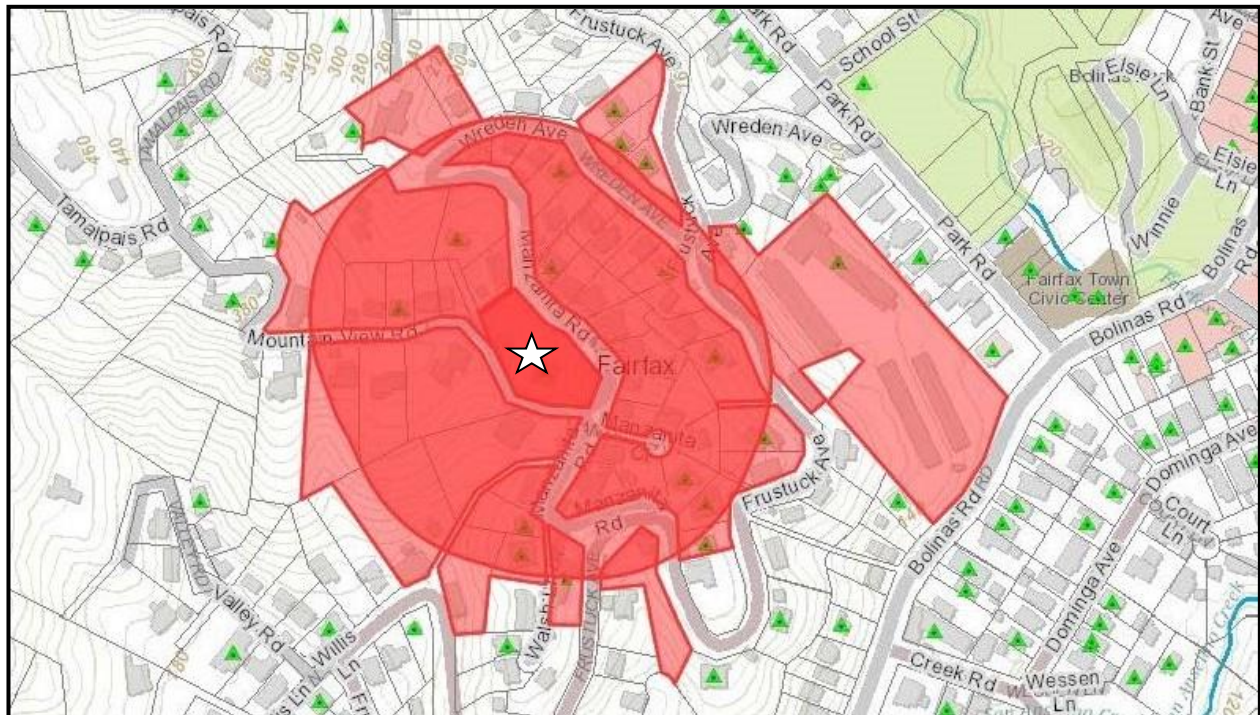


**TOWN OF FAIRFAX
STAFF REPORT**
Department of Planning and Building Services

TO: Fairfax Planning Commission
DATE: September 22, 2022
FROM: Kara Spencer, Assistant Planner
LOCATION: 40 Manzanita Road; Assessor's Parcel Number 002-011-08
ZONING: Residential Single-family RS 6 Zone
PROJECT: Fifty Percent Remodel and addition to a single-family residence
ACTION: Conditional Use Permit and Design Review Permit;
Application # 22-19
APPLICANT: Hieronymous Axelson
OWNER: Katherine and Hieronymous Axelson
CEQA STATUS: Categorically exempt, § 15301(e)(1)



40 MANZANITA ROAD

PROJECT DESCRIPTION

The project proposes to remodel and expand an existing approximately 2,137.8 square-foot, two-bedroom, two-bathroom, three-story, split level, single-family residence by adding approximately 374.6 square feet to create an approximately 2,512.4 square-foot, three-bedroom, two and a half bathroom single-family residence. The additional square footage would be added to the first floor which consists of unconditioned space and an approved and permitted, approximately 478 square foot Junior Accessory Dwelling Unit

(JADU) that is under construction as of the publication of this staff report (9/16/22). To create the conditioned, habitable space in the first floor, the project proposes to excavate approximately 13.3 cubic yards (cy) of soil within the footprint underneath the existing house (refer to plans page A2). The approximately 13.3 cy of excavated soil would be reused on site to fill an existing sunken pathway located along the southwestern side of the house adjacent to an existing concrete tiled courtyard (refer to plans page A1.3).

