

## NOTES

### 01000 GENERAL

- The following code editions shall be used for the design of this project: 2019 C.B.C., 2019 C.R.C., 2019 C.M.C., 2019 C.P.C., 2019 C. Elect. C., 2019 C. Energy Code, 2019 C.F.C., and 2019 California Green Building Standards Code including those measures specified as mandatory.
- All construction shall comply with the governing codes of the Town of Fairfax Adopted Building Ordinances.

### 01330 STRUCTURAL OBSERVATION

- Structural observation per CBC shall be performed for the following: The Contractor shall provide 48 hours notice for all site visits needed to perform the required Structural Observations and all follow-up visits. As coordinated by the Contractor, a written statement by the appropriate engineer shall be provided to the Building Department.
  - Foundation excavation and pier drilling, prior to placement of reinforcement or concrete, by the project engineer.

### 02000 SITEWORK

- ROOF DOWNSPOUTS shall outlet into solid PVC piping and exited to assure drainage away from the building.

### 02230 WILDLAND-URBAN INTERFACE AREA

- Prior to building permit final approval the property shall be in compliance with the vegetation clearance requirements prescribed in California Public Resources Code 4291 California Government Code Section 51182. CBC 701A.3.2.4.
- Roofing assemblies shall be installed in accordance with their listings and manufacturer's installation instructions. 704A.1.1.
- When provided, valley flashings shall be not less than 0.019" (No. 26 galvanized sheet gage) corrosion-resistant metal installed over a minimum 36" wide underlayment consisting of one layer of No. 72 ASTM cap sheet running the full length of the valley. 704A.1.3.
- Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. 704A.1.5.
- New exterior windows, window walls, glazed doors, and glazed openings in exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes when tested according to ASTM E 2010, or conform to the performance requirements of SFM 12-7A-2. 704A.3.2.21.
- Exterior door assemblies shall conform to the performance requirements of SFM12-7A-1 or shall be of approved noncombustible construction, or solid core wood having stiles and rails not less than 1 3/8" thick with interior panels no less than 1 7/4" thick, or shall have a fire-resistance rating not less than 20 minutes when tested according to ASTM E 2074. (Exception: noncombustible or exterior fire-retardant treated wood vehicle access doors.)

### 02539 SEWER LINES

- The Ross Valley Sanitary district requires this project's sewer lateral be tested. The test must be conducted by a licensed plumbing contractor with a district Inspector present. Laterals that do not pass an air or water test are required to be replaced and brought into compliance to district standard specifications for sewer laterals.



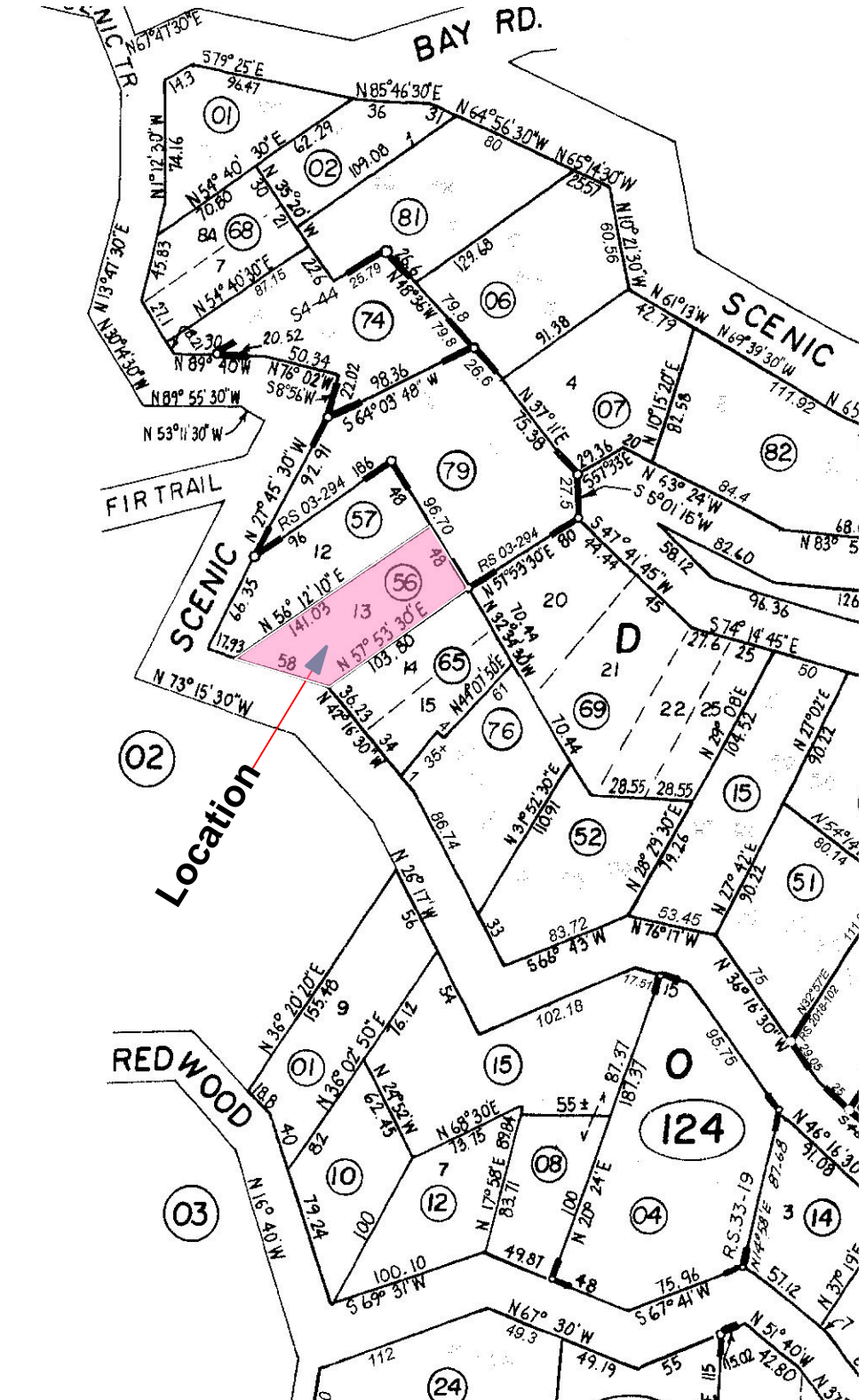
5 NEIGHBORING HOMES



6 PROPOSED FRONT ELEVATION  
SCALE: 1:0.53



7 EXISTING FRONT ELEVATION  
SCALE: 1:4.11



1 PARCEL MAP

#### PROJECT DATA SHEET

1. Lot Area	sq.ft.	
Existing	5,400	
Proposed	5,400	
2. Building Area - Coverage	sq.ft.	
Existing building	785	
Proposed	785	15%
3. Floor Area	sq.ft.	
Existing	1,788	
	Upper floor	543
	Middle floor	692
	Lower floor	553
Proposed	1,788	
4. Floor Area Ratio		
Existing	33.1%	
Proposed	33.1%	
Deck Area		
Existing.....	291	
	Upper floor	-
	Middle floor	163
	Lower floor	128
Proposed.....	368	
	Upper floor	-
	Middle floor	240
	Lower floor	128
5. Proposed Area of additional disturbance	0	
6. Existing & Proposed Lot Coverage	sq.ft.	
Imperious	875	
	buildings	785
	paving	90
Pervious	4,525	84%
7. Grading calculations	cu.yd.	
Cut - 8" deep piers	6.3	
Fill	-	
Off-haul	6.3	
8. Parking		
Existing	2	
Proposed	2	
9. Min. setbacks for new deck area	feet	
Side yards - combined	20	
Rear yard	29	
Front yard	6	
10. Max. ht. of new bldg area	35	

2 Project Data Table

## CONTENTS

PROJECT  
**PAVIS RESIDENCE**  
217 Scenic Road, Fairfax  
Job No. 21003

### SCOPE OF WORK

#### UPPER FLOOR:

No expansion of building area. Addition of Powder Room. Windows replaced at Study area. Raise a section of ceiling to provide better natural light from the south and a more spacious feeling in a space now constrained by existing low ceiling beams. New upper roof cupola conforms to height limit. Balance of existing roof is re-roofed with new tar & gravel while retaining the existing roof height at the perimeter of the building.

#### MIDDLE FLOOR:

Northerly deck area expanded to provide more usable area while re-structuring the framing to meet current code. Setback lines are not violated.

#### LOWER FLOOR:

Decks reinforced.

#### GENERAL:

The original project was approved by the Town in approx. 1970. An addition at the Upper Floor (garage & entry) was approved in approx. 1979. This current proposal does not expand the existing building area and all new construction conforms to current code.

### DESCRIPTION:

Zone: RS6  
Building Occupancy Group: R-3/U  
Type of Construction: V-N  
WUI: Located in a designated Wildland-Urban Interface area.  
Stories: Three

### OWNER

Nicholas Pavis  
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### ARCHITECT

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### PROJECT ENGINEER

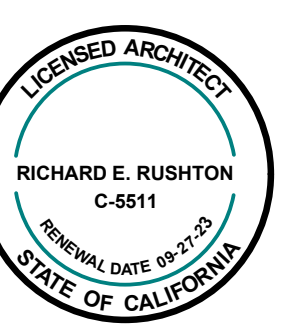
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115 Rocca Drive, Fairfax, CA 94930  
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### DRAWINGS

sheet	title
A1.1	GENERAL Contents Project Data Sheet Parcel Map with adjacent homes Notes
A2.1	SITEWORK Site Plans, Existing & Proposed
A4.1	FLOOR PLAN Existing & Proposed Floor Plans
A6.1	SECTION Section looking West at raised portion Roof Plan, Existing & Proposed
A7.1	EXTERIOR Exterior Elevations, Existing & Proposed

