

ABBREVIATIONS

Table of abbreviations for construction drawings, including terms like ABV (Above), ADJ (Adjustable & Adjacent), ARCH (Architect (ural)), AV (Audio/Visual), BD (Board), BLDG (Building), BLK (Block), BLKG (Blocking), BW (Below), BM (Beam), BOT (Bottom), BO. B/ (Bottom of), CLG (Ceiling), CLR (Clear), CNR (Corner), COL (Column), CONC (Concrete), CONN (Connection), CONT (Continuous), COORD (Coordinate), CLR (Center), CLW (Center Line), CW (Cold Water), DBL (Double), DET (Detail), DIA (Diameter), DIM (Dimension), DKG (Decking), DN (Down), DG (Decomposed Granite), DWG (Drawing), E (East), (E) (Existing), EA (Each), EL (Elevation), ELEC (Electrical), EQ (Equal), EXT (Exterior), EW (Each Way), FO (Face Of), FOC (Face Of Concrete), FOF (Face Of Finish), FOS (Face Of Studs), FDN (Foundation), FIN FL (Finish Floor), FIN GR (Finish Grade), FLUOR (Fluorescent), FPL (Fireplace), FR (Fire Rating), FT (Foot or Feet), FTG (Footing), GA (Gage), GALV (Galvanized), GLZ (Glazing), GR BM (Galv Beam), GSM (Galvanized Sheet Metal), HDWD (Hardwood), HDWE (Hardware), HORIZ (Horizontal), HR (Hour), HT (Height), HW (Hot Water), IN (Inches), INSUL (Insulation), INT (Interior), ID (Inside Dimension), JT (Joint), KD (Kiln Dried), LF (Linear Foot), LONG (Longitudinal), MAX (Maximum), MECH (Mechanical), MEMB (Membrane), MIN (Minimum), MIRR (Mirror), MISC (Miscellaneous), MR (Moisture Resistant), MTD (Mounted), MTL (Metal), (N) (New), N (North), N.I.C. (Not In Contract), N.T.S. (Not To Scale), NOM (Nominal), NA (Not Applicable), OA (Overall), O.C. (On Center), OD (Outside Dimension), OH (Opposite Hand), OPP (Opposite), PAR (Parallel), PERIM (Perimeter), PL (Property Line), PLBG (Plumbing), PLYWD (Plywood), PR (Pair), PT (Pressure Treated), PTD (Painted), R (Riser), RA (Return Air), RCP (Reflected Ceiling Plan), RD (Road), REDWD (Redwood), REFRIG (Refrigerator), REQD (Required), RO (Rough Opening), RWL (Rain Water Leader), S (South), (S) (Salvaged), SA (Supply Air), SAD (See Architectural Drawings), SCD (See Civil Drawings), SD (Smoke Detector), SED (See Electrical Drawings), SHTHG (Sheathing), SIM (Similar), SL (Slope), SLD (See Landscape Drawings), SLNT (Sealant), SMD (See Mechanical Drawings), SOG (Slab On Grade), SQ (Square), SQ FT (Square Foot), SQ IN (Square Inch), SQ YD (Square Yard), SSD (See Structural Drawings), SST (Stainless Steel), ST (Street), STAG (Staggared), STD (Standard), STL (Steel), SYM (Symmetrical), T (Tread), T&G (Tongue & Groove), TEL (Telephone), THRES (Threshold), TMA (To Match Adjacent), TME (To Match Existing), T.O.W. (Top Of Wall), TYP (Typical), U.O.N. (Unless Otherwise Noted), VCT (Vinyl Composition Tile), VERT (Vertical), VIF (Verify In Field), W (Water & Waste), W/W (With Wood), W/O (Where Occurs), W/O (Without)

PROJECT TEAM

OWNER: MICHAEL TZORTZIS & SHANNON SNYDER, 197 BOTHIN ROAD, FAIRFAX, CA 94930... ARCHITECT: JOHN CLARKE ARCHITECTS, 4000 BRIDGEWAY, SUITE 304, SAUSALITO, CA 94965... LANDSCAPE ARCHITECT: CMG LANDSCAPE ARCHITECTURE, 444 BRYANT STREET, SAN FRANCISCO, CA 94107... ARBORIST: SB/CA TREE CONSULTING, 1534 ROSE STREET, CROCKETT, CA 94525... SURVEYOR: MICHAEL FORD INC., LAND SURVEYING, 2300 BETHARDS DRIVE, SUITE J, SANTA ROSA, CA 95405... CIVIL ENGINEER: LTD ENGINEERING INC., 1050 NORTHGATE DRIVE, SUITE 450, SAN RAFAEL, CA 94903... GEOTECHNICAL ENGINEER: ROLLO & RIDLEY INC., 989 SUTTER STREET, UNIT 4, SAN FRANCISCO, CA 94109

SITE DATA

Table with site data including APN: 001-082-46, ZONING: RS-6 SINGLE FAMILY, CONSTRUCTION TYPE: V-B, OCCUPANCY CLASSIFICATION: R-3/U, PARCEL AREA: 7,056 S.F. / 0.162 ACRES, MERGED PARCEL AREA: 10,696 S.F. / 0.246 ACRES. Includes tables for EXISTING FLOOR AREA, PROPOSED FLOOR AREA, EXISTING LOT COVERAGE, and PROPOSED LOT COVERAGE.

SCOPE OF WORK

THE PROPOSED SCOPE OF WORK IS AN ADDITION/ REMODEL TO A SINGLE FAMILY RESIDENCE. THE EXISTING GARAGE WILL BE CONVERTED TO A JUNIOR ACCESSORY DWELLING UNIT (JADU). A NEW DETACHED GARAGE IS PROPOSED ADJACENT TO THE RESIDENCE.

DRAWING INDEX

Table listing drawing titles and sheets, including Architectural (A0.0 - COVER/ABBR/SITE DATA/PROPOSED SITE PLAN), Landscape Architectural (L0.1 - PROPOSED SITE PLAN), and Grading and Drainage (C-1 - COVER SHEET).

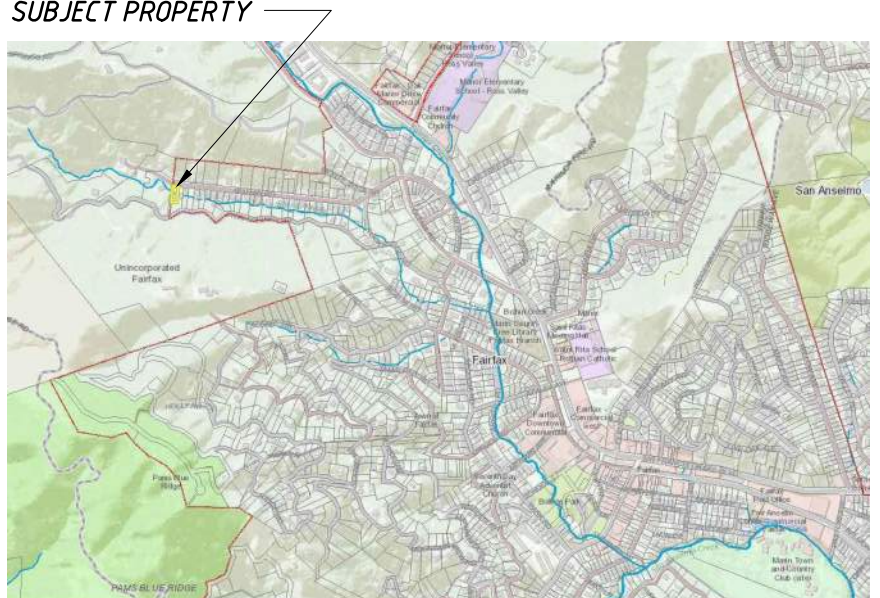
GENERAL NOTES

- 1. ALL CONSTRUCTION TO MEET THE REQUIREMENTS OF CURRENT APPLICABLE BUILDING CODES: 2019 EDITION OF THE CALIFORNIA BUILDING CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA ELECTRIC CODE, 2019 CALIFORNIA ENERGY CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE, TOWN OF FAIRFAX ZONING, BUILDING, AND SUBDIVISION CODES. 2. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK. 3. DO NOT SCALE THESE DRAWINGS. IF THESE DRAWINGS ARE NOT 24" x 36", THEY HAVE BEEN REDUCED OR ENLARGED. 4. (1") INDICATES ACTUAL SIZE, (1x) INDICATES NOMINAL SIZE. 5. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY THAT IS IN DIRECT CONTACT WITH EARTH SHALL BE OR NATURALLY DURABLE OR PRESSURE PRESERVATIVE TREATED. 6. ACCESSORIES SUCH AS TOWEL BARS, GRAB BARS, AND SOAP DISHES LOCATED ON OR WITHIN THE WALL SHALL BE INSTALLED AND SEALED TO PROTECT STRUCTURAL ELEMENTS FROM MOISTURE AND MEET CBC REQUIREMENTS. 7. COORDINATE ALL MECHANICAL, PLUMBING AND ELECTRICAL DEVICES WITH ARCHITECTURAL INTERIOR ELEVATIONS AND REFLECTED CEILING PLAN. 8. ALL PIPING, VENTS, AND FLUES THAT PENETRATE THE ROOF AND ARE EXPOSED TO VIEW ARE TO BE LOCATED PER TOWN/COUNTY REQUIREMENTS AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION PRIOR TO INSTALLATION. 9. ALL INSULATION SHALL COMPLY WITH CBC SECTION 720. ALL ENERGY REQUIRED INSULATION SHALL MEET REQUIREMENTS OF LOCAL CODES. 10. FIRE STOPPING AND BLOCKING SHALL COMPLY WITH CBC SECTION 718. THE EXTENT AND COORDINATION OF FIRE BLOCKING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. 11. WEATHER PROTECTIONS SHALL COMPLY TO CBC SECTION 1403. 12. ALL FOAM PLASTIC INSULATION SHALL CONFORM WITH CBC SECTION 2603. 13. SMOKE DETECTORS ARE REQUIRED IN EVERY SLEEPING ROOM AND IN THE CORRIDOR OR AREA THAT GIVES ACCESS TO EACH SEPARATE SLEEPING ROOM. THERE MUST BE ONE DETECTOR PER BUILDING STORY. FOR NEW CONSTRUCTION, SMOKE DETECTORS MUST BE POWERED BY A/C POWER. SMOKE DETECTORS IN EXISTING ROOMS MAY BE POWERED BY BATTERY. SMOKE DETECTORS WILL BE INSTALLED IN ALL BEDROOMS. 14. ALL NEW WASTE, VENT, DRAINAGE AND SEWER PIPES MUST BE CAST-IRON. ALL WATER SUPPLY PIPING MUST BE COPPER. 15. PER MCC 23.18.093 ANY CONSTRUCTION CONTRACTOR PERFORMING WORK IN THE COUNTY SHALL IMPLEMENT APPROPRIATE BMPs TO PREVENT THE DISCHARGE OF CONSTRUCTION WASTES OR CONTAMINANTS FROM CONSTRUCTION MATERIALS, TOOLS AND EQUIPMENT FROM ENTERING A COUNTY STORM DRAIN SYSTEM. IN ADDITION, ALL CONSTRUCTION PLANS SUBMITTED TO THE COUNTY PURSUANT TO ANY PERMIT APPLICATION SHALL CONSIDER THE POTENTIAL FOR EROSION AND SEDIMENTATION AT THE CONSTRUCTION SITE AND SHALL COMPLY WITH MCC 24.04.625 AND 24.04.627. 16. PER MCC 24.04.016, IF CONSTRUCTION ACTIVITY, EQUIPMENT, VEHICLES AND/OR MATERIAL DELIVERY AND STORAGE CAUSE DAMAGE TO ANY EXISTING FACILITY (E.G., PAVEMENT, CURB, GUTTER, SIDEWALK, LANDSCAPING) BEYOND NORMAL WEAR AND TEAR, AS DETERMINED BY THE AGENCY, THEN THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REPAIR OF SAME. 17. THE REQUIRED SMOOTH NONABSORBENT WALL FINISH SHALL EXTEND NO LESS THAN 72" ABOVE THE DRAIN INLET PER CRC R307. 18. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH SHALL NOT BE LESS THAN THE WIDTH OF THE DOOR SERVED. FULLY OPENED DOORS SHALL NOT REDUCE THE REQUIRED DIMENSION OF THE LANDING BY MORE THAN 7". LANDING LENGTH IN DIRECTION OF TRAVEL SHALL BE A MIN. OF 36". LANDINGS SHALL BE DESIGNED TO SHED WATER A MIN 1/4" PER FOOT AWAY FROM HOUSE. CRC 311.3. LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR PER CRC SECTION 311.3

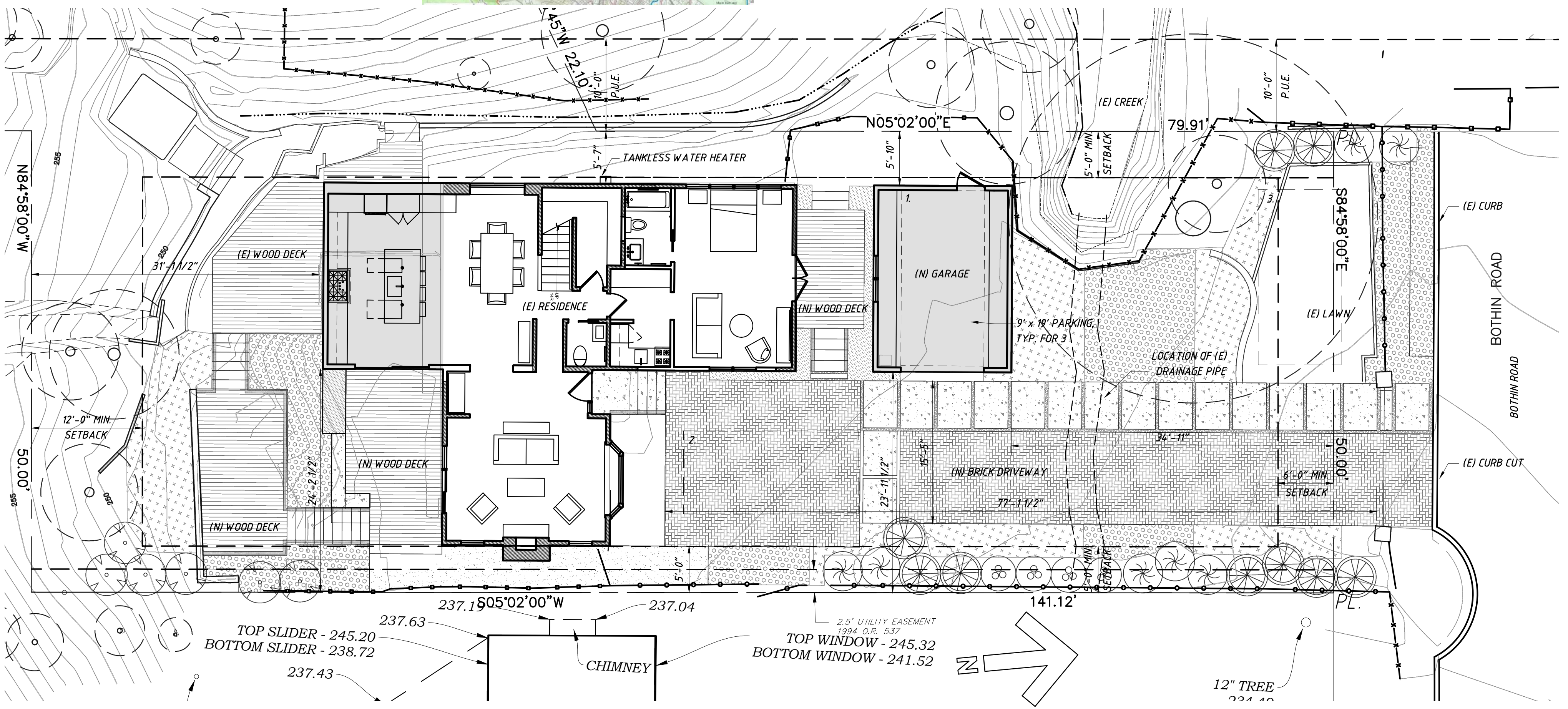
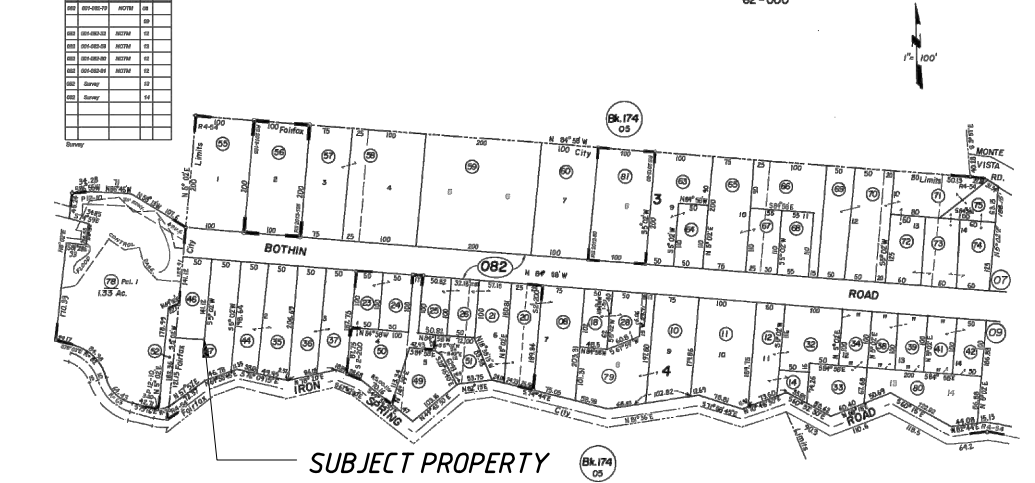
SYMBOLS

Legend for symbols used in the drawings, including Detail Number, Section Number, Elevation Number, Interior Elev. Number, Wall Mark, Door Number, Window Type, Louver Type, Partition Type, Metal Framing, Gravel, Batt Insulation, Rigid Insulation, Tile or Carpet, Steel/Aluminum, Wood Blocking, Wood Framing, Finish Wood, Plywood, Gypsum Board, and Concrete.

VICINITY MAP



ASSESSOR'S PARCEL MAP



Legend and Dimension Key for the site plan, including symbols for framing, partitions, and construction types, and dimension lines for framing, center, and finish.

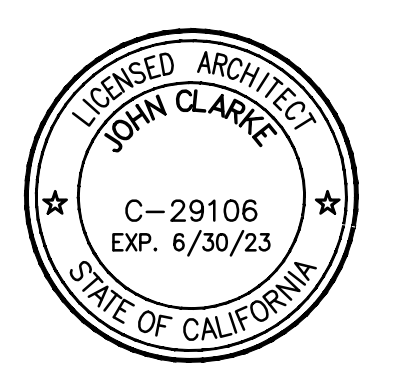
PROPOSED SITE PLAN 1 SCALE 1/8" = 1'-0" A0.0

- REVISIONS: 1. pre-application submittal- december 20, 2021, 2. design review submittal- september 12, 2022, 3. design review revisions- november 10, 2022

tzortzis residence, 197 bothin road, fairfax, ca 94930, aprn: 001-082-46



APPROVED BY:



DRAWING TITLE: cover sheet, proposed site plan

JOB NUMBER

DRAWN BY: jcl/cg/zer

SCALE: as noted

DATE: november 10, 2022

SHEET NO.

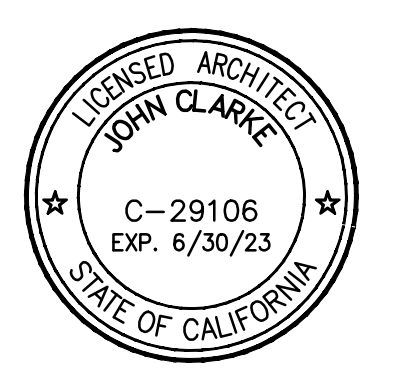
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REVISIONS:
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 2. design review submittal- september 12, 2022
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tzortzis residence
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 fairfax, ca 94930
 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 existing and proposed site plan

JOB NUMBER

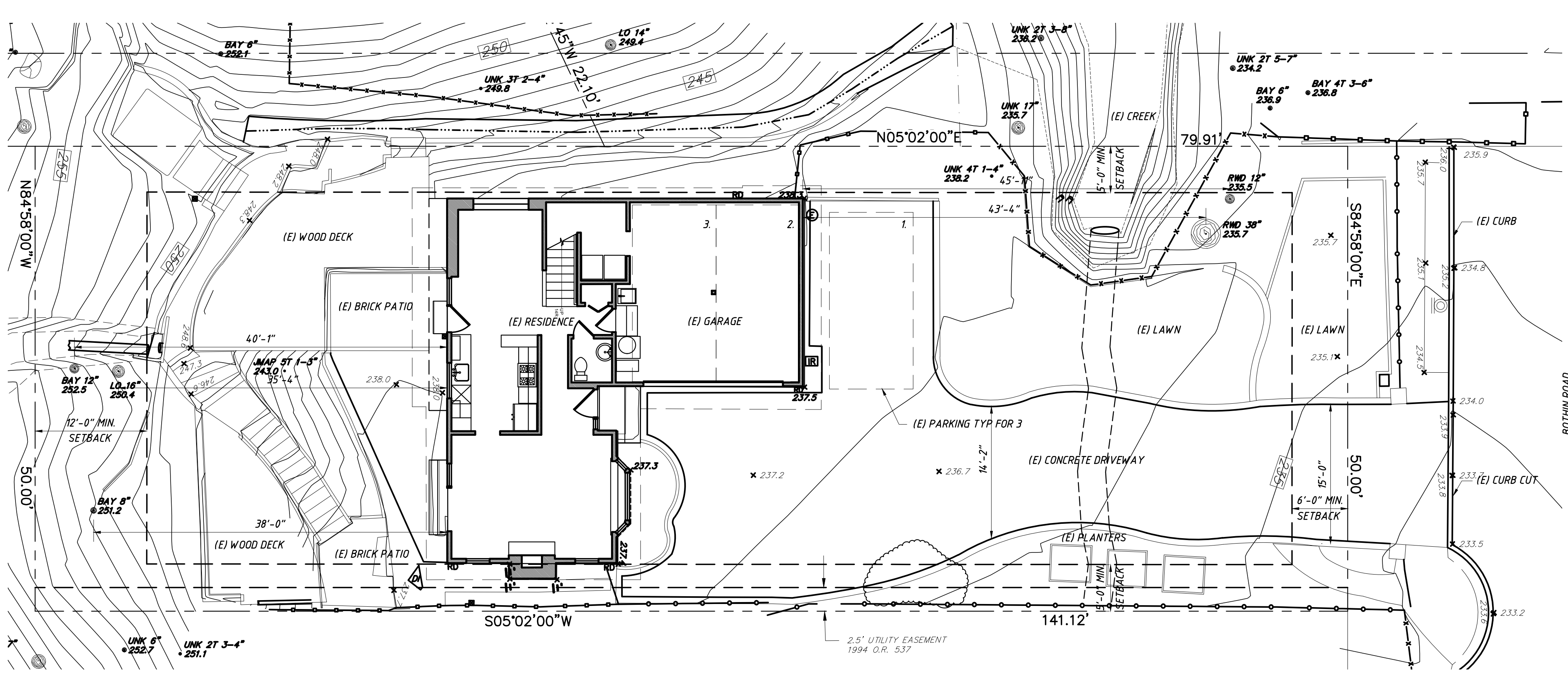
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SCALE
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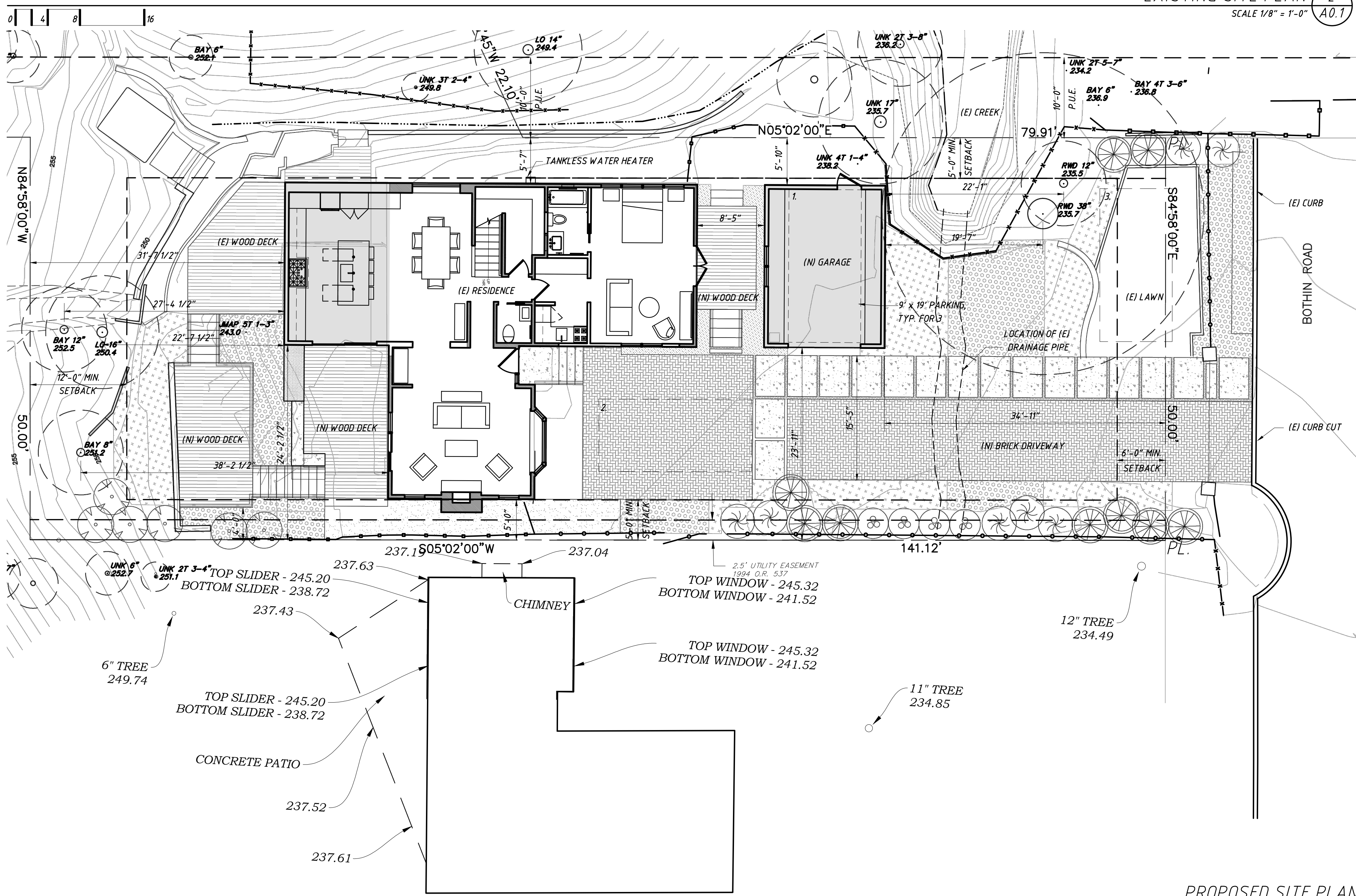
DATE
 november 10, 2022

SHEET NO.