Over 50 percent of the existing home would be remodeled including reconfiguring all three floors. The northern portion of the existing house contained a high, vaulted ceiling over the living area and kitchen, which was demolished by the property owner (refer to plans page A6.1 and Attachment B). The gabled roof in this portion of the house was approximately 28'-5" high at its highest. The project proposes a new, substantially lower, gently sloping shed roof for this portion of the house to take advantage of the southerly orientation for the installation of new solar panels with the aim of an electrical net zero for both the entire house and JADU. The new roof would be approximately 19'-5" high at its highest with a dormer that would project above that for a total height of approximately 22'-6". The proposed new lower roof would also open up southerly views and increase natural light for the third floor. The gable roof at the southern portion of the house was not demolished and is approximately 30'-5" high. The front door currently faces Manzanita Road along the eastern side of the house and would be relocated to the western side of the house facing Mountain View Road.

The property owner demolished an access stairway that had been located along the eastern side of the house to provide for the proposed reconfigured design and to increase the amount of light for the permitted JADU that is under construction (refer to plans page A6.1). A new 11' by 7' deck with a glass railing is proposed for the second floor along the eastern side of the house; see page A6.2 of the plans. Other proposed exterior changes consist of the following (see plan page A6.2, plan color rendering, and plan page A7):

- A new, standing seam, dark grey metal roof for the entire house (with one new skylight);
- Wood eaves painted grey to match the new roof;
- New all-weather windows with black frames and no trim;
- Repair and/or replacement of existing horizontal siding located on the northern section of the house (the portion with the intact roof) painted light grey;
- New vertical fiber cement James Hardie dark grey siding for the southern portion of the house (the portion with no roof);
- A new stucco finish for the first floor painted light grey to match the rest of the house;

- Relocated exterior entry and new stairway along the northern side of the house;
- New front entry along the western side of the house.
- Extension of the existing tiled concrete courtyard at the southeastern side of the house with permeable pavers and new concrete stairs at grade;
- New LED motion sensor controlled light fixtures, shielded to direct light down (plan pages A6.2 and A7).

No new plant material, irrigation, or landscape features are proposed to be added to the project site, with the exception of filling in the sunken pathway located along the southwestern side of the house adjacent to an existing concrete tiled courtyard and the addition of new exterior LED lighting as noted above. No trees are proposed for removal.

EXISTING CONDITIONS

The project site is approximately 24,755 square-feet in size. It slopes up from Manzanita Road at an average rate of approximately 33 percent. It is bounded on two sides by Manzanita Road and on one side by Mountain View Road, which generally gives the property the shape of a peninsula. The topography is generally varied across the site with a collection of native and non-native trees and vegetation scattered throughout. Developed features consist of the following: an approximately 2,137.8 square foot, three-story, split-level home; a detached approximately 454 square foot, two car garage; approximately 221.1 square feet of decks and stairs; a detached approximately 146 square foot accessory building; a driveway and parking area; a concrete tiled courtyard with a planter along the southwestern side of the house; several planters along the southern side of the house; an extensive pathway system; and, retaining walls. The home had varying roof heights.

The following table illustrates the project's compliance with the regulations of the RS-6 Single-family Residential Zone, High-Density District where the property is located:

	Front Setback	Rear Setback	Combined Front/Rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Lot Coverage	Height
Required/ Permitted	6 ft.	12 ft.	35 ft.	5 ft. & 5 ft.	20 ft.	.40	.35	28.5 ft., 3 stories
Existing	34'-5"	115'-10"	150'-3"	> 0 ft. & 68'-10"	68'-10"	.09	.12	30'-5" 3 stories
Proposed	No change	No change	No change	No change	No change	.10	No change	No change

REQUIRED DISCRETIONARY APPROVALS

Town Code § 17.080.050 indicates that improvements or modifications to any site that does not meet the minimum size and width requirements based on its slope require approval of either a Conditional Use Permit (CUP) or a Hill Area Residential Development (HRD) Permit. Based on the 33 percent slope of the project site, it would need to be 25,000 square feet in area to conform to the size requirements of § 17.080.050(C). At 24,755 square feet in area, the project site does not meet the minimum size requirements of the code. Because the project would result in minimal site disturbance and requires only approximately 13.3 cy of excavation and fill that would occur within the existing development footprint, staff determined the project would require the approval of a Conditional Use Permit. A Design Review Permit is required also since the project would be a substantial remodel (Town Code § 17.020.030(A)). The project meets the Town's parking requirements [Town Code § 17.052.030(A)(1)] with the two, 9' by 19' covered spaces in the garage and the one 9' by 19' off-street parking space in the driveway.