END OF CONTENTS

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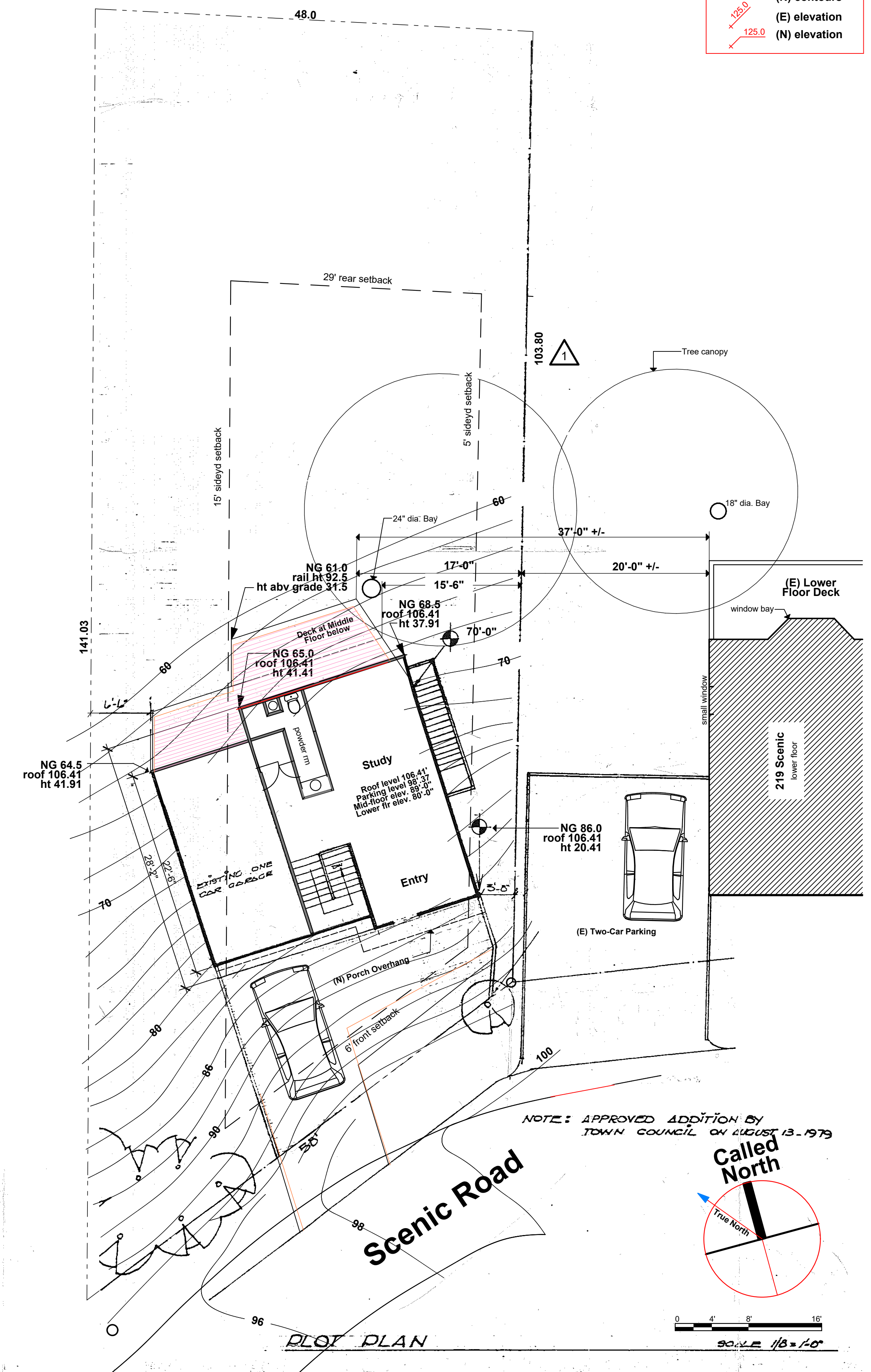
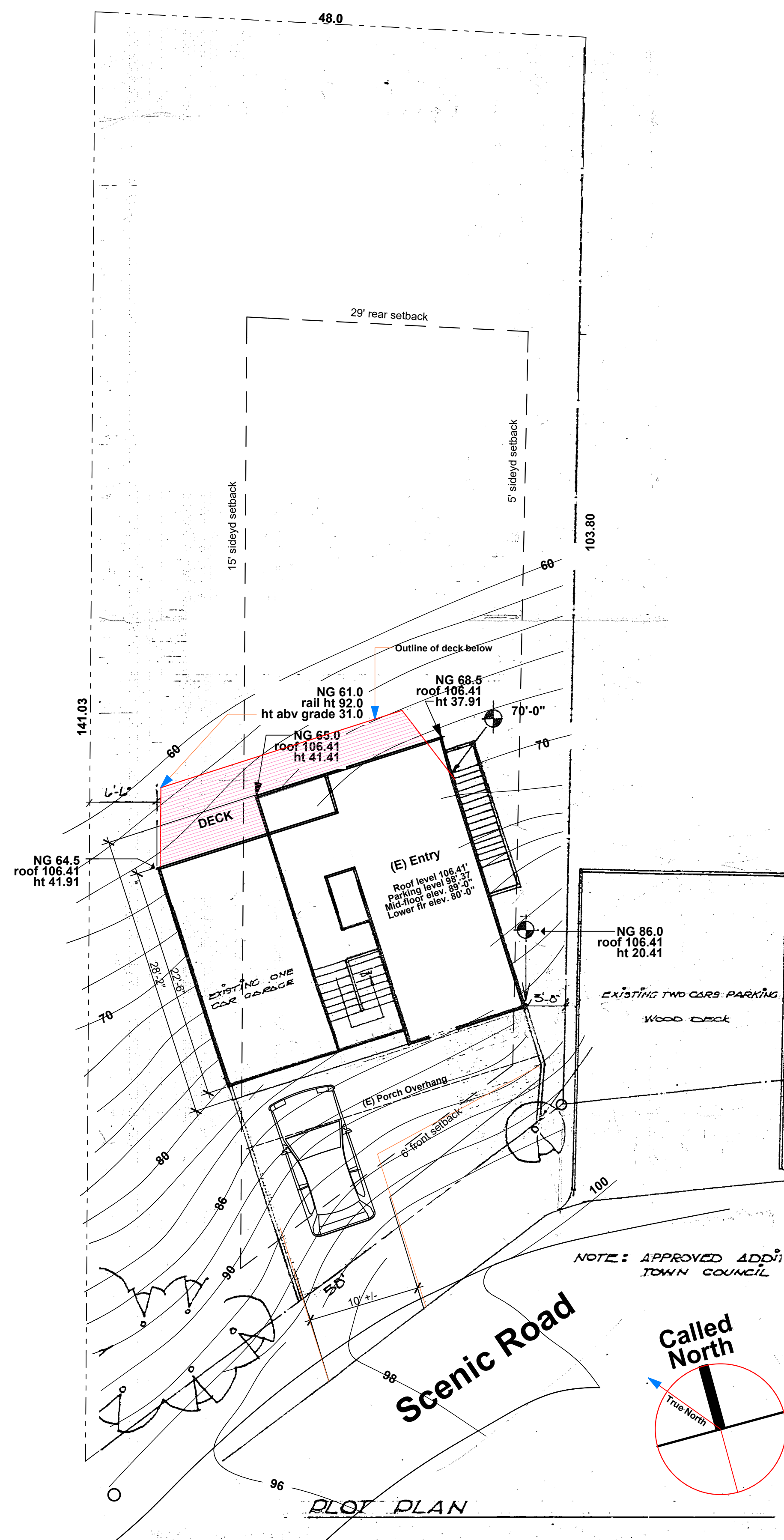
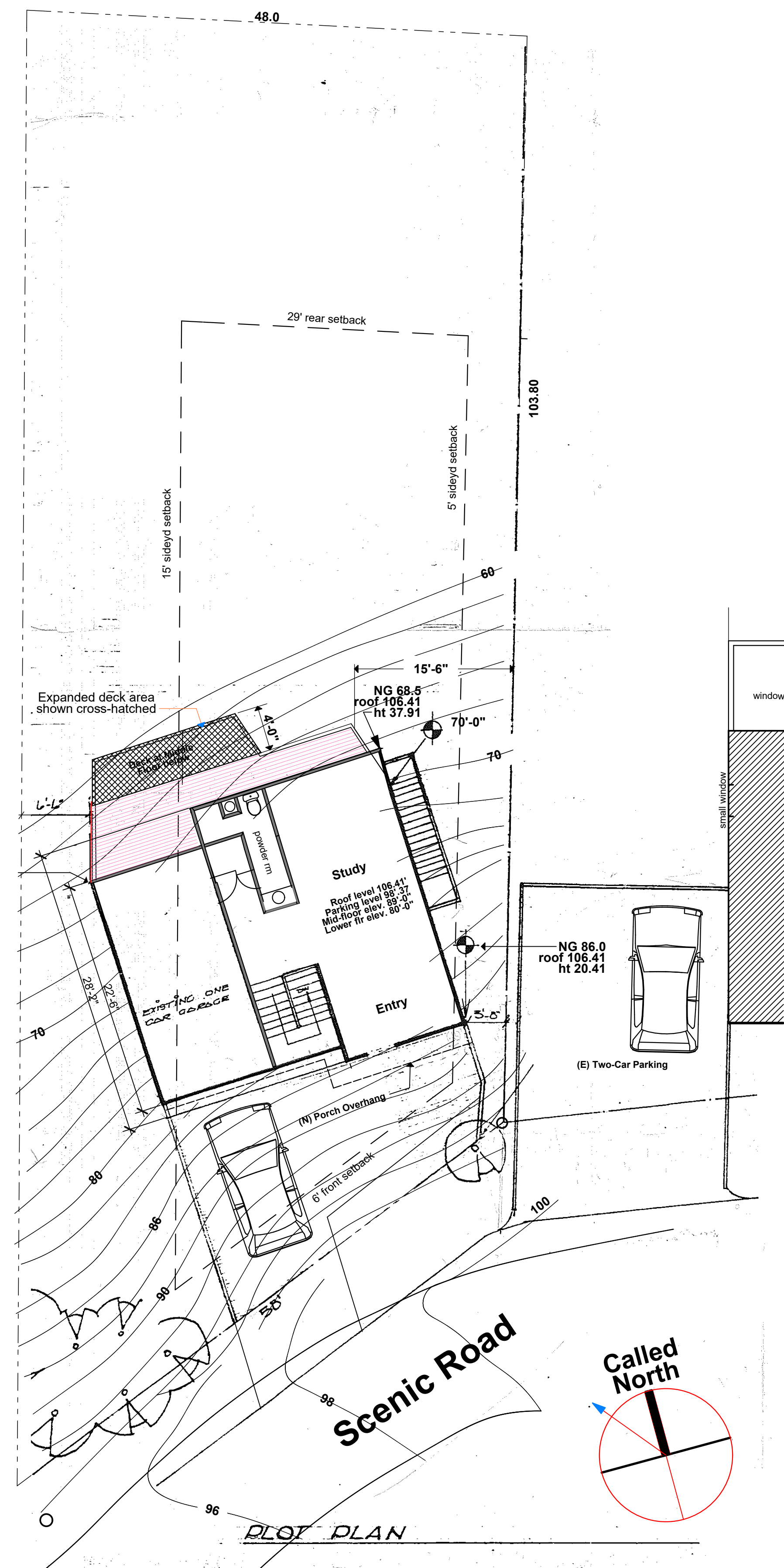
Project No.	21003
Project Architect	Richard Rushton
Date	9/20/21
planning resubmit	
Revisions	
1	3/10/22 planning resubmit

