches are wounded.
- Any trunk and root crown that is not protected by a TPZ where heavy equipment operation is likely to wound the trunk, install a barrel stave-like trunk wrap out of 2 X 4 studs connected together with metal straps, attached to the 2 X 4's with driver screws or 1" nails.
- Storage of equipment shall be as far away from protected trees as possible and optimally on asphalt or ground protected by mulch / plywood.
- Heavy equipment use should be limited around trees and the roots. No equipment may be transported or used on bare ground within the root zone. A 6" layer of mulch and plywood must be placed under the path for access and egress. The protective "bridge" shall be maintained by the contractor and inspected by the arborist when on site.
- Any damage to trees due to demolition or construction activities shall be reported to the arborist within 6 hours, so that remedial action can be taken.
- All trenching within the NIZ shall be done pneumatically or by hand, being careful not to damage any of the bark of any root encountered.
- An arborist shall inspect all grading, trenching, tunneling or other excavation within the root zones of trees prior to backfill.
- No chemicals or other waste materials shall be dumped within 20' of the base of any tree. There shall be no material storage in the NIZ.
- Any tree pruning will be done in accordance with the latest version of ISA or ANSI best management practices/ standards. All pruning will be inspected by the arborist.
- The arborist must perform a final inspection to ensure that no unmitigated damage has occurred and to specify any pest, disease or other health care. The arborist shall specify and oversee any necessary restorative actions.
- Any suspected omissions or conflict between various elements of the plan shall be brought to the attention of the arborist and resolved before proceeding with the work.

INSPECTION SCHEDULE

Inspection of site: Prior to Equipment and Materials Move In, Site Work, Demolition and Tree Removal: The Project Arborist will meet with the General Contractor, Architect / Engineer, and Owner or their representative to review tree preservation measures, designate tree removals, delineate the location of tree protection / non-intrusion zone fencing, specify equipment access routes and materials storage areas, review the existing condition of trees and provide any necessary recommendations.

Inspection of site: After installation of NIZ fencing: Inspect site for the adequate installation of tree preservation measures. Review any requests by contractor for access, soil disturbance or excavation areas within root zones of protected trees. Assess any changes in the health of trees since last inspection.

Inspection of site: During excavation or any activities that could affect trees: Inspect site during any activity within the Non-Intrusion Zones of preserved trees and any recommendations implemented. Assess any changes in the health of trees since last inspection.

Final Inspection of Site: Inspection of site following completion of construction: Inspect for tree health and make any necessary recommendations.

Glossary

Health – overall health or ability of the plant to deal with stress (vitality). Health assessment is based on the appearance of foliage, incremental growth, and the amount of living vascular tissue.

Form – The plant's overall appearance as it relates to its shape or silhouette. Can be negatively affected by crown asymmetries.

Structure – Overall stability of the tree or its branches. This can be negatively affected by things such as acute angle crotches, decay cavities, strong leans, stem girdling roots, ambrosia beetles, history of failures, etc.

SCOPE OF WORK AND LIMITATIONS

Urban Forestry Associates has no personal or monetary interest in the outcome of this investigation. All observations regarding trees in this report were made by UFA, independently, based on our education and experience. All determinations of health condition, structural condition, or hazard potential of a tree or trees at issue are based on our best professional judgment. The health and hazard assessments in this report are limited by the visual nature of the assessment. Defects may be obscured by soil, brush, vines, aerial foliage, branches, multiple trunks or other trees. Even structurally sound, healthy trees are wind thrown during severe storms or other weather events. Consequently, a conclusion that a tree does not require corrective surgery or removal is not a guarantee of no risk, hazard, or sound health.