A0.1



EXISTING SITE PLAN (2)
 SCALE 1/8" = 1'-0" A0.1



PROPOSED SITE PLAN (1)
 SCALE 1/8" = 1'-0" A0.1

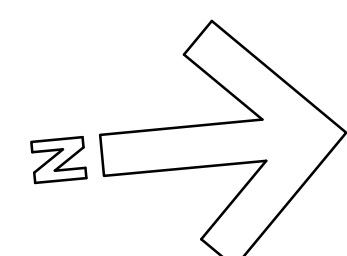
ALL TREES ON THE PROJECT SITE ARE DEPICTED

LEGEND

- WD FRAMING TO REMAIN
- NEW PARTITION
- 1-HR RATED CONSTRUCTION
- AREA OF ADDITION

DIMENSION KEY

- 6'-0" TO FRAMING
- 6'-0" TO CENTER
- 6'-0" TO FINISH
- ALIGN FACE OF FRAMING

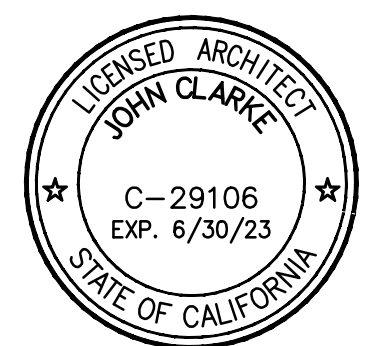


REVISIONS:
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tzortzis residence
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APPROVED BY:



DRAWING TITLE
 proposed site plan

JOB NUMBER

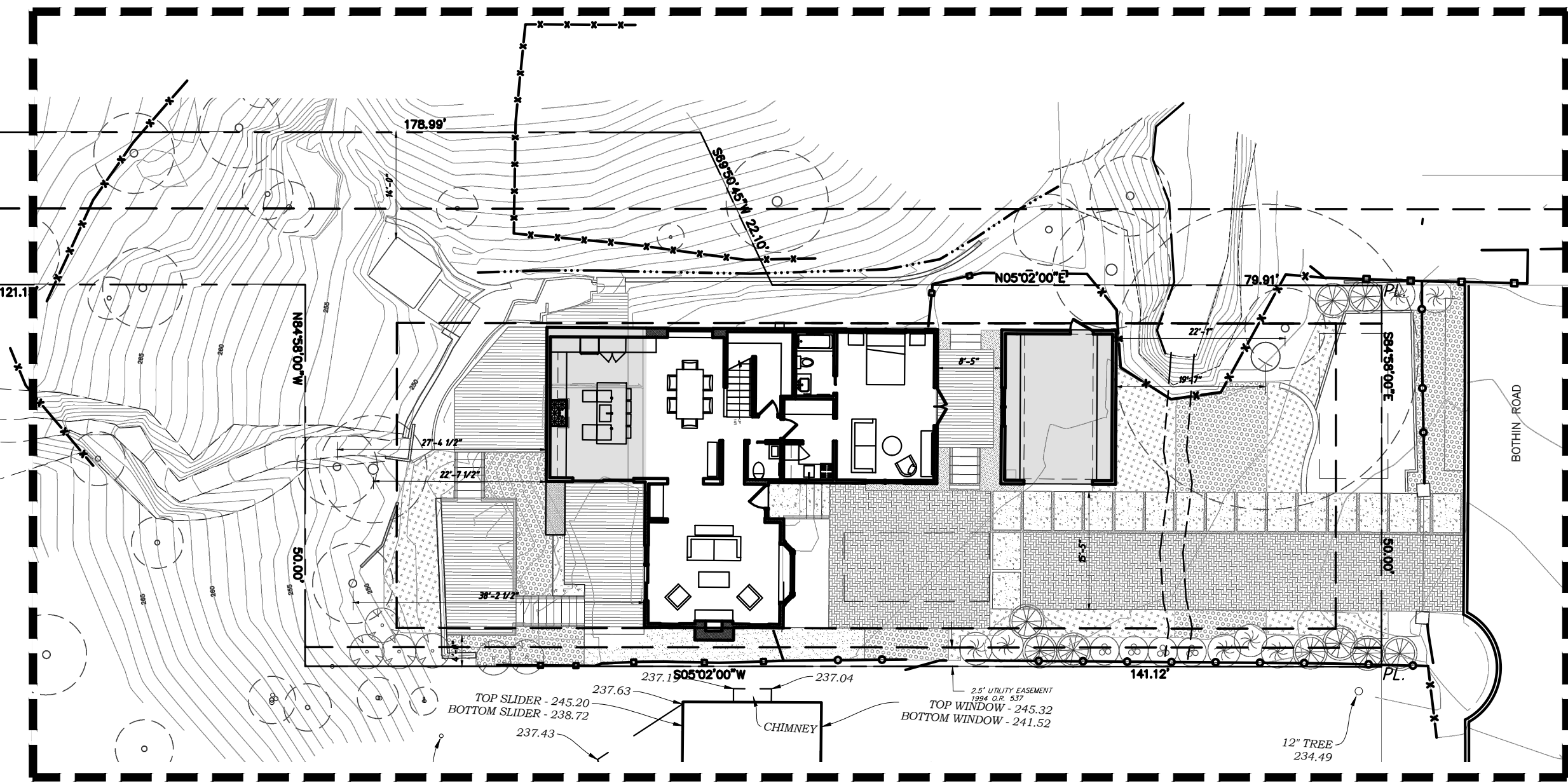
DRAWN BY
 jcl/cg/zer

SCALE
 as noted

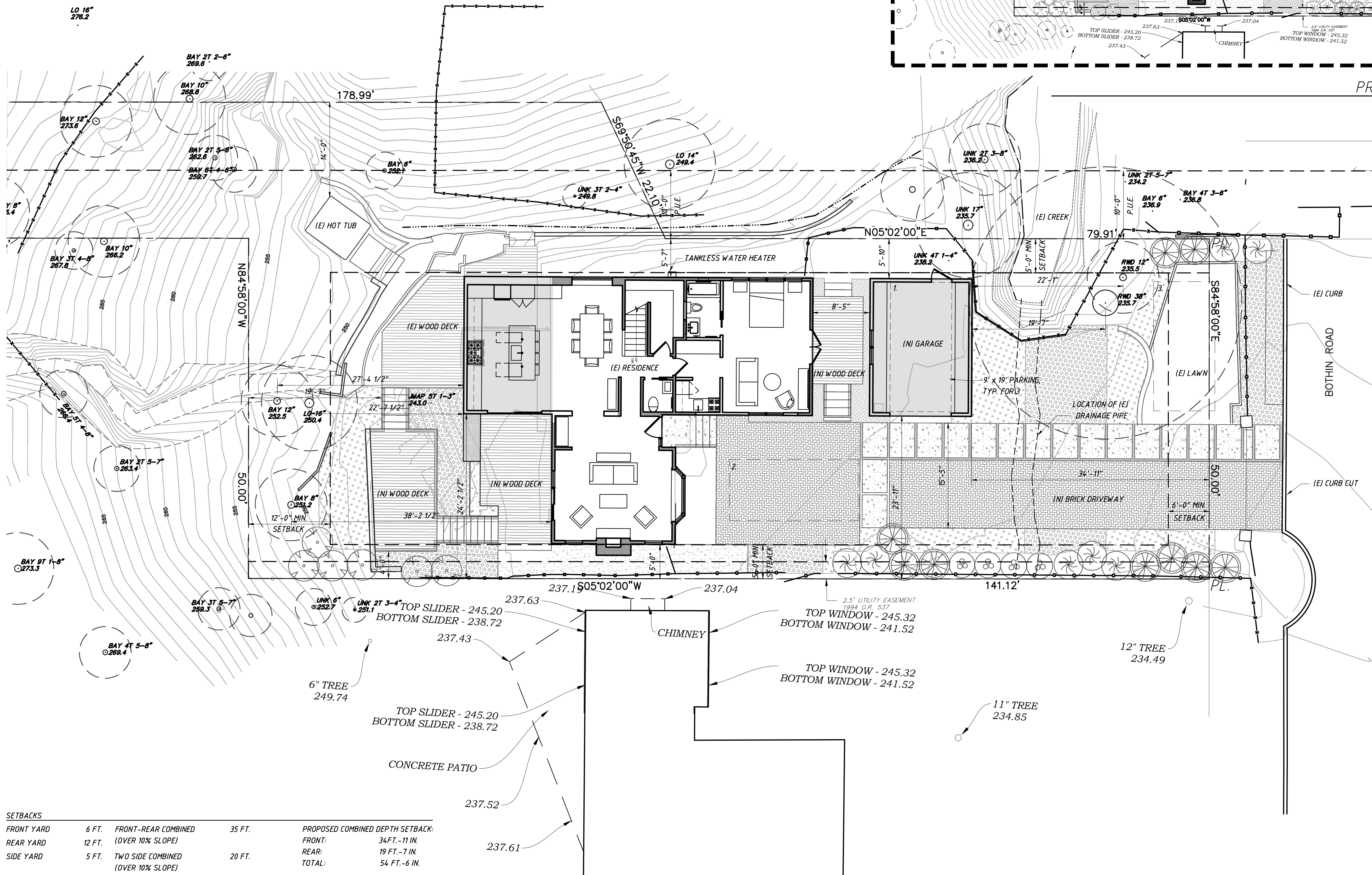
DATE
 november 10, 2022

SHEET NO.

A0.2



PROPOSED SITE KEY PLAN **2**
 SCALE 1/16" = 1'-0" **A0.2**



ALL TREES ON THE PROJECT SITE ARE DEPICTED

LEGEND

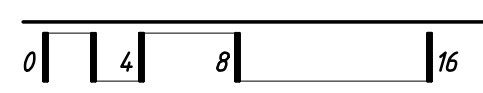
- WD FRAMING TO REMAIN
- NEW PARTITION
- 1-HR RATED CONSTRUCTION
- AREA OF ADDITION

DIMENSION KEY

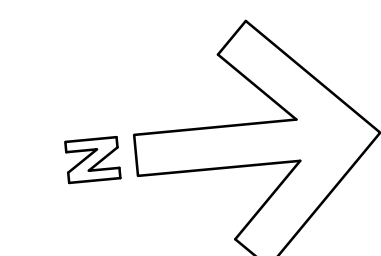
- 6'-0" TO FRAMING
- 6'-0" TO CENTER
- 6'-0" TO FINISH
- ALIGN FACE OF FRAMING

SETBACKS		PROPOSED COMBINED DEPTH SETBACK:	
FRONT YARD	6 FT.	FRONT-REAR COMBINED	35 FT.
REAR YARD	12 FT.	(OVER 10% SLOPE)	
SIDE YARD	5 FT.	TWO SIDE COMBINED	20 FT.
		(OVER 10% SLOPE)	
		TOTAL:	54 FT.-6 IN.

PROPOSED COMBINED SIDE SETBACK:
 EAST: NET 4 FT. WITH 2 FT. ALLOWABLE PROJECTION INTO SETBACK
 WEST: 14 FT.
 TOTAL: 20 FT.



PROPOSED SITE PLAN **1**
 SCALE 1/8" = 1'-0" **A0.2**



GENERAL DEMOLITION NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THIS PLAN, THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 SAN FRANCISCO BUILDING CODE CONSTRUCTION STANDARDS, AND ANY OTHER APPLICABLE CODES AND REGULATIONS OF THIS JURISDICTION.
2. CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL UTILITIES, UNDERGROUND OR OTHERWISE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
3. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND LOCATIONS OF ALL PROPERTY LINES, SETBACKS, EASEMENTS, AND BUILDING LOCATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. CONTRACTOR TO FIELD VERIFY ALL NEW OR EXISTING GRADE ELEVATIONS PRIOR TO, AND AFTER EXCAVATION. CONTRACTOR TO REGRADE PERIMETER OF STRUCTURE AS REQUIRED PER PLAN. SLOPE PERIMETER 2% AWAY FROM STRUCTURE TO PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM STRUCTURES.
5. CONSTRUCTION DRAWINGS OF ORIGINAL STRUCTURE NOT AVAILABLE.
6. (E) FIRST FLOOR CONCRETE SLAB ON GRADE AT GARAGE, WOOD FRAMED AT REAR OF STRUCTURE, VIF
7. (E) SECOND FLOOR WOOD FRAMED, TYPICALLY, VIF
8. (E) ROOF WOOD FRAMED, TYPICALLY, VIF
9. (E) WALLS WOOD FRAMED, TYPICALLY, VIF
10. DEMOLITION WORK SHOWN IS DIAGRAMMATIC AND GENERAL. NO ATTEMPT HAS BEEN MADE TO INDICATE ALL MATERIALS TO BE REMOVED. PERFORM ALL DEMOLITION WORK SHOWN AND REQUIRED FOR THE CONSTRUCTION OF THE PROJECT INCLUDING ALL ITEMS IN THE WAY OF NEW WORK WHETHER OR NOT SPECIFICALLY SHOWN.
11. REMOVE ALL NON-FUNCTIONAL OR ABANDONED PLUMBING, ELECTRICAL AND HVAC INFRASTRUCTURE LOCATED IN THE (E) FIRST FLOOR CEILING AND TERMINATE AS REQ'D. (VIF) ONLY FUNCTIONING INFRASTRUCTURE TO REMAIN, UON.

DEMOLITION PLAN KEY NOTES:

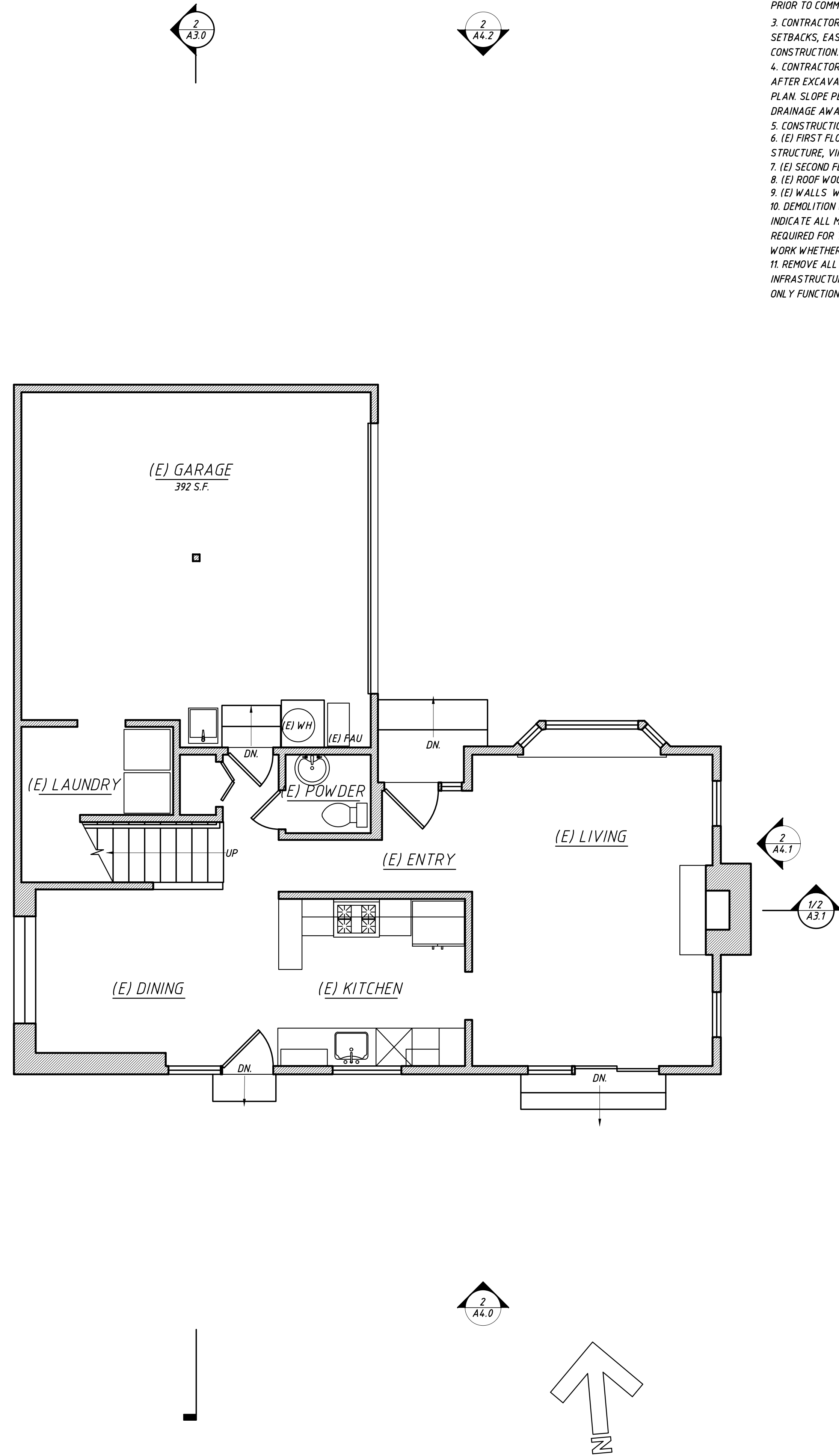
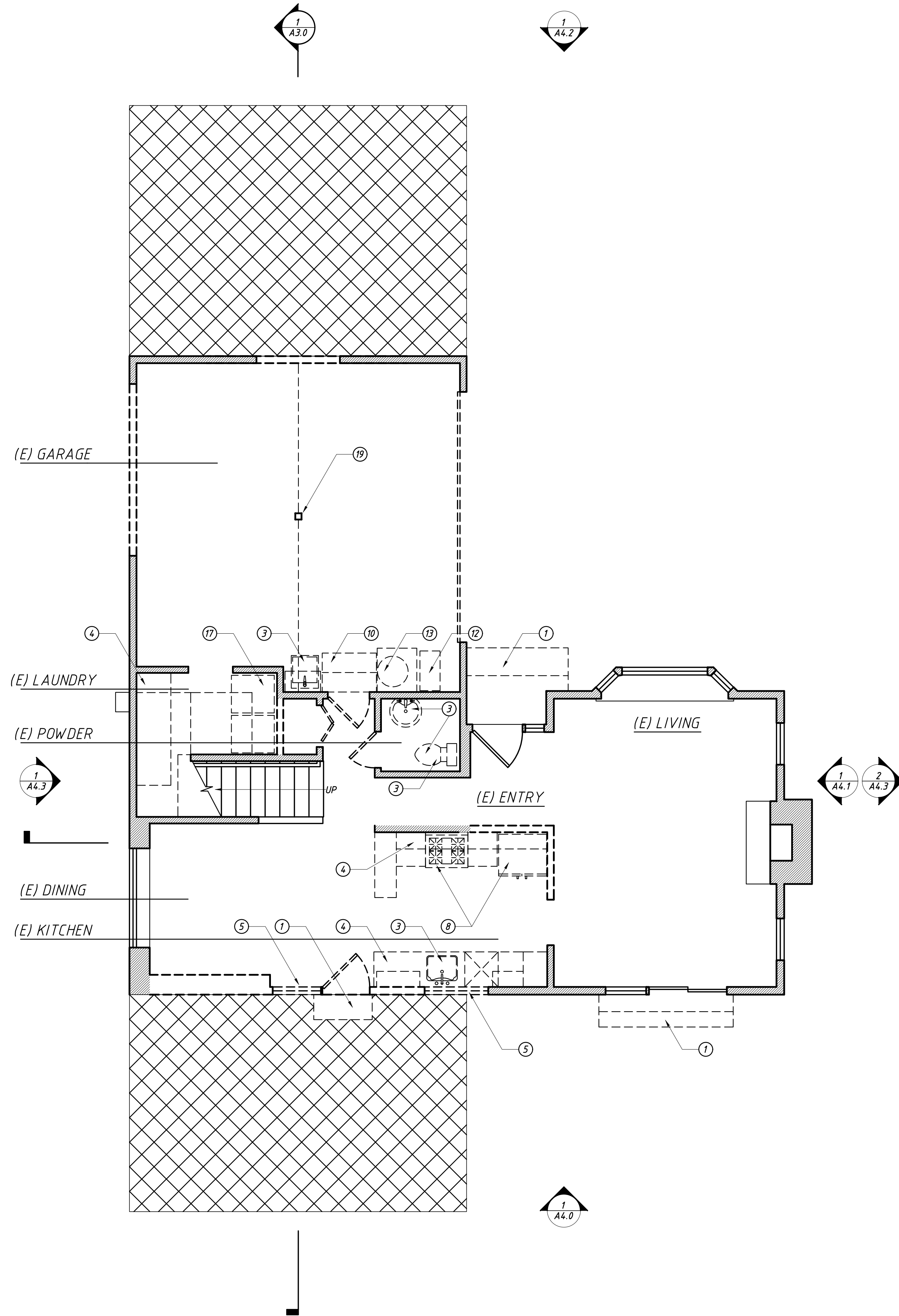
- ① (E) EXTERIOR STAIRS TO BE REMOVED
- ② (E) WALL TO BE REMOVED (NOT USED)
- ③ REMOVE (E) PLUMBING FIXTURES AND TERMINATE AS REQUIRED (TYP)
- ④ (E) CABINETS TO BE REMOVED
- ⑤ (E) WINDOW TO BE REMOVED
- ⑥ (E) DOOR TO BE REMOVED
- ⑦ (E) WASHER & DRYER TO BE REMOVED (NOT USED)
- ⑧ (E) KITCHEN APPLIANCES TO BE REMOVED
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- ⑭ (E) WOOD DECKING TO REMAIN
- ⑮ REMOVE (E) FIREPLACE & TERMINATE FLUE AS REQ'D
- ⑯ FOOTPRINT OF ADJACENT (E) BUILDING WITH WINDOW LOCATIONS AS SHOWN
- ⑰ (E) LAUNDRY MACHINES TO BE REMOVED
- ⑱ (E) WOOD FLOORING/SUPPORT TO BE REMOVED IN PREPARATION OF (N) SLAB, (SSD)
- ⑲ (E) STRUCTURE TO BE REMOVED

DIMENSION KEY

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- ALIGN FACE OF FRAMING

LEGEND

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- WALL TO BE REMOVED
- NEW PARTITION
- ADJACENT BUILDINGS
- CONCRETE (SSD)
- 1-HR RATED CONSTRUCTION
- CONC. SLAB/EARTH TO BE REMOVED
- FLOOR/ROOF FRAMING TO BE REMOVED



0 1 2 4 8
 AREA: (E) 735 S.F. + (E) 392 S.F. = 1,127 S.F.

PROPOSED FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"
 2 A1.0

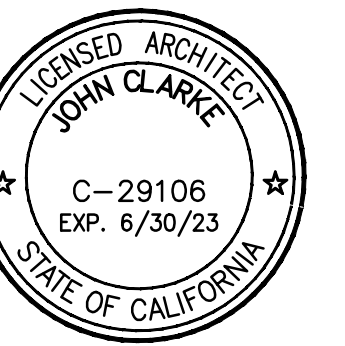
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 1 A1.0

tzortzis residence
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 fairfax, ca 94930
 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 proposed first floor demolition plan

JOB NUMBER

DRAWN BY
 jlcg/zer

SCALE
 as noted

DATE
 november 10, 2022

SHEET NO.

