

PLANNING SUBMITTAL DOCUMENTS
FOR
HOME REMODEL
CHRISTOPHER AND KRISTIN ARNOLD RESIDENCE
APN 002-014-10
35 Wreden Ave
Fairfax, CA 94930

DESIGNER:
Peter Arnold
Design and Drafting Services
38 Meadow Way
Fairfax, California 94930
Phone 415-509-2260
Email peterinairfax@earthlink.net

ABBREVIATIONS

AC	ASPHALT CONCRETE	JT.	JOINT
ADL.	ADDITIONAL	LB.	POUND
ADJ.	ADJUSTABLE	MFR.	MANUFACTURER
AGG.	AGGREGATE	MAT.	MATERIAL
ALT.	ALTERNATE	MAX.	MAXIMUM
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECT	MED.	MEDIUM
ASPH.	ASPHALT	MIN.	MINIMUM
AUTO.	AUTOMATIC	MISC.	MISCELLANEOUS
BD.	BITUMINOUS	MTG.	MOUNTING
BLDG.	BUILDING	MTL.	MATERIAL
BOT.	BOTTOM	(N)	NEW
BTWN.	BETWEEN	N.I.C.	NOT IN CONTRACT
C.B.	CATCH BASIN	N.T.S.	NOT TO SCALE
CBC	CALIF. BUILDING CODE	NO.	NUMBER
C.I.	CAST IRON	NOM.	NOMINAL
C.I.P.	CAST IN PLACE+	O.C.	ON CENTER
CJ	CONTROL JOINT	O.D.	OUTSIDE DIAMETER
CMU	CONCRETE MASONRY UNIT	OPG.	OPENING
CEM.	CEMENT	OPP.	OPPOSITE
CL	CENTER LINE	PSI	POUNDS PER SQUARE INCH
CLR.	CLEAR	PVC	POLYVINYL CHLORIDE
CLMN	COLUMN	PENN.	PENETRATION
CONC.	CONCRETE	PERF.	PERFORATED
CONN	CONNECTION	PL	PROPERTY LINE
CONST.	CONSTRUCTION	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	PR.	PAIR
CONTR.	CONTRACTOR	PRCST.	PRECAST
COORD.	COORDINATE	PREFAB.	PREFABRICATED
CTR.	CENTER	PT.WD.	PRESSURE TREATED WOOD
D.F.	DRINKING FOUNTAIN	QTY.	QUANTITY
DBL.	DOUBLE	RAD.	RADIUS
DEMO.	DEMOLITION	R.C.P.	REINFORCED CONCRETE PIPE
DEPT.	DEPARTMENT	RDWD.	REDWOOD
DET.	DETAIL	RE	RIM ELEVATION
DI	DROP INLET	REF.	REFERENCE
DIA.	DIAMETER	REINF.	REINFORCING
DIAG.	DIAGONAL	REQD.	REQUIRED
DIM.	DIMENSION	REV.	REVISION
DN.	DOWN	SD	STORM DRAIN
DWG.	DRAWING	S.F.	SQUARE FOOT
(E)	EXISTING	S.J.	SCORE JOINT
EXIST.	EXISTING	S.M.	SHEET METAL
EJ	EXPANSION JOINT	S.Y.	SQUARE YARD
E.S.	EACH SIDE	SCH.	SCHEDULE
E.W.	EACH WAY	SH.	SHEET
EA.	EACH	SIM	SIMILAR
ELEV.	ELEVATION	SPAC.	SPACING
ENCL.	ENCLOSURE	SPEC.	SPECIFICATION
ENGR.	ENGINEER	SQ.	SQUARE
EQ.	EQUAL	STA	STATION
EQUIP.	EQUIPMENT	STD	STANDARD
ETC.	ETCETERA	STL.	STEEL
EXP.	EXPANSION	STOR.	STORAGE
EXT.	EXTERIOR	STRUCT.	STRUCTURAL
FDN	FOUNDATION	SYM.	SYMMETRICAL
FIN.	FINISH	SYS.	SYSTEM
FR.	FROM	T.C.	TOP OF CURB
FT.	FOOT	T.O.	TOP OF
FUT.	FUTURE	T.O.P.	TOP OF PAVING
GA	GAUGE	T.O.W.	TOP OF WALL
GALV.	GALVANIZED	TP	TOP OF PIPE
GND.	GROUND	TEMP.	TEMPORARY
H.B.	HOSE BIBB	THK.	THICK
H.P.	HIGH POINT	TYP.	TYPICAL
HDR.	HEADER	V.I.F.	VERIFY IN FIELD
HORIZ.	HORIZONTAL	VERT.	VERTICAL
HT.	HEIGHT	W/	WITH
IE	INVERT ELEVATION	W.O.	WHERE OCCURS
I.D.	INSIDE DIAMETER	W.P.	WATER PROOF
IN.	INCH	W.W.M.	WELDED WIRE MESH
INCL.	INCLUDE	W/O	WITHOUT
INV.	INVERT	WT.	WEIGHT

PROJECT DIRECTORY

CLIENT
KRISTIN AND CHRISTOPHER ARNOLD
35 WREDEN AVE
FAIRFAX, CA 94930
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PHONE: (510) 872-0215

DRAFTING/DESIGN:
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SURVEYOR
DAVID HARP AND ASSOCIATES, INC
412 LARKSPUR PLAZA DRIVE
LARKSPUR, CA 94939
CONTACT: DAVID HARP
PHONE: (415) 900-9277

PROJECT DATA

ADDRESS: 35 WREDEN AVE., FAIRFAX, CA 94930

APN 002-014-10

LOT SIZE: 5,380 S.F

EXISTING FLOOR AREA RATIO 0.219

ALLOWABLE FLOOR AREA RATIO 0.40

PROPOSED FLOOR AREA RATIO 0.228

EXISTING LOT COVERAGE (1,957 SF) 0.36

PROPOSED LOT COVERAGE (2,054 SF) 0.38

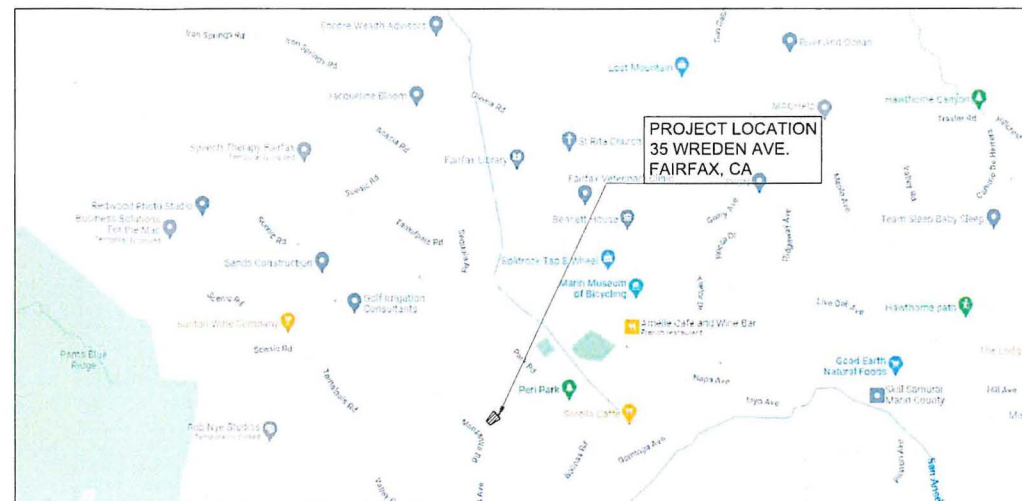
EXISTING PARKING
2- 9'X22' OFF STREET
1- 9'X18' NON COMPLIANT 'COMPACT' OFF STREET

DEMOLITION AND REMOVAL OF EXISTING INTERIOR AND EXTERIOR WALLS AS REQUIRED TO PROVIDE ADDITIONAL SPACE FOR A NEW ENTRY, BATHROOM, AND BEDROOM.

BUILDING CODE
2019 CBC

DRAWING LIST

NO.	SHEET TITLE
1.	TITLE SHEET
2.	SURVEY
3.	SITE PLANS
4.	FLOOR PLANS
5.	ELEVATIONS
6.	ELEVATIONS
7.	ROOF PLANS
8.	LANDSCAPE PLAN



VICINITY MAP

Project

Kristin and Christopher Arnold Residence Remodel

35 Wreden Ave.
APN- 002-014-10
Fairfax, CA 94930

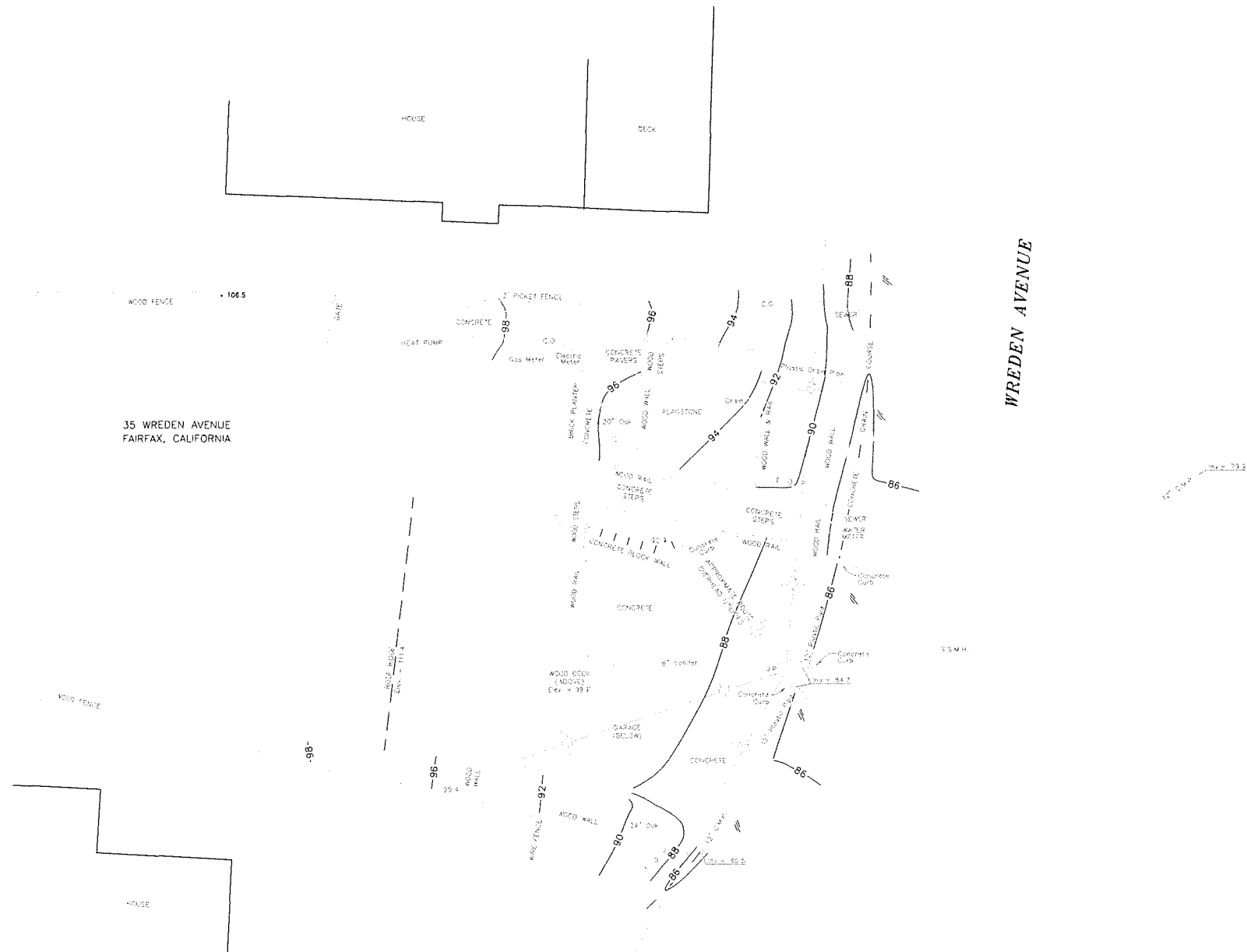
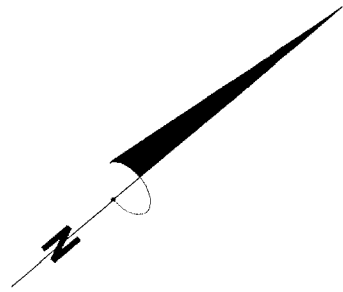
Drawing Title

TITLE SHEET

Date: July 18, 2022

Revisions

Sheet Number



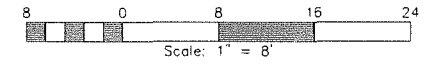
35 WREDEN AVENUE
FAIRFAX, CALIFORNIA

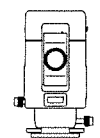
WREDEN AVENUE

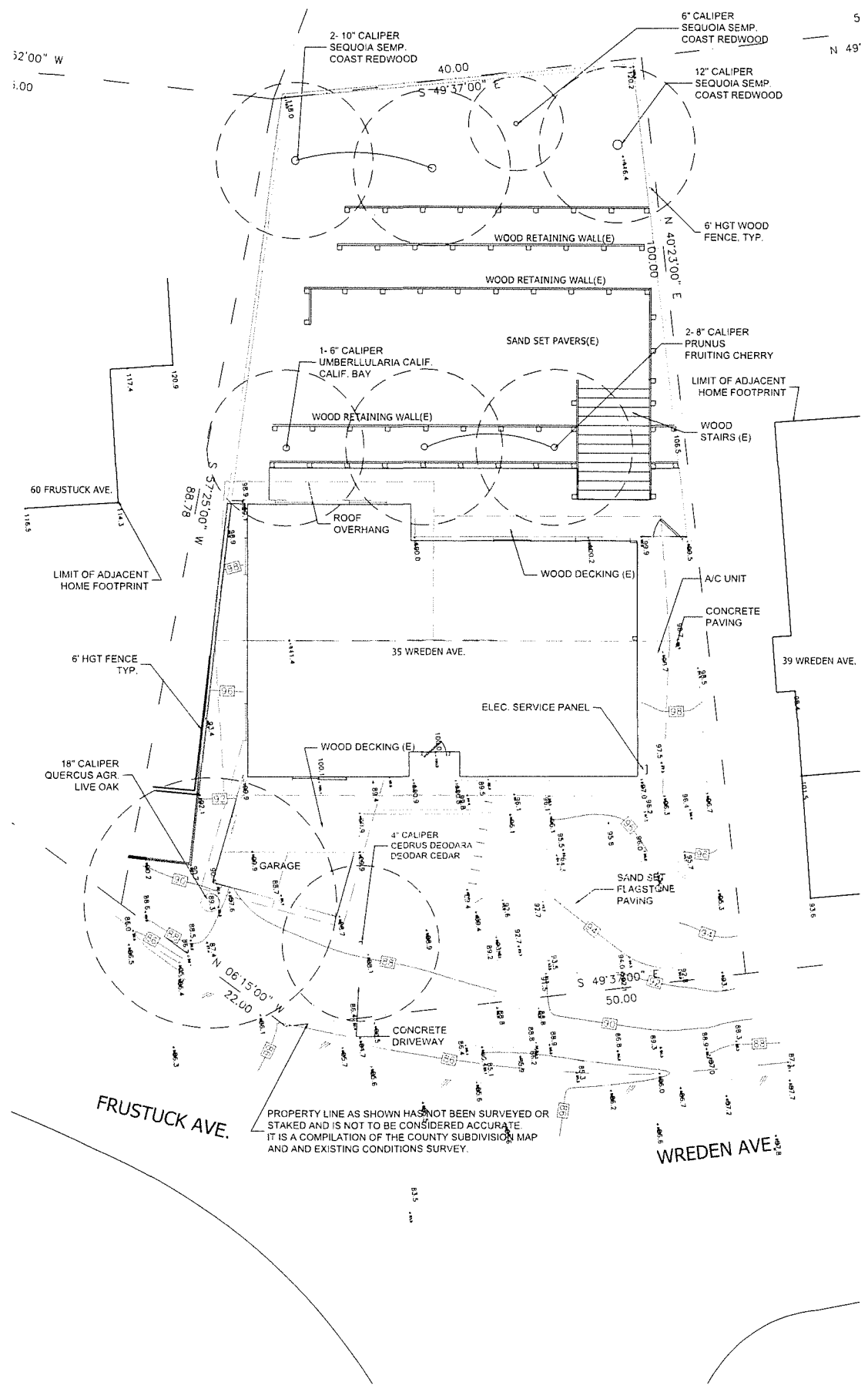
- NOTES:**
1. All distances and elevations shown are in feet and decimal feet.
 2. Spot elevations and two foot contours shown on this map are based on an assumed vertical datum and the elevation of 100.00 placed on the threshold of the main entry door.
 3. No underground utilities, or irrigation and water supply facilities are shown on this map.
 4. This Topographic Map has been prepared for use at the mapping scale of 1"=8' (1:96) based on national mapping standards. We accept no liability for the accuracy of this map if it is enlarged beyond its designed scale.
 5. Our "WORK PRODUCT" is the hard print stamped with the California Land Surveyor Seal L.S. 5290 and the original signature of David Harp. As a convenience to the design professional this map was created using AutoCAD and a copy of the AutoCAD drawing file has been delivered for their use.
 6. This map was prepared for the exclusive use of Chris & Kristin Arnold and their legal representatives. Use or reliance on this map by any other party is forbidden without expressed written permission by David Harp, whose seal and signature are shown hereon.
 7. No boundary lines are shown nor implied by this mapping product.

LEGEND:

1. TREE AND TRUNK DIAMETER AS NOTED
2. 99.9 TYPICAL SPOT ELEVATION
3. DOWNSPOUT
4. 1w TOP OF WALL



TOPOGRAPHIC MAP	
	SCALE 1" = 8' DATE 11/12/21 DRAWN BY DS. APPROVED BY D.H. DRAWING NO. H2245
	LANDS OF ARNOLD 35 WREDEN AVENUE FAIRFAX, CALIFORNIA DAVID HARP & ASSOCIATES PROFESSIONAL LAND SURVEYORS 412 LARKSPUR PLAZA DRIVE LARKSPUR, CALIFORNIA 94939 (415) 300-9277



EXISTING CONDITIONS PLAN
 North
 0' 4' 8' 16'

PROJECT DATA

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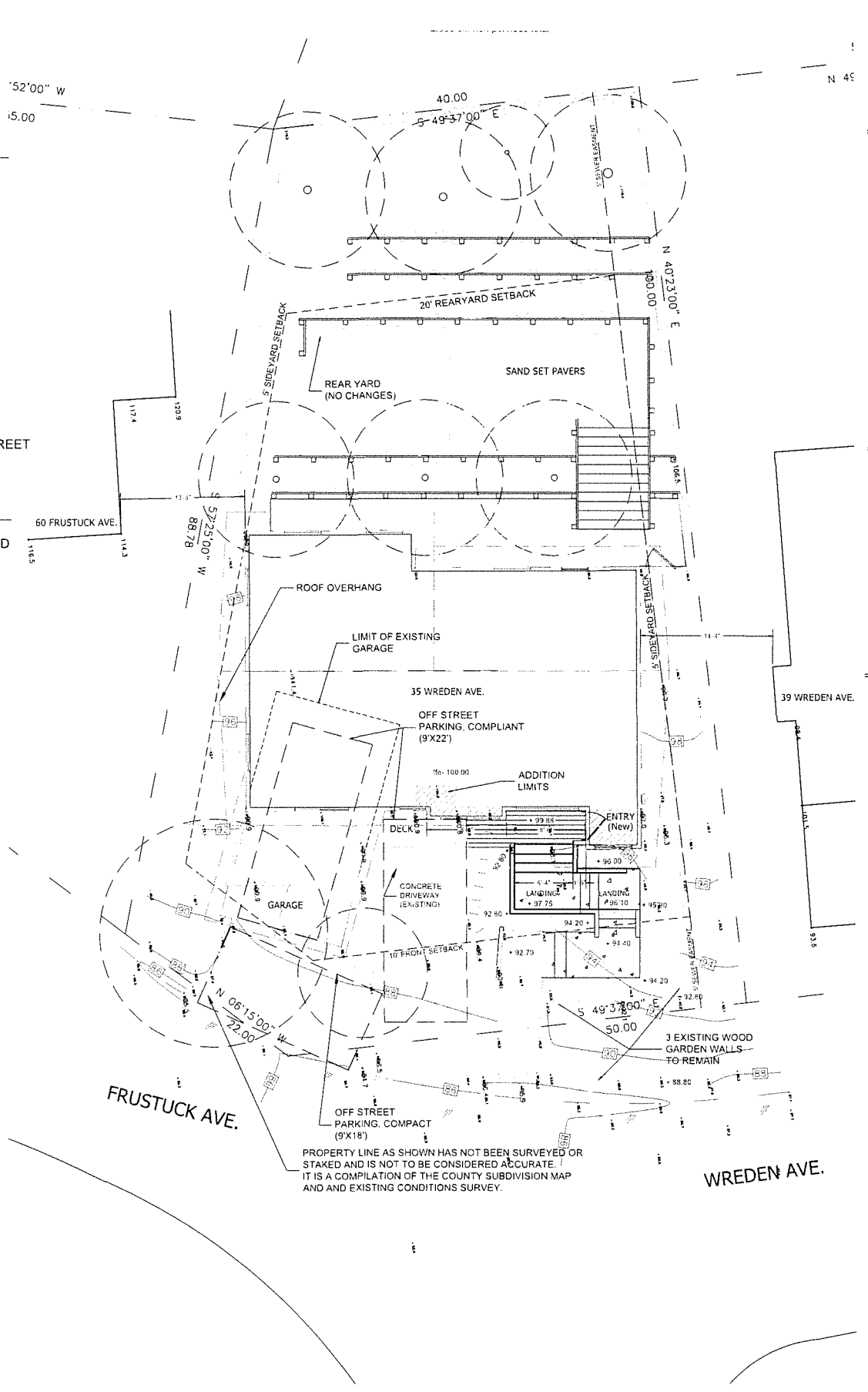
EXISTING PARKING 2- 9'X22' OFF STREET
 1- 9'X18' 'COMPACT' OFF STREET

PROJECT AREA STATISTICS

	EXISTING	PROPOSED
LIVING SPACE	1,182 S.F.	1,233 S.F.
ROOF COVERAGE	1,735 S.F.	1,785 S.F.
IMPERVIOUS PAVED SURFACES	232 S.F.	262 S.F.

