

2
A1 VICINITY MAP
SCALE: AS NOTED

INDEX OF DRAWINGS

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- A1.1 SITE SECTIONS, BUILDING SECTION
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- A2.1 EXISTING HOUSE PLANS
- A3.1 EXTERIOR ELEVATIONS
- A3.2 EXTERIOR ELEVATIONS/ EXISTING BUILDING SECTION
- C1 EXISTING CONDITIONS MAP
- C2 DEMOLITION PLAN
- C3 CIVIL SITE, GRADING, & DRAINAGE PLAN
- C4 EROSION CONTROL PLAN

SCOPE OF WORK

PROVIDE NEW GARAGE WITH UPPER ATTIC STORAGE SPACE, WITH STAIRS FROM STREET LEVEL TO NEW ROOF DECK AND NEW FRONT STAIRS AT RESIDENCE.
PROJECT INCLUDES EARTHWORK AND RETAINING WALLS AS NEEDED.
MODIFICATION OF EXISTING DRAINAGE PIPE NEEDED AT LOCATION OF NEW GARAGE.

PROJECT DATA

ASSESSORS PARCEL NUMBER	001-121-22			
ZONING	RS-6 - SINGLE FAMILY RESIDENTIAL			
OCCUPANCY (NEW STRUCTURE)	U- GARAGE			
CONSTRUCTION TYPE	TYPE VB			
SITE AREA	5,560 SF			
LOT SLOPE (MARIN MAP)	38.62 %			
BUILDING AREA	EXISTING	REMODELED	NEW	PROPOSED
MAIN FLOOR	705 ± SF	0 SF	0 SF	705 ± SF
UPPER FLOOR	437 ± SF	0 SF	0 SF	437 ± SF
LOFT	168 ± SF	0 SF	0 SF	168 ± SF
TOTAL	1,310 ± SF			1,310 ± SF

GARAGE (NEW)	EXISTING	REMOVED	NEW	PROPOSED
	0 SF	0 SF	413 SF	413 SF
FLOOR AREA ALLOWED	FLOOR AREA EXISTING/ PROPOSED			
5,560 SF x .40 = 2,224 SF	1,310 SF = 0.24		5,560 SF	

LOT COVERAGE	EXISTING	REMOVED	NEW	PROPOSED
STRUCTURE	739 SF	0 SF	413 SF	1,152 SF
STAIRWAYS (NON-PERMEABLE)	125 SF	(125 SF)		
PATIOS	690 SF	(133 SF)	0 SF	557 SF
TOTAL	1,554 SF	(258 SF)	413 SF	1,709 SF

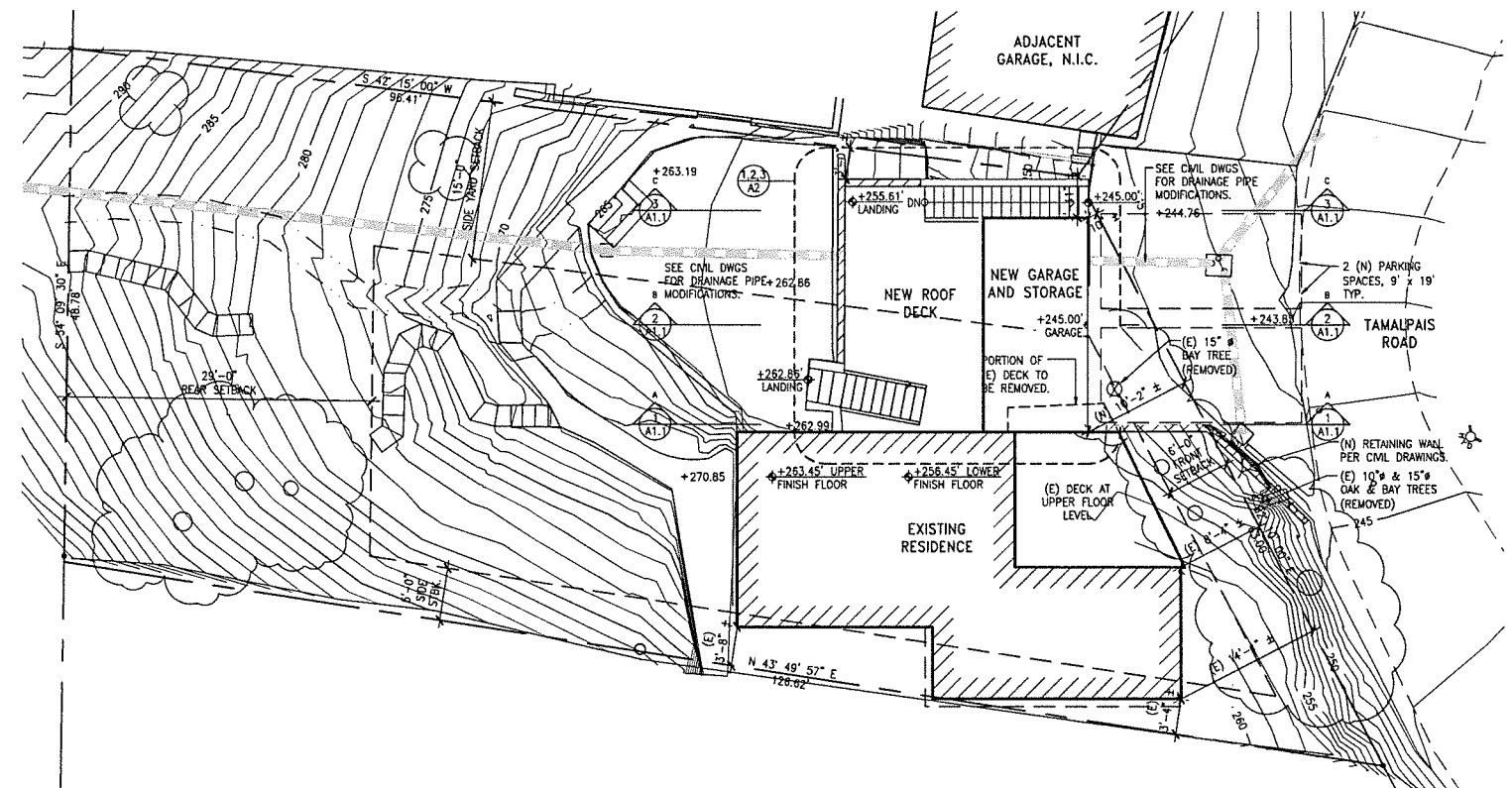
LOT COVERAGE ALLOWED
5,560 SF x .35 = 1,946 SF

(E) LOT COVERAGE
1,554 SF / 5,560 = .28

LOT COVERAGE PROPOSED
1,709 SF / 5,560 SF = .31

PERMEABLE AREAS	EXISTING	REMOVED	NEW	PROPOSED
DECKS	190 SF	(25 SF)	0 SF	165 SF

EXCAVATION
CUT 234 C.Y. FILL 1 C.Y.



1
A1 PROPOSED SITE PLAN

BASED ON TOPOGRAPHIC MAP PREPARED BY
OBERKAMPER & ASSOCIATES DATED 08/28/2019



SCALE: 1/8" = 1'-0"



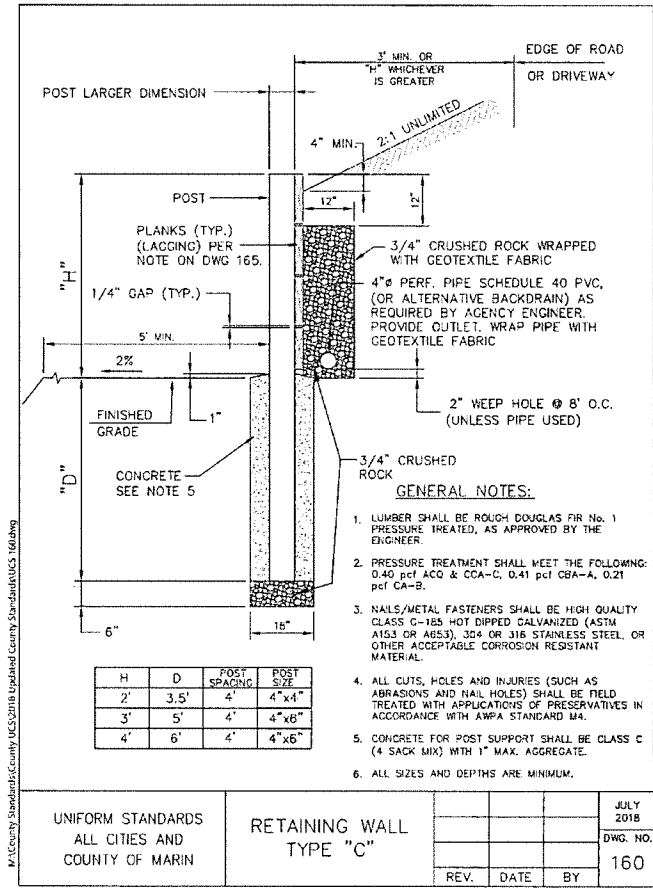
A R C H I T E C T S
FREDRIC C. DIVINE ASSOCIATES
1924 FOURTH ST., SAN RAFAEL, CA, 94901
Phone: (415) 457-0220 Fax: (415) 454-9581