A1.0

REVISIONS:
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 2. design review submittal- september 12, 2022
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DEMOLITION PLAN KEY NOTES:

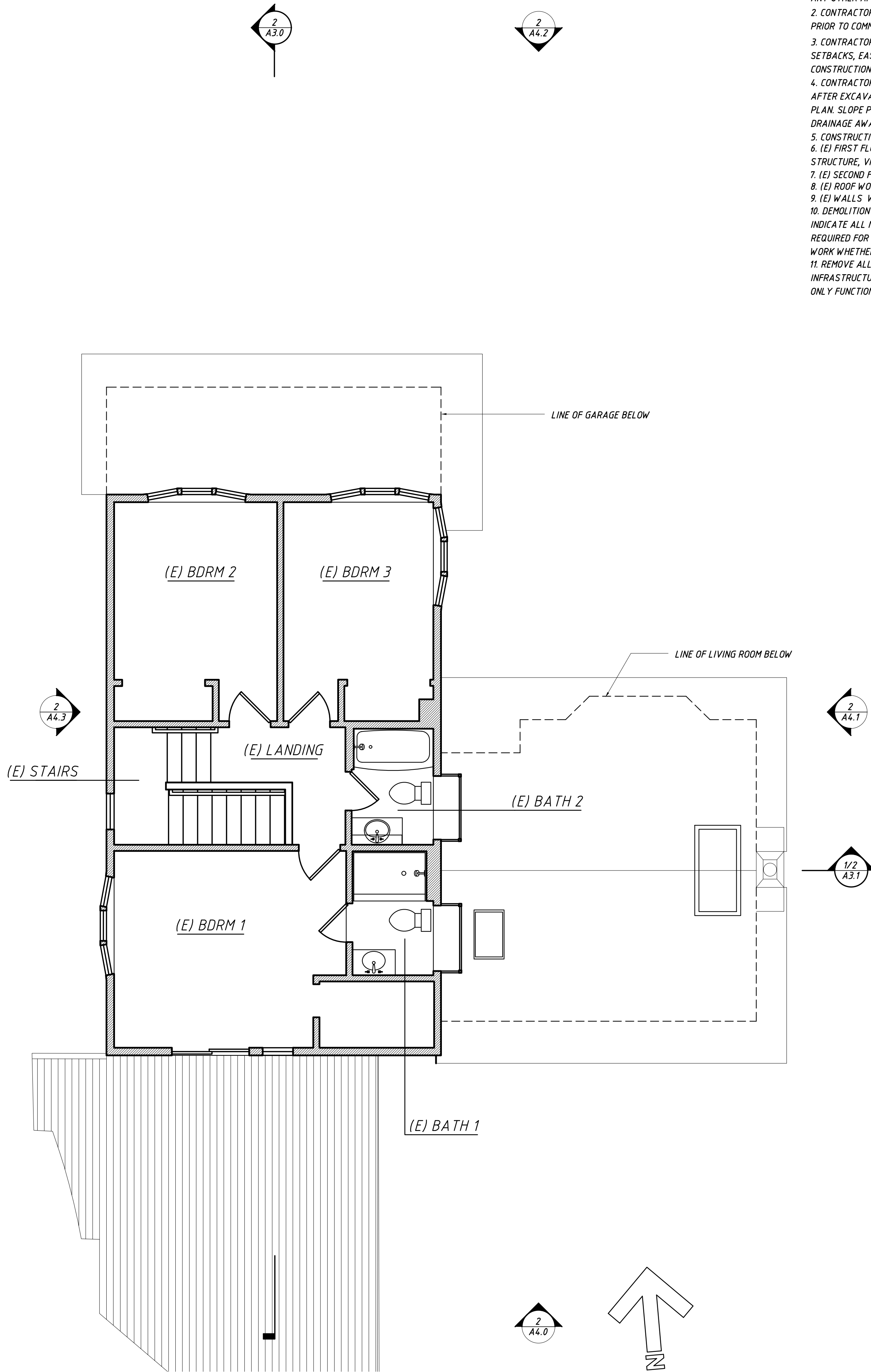
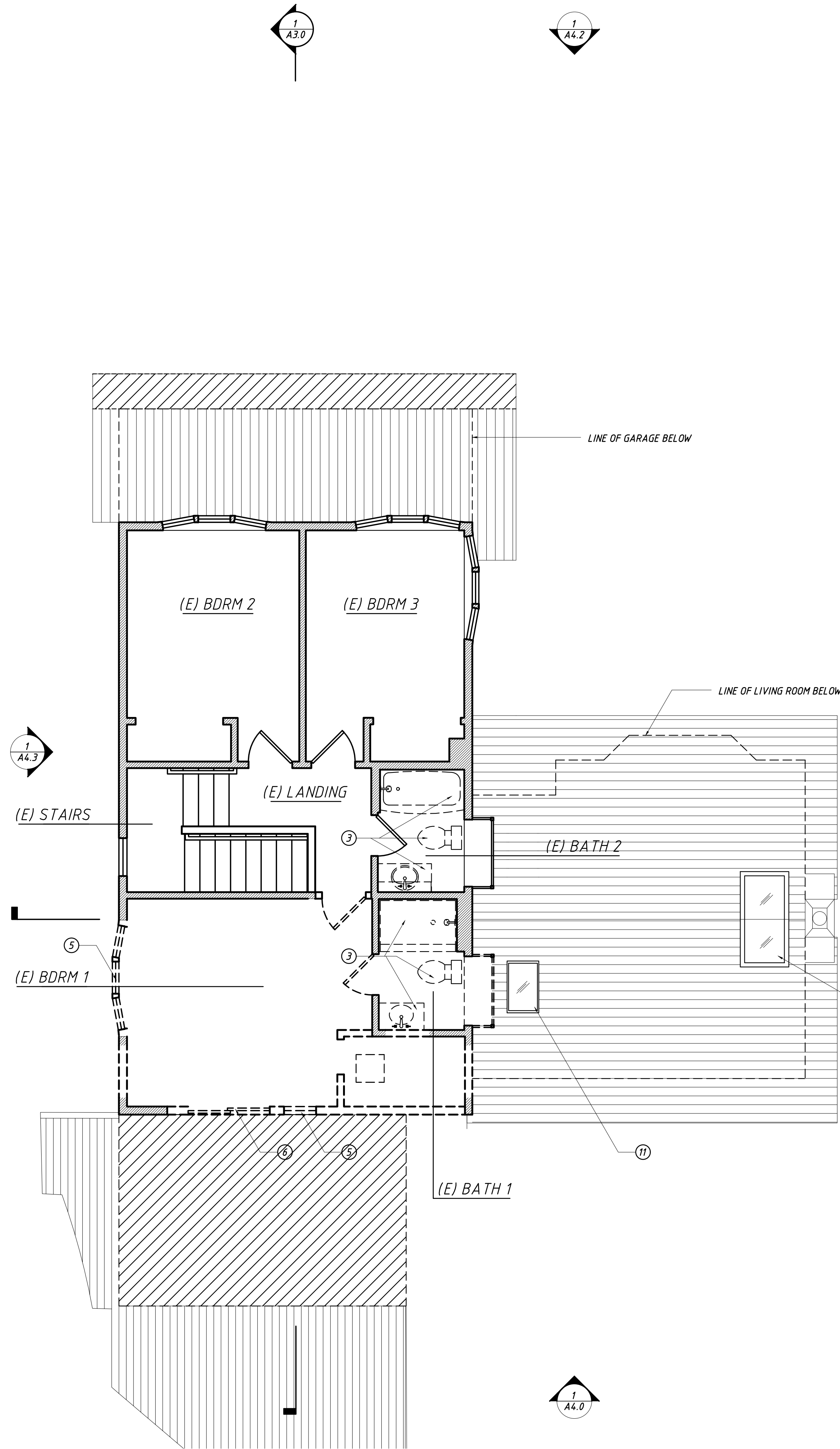
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0 1 2 4 8
 AREA: (E) 690 S.F.

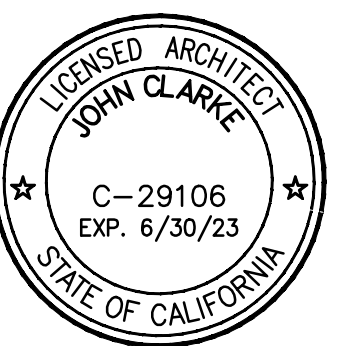
PROPOSED SECOND FLOOR DEMOLITION PLAN 2
 SCALE: 1/4" = 1'-0" A1.1

0 1 2 4 8
 AREA: (E) 690 S.F.

EXISTING SECOND FLOOR PLAN 1
 SCALE: 1/4" = 1'-0" A1.1



APPROVED BY:



DRAWING TITLE
 proposed second floor
 demolition plan

JOB NUMBER

DRAWN BY
 jlcg/zer

SCALE
 as noted

DATE
 november 10, 2022

SHEET NO.

A1.1

REVISIONS:
 1. pre-application submittal- december 20, 2021
 2. design review submittal- september 12, 2022
 3. design review revisions- november 10, 2022

GENERAL DEMOLITION NOTES:

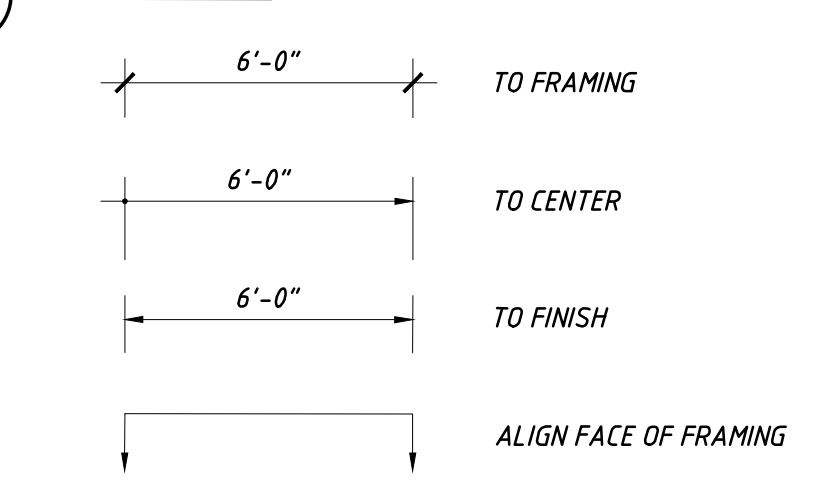
1. ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THIS PLAN, THE 2016 CALIFORNIA BUILDING CODE (CBC), 2016 SAN FRANCISCO BUILDING CODE CONSTRUCTION STANDARDS, AND ANY OTHER APPLICABLE CODES AND REGULATIONS OF THIS JURISDICTION.
2. CONTRACTOR TO FIELD VERIFY LOCATIONS OF ALL UTILITIES, UNDERGROUND OR OTHERWISE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.
3. CONTRACTOR TO FIELD VERIFY DIMENSIONS AND LOCATIONS OF ALL PROPERTY LINES, SETBACKS, EASEMENTS, AND BUILDING LOCATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
4. CONTRACTOR TO FIELD VERIFY ALL NEW OR EXISTING GRADE ELEVATIONS PRIOR TO, AND AFTER EXCAVATION. CONTRACTOR TO REGRADE PERIMETER OF STRUCTURE AS REQUIRED PER PLAN. SLOPE PERIMETER 2% AWAY FROM STRUCTURE TO PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM STRUCTURES.
5. CONSTRUCTION DRAWINGS OF ORIGINAL STRUCTURE NOT AVAILABLE.
6. (E) FIRST FLOOR CONCRETE SLAB ON GRADE AT GARAGE, WOOD FRAMED AT REAR OF STRUCTURE, VIF
7. (E) SECOND FLOOR WOOD FRAMED, TYPICALLY, VIF
8. (E) ROOF WOOD FRAMED, TYPICALLY, VIF
9. (E) WALLS WOOD FRAMED, TYPICALLY, VIF
10. DEMOLITION WORK SHOWN IS DIAGRAMMATIC AND GENERAL. NO ATTEMPT HAS BEEN MADE TO INDICATE ALL MATERIALS TO BE REMOVED. PERFORM ALL DEMOLITION WORK SHOWN AND REQUIRED FOR THE CONSTRUCTION OF THE PROJECT INCLUDING ALL ITEMS IN THE WAY OF NEW WORK WHETHER OR NOT SPECIFICALLY SHOWN.
11. REMOVE ALL NON-FUNCTIONAL OR ABANDONED PLUMBING, ELECTRICAL AND HVAC INFRASTRUCTURE LOCATED IN THE (E) FIRST FLOOR CEILING AND TERMINATE AS REQ'D. (VIF) ONLY FUNCTIONING INFRASTRUCTURE TO REMAIN, UON.

tzortzis residence
 197 bothin road
 fairfax, ca 94930
 apr: 001-082-46

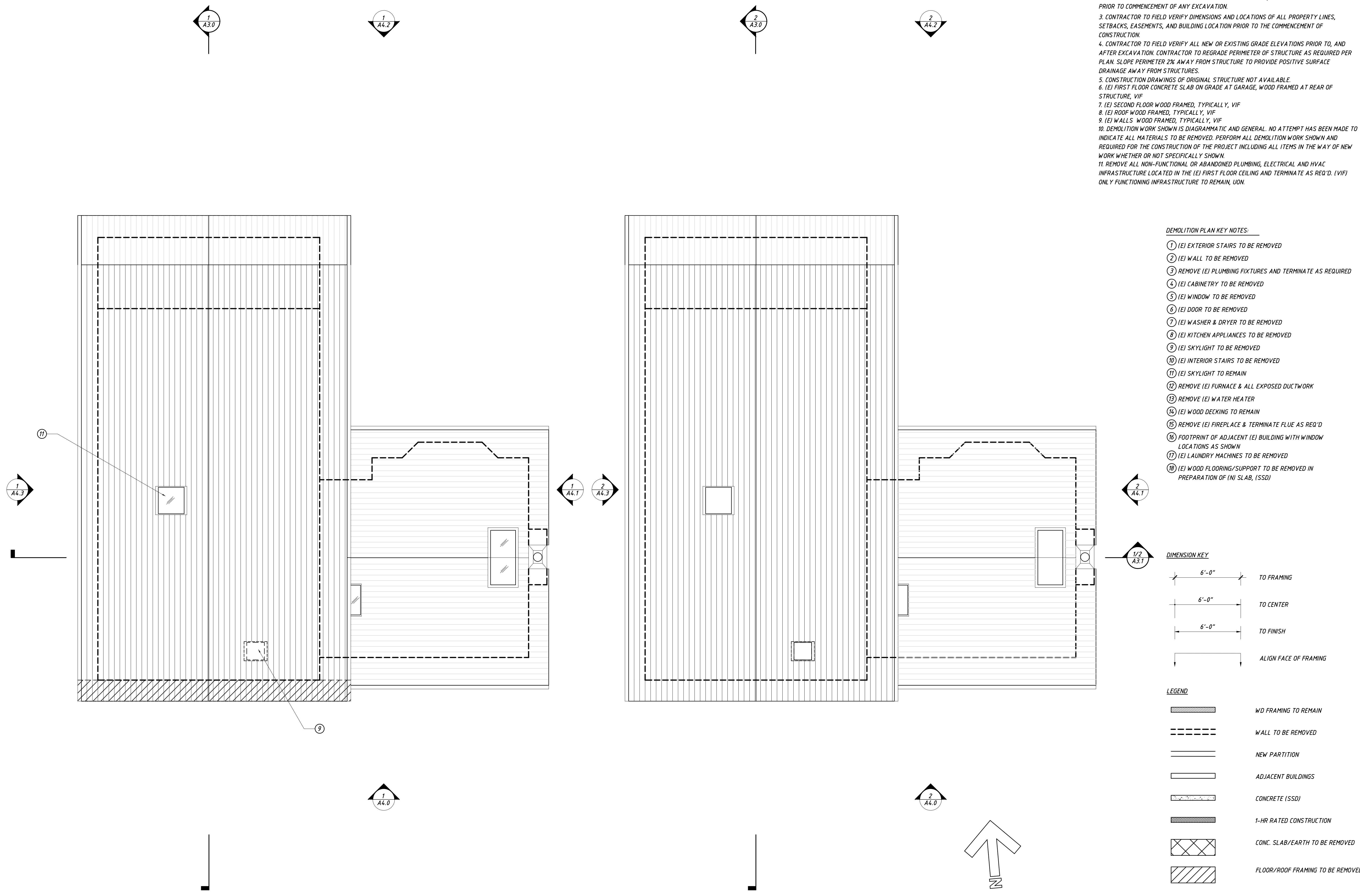
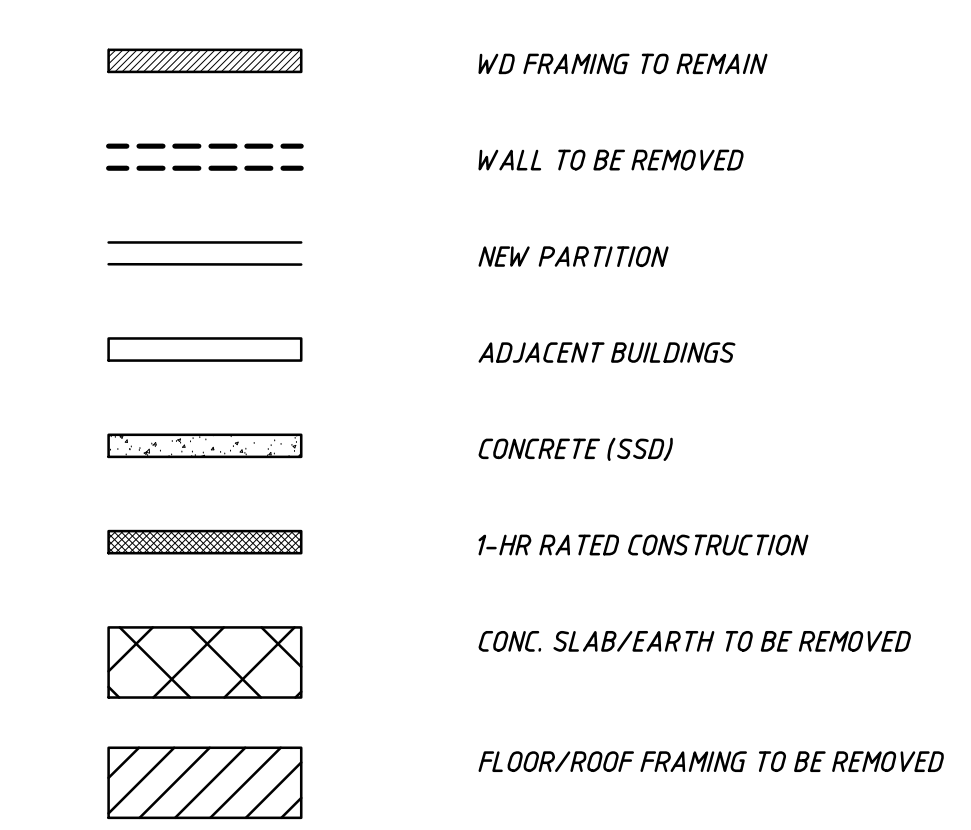
DEMOLITION PLAN KEY NOTES:

- ① (E) EXTERIOR STAIRS TO BE REMOVED
- ② (E) WALL TO BE REMOVED
- ③ REMOVE (E) PLUMBING FIXTURES AND TERMINATE AS REQUIRED
- ④ (E) CABINETS TO BE REMOVED
- ⑤ (E) WINDOW TO BE REMOVED
- ⑥ (E) DOOR TO BE REMOVED
- ⑦ (E) WASHER & DRYER TO BE REMOVED
- ⑧ (E) KITCHEN APPLIANCES TO BE REMOVED
- ⑨ (E) SKYLIGHT TO BE REMOVED
- ⑩ (E) INTERIOR STAIRS TO BE REMOVED
- ⑪ (E) SKYLIGHT TO REMAIN
- ⑫ REMOVE (E) FURNACE & ALL EXPOSED DUCTWORK
- ⑬ REMOVE (E) WATER HEATER
- ⑭ (E) WOOD DECKING TO REMAIN
- ⑮ REMOVE (E) FIREPLACE & TERMINATE FLUE AS REQ'D
- ⑯ FOOTPRINT OF ADJACENT (E) BUILDING WITH WINDOW LOCATIONS AS SHOWN
- ⑰ (E) LAUNDRY MACHINES TO BE REMOVED
- ⑱ (E) WOOD FLOORING/SUPPORT TO BE REMOVED IN PREPARATION OF (N) SLAB, (SSD)

DIMENSION KEY

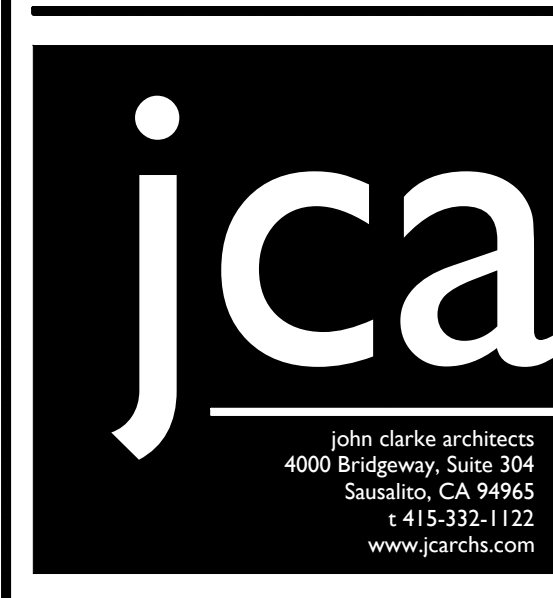


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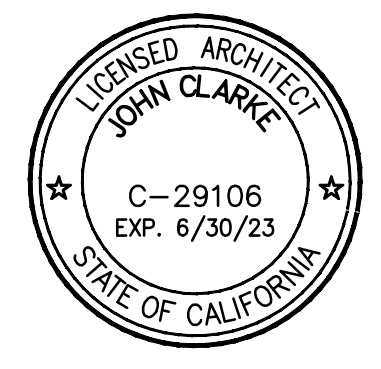


0 1 2 4 8 | **PROPOSED ROOF DEMOLITION PLAN** ②
 SCALE: 1/4" = 1'-0" | **A1.2**

0 1 2 4 8 | **EXISTING ROOF PLAN** ①
 SCALE: 1/4" = 1'-0" | **A1.2**



APPROVED BY:



DRAWING TITLE
 proposed roof demolition plan

JOB NUMBER

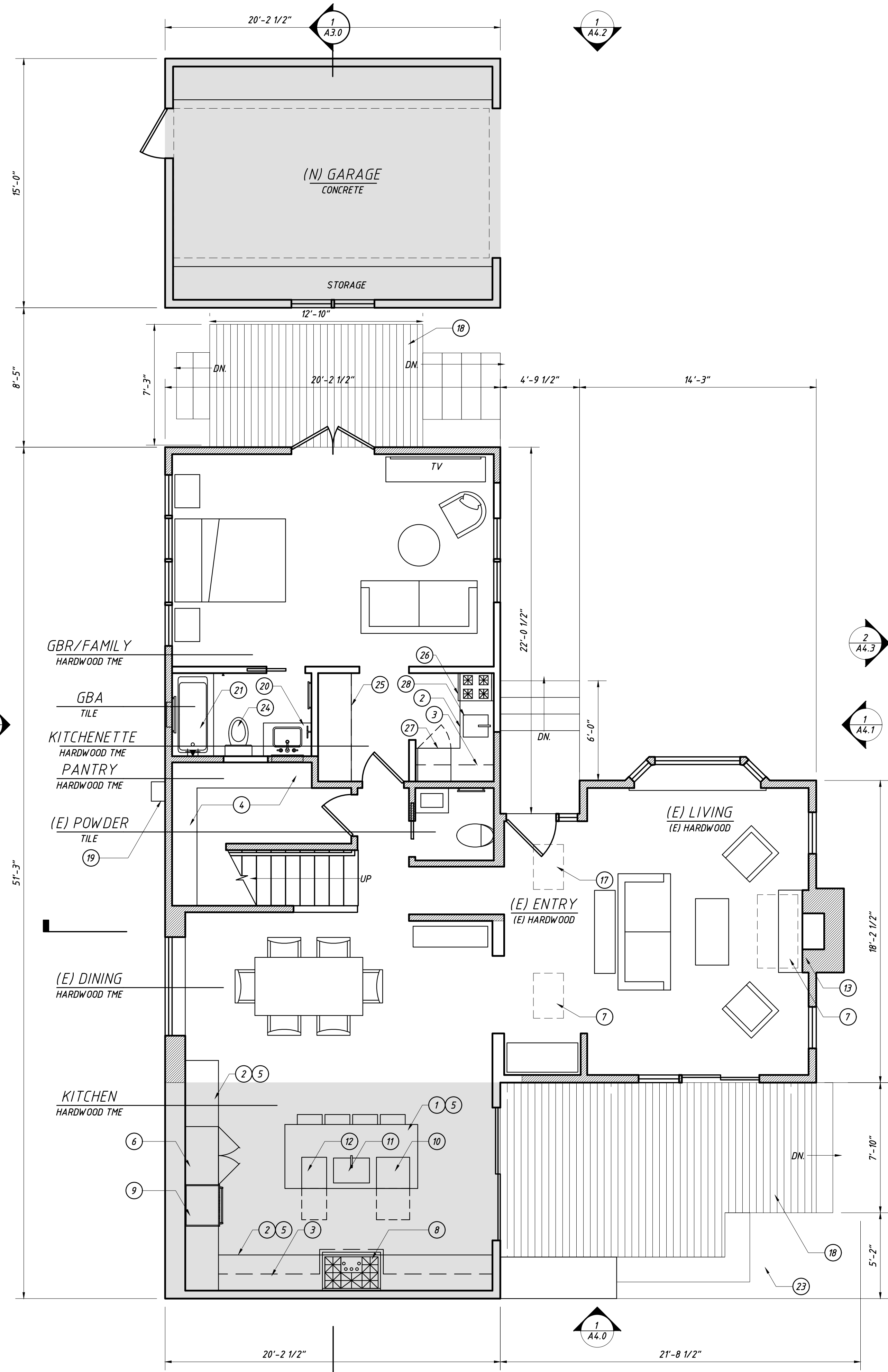
DRAWN BY
 jlcg/zer

SCALE
 as noted

DATE
 november 10, 2022

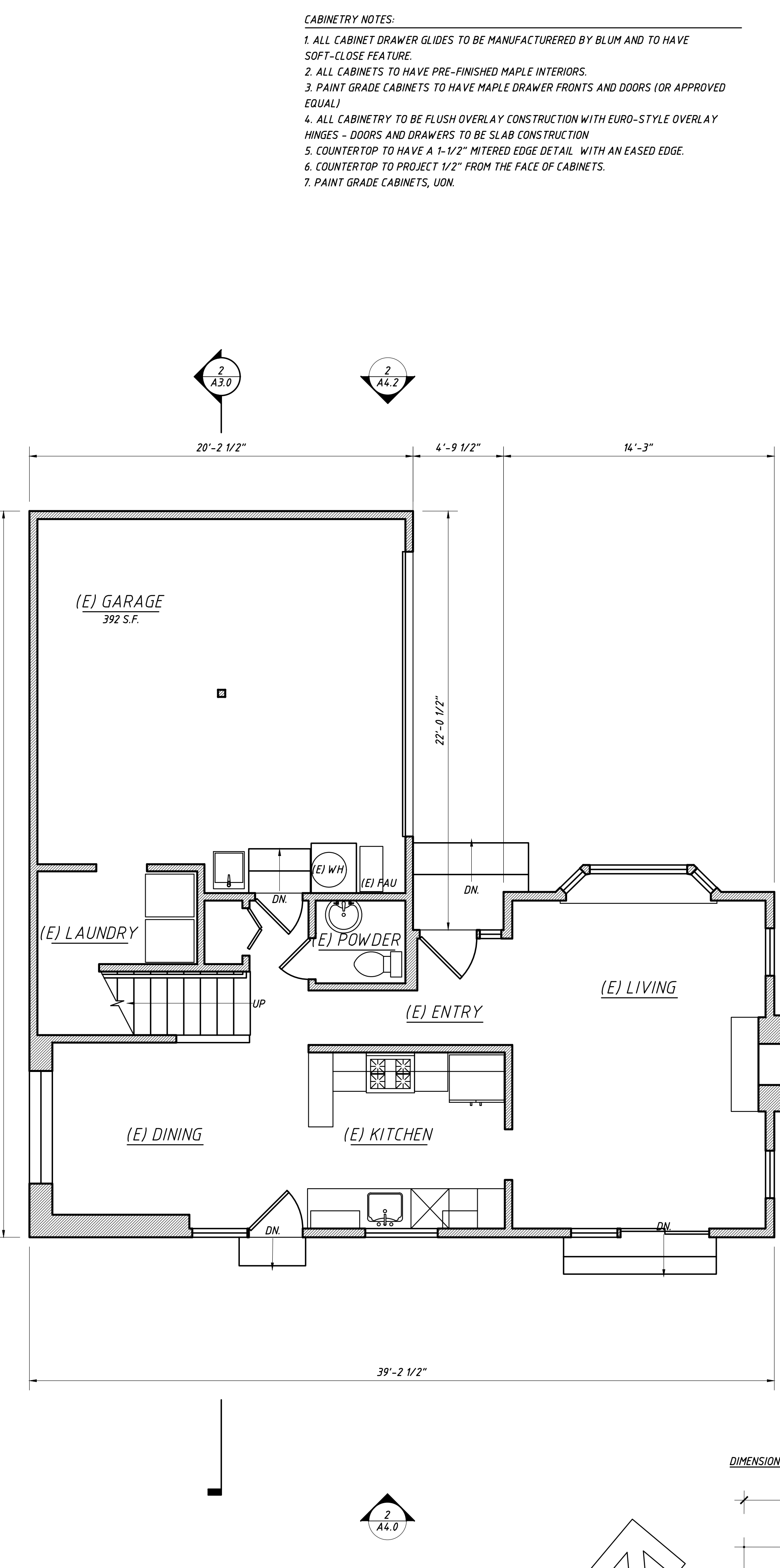
SHEET NO.

A1.2



PROPOSED FIRST FLOOR PLAN 2
 SCALE: 1/4" = 1'-0" A2.0

AREA: (E) 735 S.F. + 262 S.F. ADDITION = 992 S.F. HOUSE, 392 S.F. JADU, 302 S.F. GARAGE



EXISTING FIRST FLOOR PLAN 1
 SCALE: 1/4" = 1'-0" A2.0

AREA: (E) 735 S.F. + (E) 392 S.F. GARAGE = 1,127 S.F.

- CABINERY NOTES:**
1. ALL CABINET DRAWER GLIDES TO BE MANUFACTURED BY BLUM AND TO HAVE SOFT-CLOSE FEATURE.
 2. ALL CABINETS TO HAVE PRE-FINISHED MAPLE INTERIORS.
 3. PAINT GRADE CABINETS TO HAVE MAPLE DRAWER FRONTS AND DOORS (OR APPROVED EQUAL)
 4. ALL CABINERY TO BE FLUSH OVERLAY CONSTRUCTION WITH EURO-STYLE OVERLAY HINGES - DOORS AND DRAWERS TO BE SLAB CONSTRUCTION
 5. COUNTERTOP TO HAVE A 1-1/2" MITERED EDGE DETAIL WITH AN EASED EDGE.
 6. COUNTERTOP TO PROJECT 1/2" FROM THE FACE OF CABINETS.
 7. PAINT GRADE CABINETS, UON.

- GENERAL PLAN NOTES:**
1. CONTRACTOR SHALL BE RESPONSIBLE FOR CONSTRUCTION IN CONFORMANCE WITH THE APPROVED PLANS, SPECIFICATIONS AND ALL CODE REQUIREMENTS UNDER WHICH THE PLANS AND SPECIFICATIONS WERE APPROVED.
 2. ALL CONSTRUCTION SHALL COMPLY WITH THE 2019 CALIFORNIA BUILDING CODE (CBC), CALIFORNIA RESIDENTIAL CODE (CRC), CALIFORNIA PLUMBING, MECHANICAL AND ELECTRICAL CODES (CPC, CMC, CEC) AND ALL LOCAL CODES AND ORDINANCES.
 3. ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE PROCEEDING WITH THE WORK. ALL DIMENSIONS ARE TO FACE OF STUD UNLESS OTHERWISE INDICATED.
 4. DO NOT SCALE THESE DRAWINGS.
 5. IF THESE DRAWINGS ARE NOT 24" X 36", THEY HAVE REDUCED OR ENLARGED.
 6. (1") INDICATES ACTUAL SIZE. (1x) INDICATES NOMINAL SIZE.
 7. REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL INFORMATION
 8. COORDINATE ALL MECHANICAL, PLUMBING, AND ELECTRICAL DEVICES WITH ARCHITECTURAL INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS
 9. ALL ENERGY REQUIRED INSULATION SHALL MEET TITLE 24 REQUIREMENTS. THE TITLE 24 REQUIREMENTS DESCRIBED IN THE REPORT ARE PART OF THE CONTRACT REQUIREMENTS.
 10. ALL PIPING, VENTS AND FLUES THAT PENETRATE THE ROOF ARE TO BE LOCATED PER THE ROOF PLAN AND AS APPROVED BY THE ARCHITECT. VERIFY LOCATION PRIOR TO INSTALLATION.
 11. PROVIDE APPROVED BACKERBOARD (ANSI A118.9 OR ASTM C 1325) OR MORTAR BED PER TCA METHOD B4.11 OR B4.14, UNDER TILE AT SHOWER TO A HEIGHT OF 72" MINIMUM ABOVE THE DRAIN INLET. INTERIOR OF SHOWER SHALL ENCOMPASS A 30" MIN. CIRCLE. SHOWER HEADS SHALL BE LOCATED IN A POSITION SO THEY DO NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE SHOWER. TEMPERED GLASS ENCLOSURE. SHOWER SHALL BE CONSTRUCTED TO CONFORM TO CPC.
 12. PROVIDE 24 GAUGE COPPER FLASHING AT ALL EXTERIOR OPENINGS
 13. PROVIDE BATT INSULATION IN ROOF, IN WALLS AND FLOORS PER TITLE 24 REQUIREMENTS.
 14. PROVIDE 15# FELT UNDER ALL EXTERIOR SIDING
 15. ALL NOTES DESCRIBE NEW CONDITIONS UNLESS OTHERWISE NOTED AS (E) OR EXISTING
 16. PROVIDE FIRE BLOCKING AT ALL CEILINGS, FLOORS, FURRED DOWN CEILINGS, SHOWERS AND AT CONCEALED DRAFT OPENINGS NOT TO EXCEED TEN FEET MAXIMUM.
 17. THERE SHALL BE A LANDING OR FLOOR ON EACH SIDE OF EACH EXTERIOR DOOR. THE WIDTH SHALL NOT BE LESS THAN THE WIDTH OF THE DOOR SERVED, FULLY OPENED DOORS SHALL NOT REDUCE THE REQUIRED DIMENSION OF THE LANDING BY MORE THAN 7". LANDING LENGTH IN DIRECTION OF TRAVEL SHALL BE A MIN. OF 36". LANDINGS SHALL BE DESIGNED TO SHED WATER A MIN 1/4" PER FOOT AWAY FROM HOUSE. CRC 311.3. LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 7-3/4" BELOW THE TOP OF THE THRESHOLD PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR PER CRC SECTION 311.3

- PLAN KEY NOTES:**
- 1 ISLAND WITH CABINETS AND COUNTER SEATING
 - 2 36" TALL PAINT GRADE CABINETS, (SEE CABINERY NOTES)
 - 3 UPPER CABINETS, (SEE CABINERY NOTES)
 - 4 PANTRY CABINETS
 - 5 STONE SLAB
 - 6 42" REFRIGERATOR & FREEZER
 - 7 (E) SKYLIGHT ABOVE
 - 8 42" RANGE WITH EXHAUST HOOD
 - 9 30" DOUBLE WALL OVEN
 - 10 DISHWASHER
 - 11 UNDERMOUNT SINK IN 36" CABINET WITH FAUCET & GARBAGE DISPOSAL
 - 12 TRASH/RECYCLING PULL OUT
 - 13 (E) MASONRY FIREPLACE AND HEARTH TO REMAIN
 - 14 WASHER
 - 15 DRYER
 - 16 STORAGE SHELVING
 - 17 (N) SKYLIGHT ABOVE
 - 18 (N) WOOD DECK AND STEPS TO BELOW
 - 19 TANKLESS WATER HEATER
 - 20 BATHROOM SINK IN CABINET WITH FAUCET
 - 21 BATHTUB & BATH/SHOWER CONTROLS
 - 22 SHOWER WITH CONTROLS
 - 23 (N) CONCRETE SEAT WALL
 - 24 TOILET
 - 25 FULL HEIGHT CABINERY
 - 26 20" ELECTRIC RANGE
 - 27 24" COMPACT REFRIGERATOR
 - 28 16" SINK

DIMENSION KEY

6'-0"	TO FRAMING
6'-0"	TO CENTER
6'-0"	TO FINISH
	ALIGN FACE OF FRAMING

LEGEND

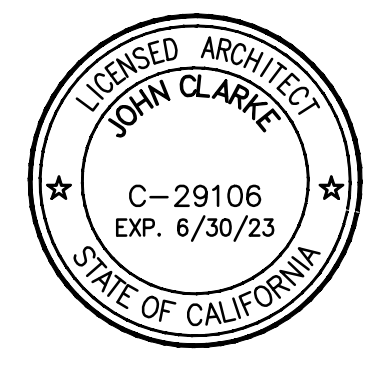
	WD FRAMING TO REMAIN
	NEW PARTITION
	1-HR RATED CONSTRUCTION
	AREA OF ADDITION

REVISIONS:
 1. pre-application submittal- december 20, 2021
 2. design review submittal- september 12, 2022
 3. design review revisions- november 10, 2022

tzortzis residence
 197 bothin road
 fairfax, ca 94930
 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 existing and proposed first floor plan

JOB NUMBER

DRAWN BY
 jcl/cg/zer

SCALE
 as noted

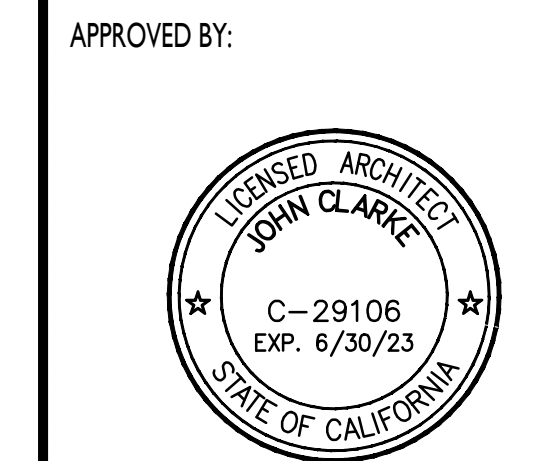
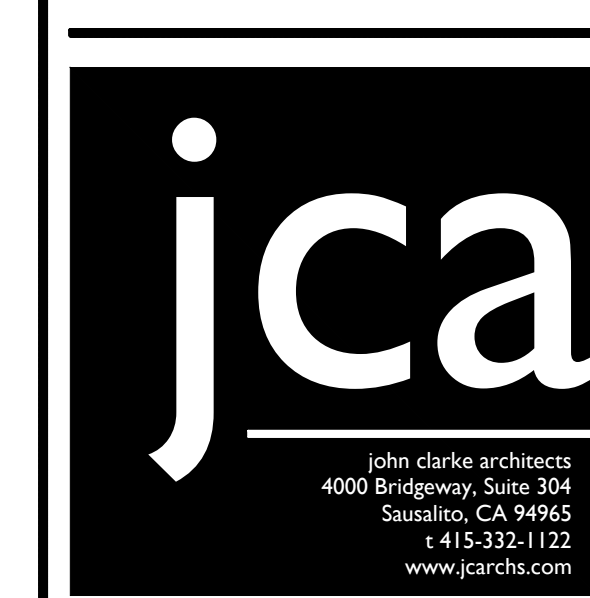
DATE
 november 10, 2022

SHEET NO.

A2.0

REVISIONS:
 1. pre-application submittal- december 20, 2021
 2. design review submittal- september 12, 2022
 3. design review revisions- november 10, 2022

tzortzis residence
 197 bothin road
 fairfax, ca 94930
 apr: 001-082-46



DRAWING TITLE
 existing and proposed second floor plan

JOB NUMBER

DRAWN BY
 jcl/cg/zer

SCALE
 as noted

DATE
 november 10, 2022

SHEET NO.

A2.1

CABINETRY NOTES:

1. ALL CABINET DRAWER GLIDES TO BE MANUFACTURED BY BLUM AND TO HAVE SOFT-CLOSE FEATURE.
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PLAN KEY NOTES:

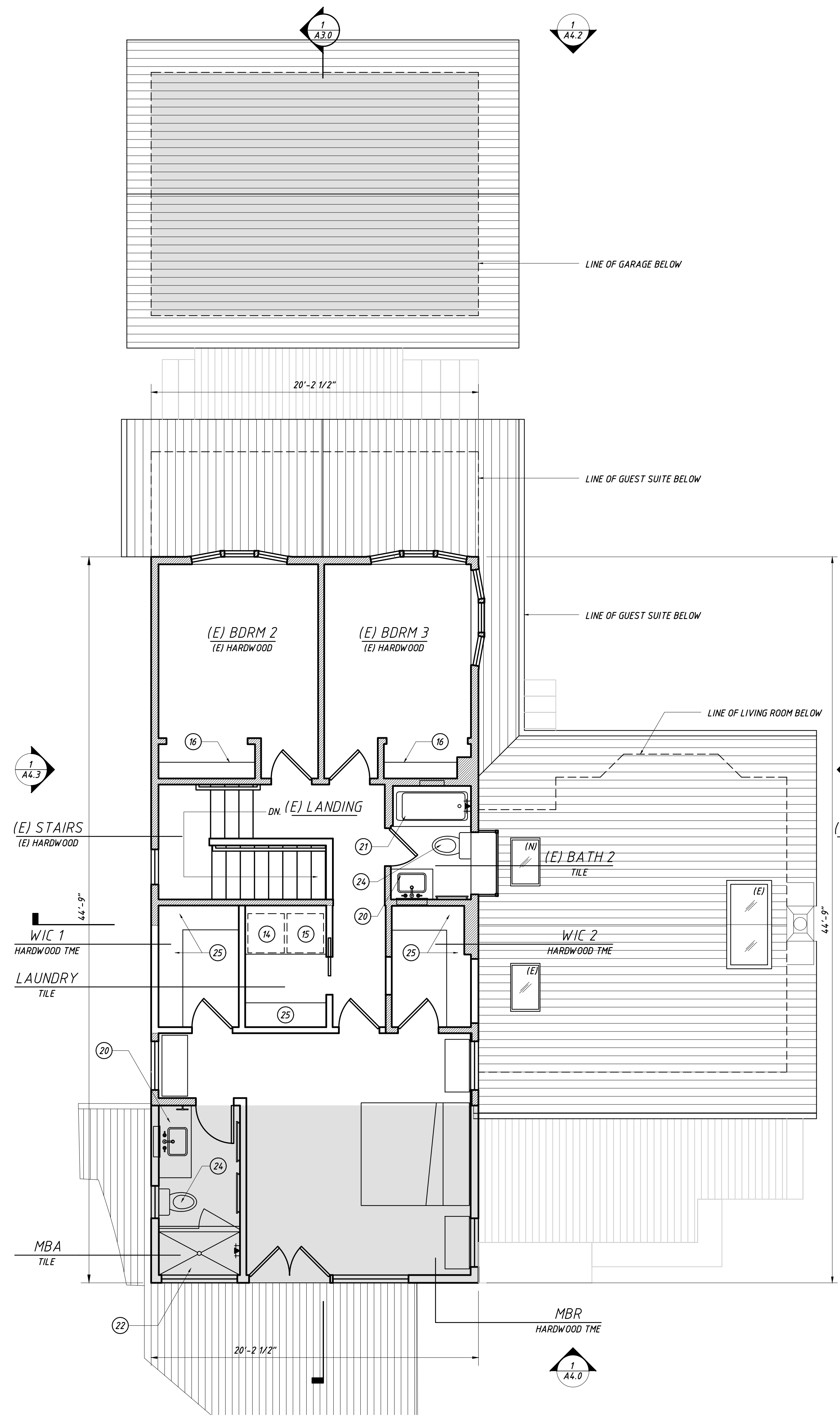
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DIMENSION KEY

- 6'-0" TO FRAMING
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- 6'-0" TO FINISH
- ALIGN FACE OF FRAMING

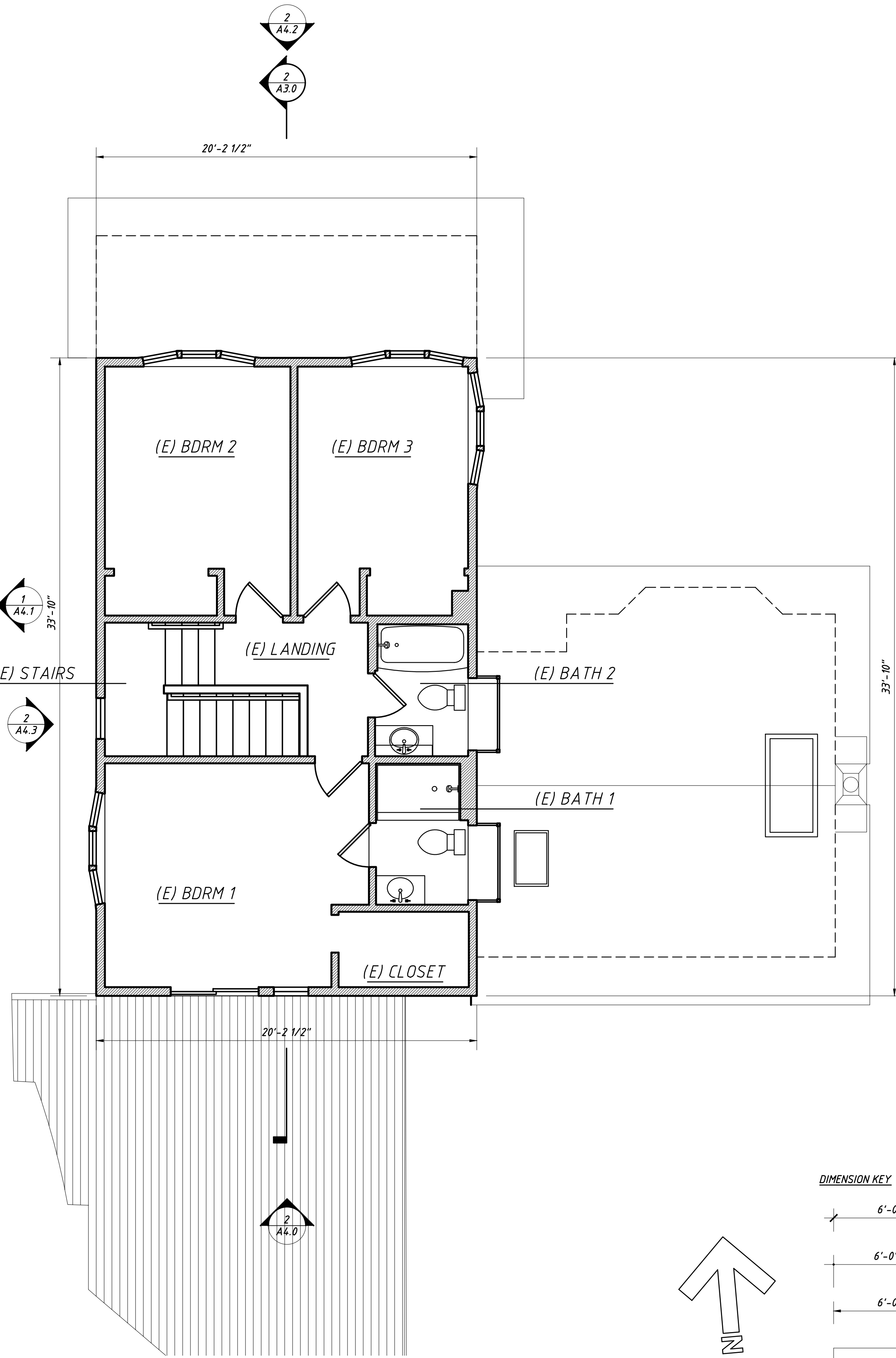
LEGEND

- WD FRAMING TO REMAIN
- NEW PARTITION
- 1-HR RATED CONSTRUCTION
- AREA OF ADDITION



PROPOSED SECOND FLOOR PLAN (2) A2.1
 SCALE: 1/4" = 1'-0"

AREA: (E) 690 S.F. + 221 S.F. ADDITION = 911 S.F.