LEGEND

NEW LIVING SPACE	
DECKING, (existing)	
DECKING, (new)	
CONCRETE PAVING, EXISTING	
CONCRETE PAVING, PROPOSED	
LANDSCAPE AREAS	
PROPOSED SPOT GRADE	+100.00
EXISTING CONTOUR LINE	



PROPOSED SITE PLAN
 North
 0' 4' 8' 16'

PROPERTY LINE AS SHOWN HAS NOT BEEN SURVEYED OR STAKED AND IS NOT TO BE CONSIDERED ACCURATE. IT IS A COMPILATION OF THE COUNTY SUBDIVISION MAP AND EXISTING CONDITIONS SURVEY.

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Project
Kristin and Christopher Arnold Residence Remodel
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 Fairfax, CA 94930

Drawing Title
SITE PLAN

Date: July 18, 2022

Revisions

Sheet Number

DESIGNER:
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 38 Meadow Way
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TOTAL REMODEL PERCENTAGE (percentage of wall lengths)

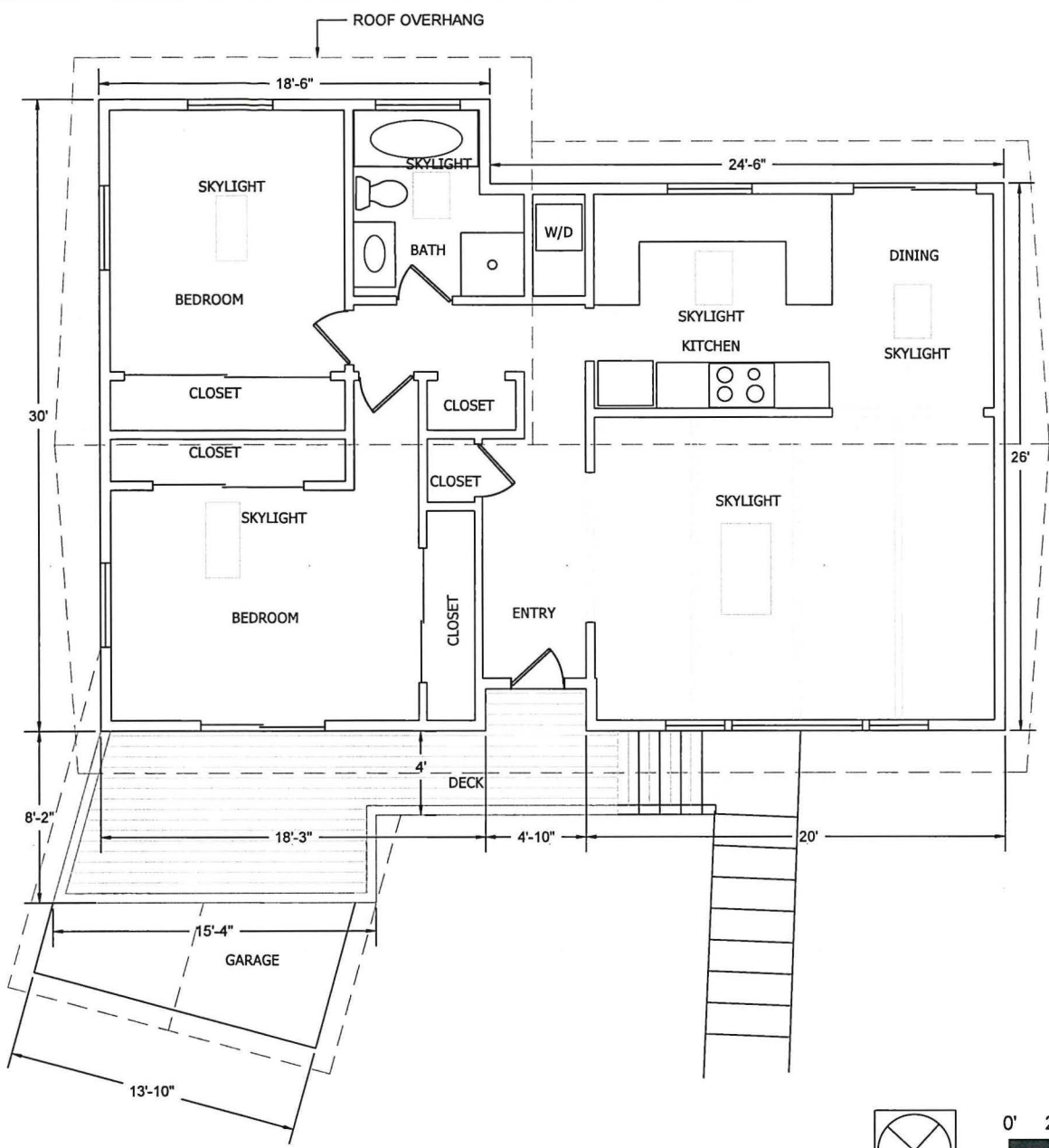
EXISTING WALLS: (in linear feet)
 EXTERIOR TOTAL LENGTH 147.75'
 INTERIOR TOTAL LENGTH 128.95'
 TOTAL LENGTH OF EXISTING WALLS 276.70'

EXISTING WALLS TO BE REMOVED: (in linear feet)
 EXTERIOR LENGTH OF WALLS REMOVED 20.85'
 INTERIOR LENGTH OF WALLS REMOVED 16.50'
 TOTAL LENGTH OF WALLS REMOVED 37.35'

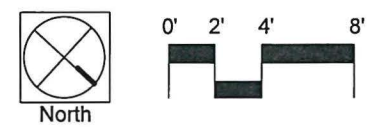
LENGTH OF NEW WALLS TO BE ADDED: (in linear feet)
 EXTERIOR LENGTH OF WALLS ADDED 28.50'
 INTERIOR LENGTH OF WALLS ADDED 41.20'
 TOTAL LENGTH OF WALLS ADDED 69.70'

37.35 + 69.70 = 107.05 lin ft of walls affected by project
 107.05 / 276.70 = 0.387 (38.7%)

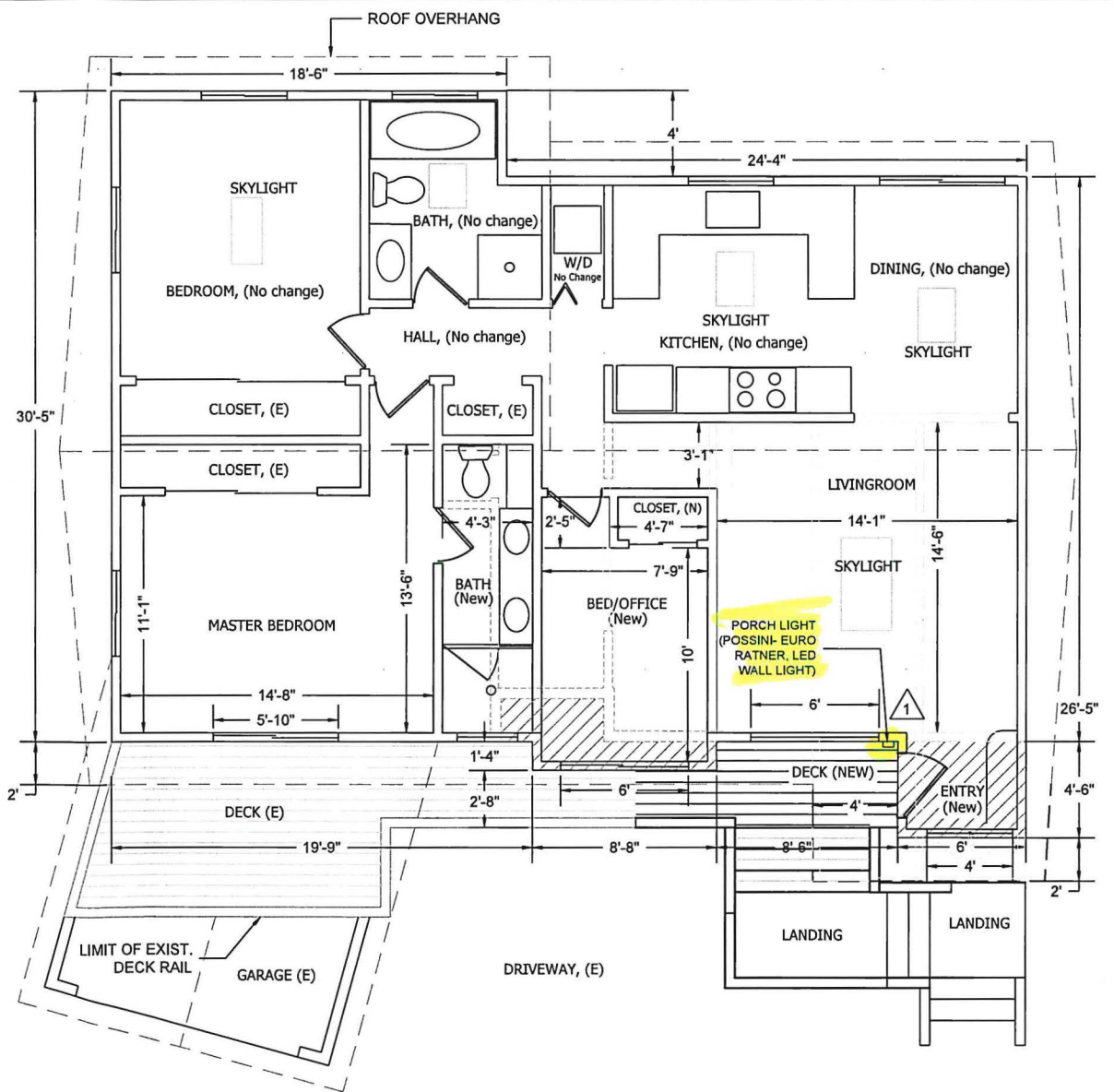
TOTAL PERCENTAGE REMODEL 38.7%



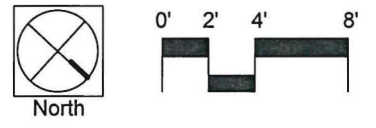
EXISTING FLOORPLAN
 SCALE 1/4"=1'-0"



- LEGEND**
- NEW LIVING SPACE
 - REDWOOD DECKING, (existing)
 - REDWOOD DECKING, (new)
 - MED BROOM FINISH CONCRETE PAVING, (MED. GREY)
 - LOCATION OF WALLS TO BE REMOVED



PROPOSED FLOORPLAN
 SCALE 1/4"=1'-0"



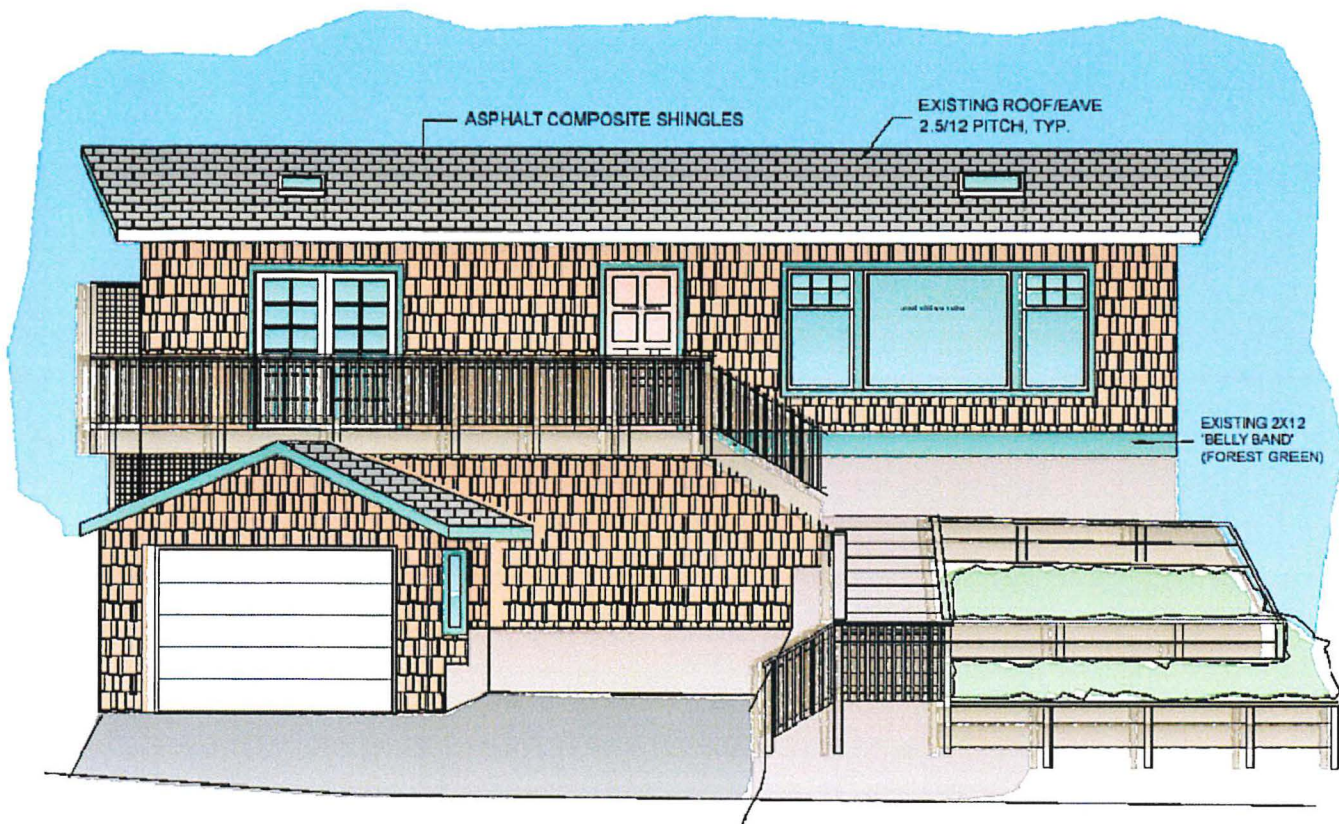
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Kristin and Christopher Arnold Residence Remodel
 35 Wreden Ave.
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 Drawing Title
FLOORPLAN

Date: July 18, 2022

Revisions
 1 OCT. 12, 2022, PORCH LIGHT

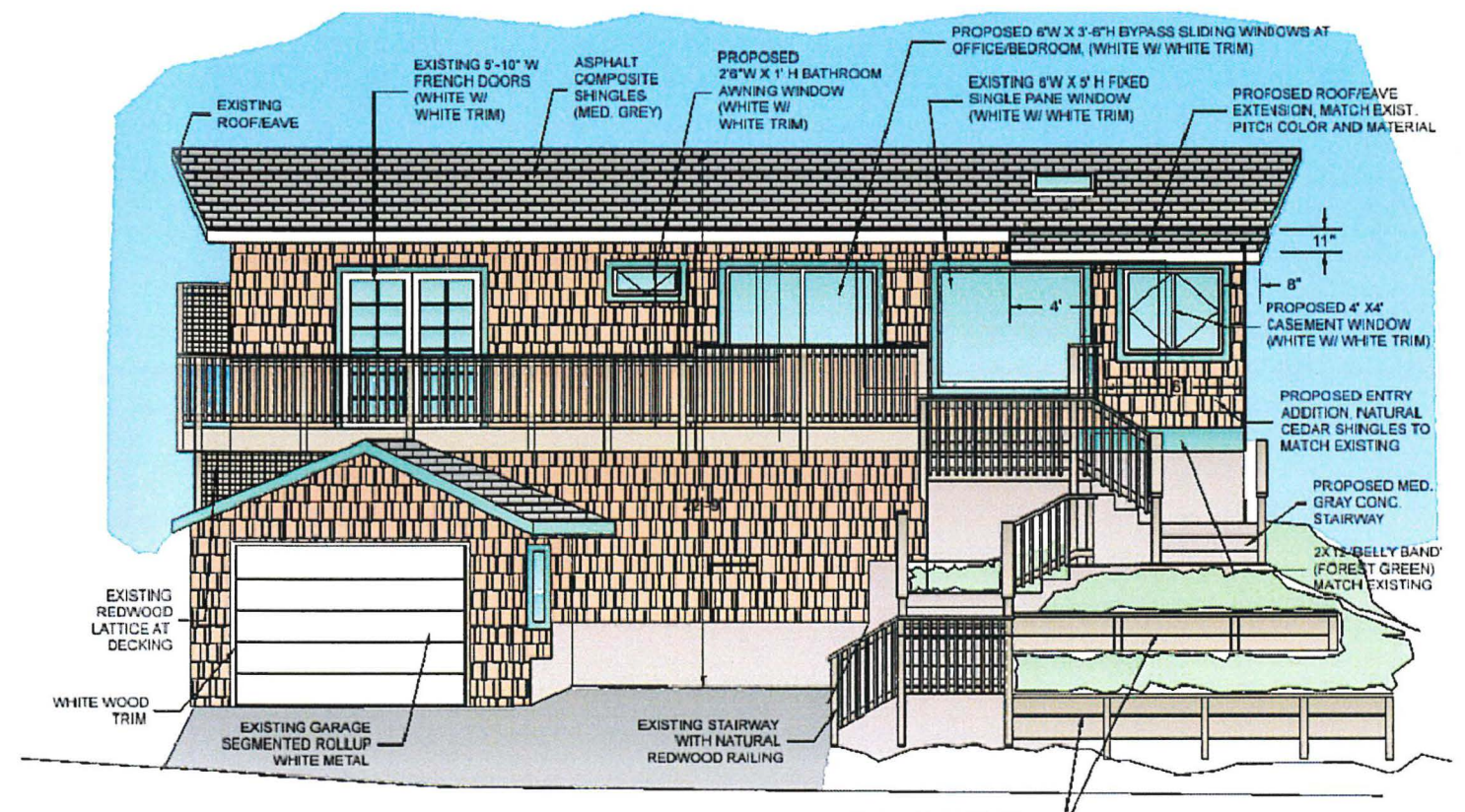
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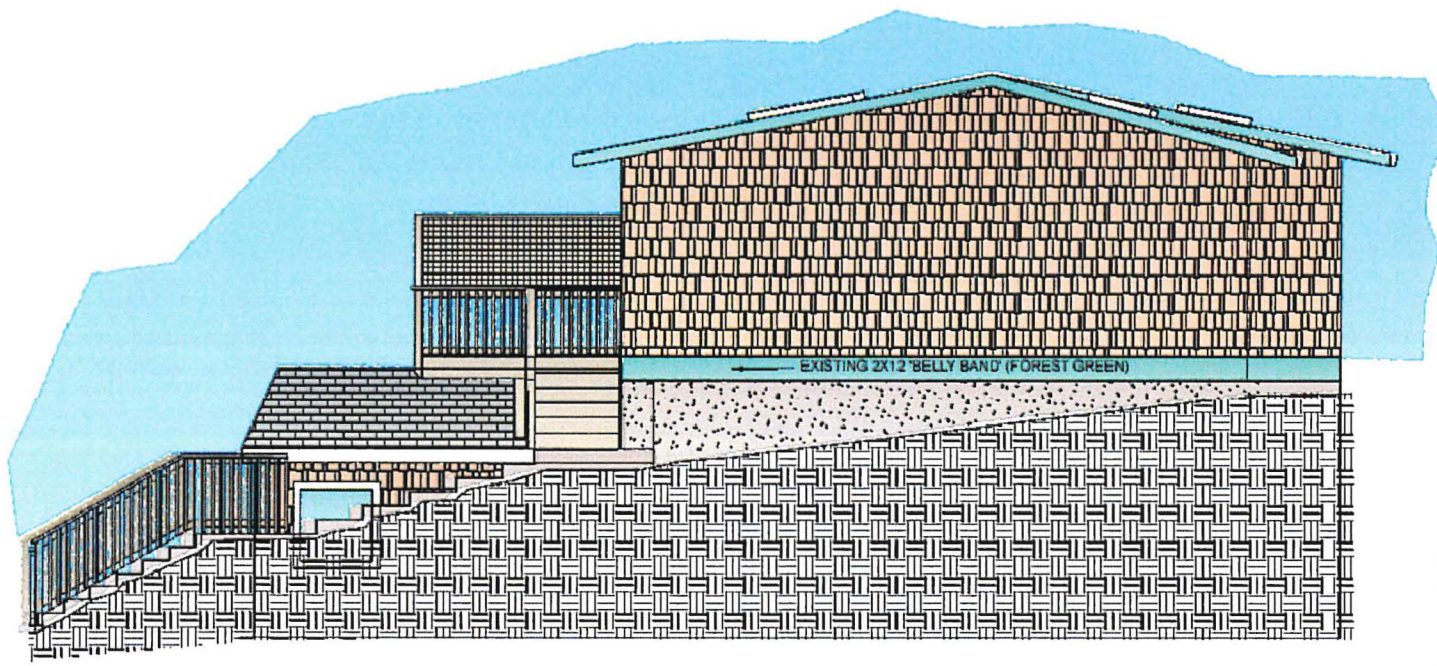
EXISTING FRONT ELEVATION