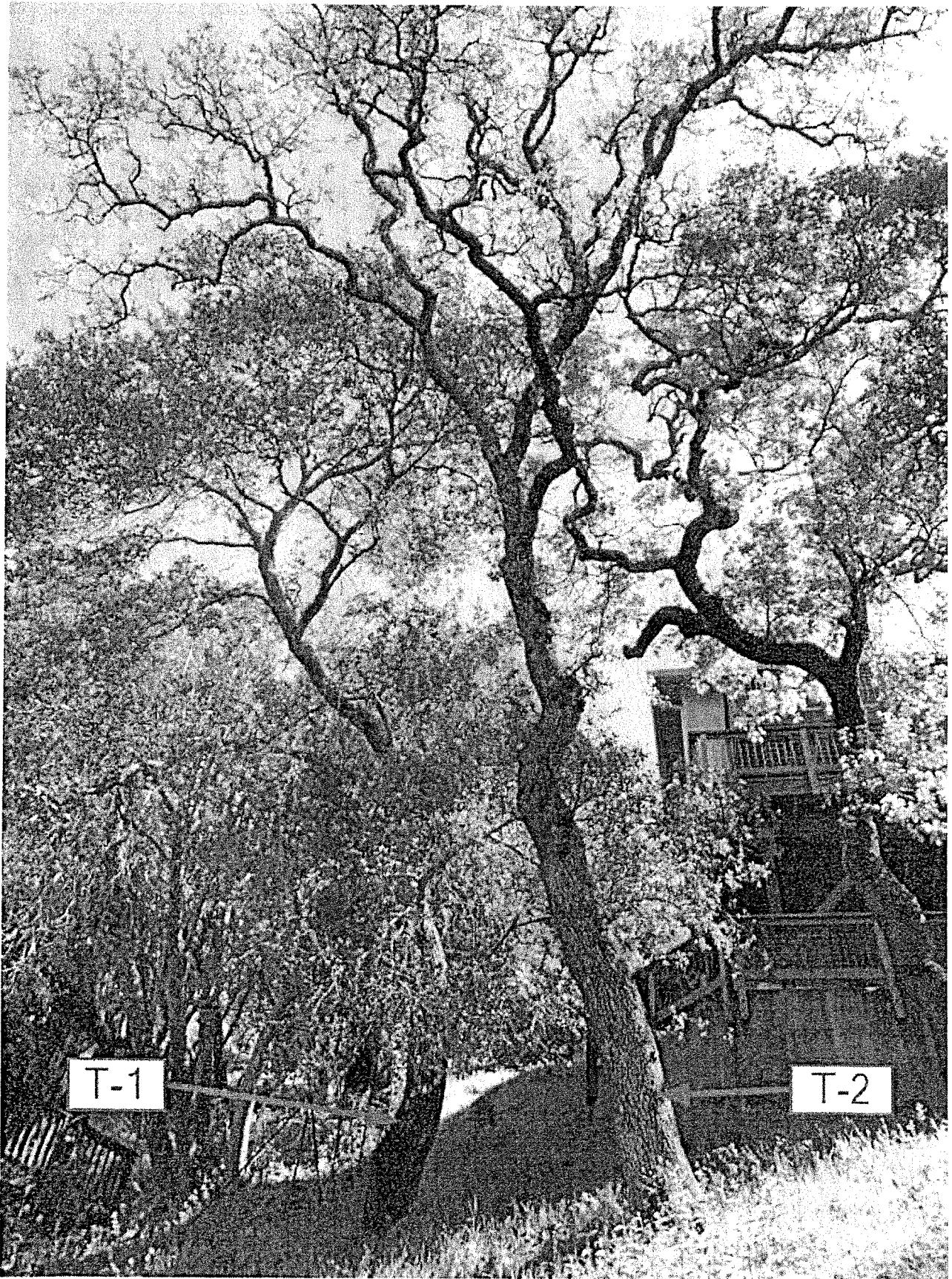


Figure 2

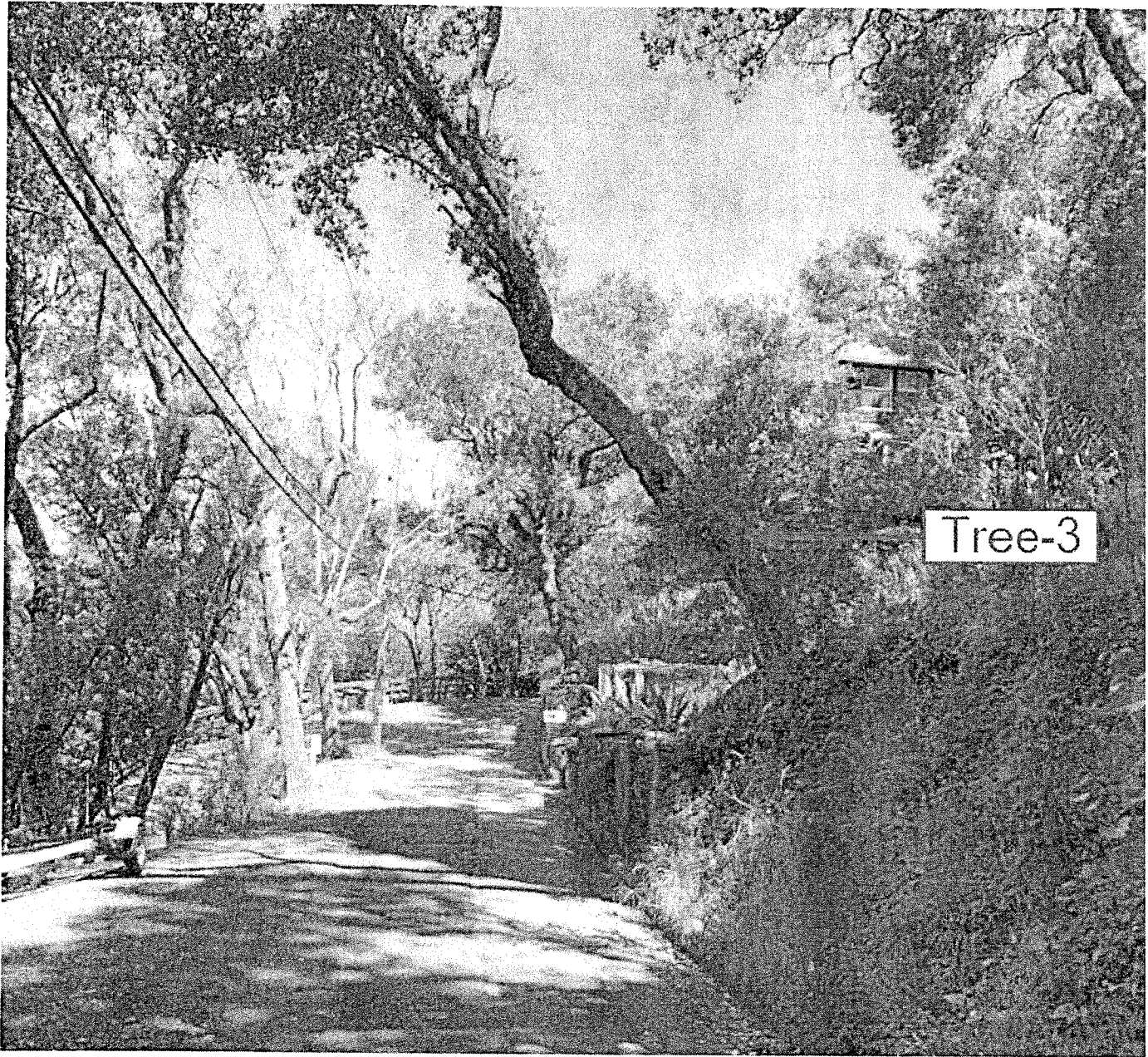


Figure 3

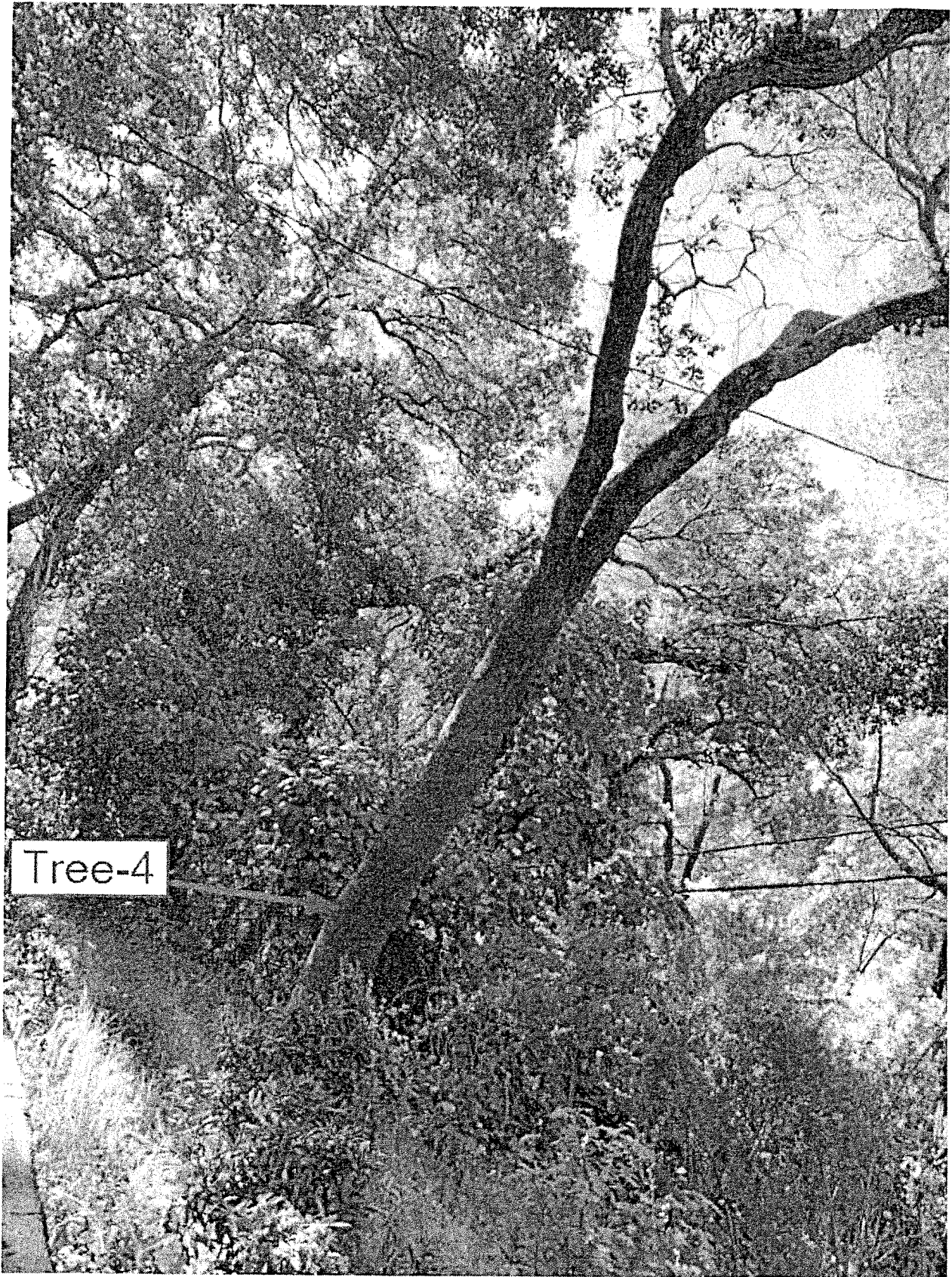


Figure 4

RECORDING REQUESTED BY AND WHEN
RECORDED MAIL TO:

Town of Fairfax
Department of Public Works
142 Bolinas Road
Fairfax, CA 94930

(SPACE ABOVE FOR RECORDER'S USE ONLY)

This document is exempt from the payment of a recording fee pursuant to Government Code § 27383 and §6103.

LICENSE AGREEMENT TO PERMIT REVOCABLE ENCROACHMENT ON TOWN PROPERTY

This License Agreement is entered into on _____ between the Town of Fairfax, a municipal corporation, hereinafter referred to as "Licensor" and _____, hereinafter referred to as "Licensee," and is made with reference to the following facts:

RECITALS

A. Licensee is the owner of the real property located at _____, Fairfax, California.

B. Adjacent to the northeast property line of said real property owned by Licensee, there exists a right-of-way owned by Licensor, which is owned by Licensor for street improvement purposes.

C. Licensee desires to construct a certain development project on the real property and, as part of that construction, desires to include certain improvements which will encroach upon and be located in the above-referenced right-of-way owned by Licensor.

D. Licensor is agreeable to permitting said encroachment upon the terms and conditions expressed herein below.

AGREEMENT

In consideration of the foregoing, and subject to the terms and conditions set forth herein below, the parties agree as follows:

1. Grant. Licensor hereby grants to Licensee, subject to the terms and conditions contained herein, the right to construct, maintain and install the following described improvements on the following described right-of-way owned by Licensor and shown on the diagram attached hereto as Exhibit A.

(a) The improvements permitted to be constructed, maintained and installed by this License are described as follows: drainage pipe, as shown in Exhibit B.

(b) The right-of-way and/or property owned by the Licensor permitted to be burdened by said improvements is described as follows: Chester Avenue, as shown in Exhibit A.

2. License Fee. In consideration for the license herein granted, Licensee agrees to pay Licensor a one-time lump sum payment of Zero Dollars (\$-0-), payable upon execution of this license.

3. Construction and Maintenance Expenses. Licensee shall bear the cost and expense of constructing, reconstructing and maintaining the improvements described above. Licensee further agrees that all work upon or in connection with said improvements shall be done at such times and in such manner as is approved by Licensor and shall be done in accordance with plans and specifications approved by Licensor.

(a) Licensee shall not modify or in any fashion change the improvements, once constructed, without the written permission of Licensor.

(b) Licensee agrees to construct said improvements in a workmanlike fashion and to religiously maintain said improvements in a good and sound condition and in a condition that remains aesthetically and visually pleasing and acceptable to the Licensor. If Licensee fails to maintain said improvements in said condition, Licensee hereby grants to Licensor the right to either remove said improvements or to maintain them. If Licensor is required to remove and/or maintain said improvements, Licensee agrees to reimburse Licensor for the cost thereof within thirty (30) days after receipt of an invoice and, if such invoice is not so paid, the remaining balance shall accrue interest at the rate of ten percent (10%) per year until paid. Furthermore, if said invoice is not paid, Licensee agrees to permit Licensor to impose a lien upon the real property described in Exhibit B without notice to Licensee.

4. Removal of Improvements. Licensee expressly acknowledges that the improvements covered by this agreement are being allowed to be constructed in a public right-of-way and that, from time to time, said right-of-way may require improvement, relocation, destruction and/or removal. In the event of said events occurring, Licensee agrees to effect the removal and replacements at its cost within sixty (60) days of receipt of written notice to do so from Licensor or, in the event that Licensee declines or fails to effect said removal and/or replacement, Licensee grants to Licensor the right to remove and/or replace said improvements and the cost thereof shall be paid in accordance with the immediately preceding subparagraph.

(a) Licensee hereby waives any/or all claims against Licensor for any and all damage or injury done to the real property described in Exhibit B and/or the structures located thereon caused as a result of the removal and/or replacement described in the immediately preceding paragraph and Licensee indemnifies and holds Licensor harmless for any and all such damages or injuries, irrespective of the passive or active negligence of Licensor.

5. Indemnification and Hold Harmless.

(a) Licensee shall assume all risks of damage to the improvements and any appurtenances thereto and to any other property of Licensee or any property under the control of Licensee while upon or near Licensor's right-of-way described at paragraph 1(b).

(b) Licensee further agrees to indemnify and save harmless Licensor, its officers, employees, agents, successors, and assigns, from any and all claims, liabilities, damages, failure to comply with any current or prospective laws, attorney's fees, for loss or damage to property and for injury to or death of any person arising out of the construction, maintenance, removal, replacement, rehabilitation, repair, or the location of the improvements or out of Licensee's activities on Licensor's right-of-way described hereinabove, except to the extent arising out of Licensor's sole negligence or willful misconduct.

6. Insurance. Licensee, at its sole cost, shall maintain homeowner's insurance in the minimum amount of \$500,000 combined single limit for bodily injury and property damage with an insurer that is reasonably acceptable to Licensor, insuring against all liability of Licensee and its authorized representatives arising out of and in connection with Licensee's use or occupancy of its property, including the construction of the improvements described in Section 1(a) above.

All general liability insurance and property damage insurance shall insure performance by Licensee of the indemnity provisions of paragraph 6.

Each policy, or a certificate of the policy, shall be deposited with Licensor at the commencement of the term of this agreement, and on renewal of the policy not less than twenty (20) days before expiration of the term of the policy. Licensee shall provide written documentation of said insurance, prior to commencement of construction of the improvements.

Licensee shall make arrangements with the insurers that the insurers shall provide Licensor with notice of cancellation or termination of the insurance at least thirty (30) days in advance of cancellation or termination.

7. Term. This agreement and the rights granted hereunder may be terminable by Licensor upon giving written notice to Licensee at least six (6) months prior to the termination.

(a) Should Licensee, its successors and assigns, at any time abandon the use of the property described in Exhibit B, or any part thereof, or fail at any time for a continuous period of six (6) months to use the same for the purpose for which development of said property was approved, the rights and obligations hereby created shall cease to the extent of the use so abandoned and/or discontinued, and Licensor shall have the right to declare this license terminated to the extent of the use so abandoned or discontinued.

(b) Upon termination of the rights and privileges hereby granted, Licensee, at its own cost and expense, agrees to remove said improvements for which this license is granted and to return the right-of-way to the condition it was in prior to the execution of this License. Should Licensee in such event fail, neglect, or refuse to remove said improvement or return the right-of-way to such condition, such removal and restoration may be performed by Licensor at the expense of Licensee, which expense, including any attorney's fees, Licensee agrees to pay

upon demand and, if not so paid, said expenses shall be paid in accordance with paragraph 3(b), above.

8. Notices. Any and all notices and demands required or permitted to be given hereunder shall be in writing and shall be served either personally or by certified mail, return receipt requested, to the following addresses:

If to Licensor, to: Town of Fairfax
 Attn: Public Works Director
 142 Bolinas Road
 Fairfax, CA 94930

If to Licensee, to:

9. Waiver. The waiver by Licensor of any breach or any term, covenant, or condition herein, shall not be deemed to be a waiver of any subsequent breach of the same, or any other term, covenant or condition herein contained.

10. Authority of Parties. Each individual executing this agreement on behalf of a corporation or other private entity shall represent and warrant that he/she is duly authorized to execute this agreement on behalf of the corporation and/or entity, in accordance with the duly adopted resolution of the Board of Directors of such corporation and/or entity. A copy of said resolution shall be provided to Licensor, along with the executed original of this agreement.

11. Attorney's Fees. In the event that either party is required to bring an action to enforce or interpret terms and conditions of this agreement, the prevailing party shall be entitled to payment of its attorney's fees, as well as expert witness fees.

12. Assigns and Successors. This agreement shall inure to the benefit and be binding upon each party's assigns and successors, and it is the intent of the parties that this license and its terms and conditions shall run with the land and be binding upon all successors in interest to the real property described in Exhibit B attached hereto.

[Signatures appear on next page.]

IN WITNESS WHEREOF, the undersigned have executed this agreement the day and year first written above.

TOWN OF FAIRFAX

Date: _____

By: _____

Name: Garrett Toy
Title: Public Works Director

Date: _____

By: _____

Name: _____
Title: _____

Date: _____

By: _____

Name: _____
Title: _____

ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California)
County of Marin)

On _____ before me, Michele Gardner, Fairfax Town Clerk, personally appeared _____, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity on behalf of which the person(s) acted, executed the instrument.

I certify under penalty of perjury under the laws of the State of California that the foregoing paragraph is true and correct.

