

Location Map

Owner:
 Heironymous Axelson
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Architect
 Ernie Selander
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Project Description

Demo (E) gable roof over living area & kitchen, to provide south facing roof for solar. Interior remodel & upgrade bathrooms fixtures @ all house, (N) deck @ 2nd floor. Develop habitable space @ 1st floor: rebuild (E) interior stairs, (N) bedroom and mech. room. Demo rear stairs to provide light to JADU. (N) Junior ADU: bathroom, kitchenette, living area and bed nook. JADU was applied for under separate building permit and is not a part of this project.

Landscape work:
 add new concrete stairs at grade, extend (E) permeable material courtyard.

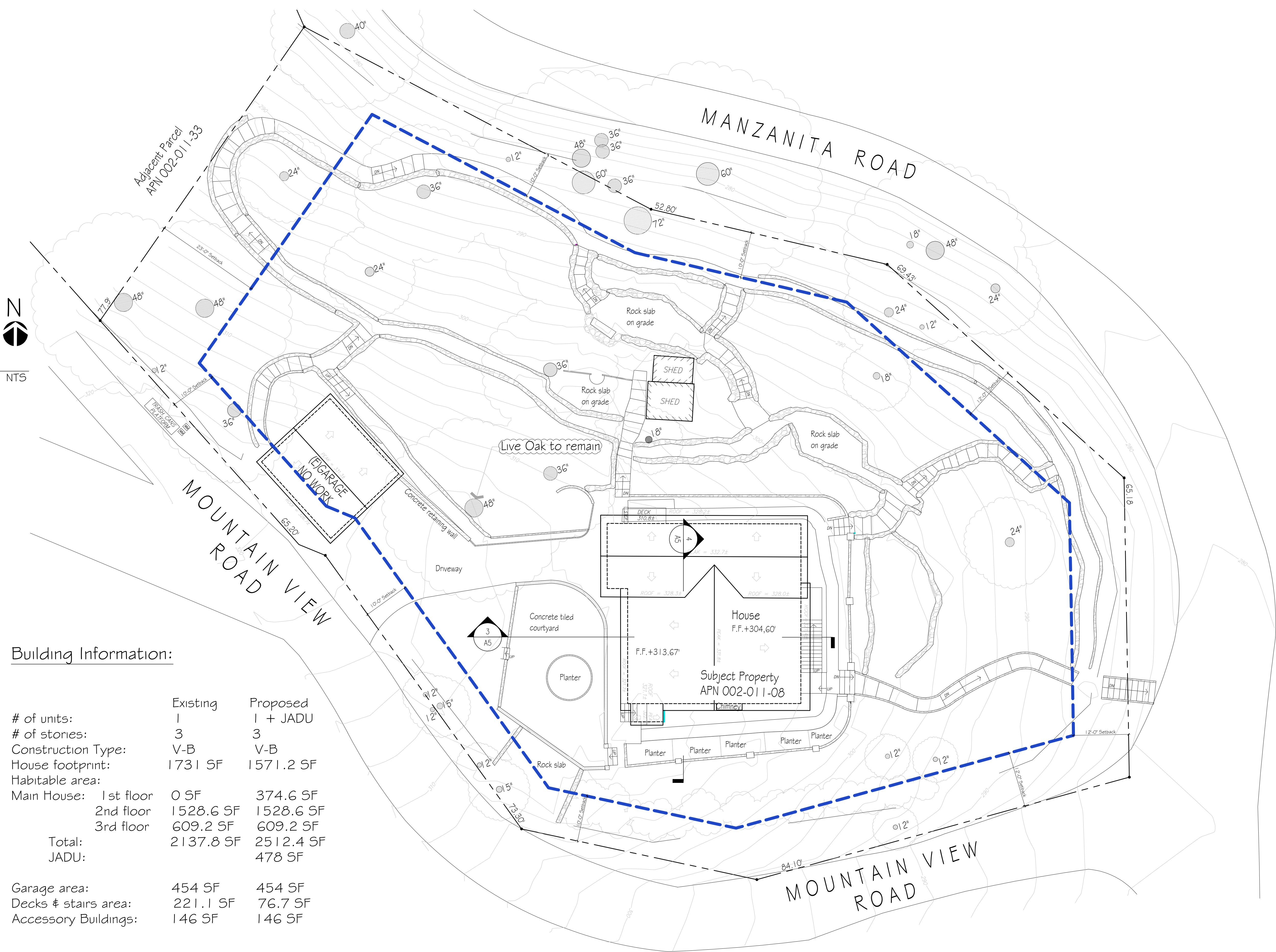
Add Solar, all house & JADU electrical net O.

Planning Information:

Zoning District: RS-6
 Single-Family Residential
 High Density
 Lot Area: 24755 SF
 No easements at this property.

Applicable Codes:

2019 CBC, Mechanical, Plumbing, Electrical, Fire Code & amendments.



Building Information:

	Existing	Proposed
# of units:	1	1 + JADU
# of stories:	3	3
Construction Type:	V-B	V-B
House footprint:	1731 SF	1571.2 SF
Habitable area:		
Main House: 1st floor	0 SF	374.6 SF
2nd floor	1528.6 SF	1528.6 SF
3rd floor	609.2 SF	609.2 SF
Total:	2137.8 SF	2512.4 SF
JADU:		478 SF

Garage area:	454 SF	454 SF
Decks & stairs area:	221.1 SF	76.7 SF
Accessory Buildings:	146 SF	146 SF

	Existing	Allowed	Proposed
Floor Area Ratio:	0.09	0.4 max	0.1
Building Floor Area:	2163.8 SF	3500 SF max	2538.4 SF
Lot Coverage:	3036 SF	-	2876.2 SF

Lot coverage per Fairfax Municipal Code 17.008.020, includes areas occupied by the ground floor of the building, of accessory buildings, impervious surface areas such as patios (rather than driveway) adjacent to the building or accessory building.

1 Existing Site & Roof Plan

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Scale: 3/32" = 1'-0"



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Issue:	Date:
	06/01/22
Revisions 1	08/22/22
Revisions 2	09/12/22

Scale: As shown
 Sheet Title: Project Info. (E) Site Plan

GENERAL NOTES

1. These notes shall apply to all subcontractors and suppliers on this project. The word "contractor" shall hereafter apply equally and without exception to all subs and suppliers.

2. The Contractor shall furnish all labor materials, equipment, services and transportation for completion of the work described in these Contract Documents.

3. The Contractor shall be responsible for coordinating and cooperating with the Owner, and the Owner's other contractors, who may perform work and provide materials during the general construction of the project.

4. These notes are an aid to the Contractor in understanding the work, and should not be construed as being complete in every detail. It is the explicit and specific responsibility of the Contractor to visit the site, verify the existing conditions, familiarize himself thoroughly with the scope of work, and bring all discrepancies between the Drawings and the assumed or actual conditions to the attention of the Architect.

DRAWINGS AND DIMENSIONS

5. Design represented by these drawings are the property of the architect and were developed for the use of this project only. Reuse without the written consent of the Architect is prohibited.

6. No one drawing or specification shall "govern." The Contractor shall correlate work between all the various drawings and specifications. It is the explicit and specific responsibility of the Contractor to examine the Contract Documents in their entirety, bring all discrepancies therein to the attention of the Architect, and await resolution before proceeding with any work affected by such discrepancies.

7. All lines, symbols, notes, poche, and other graphic devices contained in the Contract Documents carry specific and inferential meaning. Items indicated in these ways are a part of the scope of work and will be required by the Owner and Architect to be included in the scope of the Contractor's work whether in the Contractor's original bid or not. Any items which require further clarification by the Architect for the specific benefit of the Contractor shall be brought to the attention of the Architect for such clarification before commencement of the work.

8. Electrical, Mechanical, and Plumbing drawings are intended to imply a diagrammatic scope of the work for use by the appropriate Subcontractor in developing a design/build budget and scope of installation. As such, the drawings in this regard are design documents only. Positions of architectural and visible features are fixed as shown unless a change in position is authorized by the Architect. The Contractor is responsible for design, approval, and installation of all non-visible components required for a fully operational, safe, and code compliant system

9. Design work is the responsibility of the Architect. The Contractor shall assume design liability and all responsibility for design changes or changes in the scope of work not brought to the attention of the Architect.

10. The Contractor shall pay specific attention to all dimensioned or inferential plan and sectional spatial relationships, and shall verify all alignments before commencing work.

11. Before starting work, the Contractor shall field verify all dimensions, locations, elevations, sizes, clearances, etc. required to complete the work.

12. All dimensions are to finish surface unless noted otherwise.

13. Dimensions marked "verify" are to be checked for accuracy by the Contractor as work progresses, and all discrepancies are to be brought to the attention of the Architect before proceeding.

14. Dimensions marked "clear" are not adjustable without the authorization of the Architect.

15. The Contractor shall not scale the Drawings. Figured dimensions only are to be used for all aspects of the work.

QUALITY OF THE WORK

16. Each Contractor or Subcontractor is responsible for providing product cut sheets and/or samples to the Owner and Architect for review and approval prior to ordering and installation of said items. Specific product selections and finishes shall be clearly indicated in each case. These submittals shall include, but not be limited to, the following:

- A. Electrical fixtures and fittings
B. All finish trim and other finish materials

17. All materials shall be new, of best quality, suitable for the use intended, compatible with complementary materials, and subject to approval by the Architect.

18. Substitutions will be considered, but do not substitute materials, equipment or methods without specific approval in advance by the Architect.

19. Follow all manufacturer's instructions and recommendations in the installation of equipment, and in the installation and application of materials.

20. All work shall be of the best quality, meet the highest standards of the respective trades, and be subject to the approval of the Architect.

CODES, SAFETY, AND INSURANCE

21. All construction and installation shall comply with the California Building Code, current edition, and all other requirements prescribed by authorities having jurisdiction.

22. The Contractor is solely responsible for all job safety.

23. The Contractor shall maintain Public Liability and Property Damage Insurance for the duration of the job.

THE JOBSITE AND TEMPORARY FACILITIES

24. The Contractor shall personally or through an authorized and competent representative constantly supervise the work from beginning to completion and, within reason, keep the same workmen and foreman on the project throughout its duration.

25. Temporary utilities as required shall be provided by the Contractor. Temporary controls and barriers shall be provided as required to accomplish the Work and removed as work progresses or upon completion.

26. The Contractor shall furnish temporary toilet facilities for workmen, keep them in proper condition, and at the completion of the work, disinfect and remove all evidences of same.

27. Access to construction shall be permitted at all times to Owner and Architect or their representatives.

28. The Contractor shall adequately protect the work in progress, materials delivered to the job, work of subcontractors, finished surfaces, exposed corners of millwork, etc., and shall replace any damage or injury due to his act or neglect.

29. Any site areas unaffected by this work shall be protected from any damage caused by this work. Any damage to existing structures and physical plant so caused shall be the financial responsibility of the Contractor.

30. Any waste and refuse caused by this work shall be removed from the premises and disposed of in a regular and timely manner by the Contractor. The Contractor shall leave the job clean, including the windows, to professional cleaning standards.

THE CONTRACT AND JOB ADMINISTRATION

31. Contract form for this Work shall be as specified by the Owner.

32. The Work under this Contract shall be accomplished efficiently and expeditiously. The Contractor shall prepare a schedule for the Work including required submittals and time for their approval, and review same with the Owner and Architect for approval, prior to commencement of construction.

33. Change Orders shall be in writing and approved (signed) by the Owner and Architect in advance of proceeding with the work.

34. Allowances shall be for materials only unless noted otherwise. Installation shall be included in the base proposal.

35. The Owner will obtain and pay for the Building Permit. Subcontractors will be responsible for all permits, fees, and licenses relating to their particular trades.

36. The Contractor shall maintain a complete set of prints of Contract Drawings for record mark-up purposes throughout the Contract Time. Mark-up drawings during course of the work to show changes and actual installation conditions, sufficient to form a complete record for Owner's purposes. Give particular attention to work which will be concealed and difficult to measure and record at a later date. Require entities marking prints to sign and date each mark-up.