SCALE 1/4"=1'-0"



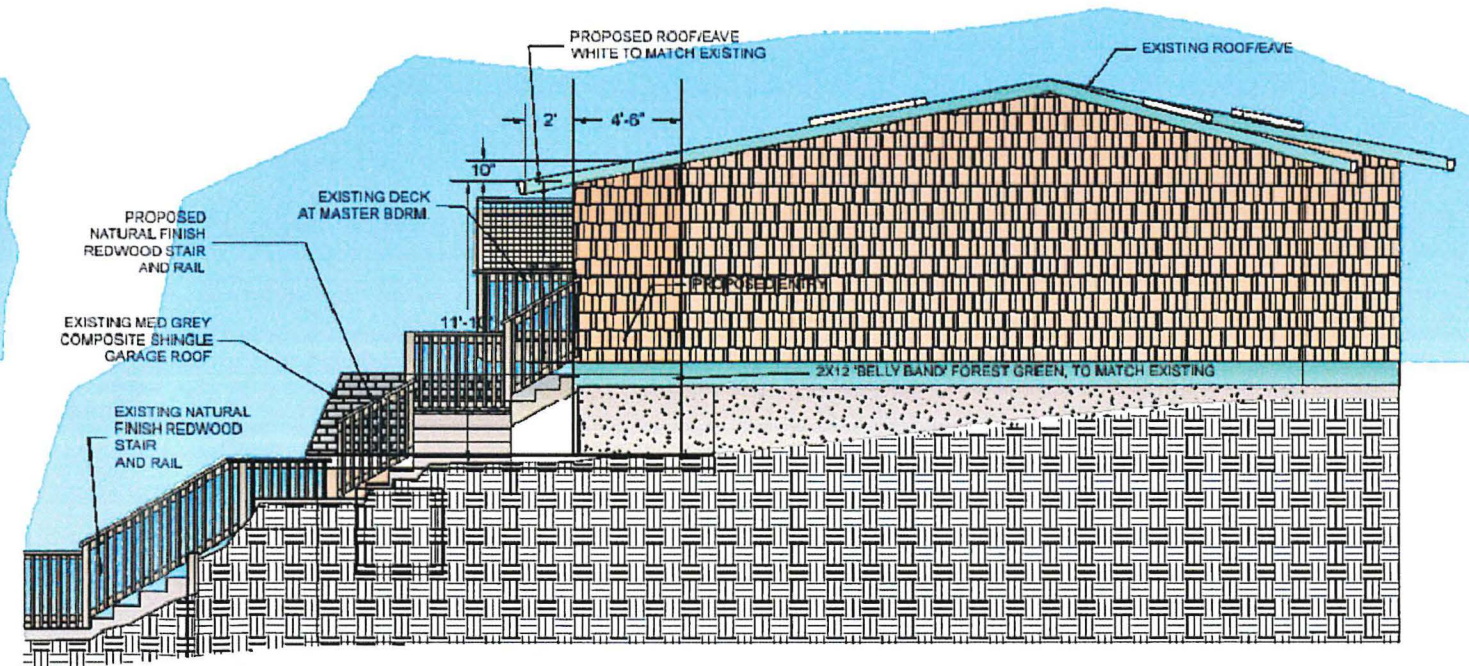
PROPOSED FRONT ELEVATION

SCALE 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"



PROPOSED RIGHT SIDE ELEVATION

SCALE 1/4"=1'-0"

LEGEND

EXISTING CEDAR SHINGLES (NATURAL FINISH)		ASPHALT COMPOSITE ROOF SHINGLES (ARCHITECTURAL, MED. GREY)	
PROPOSED CEDAR SHINGLES (NATURAL FINISH)		CONCRETE FOUNDATION (MEDIUM GREY)	

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 Drawing Title

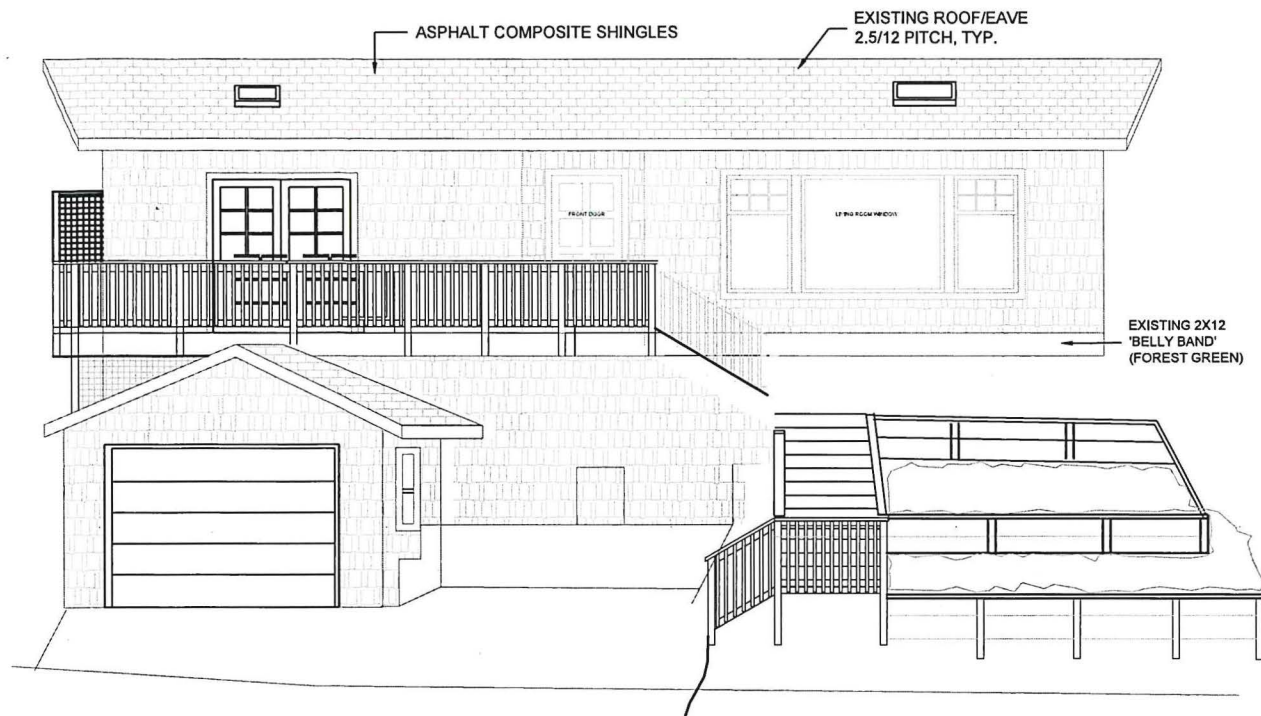
ELEVATIONS

Date: MAY 10, 2022

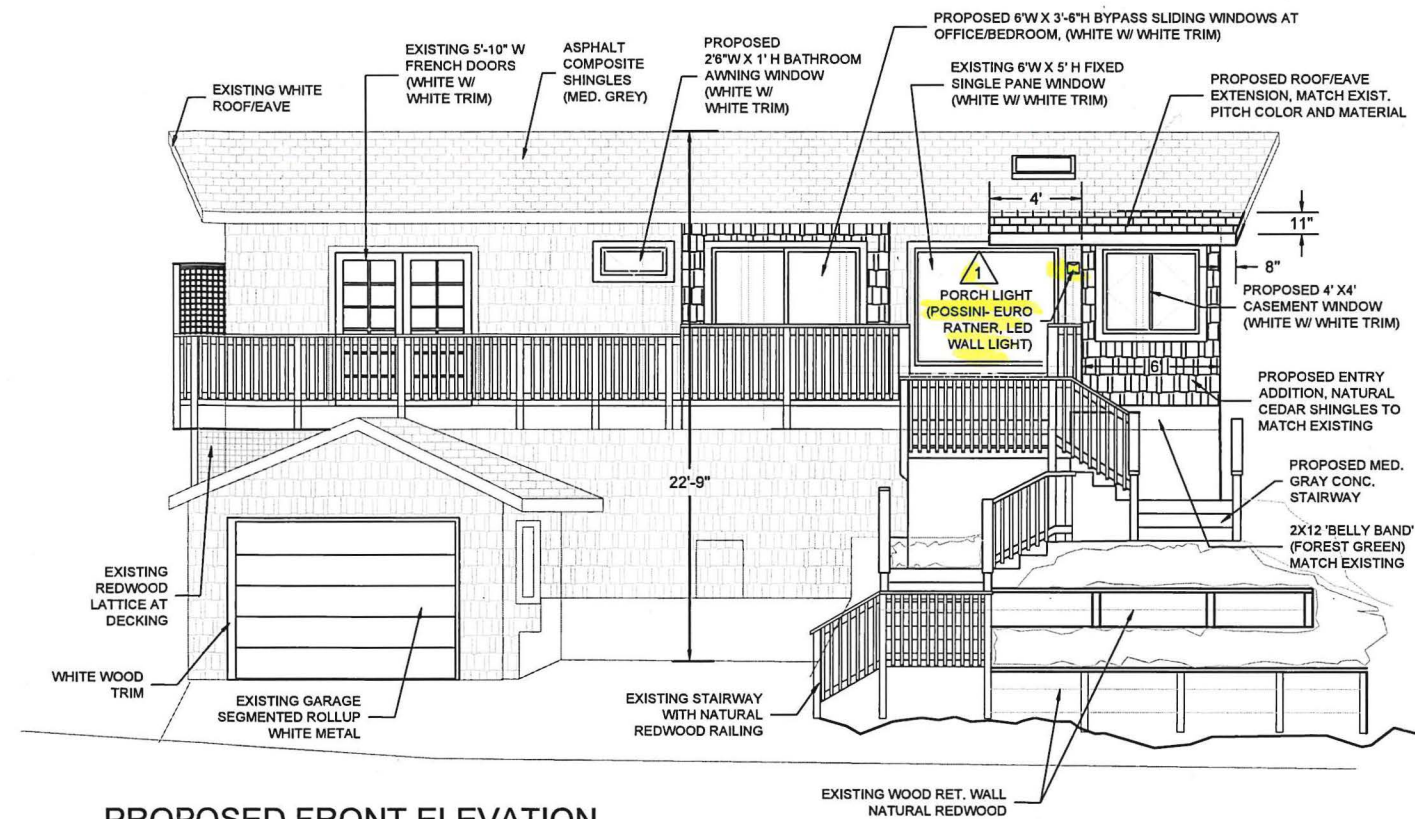
Revisions

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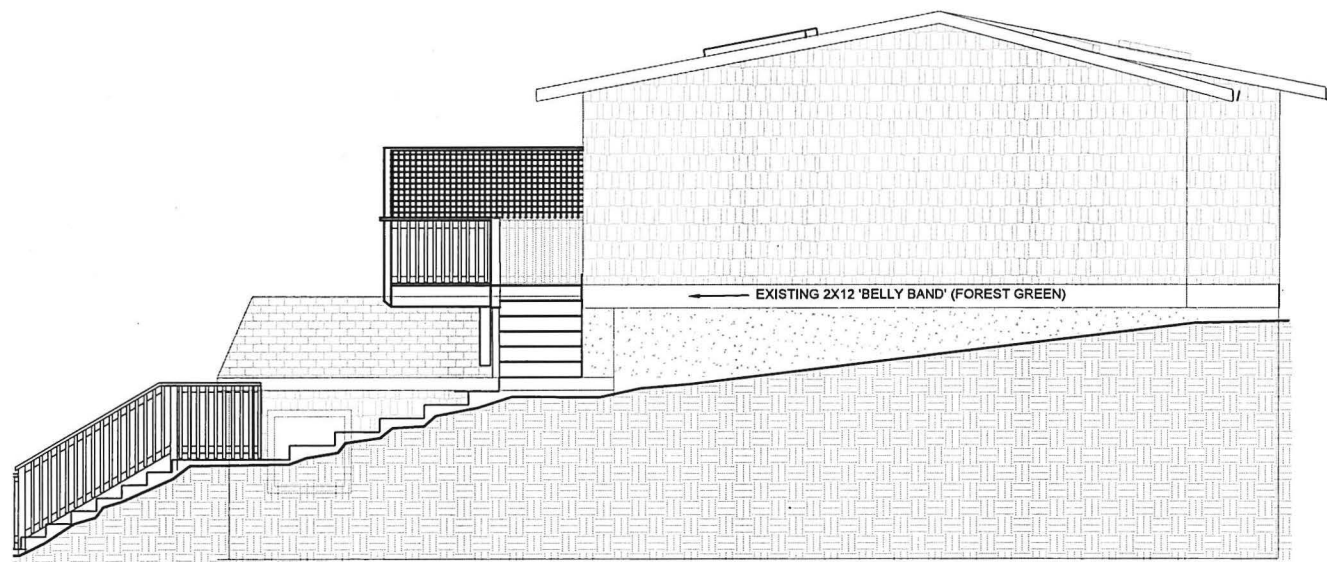
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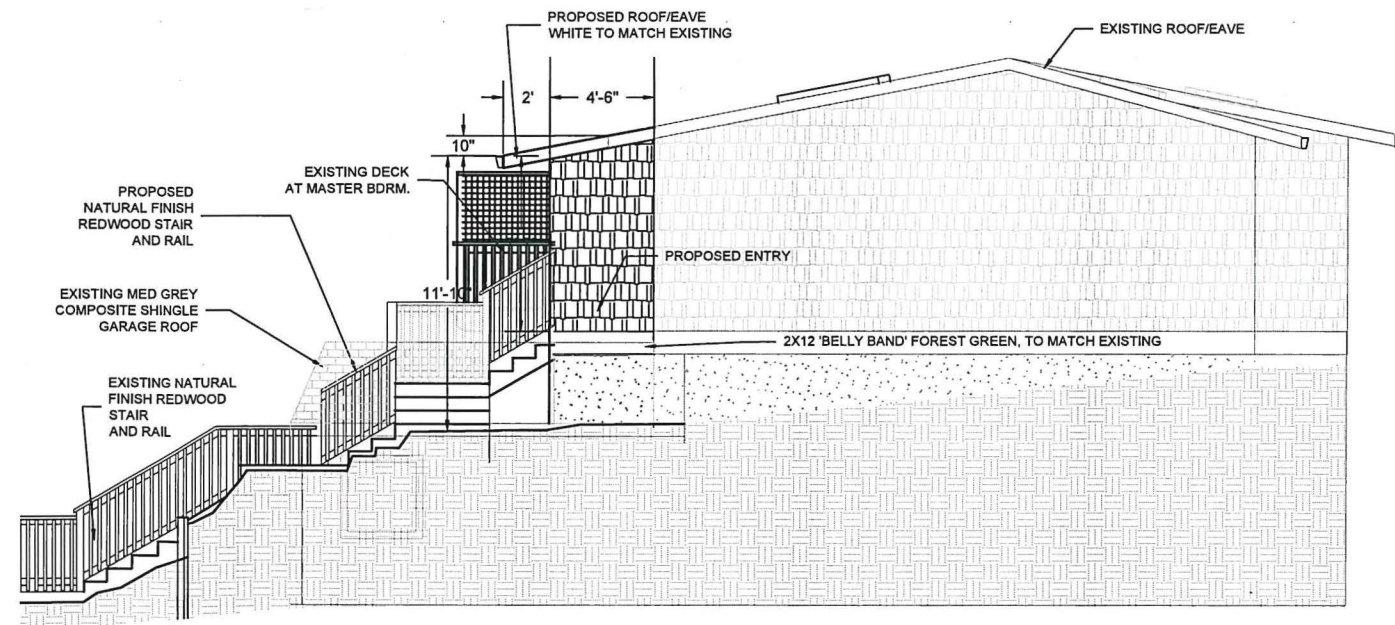
EXISTING FRONT ELEVATION
 SCALE 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION
 SCALE 1/4"=1'-0"



PROPOSED RIGHT SIDE ELEVATION
 SCALE 1/4"=1'-0"

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ELEVATIONS

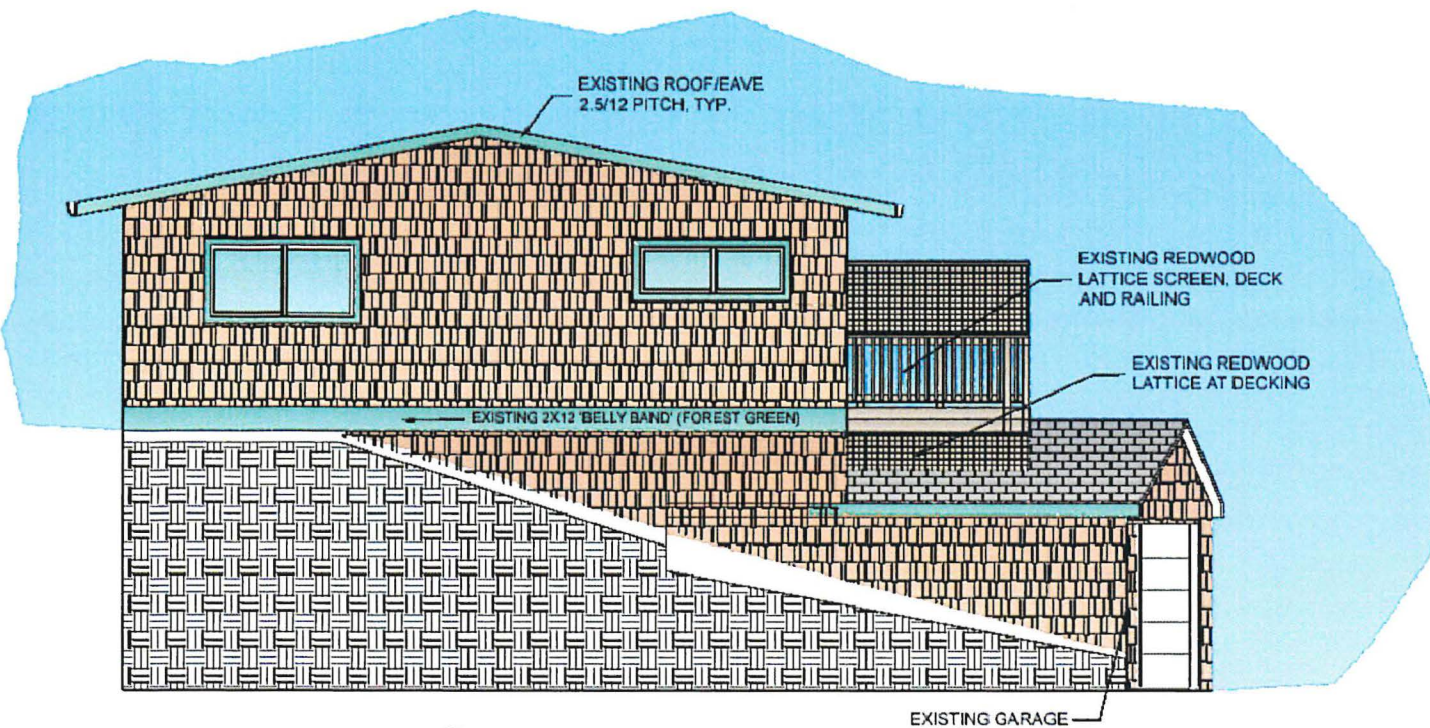
Date: July 18, 2022

Revisions
 1 OCT. 12, 2022, PORCH LIGHT

LEGEND

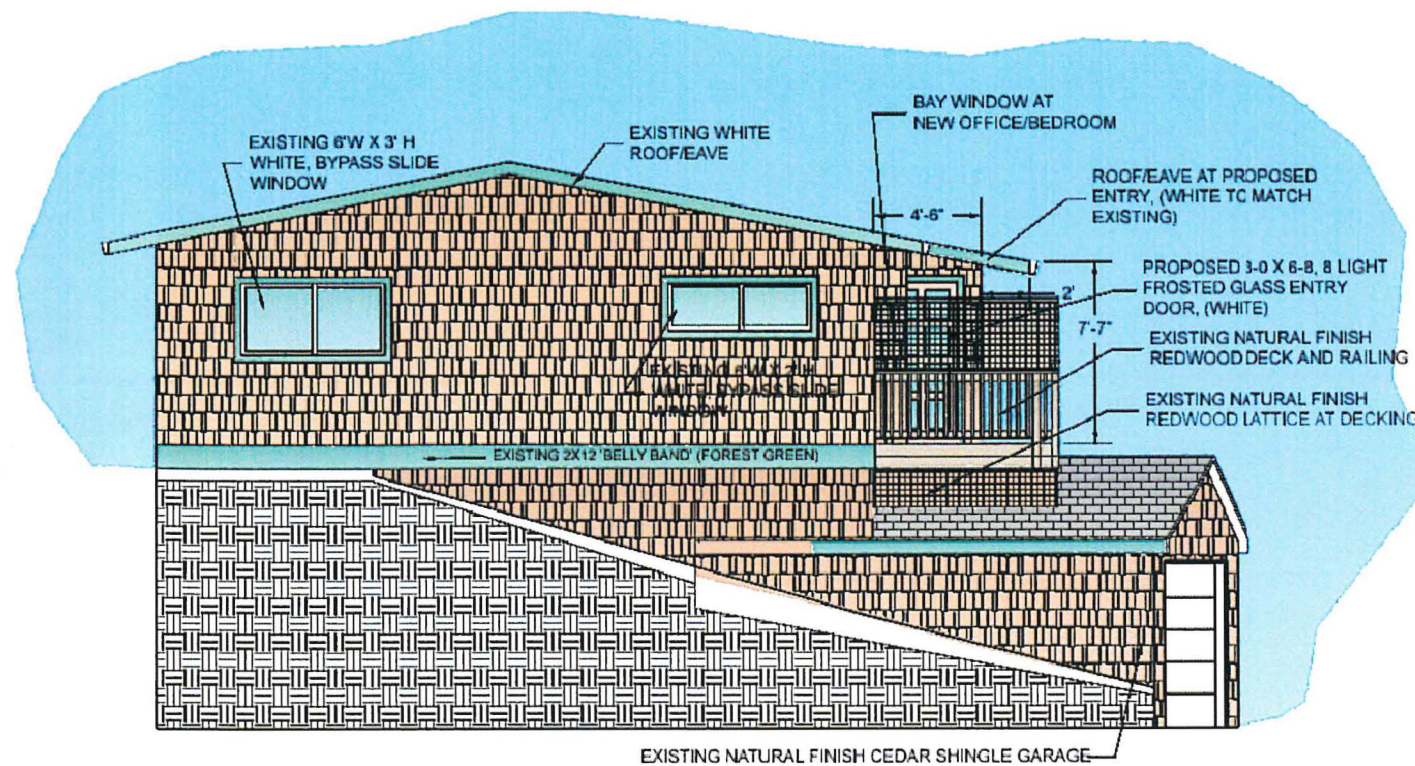
EXISTING CEDAR SHINGLES (NATURAL FINISH)		ASPHALT COMPOSITE ROOF SHINGLES (ARCHITECTURAL, MED. GREY)	
PROPOSED CEDAR SHINGLES (NATURAL FINISH)		CONCRETE FOUNDATION (MEDIUM GREY)	