Witness my hand and official seal,

Michele Gardner, Town Clerk

WORTHINGTON RESIDENCE

7 FORREST TERRACE, FAIRFAX, CA 94930

PROJECT PRINCIPLES

OWNER
NATHALIE WORTHINGTON
7 FORREST TERRACE
FAIRFAX, CA 94930

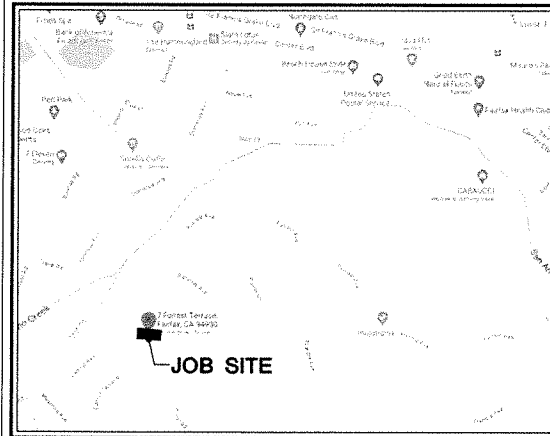
ARCHITECT
SKS ARCHITECTS
1852 4TH STREET
SAN RAFAEL, CA 94901
(415) 382-1656
ATTN: STEWART SUMMERS

CIVIL ENGINEER
LTD ENGINEERING, INC.
1050 NORTHGATE DRIVE, SUITE 450
SAN RAFAEL, CA 94903
(415) 446-7402
ATTN: GLENN DEARTH

SURVEYOR
1031 SURVEY, INC.
HIGH DEFINITION SURVEYING
1857 RAINIER CIRCLE
PETALUMA, CA 94954
(415) 827-6370

ARBORIST
URBAN FORESTRY ASSOCIATES, INC.
209 SAN ANSELMO AVENUE
SAN ANSELMO, CA 94960
(415) 454-4212
ATTN: ZACH VOUGHT

VICINITY MAP FAIRFAX, CA



SHEET INDEX

GENERAL	
A0	SITE PLAN & PROJECT DATA
V1	SURVEY
CIVIL	
C-1	COVER SHEET
C-2	CONCEPTUAL GRADING AND DRAINAGE PLAN
ARCHITECTURAL	
A1	HILLSIDE LIFT: CAR DETAILS
A2	HILLSIDE LIFT: TRACK DETAILS & SAMPLE PHOTOS
A3	RETAINING WALL ELEVATION
A4	HILL HIKER SITE SECTION

PROJECT DATA

PROJECT DESCRIPTION :
CONSTRUCT NEW OFF-STREET PARKING SPACE AT STREET. INSTALL NEW HILL HIKER ELEVATOR SYSTEM TO PROVIDE ACCESS FROM STREET LEVEL TO ENTRY PATIO ABOVE.

SITE & BUILDING DATA :

A.P. NUMBER	002-141-23
ZONING	RS-6
OCCUPANCY CLASSIFICATION	R3
DESCRIPTION OF USE	DWELLING
CONSTRUCTION TYPE	V-B
STORIES	TWO
SINKERS	NO

FLOOR AREAS:

LOT AREA	6,119 SF.
(E) UPPER FLOOR AREA (NO CHANGE)	921 SF.
(E) LOWER FLOOR AREA (NO CHANGE)	623 SF.
TOTAL BUILDING AREA (NO CHANGE)	1,544 SF.
(E) DECK AREA (NO CHANGE)	802 SF.

LOT COVERAGE:

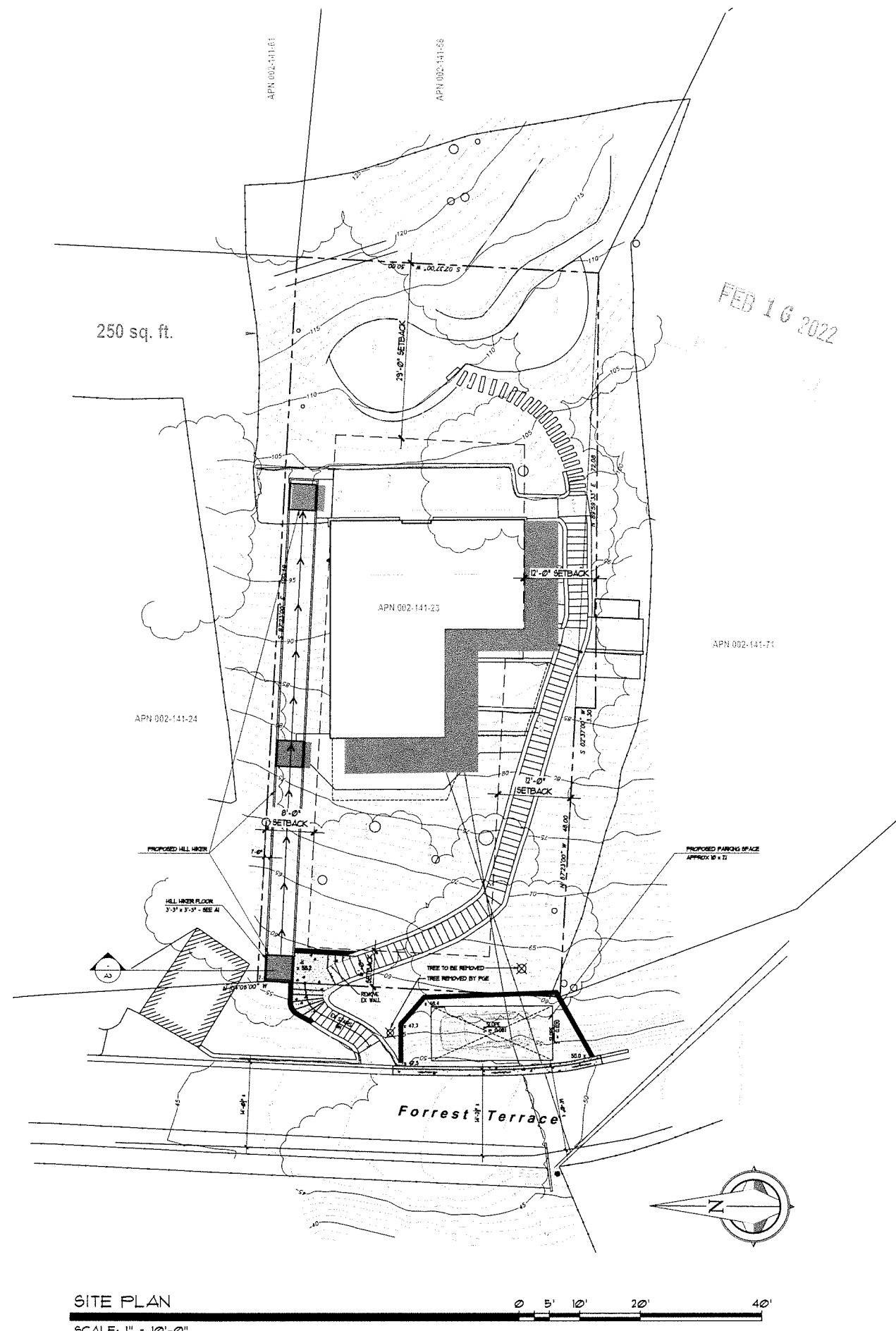
LOT AREA	6,119 SF.
ALLOWABLE LOT COVERAGE	35% OR 2,141.7 SF.
(E) LOT COVERAGE W/ PATIOS & STAIRS	2,195 SF. (35.87%)
(N) LOT COVERAGE W/ PATIOS & STAIRS	2,231 SF. (36.46%)
(36 SF. ADDED AT STAIR LANDING FOR HILL HIKER)	

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP TO CONFORM TO THESE PLANS, THE STANDARD SPECIFICATIONS OF THE CURRENT ADOPTED EDITION 2019 CALIFORNIA BUILDING CODE INCLUDING THE 2019 CBC, 2019 CFC, 2019 CMC, 2019 CFC, 2019 CEC, 2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES), 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGS) OR CALGREEN) & ALL OTHER APPLICABLE CODES, ORDINANCES, AND STANDARDS FOR RESIDENTIAL CONSTRUCTION AND SPECIFICALLY FOR THE CONSTRUCTION OF THIS STRUCTURE IN THE TOWN OF FAIRFAX, CALIFORNIA.
- ALL MATERIALS AND WORKMANSHIP TO MEET OR EXCEED THE BEST STANDARDS OF THE TRADE.
- ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- NOTED DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS. ON-SITE VERIFICATION OF DIMENSIONS, ELEVATIONS, AND OTHER CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- PROTECTION OF OWNER'S PROPERTY AND ALL ADJACENT PROPERTIES, AS WELL AS THE GENERAL PUBLIC, ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE MAINTAINED AT ALL TIMES.
- ALL REFERENCES TO THE MECHANICAL, ELECTRICAL AND PLUMBING SYSTEMS SHOWN IN THESE PLANS ARE INTENDED TO BE FOR DESIGN INTENT ONLY. SPECIALTY SUBCONTRACTORS SHALL BE RESPONSIBLE FOR FINAL DESIGN, SECURING PERMITS, INSTALLATION, INSPECTIONS, & PROPER OPERATION OF ALL SYSTEMS.
- ALL PAINTS, FINISHES, AND ADHESIVES, CAULKING, AND SEALANTS SHALL BE LOW VOC.
- PROVIDE FREQUENT AND THOROUGH DUST CONTROL AND CLEAN-UP.
- PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL THE APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION.
- COMPLIANCE WITH THE DOCUMENTATION REQUIREMENTS OF THE 2016 ENERGY EFFICIENT STANDARDS IS NECESSARY FOR THIS PROJECT. REGISTERED, SIGNED, AND DATED COPIES OF THE APPROPRIATE CFR, CFR, CFR FORMS SHALL BE MADE AVAILABLE AT NECESSARY INTERVALS FOR BUILDING INSPECTOR REVIEW. FINAL COMPLETED FORMS WILL BE AVAILABLE FOR THE BUILDING OWNER.

LEGEND

	EXISTING WALLS TO REMAIN U.O.N.	(E)	EXISTING
	NEW OR ALTERED EXISTING WALLS:	(R)	RELOCATED
	EXISTING TO BE REMOVED U.O.N.	PL	PROPERTY LINE
	AREA OF ADDITION, SHADED	U.O.N.	UNLESS OTHERWISE NOTED
	EXISTING FENCE	V.I.F.	VERIFY IN FIELD
	DETAIL NO. SHEET NO.	CL	CENTER LINE
	SECTION OF ELEV. NO. SHEET NO.	D.S.	DOWNSPOUT
	KEY NOTE	F.F.	FINISH FLOOR
(N)	NEW	F.O.	FACE OF
		G.C.	GENERAL CONTRACTOR
		R	PLATE
		VOL	VOLUME
		ALIGN	ALIGN



© ALL DIMENSIONS AND WRITTEN MATERIAL APPEARING HEREON CONSTITUTE THE DESIGN AND UNPUBLISHED WORK OF STEWART K. SUMMERS, ARCHITECT AND THE SAME MAY NOT BE REPRODUCED, COPIED, OR DISCLOSED WITHOUT THE WRITTEN CONSENT OF STEWART K. SUMMERS, ARCHITECT