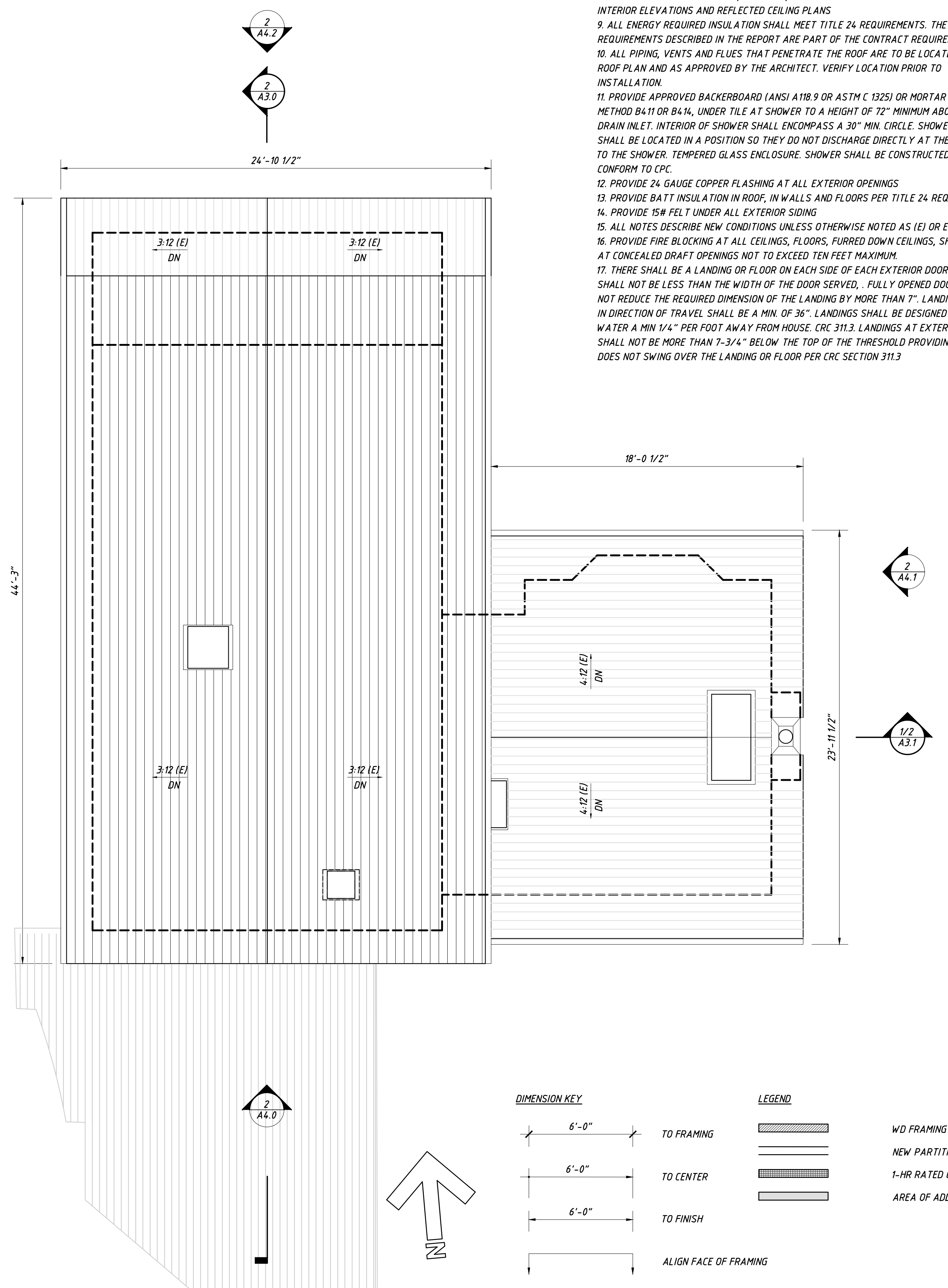
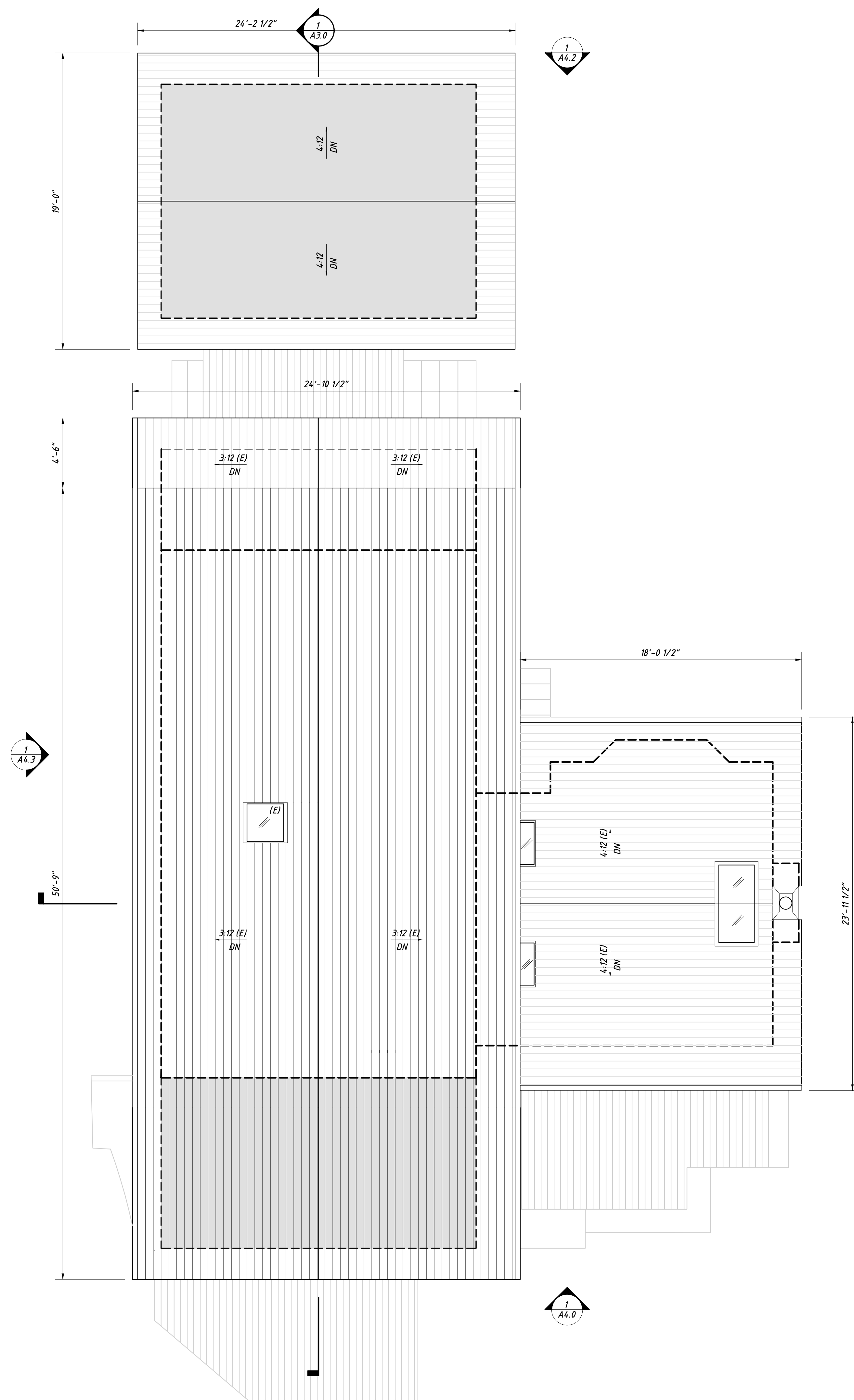
EXISTING SECOND FLOOR PLAN (1) A2.1
 SCALE: 1/4" = 1'-0"

AREA: (E) 690 S.F.

REVISIONS:
 1. pre-application submittal- december 20, 2021
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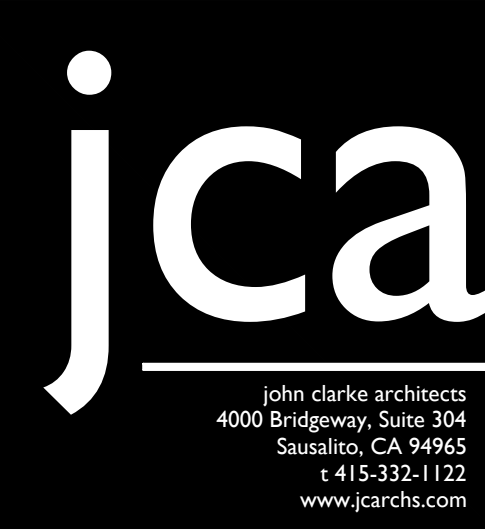
DIMENSION KEY

- 6'-0" TO FRAMING
- 6'-0" TO CENTER
- 6'-0" TO FINISH
- ALIGN FACE OF FRAMING

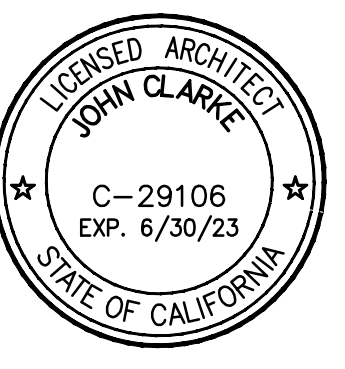
LEGEND

- WD FRAMING TO REMAIN
- NEW PARTITION
- 1-HR RATED CONSTRUCTION
- AREA OF ADDITION

tzortzis residence
 197 bothin road
 fairfax, ca 94930
 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 existing and proposed roof plan

JOB NUMBER

DRAWN BY
 jcl/cg/zer

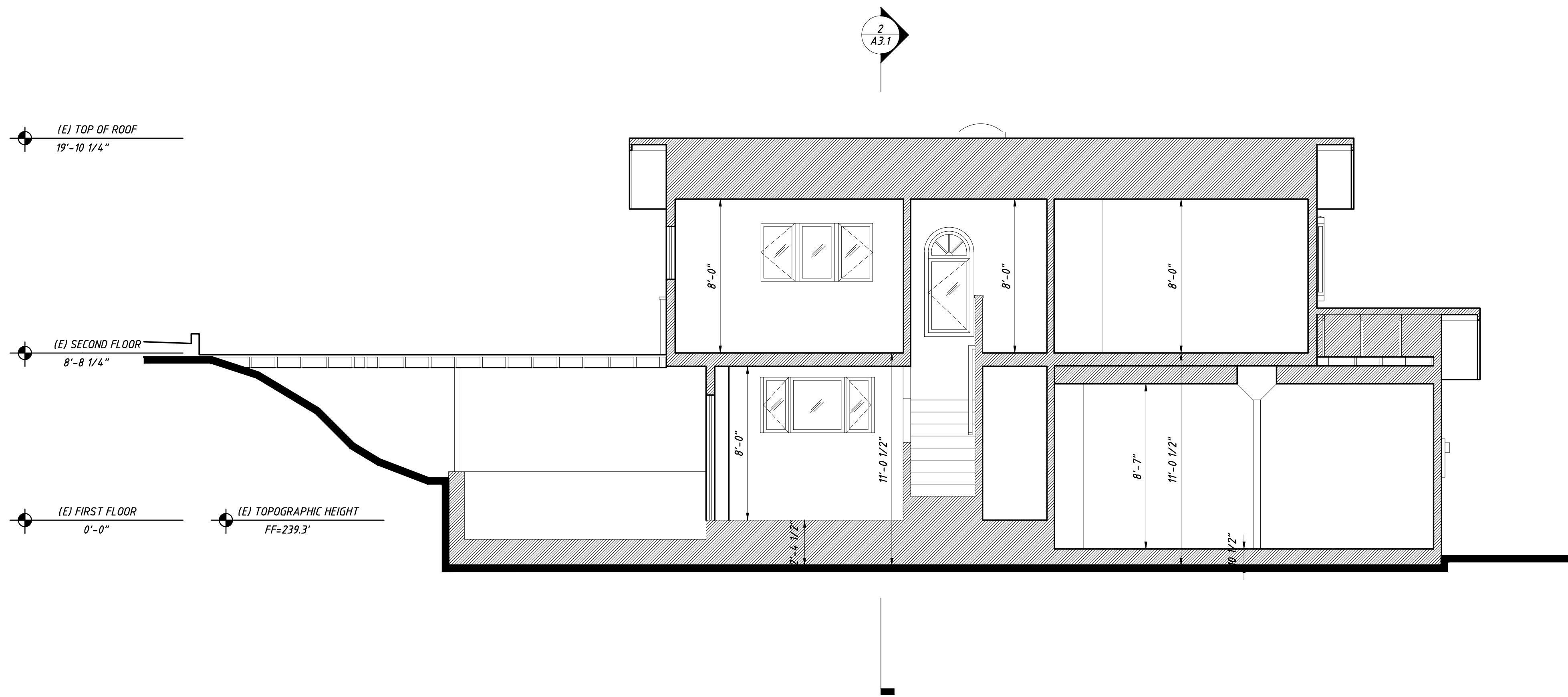
SCALE
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DATE
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SHEET NO.

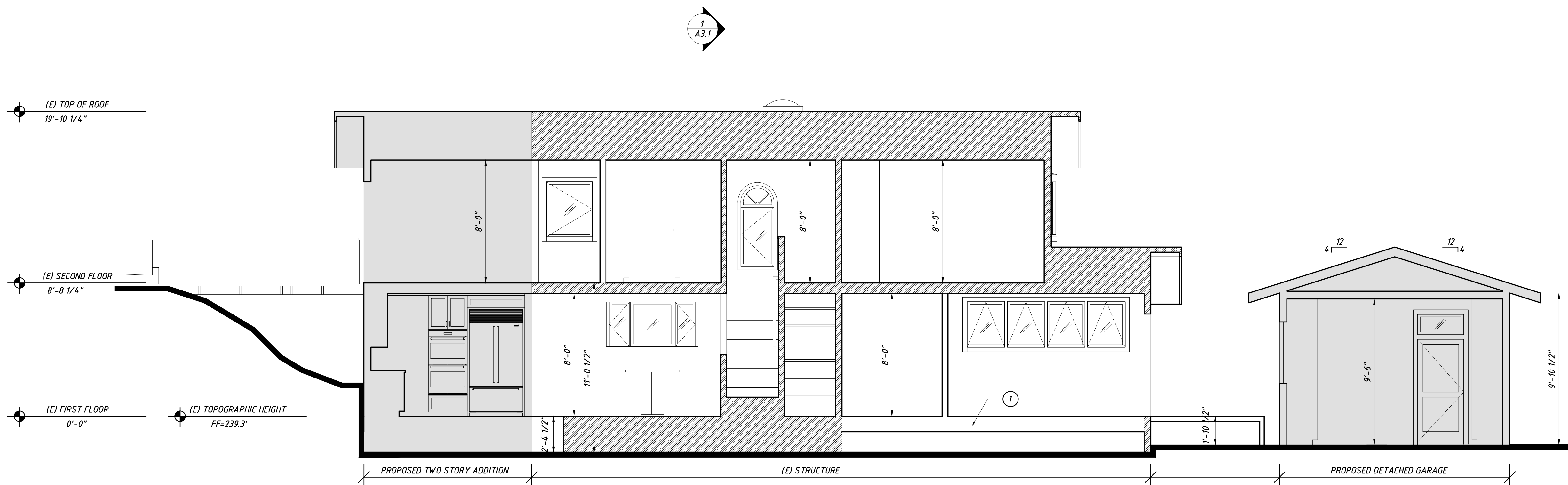
A2.2

tzortzis residence
 197 bothin road
 fairfax, ca 94930
 apr: 001-082-46



EXISTING BUILDING SECTION 2
 SCALE 1/4" = 1'-0" A3.0

SECTION KEYNOTES:
 ① WD FRAMING TO MATCH (E) F.F. ELEVATION



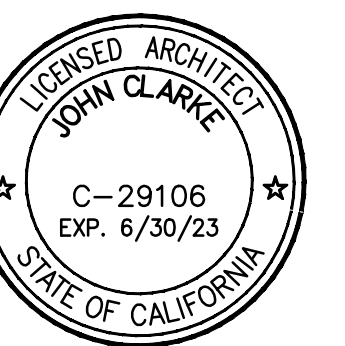
PROPOSED BUILDING SECTION 1
 SCALE 1/4" = 1'-0" A3.0

LEGEND
 [Hatched pattern] WD FRAMING TO REMAIN
 [Solid gray] NEW PARTITION
 [Dotted pattern] 1-HR RATED CONSTRUCTION
 [Light gray] AREA OF ADDITION

DIMENSION KEY
 [Arrow pointing to framing] 6'-0" TO FRAMING
 [Arrow pointing to center] 6'-0" TO CENTER
 [Arrow pointing to finish] 6'-0" TO FINISH
 [Arrow pointing to framing] ALIGN FACE OF FRAMING



APPROVED BY:



DRAWING TITLE
 existing and proposed building section

JOB NUMBER

DRAWN BY
 jcl/cg/zer

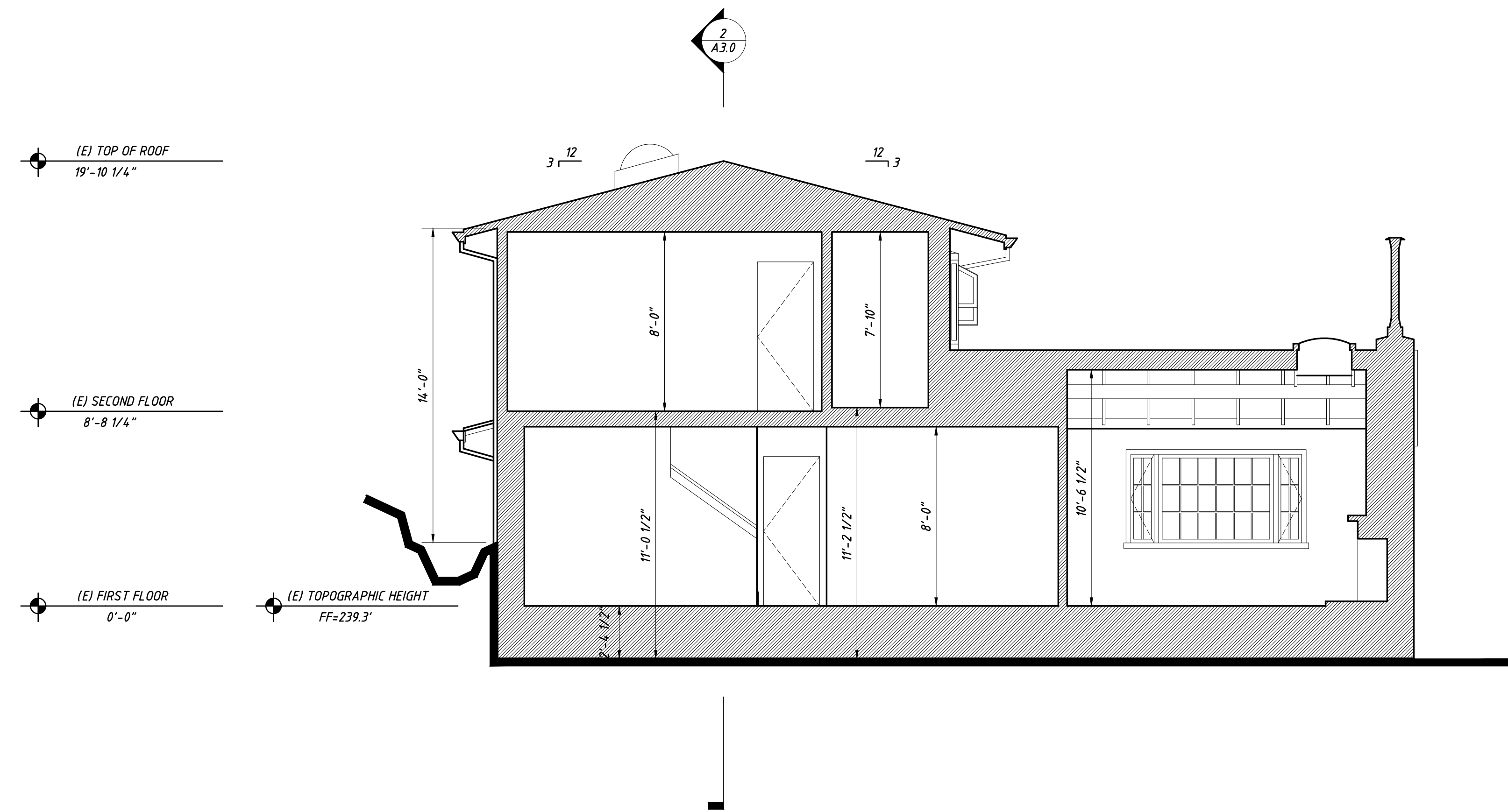
SCALE
 as noted

DATE
 november 10, 2022

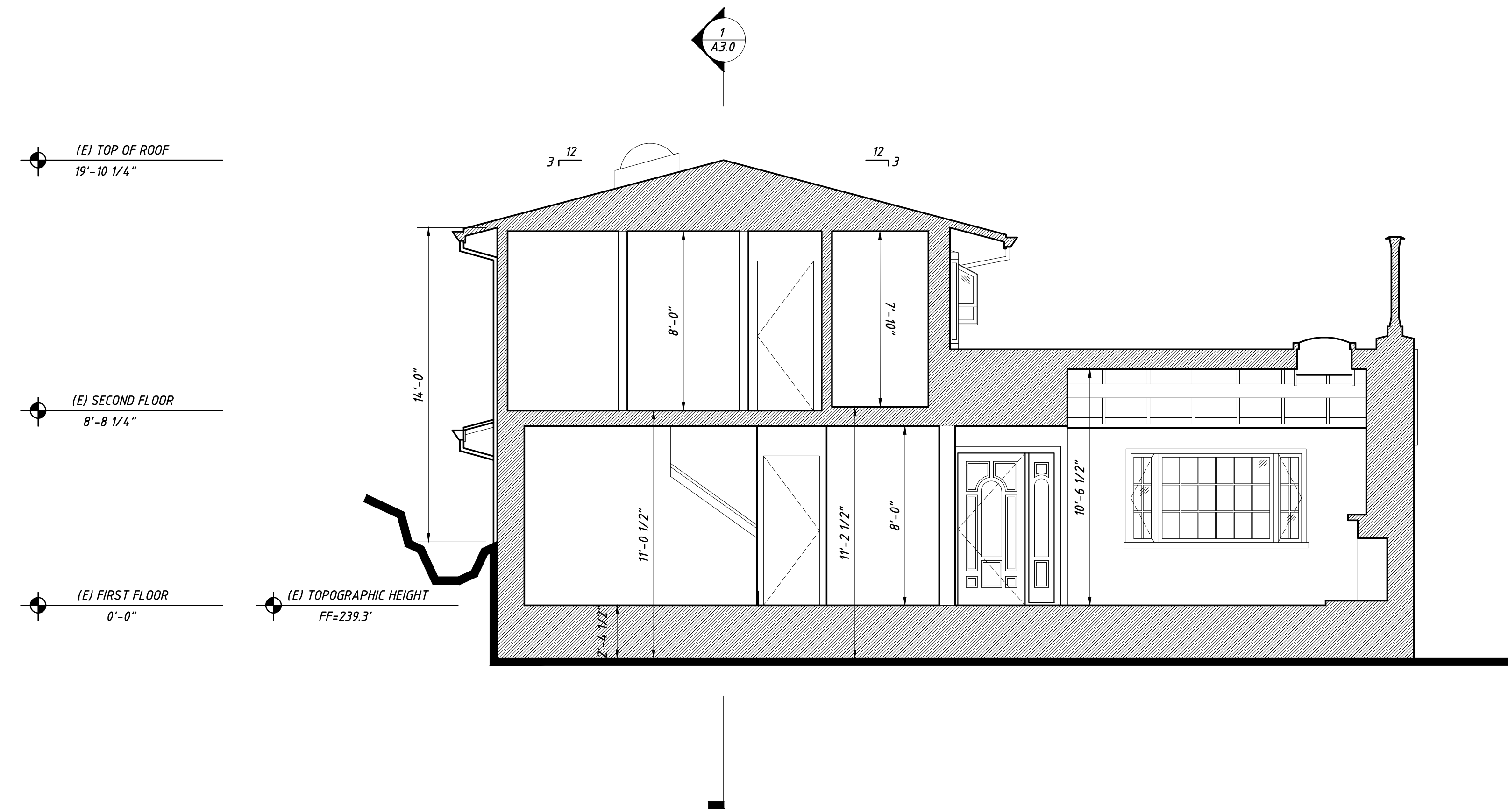
SHEET NO.