Sheet Number



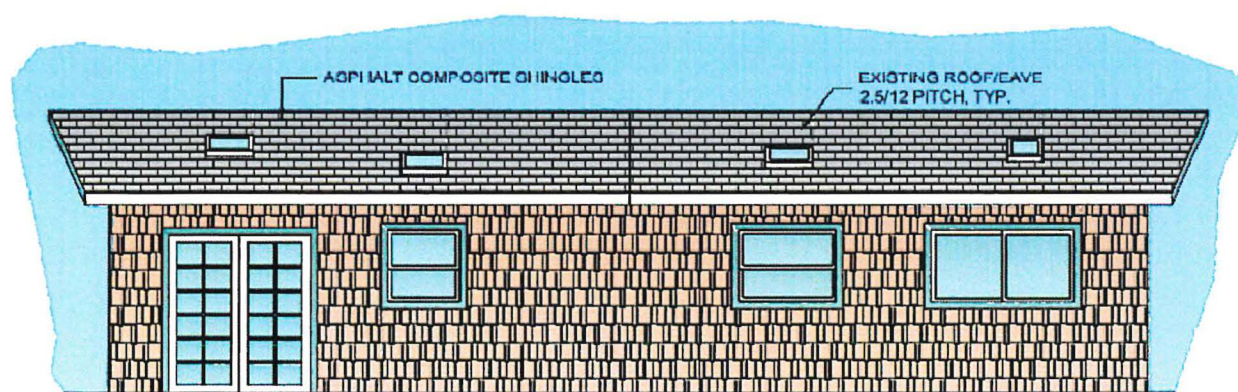
EXISTING LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION

SCALE 1/4"=1'-0"



REAR ELEVATION, (No change to existing)

SCALE 1/4"=1'-0"

LEGEND

EXISTING WOOD SHINGLES



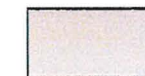
PROPOSED WOOD SHINGLES (match existing)



ASPHALT COMPOSITE ROOF SHINGLES



CONCRETE FOUNDATION



Project

Kristin and Christopher Arnold Residence Remodel

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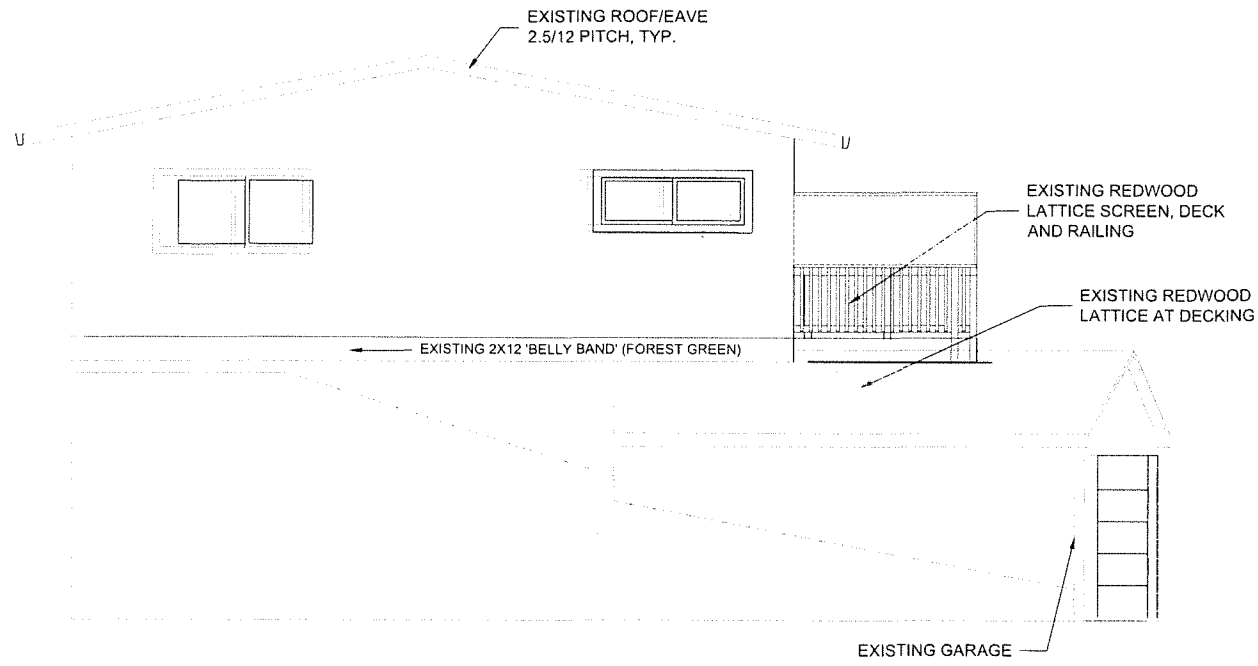
ELEVATIONS

Date: MAY 10, 2022

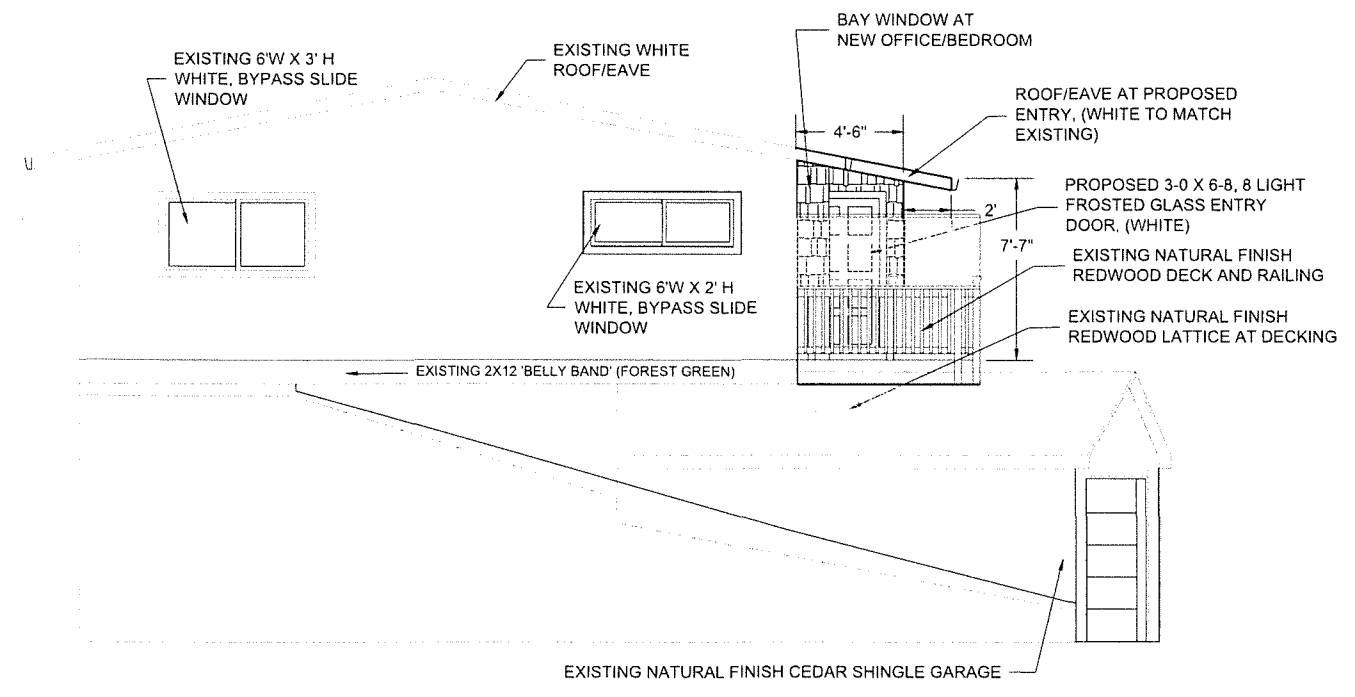
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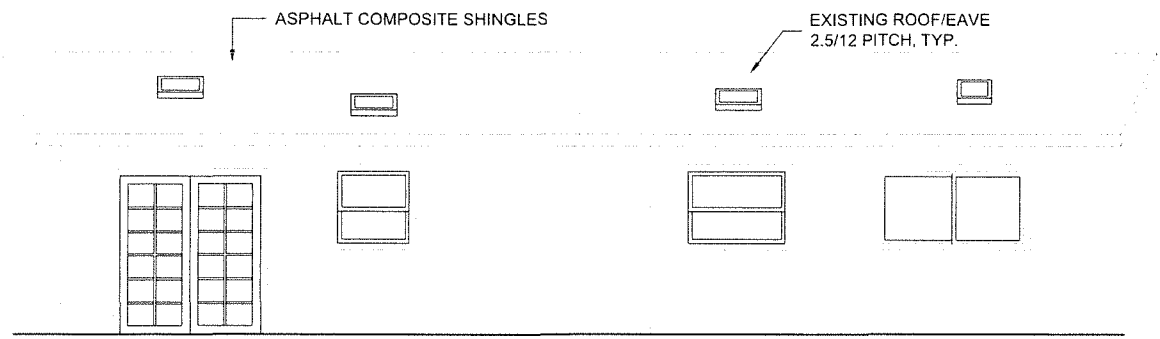
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EXISTING LEFT SIDE ELEVATION
 SCALE 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION
 SCALE 1/4"=1'-0"



REAR ELEVATION, (No change to existing)
 SCALE 1/4"=1'-0"

LEGEND

EXISTING WOOD SHINGLES	
PROPOSED WOOD SHINGLES (match existing)	
ASPHALT COMPOSITE ROOF SHINGLES	
CONCRETE FOUNDATION	

Project

**Kristin and
 Christopher
 Arnold Residence
 Remodel**

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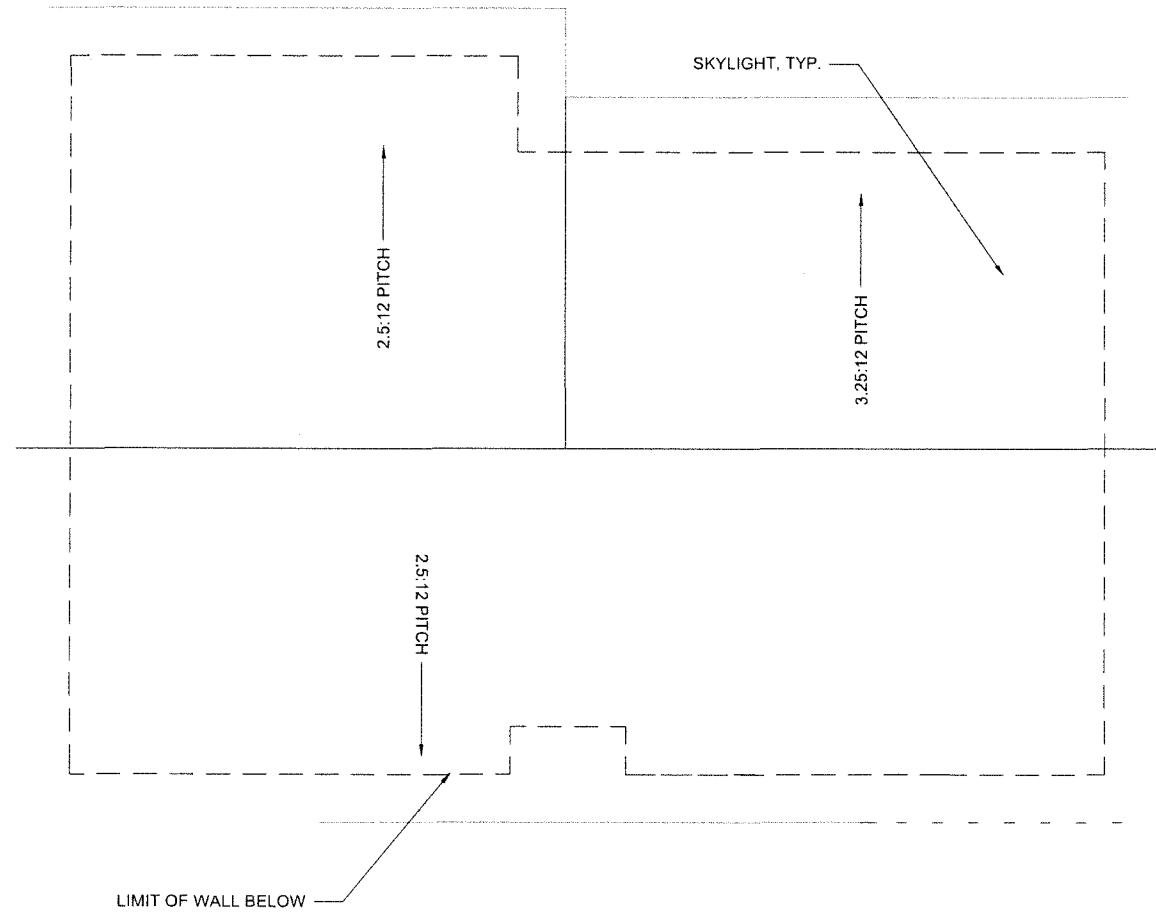
ELEVATIONS

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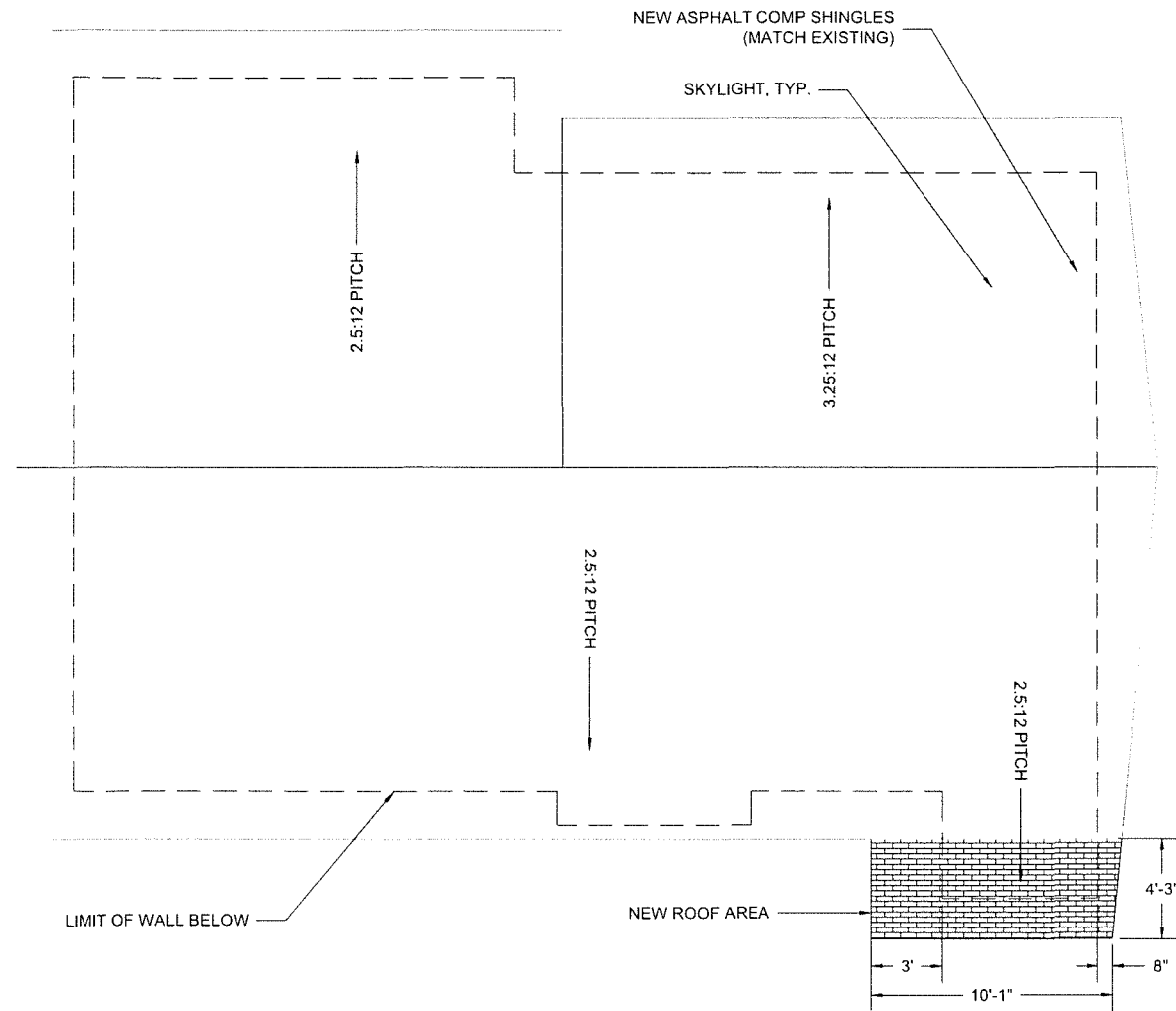
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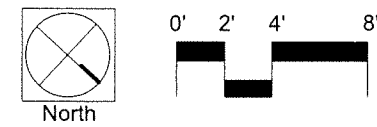
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EXISTING ROOF PLAN
 SCALE 1/4"=1'-0"



PROPOSED ROOF PLAN
 SCALE 1/4"=1'-0"



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ROOF PLAN

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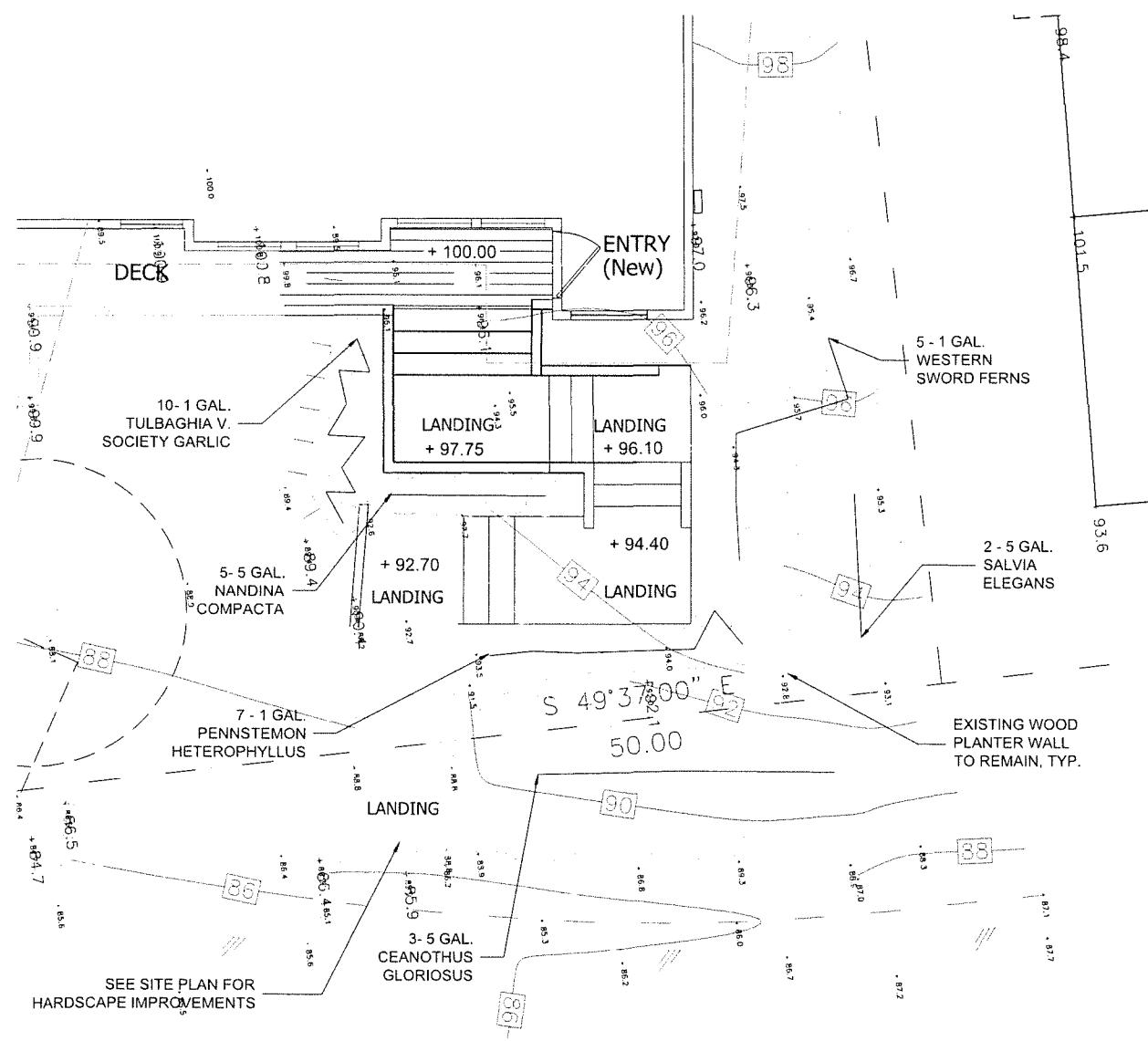
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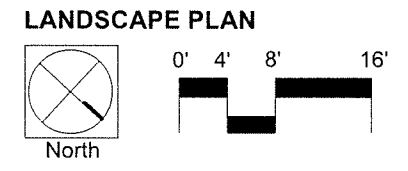
Botanical Name	Common Name	Container Size	Quantity
SHRUBS AND PERENNIALS			
CEANOTHUS GLORIOSUS	MOUNTAIN LILAC	5 GAL	3
NANDINA DOMESTICA, COMPACTA	HEAVENLY BAMBOO	5 GAL	5
PENNSTEMON HETEROPHYLLUS	CALIF. BEARDS TONGUE	1 GAL	7
POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	5
SALVIA ELEGANS	PINEAPPLE SAGE	5 GAL	2
TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL	10