REVISIONS	DATE	BY
DRB COMPLETENESS	2/10/22	SKS

Worthington Residence
7 Forrest Terrace
Fairfax, CA 94930
A.P. # 002-141-23

COVER SHEET, SITE PLAN, & PROJECT DATA

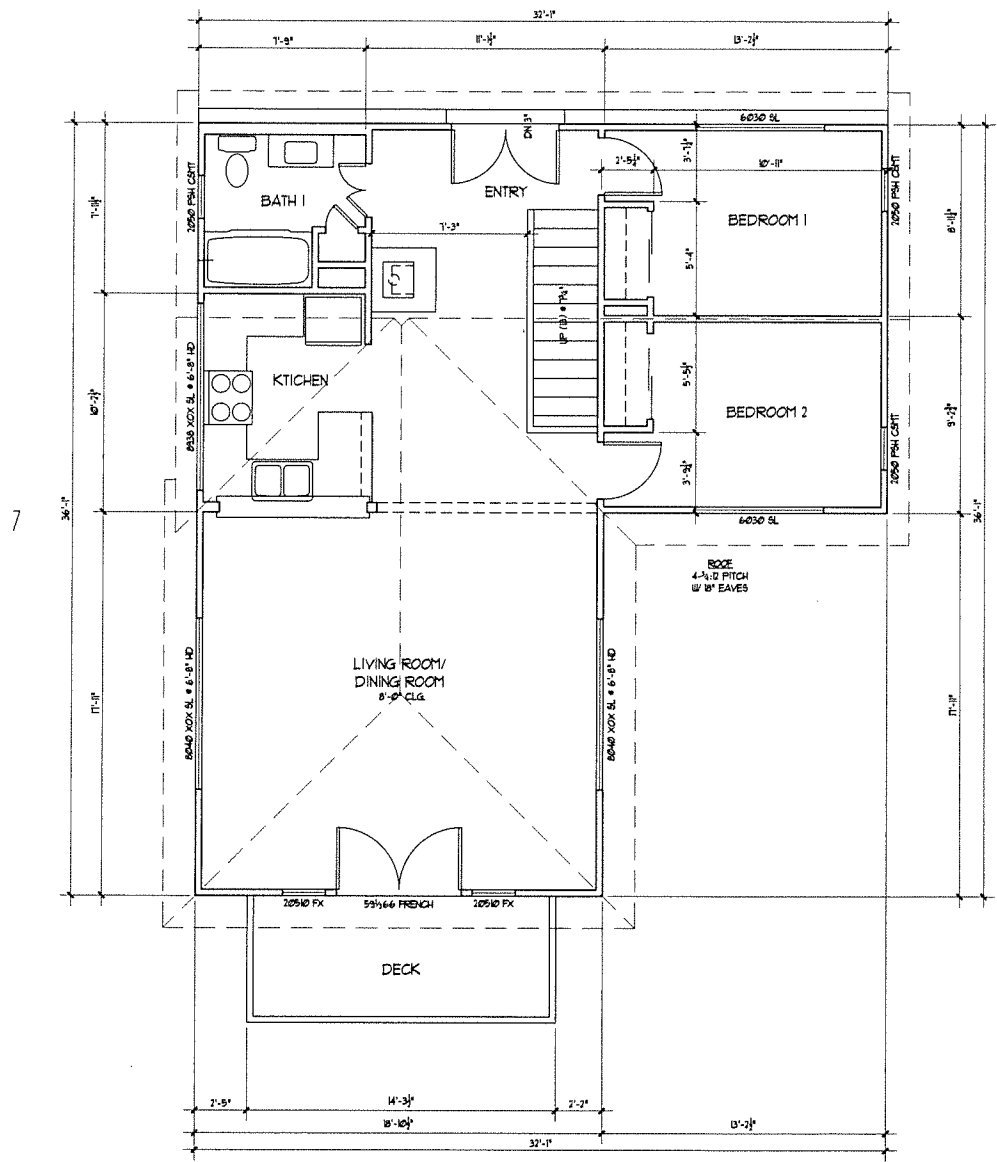
BEFORE THE DRAWINGS, CAREFULLY DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

DATE: 11/18/21
SCALE: 1"=10'-0"
DRAWN: SKS
JOB NO.
SHEET NO:

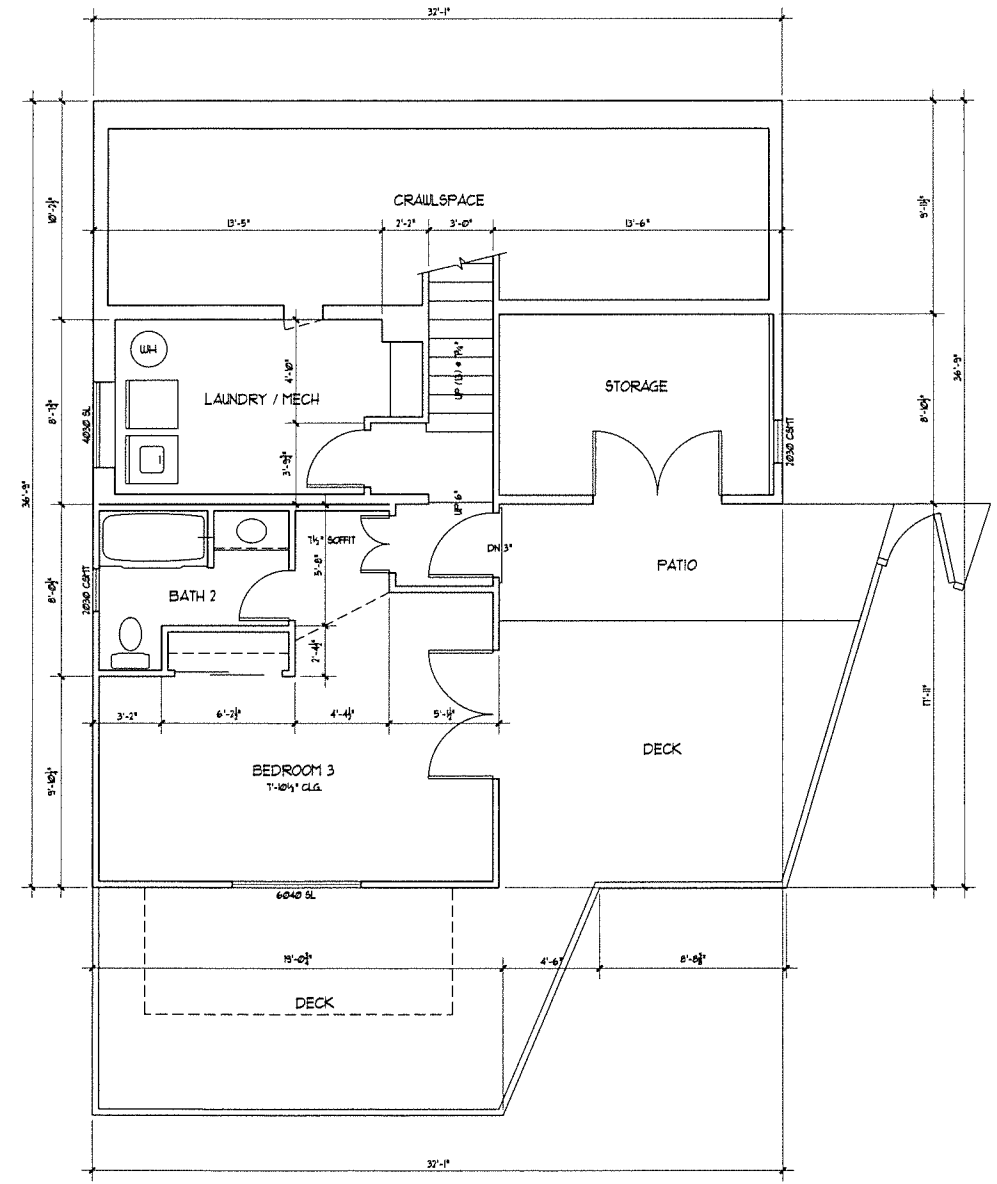
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REVISIONS	DATE	BY
DRB COMPLETENESS	2/10/22	AKM



(E) UPPER FLOOR PLAN
 SCALE: 1/4" = 1'-0"



(E) LOWER FLOOR PLAN
 SCALE: 1/4" = 1'-0"

Worthington Residence
 7 Forrest Terrace
 Fairfax, CA 94930
 A.P. # 002-141-23

EXISTING FLOOR PLAN & ELEVATIONS

REVIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT.

DATE: 11/18/21
 SCALE: 1/4" = 1'-0"
 DRAWN: SKS
 JOB NO.
 SHEET NO:

EC1

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REVISIONS	DATE	BY
DRB COMPLETENESS	2/10/22	AKM

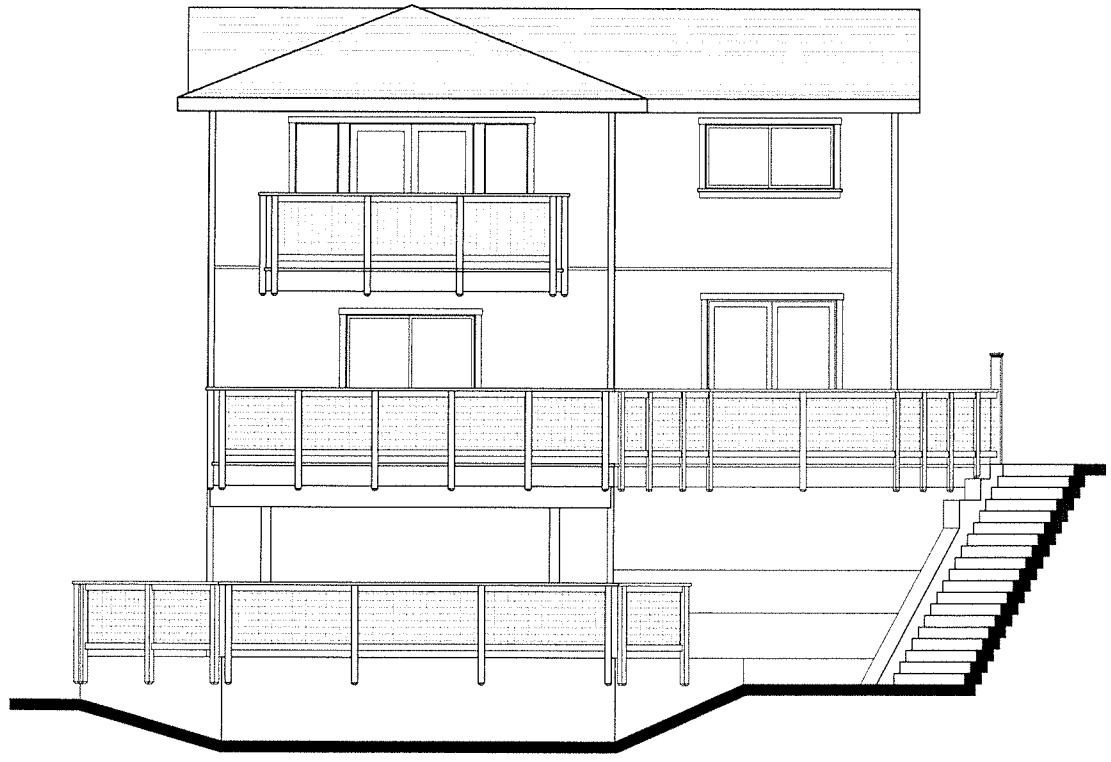
Worthington Residence
 7 Forrest Terrace
 Fairfax, CA 94930
 A.P. # 002-141-23

EXISTING ELEVATIONS

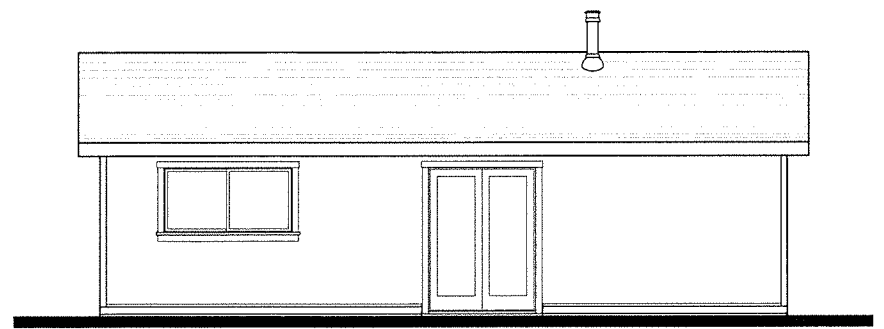
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DATE: 11/18/21
 SCALE: 1/4" = 1'-0"
 DRAWN: SKS
 JOB NO.
 SHEET NO.