NEW GARAGE
136 TAMALPAIS ROAD
SAN RAFAEL, CA 94903
APP: 001-121-22
FOR: ROBIN RUBINSKY

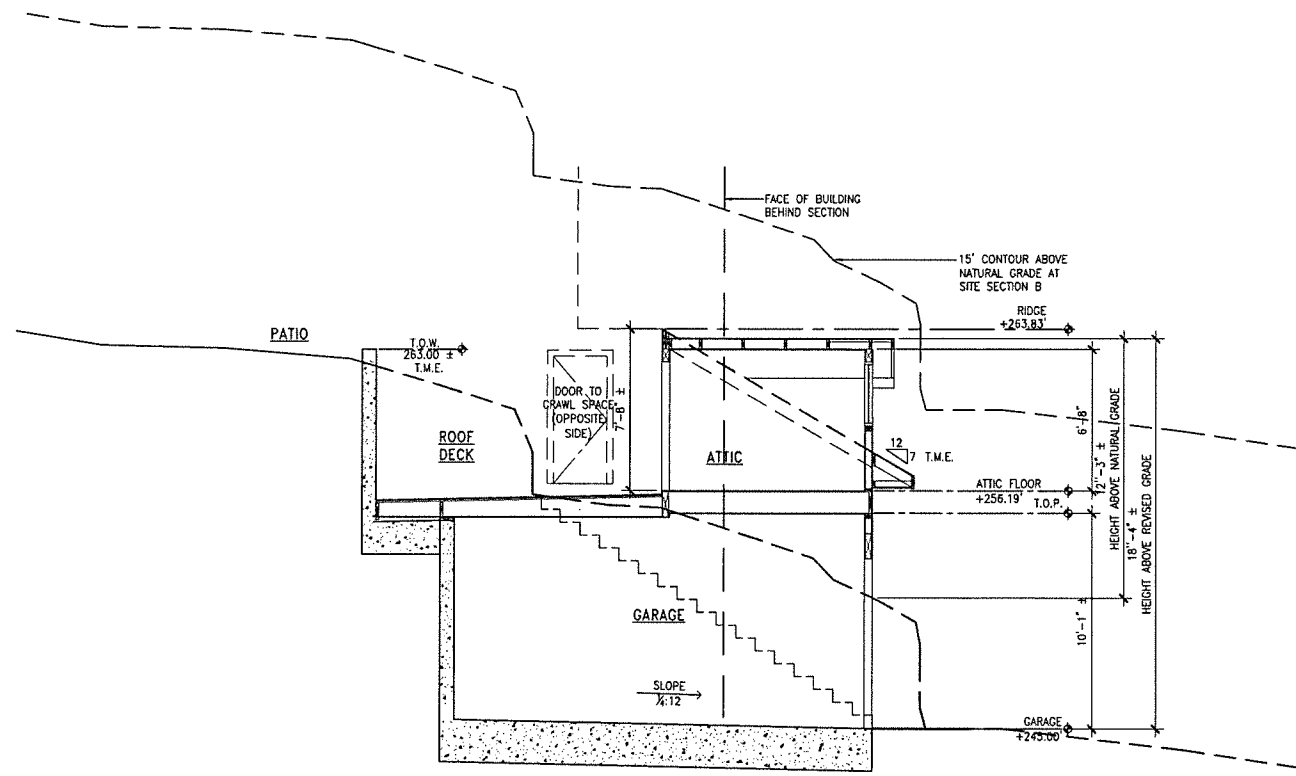
**PROPOSED SITE PLAN,
PROJECT DATA
VICINITY MAP**

Revisions	03-30-2021
REVISION	06-15-2021
PLANNING COMMENTS	
Date:	06-15-2021
Scale:	As Noted
Drawn:	JMK
Job #	18005
Prototype	DMNE

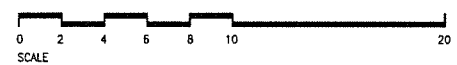
A1



5 RETAINING WALL DETAIL
A1.1 SCALE: 1/2" = 1'-0"



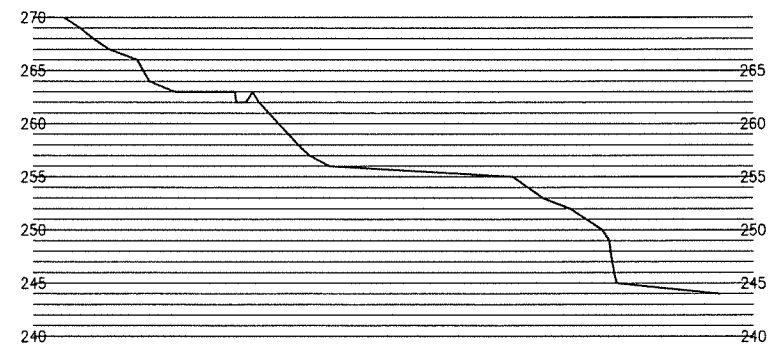
4 BUILDING SECTION
A1.1 SCALE: 1/4" = 1'-0"



3 EXISTING SITE SECTION C
A1.1 SCALE: 1/8" = 1'-0"



2 EXISTING SITE SECTION B
A1.1 SCALE: 1/8" = 1'-0"



1 EXISTING SITE SECTION A
A1.1 SCALE: 1/8" = 1'-0"

ARCHITECTS
FREDRIC C. DIVINE ASSOCIATES
1924 FOURTH ST., SAN RAFAEL, CA 94901
Phone: (415) 457-0220 Fax: (415) 454-9581

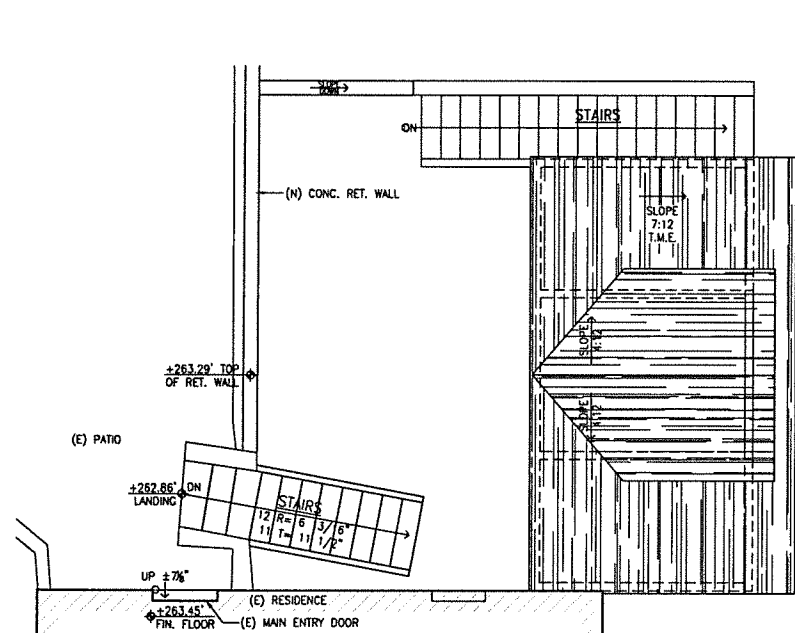
NEW GARAGE
136 TAMALPAIS ROAD
FAIRFAX, CA 94903
APN: 001-121-22
FOR: ROBIN HUBINSKY

SITE SECTIONS
BUILDING SECTION

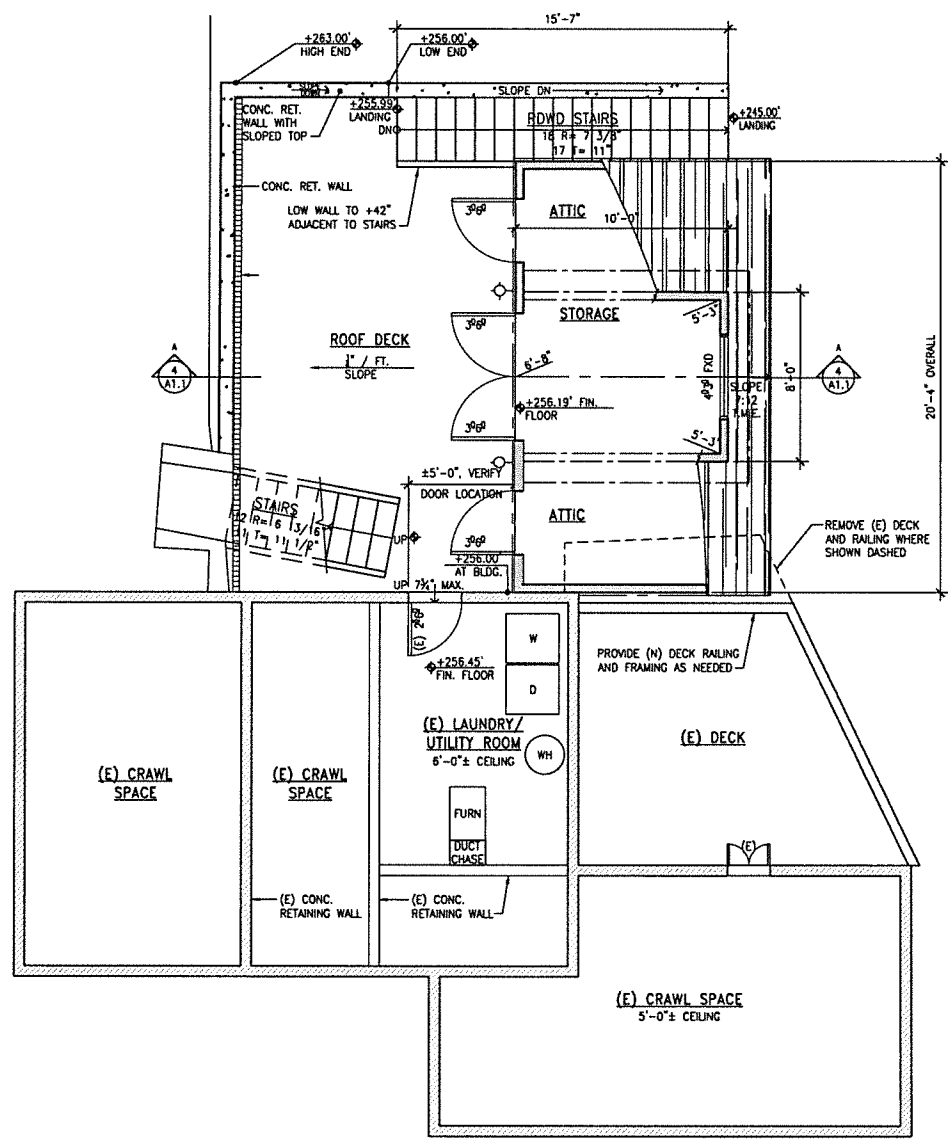
Revisions	PLANNING APPLICATION	PLANNING COMMENTS
03-01-2021		
06-15-2021		

Date: 06-15-2021
Scale: As Noted
Drawn: JMK
Job #: 18005
Prototype: DIVINE

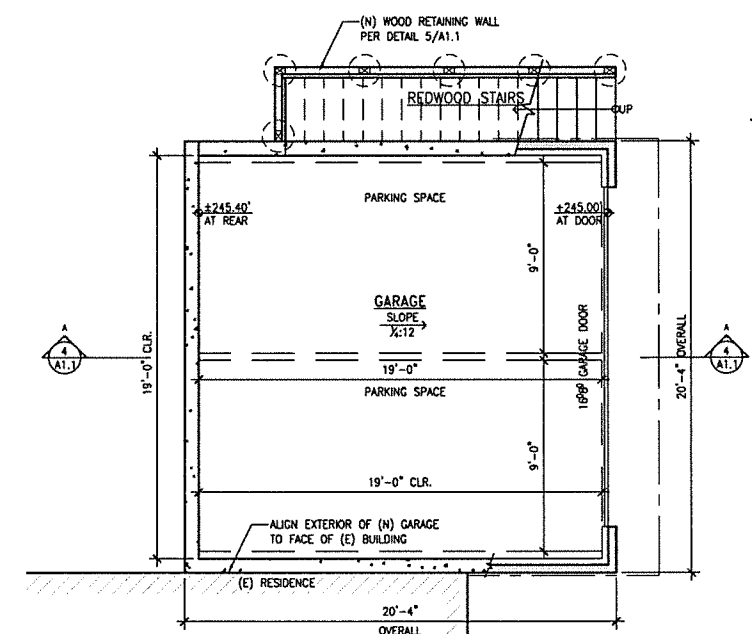
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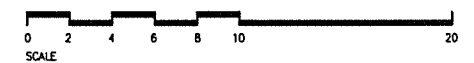
3 NEW ROOF PLAN
 A2 SCALE: 1/4" = 1'-0"