LANDSCAPE NOTES

- SOILS TESTING, AND RESULTING SOILS PREPARATION RECOMMENDATIONS WILL BE FOLLOWED. RECOMMENDATIONS ARE TO BE MADE BY AN ACCREDITED SOILS SCIENTIST, ('SOILS AND PLANT LABS', OR EQUAL)
- ALL PLANTING AREAS SHOWN WILL BE IRRIGATED WITH MWELC COMPLIANT, FULLY AUTOMATIC IRRIGATIONS SYSTEM: DRIP/POINT SOURCE EMITTERS, REMOTE CONTROL VALVES, ET BASED MULTI-PROGRAM CONTROLLER, RAIN SENSOR, AND MASTER VALVE/FLOWSSENSOR.
- ALL PLANTS IN A GROUP PLANTING MUST MATCH IN HEIGHT, CALIPER AND VIGOR TO ASSURE EVEN GROWTH RATES.
- ALL PLANTINGS ARE MARIN FIRE SAFE RECOMMENDED.
- AUTOMATIC IRRIGATION SYSTEM MUST BE FULLY OPERATIONAL PRIOR TO PLANTING.
- PLANTING SOIL SHALL BE COMPACTED TO 85% PRIOR TO PLANTING.
- ALL PLANTING AREAS ARE TO RECEIVE A 3" DEPTH LAYER OF FIRESAFE MARIN APPROVED MULCH, SUBMIT SAMPLE FOR APPROVAL.
- PLANTING AREAS WITH A SLOPE GREATER THAN 3:1 SHALL RECEIVE JUTE MESH EROSION CONTROL FABRIC, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.



LANDSCAPE PLAN



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AGG. AGGREGATE	MAT. MATERIAL
ALT. ALTERNATE	MAX. MAXIMUM
APPROX. APPROXIMATE	MECH. MECHANICAL
ARCH. ARCHITECT	MED. MEDIUM
ASPH. ASPHALT	MIN. MINIMUM
AUTO. AUTOMATIC	MISC. MISCELLANEOUS
BD. BITUMINOUS	MTG. MOUNTING
BLDG. BUILDING	MTL. MATERIAL
BOT. BOTTOM	(N) NEW
BTWN. BETWEEN	N.I.C. NOT IN CONTRACT
C.B. CATCH BASIN	N.T.S. NOT TO SCALE
CBC CALIF. BUILDING CODE	NO. NUMBER
C.I. CAST IRON	NOM. NOMINAL
C.I.P. CAST IN PLACE+	O.C. ON CENTER
CJ CONTROL JOINT	O.D. OUTSIDE DIAMETER
CMU CONCRETE MASONRY UNIT	OPG. OPENING
CEM. CEMENT	OPP. OPPOSITE
CL CENTER LINE	PSI POUNDS PER SQUARE INCH
CLR. CLEAR	PVC POLYVINYL CHLORIDE
CLMN COLUMN	PENN. PENETRATION
CONC. CONCRETE	PERF. PERFORATED
CONN CONNECTION	PL PROPERTY LINE
CONST. CONSTRUCTION	PLYWD. PLYWOOD
CONT. CONTINUOUS	PR. PAIR
CONTR. CONTRACTOR	PRCST. PRECAST
COORD. COORDINATE	PREFAB. PREFABRICATED
CTR. CENTER	PT.WD. PRESSURE TREATED WOOD
D.F. DRINKING FOUNTAIN	QTY. QUANTITY
DBL. DOUBLE	RAD. RADIUS
DEMO. DEMOLITION	R.C.P. REINFORCED CONCRETE PIPE
DEPT. DEPARTMENT	RDWD. REDWOOD
DET. DETAIL	RE RIM ELEVATION
DI DROP INLET	REF. REFERENCE
DIA. DIAMETER	REINF. REINFORCING
DIAG. DIAGONAL	REQD. REQUIRED
DIM. DIMENSION	REV. REVISION
DN. DOWN	SD STORM DRAIN
DWG. DRAWING	S.F. SQUARE FOOT
(E) EXISTING	S.J. SCORE JOINT
EXIST. EXISTING	S.M. SHEET METAL
EJ EXPANSION JOINT	S.Y. SQUARE YARD
E.S. EACH SIDE	SCH. SCHEDULE
E.W. EACH WAY	SHT. SHEET
EA. EACH	SIM SIMILAR
ELEV. ELEVATION	SPAC. SPACING
ENCL. ENCLOSURE	SPEC. SPECIFICATION
ENGR. ENGINEER	SQ. SQUARE
EQ. EQUAL	STA. STATION
EQUIP. EQUIPMENT	STD. STANDARD
ETC. ETCETERA	STL. STEEL
EXP. EXPANSION	STOR. STORAGE
EXT. EXTERIOR	STRUCT. STRUCTURAL
FDN. FOUNDATION	SYM. SYMMETRICAL
FIN. FINISH	SYS. SYSTEM
FR. FROM	T.C. TOP OF CURB
FT. FOOT	T.O. TOP OF
FUT. FUTURE	T.O.P. TOP OF PAVING
GA. GAUGE	T.O.W. TOP OF WALL
GALV. GALVANIZED	TP TOP OF PIPE
GND. GROUND	TEMP. TEMPORARY
H.B. HOSE BIBB	THK. THICK
H.P. HIGH POINT	TYP. TYPICAL
HDR. HEADER	V.I.F. VERIFY IN FIELD
HORIZ. HORIZONTAL	VERT. VERTICAL
HT. HEIGHT	W/ WITH
IE INVERT ELEVATION	W.O. WHERE OCCURS
I.D. INSIDE DIAMETER	W.P. WATER PROOF
IN. INCH	W.W.M. WELDED WIRE MESH
INCL. INCLUDE	W/O WITHOUT
INV. INVERT	WT. WEIGHT

PROJECT DIRECTORY

CLIENT
KRISTIN AND CHRISTOPHER ARNOLD
35 WREDEN AVE
FAIRFAX, CA 94930
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SURVEYOR
DAVID HARP AND ASSOCIATES, INC
412 LARKSPUR PLAZA DRIVE
LARKSPUR, CA 94939
CONTACT: DAVID HARP
PHONE: (415) 900-9277

PROJECT DATA

ADDRESS: 35 WREDEN AVE., FAIRFAX, CA 94930

APN 002-014-10

LOT SIZE: 5,380 S.F

EXISTING FLOOR AREA RATIO 0.219

ALLOWABLE FLOOR AREA RATIO 0.40

PROPOSED FLOOR AREA RATIO 0.228

EXISTING LOT COVERAGE (1,957 SF) 0.36

PROPOSED LOT COVERAGE (2,054 SF) 0.38

EXISTING PARKING 2- 9'X22' OFF STREET
1- 9'X18' NON COMPLIANT COMPACT OFF STREET

PROJECT SCOPE

DEMOLITION AND REMOVAL OF EXISTING INTERIOR AND EXTERIOR WALLS AS REQUIRED TO PROVIDE ADDITIONAL SPACE FOR A NEW ENTRY, BATHROOM, AND BEDROOM.

BUILDING CODE
2019 CBC

DRAWING LIST

NO.	SHEET TITLE
1.	TITLE SHEET
2.	SURVEY
3.	SITE PLANS
4.	FLOOR PLANS
5.	ELEVATIONS
6.	ELEVATIONS
7.	ROOF PLANS
8.	LANDSCAPE PLAN



VICINITY MAP

Project

Kristin and Christopher Arnold Residence Remodel

35 Wreden Ave.
APN- 002-014-10
Fairfax, CA 94930

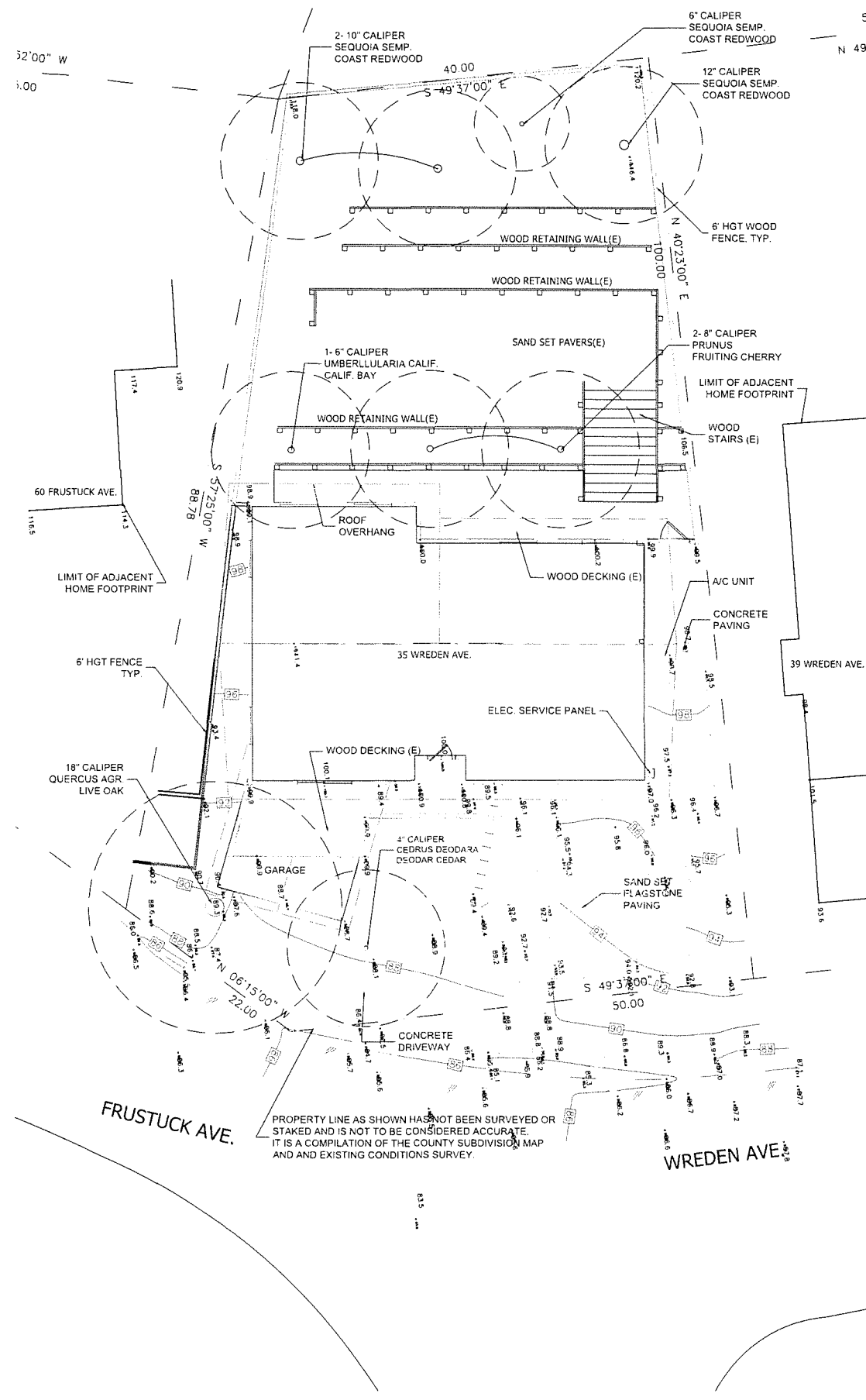
Drawing Title

TITLE SHEET

Date: July 18, 2022

Revisions

Sheet Number



EXISTING CONDITIONS PLAN
 North
 0' 4' 8' 16'

PROJECT DATA

ADDRESS: 35 WREDEN AVE., FAIRFAX, CA 94930

APN 002-014-10

LOT SIZE: 5,380 S.F.

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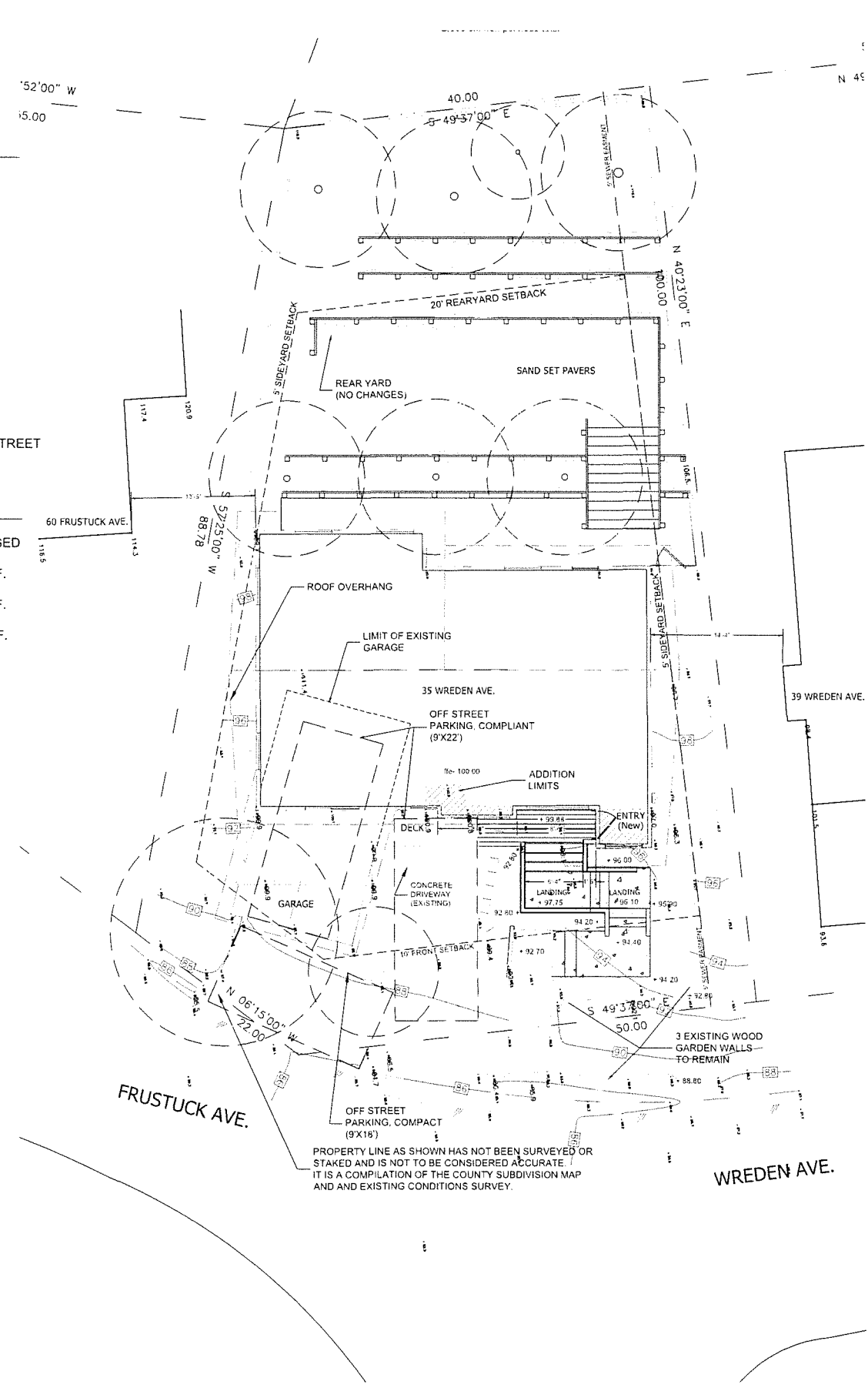
EXISTING PARKING 2- 9'X22' OFF STREET
1- 9'X18' 'COMPACT' OFF STREET

PROJECT AREA STATISTICS

	EXISTING	PROPOSED
LIVING SPACE	1,182 S.F.	1,233 S.F.
ROOF COVERAGE	1,735 S.F.	1,785 S.F.
IMPERVIOUS PAVED SURFACES	232 S.F.	262 S.F.

LEGEND

NEW LIVING SPACE	
DECKING, (existing)	
DECKING, (new)	
CONCRETE PAVING, EXISTING	
CONCRETE PAVING, PROPOSED	
LANDSCAPE AREAS	
PROPOSED SPOT GRADE	+100.00
EXISTING CONTOUR LINE	



PROPOSED SITE PLAN
 North
 0' 4' 8' 16'

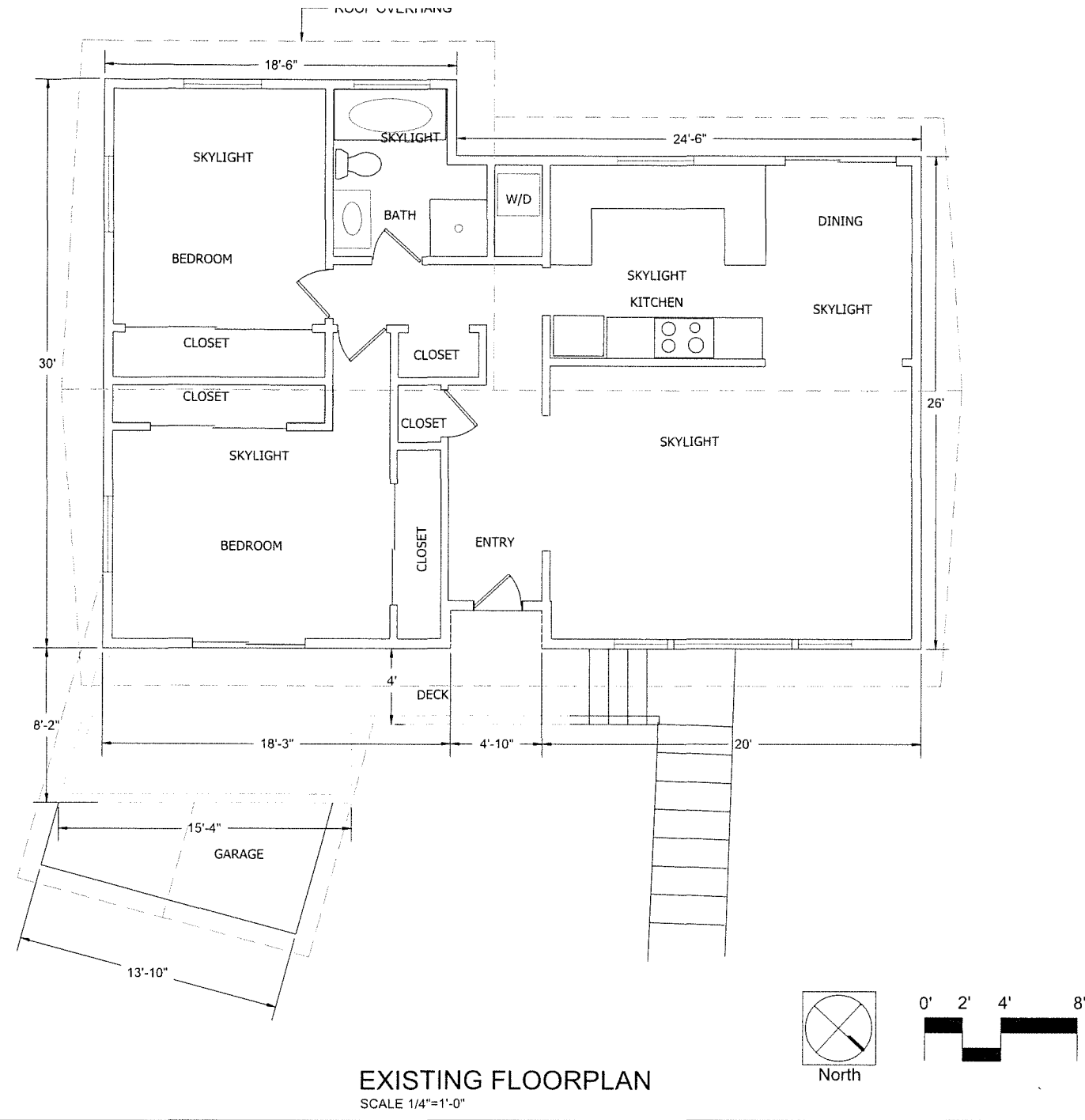
Project
Kristin and Christopher Arnold Residence Remodel
 35 Wreden Ave.
 APN- 002-014-10
 Fairfax, CA 94930