37. Provide maintenance manuals and on-location instruction to the Owner by the system installer for all systems requiring continued operation/maintenance by the Owner. These include but are not necessarily limited to:

- A. Mechanical/electrical/electronic systems
B. Kitchen equipment

38. Upon substantial completion, the Contractor shall request a pre-final inspection with the Architect and the Owner to determine the punch list items. The Contractor shall request a Final Project Review after completing all of the items on the punch list to determine project acceptance.

39. All Plans, Specifications, and Drawings prepared by the Architect are instruments of service and as such are the property of the Architect whether the work for which they are prepared is executed or not. Plans, Specifications, and Drawings shall not be used without the express written consent of the Architect.

40. The Architect is not responsible for the execution of the work described in the documents or for any acts of the Owner or the Owner's agents.

SPECIAL NOTES

GENERAL

1. These special notes are intended to clarify and specify the work of the various trades, vendors, and subcontractors. They are not intended to be exhaustive specification, but rather notes of concern for this project:

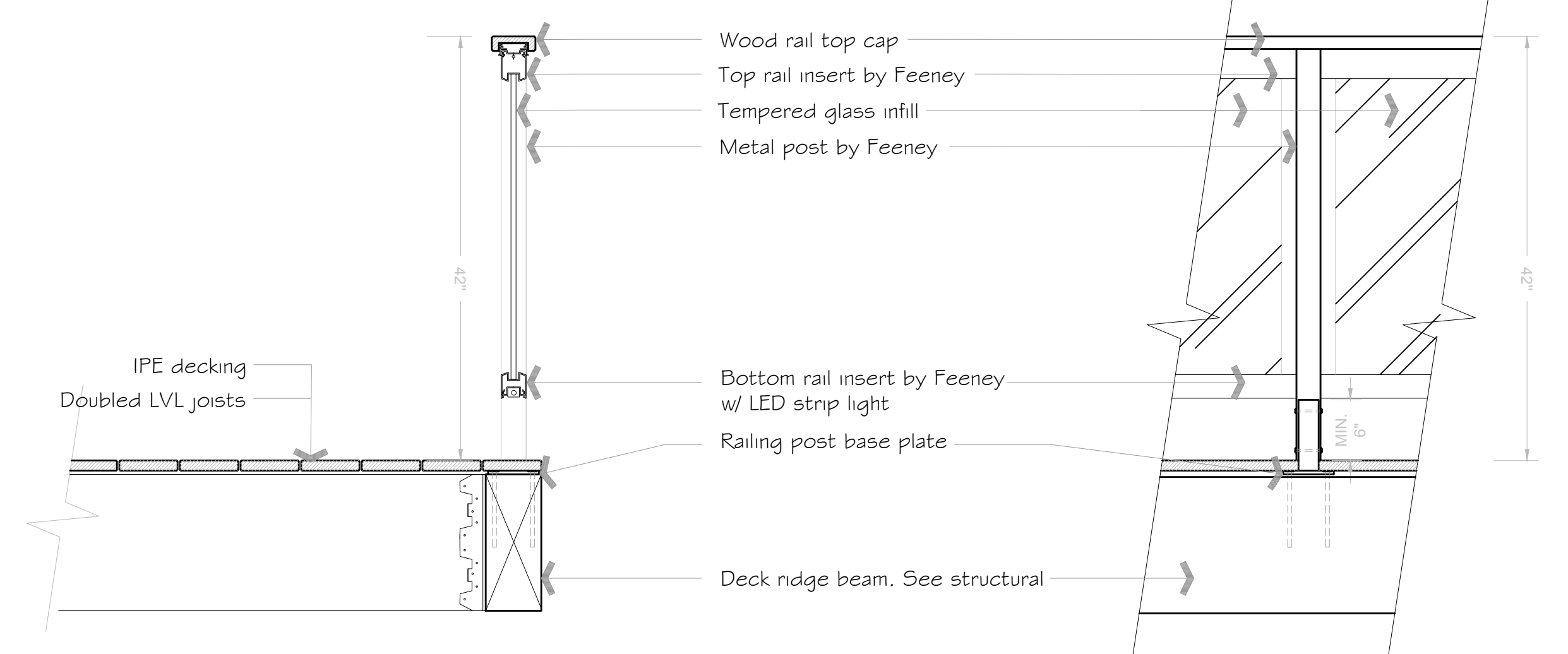
- 2. All trades shall conform to, but not necessarily be limited to, all of the following requirements:
A. Verify all conditions at the site affecting the work. Work to field dimensions as required. Coordinate with the work of others, verifying that their work is sufficiently and appropriately complete for the progress of the work.
B. Fabricate and install all work according to the best practices of the trade, per details and dimensions shown, with sharp lines, angles, and smooth surfaces, all true, plumb and level. Joints shall be flush and tight.
C. Coordinate all work with interfacing and adjoining work to ensure the best possible durability of the work, materials, and finishes.
D. Use only workers skilled and familiar with the work which they are to perform.
E. Follow all manufacturer's instructions and recommendations in the installation and application of materials.

PLUMBING, ELECTRICAL, MECHANICAL

- 1. See General Note 8.
2. Plumbing drawings are not necessarily complete but indicate a general scope of work. Plumbing contractor shall be responsible for verifying all kitchen, bar, and other equipment requirements and provide services accurately feed and located for same.
3. Electrical drawings are not necessarily complete but indicate a general scope of work. Electrical contractor shall be responsible for verifying all kitchen, bar, and other equipment requirements and provide services accurately feed and located for same.
4. Place all boxes for switches, outlets, fixtures and equipment and walk-through with Owner and Architect for approval of placement before proceeding with running conduit or wiring.
5. Gas vent terminations shall meet the requirements of CMC 802.6 & SFMC 802.6.2. Through wall vent termination per SFMC 802.8.
6. Combustion air shall meet the requirements of CMC Chapter 7.
7. Environmental air ducts shall terminate 3 feet from the property line and 3 feet from openings into the building per CMC 502.2.1. and provide with back draft dampers per CMC 504.1.1. Exhaust shall not discharge onto a public walkway.
8. Domestic range hood vents shall meet the requirements of CMC 504.3 and comply with CMC table 403.7.
9. All interior spaces intended for human occupancy shall be provided with space heating per CBC 1204.1.
10. Clothes dryer exhaust shall be a minimum of 4" terminated to the outside of the building, shall be equipped with a back-draft damper, and meet the requirements of CMC 504.4. Provide 100sq.inch. minimum make-up air opening for domestic dryers.
11. Direct vent appliances per CMC 802.2.4 (per manufacturer's installation instructions) and SFMC 802.2.4.
12. 26 gauge duct in garage.
13. Lighting per CEC 150.0 (K). See general notices.
14. Provide a minimum 200 sq.inch ventilation outlet in the garage wall or exterior door per SFBC 406.3.3.

CITE WORK

- 1. No unnecessary change in impervious area.
2. Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, rinse water from architectural copper, and non-stormwater discharges to storm drains and watercourses.
3. Store, handle and dispose of construction materials/ wastes properly to prevent contact with stormwater.
4. Do not clean fuel, maintain vehicles on site, except in designated area where wash water is contained and treated.
5. Train and provide instruction all employees/ subcontractors re: contraction BMP's.
6. Perform cleaning and earth moving activities only during dry weather.



1 Glass Railing Detail

Scale: 1"=1'-0"

2 Railing Post Attachment to Deck

Scale: 1"=1'-0"



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Table with Issue and Date columns. Issue 1: 06/01/22, Issue 2: 08/22/22, Issue 3: 09/12/22.

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Sheet Title: General Notes & Schedules



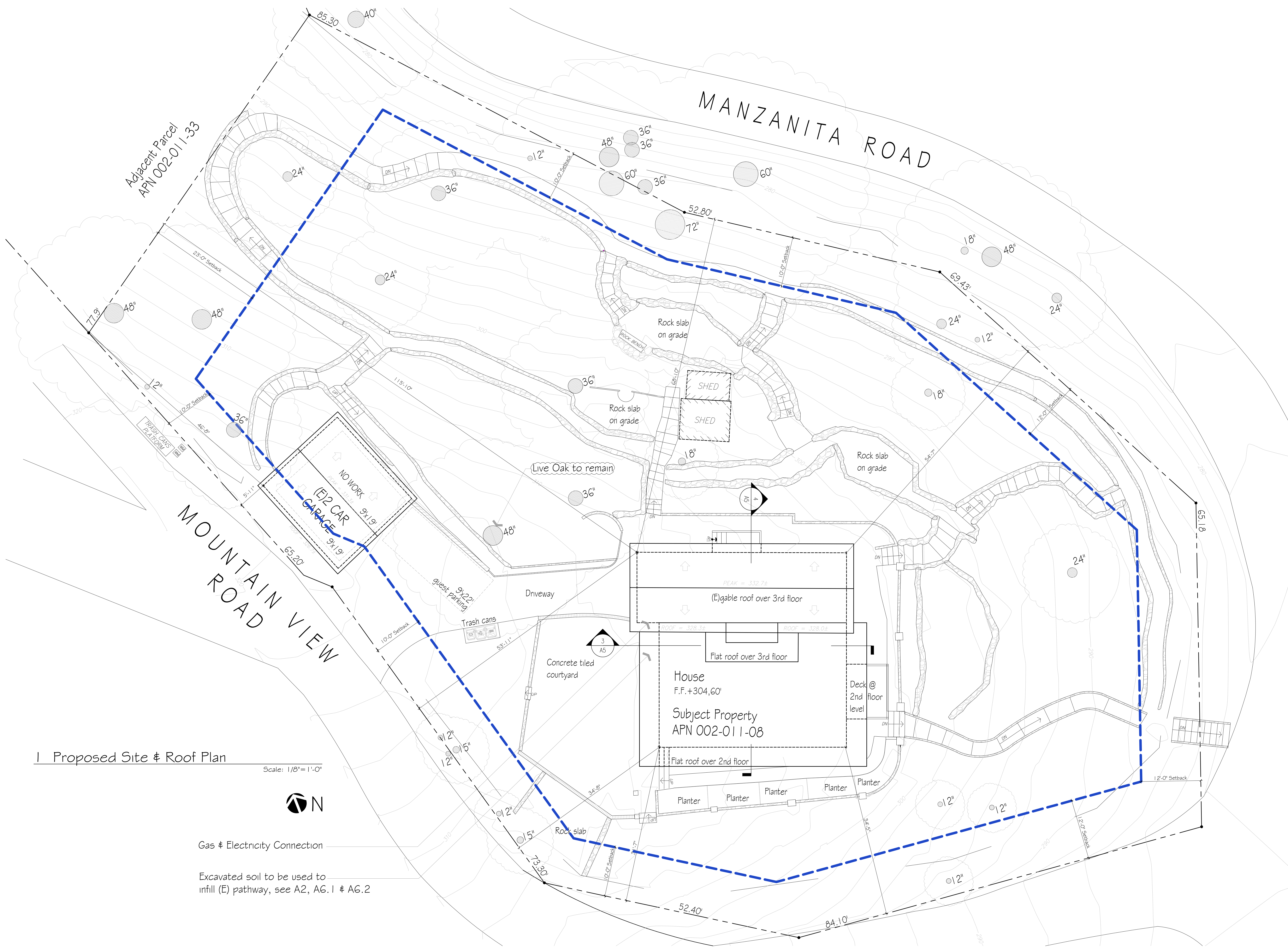
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 Sheet Title: (P) Site Plan

A1.3



1 Proposed Site & Roof Plan
 Scale: 1/8" = 1'-0"



Gas & Electricity Connection

Excavated soil to be used to
 infill (E) pathway, see A2, A6.1 & A6.2

House
 F.F. +304.60'
 Subject Property
 APN 002-011-08

(E)gable roof over 3rd floor
 Flat roof over 3rd floor

Flat roof over 2nd floor

NO WORK
 (E)2 CAR GARAGE
 9x19'