Conditional Use Permit

As stated above, the project proposes to increase the approximately 2,137.8 square foot, single-family dwelling by approximately 374.6 square feet, to a total size of approximately 2,512.4 square feet. The proposed addition would marginally increase the floor area ratio by .01 percent, from 0.09 to 0.10. The table below illustrates that residences and properties in the neighborhood range from a 1,004 square-foot, two-bedroom, one and a half-bathroom, single-family residence on a 4,160 square-foot lot with a Floor Area Ratio (FAR) of 0.24 to a 3,780 square-foot, three-bedroom, three-bathroom, single-family residence on a 27,750 square foot lot with a FAR of 0.14. The proposed approximately 2,512.4 square-foot, three bedroom, two and a half -bathroom, three-story, split level, single-family residence with FAR of 0.10 would not be out of scale or character with the surrounding neighborhood.

40 Manzanita Road – Neighboring House Comparison						
APN #	ADDRESS	LOT SIZE	HOUSE SIZE	# BEDROOMS	# BATHS	Floor Area Ratio
002-011-33	16 Mountain View Rd	7,200 SF	1,802 SF	3	2	0.25
002-011-41	20 Mountain View Rd	4,000 SF	1,435 SF	3	1.5	0.36
002-015-05	25 Mountain View Rd	27,750 SF	3,780 SF	3	3	0.14
003-192-50	7 Mountain View Rd	30,010 SF	2,101 SF	4	3	0.07
002-014-18	49 Manzanita Road	4,160 SF	1,004 SF	2	1.5	0.24
002-014-19	47 Manzanita Road	4,500 SF	1,280 SF	2	2	0.28
002-014-29	41 Manzanita Road	6,600 SF	1,916 SF	3	2	0.29
002-014-26	37 Manzanita Road	6,300 SF	1,742 SF	3	2	0.28
002-014-21	33 Manzanita Road	5,700 SF	2,096 SF	4	3	0.37
002-014-22	27 Manzanita Road	4,950 SF	1,014 SF	2	1	0.20
002-014-33	25 Manzanita Road	4,194 SF	2,176 SF	3	2	0.52
Project Site – Proposed						
002-011-08	40 Manzanita Road	24,755 SF	2,538.4*	3	2.5	0.10*

*Adjusted to include the applicable floor area of the accessory building

All construction would occur within the existing development footprint. The project proposes the approximately 374.6 square foot addition for the unconditioned first floor of the house. The approximately 13.3 cy of excavation necessary to facilitate proposed first floor addition is modest and would be used onsite to fill a sunken pathway located along the southwestern side of the house. No site work other than filling the sunken pathway is proposed; all other landscape features, trees, plants, etc. would remain. Filling the sunken pathway would connect the courtyard directly to the main living areas and facilitate indoor/outdoor living for the property owner (refer to plans page A1.3).

The project proposes to retain the approximately 30'-5" gable roof on the northern portion of the house, which exceeds the 28'-6" allowable height limit for an upslope property in the RS 6 Zone. This is an existing, "legally, non-conforming" condition that, while not in conformance with the current upslope height limit of the RS 6 zone, would not be exacerbated as a result of project implementation. This portion of the roof is only approximately two feet higher than the height limit for an upslope property in the RS 6 zone. If the property was considered a downslope property, as it could be with the proposed reorientation of the front door to face Mountain View Road, the allowable height limit would be 35 feet and consequently the house would be in conformance with the downslope height limit of the RS 6 zone.

The proposed shed roof would be lower than the gable roof that previously had been on the house. At approximately 19'-5" high at its highest with a dormer that would project above that for a total height of approximately 22'-6", the proposed new roof design for the southern portion of the house would be under the allowable height limit of 28'-6" for an upslope property.