2 ROOF DECK / ATTIC PLAN
 A2 (N) ROOF DECK 293 SF SCALE: 1/4" = 1'-0"



1 NEW GARAGE FLOOR PLAN
 A2 (N) GARAGE 413 SF SCALE: 1/4" = 1'-0" NORTH



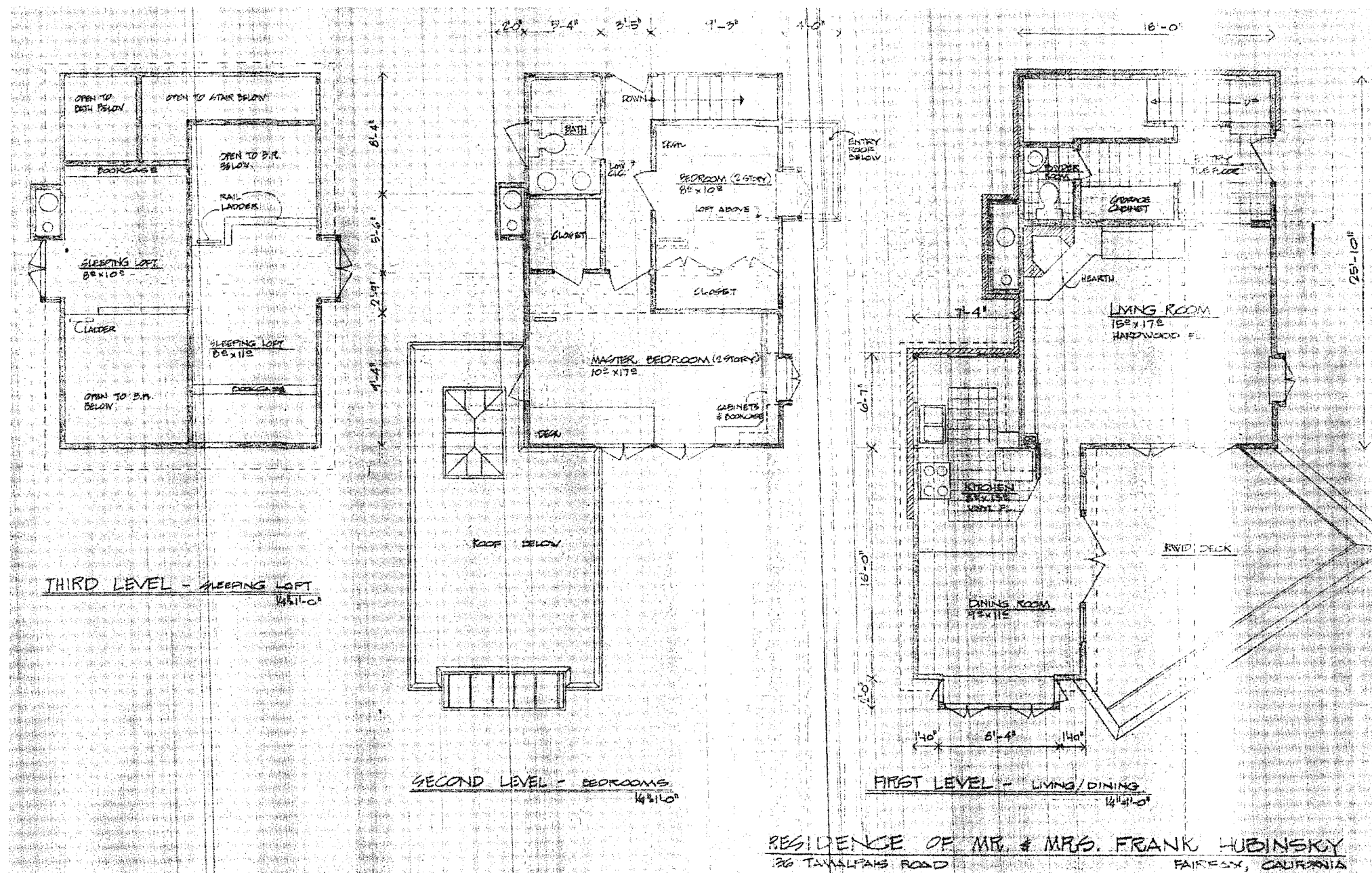
A R C H I T E C T S
 FREDRIC C. DIVINE ASSOCIATES
 1924 FOURTH ST., SAN RAFAEL, CA, 94901
 Phone: (415) 457 - 0220 Fax: (415) 454 - 9581

NEW GARAGE
 136 TAMALPAIS ROAD
 FAIRFAX, CA 94903
 APN: 001-121-22 FOR: ROBIN HUBINSKY

GARAGE FLOOR PLANS

Revisions	
PLANNING APPLICATION	03-01-2021
PLANNING COMMENTS	06-15-2021
Date:	06-15-2021
Scale:	As Noted
Drawn:	JMK
Job #	18005
Prototype	DIVINE

A2

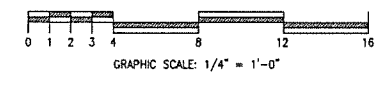


THIRD LEVEL - SLEEPING LOFT
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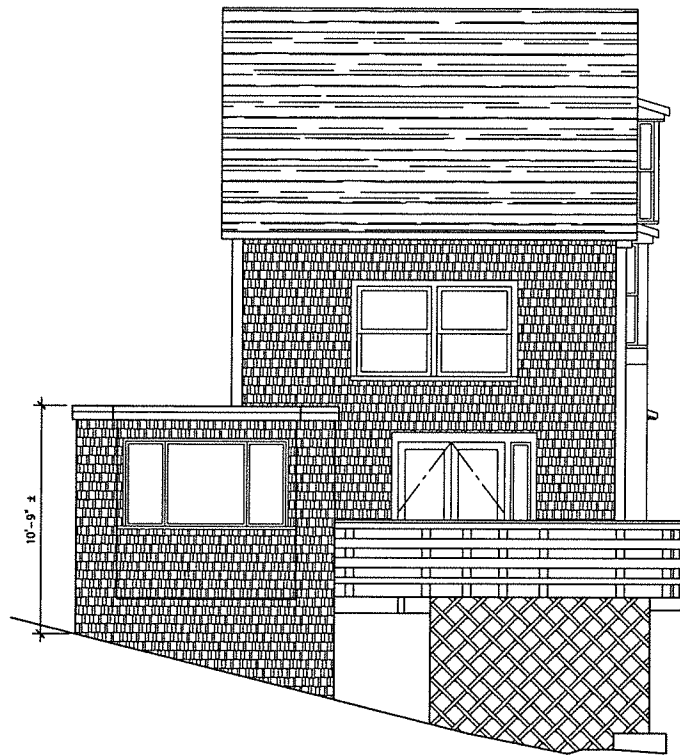
SECOND LEVEL - BEDROOMS
14'6" x 10'0"

FIRST LEVEL - LIVING/DINING
14'6" x 10'0"

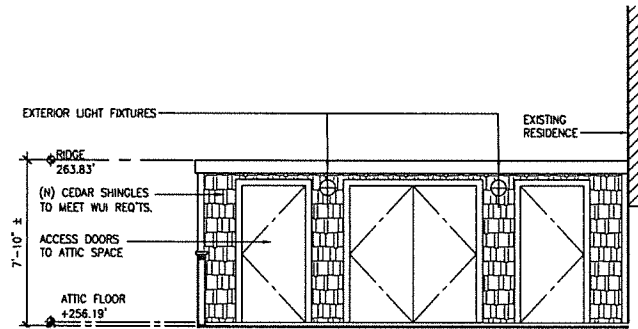
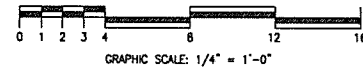
RESIDENCE OF MR. & MRS. FRANK HUBINSKY
36 TAMALPAIS ROAD FAIRFAX, CALIFORNIA



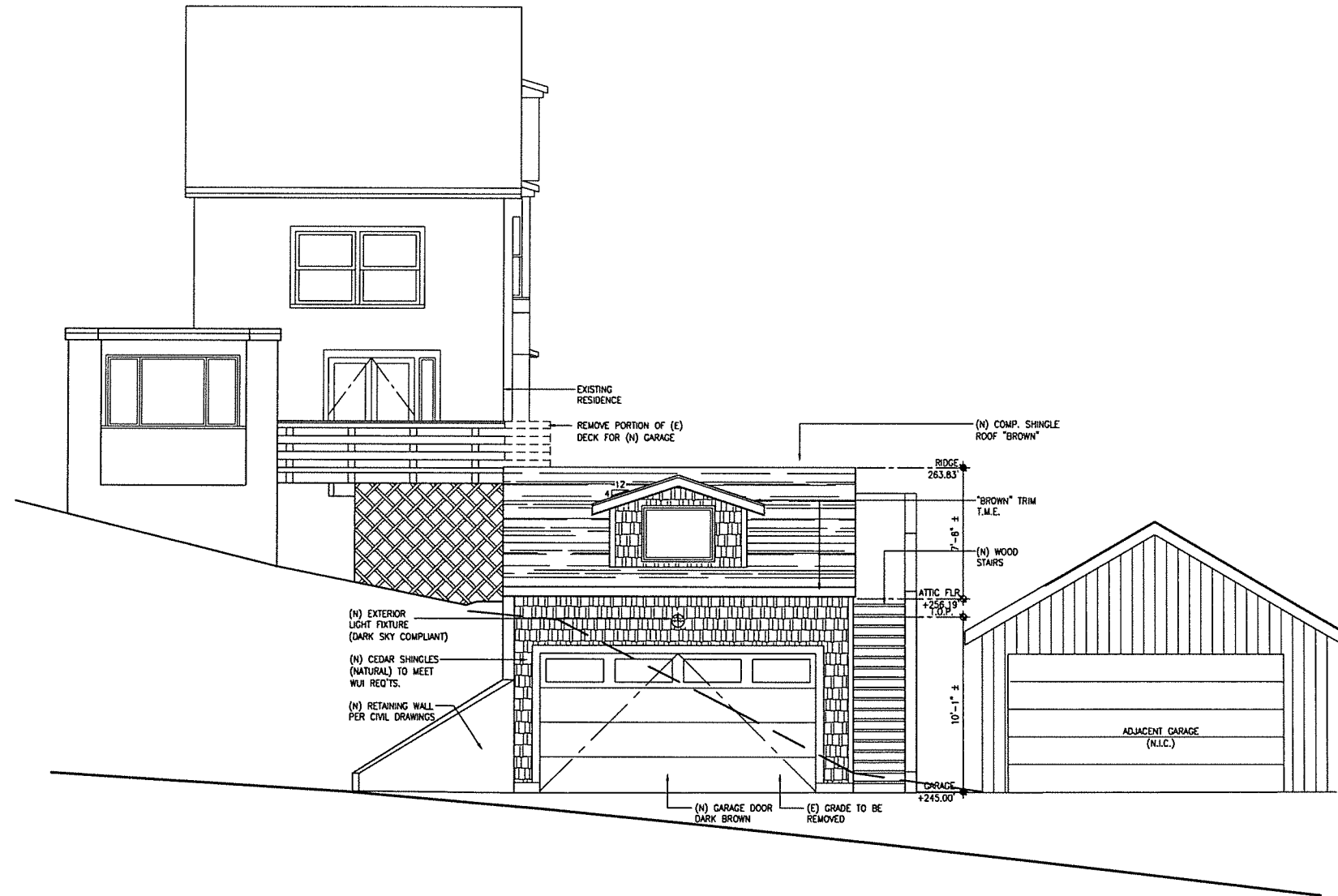
Revisions	03-01-2021
PLANNING APPLICATION	06-15-2021
PLANNING COMMENTS	
Date:	06-15-2021
Scale:	As Noted
Drawn:	JMK
Job #	18005
Prototype	DMNE