Drawing Title
SITE PLAN

Date: July 18, 2022

Revisions

Sheet Number



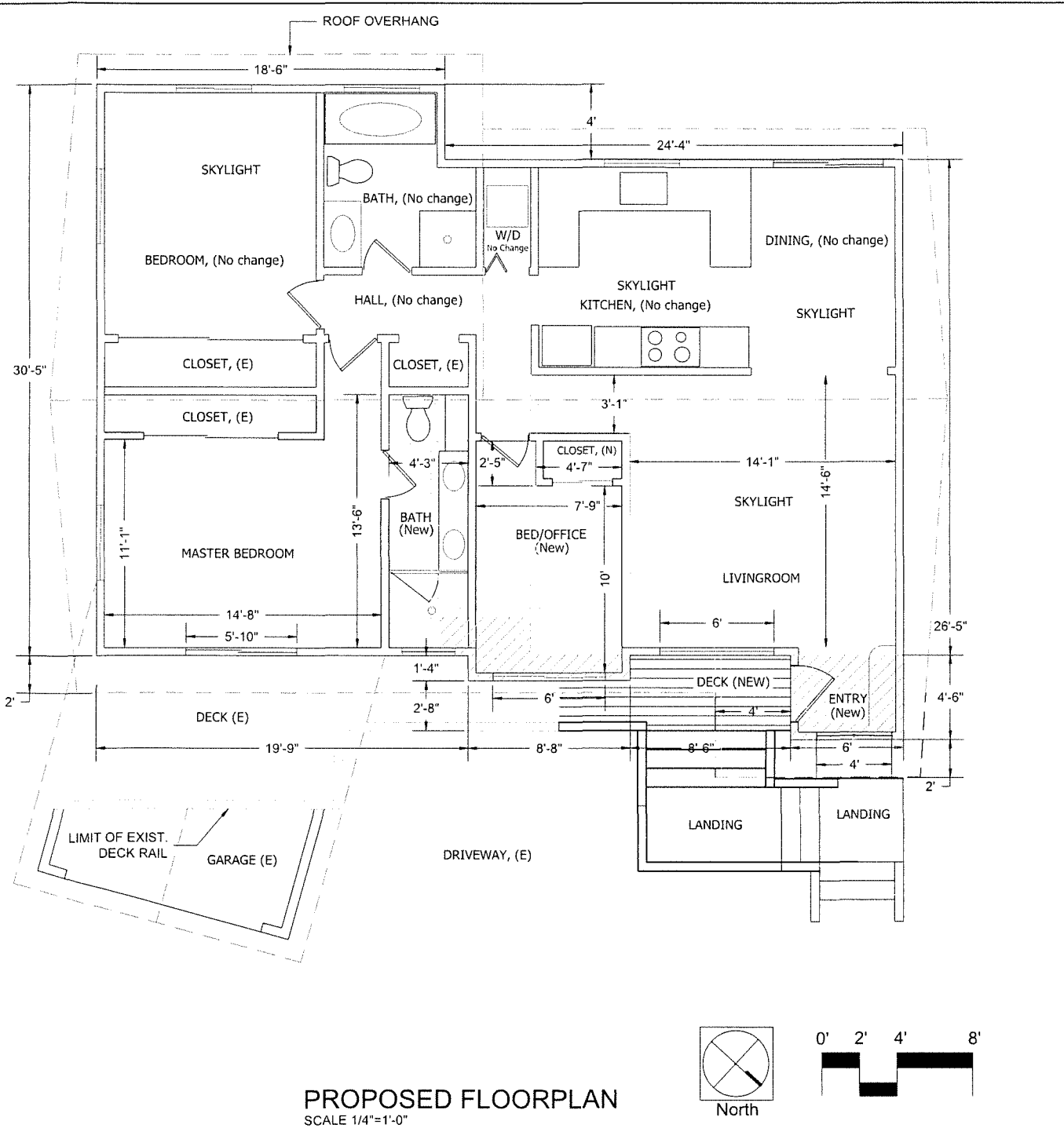
EXISTING FLOORPLAN
 SCALE 1/4"=1'-0"

LEGEND

NEW LIVING SPACE	
REDWOOD DECKING, (existing)	
REDWOOD DECKING, (new)	
MED BROOM FINISH CONCRETE PAVING, (MED. GREY)	
LOCATION OF WALLS TO BE REMOVED	

TOTAL REMODEL PERCENTAGE (percentage of wall lengths)

EXISTING WALLS: (in linear feet)	
EXTERIOR TOTAL LENGTH	147.75'
INTERIOR TOTAL LENGTH	128.95'
TOTAL LENGTH OF EXISTING WALLS	276.70'
EXISTING WALLS TO BE REMOVED: (in linear feet)	
EXTERIOR LENGTH OF WALLS REMOVED	20.85'
INTERIOR LENGTH OF WALLS REMOVED	16.50'
TOTAL LENGTH OF WALLS REMOVED	37.35'
LENGTH OF NEW WALLS TO BE ADDED: (in linear feet)	
EXTERIOR LENGTH OF WALLS ADDED	28.50'
INTERIOR LENGTH OF WALLS ADDED	41.20'
TOTAL LENGTH OF WALLS ADDED	69.70'
37.35 + 69.70 = 107.05 lin ft of walls affected by project	
107.05 / 276.70 = 0.387 (38.7%)	
TOTAL PERCENTAGE REMODEL	38.7%



PROPOSED FLOORPLAN
 SCALE 1/4"=1'-0"

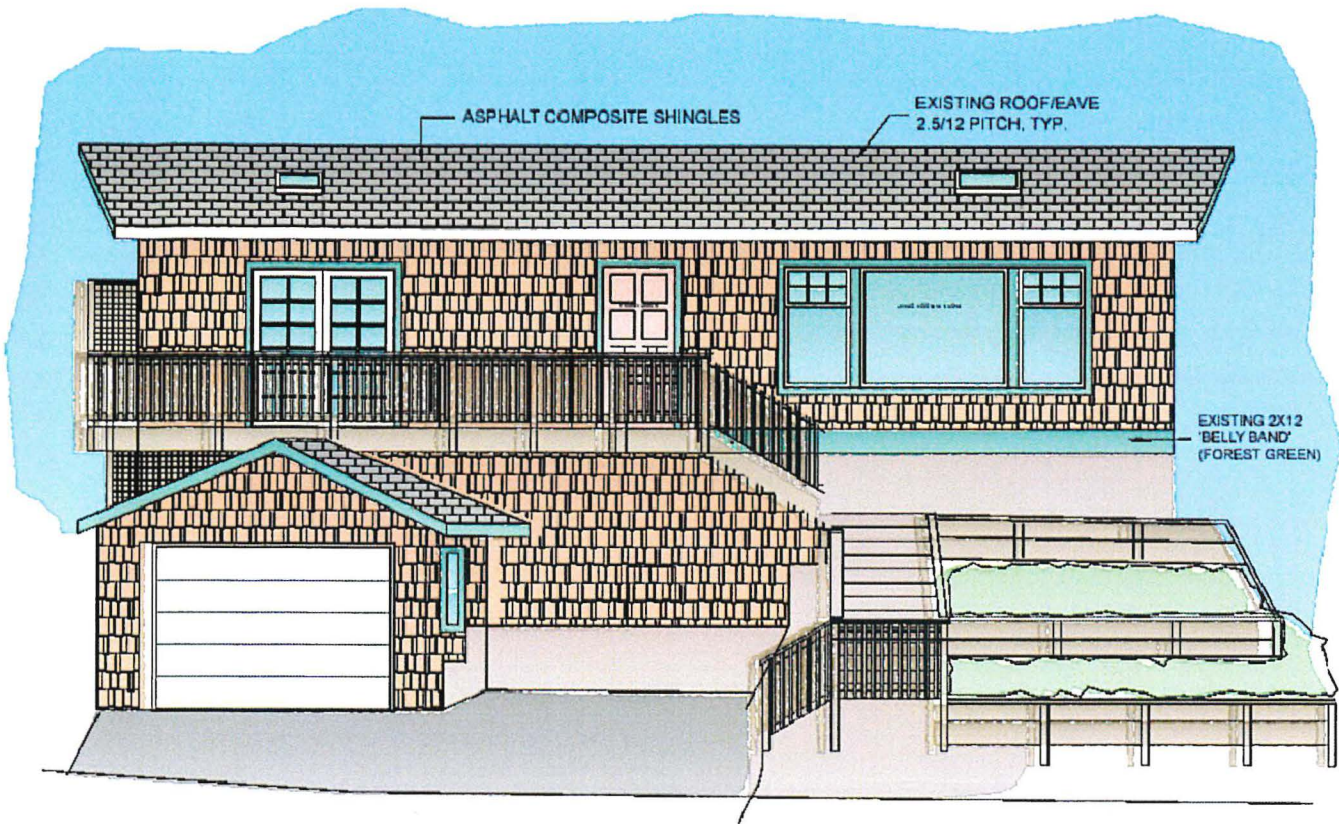
Project
Kristin and Christopher Arnold Residence Remodel
 35 Wreden Ave.
 APN- 002-014-10
 Fairfax, CA 94930

Drawing Title
FLOORPLAN

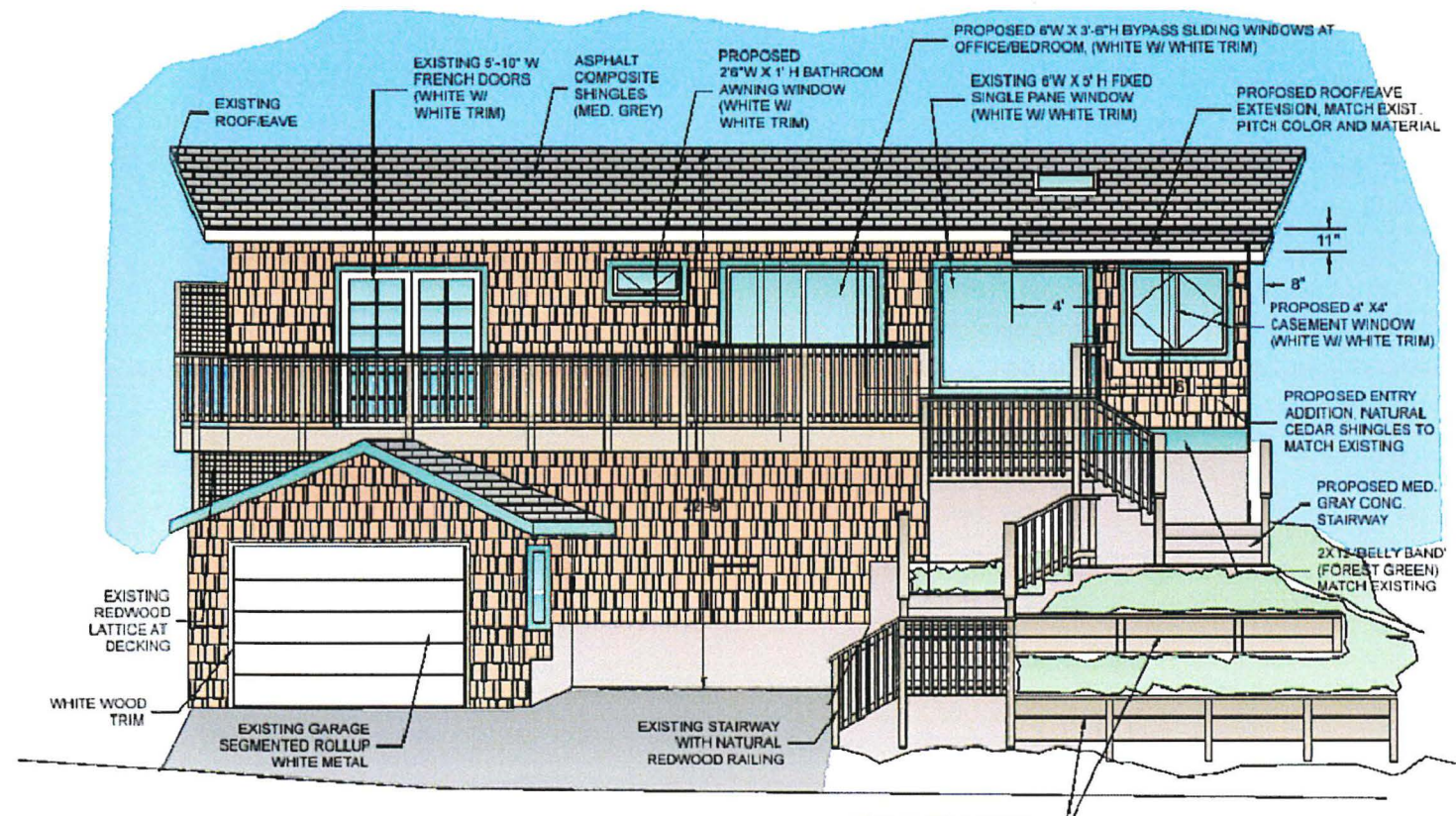
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Revisions

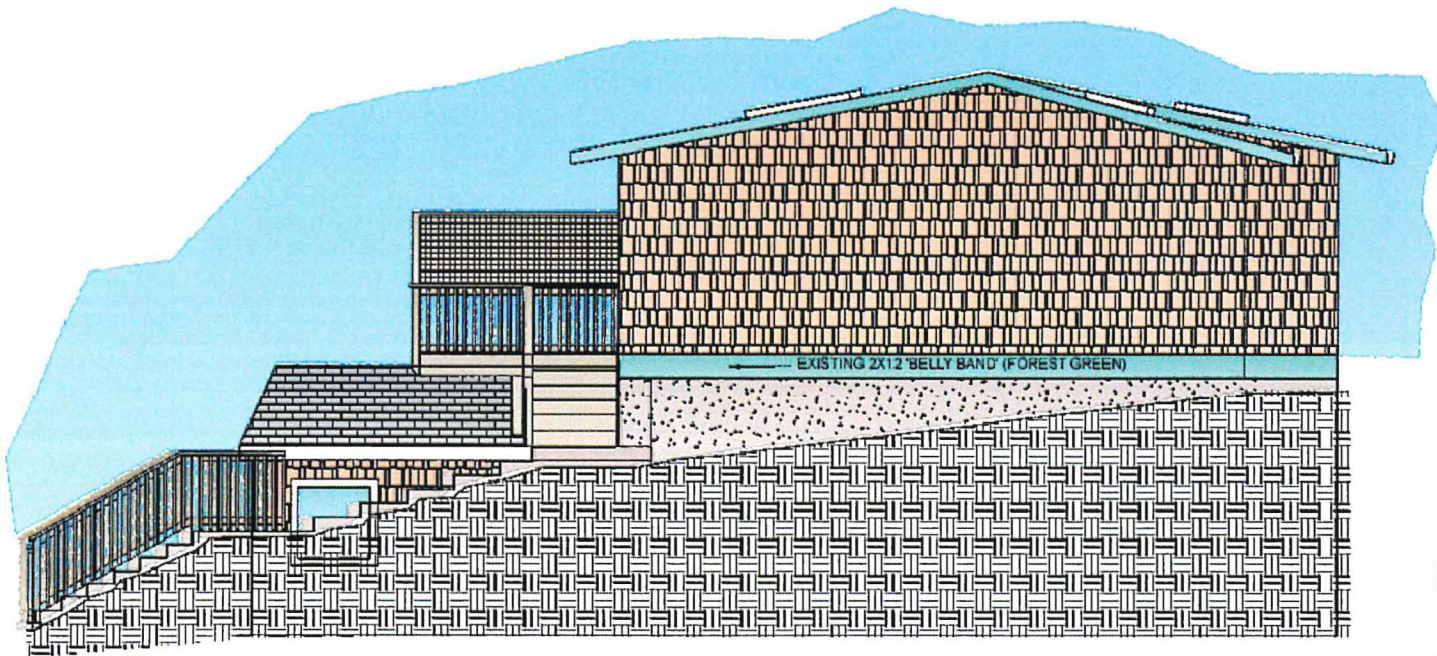
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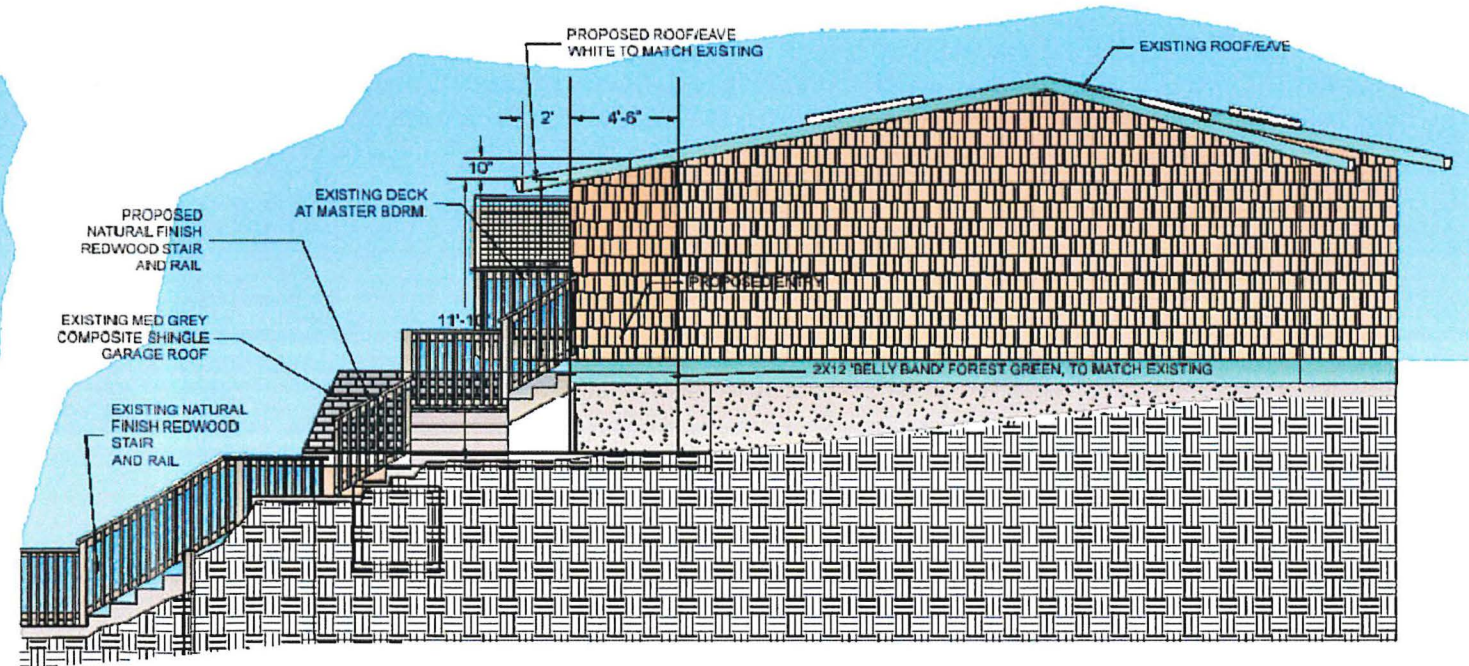
EXISTING FRONT ELEVATION
SCALE 1/4"=1'-0"



PROPOSED FRONT ELEVATION
SCALE 1/4"=1'-0"



EXISTING RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"



PROPOSED RIGHT SIDE ELEVATION
SCALE 1/4"=1'-0"

LEGEND

EXISTING CEDAR SHINGLES (NATURAL FINISH)		ASPHALT COMPOSITE ROOF SHINGLES (ARCHITECTURAL, MED. GREY)	
PROPOSED CEDAR SHINGLES (NATURAL FINISH)		CONCRETE FOUNDATION (MEDIUM GREY)	