TITLE SHEET

**A1.1**

Plotted On: 3/3/2022

- Legend**
- Existing wall
  - New 2x4 wall
  - Removed wall
  - (E) contours
  - (N) contours
  - (E) elevation
  - (N) elevation



**3** ALTERNATE DECK EXPANSION  
SCALE: 1/8" = 1'-0"

**2** EXISTING SITE PLAN  
SCALE: 1/8" = 1'-0"

**1** PROPOSED SITE PLAN  
SCALE: 1/8" = 1'-0"

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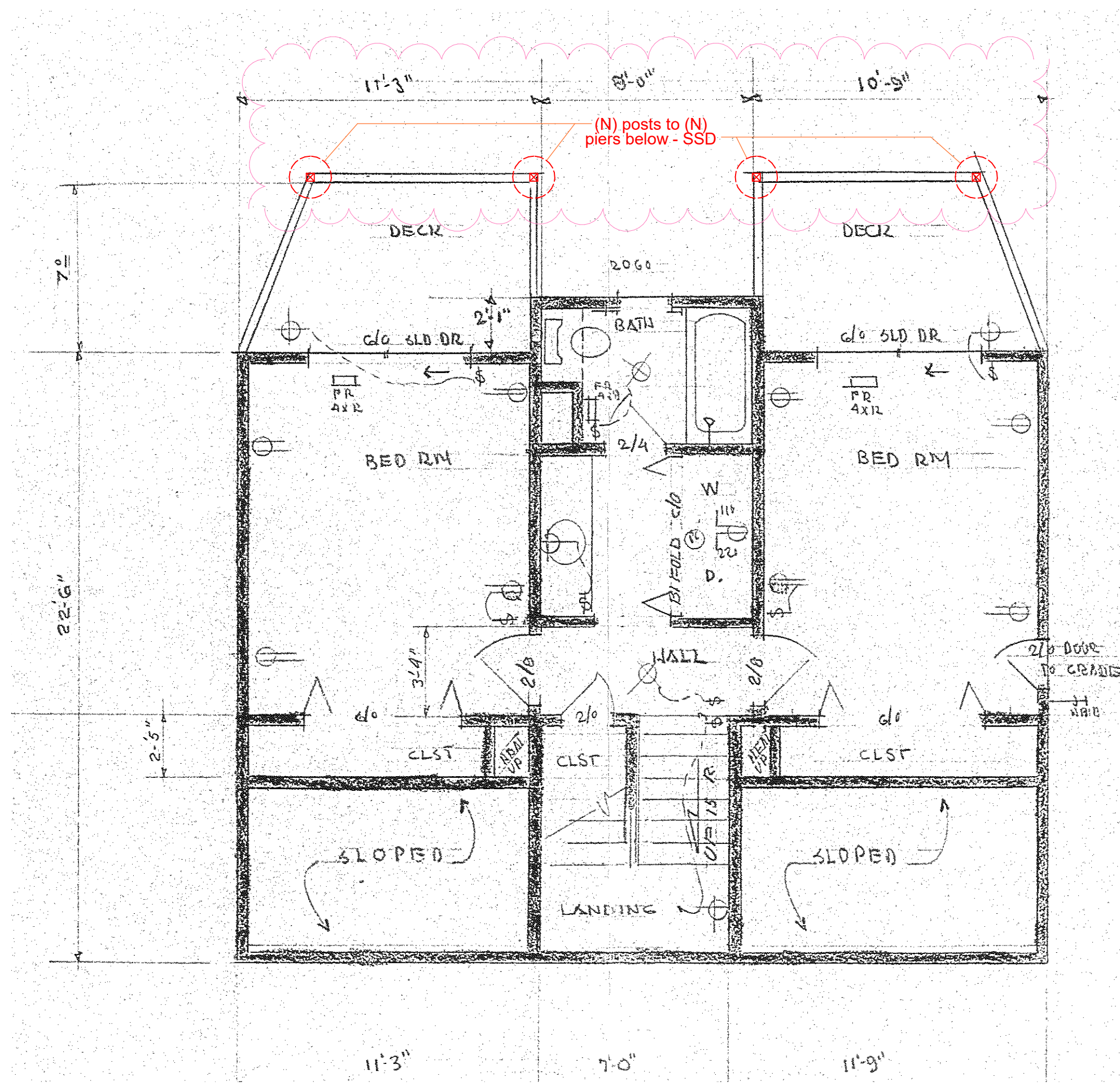


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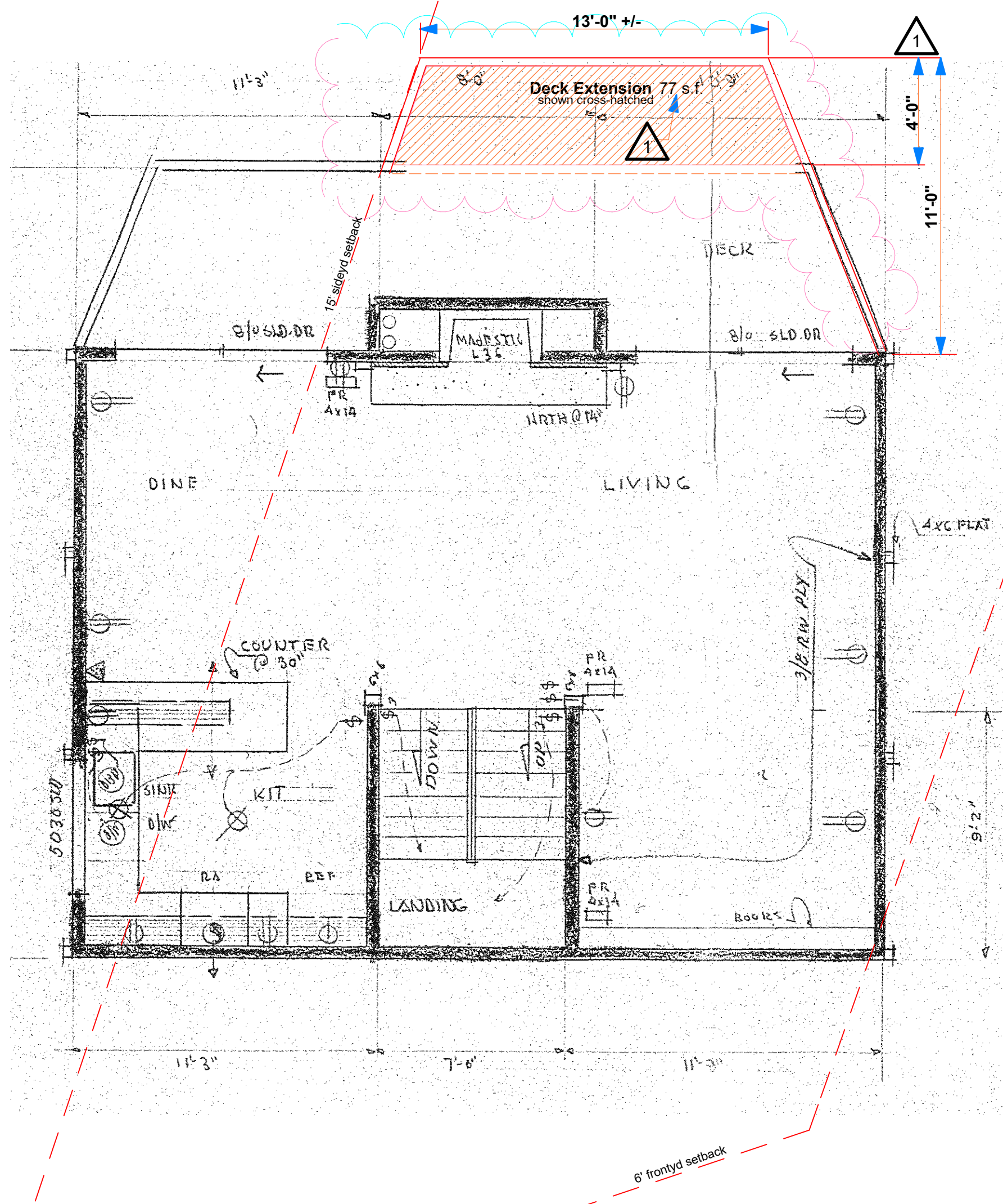
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**SITE PLAN**