2 EXISTING ELEVATION - NORTH
A3.1 SCALE: 1/4" = 1'-0"

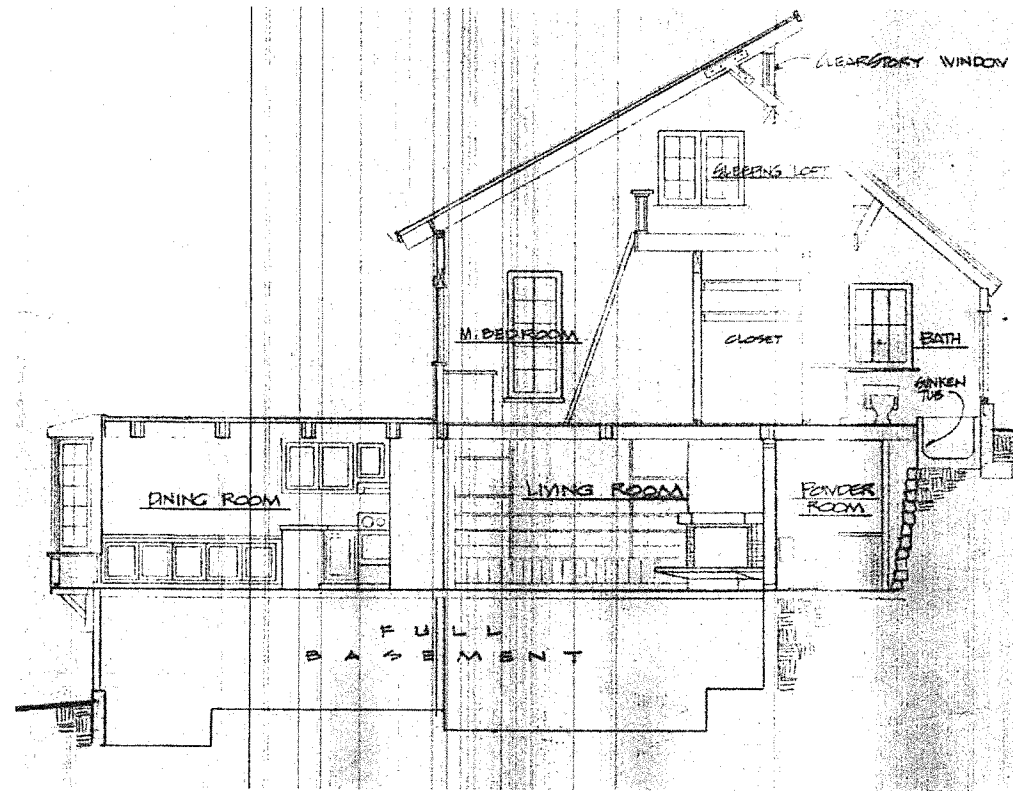


3 NEW ELEVATION - SOUTH
A3.1 SCALE: 1/4" = 1'-0"



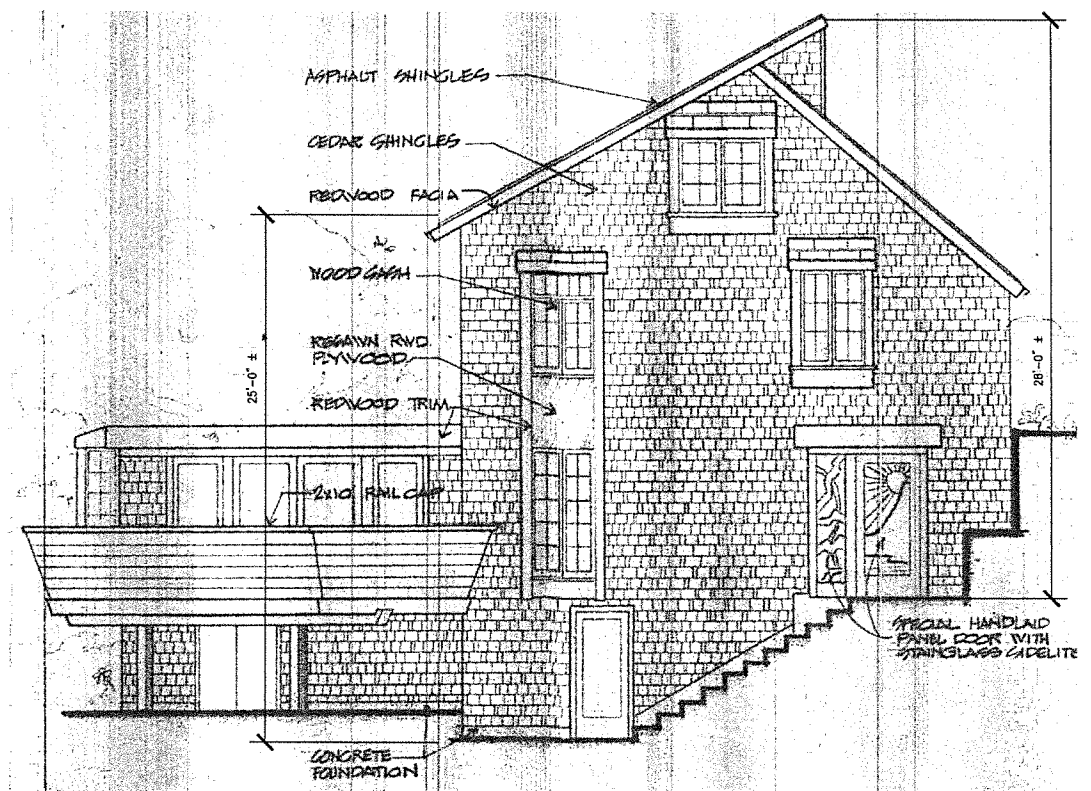
1 NEW ELEVATION - NORTH
A3.1 SCALE: 1/4" = 1'-0"

Revisions	
PLANNING APPLICATION	03-01-2021
PLANNING COMMENTS	06-15-2021
Date:	06-15-2021
Scale:	As Noted
Drawn:	JMK
Job #	18005
Prototype	DMNE



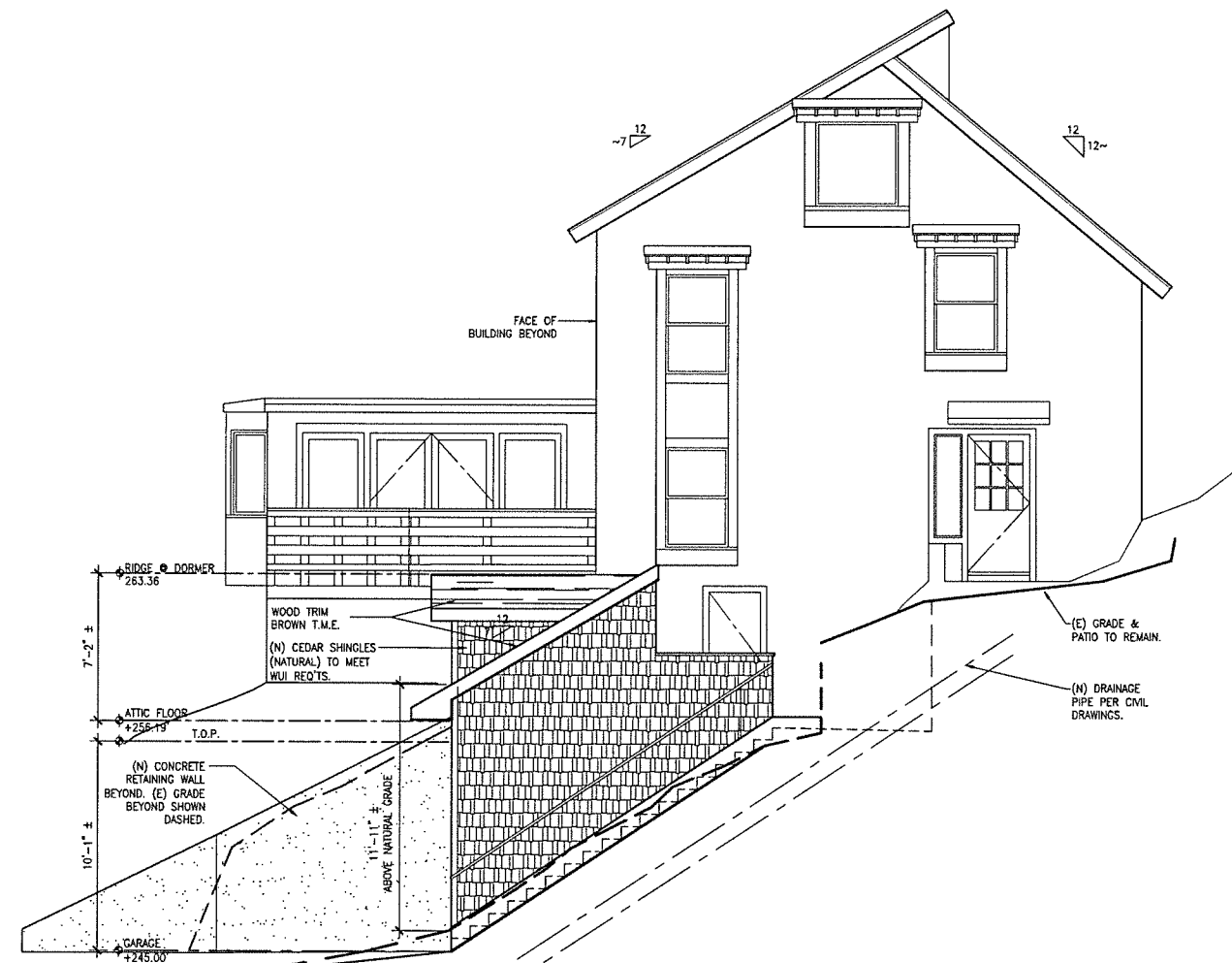
3 EXISTING BUILDING SECTION
A3.2

SCALE: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION
A3.2

SCALE: 1/4" = 1'-0"