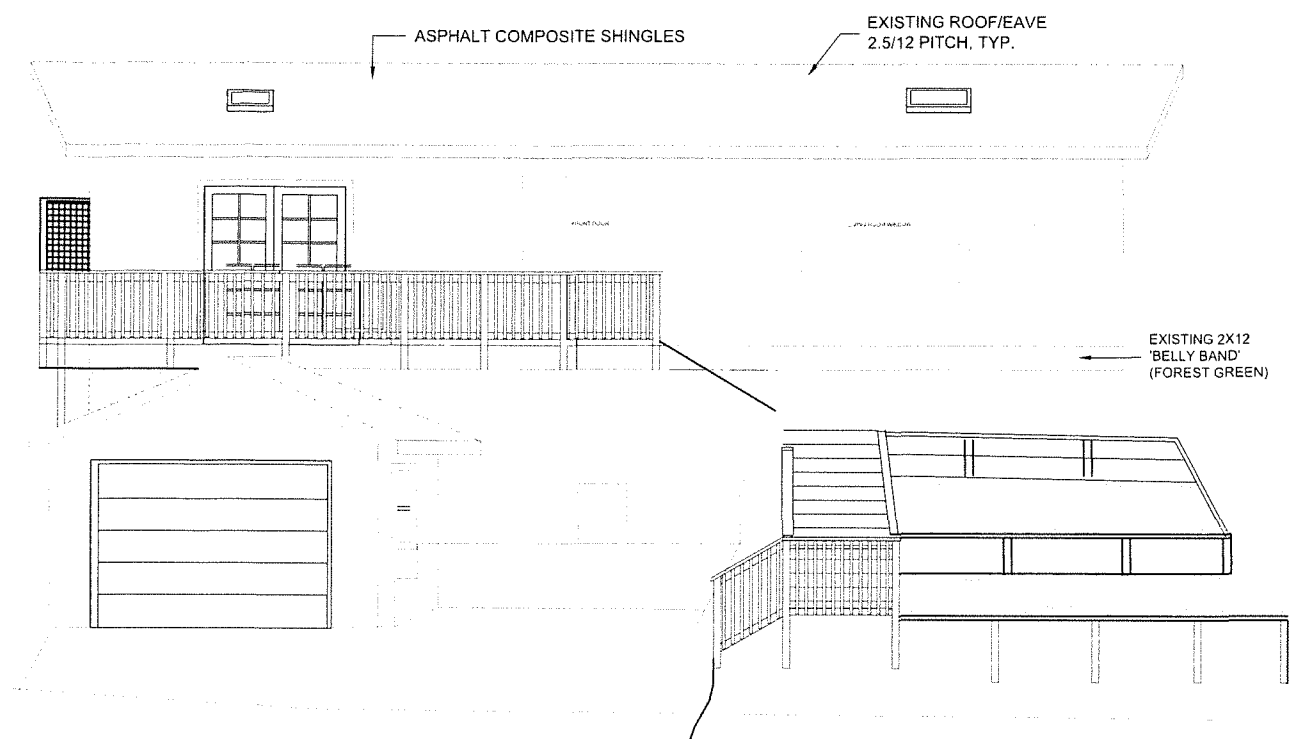
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Kristin and Christopher Arnold Residence Remodel
35 Wreden Ave.
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Fairfax, CA 94930

Drawing Title
ELEVATIONS

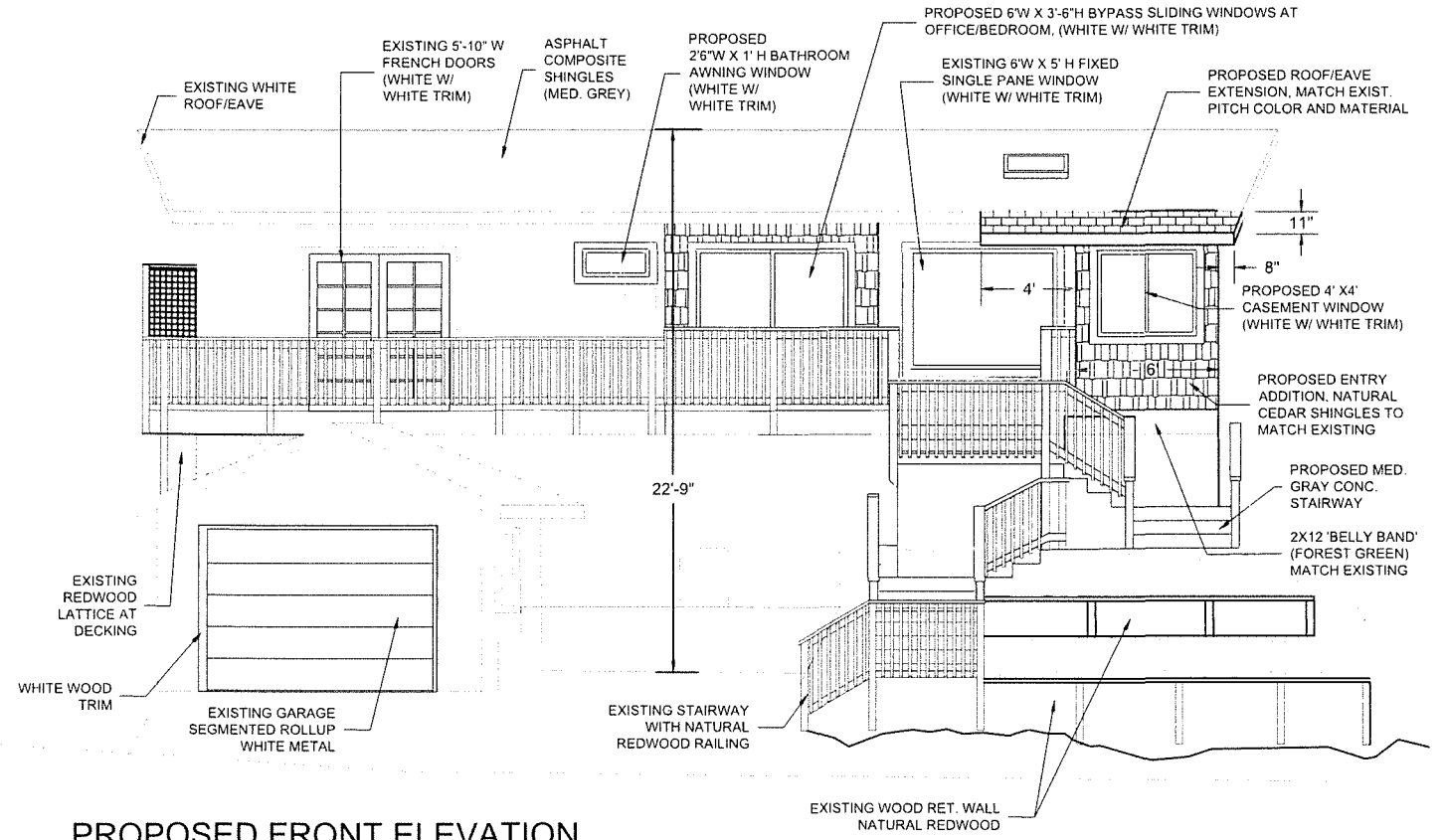
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Revisions

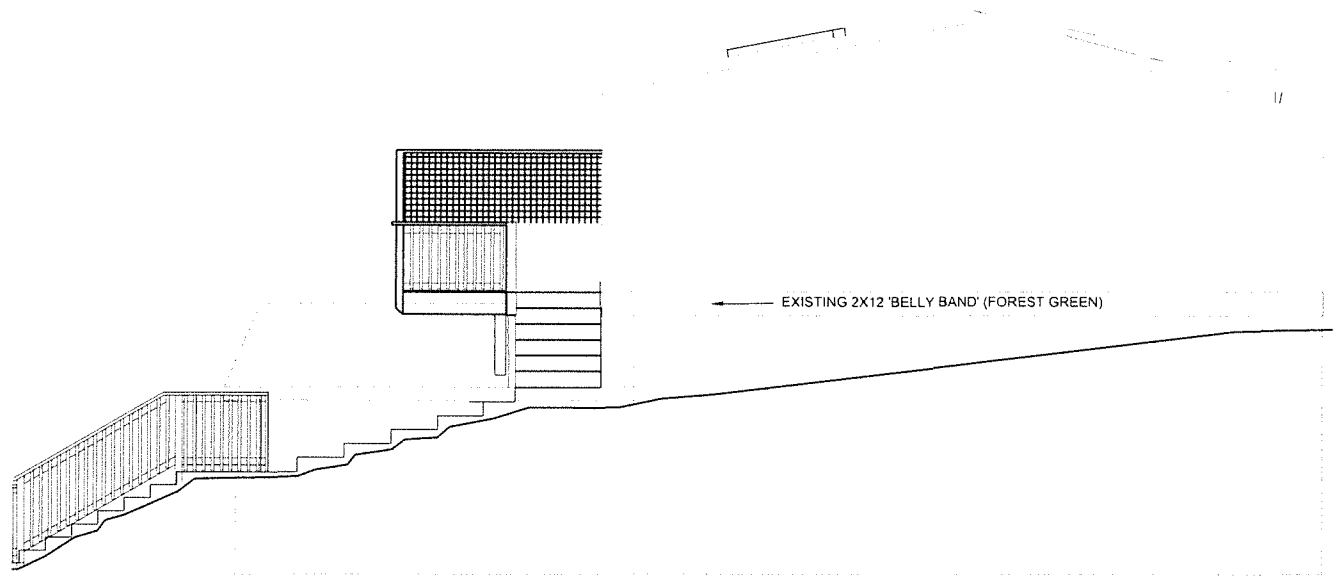
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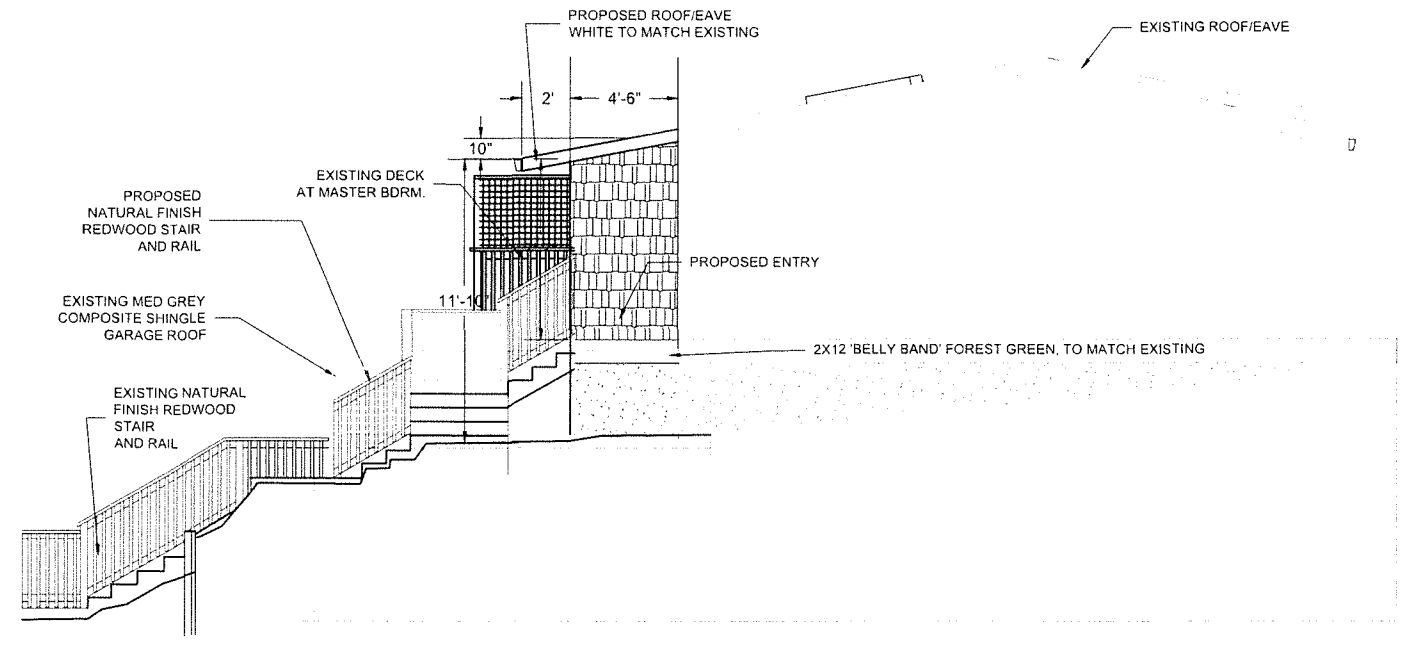
EXISTING FRONT ELEVATION
 SCALE 1/4"=1'-0"



PROPOSED FRONT ELEVATION
 SCALE 1/4"=1'-0"


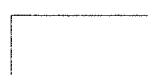
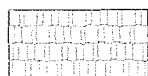



EXISTING RIGHT SIDE ELEVATION
 SCALE 1/4"=1'-0"



PROPOSED RIGHT SIDE ELEVATION
 SCALE 1/4"=1'-0"

LEGEND

EXISTING CEDAR SHINGLES (NATURAL FINISH)		ASPHALT COMPOSITE ROOF SHINGLES (ARCHITECTURAL, MED. GREY)	
PROPOSED CEDAR SHINGLES (NATURAL FINISH)		CONCRETE FOUNDATION (MEDIUM GREY)	

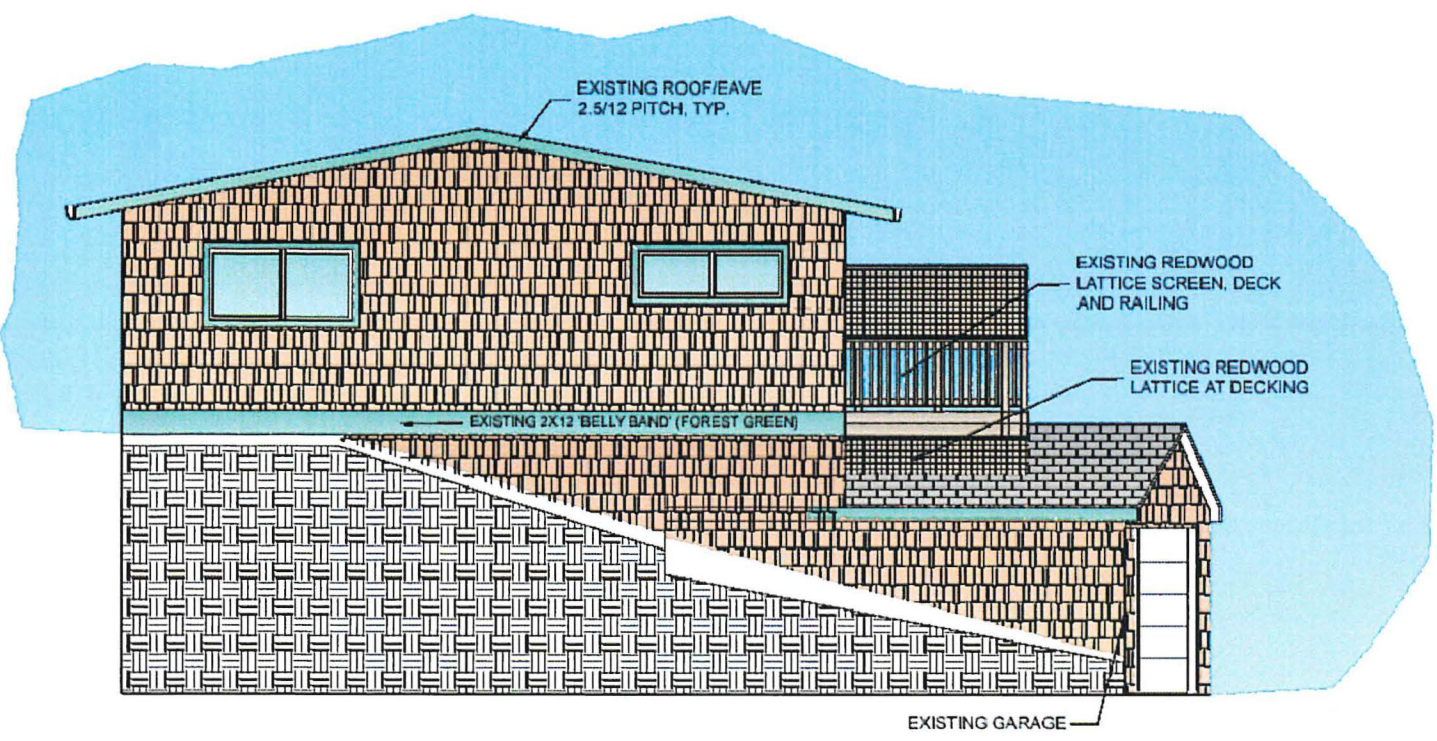
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Drawing Title
ELEVATIONS

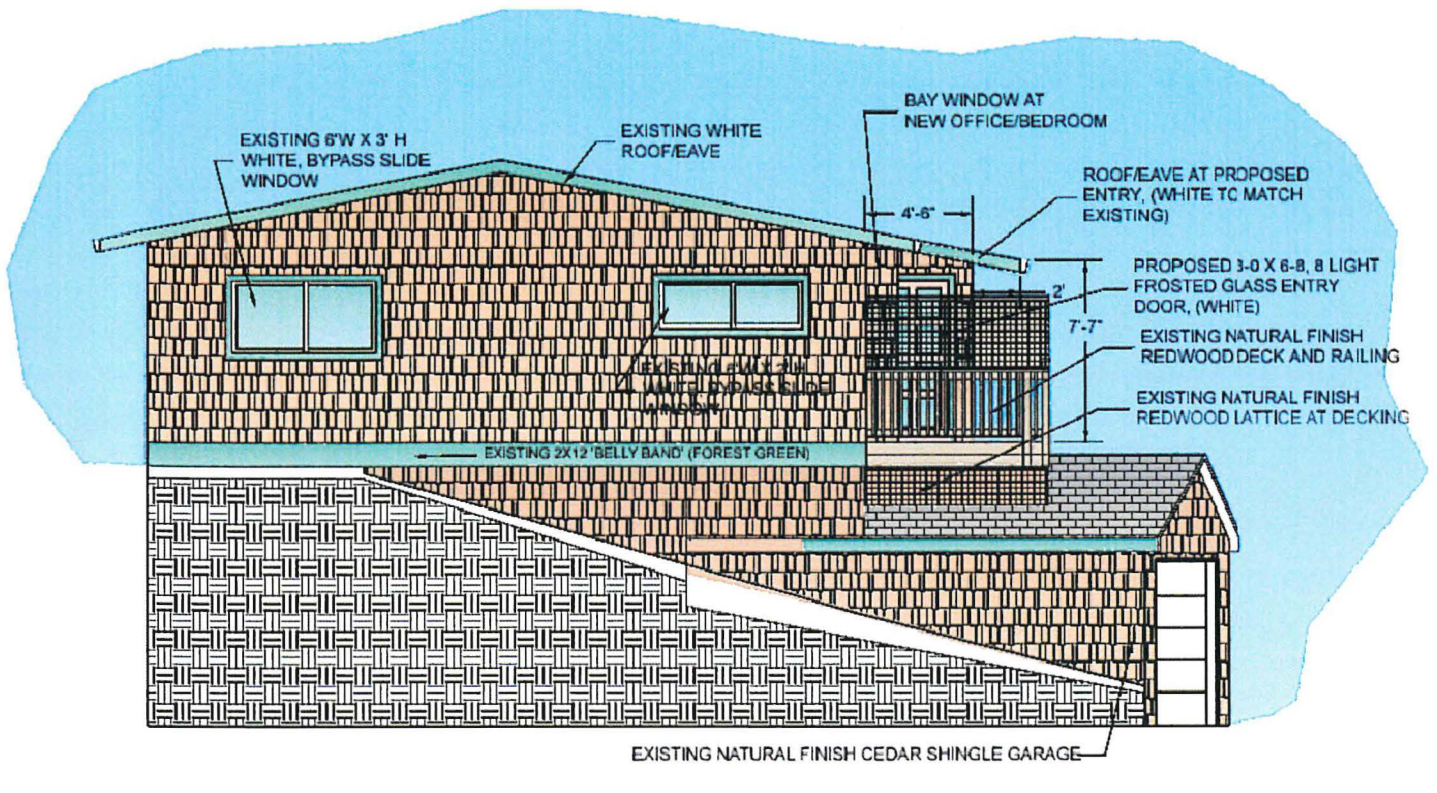
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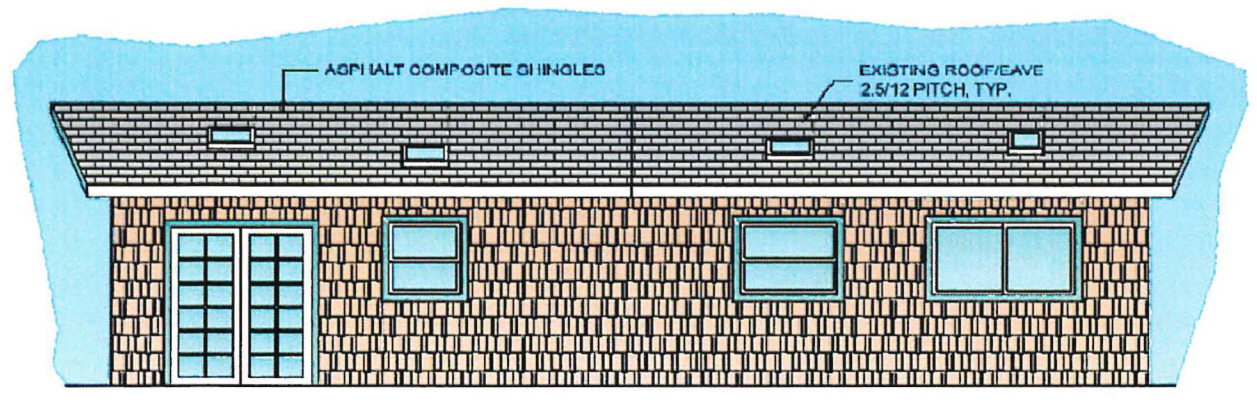
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EXISTING LEFT SIDE ELEVATION
 SCALE 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION
 SCALE 1/4"=1'-0"



REAR ELEVATION, (No change to existing)
 SCALE 1/4"=1'-0"