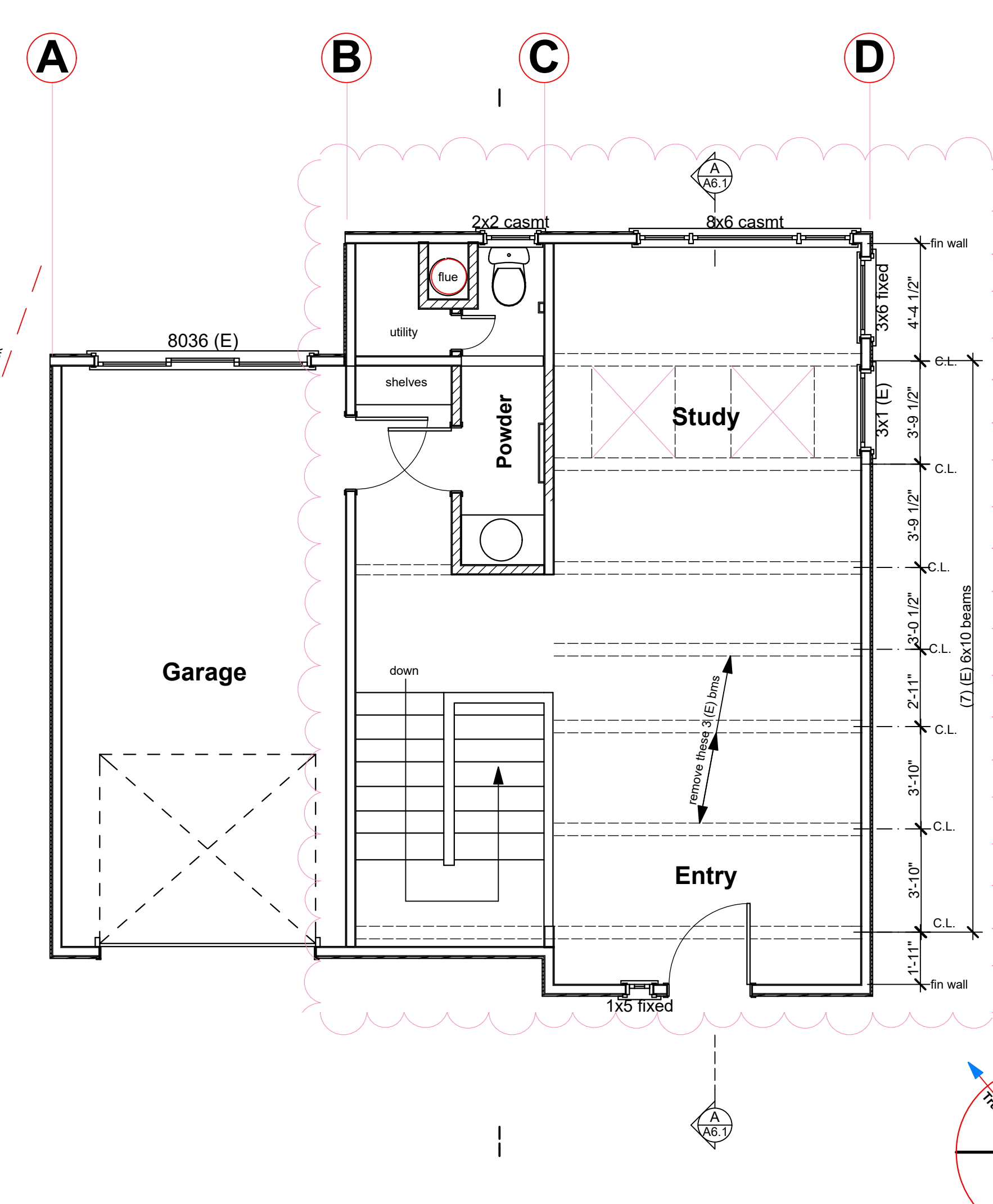
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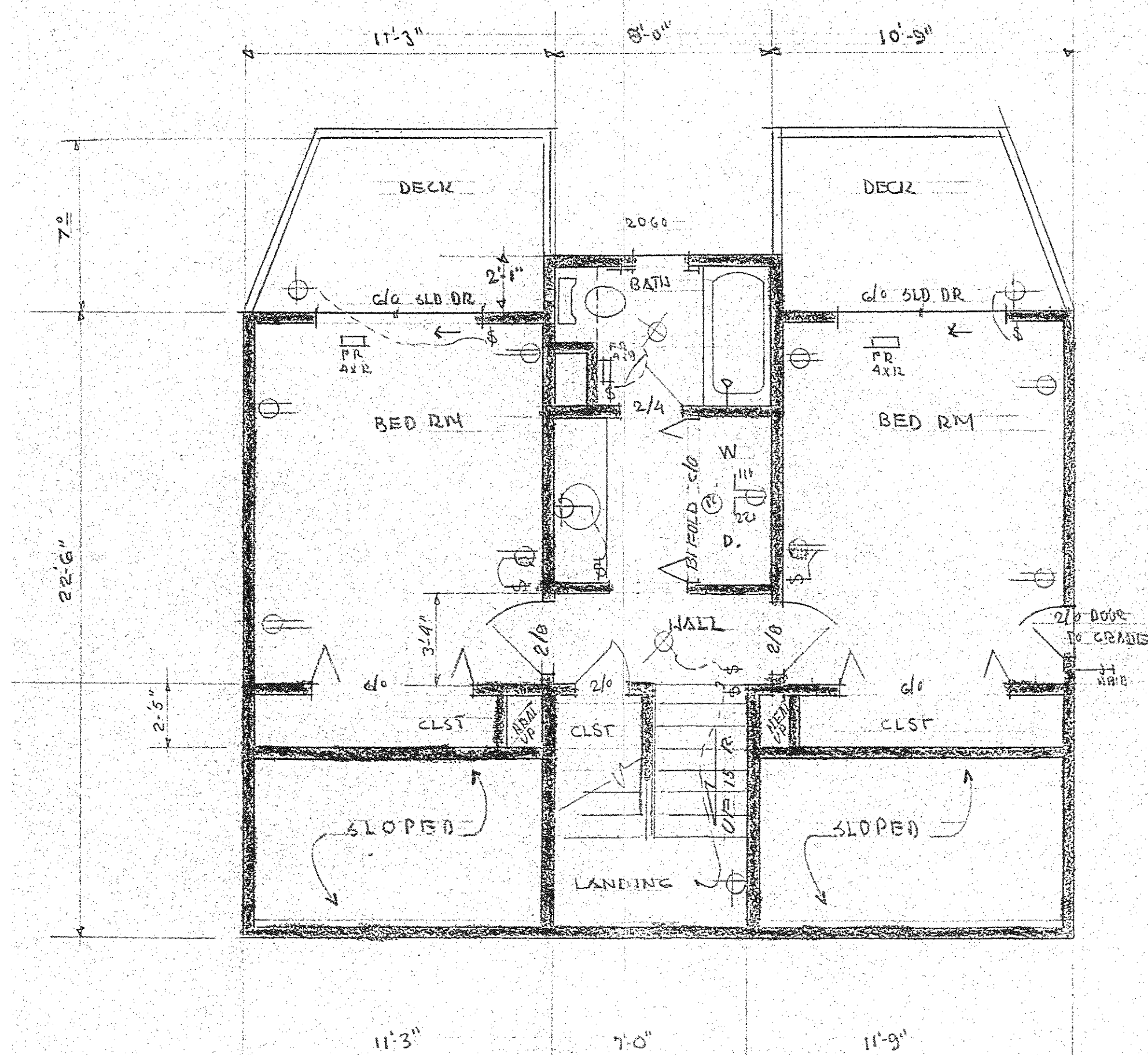
1 PROPOSED LOWER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



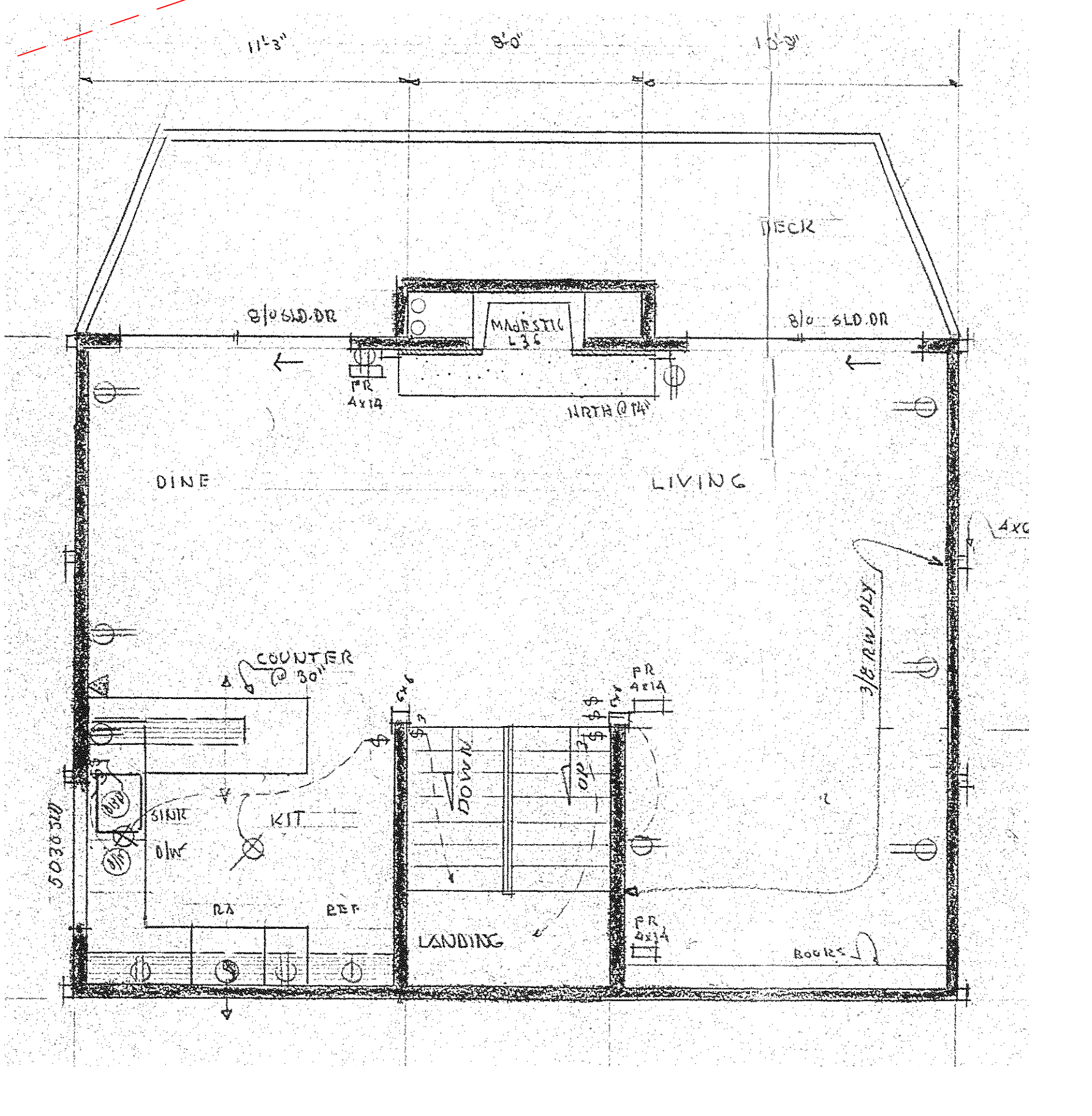
2 PROPOSED MIDDLE FLOOR PLAN with expanded deck  
SCALE: 1/4" = 1'-0"