1 NEW ELEVATION - WEST
A3.2

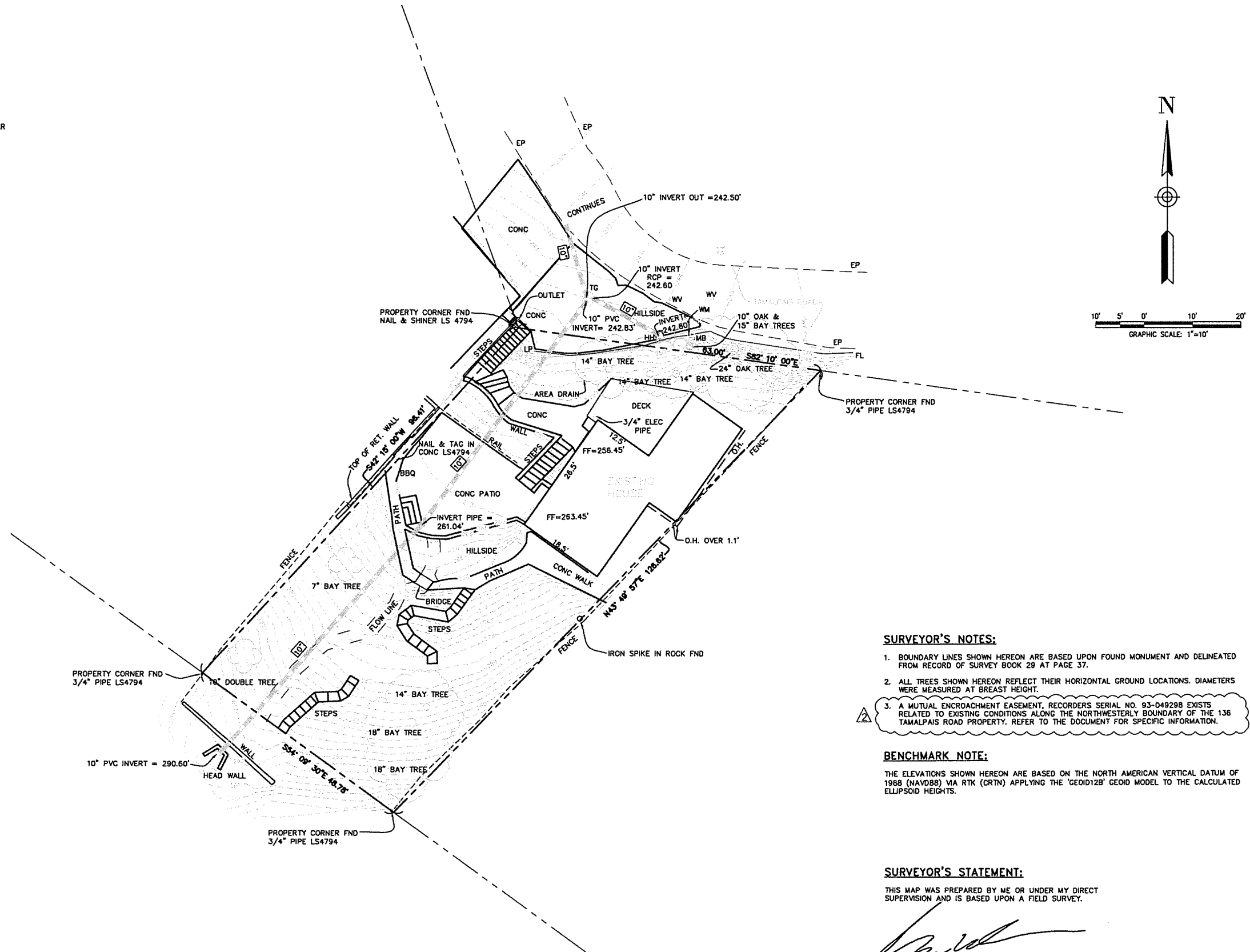
SCALE: 1/4" = 1'-0"

DATE OF FIELD SURVEY:

AUGUST 28, 2019

ABBREVIATIONS:

A.P.N.	TAX ASSESSOR'S PARCEL NUMBER
CONC.	CONCRETE
ELEC/E	ELECTRICAL
EP	EDGE OF PAVEMENT
F.H.	FIRE HYDRANT
FS	FINISHED SURFACE
GS	GROUND SHOT ELEVATION
INV.	INVERT ELEVATION
HH	HAND HOLE
LP	LIGHT POLE
MB	MAILBOX
O.H.	OVERHANG
RCP	REINFORCED CONCRETE PIPE
RET.	RETAINING
SD	STORM DRAIN
TG	TOP OF GRATE
V.I.F.	VERIFY IN FIELD
WM	WATER METER
WV	WATER VALVE



LEGEND

	BOUNDARY LINE
	EXISTING CONTOUR LINE
	EXISTING STORM DRAIN LINE

SURVEYOR'S NOTES:

- BOUNDARY LINES SHOWN HEREON ARE BASED UPON FOUND MONUMENT AND DELINEATED FROM RECORD OF SURVEY BOOK 29 AT PAGE 37.
- ALL TREES SHOWN HEREON REFLECT THEIR HORIZONTAL GROUND LOCATIONS. DIAMETERS WERE MEASURED AT BREST HEIGHT.
- A MUTUAL ENCROACHMENT EASEMENT, RECORDERS SERIAL NO. 93-049298 EXISTS RELATED TO EXISTING CONDITIONS ALONG THE NORTHWESTERLY BOUNDARY OF THE 136 TAMALPAIS ROAD PROPERTY. REFER TO THE DOCUMENT FOR SPECIFIC INFORMATION.

BENCHMARK NOTE:

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) VIA RTK (CRTN) APPLYING THE 'GEOID12B' GEOID MODEL TO THE CALCULATED ELLIPSOID HEIGHTS.

SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED UPON A FIELD SURVEY.

SHANE W. RAUCH
 PROFESSIONAL LAND SURVEYOR #9471
 DATE: OCT 14, 2021

1	4/29/21	NONE ON THIS SHEET
2	10/14/21	ADD EASEMENT NOTE
3		
4		
5		

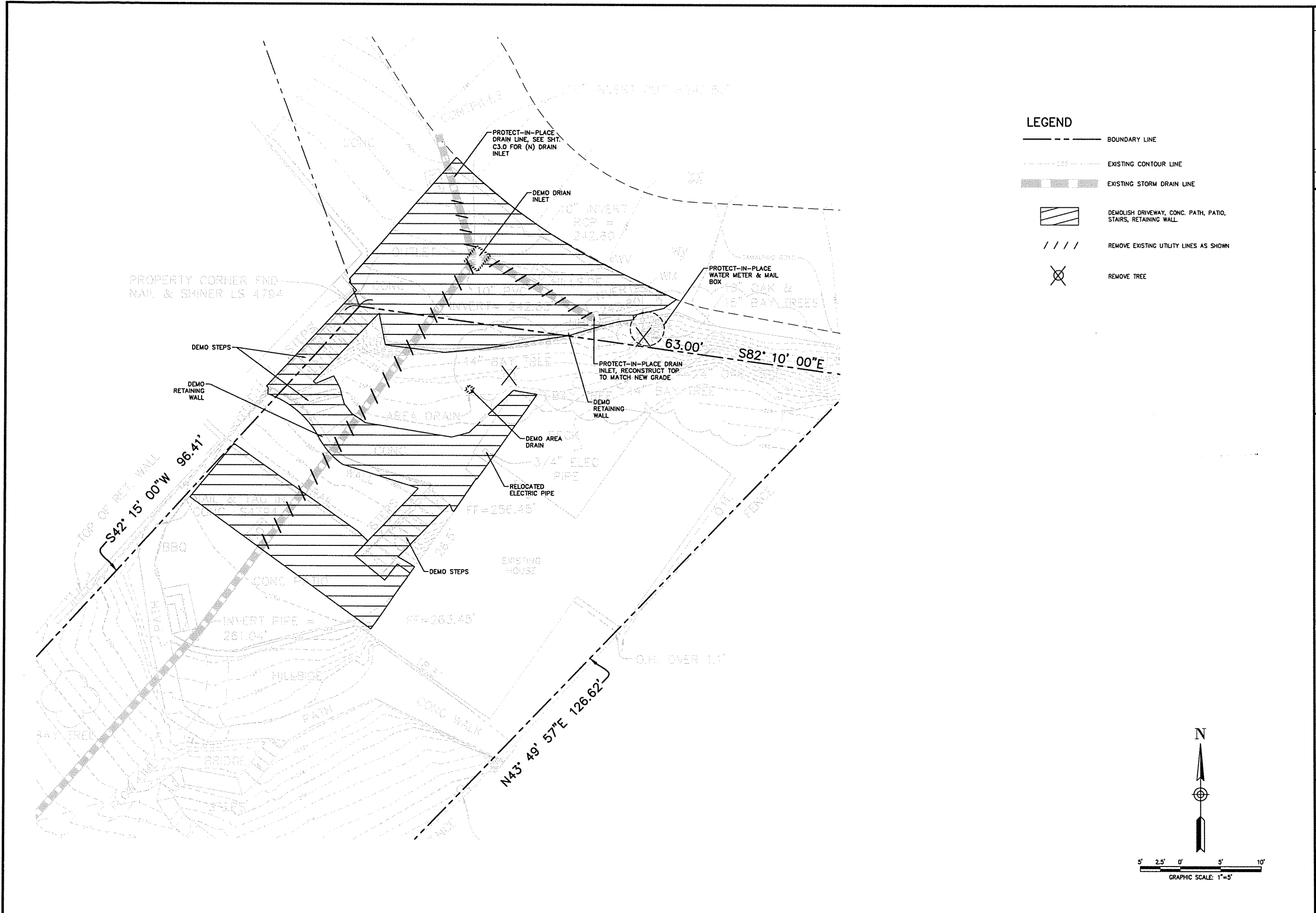
OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.
 7200 REDWOOD BLVD SUITE 308
 NOVATO, CA 94945
 PHONE: (415) 897-2800
 WWW.OBERKAMPER.COM

EXISTING CONDITIONS MAP
 136 TAMALPAIS RD. (A.P.N. 001-121-22)
 MARIN COUNTY
 CALIFORNIA
 TOWN OF FAIRFAX







Scale: 1" = 10'
Drawn by: SWR
Field Crew: SWR/ALS
Checked by: SWR
Date: 08/28/2020

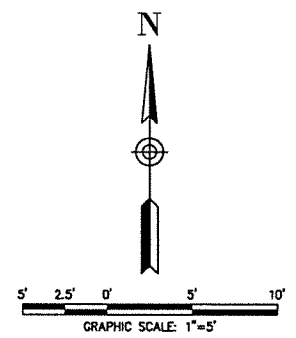
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LEGEND