A3.0

REVISIONS:
 1. pre-application submittal- december 20, 2021
 2. design review submittal- september 12, 2022
 3. design review revisions- november 10, 2022



EXISTING BUILDING SECTION 2
 SCALE 1/4" = 1'-0" A3.1



PROPOSED BUILDING SECTION 1
 SCALE 1/4" = 1'-0" A3.1

SECTION KEYNOTES:
 ① WD FRAMING TO MATCH (E) F.F. ELEVATION

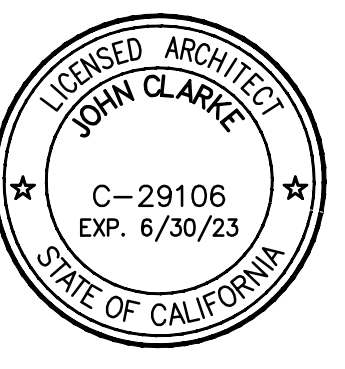
LEGEND
 [Hatched pattern] WD FRAMING TO REMAIN
 [Solid line] NEW PARTITION
 [Dotted pattern] 1-HR RATED CONSTRUCTION
 [Light gray fill] AREA OF ADDITION

DIMENSION KEY
 [Arrow with 6'-0"] TO FRAMING
 [Arrow with 6'-0"] TO CENTER
 [Arrow with 6'-0"] TO FINISH
 [Arrow] ALIGN FACE OF FRAMING

tzortzis residence
 197 bothin road
 fairfax, ca 94930
 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 existing and proposed building section

JOB NUMBER

DRAWN BY
 jlc/cg/zer

SCALE
 as noted

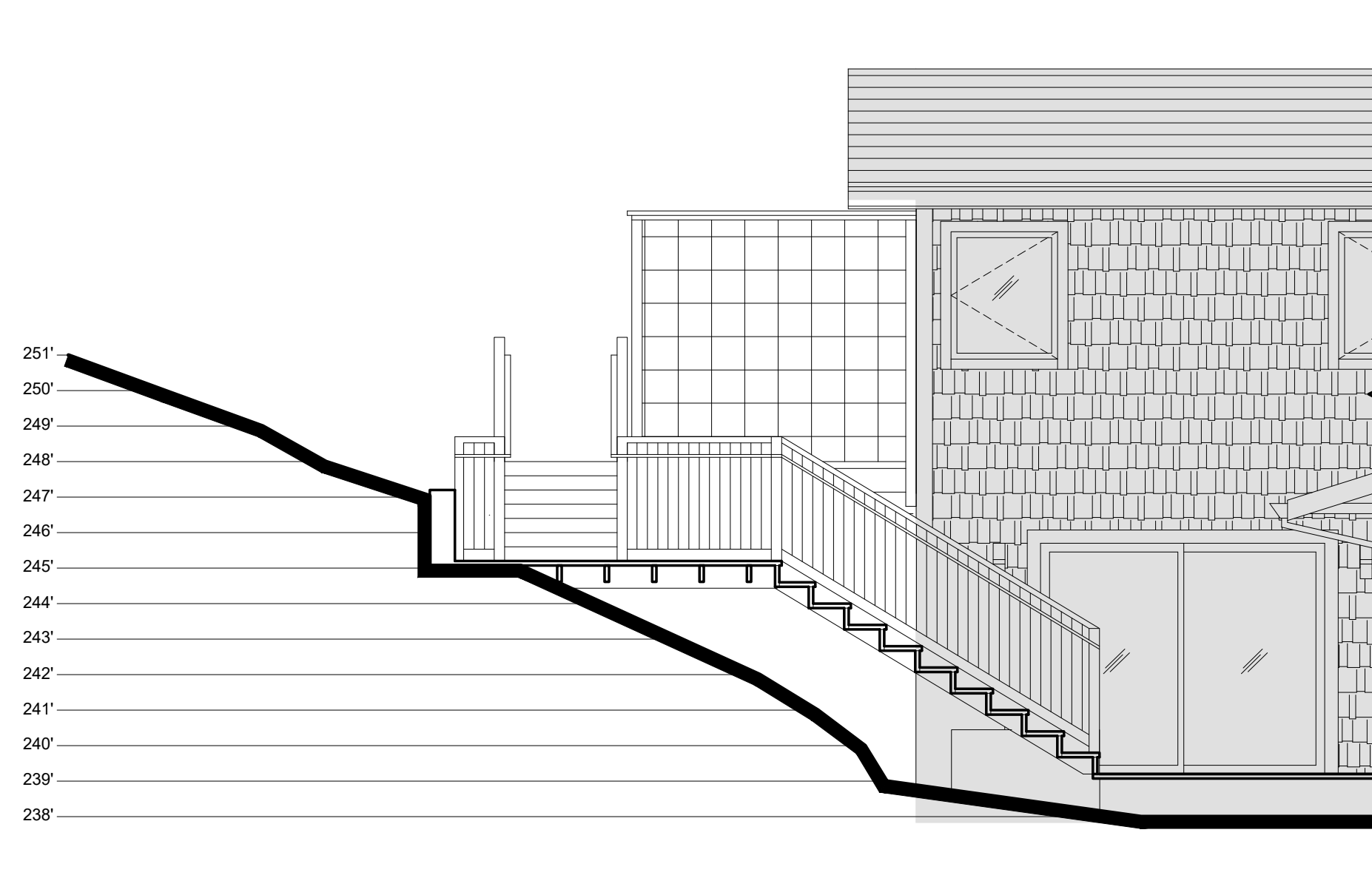
DATE
 november 10, 2022

SHEET NO.

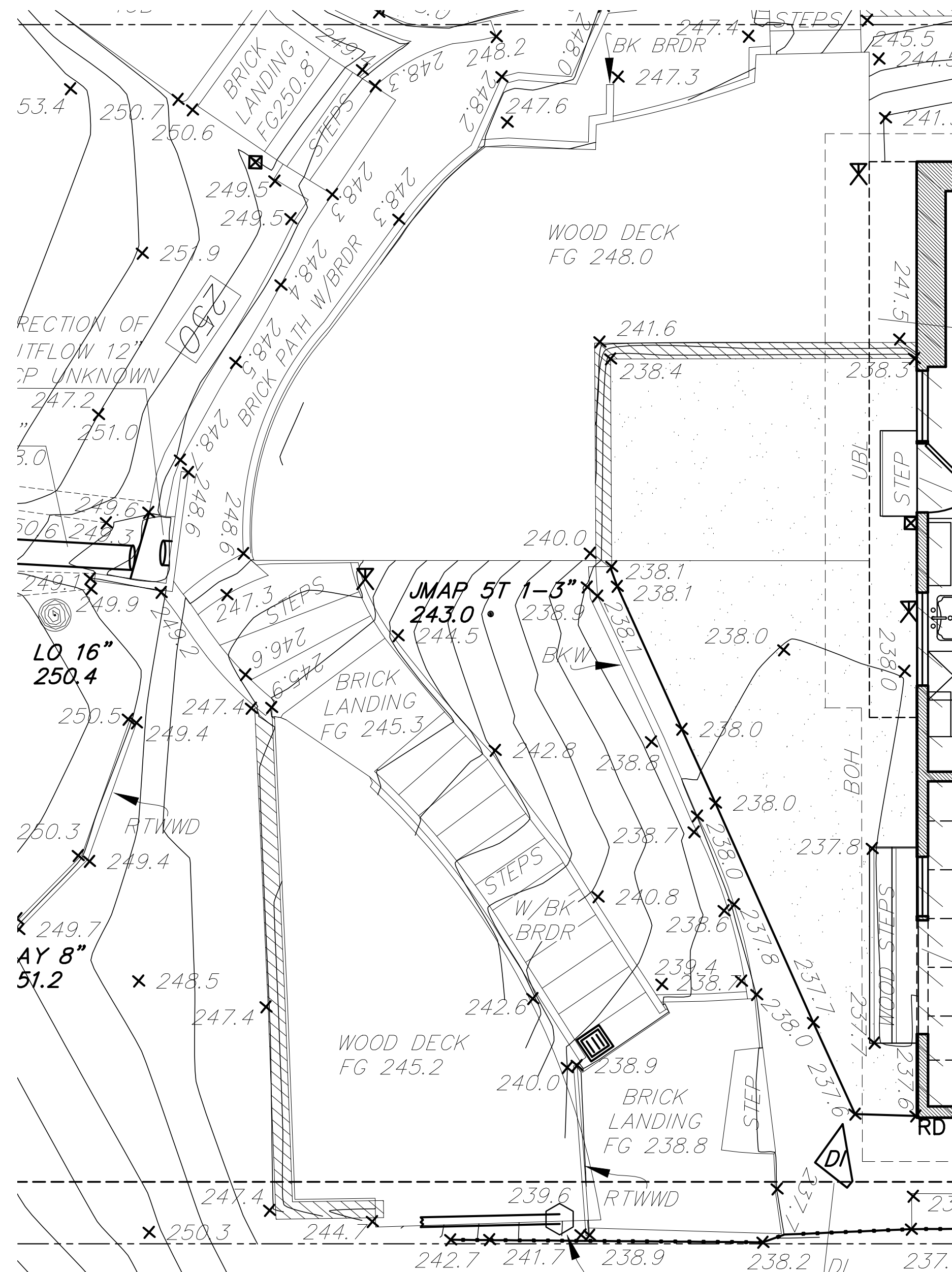
A3.1



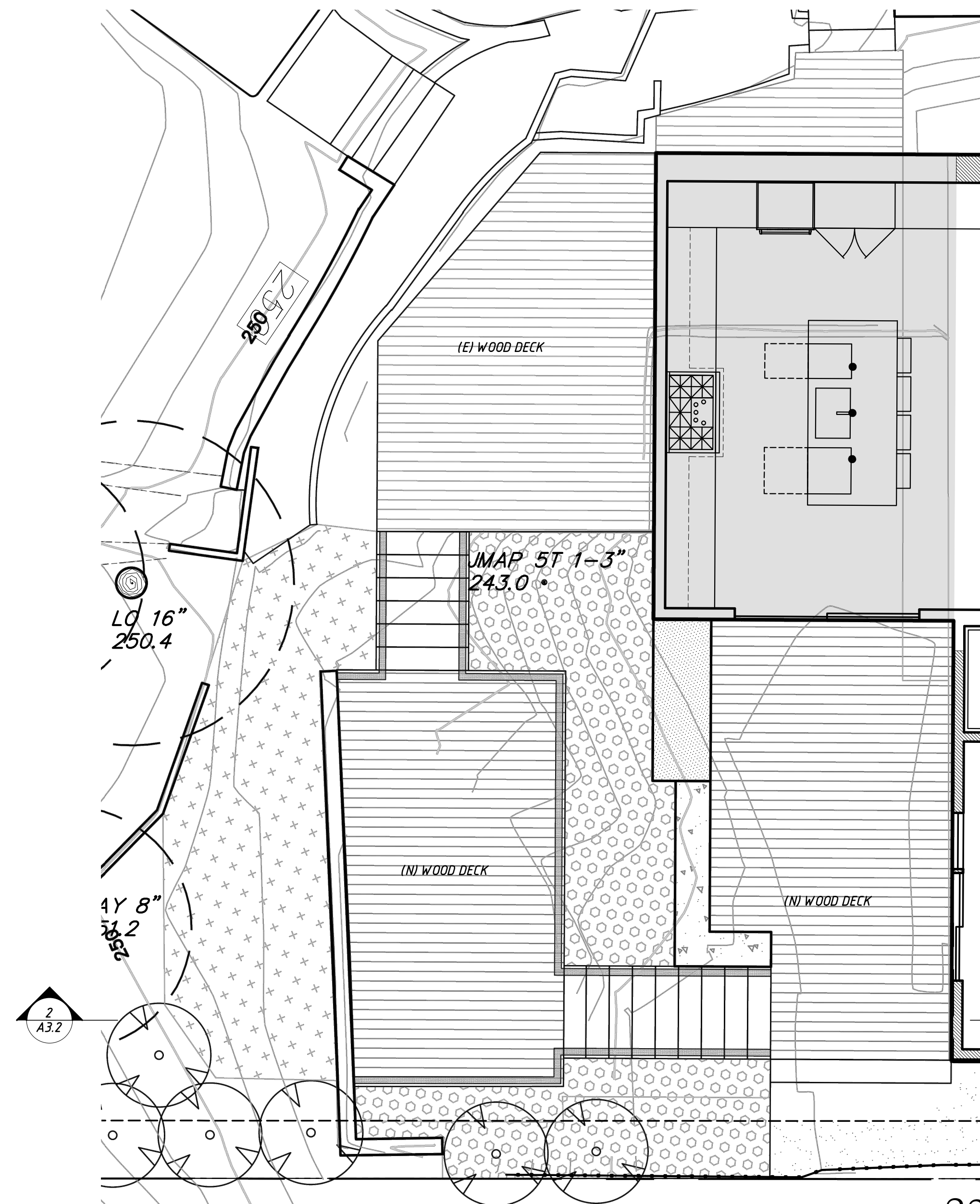
EXISTING DECK PHOTO 2
SCALE 1/4" = 1'-0" A3.2



PROPOSED DECK SECTION 2
SCALE 1/4" = 1'-0" A3.2



EXISTING DECK PLAN 3
SCALE 1/4" = 1'-0" A3.2



PROPOSED DECK PLAN 1
SCALE 1/4" = 1'-0" A3.2

- LEGEND**
- WD FRAMING TO REMAIN
 - NEW PARTITION
 - 1-HR RATED CONSTRUCTION
 - AREA OF ADDITION

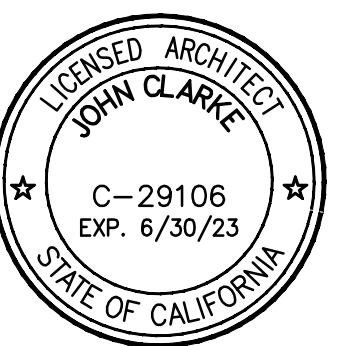
- DIMENSION KEY**
- 6'-0" TO FRAMING
 - 6'-0" TO CENTER
 - 6'-0" TO FINISH
 - ALIGN FACE OF FRAMING

REVISIONS:
1. pre-application submittal- december 20, 2021
2. design review submittal- september 12, 2022
3. design review revisions- november 10, 2022

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apr: 001-082-46



APPROVED BY:



DRAWING TITLE
proposed deck plan and section
existing deck plan and photo

JOB NUMBER

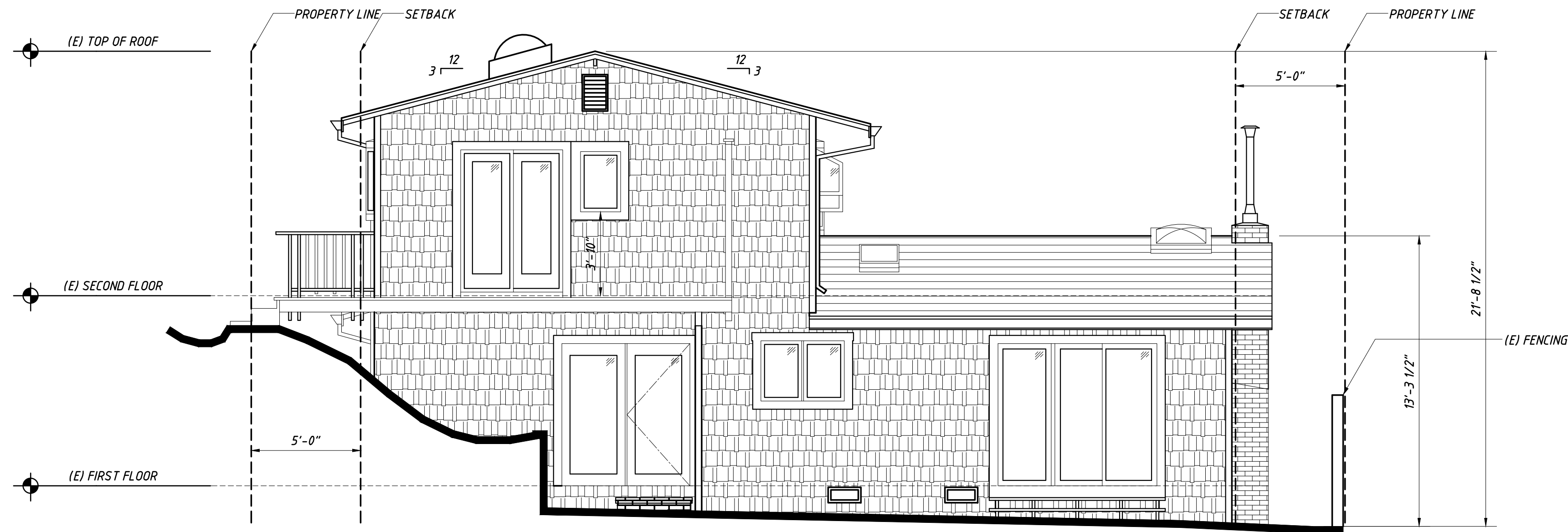
DRAWN BY
jclcg/zer

SCALE
as noted

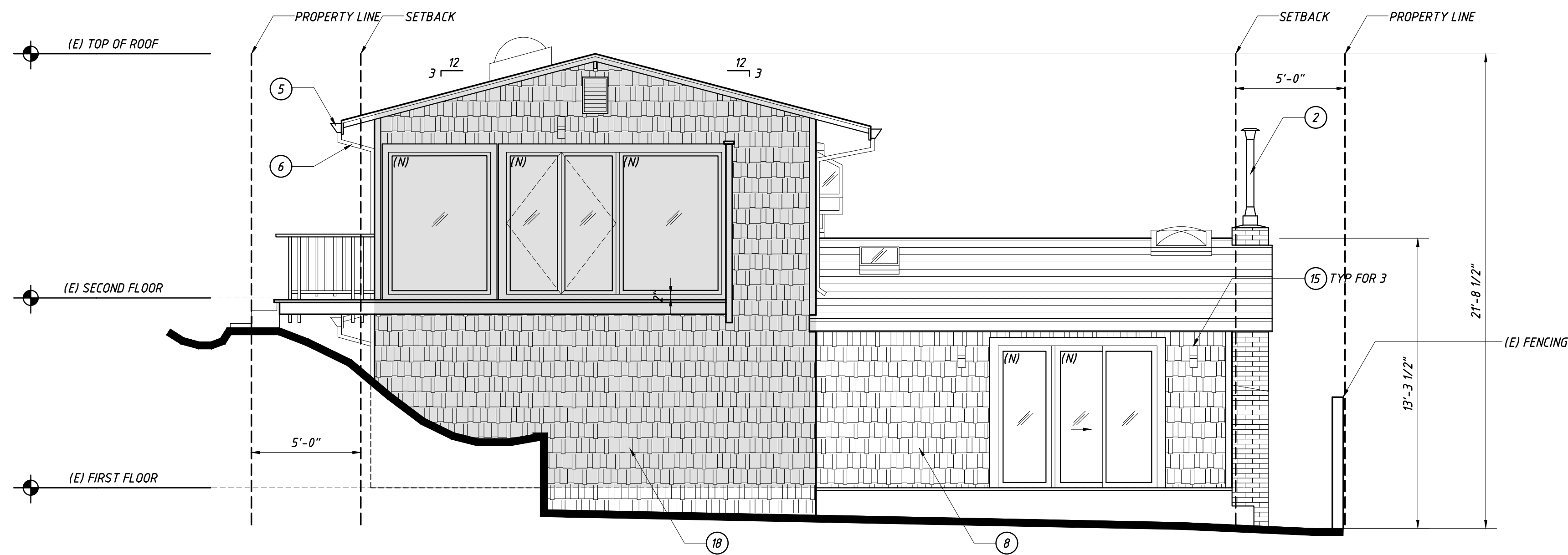
DATE
november 10, 2022

SHEET NO.

A3.2



EXISTING SOUTH ELEVATION 2
 SCALE 1/4" = 1'-0" A4.0



PROPOSED SOUTH ELEVATION 1
 SCALE 1/4" = 1'-0" A4.0

- ELEVATION KEYNOTES:
- 1 ASPHALT ROOFING, TME, CLASS "A"
 - 2 (E) CHIMNEY TO REMAIN
 - 3 GSM CHIMNEY CAP
 - 4 2x SMOOTH PRIMED CEDAR AT FASCIAS
 - 5 FASCIA GUTTERS, COLOR TO MATCH ROOF
 - 6 RAINWATER LEADERS
 - 7 PAINTED EAVES
 - 8 (E) SHINGLE SIDING
 - 9 WINDOWS TME, DOUBLE GLAZED
 - 10 EXTERIOR DOORS TME WITH GLAZING
 - 11 2x DOOR AND WINDOW TRIM, COLOR TO MATCH WOOD SIDING
 - 12 GARAGE DOORS
 - 13 CEDAR DECK AND POSTS
 - 14 ENTRY STEPS AND LANDING
 - 15 WALL SCNCE
 - 16 4" HOUSE NUMBERS
 - 17 VENTS
 - 18 SHINGLE SIDING TME

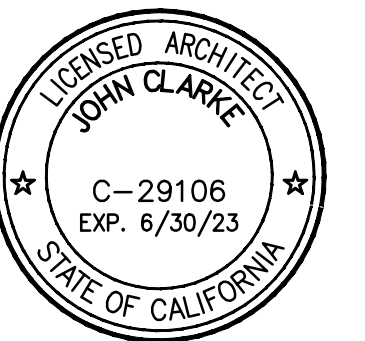
EXISTING AND PROPOSED GRADE TO REMAIN THE SAME AT HOUSE AND GARAGE

- DIMENSION KEY
- 6'-0" TO FRAMING
 - 6'-0" TO CENTER
 - 6'-0" TO FINISH
 - ALIGN FACE OF FRAMING

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 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 proposed and existing exterior elevations

JOB NUMBER

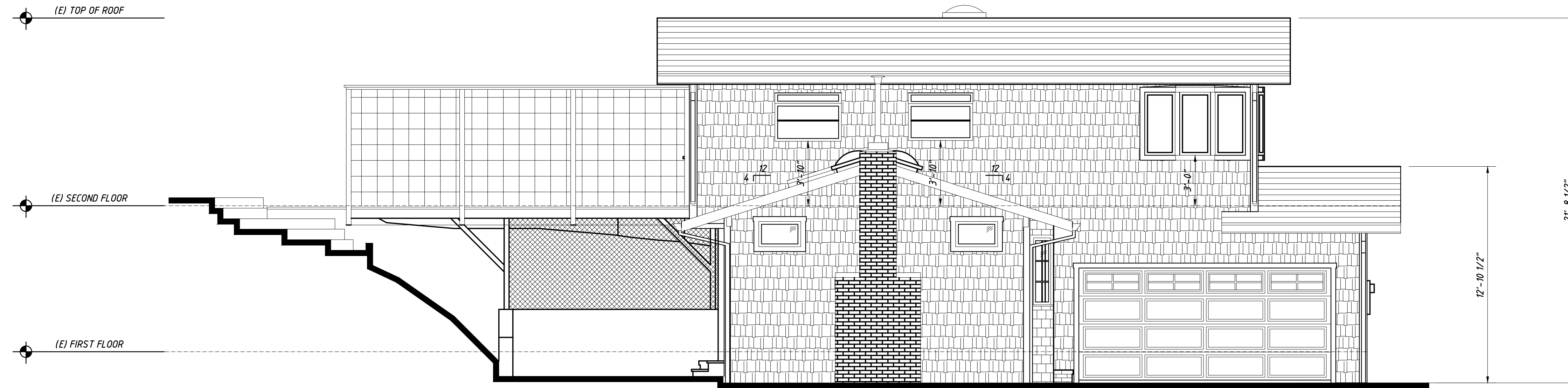
DRAWN BY
 jclcg/zer

SCALE
 as noted

DATE
 november 10, 2022

SHEET NO.