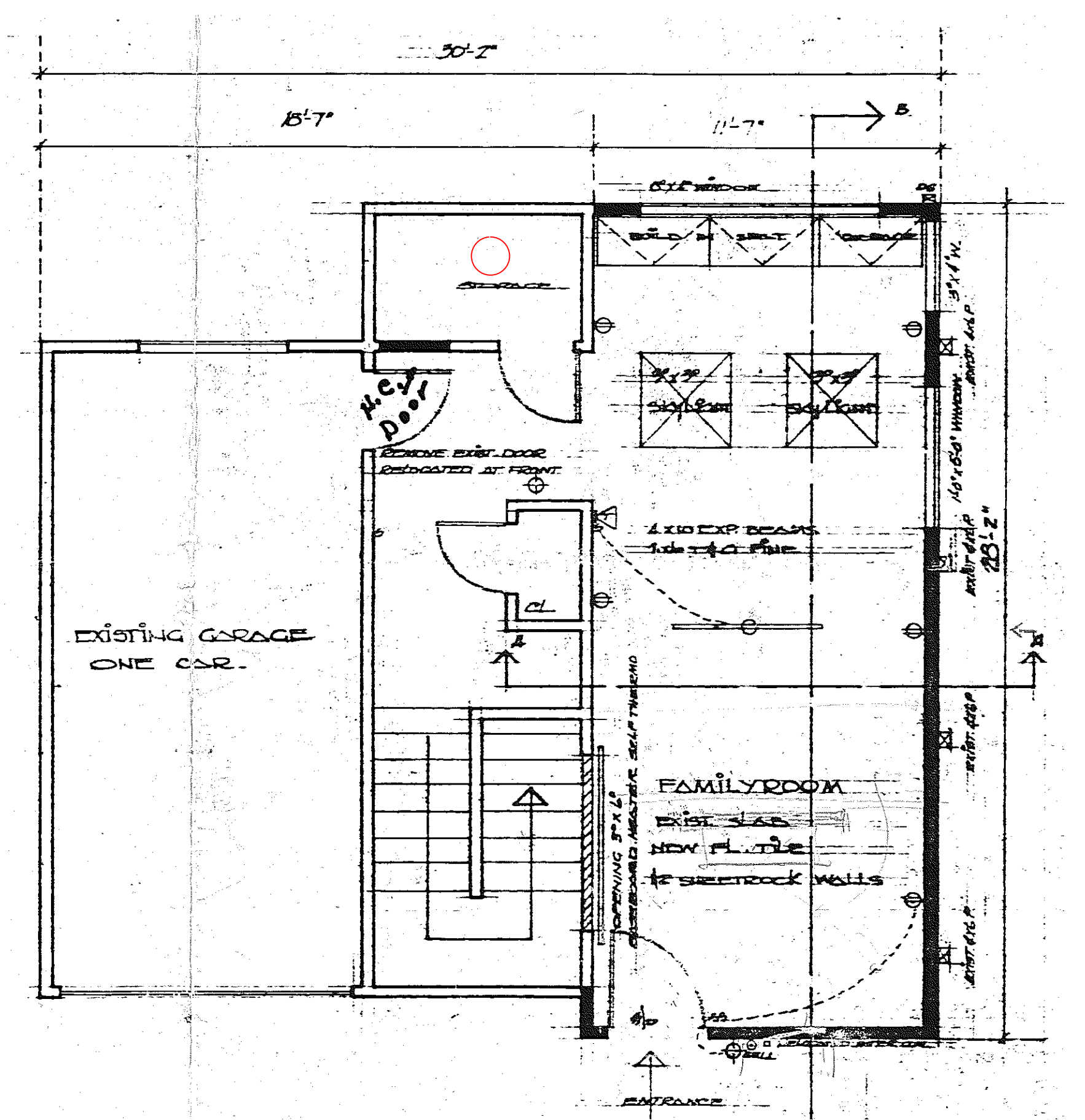
3 PROPOSED UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"



4 (E) LOWER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

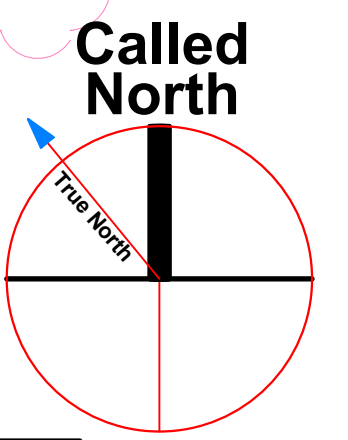


5 (E) MIDDLE FLOOR PLAN  
SCALE: 1/4" = 1'-0"



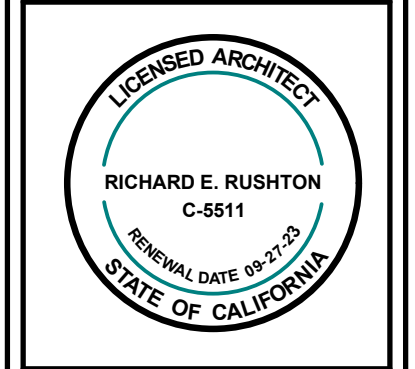
6 (E) UPPER FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**PROPOSED**



**EXISTING**

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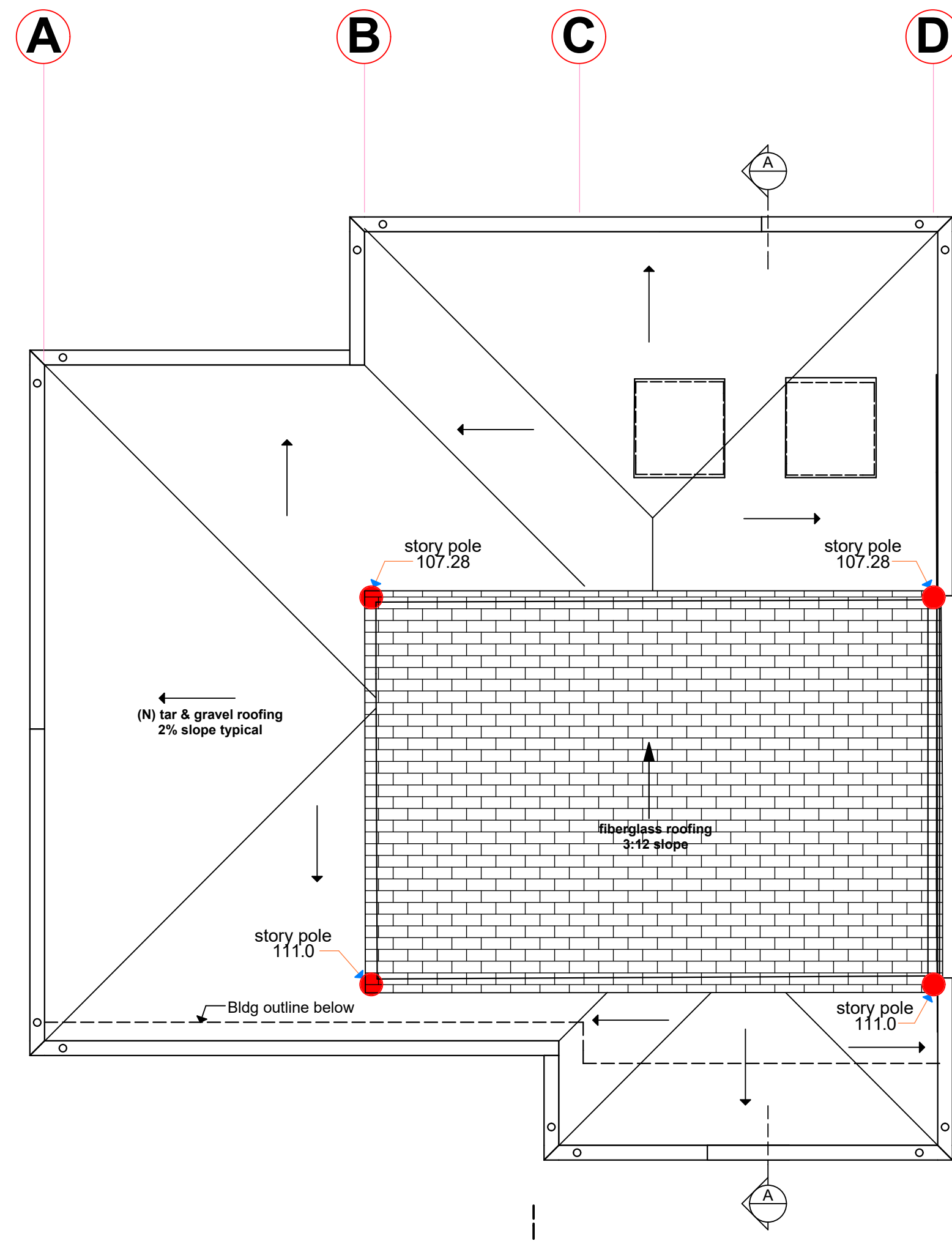


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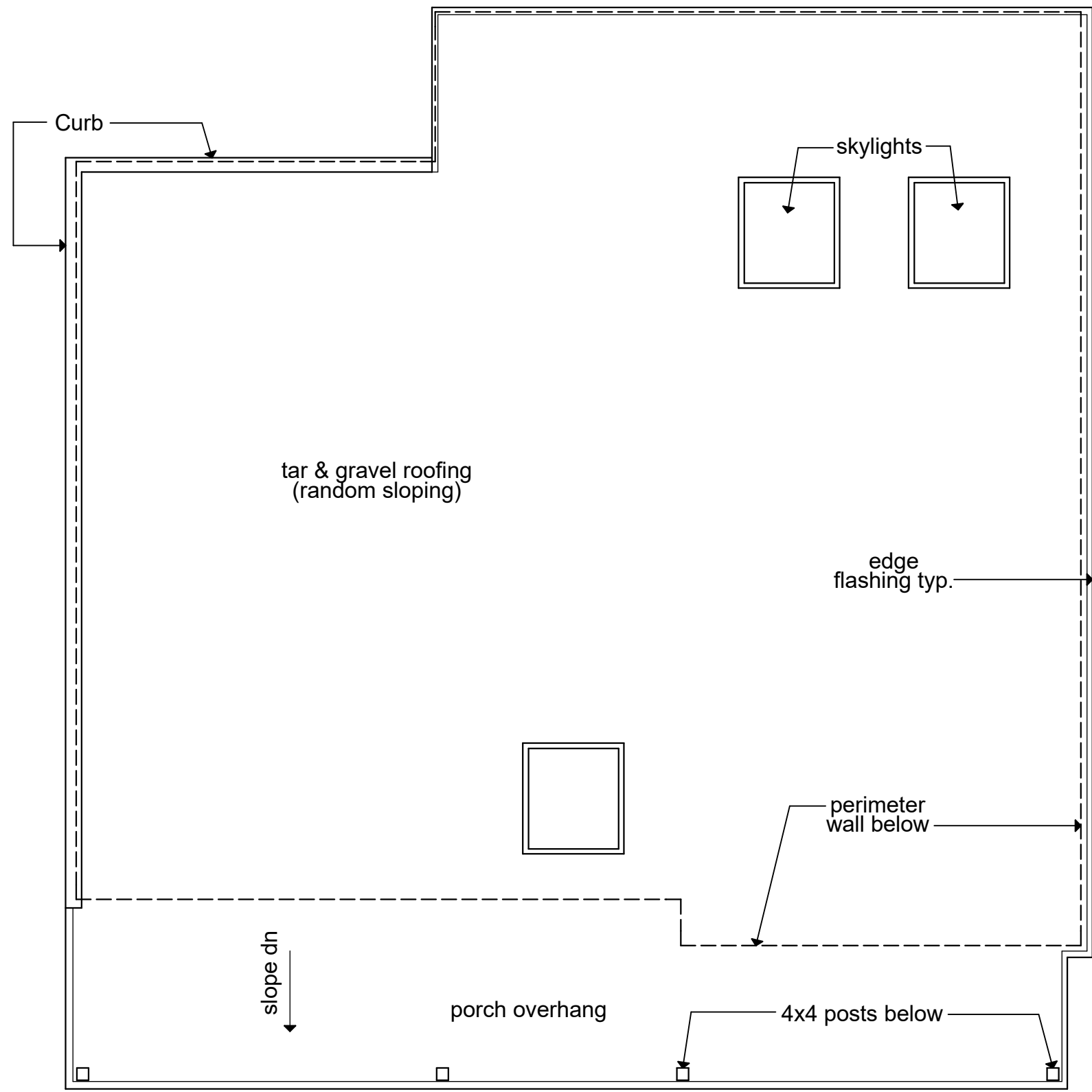
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**FLOOR PLANS**