-  BOUNDARY LINE
-  EXISTING CONTOUR LINE
-  EXISTING STORM DRAIN LINE
-  DEMOLISH DRIVEWAY, CONC. PATH, PATIO, STAIRS, RETAINING WALL
-  REMOVE EXISTING UTILITY LINES AS SHOWN
-  REMOVE TREE



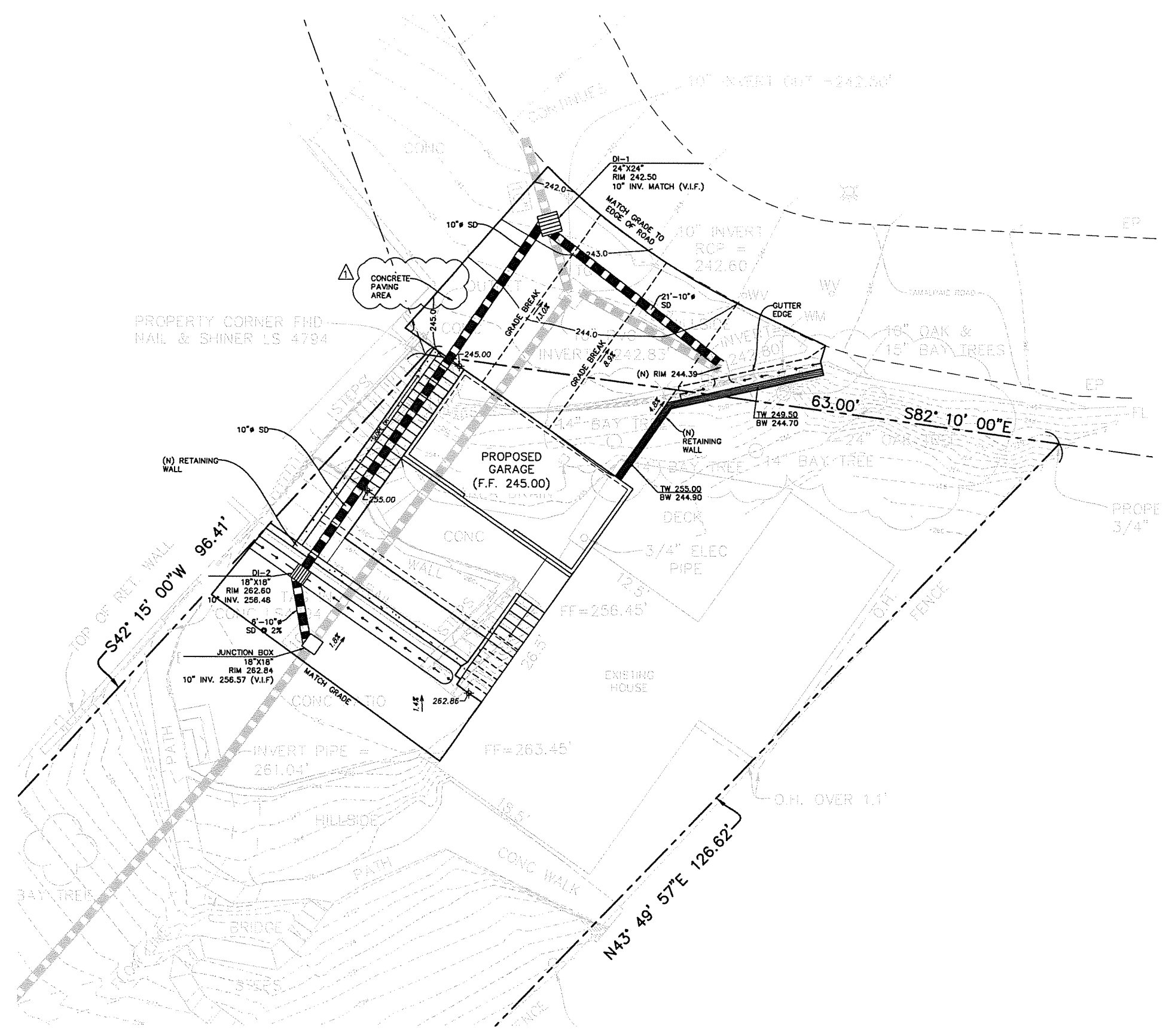
1
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3
4
5

OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.
 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945
 PHONE: (415) 897-2800
 WWW.OBERKAMPER.COM

PRELIMINARY DEMOLITION PLAN
 136 TAMALPAIS RD. (A.P.N. 001-121-22)
 MARIN COUNTY CALIFORNIA
 TOWN OF FAIRFAX

Scale: 1" = 5'
 Drawn by: BM
 Field Crew: SWM/ALS
 Checked by: EDO
 Date: 08/25/2020

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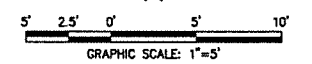


LEGEND

- BOUNDARY LINE
- EXISTING CONTOUR LINE
- EXISTING STORM DRAIN LINE
- 245.0 PROPOSED CONTOUR LINE
- (N) CONCRETE
- REMOVE EXISTING UTILITY LINES AS SHOWN
- REMOVE TREE
- STORM DRAIN LINE
- STORM DRAIN INLET
- CONCRETE LINED SWALE
- 8.9% SURFACE SLOPE

EARTHWORK:

CUT: 234.12 CU. YD.
FILL: 0.90 CU. YD.
NET: 233.22 CU. YD. (CUT)



1	1/28/21	LANDSCAPE STRIP REMOVED AT DRIVEWAY
2		
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4		
5		

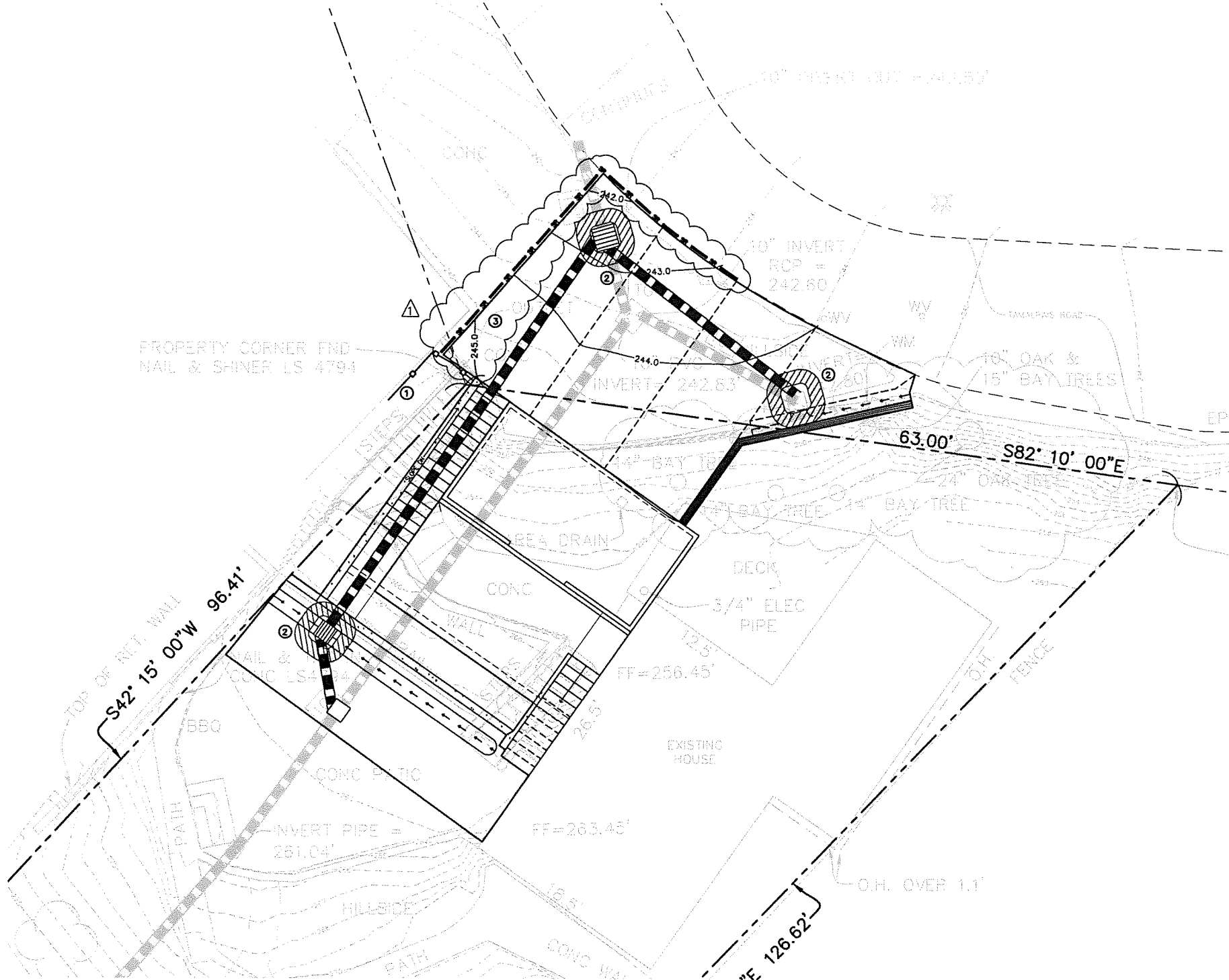
OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS, INC.
 7200 REDWOOD BLVD, SUITE 308, NOVATO, CA 94945
 PHONE: (415) 897-2800
 WWW.OBERKAMPER.COM

PRELIMINARY CIVIL SITE, GRADING AND DRAINAGE PLAN
 136 TAMALPAIS RD. (A.P.N. 001-121-22)
 MARIN COUNTY, CALIFORNIA

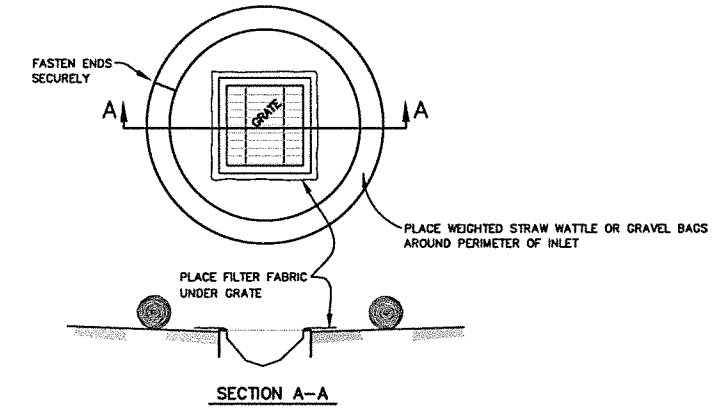
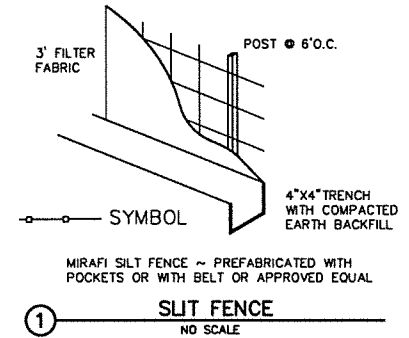
Scale: 1" = 5'
 Drawn by: BM
 Field Crew: SW/LS
 Checked by: LEO
 Date: 08/25/2020