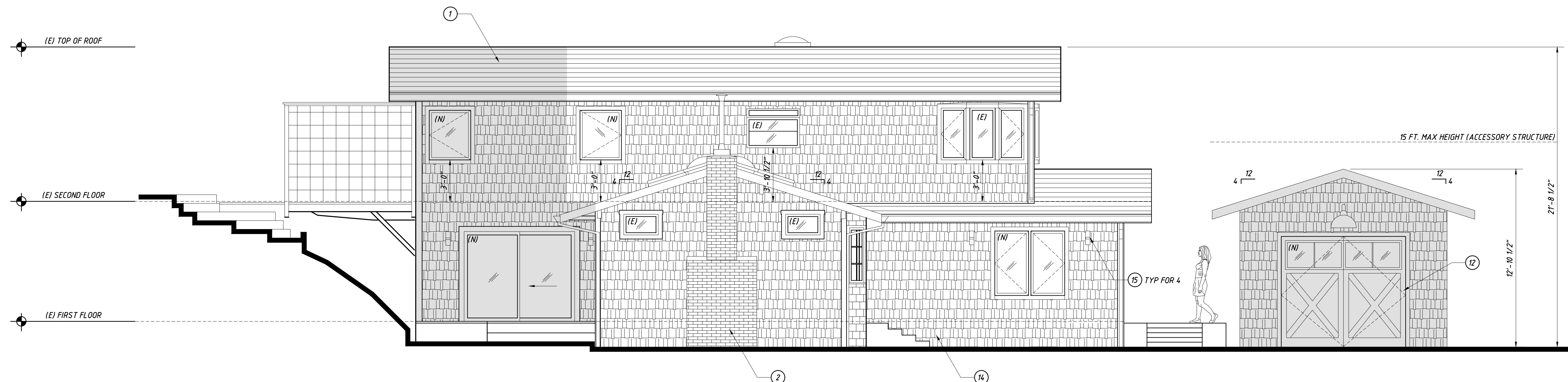
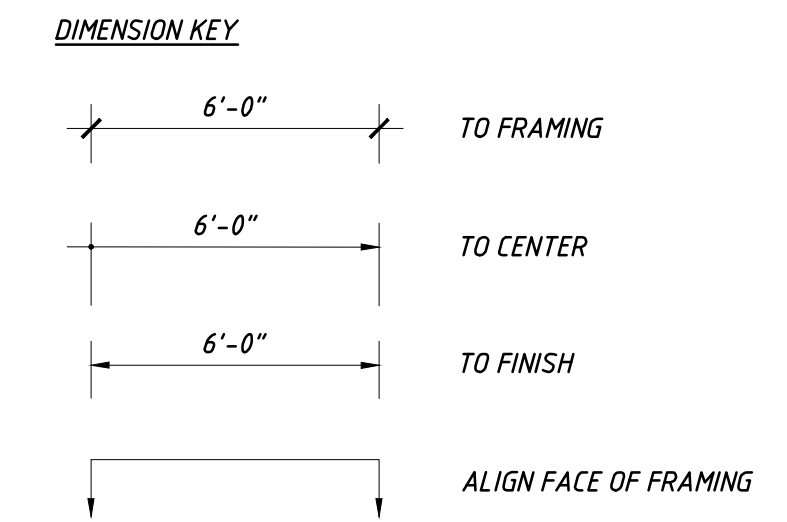
A4.0



EXISTING EAST ELEVATION 2
 SCALE 1/4" = 1'-0" A4.1

- ELEVATION KEYNOTES:**
- ① ASPHALT ROOFING, TME, CLASS "A"
 - ② (E) CHIMNEY TO REMAIN
 - ③ GSM CHIMNEY CAP
 - ④ 2x SMOOTH PRIMED CEDAR AT FASCIAS
 - ⑤ FASCIA GUTTERS, COLOR TO MATCH ROOF
 - ⑥ RAINWATER LEADERS
 - ⑦ PAINTED EAVES
 - ⑧ (E) SHINGLE SIDING
 - ⑨ WINDOWS TME, DOUBLE GLAZED
 - ⑩ EXTERIOR DOORS TME WITH GLAZING
 - ⑪ 2x DOOR AND WINDOW TRIM, COLOR TO MATCH WOOD SIDING
 - ⑫ GARAGE DOORS
 - ⑬ CEDAR DECK AND POSTS
 - ⑭ ENTRY STEPS AND LANDING
 - ⑮ WALL SCONCE
 - ⑯ 4" HOUSE NUMBERS
 - ⑰ VENTS
 - ⑱ SHINGLE SIDING TME

EXISTING AND PROPOSED GRADE TO REMAIN THE SAME AT HOUSE AND GARAGE

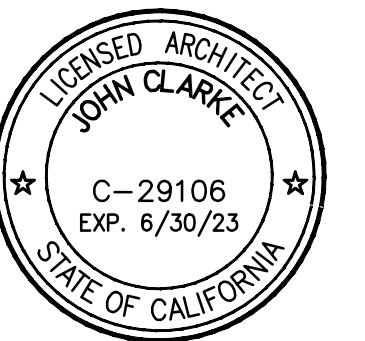


PROPOSED EAST ELEVATION 1
 SCALE 1/4" = 1'-0" A4.1

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APPROVED BY:



DRAWING TITLE
 proposed and existing exterior elevations

JOB NUMBER

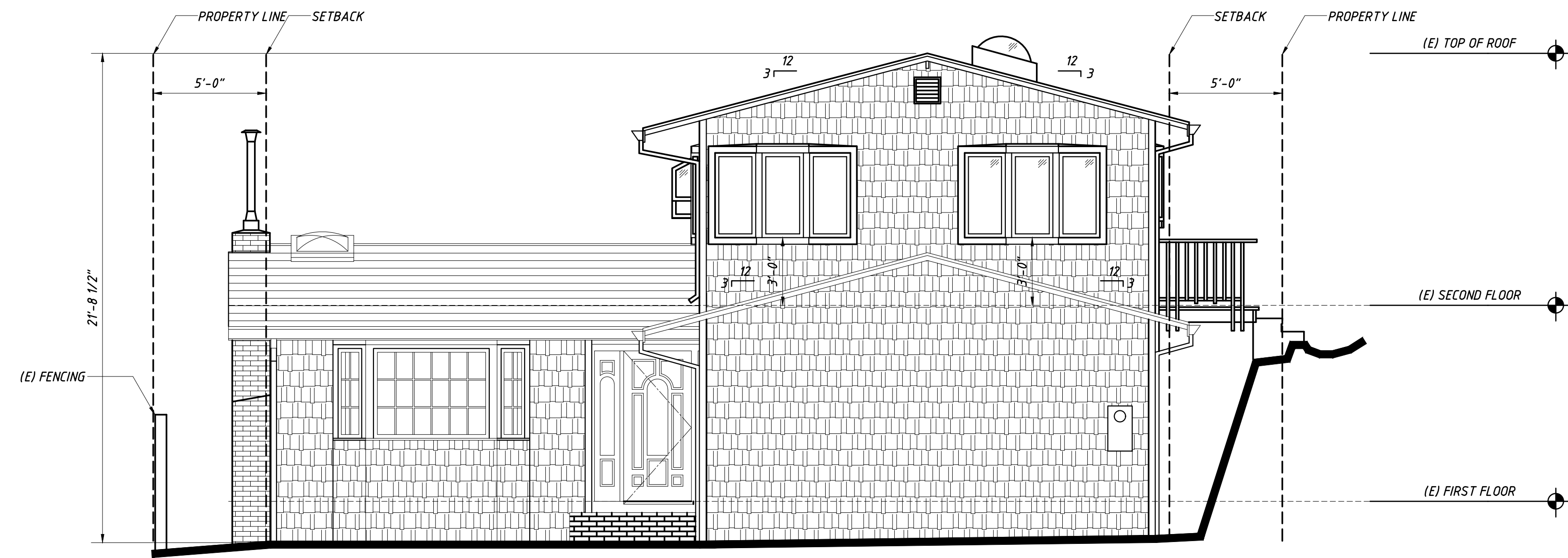
DRAWN BY
 jclcg/zer

SCALE
 as noted

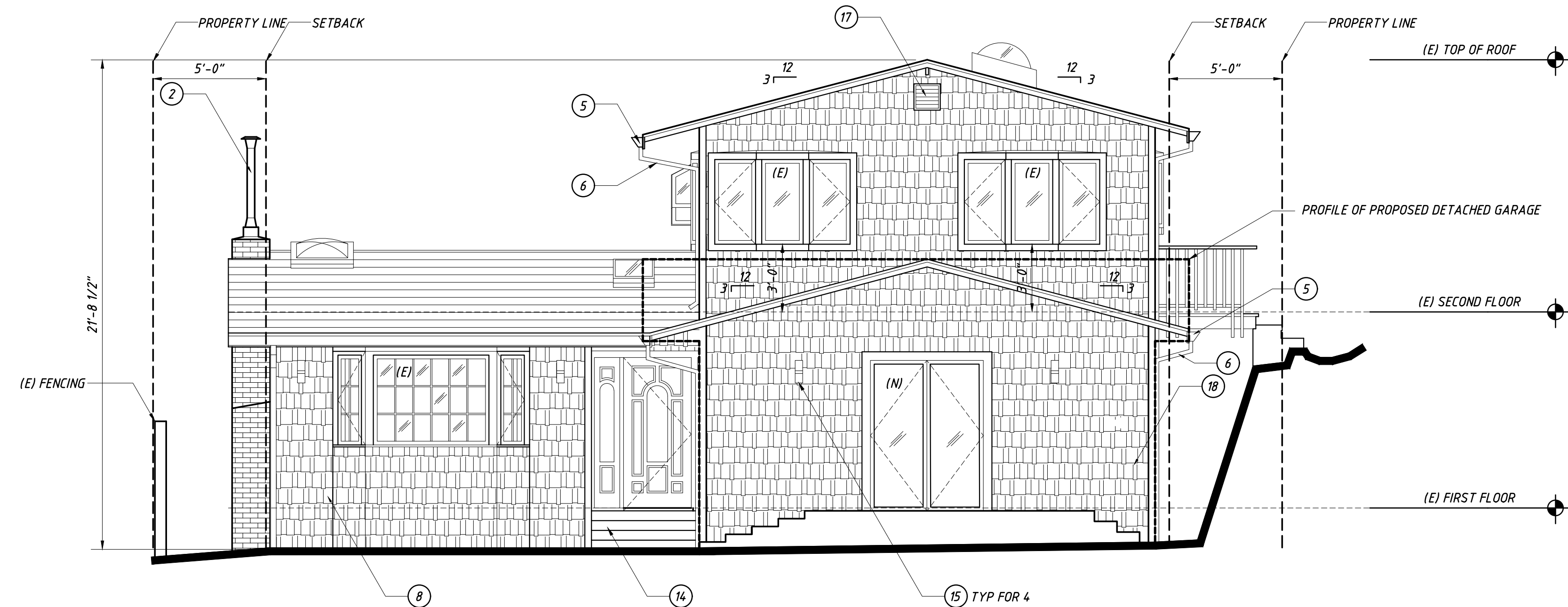
DATE
 november 10, 2022

SHEET NO.

A4.1



EXISTING NORTH ELEVATION 2
 SCALE 1/4" = 1'-0" A4.2



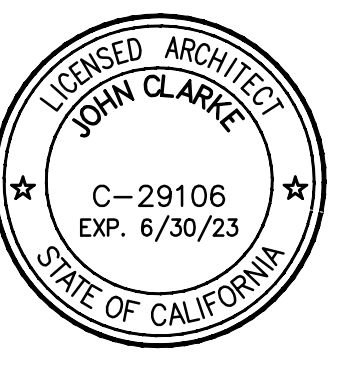
PROPOSED NORTH ELEVATION 1
 SCALE 1/4" = 1'-0" A4.2

- ELEVATION KEYNOTES:**
- 1 ASPHALT ROOFING, TME, CLASS "A"
 - 2 (E) CHIMNEY TO REMAIN
 - 3 GSM CHIMNEY CAP
 - 4 2x SMOOTH PRIMED CEDAR AT FASCIAS
 - 5 FASCIA GUTTERS, COLOR TO MATCH ROOF
 - 6 RAINWATER LEADERS
 - 7 PAINTED EAVES
 - 8 (E) SHINGLE SIDING
 - 9 WINDOWS TME, DOUBLE GLAZED
 - 10 EXTERIOR DOORS TME WITH GLAZING
 - 11 2x DOOR AND WINDOW TRIM, COLOR TO MATCH WOOD SIDING
 - 12 GARAGE DOORS
 - 13 CEDAR DECK AND POSTS
 - 14 ENTRY STEPS AND LANDING
 - 15 WALL SCONCE
 - 16 4" HOUSE NUMBERS
 - 17 VENTS
 - 18 SHINGLE SIDING TME
- EXISTING AND PROPOSED GRADE TO REMAIN THE SAME AT HOUSE AND GARAGE
- DIMENSION KEY:**
- 6'-0" TO FRAMING
 - 6'-0" TO CENTER
 - 6'-0" TO FINISH
 - ALIGN FACE OF FRAMING

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 apr: 001-082-46



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DRAWING TITLE
 proposed and existing exterior elevations

JOB NUMBER

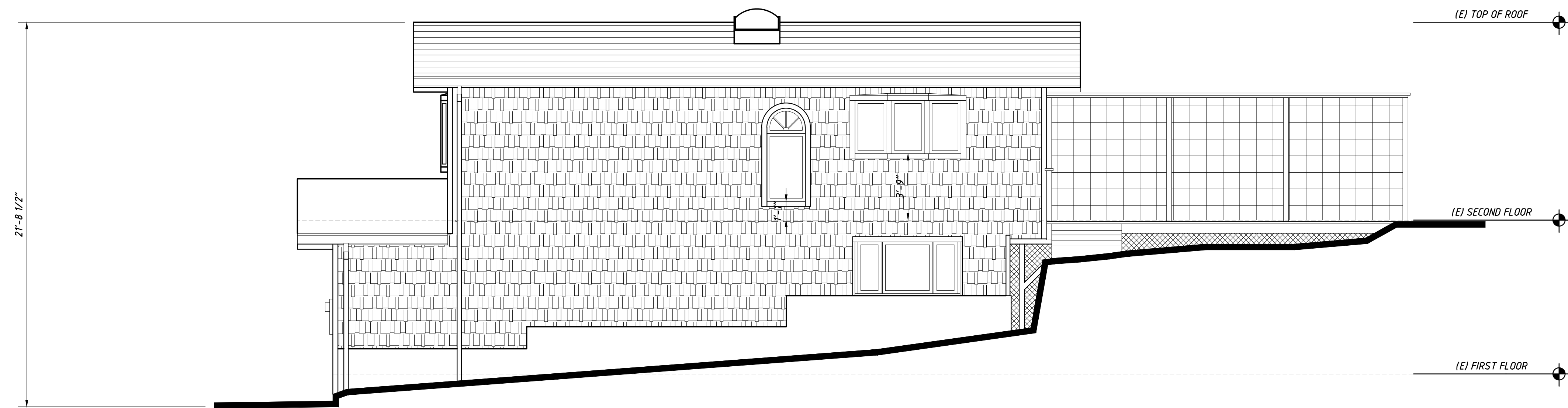
DRAWN BY
 jcl/cg/zer

SCALE
 as noted

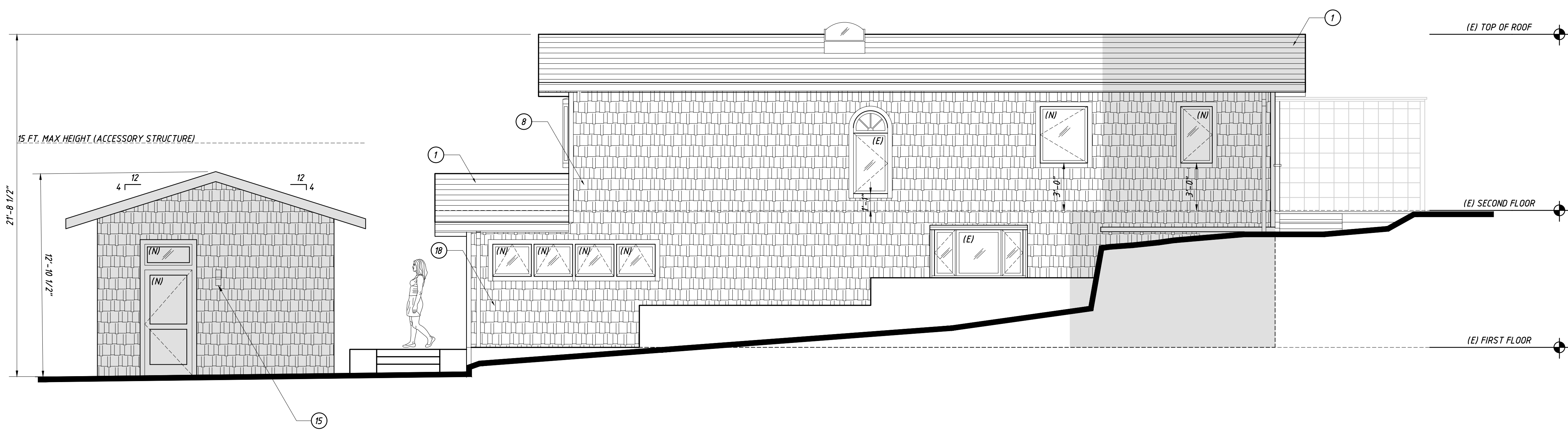
DATE
 november 10, 2022

SHEET NO.

A4.2



EXISTING WEST ELEVATION 2
 SCALE 1/4" = 1'-0" A4.3



PROPOSED WEST ELEVATION 1
 SCALE 1/4" = 1'-0" A4.3

- ELEVATION KEYNOTES:
- 1 ASPHALT ROOFING, TME, CLASS "A"
 - 2 (E) CHIMNEY TO REMAIN
 - 3 GSM CHIMNEY CAP
 - 4 2x SMOOTH PRIMED CEDAR AT FASCIAS
 - 5 FASCIA GUTTERS, COLOR TO MATCH ROOF
 - 6 RAINWATER LEADERS
 - 7 PAINTED EAVES
 - 8 (E) SHINGLE SIDING
 - 9 WINDOWS TME, DOUBLE GLAZED
 - 10 EXTERIOR DOORS TME WITH GLAZING
 - 11 2x DOOR AND WINDOW TRIM, COLOR TO MATCH WOOD SIDING
 - 12 GARAGE DOORS
 - 13 CEDAR DECK AND POSTS
 - 14 ENTRY STEPS AND LANDING
 - 15 WALL SCONE
 - 16 4" HOUSE NUMBERS
 - 17 VENTS
 - 18 SHINGLE SIDING TME

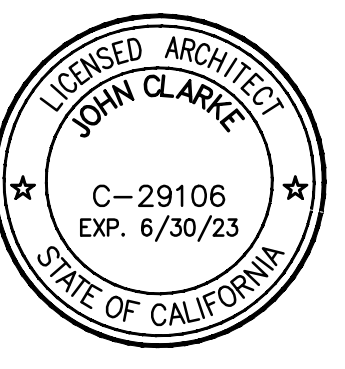
EXISTING AND PROPOSED GRADE TO REMAIN THE SAME AT HOUSE AND GARAGE

- DIMENSION KEY
- 6'-0" TO FRAMING
 - 6'-0" TO CENTER
 - 6'-0" TO FINISH
 - ALIGN FACE OF FRAMING

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 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 proposed and existing exterior elevations

JOB NUMBER

DRAWN BY
 jclcg/zer

SCALE
 as noted

DATE
 november 10, 2022

SHEET NO.

A4.3

PRODUCT SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce

Base Item #302713
Configured Item #302713-1004
302713-SKT-75

FINISH
Coastal Bronze - 75

LAMPING
Incandescent



OPTIONS

FINISH
Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING
Incandescent

SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce
Base Item # 302713
Configured Item # 302713-1004
302713-SKT-75

Aluminum direct wire exterior goose-neck wall sconce with finish options. Includes a bulb shield which focuses the light downwards. Designed and built to Dark Sky standards.

- Handcrafted to order by skilled artisans in Vermont, USA.
- Lifetime Limited Warranty when installed in residential setting.
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.

Dimensions
Height: 12.90"
Width: 14.40"
Projection: 16.80"
Product Weight: 2.20 lbs
Backplate: 5.50" x 4.90"
Vertical Mounting Height: 4.80"
Packed Weight: 8.00 lbs
Shipping (DIM) Weight: 51.00 lbs

Socket Lamping
Socket: Medium
Bulb: PAR20 (not location) 50W Max
Number of Bulbs: 1 (not included)
IES Files Available: Y

Location Rating
Outdoor Wet

Safety Rating
UL CUL listed

PRODUCT SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce

Base Item #304903
Configured Item #304903-1008
304903-SKT-77

FINISH
Coastal Dark Smoke - 77

LAMPING
Incandescent



OPTIONS

FINISH
Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING
Incandescent

SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce
Base Item # 304903
Configured Item # 304903-1008
304903-SKT-77

Aluminum direct wire exterior wall sconce. Additional cover cap for Dark Sky Friendly option included.

- Handcrafted to order by skilled artisans in Vermont, USA.
- Lifetime Limited Warranty when installed in residential setting.
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.
- US Patent D703,3725

Dimensions
Height: 8.90"
Width: 8.50"
Projection: 7.40"
Product Weight: 5.00 lbs
Backplate: 8.50" x 8.90"
Vertical Mounting Height: 5.30"
Packed Weight: 8.00 lbs
Shipping (DIM) Weight: 25.00 lbs

Socket Lamping
Socket: Medium
Bulb: A-15, 60W Max
Number of Bulbs: 1 (not included)
IES Files Available: N

Location Rating
Outdoor Wet

Safety Rating
UL CUL listed

ADJACENT NEIGHBOR TO THE EAST



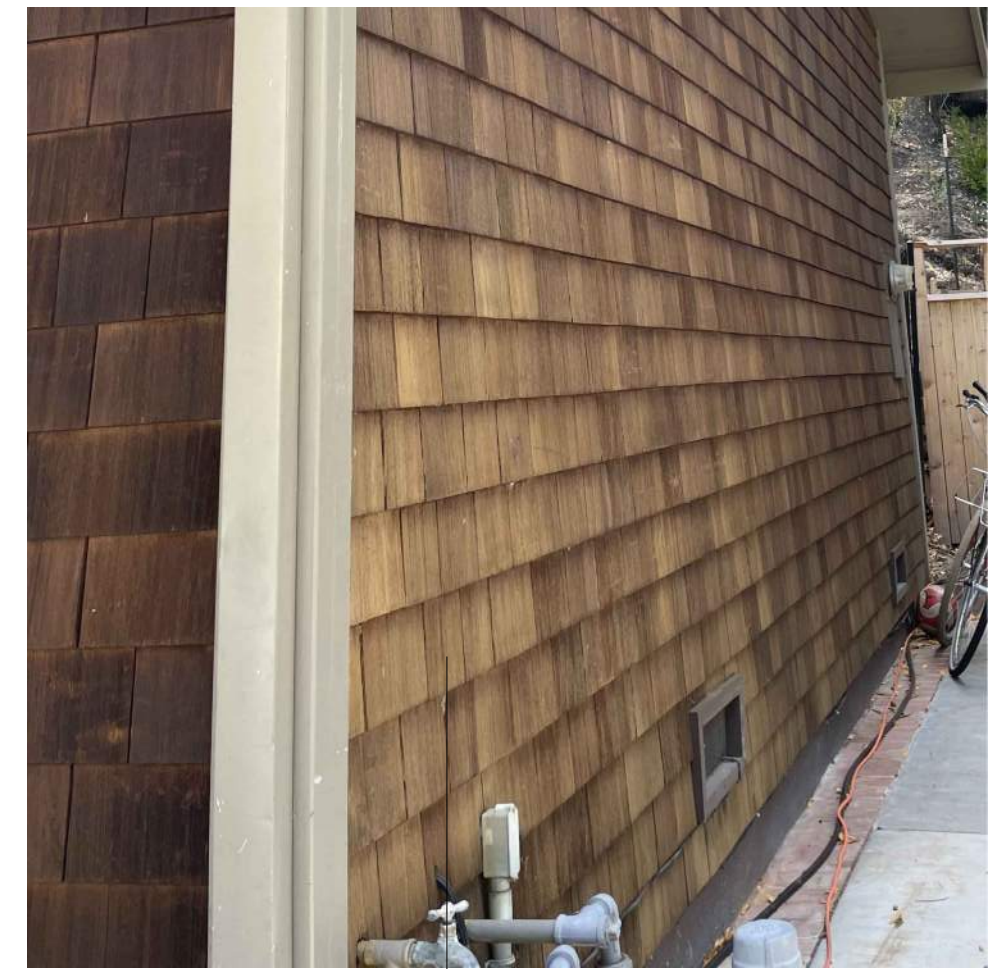
EXISTING SUBJECT PROPERTY



ASPHALT ROOFING TME



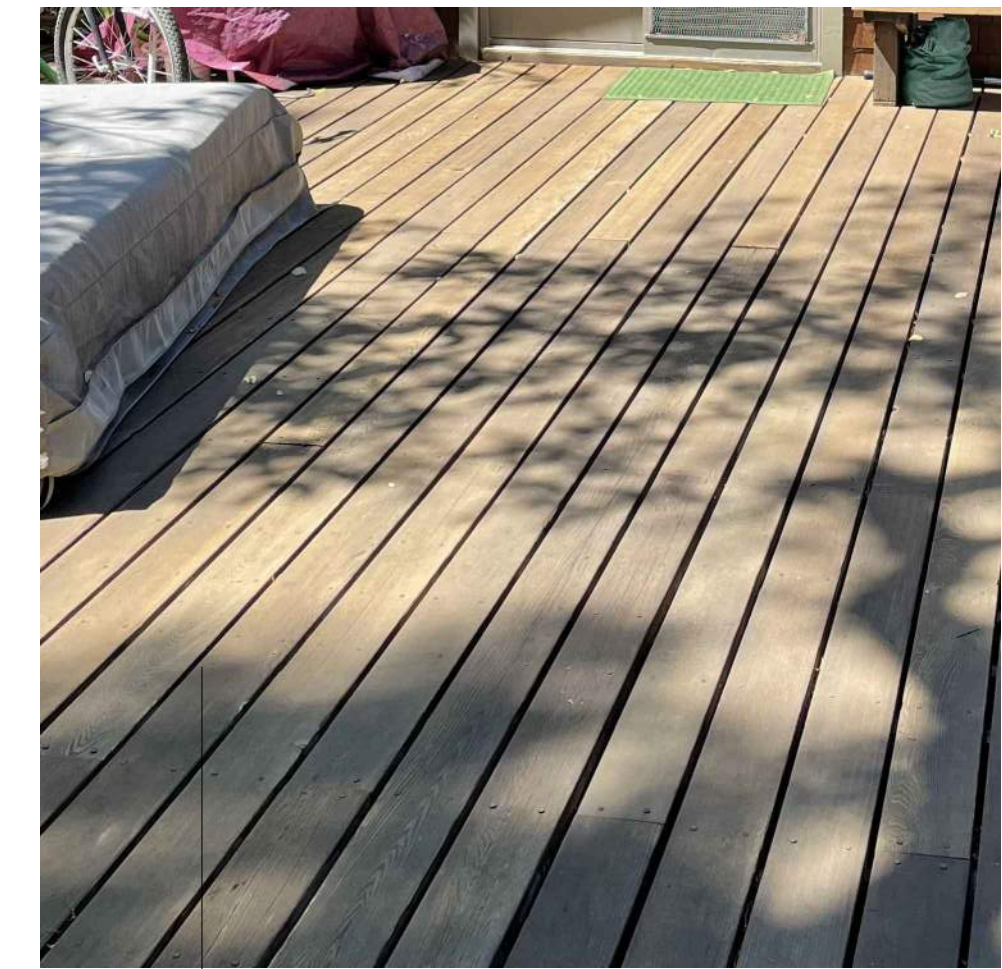
SHINGLE SIDING TME



WINDOW/DOOR TRIM TME



WOOD DECKING TME (PERMITS PENETRATION TO PERVIOUS SURFACE BELOW)



(E) TOP OF ROOF

(E) SECOND FLOOR

(E) FIRST FLOOR



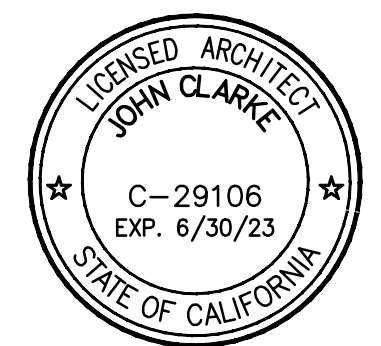
PROPOSED EAST ELEVATION COLOR RENDERING
SCALE 1/4" = 1'-0" 1 CR.0

REVISIONS:
1. pre-application submittal- december 20, 2021
2. design review submittal- september 12, 2022
3. design review revisions- november 10, 2022

tzortzis residence
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apr: 001-082-46



APPROVED BY:



DRAWING TITLE
proposed east elevation color rendering

JOB NUMBER

DRAWN BY
jcl/gzr

SCALE
as noted

DATE
november 10, 2022

SHEET NO.