SHED
 SHED

PEAK = 332.74

PEAK = 328.53

ROOF = 328.04

Live Oak to remain

Concrete tiled courtyard

Trash cans

Driveway

guest parking

10'-0" Setback

10'-0" Setback

10'-0" Setback

10'-0" Setback

10'-0" Setback

10'-0" Setback

10'-0" Setback

10'-0" Setback

10'-0" Setback



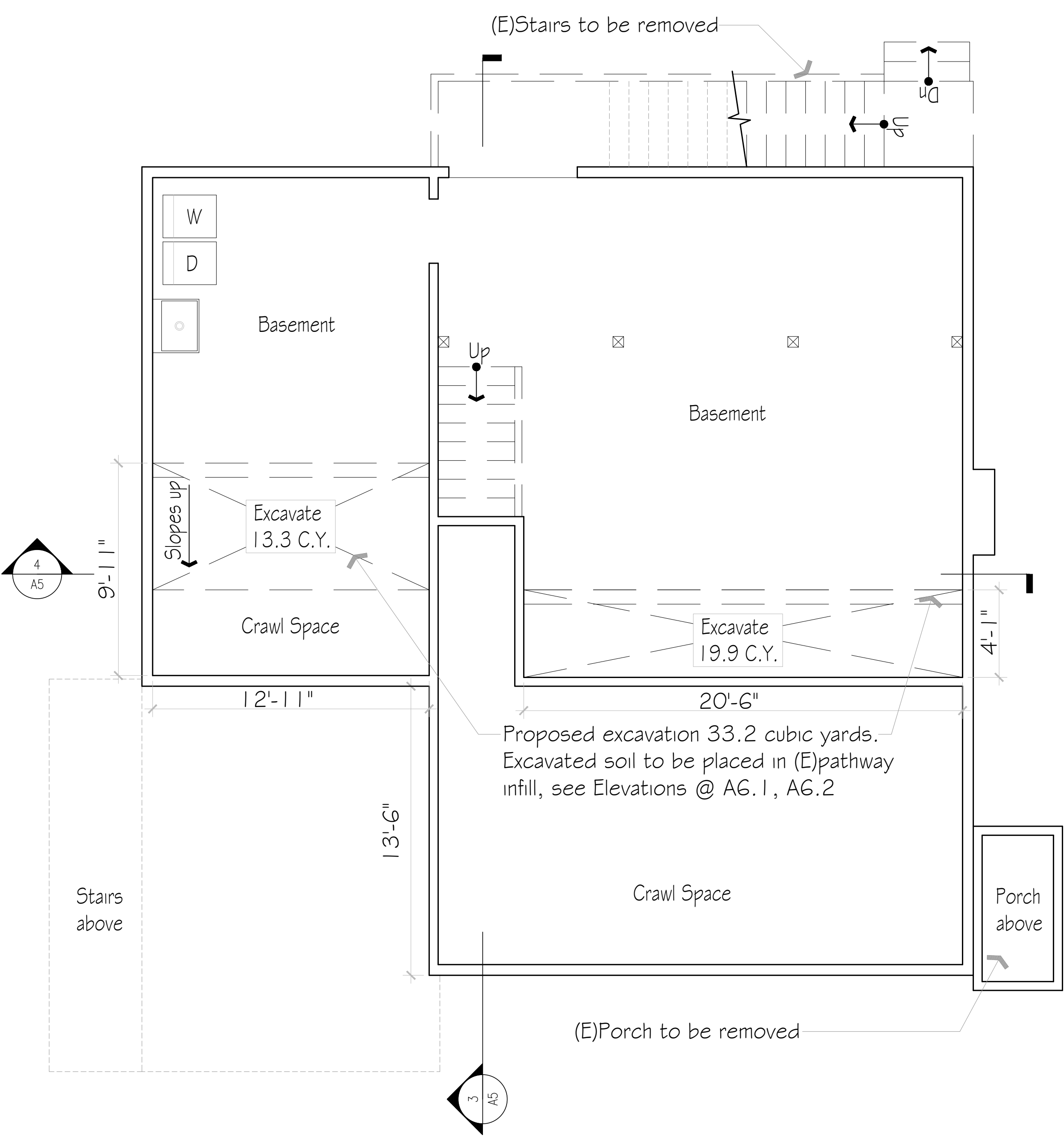
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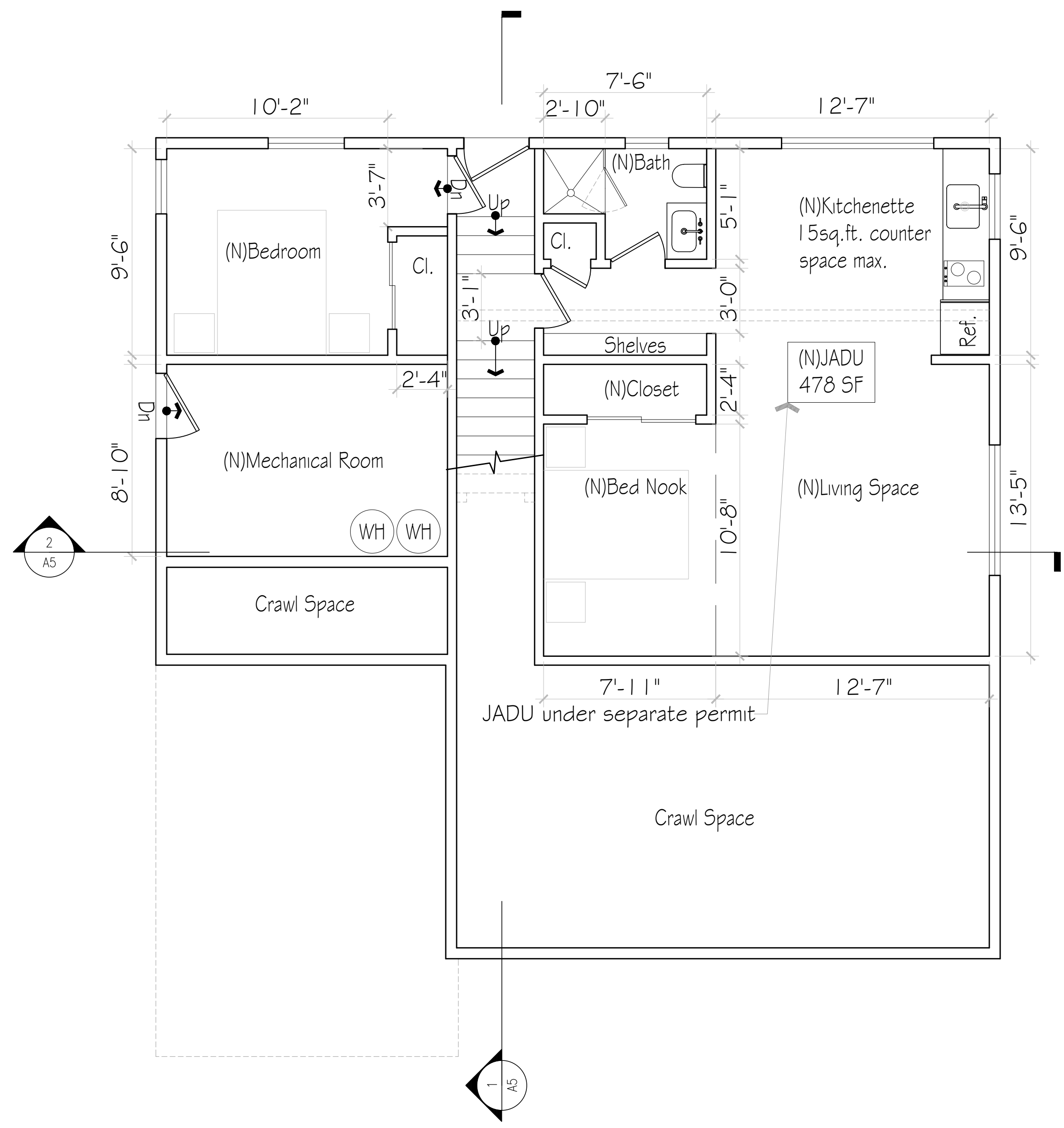
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A2