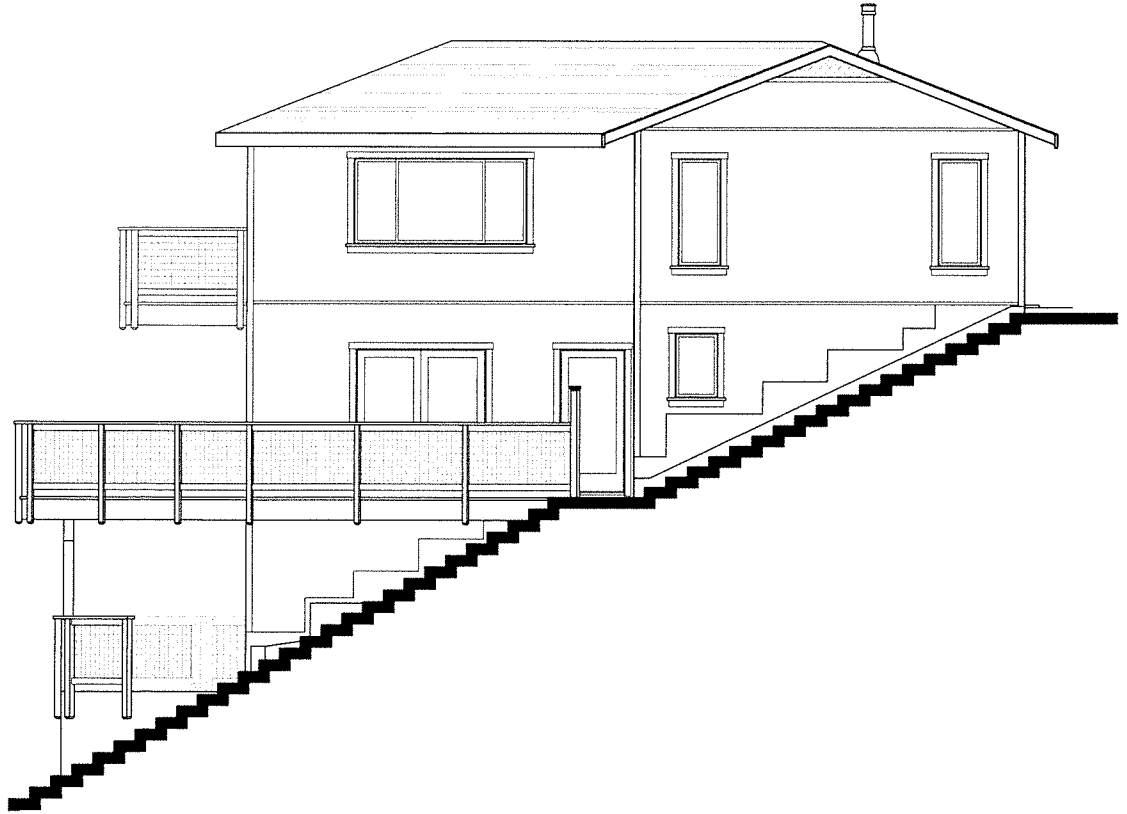
EC2



(E) REAR ELEVATION
 SCALE: 1/4" = 1'-0"

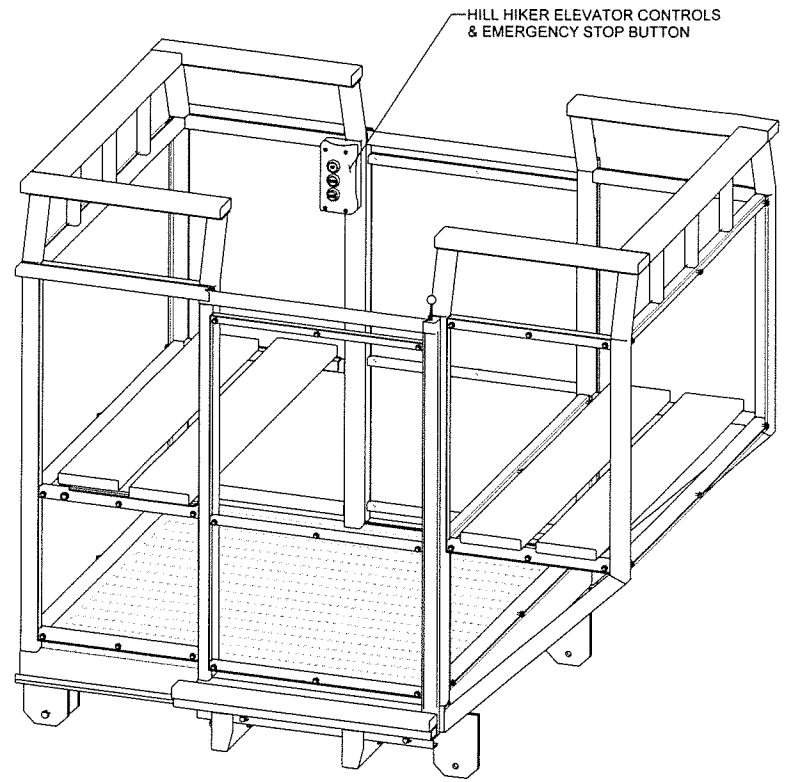
(E) FRONT ELEVATION
 SCALE: 1/4" = 1'-0"

(E) RIGHT ELEVATION
 SCALE: 1/4" = 1'-0"

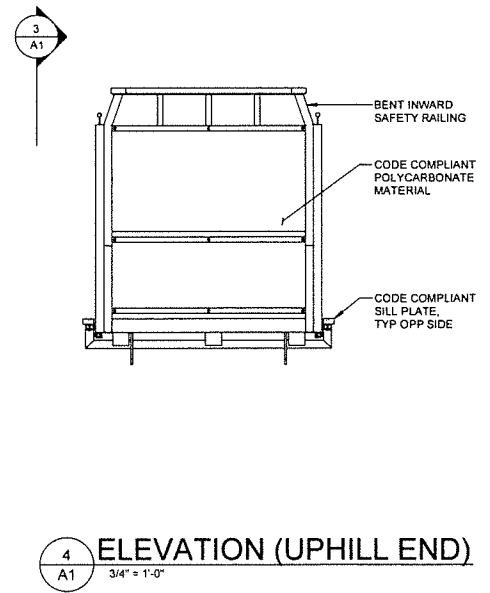
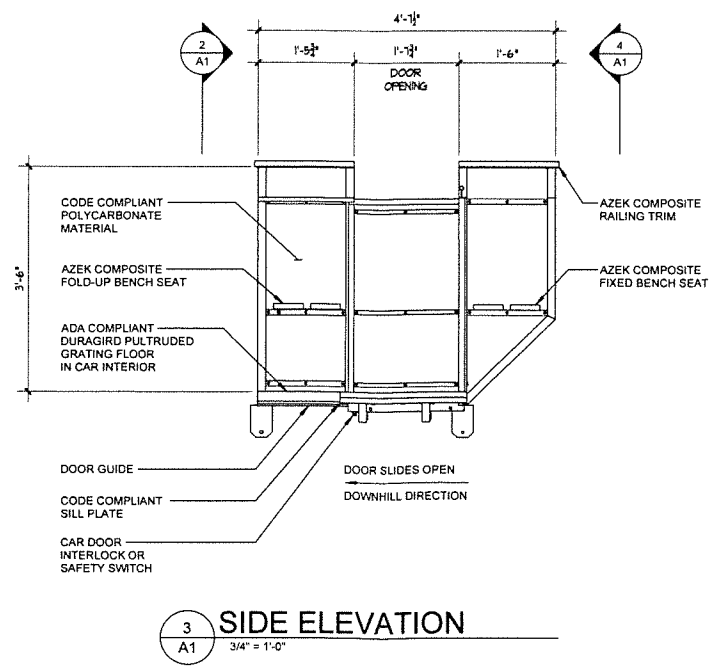
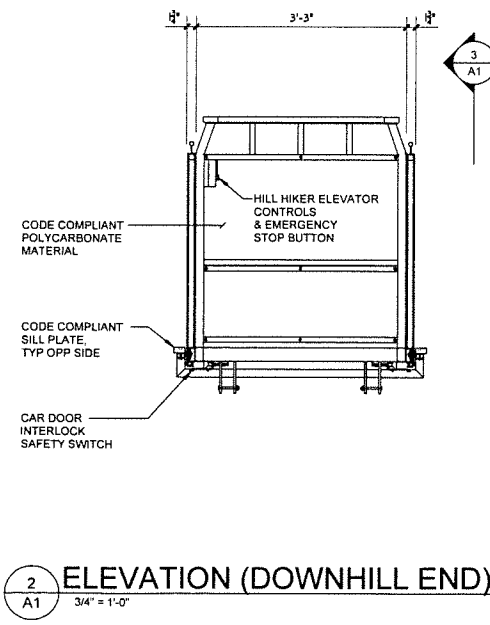
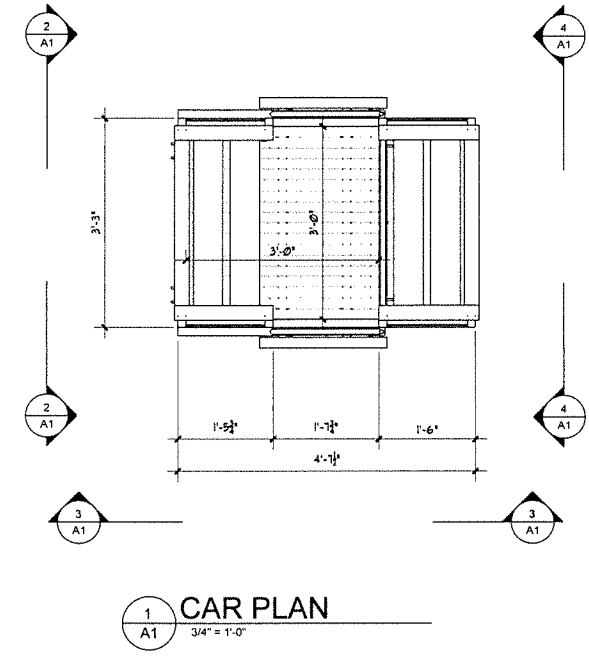



(E) LEFT ELEVATION
 SCALE: 1/4" = 1'-0"

CAR SHOWN
 POWDER COATED STEEL: TIGER DRYLAC - GREY CLASSIC 314 38-70061
 ELEVATOR CONTROLS: 2-STOP SYSTEM

NOTE:
 ADDITIONAL POWDER COAT PAINT COLORS,
 POLYCARBONATE TINTS, TRIM & SEAT COLORS,
 FLOORING, AND DOOR OPTIONS AVAILABLE.



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REVISIONS	DATE	BY
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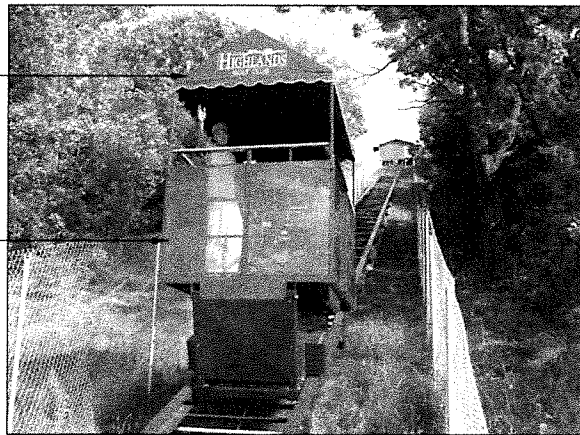
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HILLSIDE LIFT: CAR DETAILS