SHEET
C3
 OF 4
 19-156

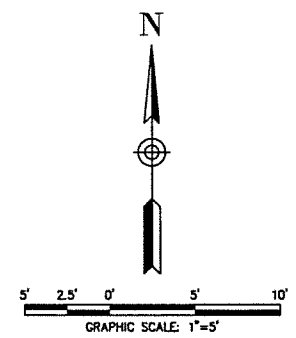
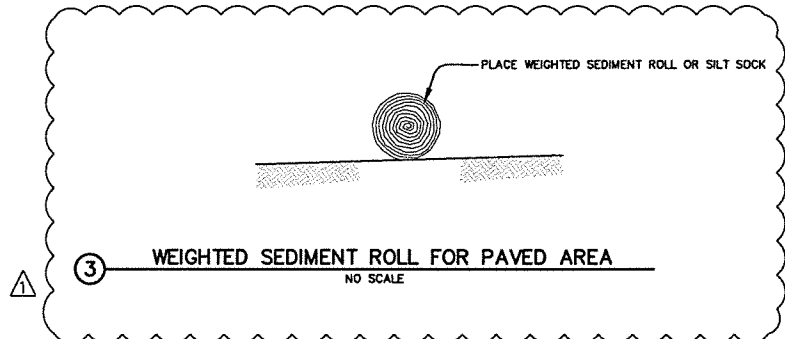
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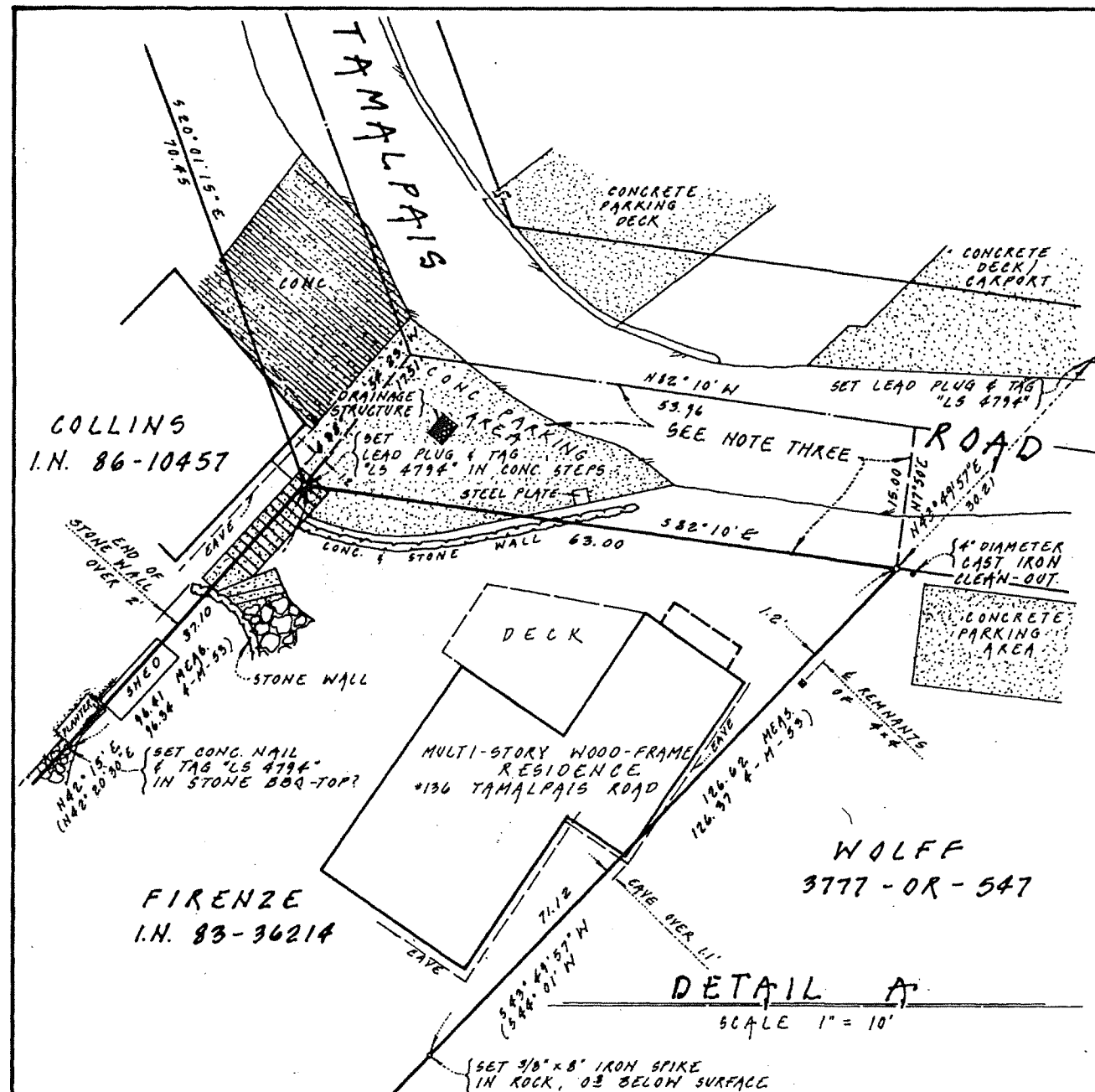
- LEGEND**
- ② SEE REFERENCED EROSION DETAIL NUMBER ON THIS SHEET
 - SILT FENCE
 - SR— WEIGHTED SEDIMENT ROLL



GRAVEL BAG SPECIFICATIONS:
BAGS SHOULD BE A MINIMUM OF 18" LONG, 12" WIDE AND 3" THICK MADE OF WOVEN POLYPROPYLENE, POLYETHYLENE OR POLYAMIDE FABRIC OR BURLAP, MINIMUM UNIT WEIGHT OF 4 OUNCES/10³, MULLEN BURST STRENGTH EXCEEDING 300 LB/IN² IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D3786, AND ULTRAVIOLET STABILITY EXCEEDING 70% IN CONFORMANCE WITH THE REQUIREMENTS IN ASTM DESIGNATION D4355.
BAGS SHALL FILLED WITH 3/4" DRAIN ROCK THAT IS CLEAN AND FREE OF CLAY & ORGANIC MATTER OR OTHER SUITABLE OPEN GRADED, NO-COHESIVE, POROUS GRAVEL.



1	2	3	4	5	LANDSCAPE STRIP REMOVED AT DRIVEWAY
OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OBERKAMPER.COM					
PRELIMINARY EROSION CONTROL PLAN 136 TAMALPAIS RD. (A.P.N. 001-121-22) MARIN COUNTY CALIFORNIA					
Scale: 1" = 5'	Drawn by: BM	Field Crew: SWM/ALS	Checked by: LEO	Date: 08/25/2020	
C4					
OF 4					
19-156					

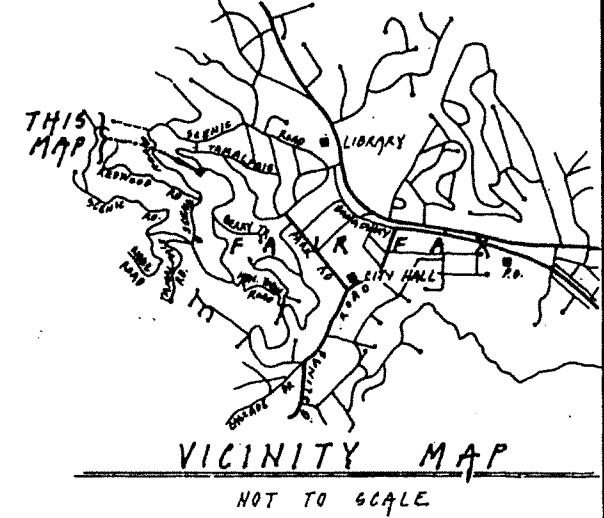


NOTES

- 1) ALL LINEAR DIMENSIONS SHOWN ARE IN FEET AND DECIMALS THEREOF, SAVE MONUMENT DESCRIPTIONS, BEING IN INCHES.
- 2) MATHEMATICAL INCONSISTENCIES EXIST IN THE SUBDIVISION MAP OF FAIRFAX MANOR (4-MAPS-53 & 5-MAPS-4). THE FOLLOWING ANALYSIS WAS EMPLOYED TO RESOLVE THE RECORD MAP COURSES, IN AN ATTEMPT TO MAINTAIN SIMILAR ORIGINAL COURSE CONFIGURATIONS:
 - A) THE PRIMARY COURSE ROUTE EMPLOYING MAP COURSES ①, ②, ③, ④, ⑤.
 - B) THE CENTERLINE OF THE 10' LANE WAS ESTABLISHED AT POINT ⑥, BEING THE MID-POINT OF LINE ①-⑤ AS INTENDED UPON 4-MAPS-53 AND 5-MAPS-4. IMPORTANT: SEE DETAIL B, SHEET TWO.
- 3) MAY BE SUBJECT TO APPORTIONMENT. LITIGATION GUARANTEE; PREPARED 21 JUNE 1991; BY FIRST AMERICAN TITLE INSURANCE COMPANY REPORT # 161040 WPB; INDICATES FEE INTEREST TO BE IN RIVER BROTHERS, CORP.; THEIR SUCCESSORS AND ASSIGNS; AND JOSEPHINE FIRENZE.

LEGEND

- DENOTES SET 3/4" 10. GALV. IRON PIPE WITH PLASTIC PLUG "LS 4794"; UNLESS NOTED OTHERWISE.
- DENOTES SET 1 1/2" x 1 1/2" REDWOOD HUB WITH BRONZE NAIL
- +— DENOTES EDGE OF PAVEMENT
- ▨ DENOTES CONCRETE
- CALC. DENOTES CALCULATED
- DDS- DENOTES DEEDS, MARIN COUNTY RECORDS.
- I.O. DENOTES INSIDE DIAMETER
- I.N. DENOTES OFFICIAL RECORDS INSTRUMENT NUMBER, MARIN COUNTY RECORDS
- M- DENOTES MAPS, MARIN COUNTY RECORDS.



BASIS OF BEARINGS

THE BASIS OF MERIDIAN OF THIS SURVEY IS THE SAME AS THAT CERTAIN RECORD OF SURVEY MAP, RECORDED IN BOOK 28 OF SURVEYS AT PAGE 59; MARIN COUNTY RECORDS, AS SHOWN (SHEET TWO)

LEGEND (CONT.)