The project would maintain a similar size and floor area ratio as other properties in the immediate neighborhood; comply with the regulations set forth in the Residential Single-family RS 6 Zone District (with the exception of the existing roof, which exceeds the allowable height limit of 28.5 feet for an upslope property, as discussed above); provide the required onsite parking; install sprinklers and a new type "A" fire rated roof; and, include new solar panels with the aim of an electrical net zero for both the entire house and JADU. Therefore, the project would not create a public nuisance, or cause excessive or unreasonable detriment to adjoining properties or premises, and the project would result in better development of the site than would otherwise be the case.

Design Review

The project requires a design review permit because it is a substantial remodel. Town Code § 17.020.030(A) requires substantial remodel projects to obtain design review approval from the Planning Commission. In reviewing a project for a design review approval, the Commission is required to find that the project complies with the design review criteria contained in Town Code § 17.020.040, which include that the project will result in a well composed design that relates harmoniously to other structures in the vicinity and be of a quality and character that will protect the value of public and private investments in the immediate vicinity.

The shed roof proposed to replace the gable roof at the southern portion of the house would substantially change the exterior appearance of the existing house, creating a more contemporary design. The proposed James Hardie siding, stucco finish on the first floor, metal roof, black framed windows with no trim, glass deck railing, and grey color scheme would complement the contemporary aesthetic created by the new shed roof; refer to the color elevations in the plan set. Plan pages A6.2 and A7 show the exterior light fixture locations. All the proposed lighting would be LED motion sensor controlled light fixtures, shielded to direct light downward in a manner that prevents light spillage beyond the project area.

While the contemporary design proposed by the project would result in a house that looks much different than what had previously been on the site, the new design is generally in keeping with the eclectic character of the other residences in the neighborhood (refer to Attachment C, Neighborhood Photos) and creates a contemporary aesthetic for the property owner. Additionally, minimal site disturbance is proposed and consequently, the site would not look much different after project implementation.

OTHER DEPARTMENT/AGENCY COMMENTS/CONDITIONS OF APPROVAL

RVFD is the only agency with specific conditions or comments on the project, which include that a fire sprinkler system must be installed throughout the entire building which complies with the National Fire Protection Association (NFPA) 13-R and local standards. This requirement along with the Fire Department's standard conditions of project approval have been included and can be reviewed in the attached Resolution No. 2022-23.

Marin Municipal Water District (MMWD)/ Ross Valley Sanitary District (RVSD)/Fairfax Public Works, Police, and Building Departments

Ross Valley Sanitary District, Marin Municipal Water District, Fairfax Police, Public Works, and Building Departments had no comments on the project or project specific conditions of approval. Standard conditions of approval from the Ross Valley Sanitary District and Marin Municipal Water District apply and have been incorporated as conditions of approval in attached Resolution No. 2022-23.

RECOMMENDATION

Move to approve application # 22-19 by adopting the attached Resolution No. 2022-23 setting forth the findings and conditions of project approval.

ATTACHMENTS

Attachment A – Resolution No. 2022-23
Attachment B – 40 Manzanita Pre-demolition house photograph
Attachment C – Neighborhood Photos

RESOLUTION NO. 2022-23

A Resolution of the Fairfax Planning Commission Approving Application No. 22-19 for a Conditional Use Permit and a Design Review Permit for the 50 Percent Remodel and 374.6 Square Foot Expansion of the Existing Single-Family Residence at 40 Manzanita Road

WHEREAS, the Town of Fairfax received an application from Hieronymous Axelson for a 374.6 square foot addition and 50 percent remodel of a single-family residence at 40 Manzanita Road on June 16, 2022; and

WHEREAS, after holding a duly noticed public hearing on September 22, 2022, on the project, the Planning Commission determined that the project complies with the Conditional Use Permit Regulations and the Design Review Ordinance and findings can be made to grant the requested Conditional Use and Design Review permits at 40 Manzanita Road; and

WHEREAS, the Commission has made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing characteristics of the Town's neighborhoods in their diverse architectural style, size and mass.

Policy LU-7.2.1: New and renewed development shall be compatible with the general character and scale of structures in the vicinity.

Policy LU-7.2.2: To the extent feasible natural features including the existing grade, mature trees and vegetation shall be preserved for new and renewed development.