LEGEND

EXISTING WOOD SHINGLES	
PROPOSED WOOD SHINGLES (match existing)	
ASPHALT COMPOSITE ROOF SHINGLES	
CONCRETE FOUNDATION	

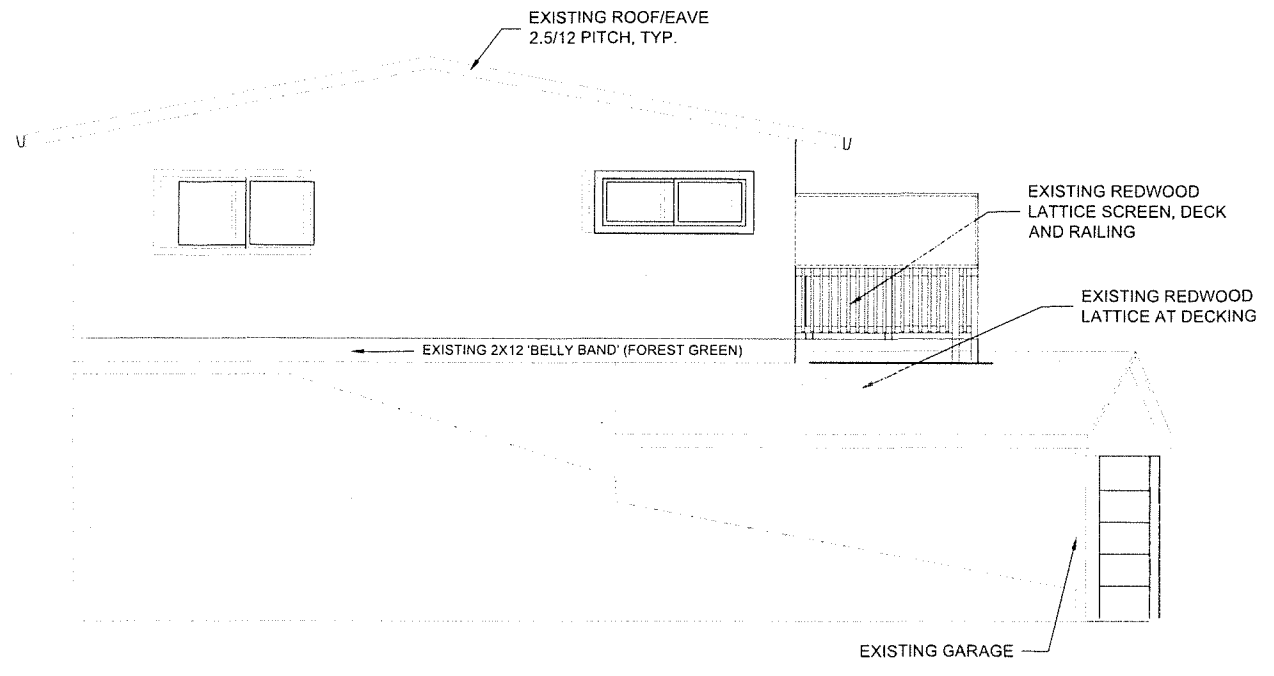
Project
Kristin and Christopher Arnold Residence Remodel
 35 Wreden Ave.
 APN: 002-014-10
 Fairfax, CA 94930

Drawing Title
ELEVATIONS

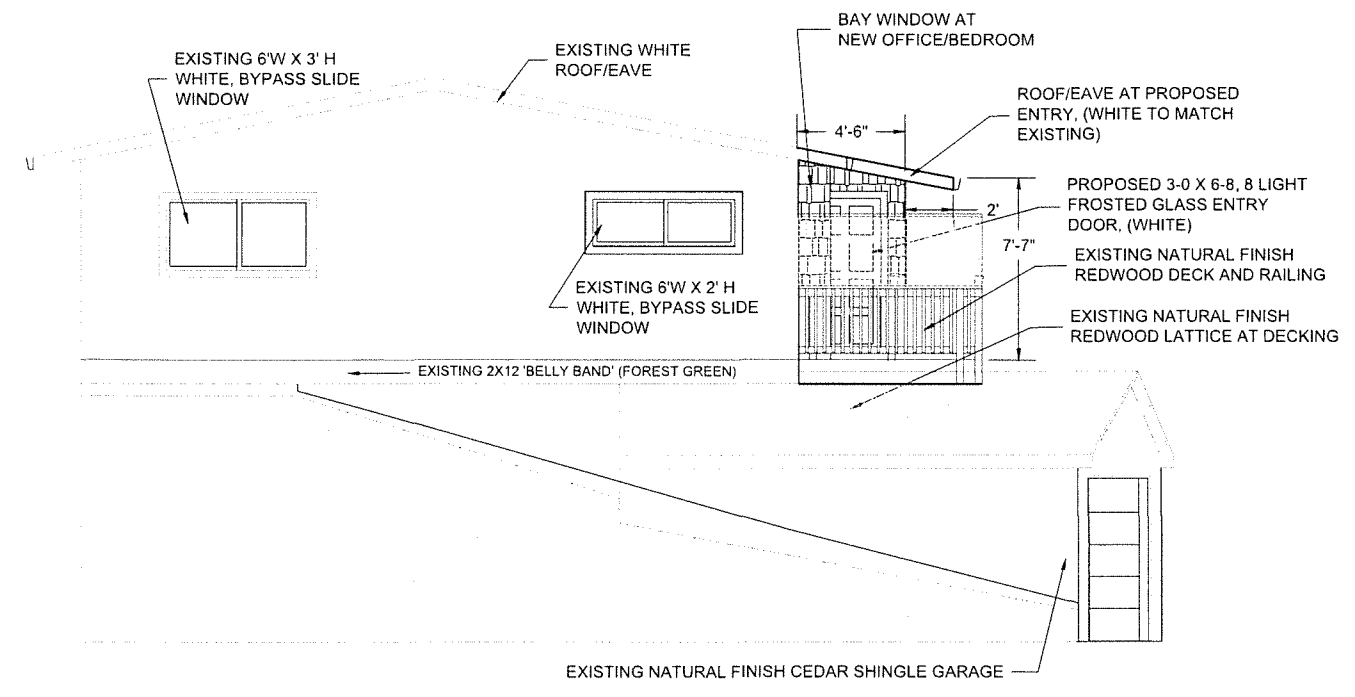
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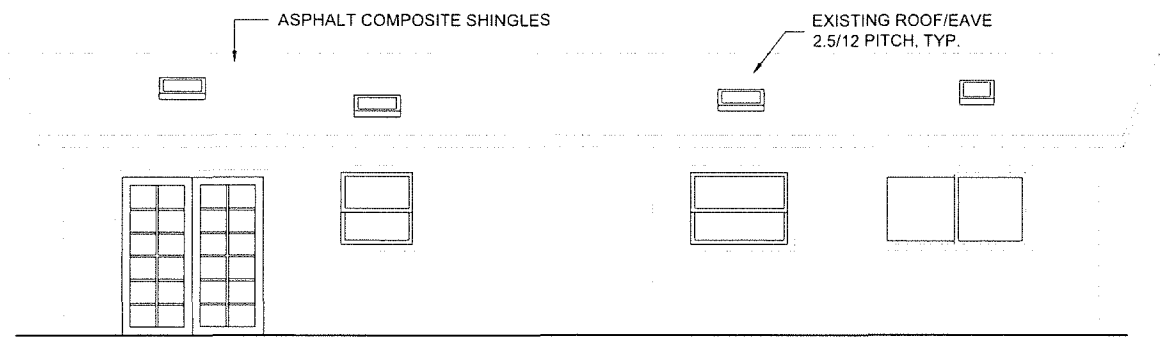
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EXISTING LEFT SIDE ELEVATION
 SCALE 1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION
 SCALE 1/4"=1'-0"



REAR ELEVATION, (No change to existing)
 SCALE 1/4"=1'-0"

LEGEND

EXISTING WOOD SHINGLES	
PROPOSED WOOD SHINGLES (match existing)	
ASPHALT COMPOSITE ROOF SHINGLES	
CONCRETE FOUNDATION	

Project
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 35 Wreden Ave.
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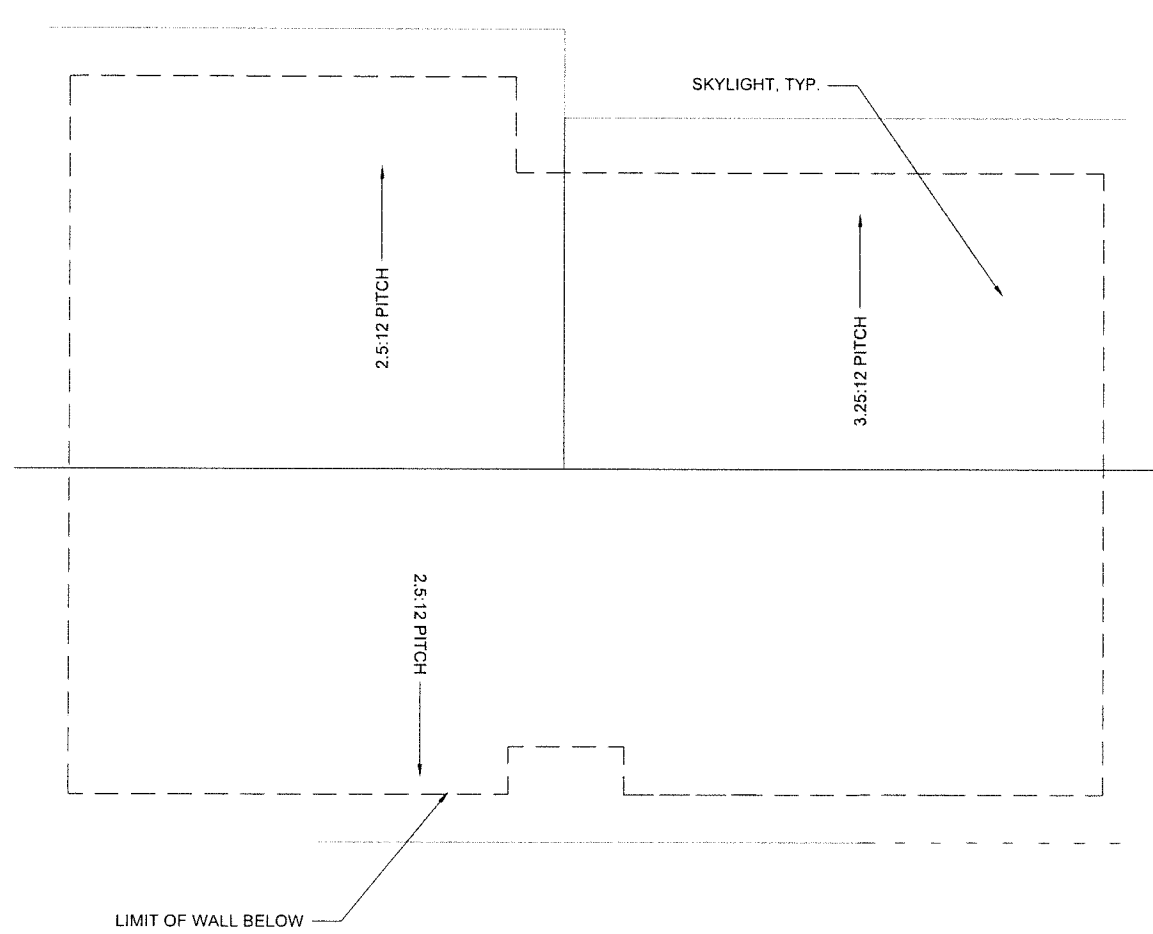
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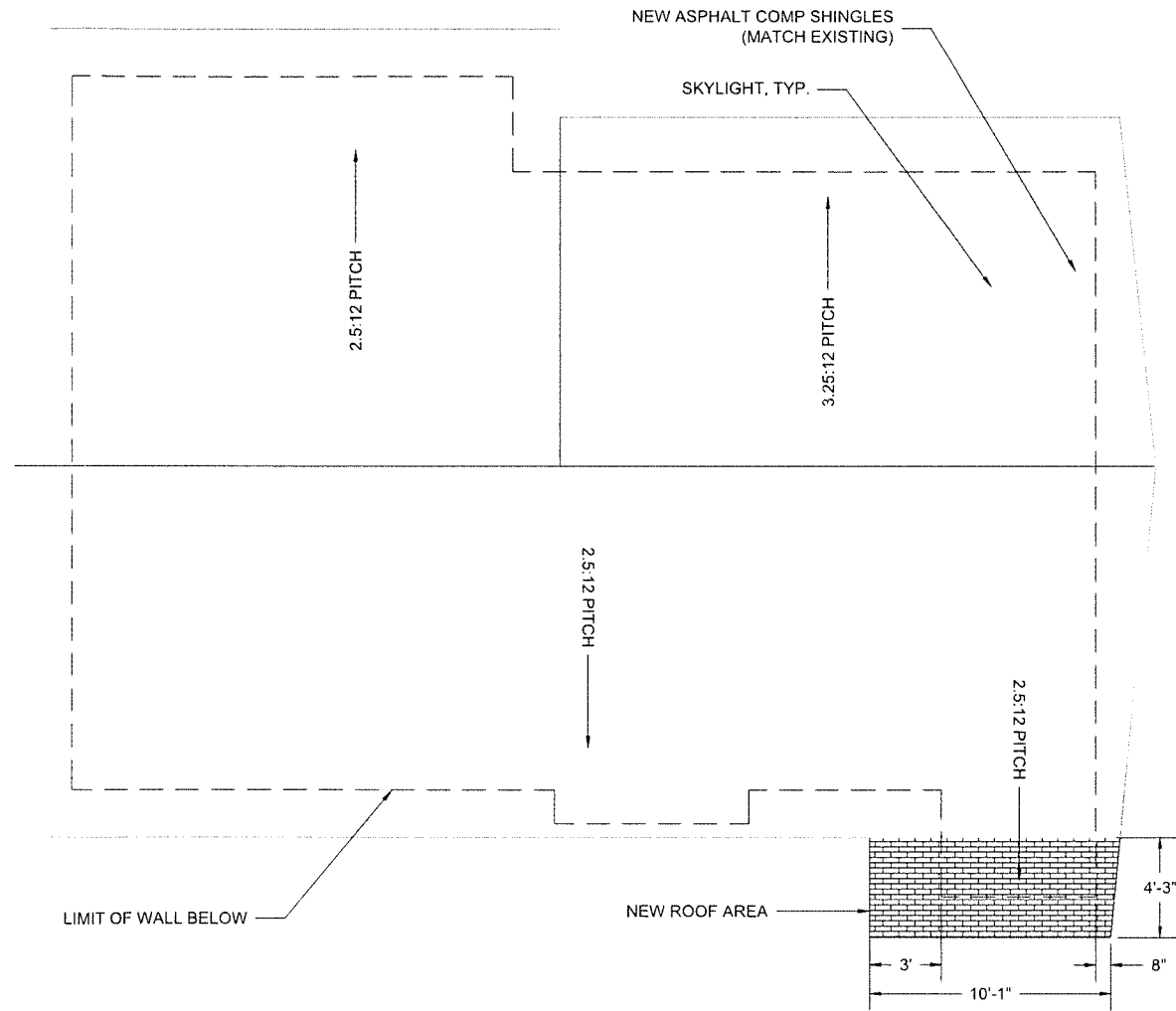
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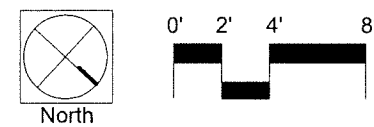
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EXISTING ROOF PLAN
 SCALE 1/4"=1'-0"



PROPOSED ROOF PLAN
 SCALE 1/4"=1'-0"



Project

**Kristin and
 Christopher
 Arnold Residence
 Remodel**

35 Wreden Ave.
 APN- 002-014-10
 Fairfax, CA 94930

Drawing Title

ROOF PLAN

Date: July 18, 2022

Revisions

Sheet Number

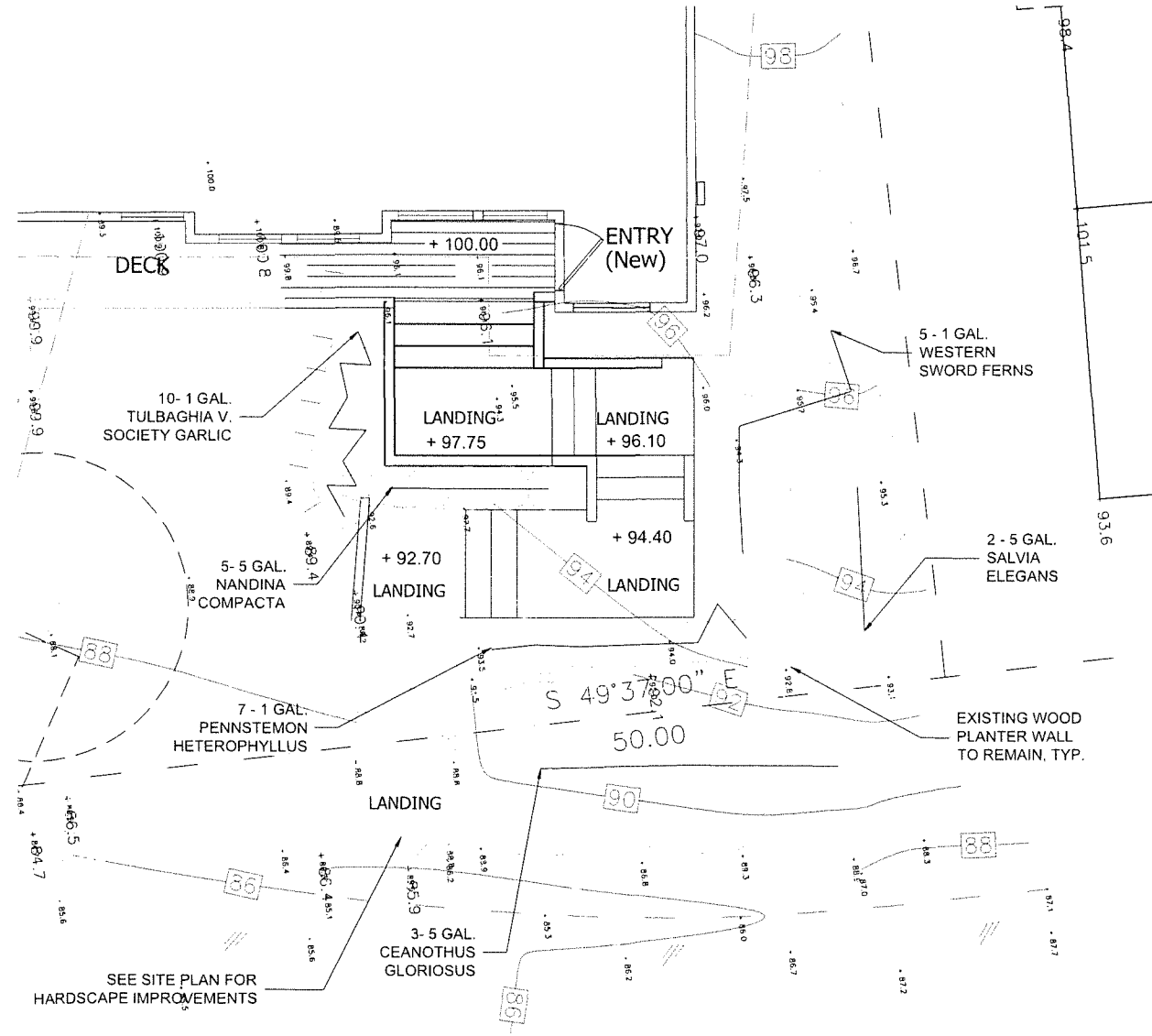
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LANDSCAPE NOTES

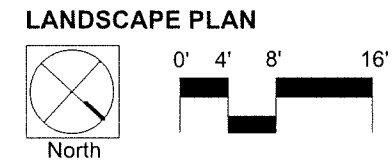
1. SOILS TESTING, AND RESULTING SOILS PREPARATION RECOMMENDATIONS WILL BE FOLLOWED. RECOMMENDATIONS ARE TO BE MADE BY AN ACCREDITED SOILS SCIENTIST, ('SOILS AND PLANT LABS', OR EQUAL)
2. ALL PLANTING AREAS SHOWN WILL BE IRRIGATED WITH MWEL0 COMPLIANT, FULLY AUTOMATIC IRRIGATIONS SYSTEM: DRIP/POINT SOURCE EMITTERS, REMOTE CONTROL VALVES, ET BASED MULTI-PROGRAM CONTROLLER, RAIN SENSOR, AND MASTER VALVE/FLOWSSENSOR.
3. ALL PLANTS IN A GROUP PLANTING MUST MATCH IN HEIGHT, CALIPER AND VIGOR TO ASSURE EVEN GROWTH RATES.
4. ALL PLANTINGS ARE MARIN FIRE SAFE RECOMMENDED.
5. AUTOMATIC IRRIGATION SYSTEM MUST BE FULLY OPERATIONAL PRIOR TO PLANTING.
6. PLANTING SOIL SHALL BE COMPACTED TO 85% PRIOR TO PLANTING.
7. ALL PLANTING AREAS ARE TO RECEIVE A 3" DEPTH LAYER OF FIRESAFE MARIN APPROVED MULCH, SUBMIT SAMPLE FOR APPROVAL.
8. PLANTING AREAS WITH A SLOPE GREATER THAN 3:1 SHALL RECEIVE JUTE MESH EROSION CONTROL FABRIC, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

PLANTING LIST

Botanical Name	Common Name	Container Size	Quantity
SHRUBS AND PERENNIALS			
CEANOTHUS GLORIOSUS	MOUNTAIN LILAC	5 GAL	3
NANDINA DOMESTICA, COMPACTA	HEAVENLY BAMBOO	5 GAL	5
PENNSTEMON HETEROPHYLLUS	CALIF. BEARDS TONGUE	1 GAL	7
POLYSTICHUM MUNITUM	WESTERN SWORD FERN	1 GAL	5
SALVIA ELEGANS	PINEAPPLE SAGE	5 GAL	2
TULBAGHIA VIOLACEA	SOCIETY GARLIC	1 GAL	10



LANDSCAPE PLAN



Project
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Drawing Title
LANDSCAPE PLAN

Date: July 18, 2022

Revisions

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