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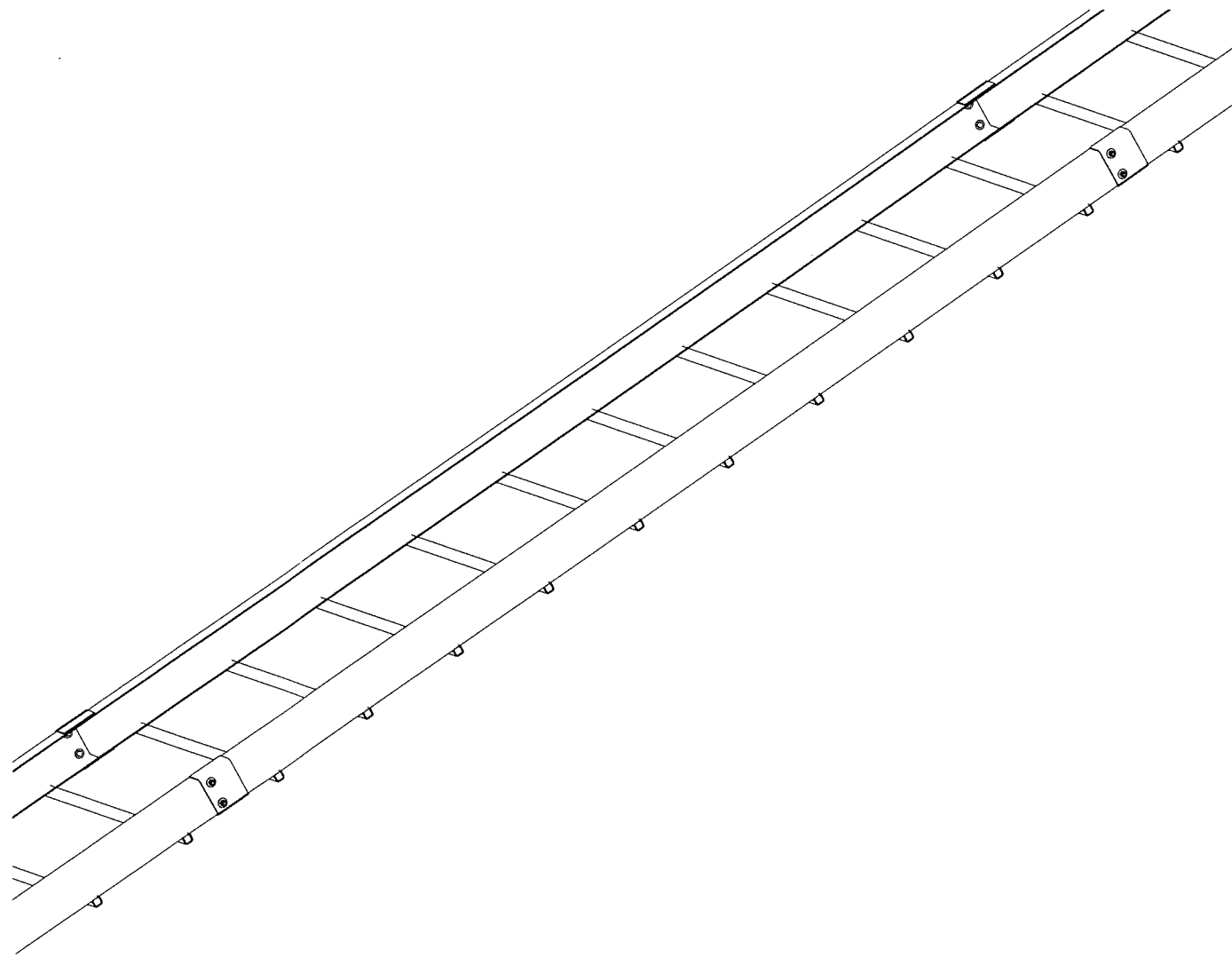
DATE: 11/18/21
 SCALE: 1/4" = 1'-0"
 DRAWN: SKS
 JOB NO.
 SHEET NO:

SAMPLE PHOTOS

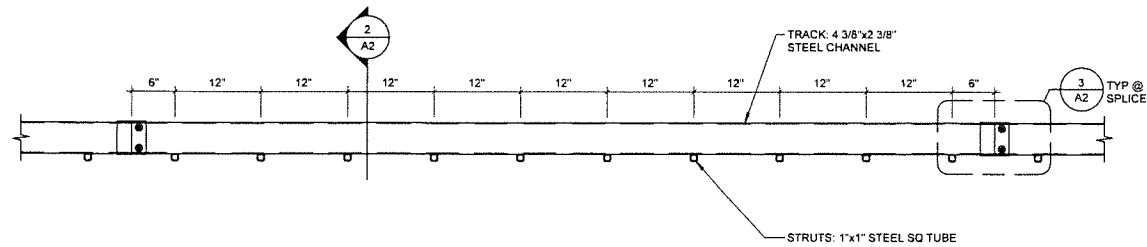


ROOF CANOPY - OPTIONAL

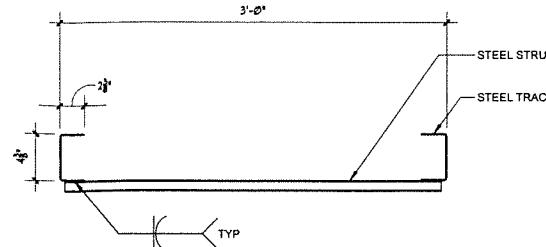
HILL HIKER CAR - SIMILAR



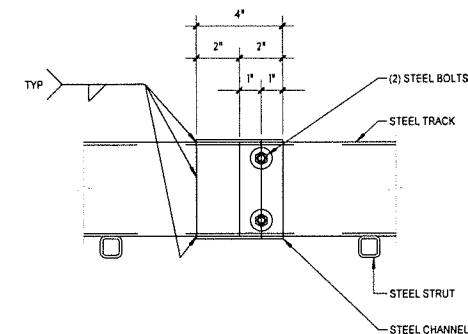
TRACK ISOMETRIC



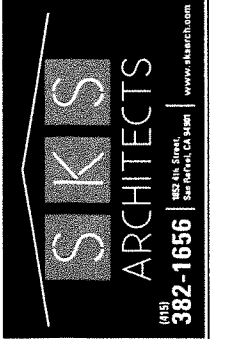
1 TRACK DETAIL
1" = 1'-0"



2 SECTION
1 1/2" = 1'-0"



3 TRACK SPLICE DETAIL
3" = 1'-0"



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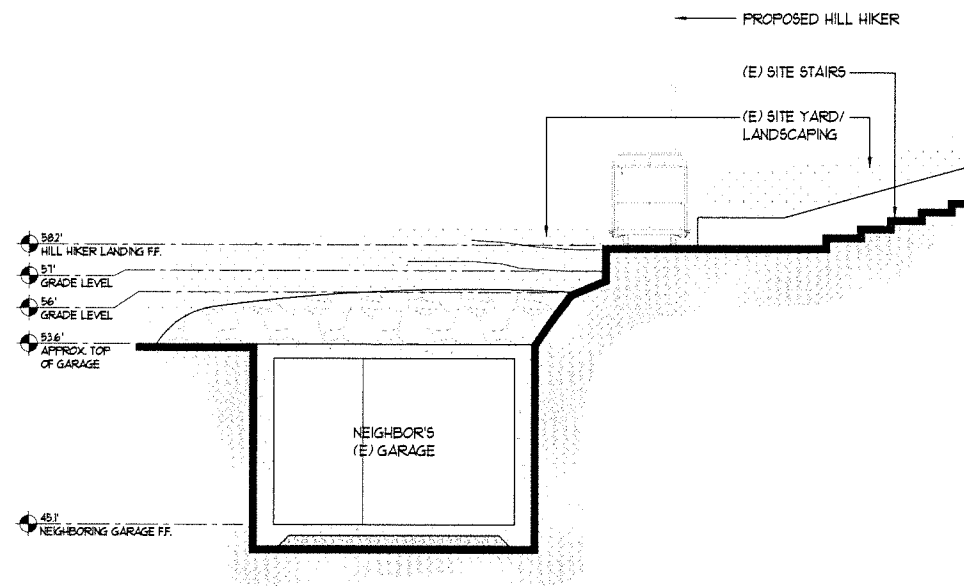
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Fairfax, CA 94930
A.P. # 002-141-23

HILLSIDE LIFT:
TRACK DETAILS &
SAMPLE PHOTOS

VIEW THE DRAWINGS CAREFULLY. DO NOT SCALE THE DRAWINGS. ANY DISCREPANCIES IN DIMENSIONS AND DETAILS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF STEWART K. SUMMERS, ARCHITECT

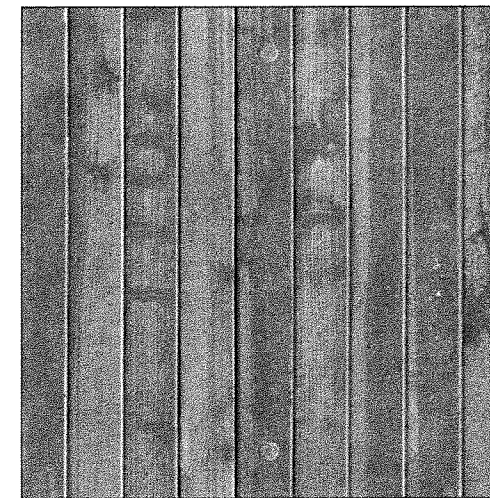
DATE: 11/18/21
SCALE: AS NOTED
DRAWN: SKS
JOB NO.
SHEET NO.

A2



SECTION THROUGH HILL HIKER LANDING

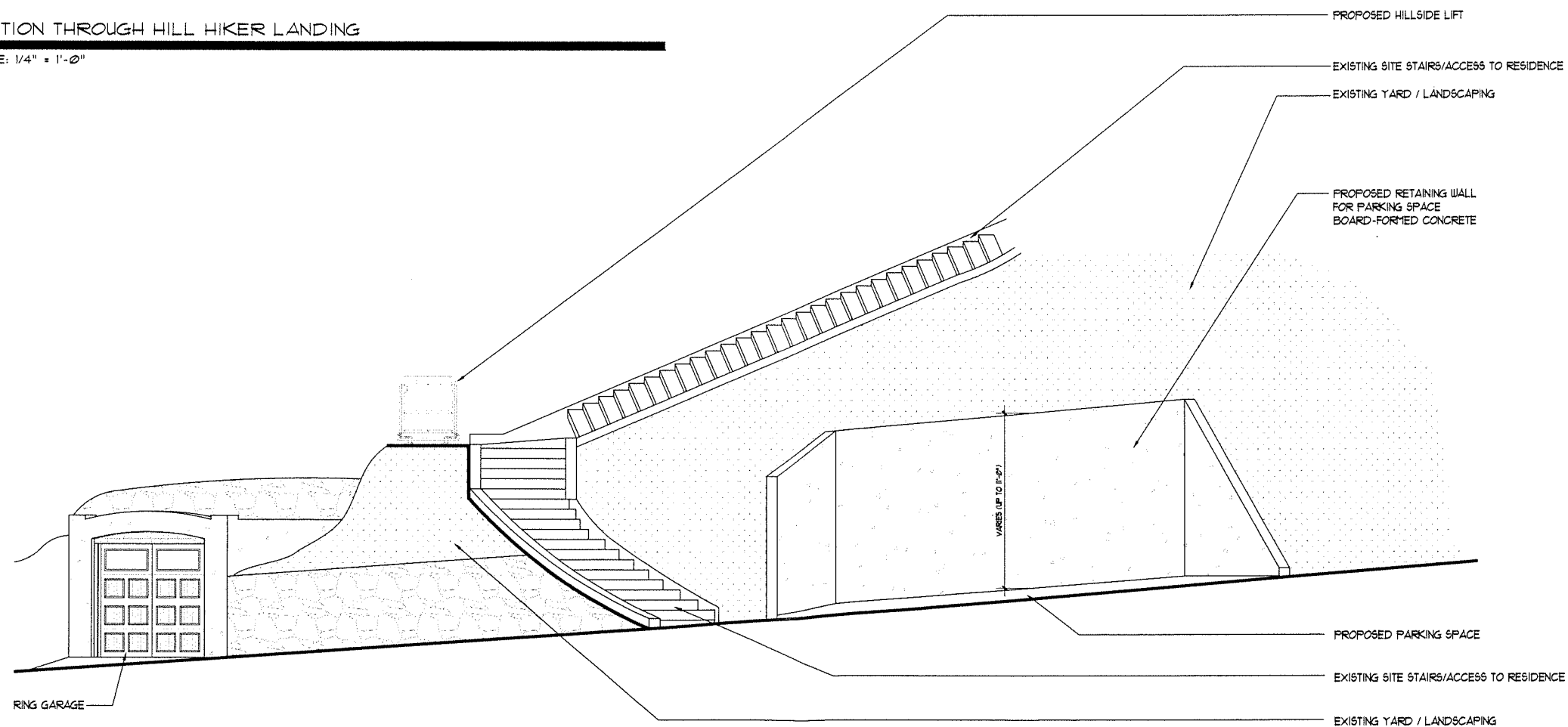
SCALE: 1/4" = 1'-0"