Conditional Use Permit Findings (Town Code § 17.032.060)

1. The proposed addition conforms to the regulations set forth in the RS 6 Residential Zone, High Density, and findings can be made for the requested Conditional Use Permit.
2. The development and use of the property, as approved under the use permit, shall not create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the use permit. The project will not increase the height of the structure and will not impact neighboring properties visually or increase the use of public parking. The portion of the roof that exceeds the allowable upslope height limit will not be raised or increased higher.

ATTACHMENT A

3. Approval of the use permit is not contrary to those objectives, goals or standards pertinent to the particular case and contained or set forth in any master plan, development plan or other plan or policy, officially adopted by the town; and
4. Approval of the use permit will result in equal or better development of the premises than would otherwise be the case, and that the approval is in the public interest and for the protection or enhancement of the community.

Design Review (Town Code § 17.020.040)

1. The project depicted in the plans submitted 9/14/22 and in the colors and materials board submitted 6/16/22 complies with the Design Review Criteria set forth in Town Code § 17.020.040.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with the following conditions:

The project is approved based on the following plans and reports:

The architectural plans received by the Town on 9/14/22 and the colors and materials board received by the Town on 6/16/22.

1. Prior to issuance of any of the building permits for the project the applicant or his assigns shall:
 - a) Submit a construction management plan to the Public Works Department for their approval. The plan shall include but is not limited to the following:
 - I. Construction delivery routes approved by the Department of Public Works.
 - II. Construction schedule (deliveries, worker hours, etc.)
 - III. Notification to area residents
 - IV. Emergency access routes
 - V. Construction worker staging area
2. The applicant shall prepare, and file with the Public Works Director, a video tape of the roadway conditions on the public construction delivery routes (routes to be approved by Public Works Director).
3. Submit a cash deposit, bond or letter of credit to the Town in an amount that will cover the cost of grading, weatherization and repair of possible damage (including emergency damage) to public roadways. The applicant shall submit contractor's estimates for any grading, site weatherization and improvement plans for approval by the Town Engineer. Upon approval of the contract costs, the applicant shall submit a cash deposit, bond or letter of credit equaling 100% of the estimated construction costs.

4. The foundation elements shall be designed by a structural engineer certified as such in the state of California. Plans and calculations of the foundation elements shall be stamped and signed by the structural engineer and submitted to the satisfaction of the Town Structural Engineer.
5. Prior to submittal of the building permit plans, the applicant shall secure written approval from the Ross Valley Fire Department, Marin Municipal Water District, and the Ross Valley Sanitary District noting the development conformance with their recommendations.
6. During the construction process the following shall be required:
 - a) Prior to the concrete form inspection by the building official, the project Structural Engineer shall field check the forms of the foundations and provide written certification to Town staff that the work to this point has been completed in conformance with their recommendations and the approved building plans.
 - b) The Building Official shall field check the concrete forms prior to the pour.
 - c) All construction-related vehicles including equipment delivery, cement trucks and construction materials shall be situated off the travel lane of the adjacent public right(s)-of-way at all times. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.
 - d) Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
7. Prior to issuance of an occupancy permit the Planning Department and Town Engineer shall field check the completed project to verify that any and all planning commission conditions and required engineering improvements have been complied with. The Planning Department and the Town Engineer shall also review the construction schedule and plans at each phase of the project construction to determine the best order for each phase to occur.
8. Excavation shall not occur between October 1st and April 1st of any year. The Town Engineer has the authority to waive this condition depending upon the weather.
9. The roadways shall be kept free of dust, gravel and other construction materials by sweeping them, daily, if necessary.

10. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 22-19. Modifications that do not significantly change the project, the project design or the approved discretionary permits **may** be approved by the Planning Director. Any construction based on job plans that have been altered without the benefit of an approved modification of Application # 22-19 will result in the job being immediately stopped and red tagged.
11. Any damages to the public portions of Manzanita Road, Mountain View Road, Frustruck Avenue or other public or private roadway used to access the site resulting from construction-related activities shall be the responsibility of the property owner.
12. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director, Design Review Board or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.
13. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act and Best Management Practices for Stormwater Pollution Prevention.
14. In accordance with Town Code §8.20.060(C)(1) and (2), the operation of any tools or equipment used in construction or demolition work or in property maintenance

work between the hours of 6:00 PM and 8:00 AM Monday through Friday, or on weekends and holidays between 4:00 PM and 9:00 AM is prohibited.