THE ABOVE DIMENSIONS DOES NOT GUARANTEE THE EXACTNESS OF THE DRAWING. THIS DRAWING WILL HAVE EXACTLY THE SAME DIMENSIONS AS THE ORIGINAL DRAWING. AFFECTING ALL LABELED DIMENSIONS.



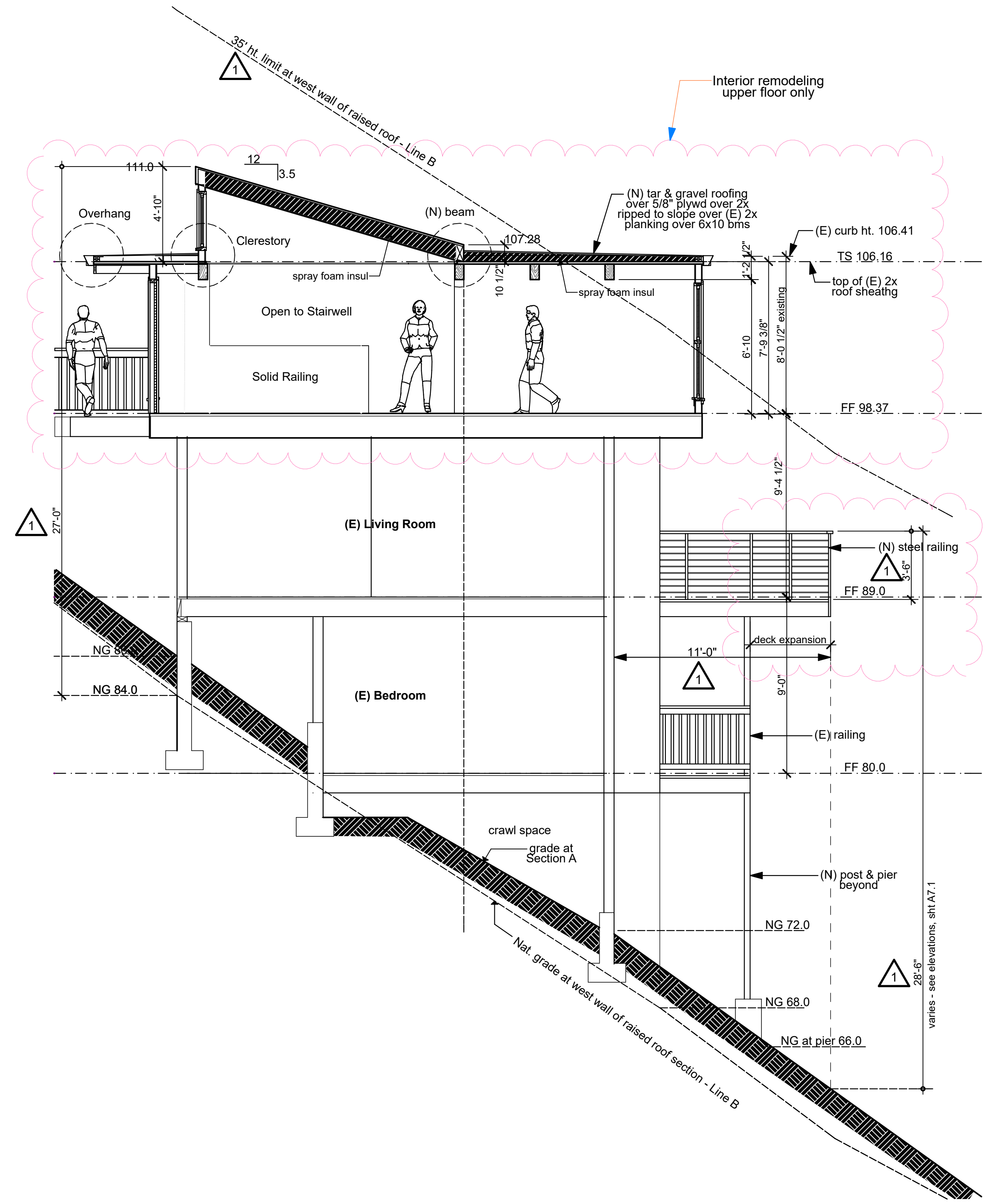
**1** PROPOSED ROOF PLAN  
SCALE: 1/4" = 1'-0"



**2** EXISTING ROOF PLAN  
SCALE: 1/4" = 1'-0"

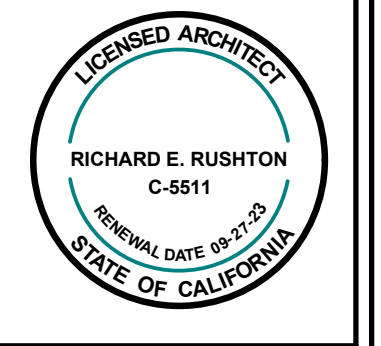
**PROPOSED**

**EXISTING**



**A** Section looking West  
SCALE: 1/4" = 1'-0"

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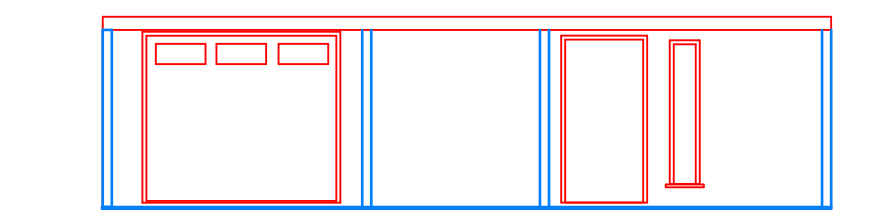
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**SECTION, ROOF PLANS**