FOURED CONCRETE
RETAINING WALL WITH
"BOARD FORM" FINISH

COLOR: CONCRETE
GRAY WITH LAMP
BLACK ADDITIVE

CONCRETE AT RETAINING WALL



RETAINING WALL ELEVATION

SCALE: 1/4" = 1'-0"

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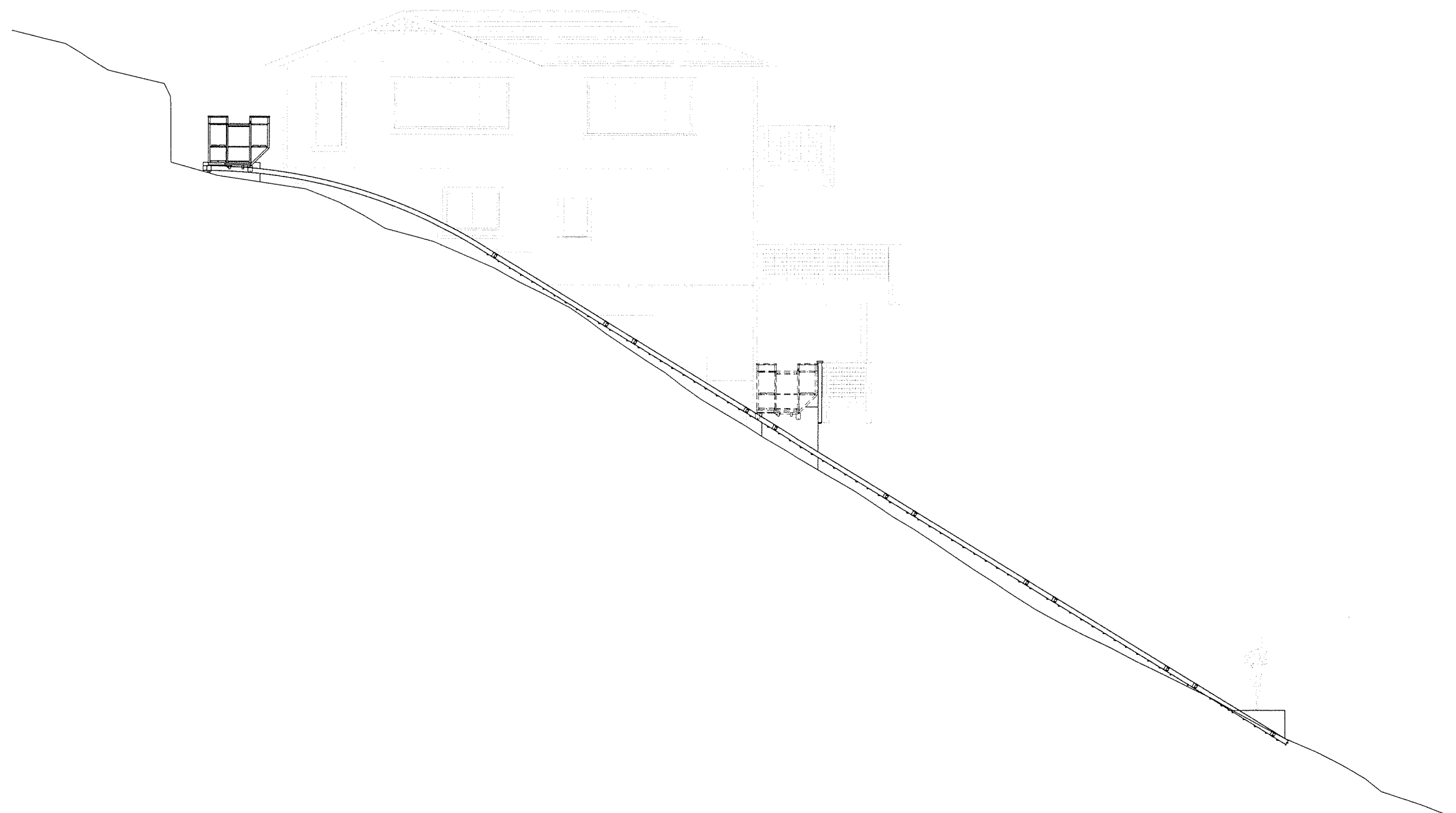
REVISIONS	DATE	BY
DRB COMPLETENESS	2/10/22	W/M

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A.P. # 002-141-23

**RETAINING WALL
ELEVATION & SITE
SECTION**

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DATE: 11/18/21
SCALE: AS NOTED
DRAWN: SKS
JOB NO.
SHEET NO:



HILL HIKER SITE SECTION
 SCALE: 1/4" = 1'-0"

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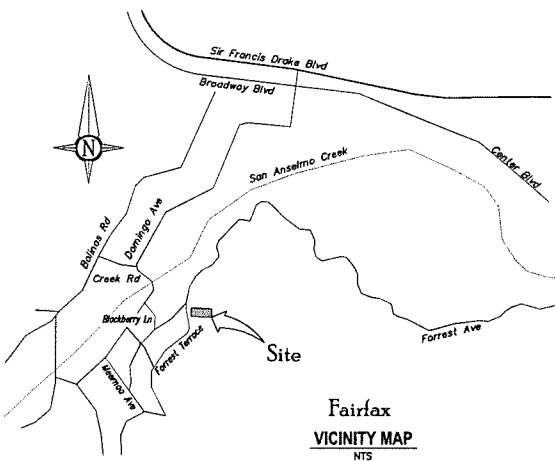
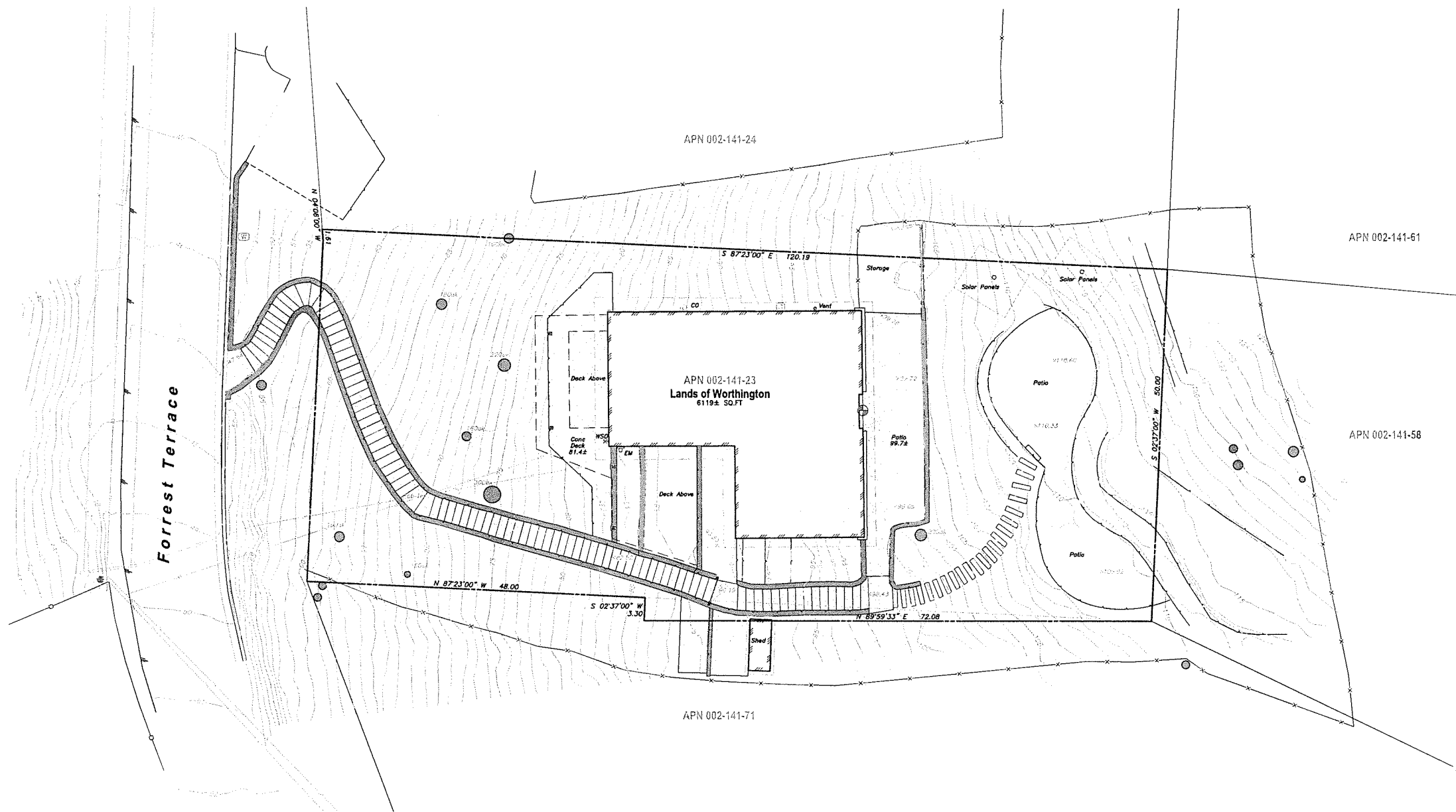
REVISIONS	DATE	BY
DRB COMPLETENESS	2/10/22	avm

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 Fairfax, CA 94930
 AP. # 002-141-23

**HILL HIKER
 SITE SECTION**

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DATE: 11/18/21
 SCALE: AS NOTED
 DRAWN: SKS
 JOB NO.:
 SHEET NO.:



NOTES

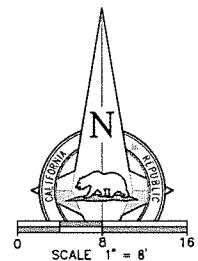
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2. VERTICAL DATUM: FRONT EDGE OF THE FRONT DOOR THRESHOLD. ELEVATION=100.00, ASSUMED DATUM.
3. BOUNDARY IS BASED UPON A RECORD OF SURVEY CURRENTLY IN THE REVIEW PROCESS. BOUNDARY IS PRELIMINARY UNTIL RECORD OF SURVEY IS FILED.
4. TREES WERE MEASURED AT BREAST HEIGHT ABOVE THE GROUND WHERE PRACTICAL. IT IS RECOMMENDED THAT AN ARBORIST REPORT BE OBTAINED TO DETERMINE TREE SPECIES, HEALTH AND HERITAGE STATUS.
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ABBREVIATIONS

- APN ASSESSOR'S PARCEL NUMBER
- CONC CONCRETE
- EM ELECTRIC METER
- G GAS
- JP JOINT POLE
- MCR MARIN COUNTY RECORDS
- OH OVERHEAD UTILITY LINES
- NTS NOT TO SCALE
- CO SANITARY SEWER CLEAN OUT
- TBM TEMPORARY BENCHMARK
- W WATER
- WSO WATER SHUT OFF

LEGEND

- BUILDING
- FENCE POST AND WIRE
- EDGE OF PAVEMENT
- OVERHEAD UTILITIES
- RETAINING WALL CONC
- RETAINING WALL WOOD
- CONCRETE
- DOWNSPOUT
- ELECTRIC MAIN
- GAS METER
- TEMPORARY BENCHMARK
- TREE TO SCALE WITH DRPLINE, DIAMETER & TYPE
- WATER METER



LANDS OF WORTHINGTON
7 FORREST TERRACE
APN 002-141-23
FAIRFAX, MARIN COUNTY, CALIFORNIA

Topographic Map

1031Survey, Inc.
HIGH DEFINITION SURVEYING
1857 Rainier Circle, Petaluma, California 94954
415-827-6370 www.1031survey.com