15. Conditions placed upon the project by outside agencies, Town departments or by the Town Engineer may be eliminated or amended with that agency's, department's, or the Town Engineer's written notification to the Planning Department prior to issuance of the building permit.
16. The building permit plans shall be reviewed and approved by the Town Engineer, at the expense of the applicant, prior to issuance of the building permit. The project shall be inspected by the Town Engineer prior to issuance of the occupancy permit for the residential structure for compliance with the engineering plans.

Ross Valley Fire Department Conditions

17. All vegetation and construction materials are to be maintained away from the residence during construction.
18. The property is located within the Wildland Urban Interface Area for Fairfax and the new construction must comply with Chapter 7A of the California Building Code or equivalent.
19. A class A roof assembly is required.
20. The project requires installation of a fire sprinkler system that complies with the National Fire Protection Association regulation 13-D and local standards. The system will require a permit from the Fire Department and the submittal of plans and specifications for a system submitted by an individual or firm licensed to design and/or design-build sprinkler systems.
21. All smoke detectors in the residence shall be provided with AC power and be interconnected for simultaneous alarm. Detectors shall be located in each sleeping room, outside of each sleeping room in a central location in the corridor and over the center of all stairways with a minimum of one detector on each story of the occupied portion of the residence.
22. Carbon monoxide alarms shall be provided in existing dwellings when a permit is required for alterations, repairs, or addition and the cost of the permit exceeds \$1,000.00. Carbon monoxide alarms shall be located outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of the dwelling, including basements.
23. Address numbers at least four inches tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers must be placed in location that is visible from the street. The numbers must be internally illuminated

or illuminated by an adjacent light controlled by a photocell that can be switched off only by a breaker so it will remain illuminated all night.

24. Alternative materials or methods may be proposed for any of the above conditions in accordance with Section 104.9 of the Fire Code.
25. All approved alternatives requests, and their supporting documentation, shall be included in the plan sets submitted for final approval by the Fire Department.

Marin Municipal Water District (MMWD) Conditions

26. All indoor and outdoor requirements of District Code Title 13, Water Conservation must be complied with.
27. Backflow prevention requirements must be met.
28. Any landscaping plans must be reviewed and approved by the District.
29. Ordinance 420, requiring installation of a grey water recycling system when practicable, must be incorporated into the project building permit plans or an exemption letter from the District must be provided to the Town.
30. All the District's rules and regulations in effect at the time service is requested must be complied with.

Ross Valley Sanitary District (RVSD)

31. The project triggers RVSD's testing and lateral certification requirements. The project applicant shall: hire a licensed contractor to perform a video inspection of the sewer lateral/s to determine the condition; obtain a permit from Ross Valley Sanitary District; pay applicable Capacity and Permit fees; pressure test the sewer laterals in the presence of a District Inspector prior to backfill; and, obtain a Certificate of Compliance for the lateral from RVSD.

Miscellaneous Conditions

32. All the exterior fixtures must be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or uplight panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Conditional Use Permit and Design Review Permit for the 374.6

square foot addition are approved and the findings have been made to grant the requested discretionary permits. Therefore, the project is in conformance with the 2010 – 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and, construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 22nd day of September 2022 by the following vote:

AYES:

NOES:

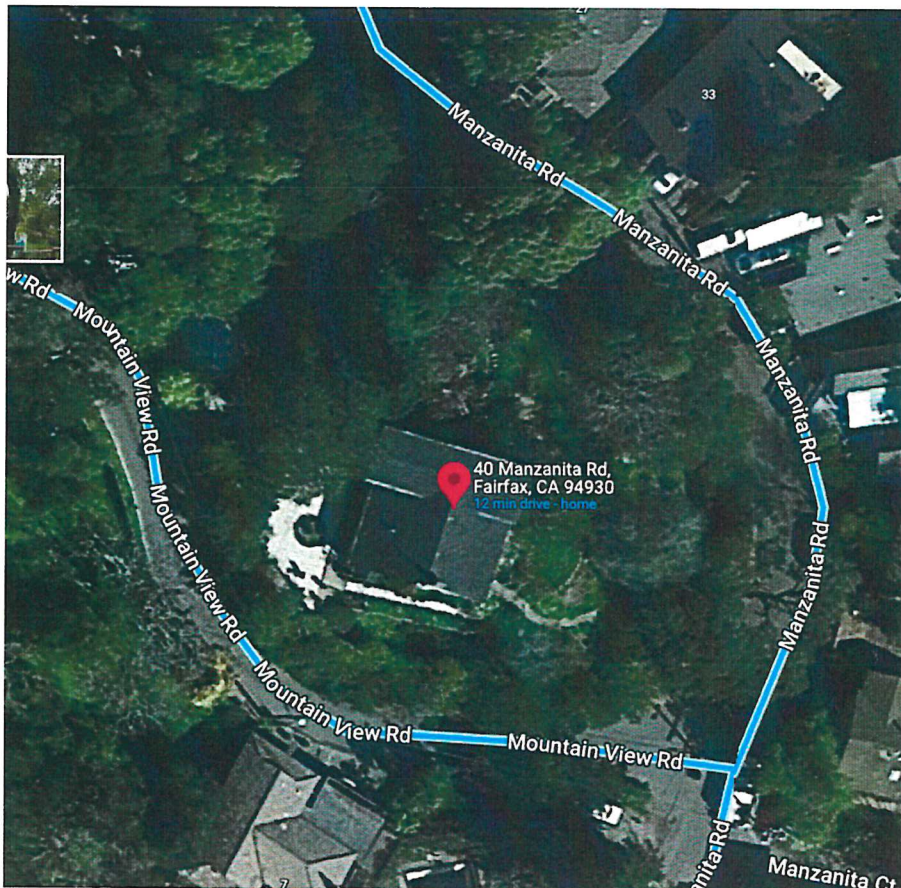
Chair Norma Fragoso

Attest:

David Woltering, Interim Planning Director

40 Manzanita

TOWN OF FAIRFAX
JUN 16 2022
RECEIVED



- 40 MANZANITA NEIGHBORHOOD -

TOWN OF FAIRFAX
JUN 21 2022
RECEIVED



20 MOUNTAIN VIEW



18 MOUNTAIN VIEW



16 MOUNTAIN VIEW



28 MOUNTAIN VIEW



24 MOUNTAIN VIEW



30 MOUNTAIN VIEW



30 MOUNTAIN VIEW



33 MOUNTAIN VIEW

ATTACHMENT C

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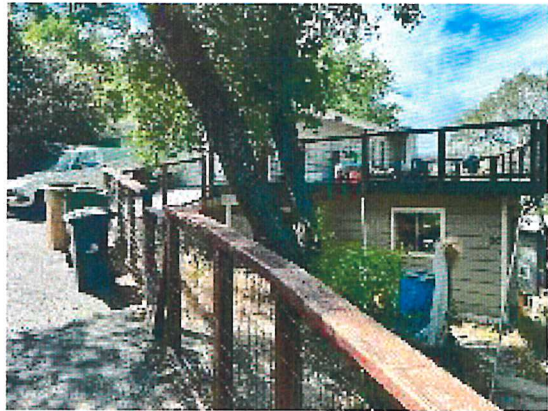
33 MOUNTAIN VIEW



25 MOUNTAIN VIEW



25 MOUNTAIN VIEW



20 MOUNTAIN VIEW



25 MOUNTAIN VIEW



7 MOUNTAIN VIEW



49 MANZANITA



51 MANZANITA



53 MANZANITA



59 MANZANITA



59 MANZANITA



65 MANZANITA



68 MANZANITA



76 WALSH LANE



47 MANZANITA



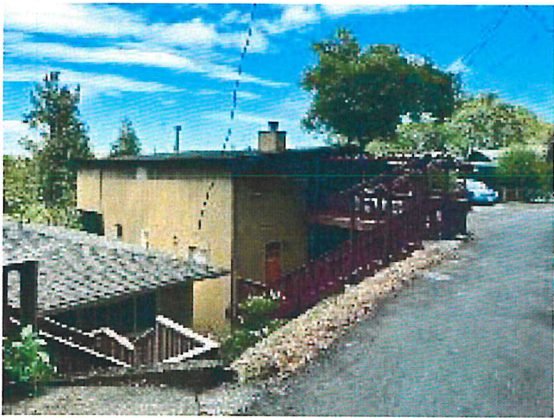
41 MANZANITA



27 MANZANITA



25 MANZANITA



33 MANZANITA