1 Existing First Floor Plan



2 Proposed First Floor Plan

Wall Legend

- To be Removed
- New Walls
- Walls to Remain



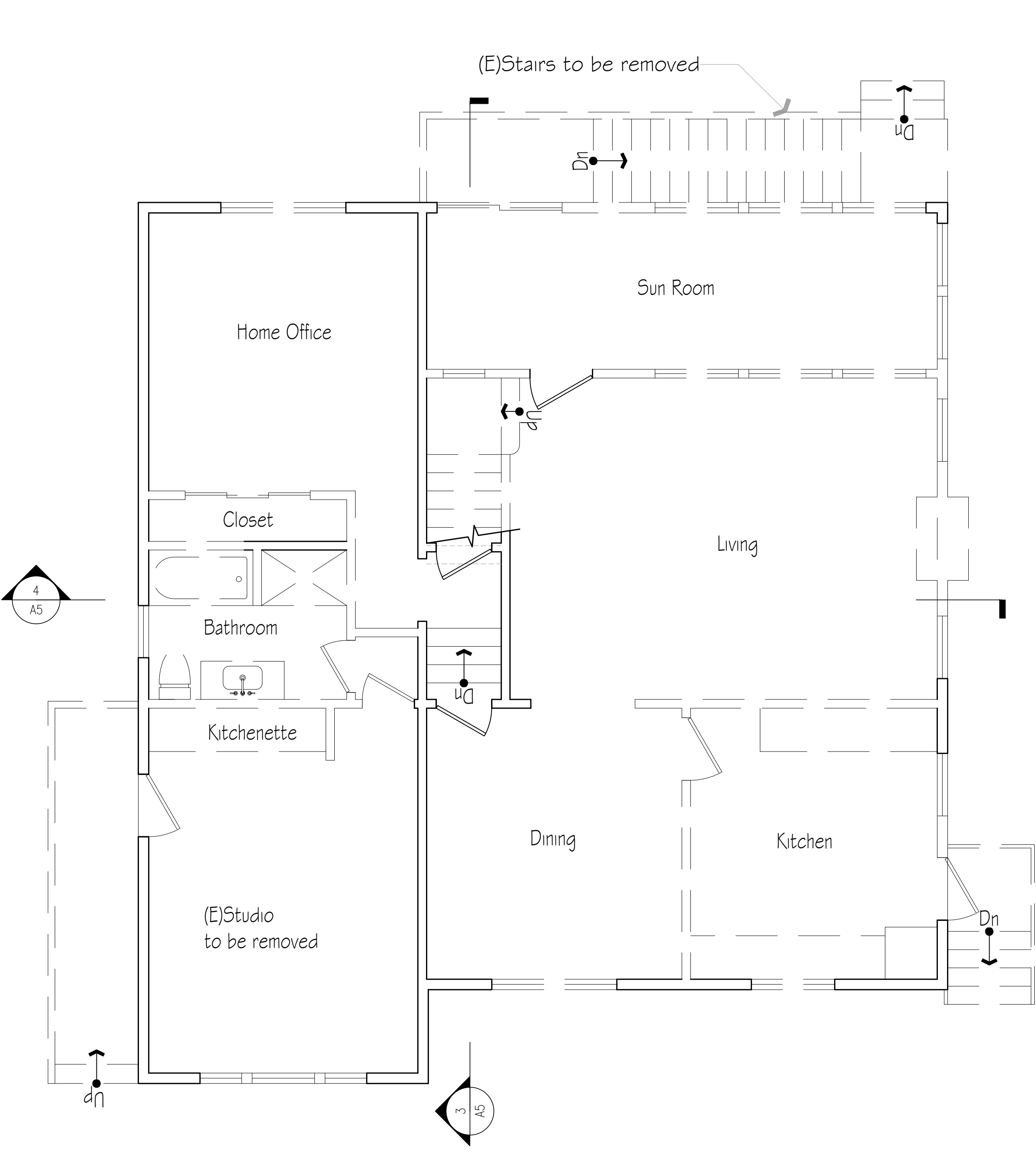
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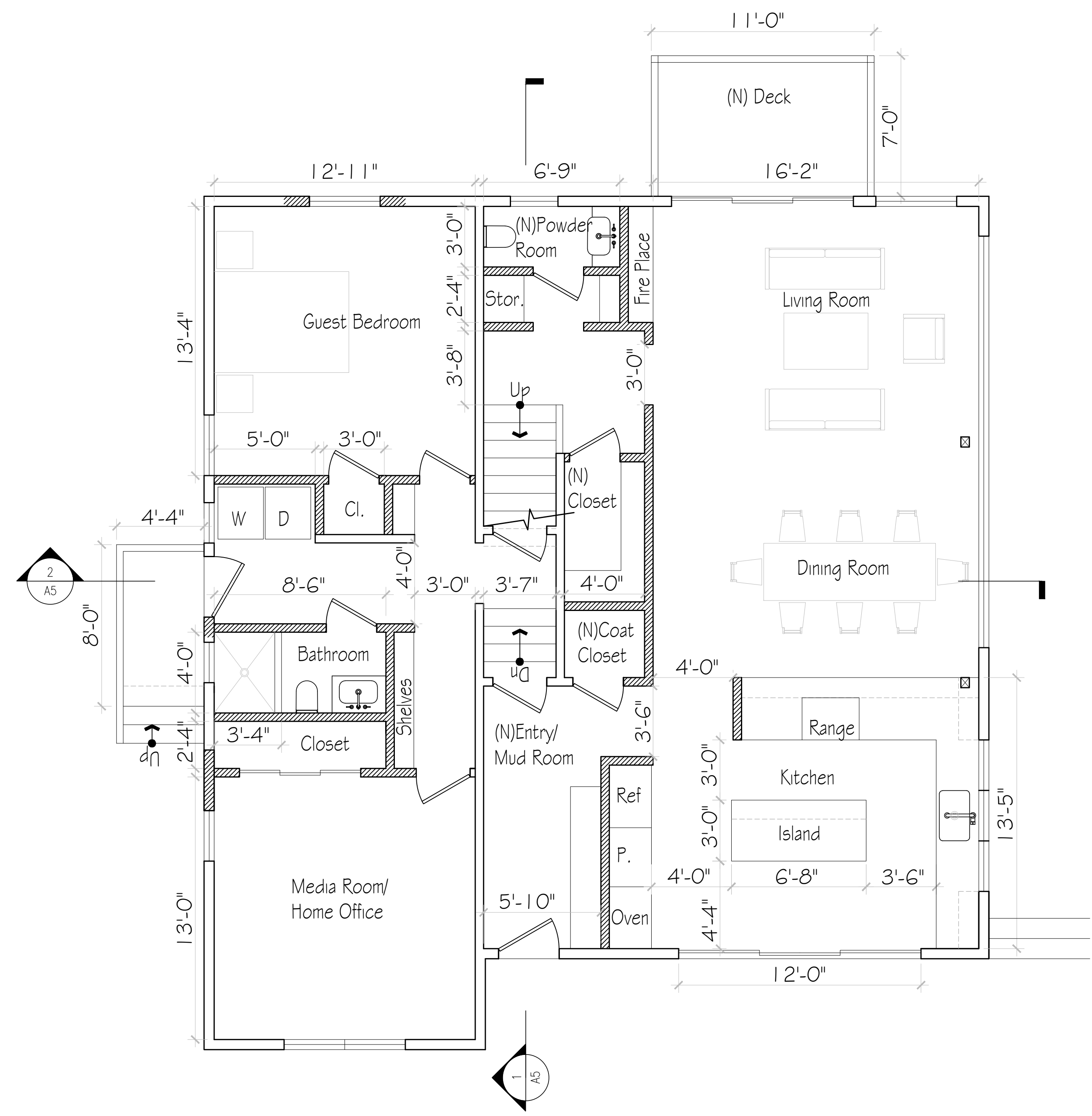
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	06/01/22
Revisions 1	08/22/22
Revisions 2	09/12/22

Scale: As shown
 Sheet Title:

A3



1 Existing Second Floor Plan
 Scale: 1/4" = 1'-0"



2 Proposed Second Floor Plan
 Scale: 1/4" = 1'-0"

Wall Legend

- To be Removed
- New Walls
- Walls to Remain



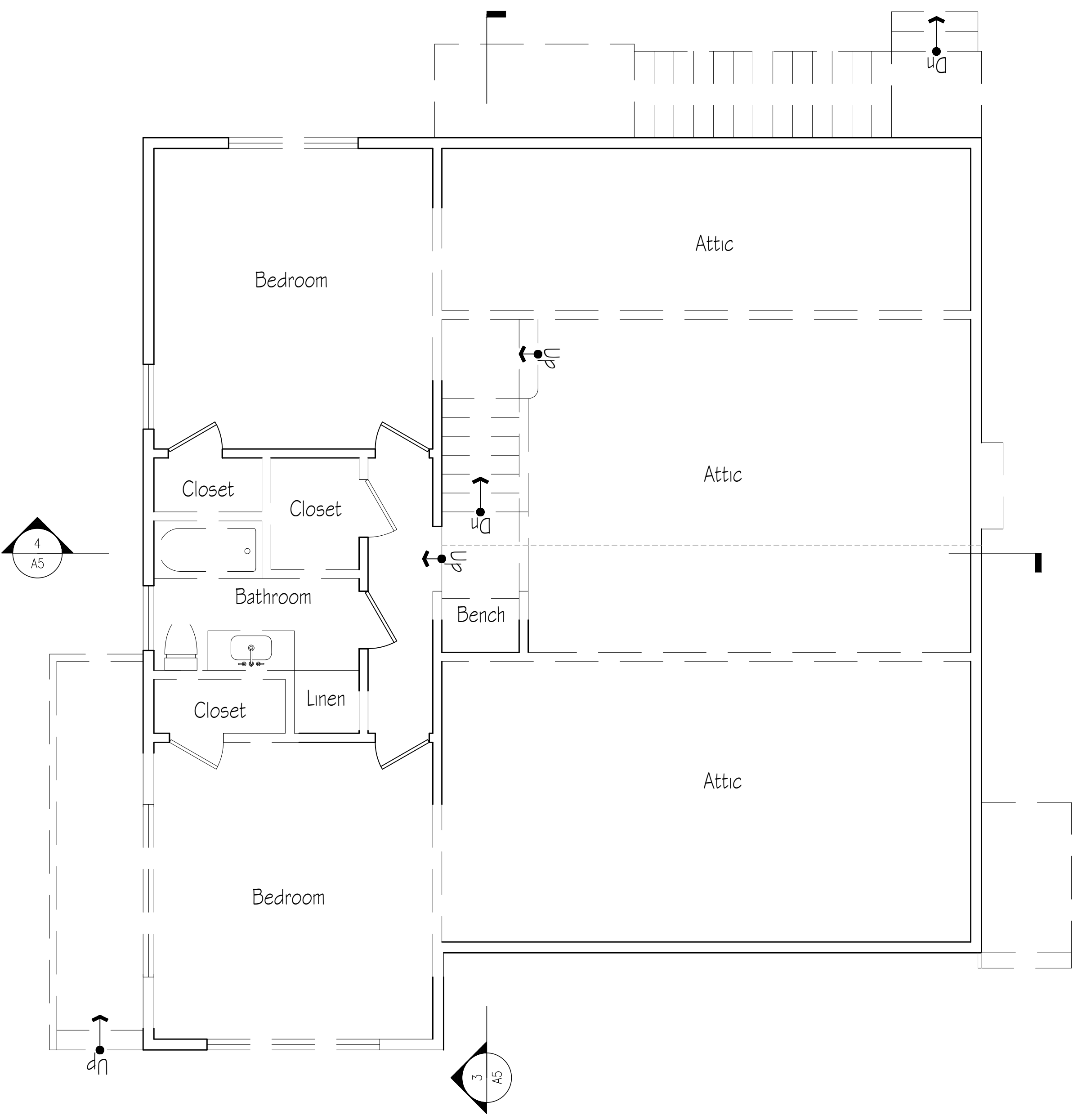
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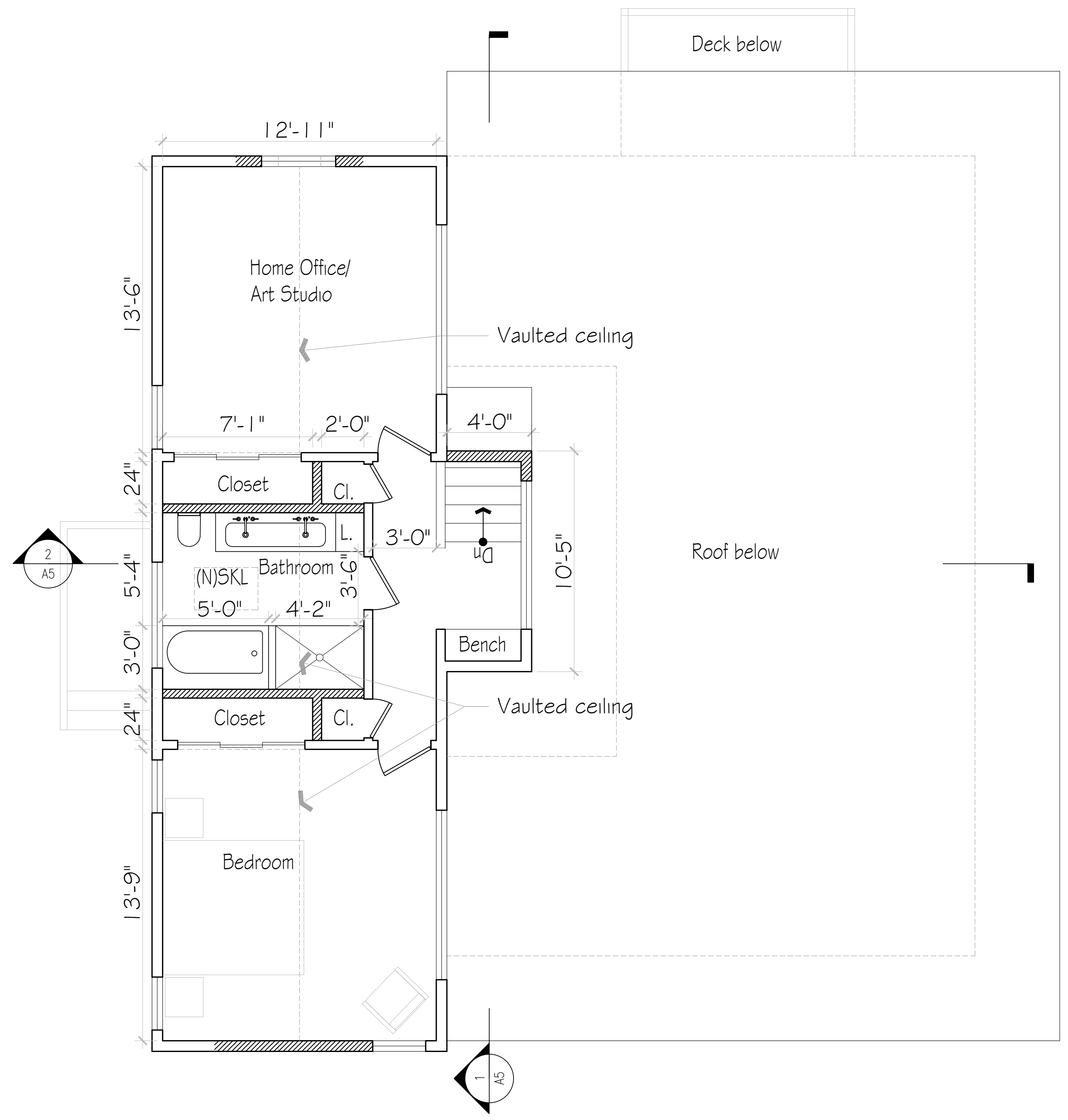
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 Sheet Title:

A4



1 Existing Third Floor Plan

Scale: 1/4" = 1'-0"



2 Proposed Third Floor Plan

Scale: 1/4" = 1'-0"

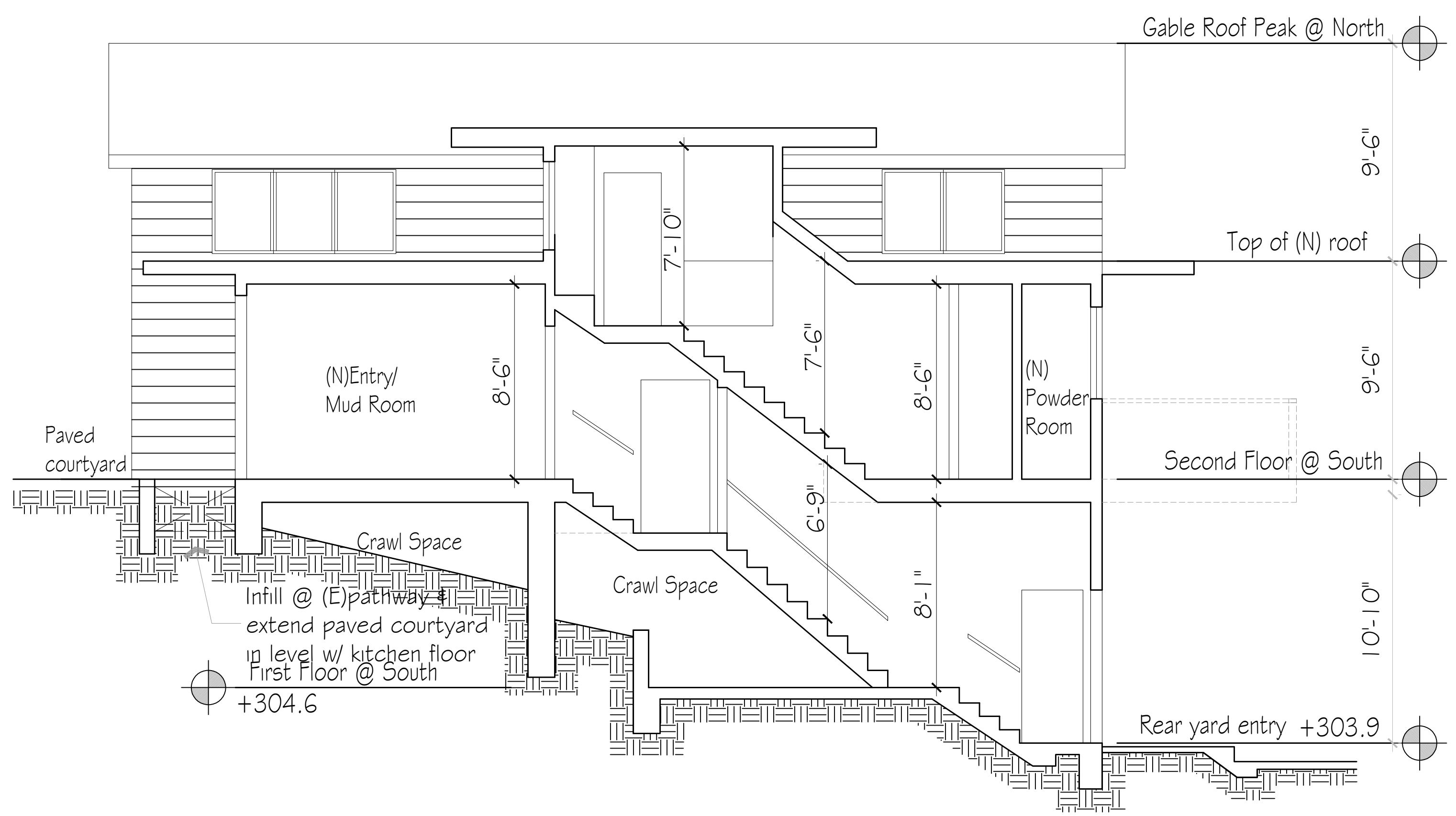
Wall Legend

- To be Removed
- New Walls
- Walls to Remain



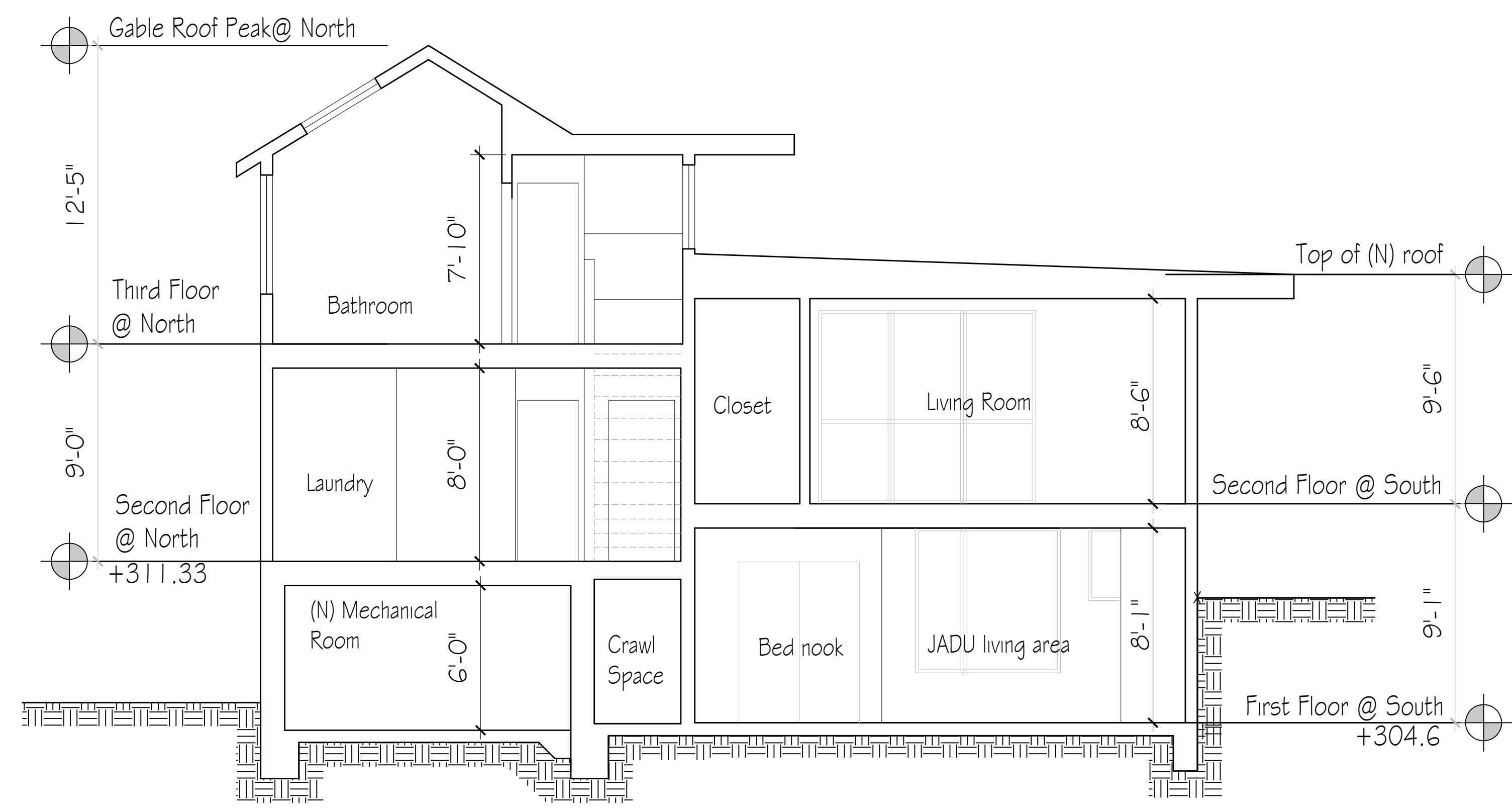
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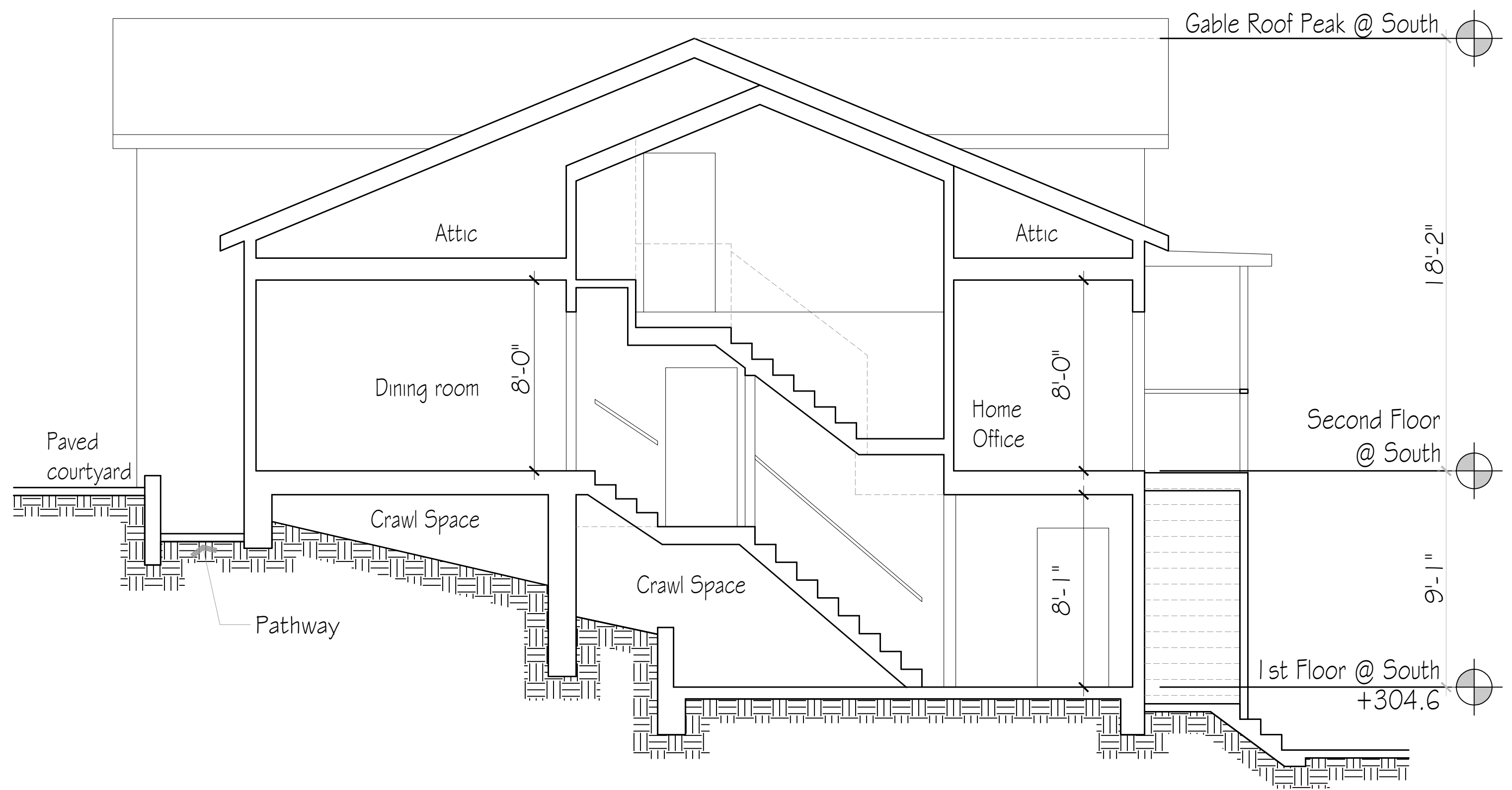
1 Proposed Section