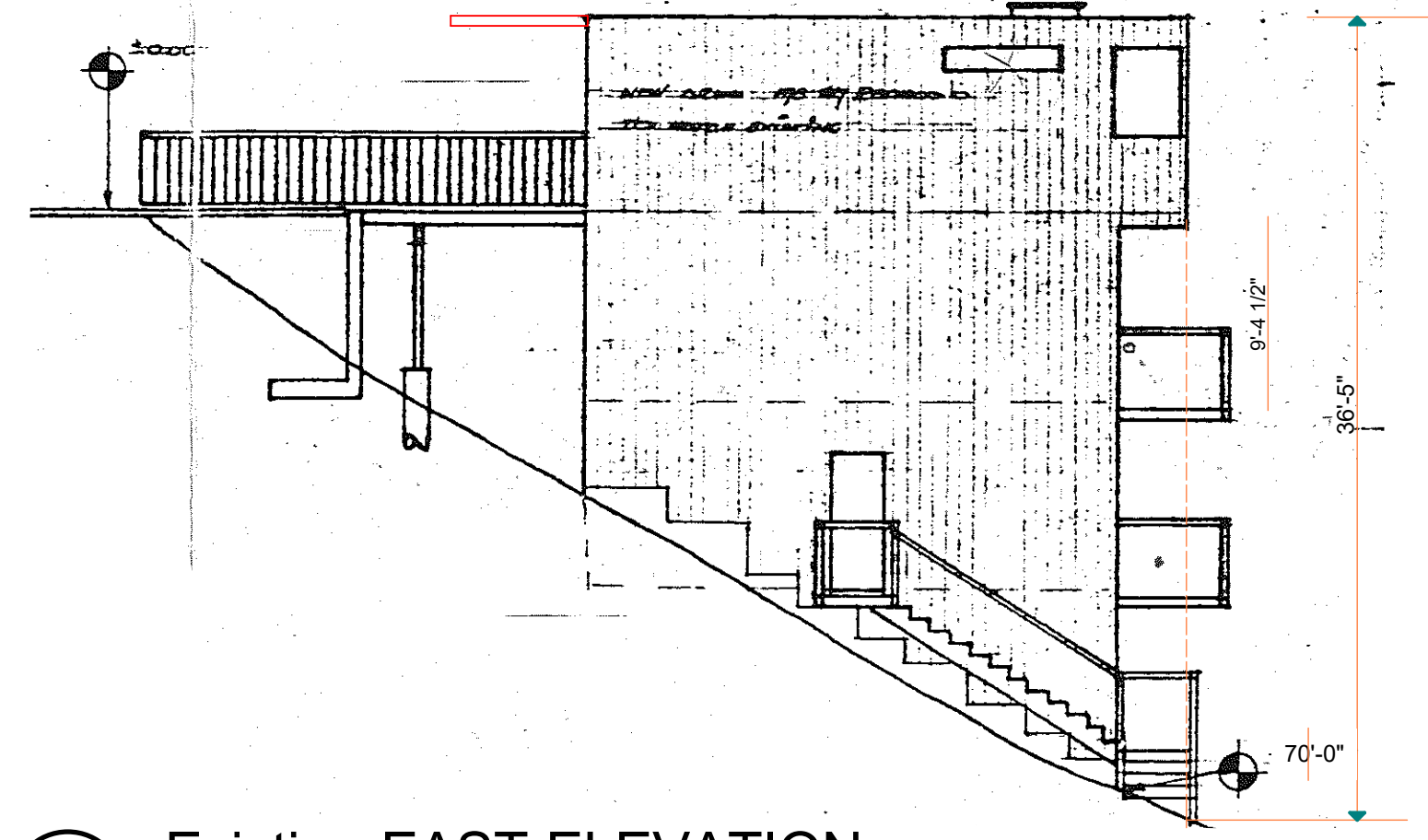
**A6.1**

Plotted On: 3/3/2022

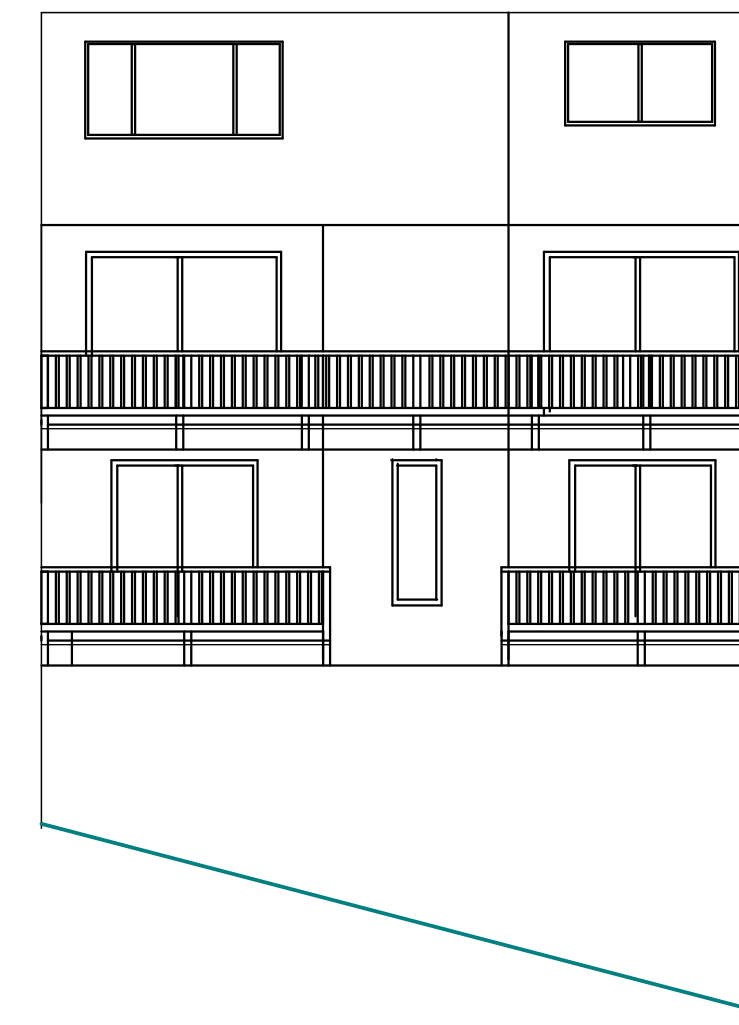
THE ABOVE DIMENSIONS DOES NOT GUARANTEE THAT THE DRAWING WILL BE EXACTLY AS SHOWN. DIMENSIONS WILL VARY SLIGHTLY FROM THE ACTUAL DIMENSIONS. AFFECTING ALL LABELED DIMENSIONS.



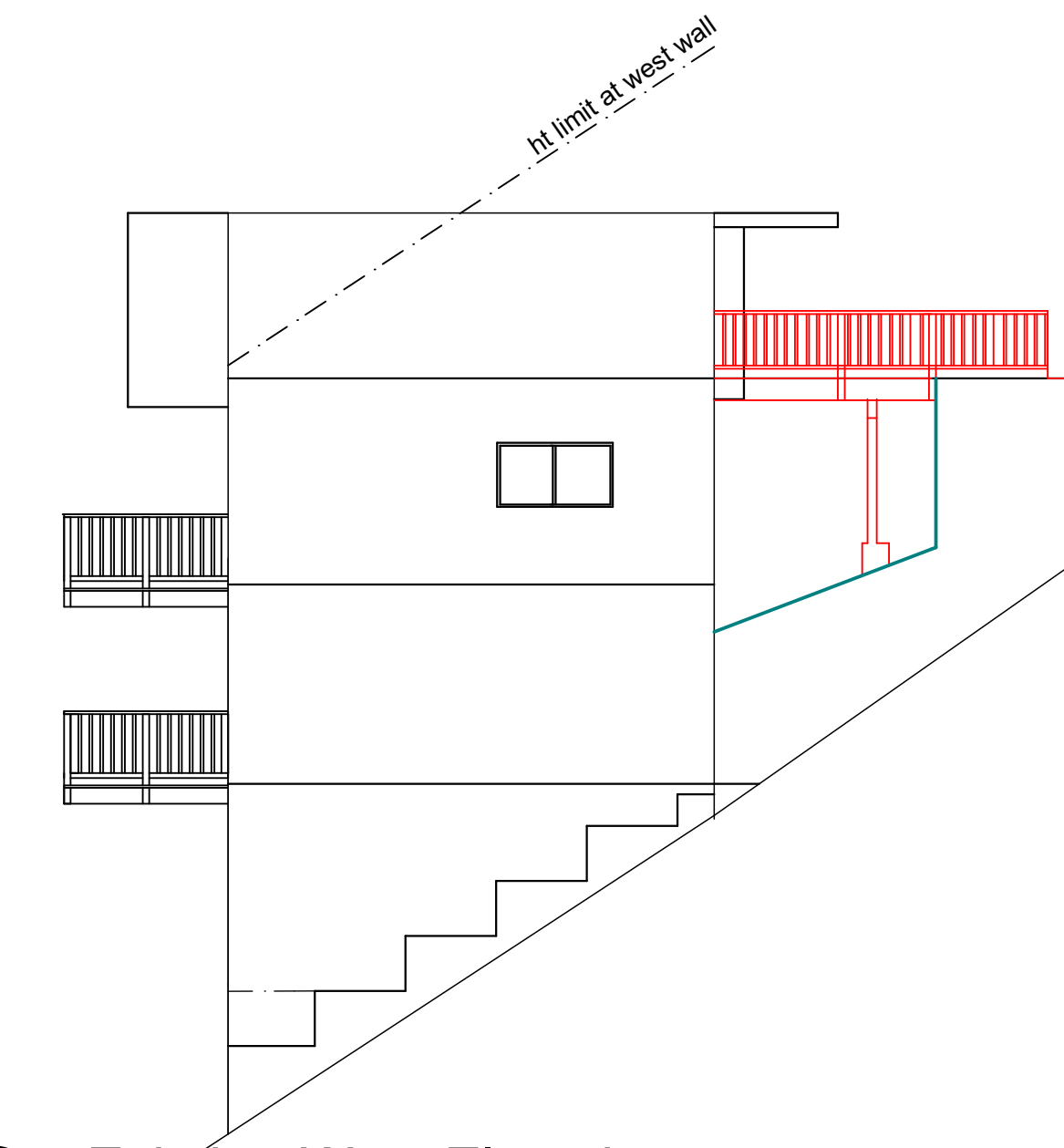
1 Existing South Elevation



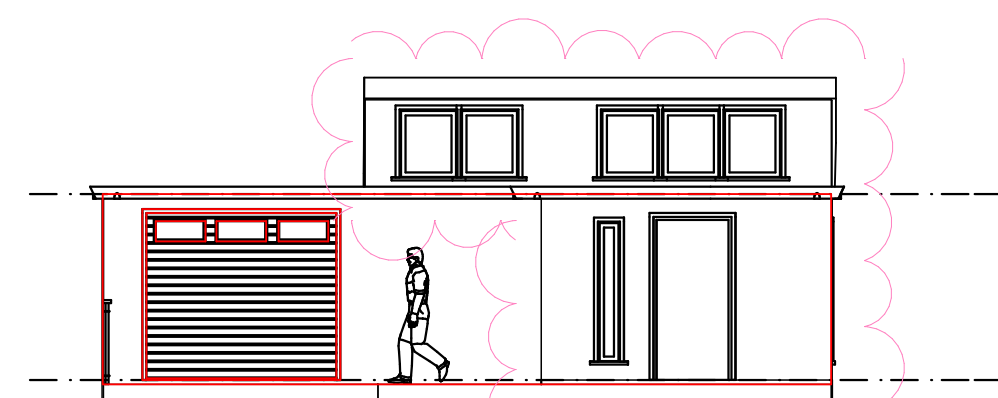
2 Existing EAST ELEVATION  
SCALE: 1/4" = 1'-0"



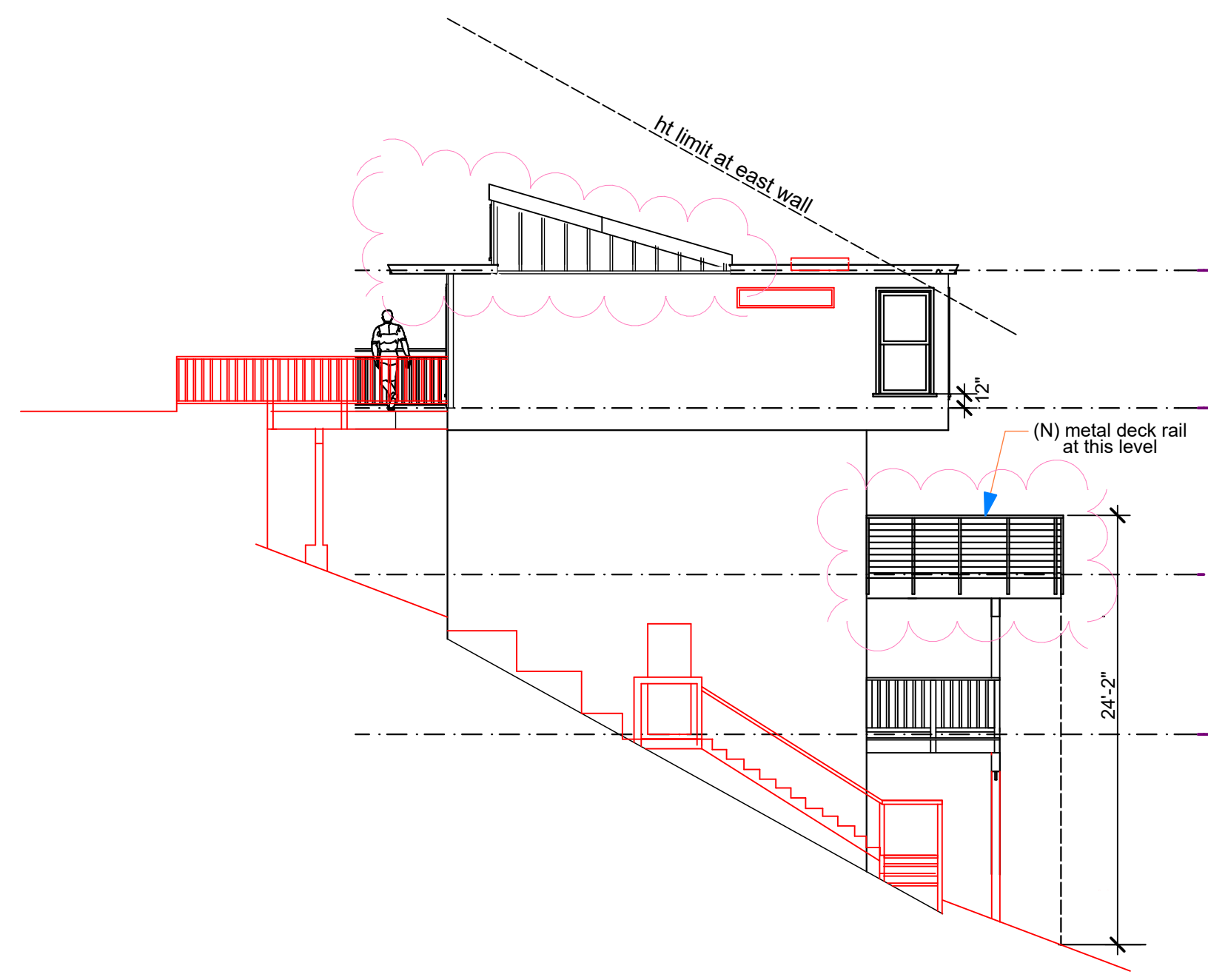
3 Existing NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