- MEAS. DENOTES MEASURED
- OR- DENOTES OFFICIAL RECORDS, MARIN COUNTY
- PM- DENOTES PARCEL MAPS, MARIN COUNTY RECORDS.
- S- DENOTES SURVEYS, MARIN COUNTY RECORDS.

SURVEYOR'S STATEMENT

This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Land Surveyor's Act at the request of Josephine Firenze in April 1991.

COUNTY SURVEYOR'S STATEMENT

This map has been examined in accordance with section 8766 of the Land Surveyor's Act this 4th day of ~~SEPTEMBER~~ 1991.

COUNTY RECORDER'S STATEMENT

Filed this 11th day of ~~SEPTEMBER~~ 1991, at 8:01 A.M. in Book 29 of Surveys at Page 37, at the request of The County of Marin Department of Public Works.

RECORD OF SURVEY

LANDS CONVEYED TO FIRENZE AS DESCRIBED IN OFFICIAL RECORDS INSTRUMENT # 83-036214 BEING LOTS 48 & 51 "AMENDED MAP OF FAIRFAX MANOR" RECORDED IN BOOK 5 OF MAPS AT PAGE 4 MARIN COUNTY RECORDS FAIRFAX

MARIN COUNTY APRIL 1991 CALIFORNIA SURVEY # 264

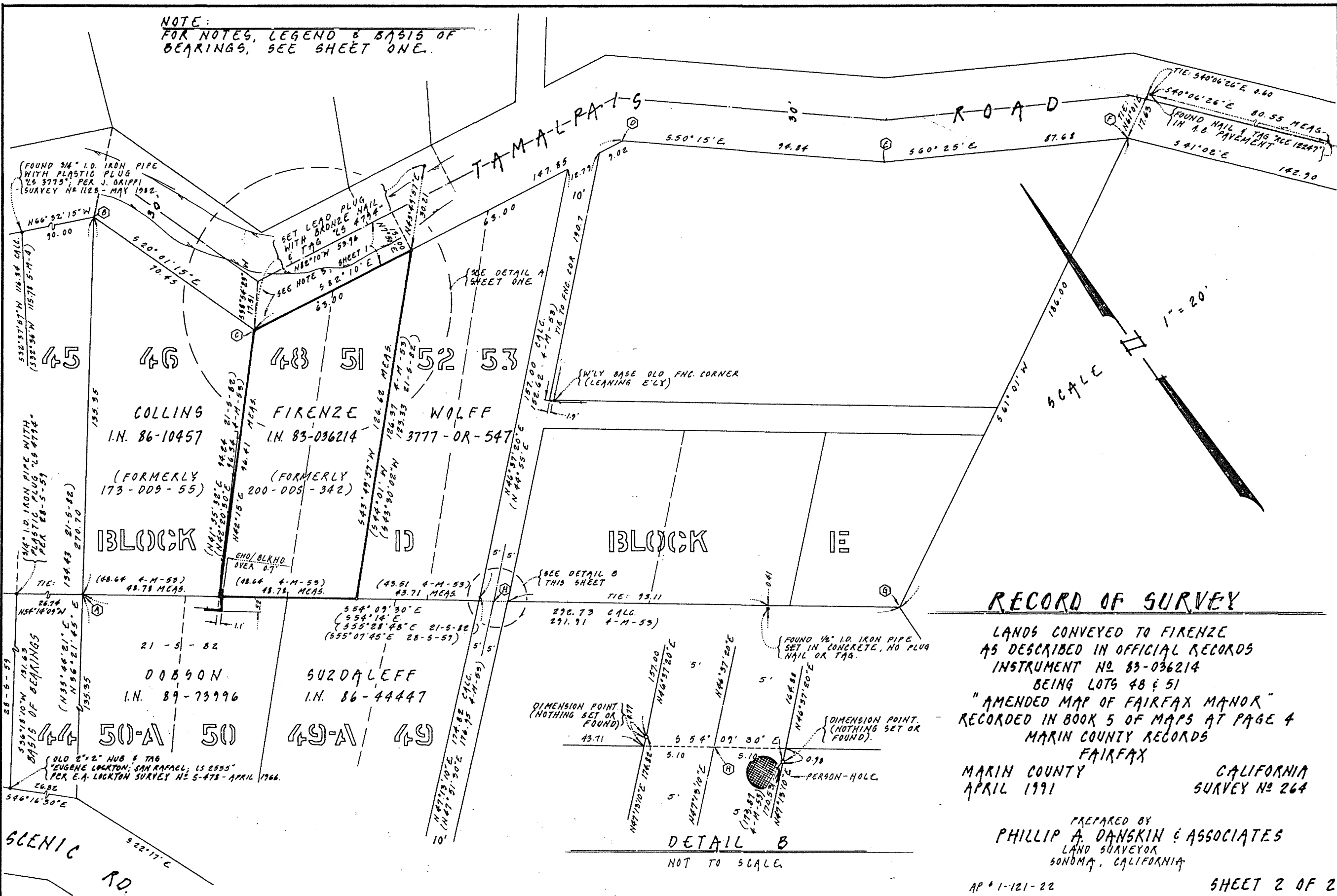
Signed Phillip A. Danskin - LS 4794 Expires September 30, 1992.

By Robert D. Beaumont MEHDI MADJO SADJADI County Surveyor Expires March 31, 1992.

By James J. Dal Gen County Recorder

PREPARED BY PHILLIP A. DANSKIN & ASSOCIATES LAND SURVEYOR SONOMA, CALIFORNIA

NOTE:
FOR NOTES, LEGEND & BASIS OF
BEARINGS, SEE SHEET ONE.



RECORD OF SURVEY

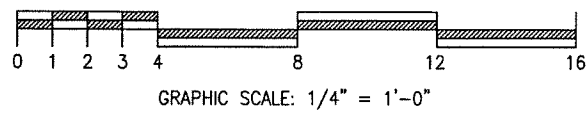
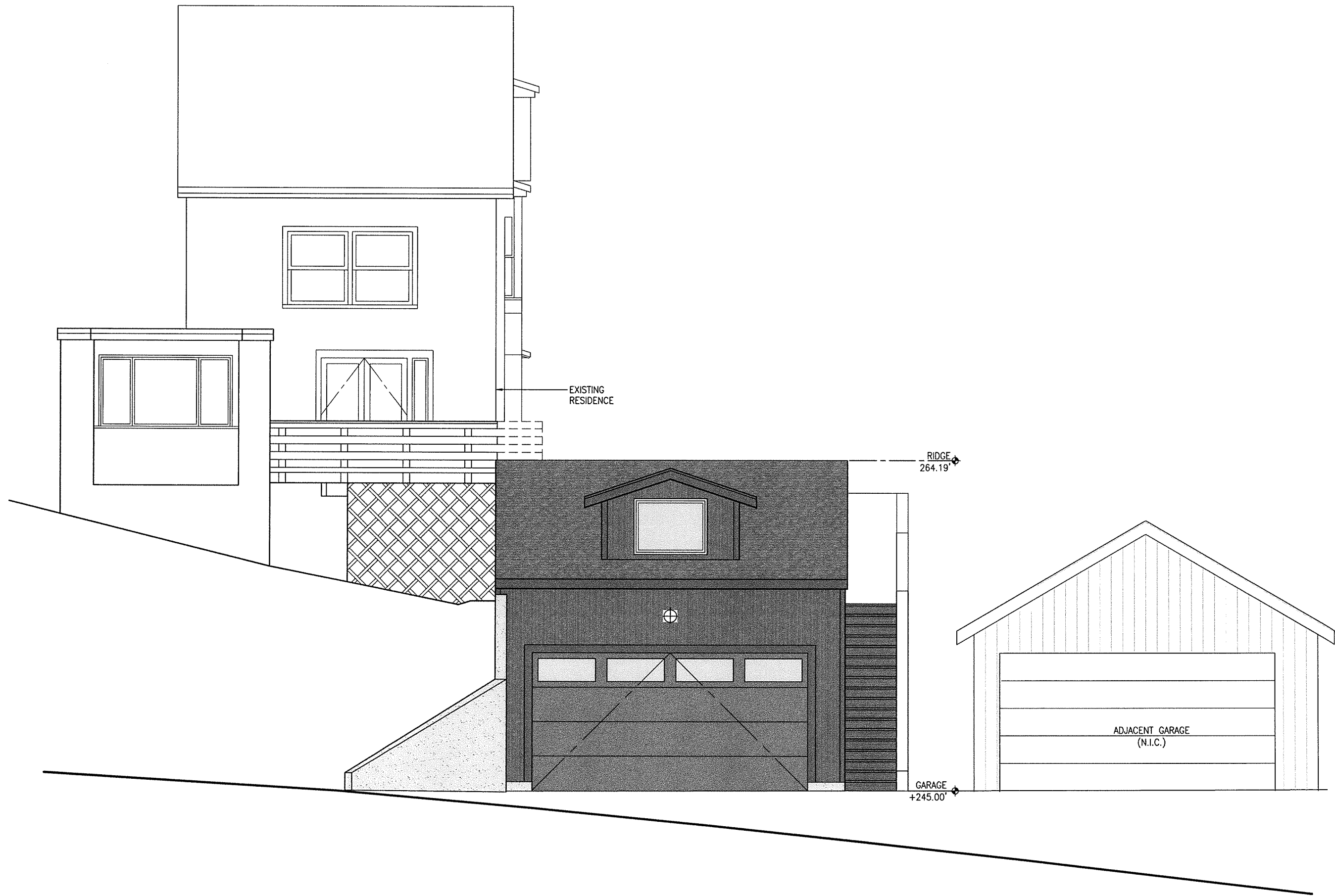
LANDS CONVEYED TO FIRENZE
 AS DESCRIBED IN OFFICIAL RECORDS
 INSTRUMENT NO. 83-036214
 BEING LOTS 48 & 51
 "AMENDED MAP OF FAIRFAX MANOR"
 RECORDED IN BOOK 5 OF MAPS AT PAGE 4
 MARIN COUNTY RECORDS
 FAIRFAX
 MARIN COUNTY
 APRIL 1991
 CALIFORNIA
 SURVEY NO. 264

PREPARED BY
 PHILLIP A. DANSKIN & ASSOCIATES
 LAND SURVEYOR
 SONOMA, CALIFORNIA

AP 1-121-22

SHEET 2 OF 2

Can 7098



1
A3.1A
NEW COLOR ELEVATION – NORTH

SCALE: 1/4" = 1'-0"



ASPHALT ROOF SHINGLES:

CERTAINTED LANDMARK
"RESAWN SHAKE"



WOOD TRIM:

BENJAMIN MOORE
"BRILLIANT WHITE"



WOOD SIDING:

SHAKERTOWN CRAFTSMAN
SHINGLE PANEL
"NATURAL RED CEDAR"