Scale: 1/4"=1'-0"



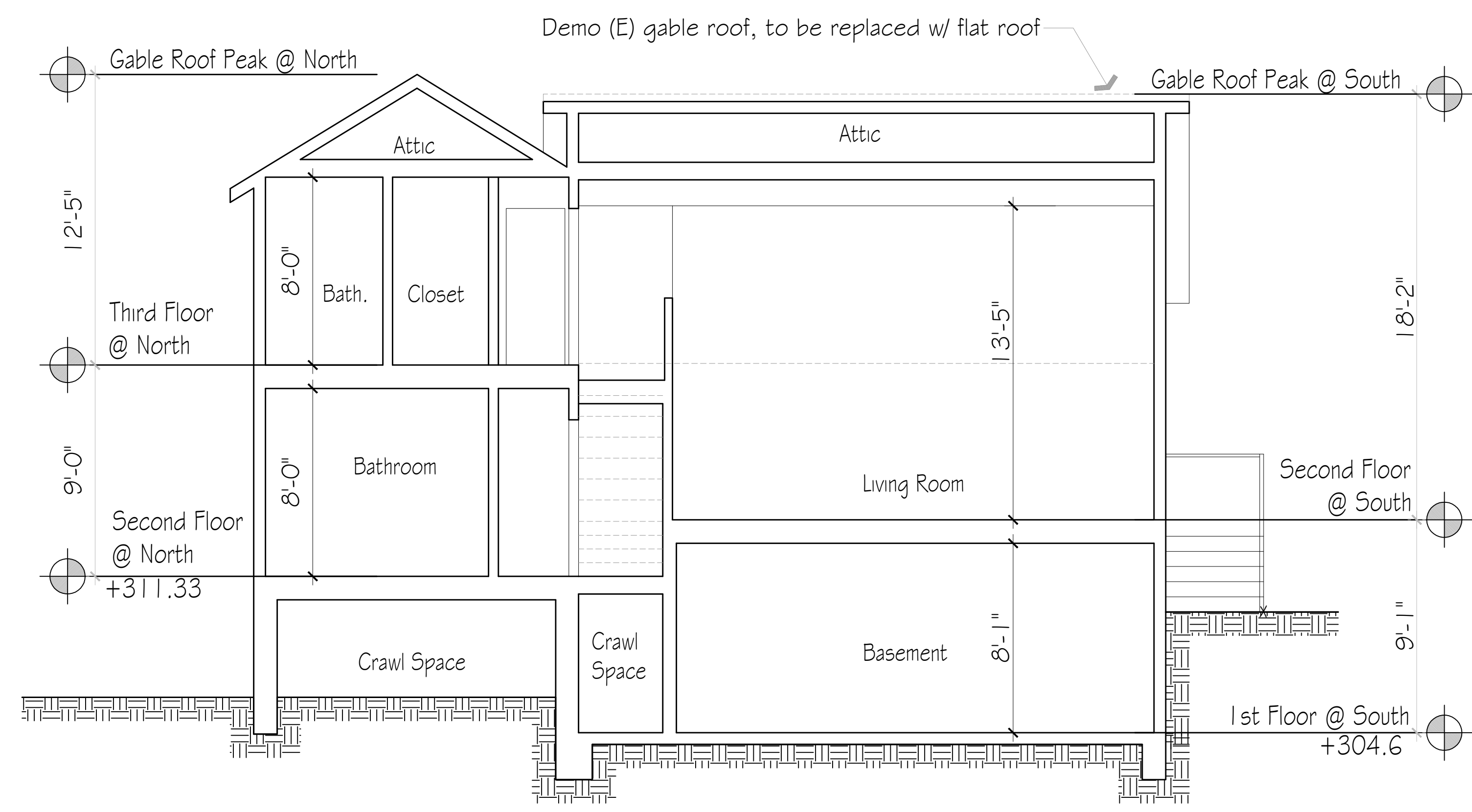
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Scale: 1/4"=1'-0"



3 Existing Section

Scale: 1/4"=1'-0"



4 Existing Section

Scale: 1/4"=1'-0"

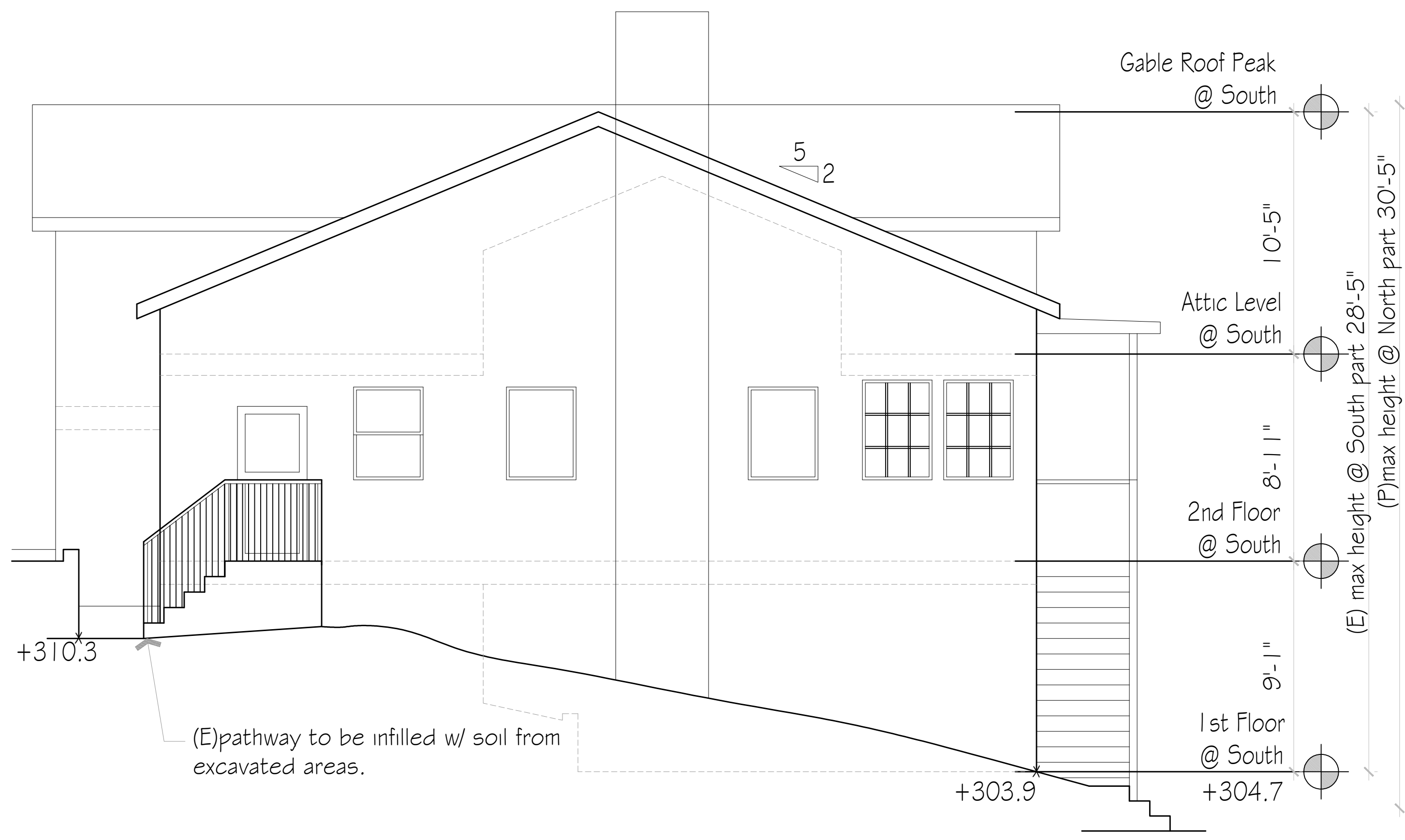
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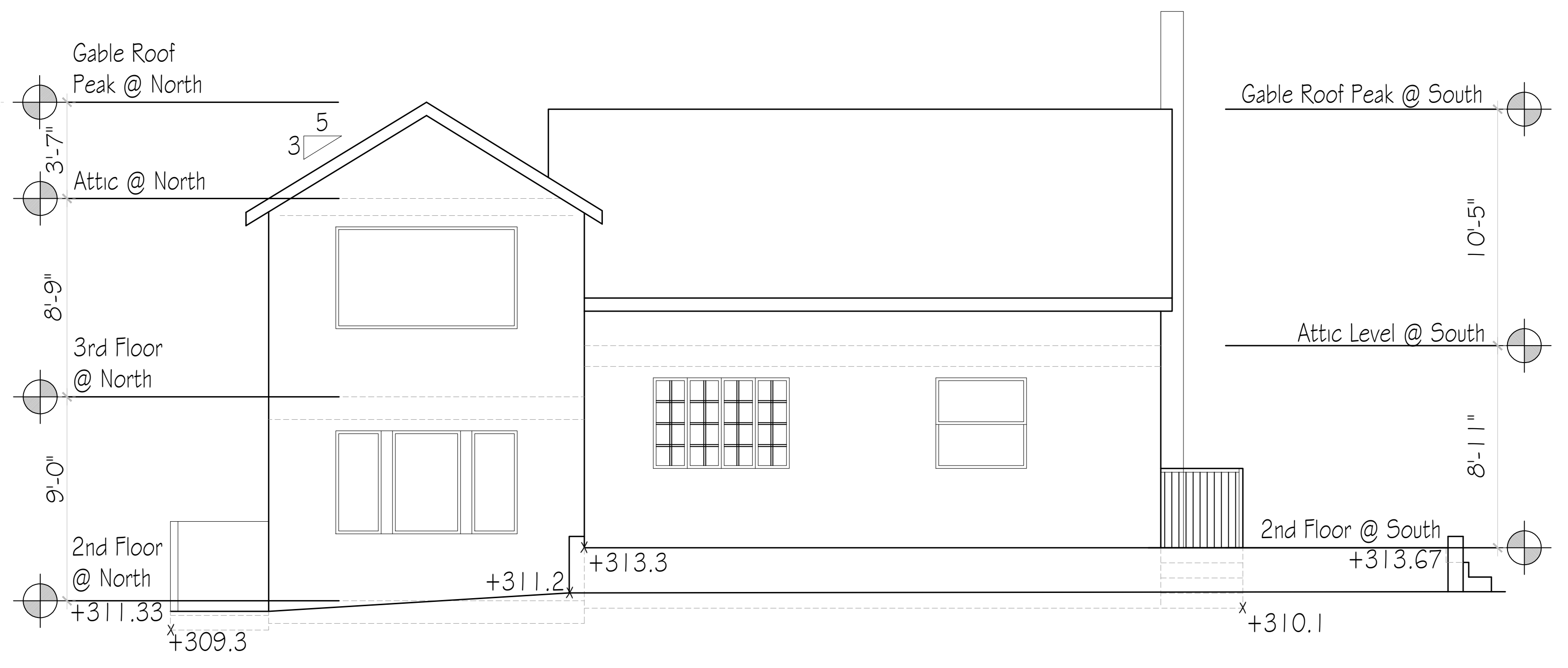
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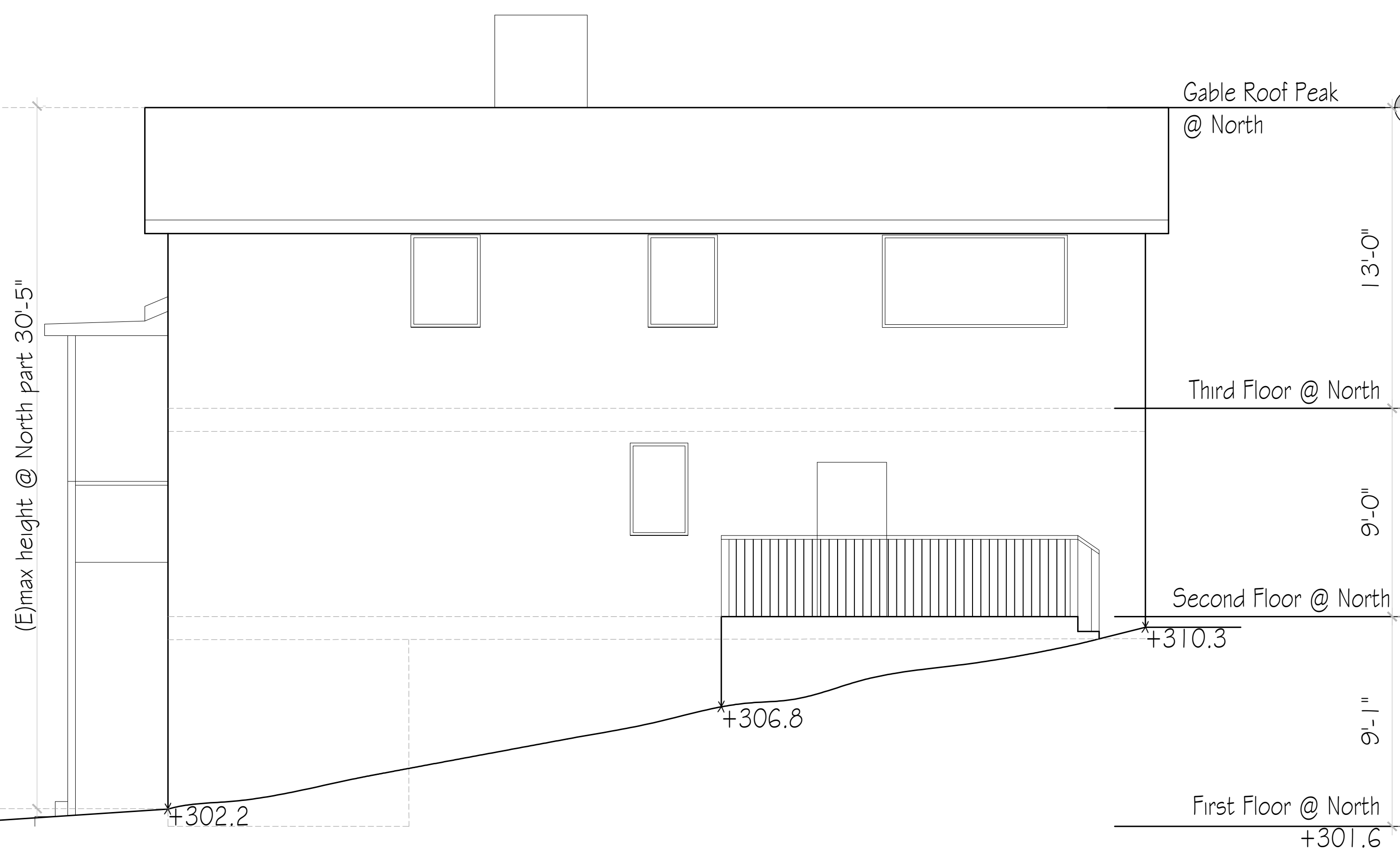
1 Existing South Elevation