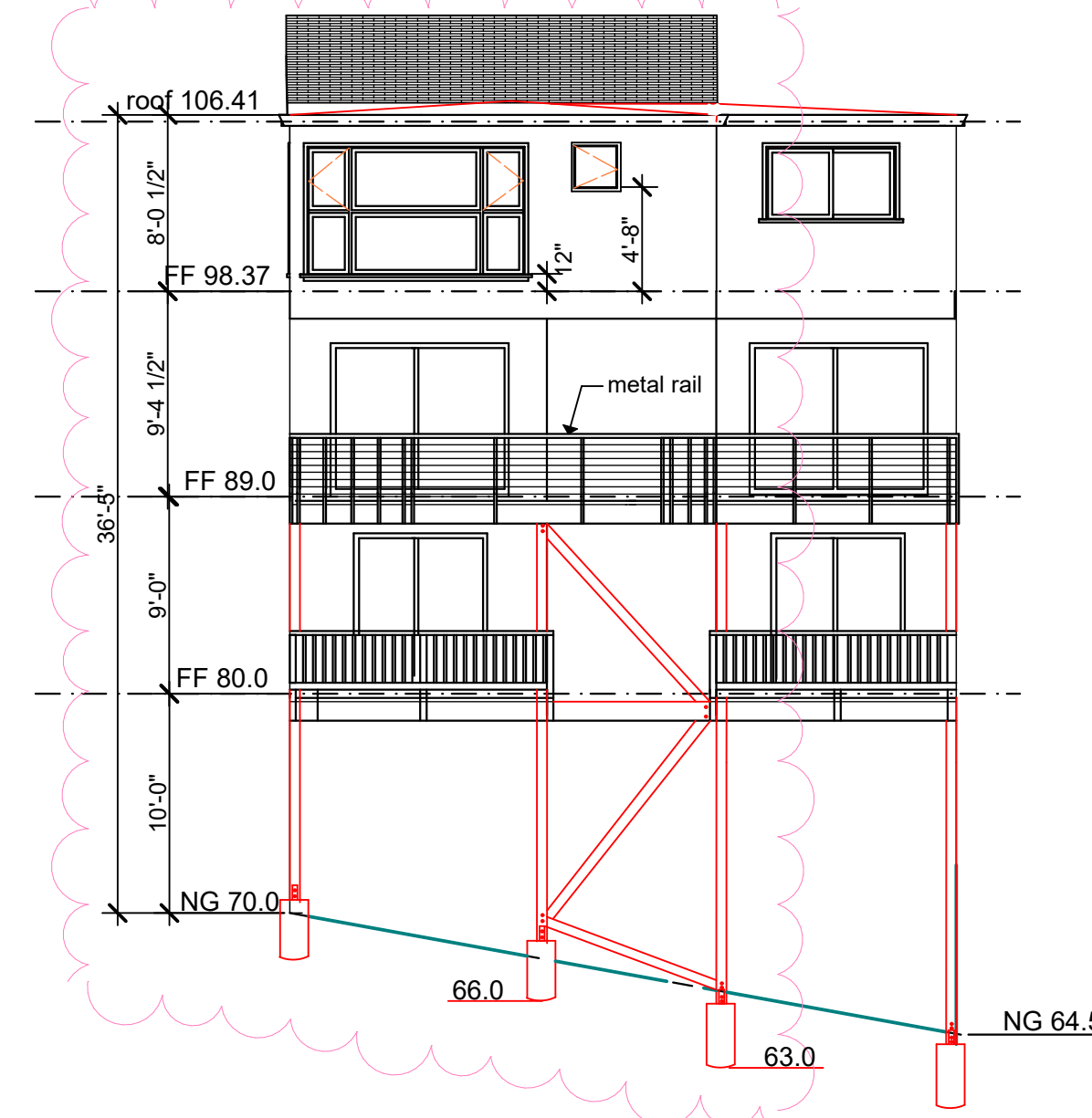
4 Existing West Elevation  
SCALE: 1/8" = 1'-0"



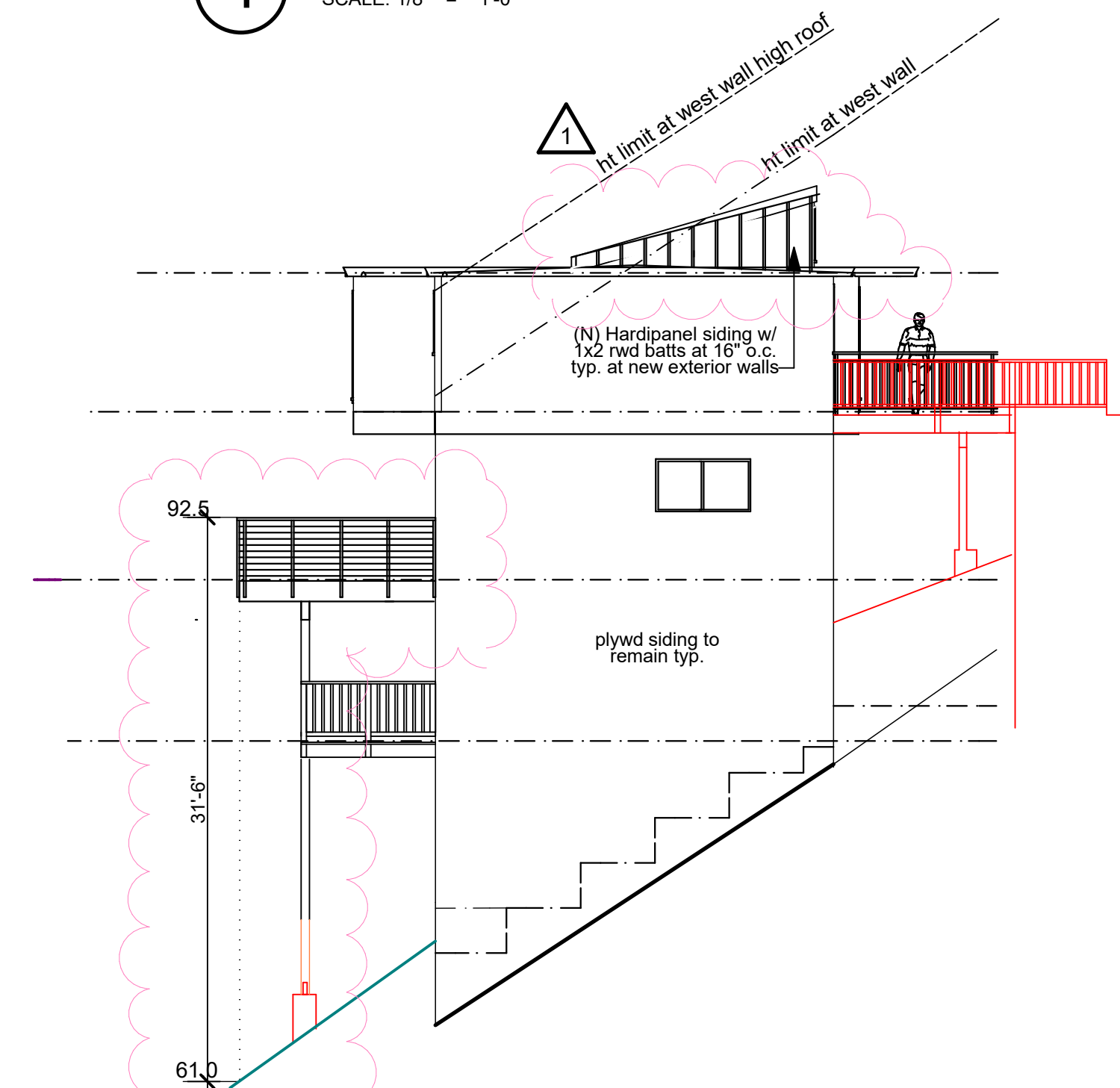
5 (E) Proposed South Elevation  
SCALE: 1/8" = 1'-0"



6 Proposed East Elevation  
SCALE: 1/8" = 1'-0"

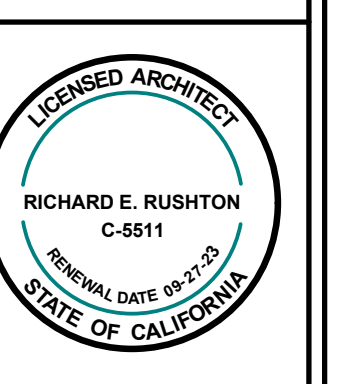


7 Proposed North Elevation  
SCALE: 1/8" = 1'-0"



8 Proposed West Elevation  
SCALE: 1/8" = 1'-0"

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	3/10/22 planning resubmit

EXTERIOR ELEVATIONS, SECTION

**A7.1**

Plotted On: 3/3/2022