DATE: 2020.12.10 SURVEY DATE: DEC2020
SCALE: 1" = 8' SHEET: 1 OF 1
FILE: 202097topo



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 APN 002-141-23
 7 FORREST TERRACE
 FAIRFAX, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
Δ	11/19/21	ISSUED FOR REVIEW
Δ		
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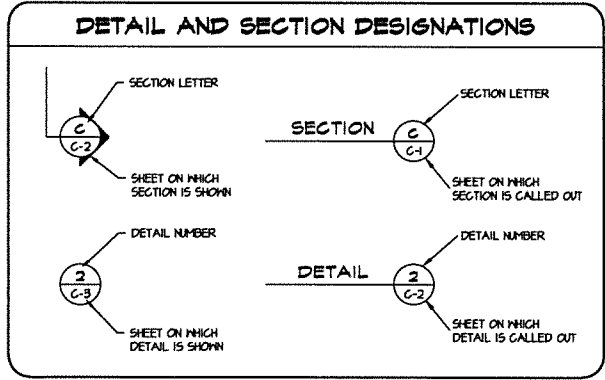
DESIGNED BY: G. DEARTH
 DRAWN BY: E. HAYDEN
 APPROVED BY:
 SCALE: NA
 DATE: 11/19/2021
 PROJECT NO: 482.001

COVER SHEET

REVISION: 0
 SHEET NO: 1 OF 2
 DRAWING: C-1

INDEX OF DRAWINGS	
DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	CONCEPTUAL GRADING AND DRAINAGE PLAN

ABBREVIATIONS	
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BM	BENCH MARK
BPD	BACKWATER PREVENTION DEVICE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COM	COMMUNICATION
COM/OH	COMMUNICATION OVERHEAD
COM/UG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
E/OH	ELECTRICAL OVERHEAD
E/UG	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL or ELEV	ELEVATION
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
FG	FINISHED GRADE ELEVATION
FT	FEET or FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
JP	JOINT UTILITY POLE
JT	JOINT UTILITY TRENCH
LLFF	LOWER LEVEL FINISHED FLOOR ELEV
LPFF	LOW POINT FINISHED FLOOR ELEV
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MLFF	MAIN LEVEL FINISHED FLOOR ELEV
MMD	MARIN MUNICIPAL WATER DISTRICT
OH	OVERHEAD
P64E	PACIFIC GAS AND ELECTRIC
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RIM	ELEV AT MH COVER OR DI GRATE
RL	ROOF LEADER
ROW	RIGHT-OF-WAY
S	SLOPE
SCH	SCHEDULE
SIM	SIMILAR
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SDR	STANDARD DIMENSION RATIO
TC	TOP OF CURB ELEVATION
TM	TOP OF WALL ELEVATION
TYP	TYPICAL
UCS	UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
ULFF	UPPER LEVEL FINISHED FLOOR ELEV
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE



GENERAL NOTES:

- SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY 1031 SURVEY, INC. HIGH DEFINITION SURVEYING, 1857 RAINIER CIRCLE, PETALUMA, CALIFORNIA 94954. 415-827-6310 WWW.1031SURVEY.COM, DATED 12/10/2020. VERTICAL DATUM: FRONT EDGE OF THE FRONT DOOR THRESHOLD, ELEVATION=100.00, ASSUMED DATUM. BOUNDARY IS BASED UPON A RECORD OF SURVEY CURRENTLY IN THE REVIEW PROCESS. BOUNDARY IS PRELIMINARY UNTIL RECORD OF SURVEY IS FILED.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

UTILITY CONNECTION NOTES:

- UTILITY SERVICES TO THE PROJECT SITE ARE PROVIDED BY:
 WATER: MARIN MUNICIPAL WATER DISTRICT
 SEWER: ROSS VALLEY SANITARY DISTRICT NO. 1
 ELECTRIC POWER: PACIFIC GAS AND ELECTRIC (PG&E)
 GAS: PACIFIC GAS AND ELECTRIC (PG&E)
 TELEPHONE: AT&T
 CABLE: COMCAST

LEGEND			
EX NEM	ASPHALT PAVING (IMPERVIOUS)	PROPERTY LINE	CONC RETAINING WALL
	CONCRETE PAVING (IMPERVIOUS)	EASEMENT LINE	SUBDRAIN (PERFORATED PIPE)
	NEM FLAGSTONE PAVING (IMPERVIOUS)	EX WOODEN RET WALL	STORM DRAIN PIPE
	NEM CONCRETE PAVERS (SEMI-PERVIOUS)	DRAINAGE DITCH/ BIO-SHALE	E/OH E/UG
	NEM WOOD DECK (PERVIOUS)	UNDISTURBED SOIL	E/UG E/UG
	PERVIOUS PAVING	COMPACTED FILL MATERIAL	COM/OH COM/UG
	PLANTED, LANDSCAPED AREA	GEOTEXTILE	COM/UG COM/UG
	GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)	EROSION CONTROL BLANKET	JT JT
	EROSION CONTROL BLANKET	TURF REINFORCING MAT	SS SS
AD ⊕	AREA DRAIN	STRAW MATTLE	W W
OR ⊕	DRAINAGE INLET	RUNOFF FLOW DIRECTION	G G
RL	ROOF LEADER	SHALE FLOW DIRECTION	
⊕	FIRE HYDRANT	STORMWATER LEVEL SPREADER	-----
⊕	JOINT POLE	BUBBLE-UP DRAINAGE EMITTER	-----
⊕ ⊕	GAS METER, ELECTRIC METER	POP-UP DRAINAGE EMITTER	-----
⊕	WATER METER	SUBDRAIN END CAP	-----
⊕	EX TREE	SUBDRAIN OR STORMWATER CLEANOUT	-----
⊕	EX TREE DRIFLINE	SUBDRAIN OUTLET	-----
		HIDDEN FOUNDATION OR RETAINING WALL	-----
		TREE PROTECTION FENCING	-----
			85.5 x X REMOVE EX TREE

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

RETAINING WALL ELEVATIONS

RETAINING WALL ELEVATIONS SHOWN ON THIS GRADING PLAN ARE BASED ON SURVEYED SITE TOPOGRAPHY. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL RETAINING WALL ELEVATIONS WITH THE GRADING PLAN, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN WALL ELEVATIONS AND THE SITE TOPOGRAPHY.

ESTIMATED EARTHWORK QUANTITIES	
EXCAVATION	8.5 CY
FILL	5 CY
EXCESS	80 CY
MAX. EXCAVATION DEPTH	12 FT
MAX. FILL DEPTH	1 FT
DISTURBED AREA	0.03 AC

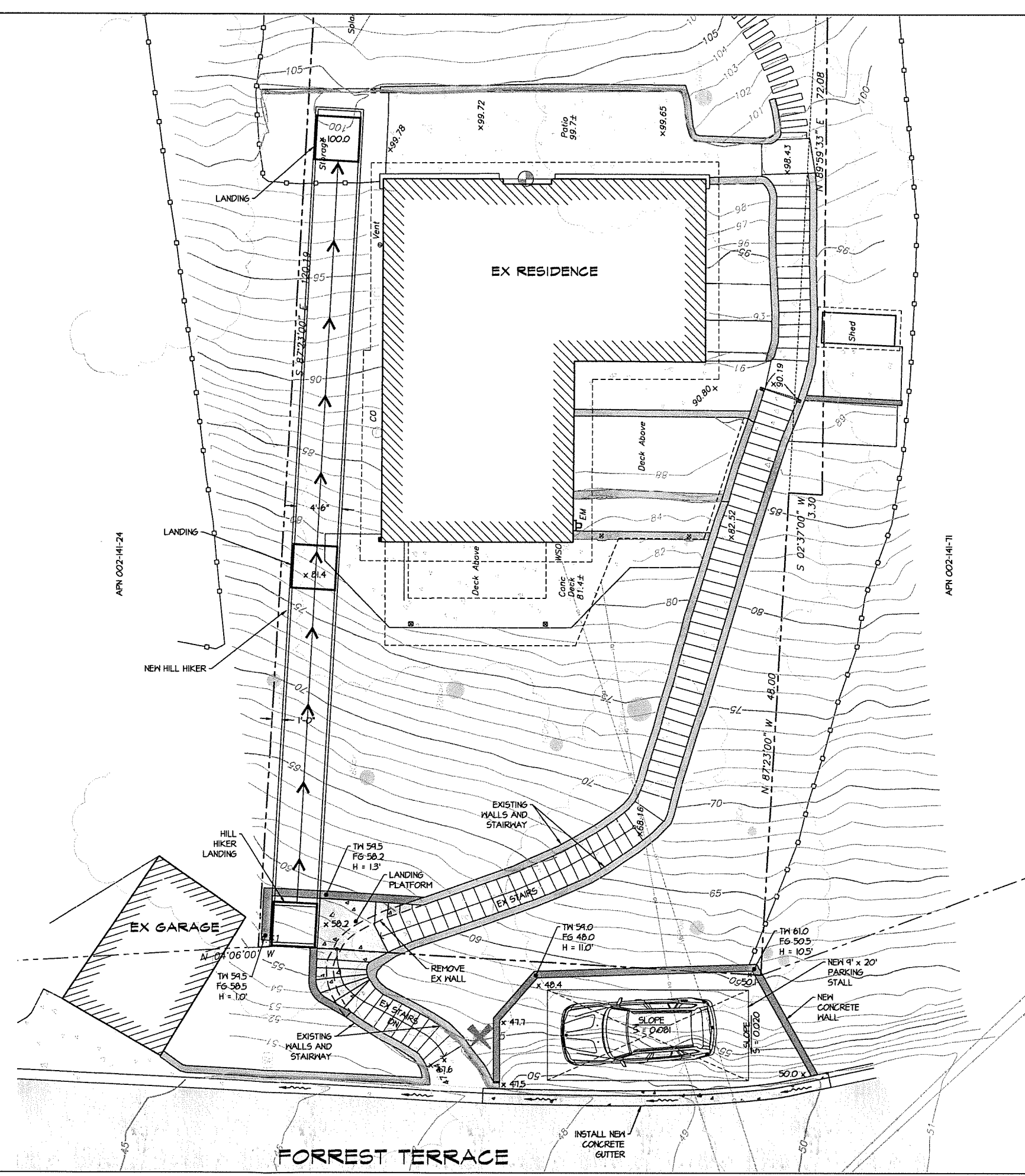
EARTHWORK NOTES:

- QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
- LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
- SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

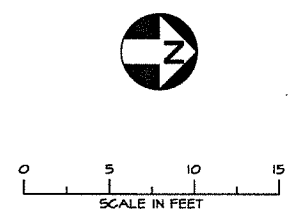
GREEN BUILDING STANDARDS

- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

C:\CAD\Worthington\Fairfax (665.001)\Parking & Access\Design\Worthington Grading and Drainage.dwg, 11/19/2021 3:32:43 PM

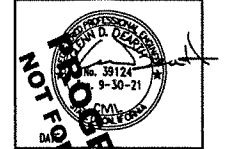


EXISTING UTILITY LOCATION
 CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO STARTING WORK. CONTACT THE ENGINEER TO REVIEW UTILITY LOCATION AND ANY CONFLICTS WITH THE PROPOSED WORK PRIOR TO STARTING WORK. UTILITY LOCATIONS SHOWN ON THIS DRAWING ARE ASSUMED LOCATIONS BASED ON VISIBLE FEATURES AND MAY NOT INCLUDE ALL EXISTING UTILITIES.



LTD Engineering, Inc.
 1050 Northgate Drive, Suite 450
 San Rafael, CA 94903
 Tel. 415.446.7402 Cell 415.717.8719
 gdean@LTDengineering.com

OWNER
 NATHALIE WORTHINGTON
 7 FORREST TERRACE
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REVISIONS		
NO.	DATE	DESCRIPTION
▲	11/19/21	ISSUED FOR REVIEW
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DESIGNED BY: G. DEARTH
 DRAWN BY: E. HAYDEN
 APPROVED BY:
 SCALE: 1" = 5'-0"
 DATE: 11/19/2021 PROJECT NO.: 482.001

CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISION: 0
 SHEET NO.: 2 OF 6
 DRAWING: C-2