Scale: 1/4" = 1'-0"



2 Existing West Elevation

Scale: 1/4" = 1'-0"



3 Existing North Elevation

Scale: 1/4" = 1'-0"



4 Existing East Elevation

Scale: 1/4" = 1'-0"

Issue:	Date:
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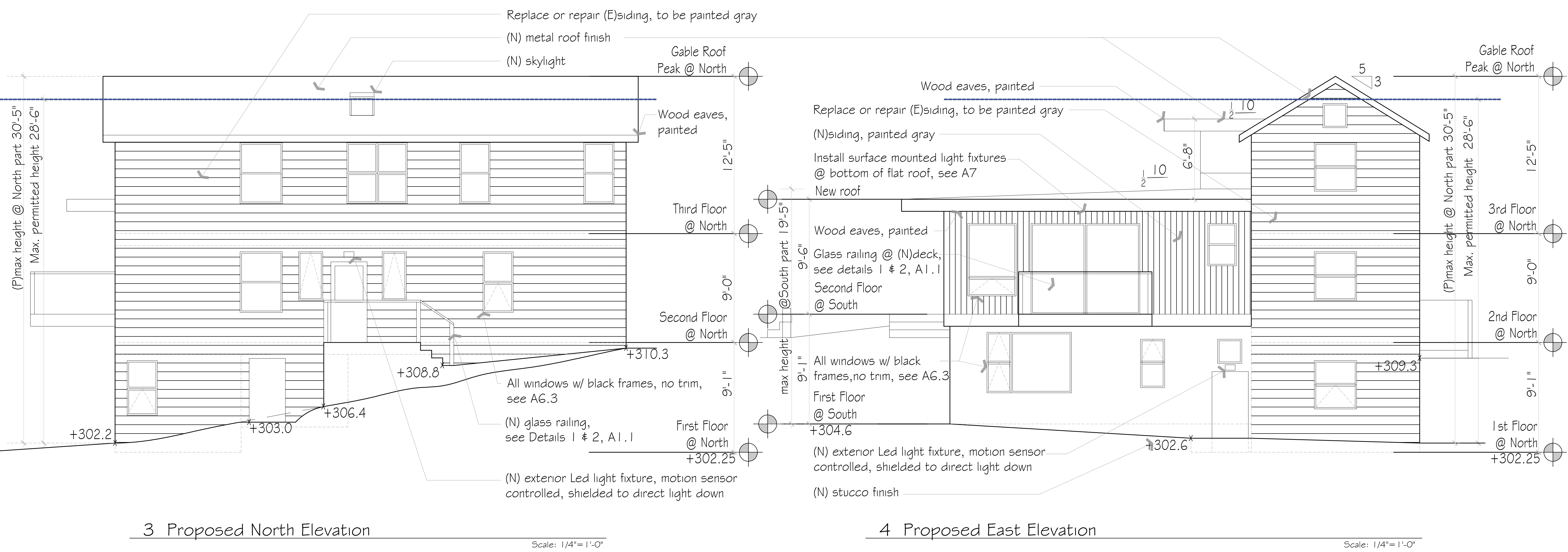
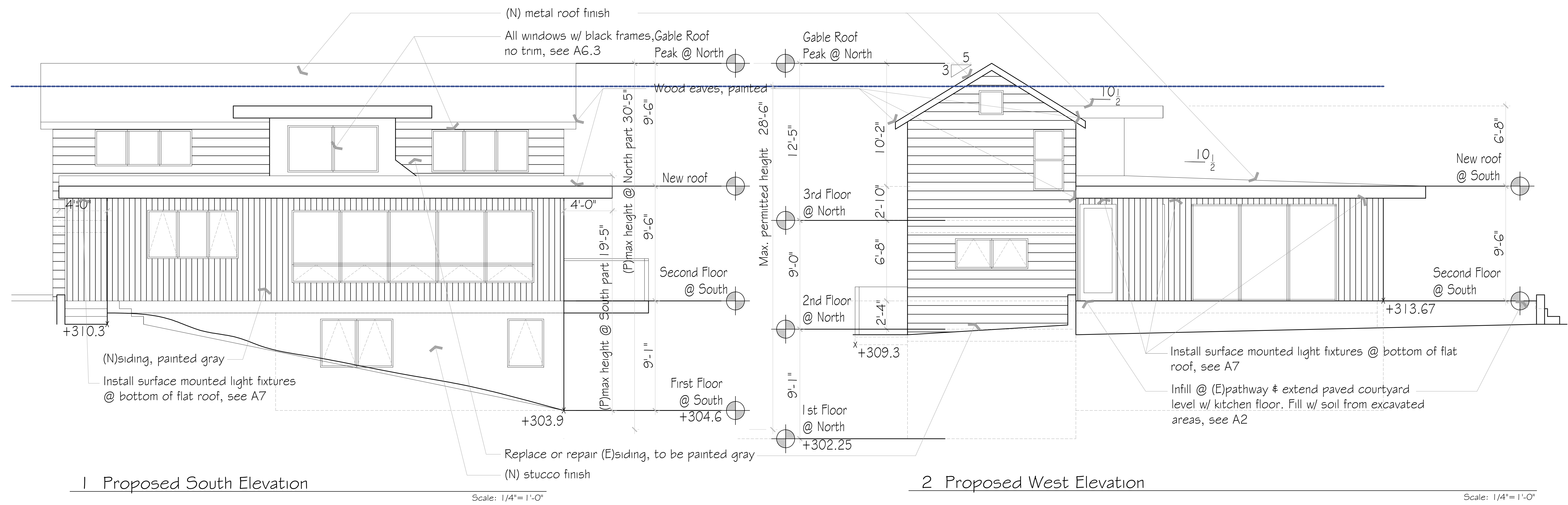
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A6.1



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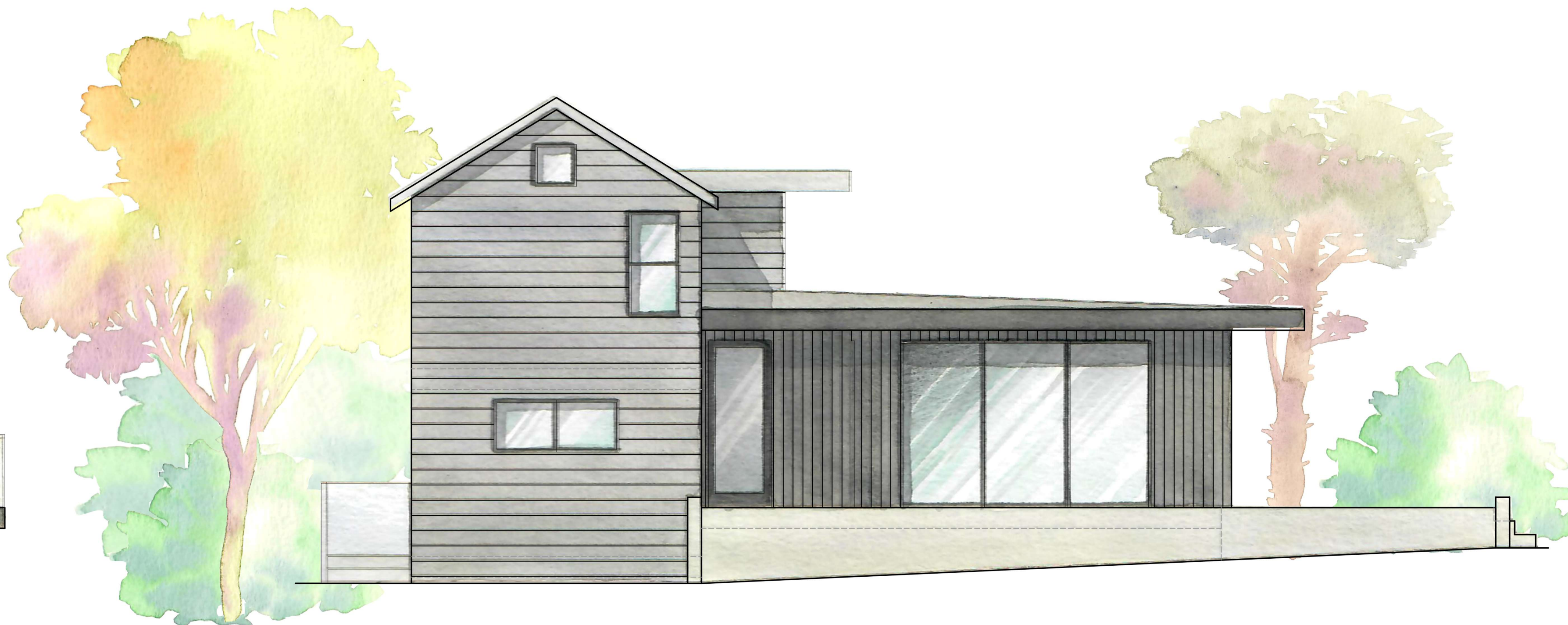
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A6.2



1 Proposed South Elevation

Scale: 1/4"=1'-0"



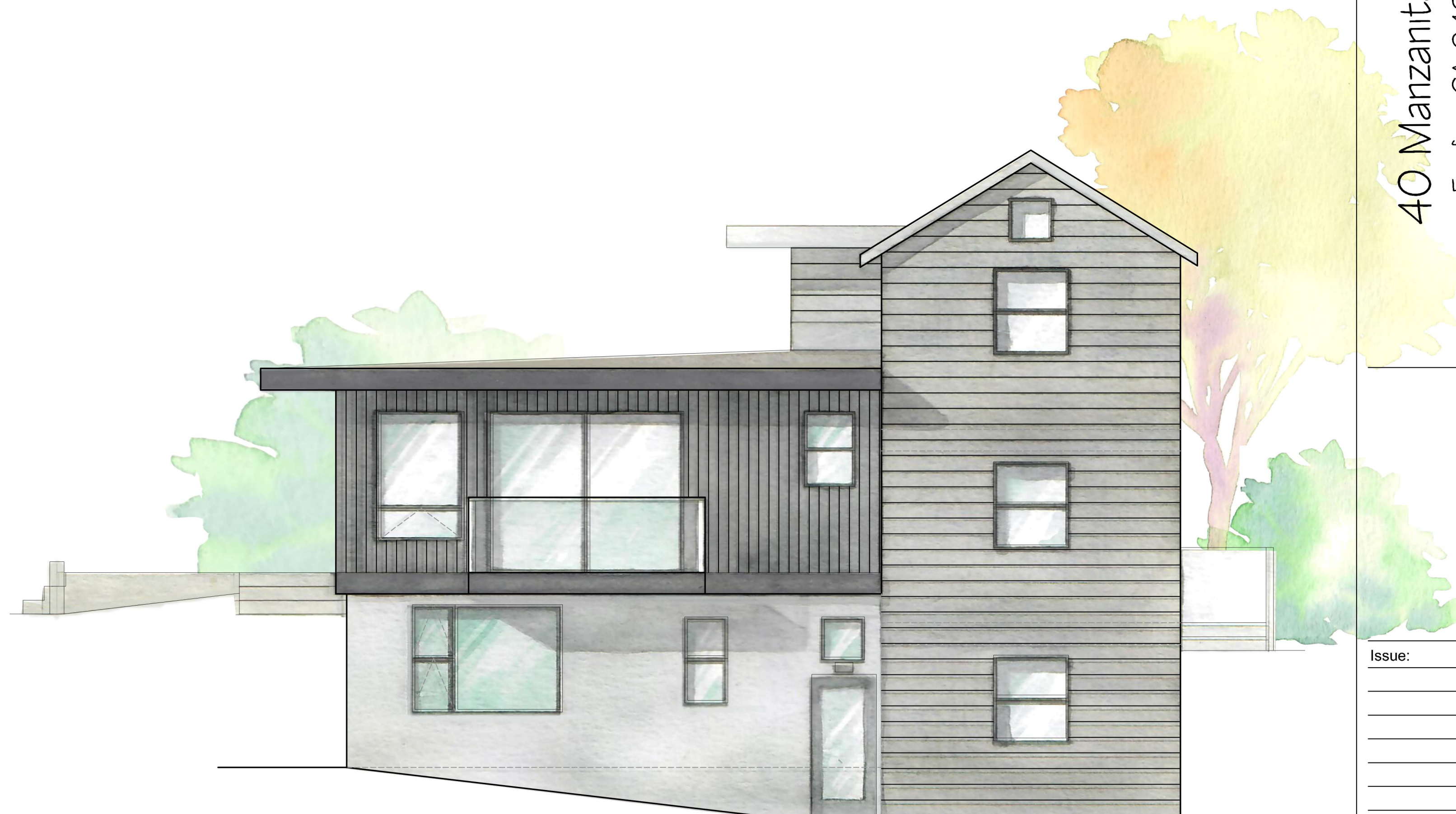
2 Proposed West Elevation

Scale: 1/4"=1'-0"



3 Proposed North Elevation

Scale: 1/4"=1'-0"



4 Proposed East Elevation

Scale: 1/4"=1'-0"



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(P)Exterior colors scheme

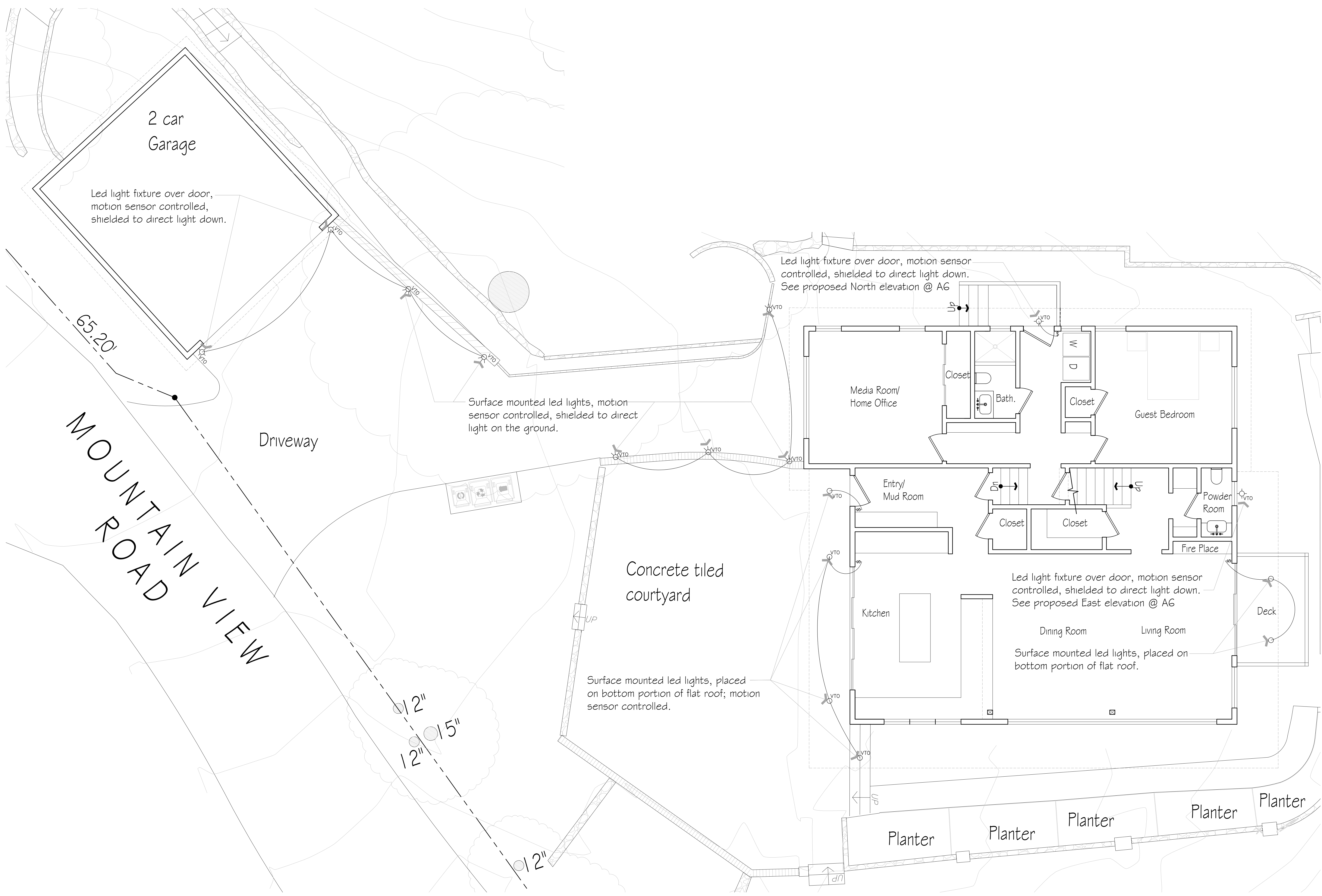


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Scale: As shown
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I Proposed Exterior Lighting Plan

Scale: 1/8" = 1'-0"



A7



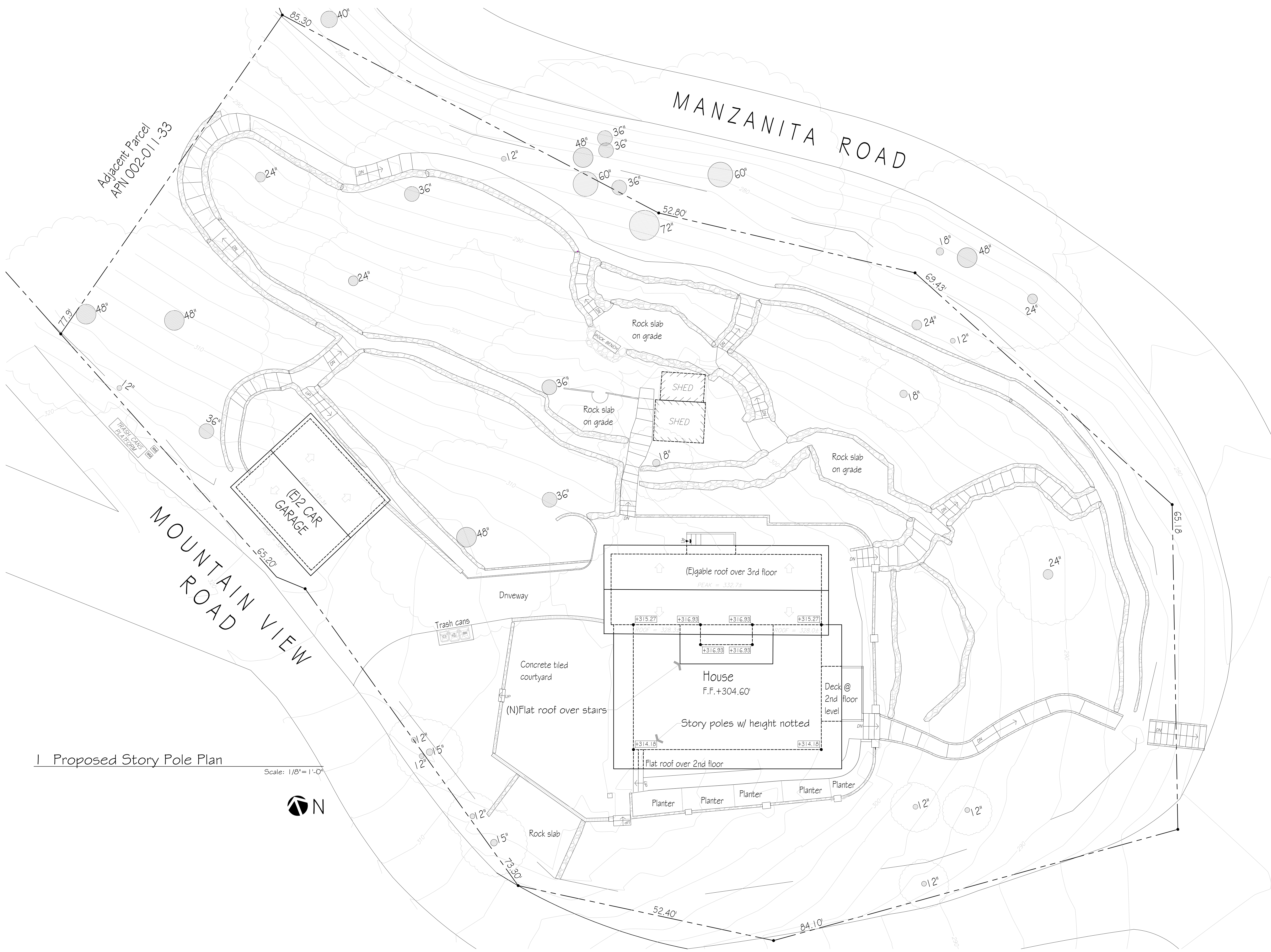
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Scale: As shown
 Sheet Title: (F) Story Pole Plan

A8



I Proposed Story Pole Plan

Scale: 1/8" = 1'-0"