CR.0

PRODUCT SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce ②



Base Item #302713
Configured Item #302713-1004
302713-SKT-75

FINISH
Coastal Bronze - 75

LAMPING
Incandescent

OPTIONS

FINISH
Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING
Incandescent

SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce
Base Item # 302713
Configured Item # 302713-1004
302713-SKT-75

Aluminum direct wire exterior gooseneck wall sconce with finish options. Includes a bulb shield which focuses the light downwards. Designed and built to Dark Sky standards.

- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting.
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.

Socket Lamping
Socket: Medium
Bulb: PAR20 (see location), 50W Max
Number of Bulbs: 1 (not included)
IES Files Available: Y

Location Rating
Outdoor Wet

Safety Rating
UL, CUL listed

Dimensions
Height: 12.90"
Width: 14.40"
Projection: 16.80"
Product Weight: 2.20 lbs
Backplate: 5.50" x 4.90"
Vertical Mounting Height: 4.80"
Packed Weight: 8.00 lbs
Shipping (DIM) Weight: 51.00 lbs

PRODUCT SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce ①



Base Item #304903
Configured Item #304903-1008
304903-SKT-77

FINISH
Coastal Dark Smoke - 77

LAMPING
Incandescent

OPTIONS

FINISH
Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING
Incandescent

SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce
Base Item # 304903
Configured Item # 304903-1008
304903-SKT-77

Aluminum direct wire exterior wall sconce. Additional cover cap for Dark Sky friendly option included.

- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting.
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.
- US Patent D703,3725

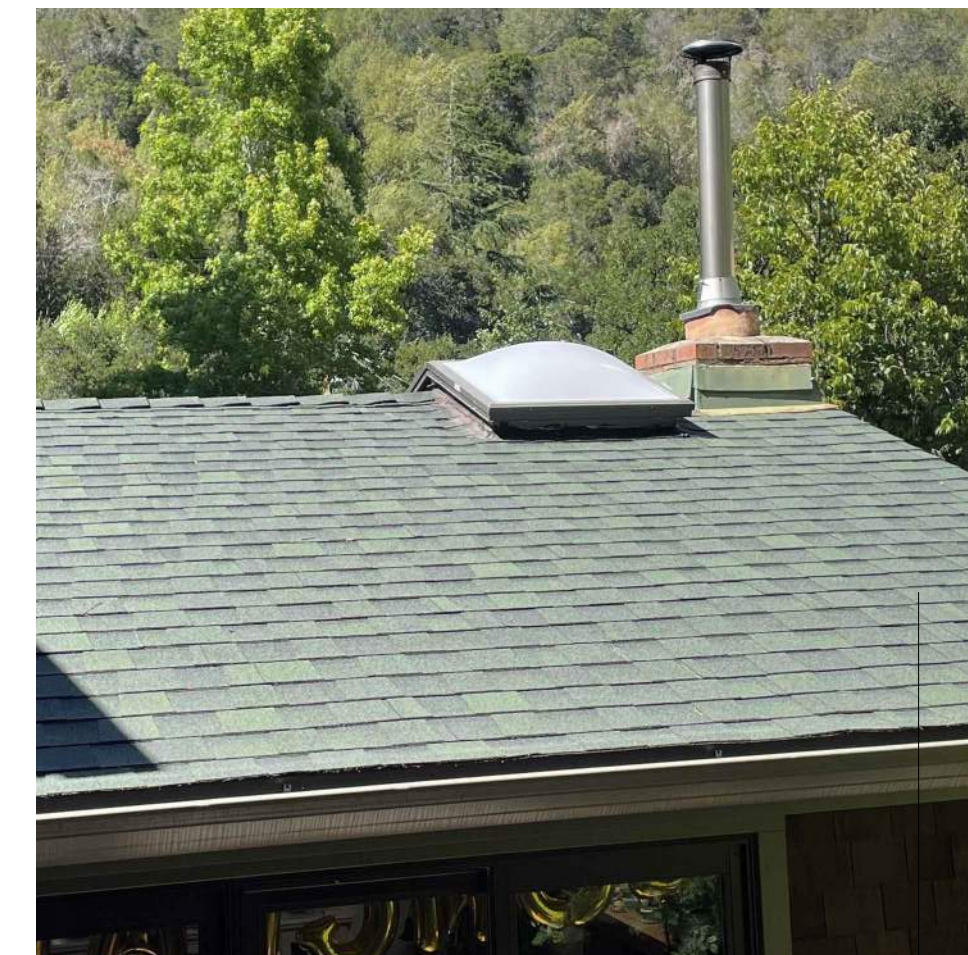
Socket Lamping
Socket: Medium
Bulb: A-15, 60W Max
Number of Bulbs: 1 (not included)
IES Files Available: N

Location Rating
Outdoor Wet

Safety Rating
UL, CUL listed

Dimensions
Height: 8.90"
Width: 8.60"
Projection: 7.40"
Product Weight: 5.00 lbs
Backplate: 8.60" x 8.90"
Vertical Mounting Height: 5.30"
Packed Weight: 8.00 lbs
Shipping (DIM) Weight: 25.00 lbs

ASPHALT ROOFING TME



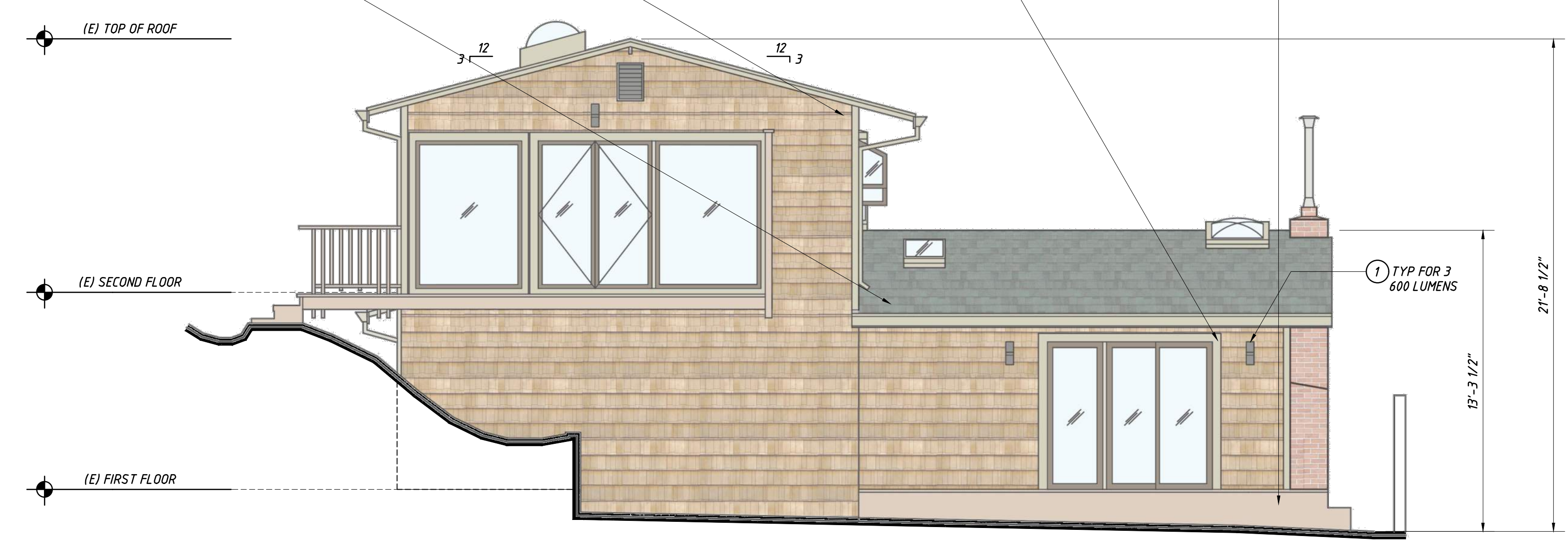
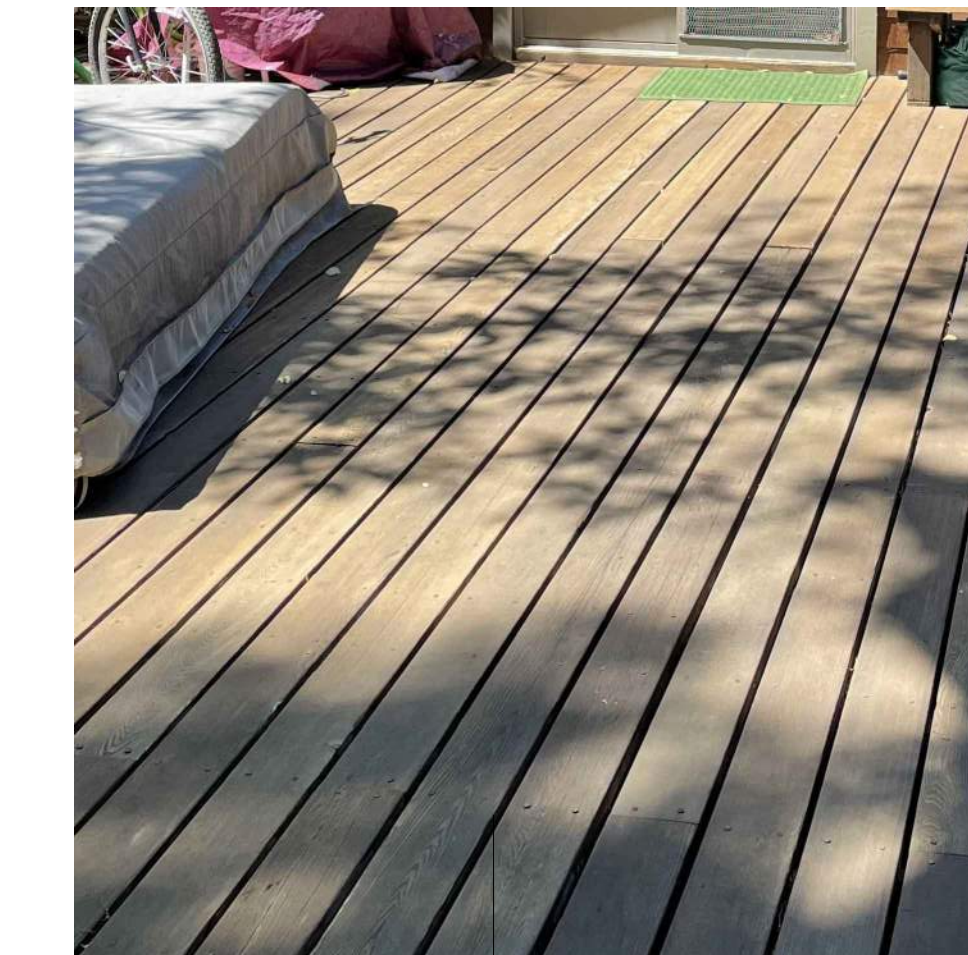
SHINGLE SIDING TME



WINDOW/DOOR TRIM TME



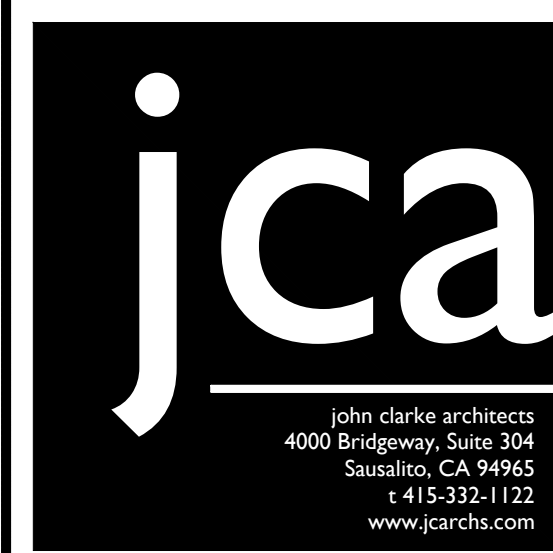
WOOD DECKING TME (PERMITS PENETRATION TO PVIOUS SURFACE BELOW)



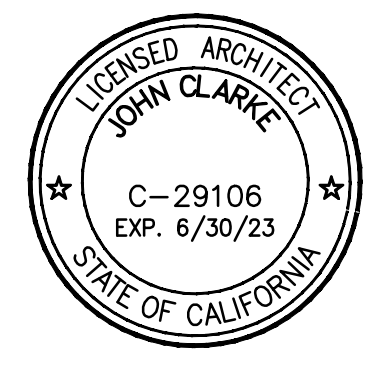
PROPOSED SOUTH ELEVATION COLOR RENDERING ①
SCALE 1/4" = 1'-0" CR.1

REVISIONS:
1. pre-application submittal- december 20, 2021
2. design review submittal- september 12, 2022
3. design review revisions- november 10, 2022

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apr: 001-082-46



APPROVED BY:



DRAWING TITLE
proposed south elevation color rendering

JOB NUMBER

DRAWN BY
jcl/gzr

SCALE
as noted

DATE
november 10, 2022

SHEET NO.

CR.1

PRODUCT SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce

Base Item #302713
Configured Item #302713-1004
302713-SKT-75

FINISH
Coastal Bronze - 75

LAMPING
Incandescent



OPTIONS

FINISH Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING Incandescent

SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce
Base Item # 302713
Configured Item # 302713-1004
302713-SKT-75

Aluminum direct wire exterior goose-neck wall sconce with finish options. Includes a bulb shield which focuses the light downwards. Designed and built to Dark Sky standards.

- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.

Dimensions
Height 12.90"
Width 14.40"
Projection 16.80"
Product Weight 2.20 lbs.
Backplate 5.50" x 4.90"
Vertical Mounting Height 4.80"
Packed Weight 8.00 lbs.
Shipping (DIM) Weight 51.00 lbs.

Socket Lamping

Socket: Medium
Bulb: PAR20 (see location) 50W Max
Number of Bulbs: 1 (not included)
IES Files Available: Y

Location Rating

Outdoor Wet

Safety Rating

UL CUL listed

PRODUCT SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce

Base Item #304903
Configured Item #304903-1008
304903-SKT-77

FINISH
Coastal Dark Smoke - 77

LAMPING
Incandescent



OPTIONS

FINISH Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING Incandescent

SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce
Base Item # 304903
Configured Item # 304903-1008
304903-SKT-77

Aluminum direct wire exterior wall sconce. Additional cover cap for Dark Sky friendly option included.

- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.
- US Patent D703,3725

Dimensions
Height 8.90"
Width 8.60"
Projection 7.40"
Product Weight 5.00 lbs.
Backplate 8.60" x 8.90"
Vertical Mounting Height 5.30"
Packed Weight 8.00 lbs.
Shipping (DIM) Weight 25.00 lbs.

Socket Lamping

Socket: Medium
Bulb: A-15, 60W Max
Number of Bulbs: 1 (not included)
IES Files Available: N

Location Rating

Outdoor Wet

Safety Rating

UL CUL listed

ASPHALT ROOFING TME



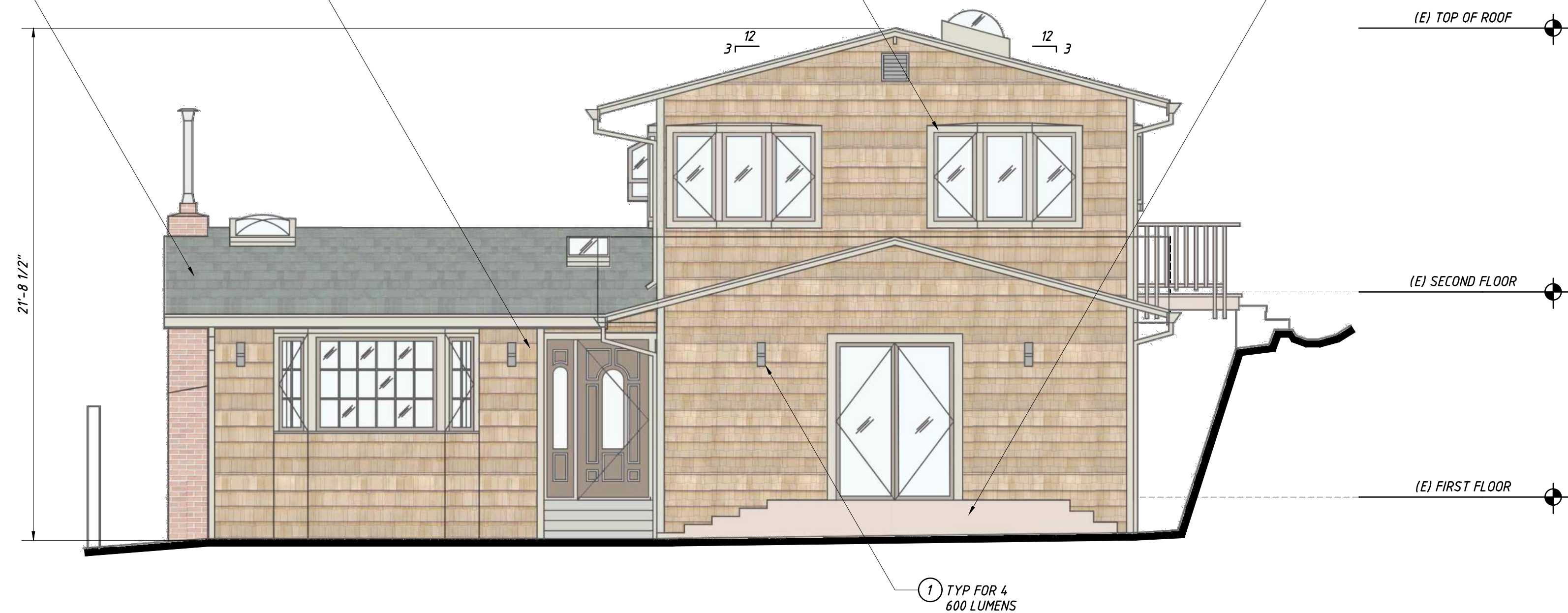
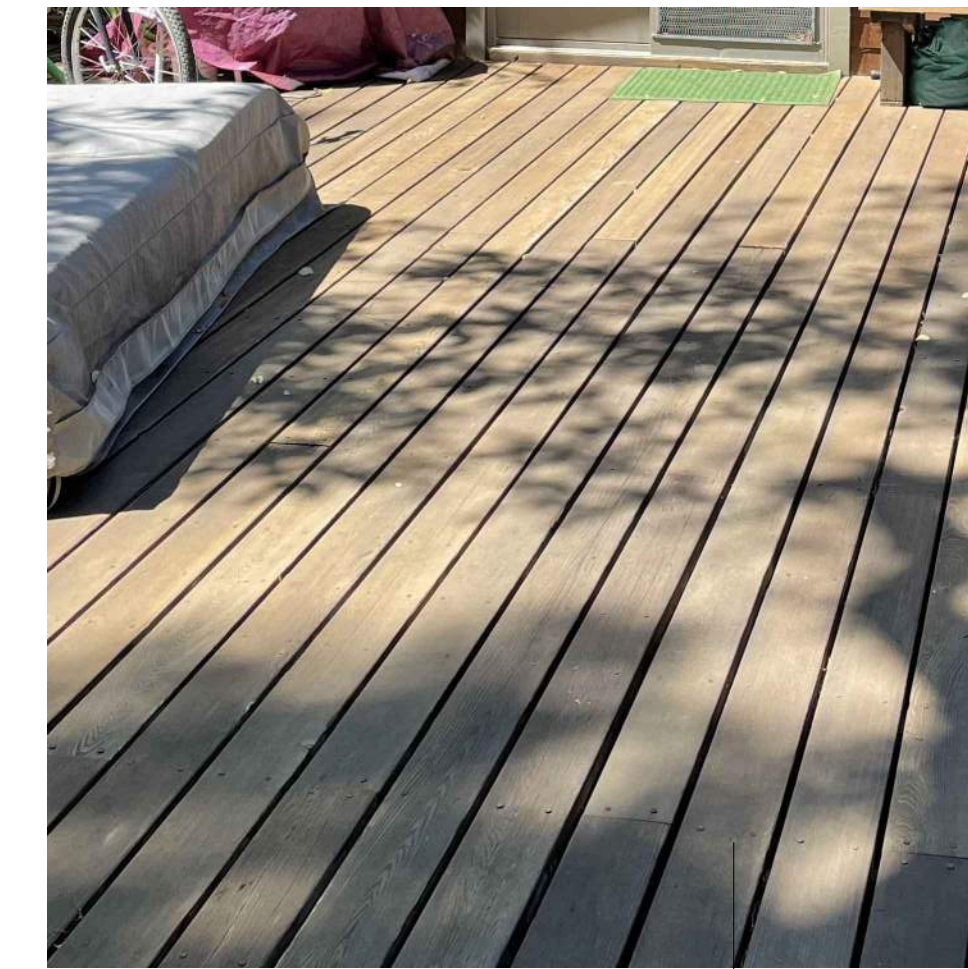
SHINGLE SIDING TME



WINDOW/DOOR TRIM TME



WOOD DECKING TME (PERMITS PENETRATION TO PVIOUS SURFACE BELOW)



PROPOSED NORTH ELEVATION COLOR RENDERING

SCALE 1/4" = 1'-0"

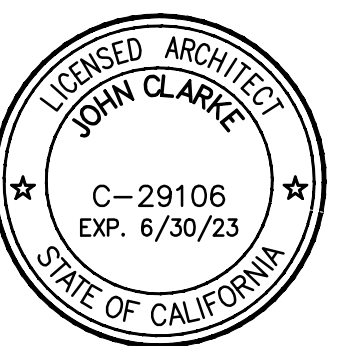
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CR.2

REVISIONS:
1. pre-application submittal- december 20, 2021
2. design review submittal- september 12, 2022
3. design review revisions- november 10, 2022

tzortzis residence
197 bothin road
fairfax, ca 94930
apr: 001-082-46



APPROVED BY:



DRAWING TITLE
proposed north elevation color rendering

JOB NUMBER

DRAWN BY
jclcg/zer

SCALE
as noted

DATE
november 10, 2022

SHEET NO.

CR.2

PRODUCT SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce ②



Base Item #302713
Configured Item #302713-1004
302713-SKT-75

FINISH
Coastal Bronze - 75

LAMPING
Incandescent

OPTIONS

FINISH Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING Incandescent

SPECIFICATIONS

Henry Large Dark Sky Friendly Outdoor Sconce
Base Item # 302713
Configured Item # 302713-1004
302713-SKT-75

Aluminum direct wire exterior gooseneck wall sconce with finish options. Includes a bulb shield which focuses the light downwards. Designed and built to Dark Sky standards.

- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.

Dimensions
Height: 12.90"
Width: 14.40"
Projection: 16.80"
Product Weight: 2.20 lbs
Backplate: 5.50" x 4.90"
Vertical Mounting Height: 4.80"
Packed Weight: 8.00 lbs
Shipping (DIM) Weight: 51.00 lbs

Socket Lamping
Socket: Medium
Bulb: PAR20 (see location), 50W Max
Number of Bulbs: 1 (not included)
IES Files Available: Y

Location Rating
Outdoor Wet

Safety Rating
UL, CUL listed

PRODUCT SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce ①



Base Item #304903
Configured Item #304903-1008
304903-SKT-77

FINISH
Coastal Dark Smoke - 77

LAMPING
Incandescent

OPTIONS

FINISH Coastal Oil Rubbed Bronze - 14
Coastal Natural Iron - 20
Coastal Bronze - 75
Coastal Dark Smoke - 77
Coastal Burnished Steel - 78
Coastal Black - 80

LAMPING Incandescent

SPECIFICATIONS

Twilight Dark Sky Friendly Outdoor Sconce
Base Item # 304903
Configured Item # 304903-1008
304903-SKT-77

Aluminum direct wire exterior wall sconce. Additional cover cap for Dark Sky friendly option included.

- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.
- US Patent D703,3725

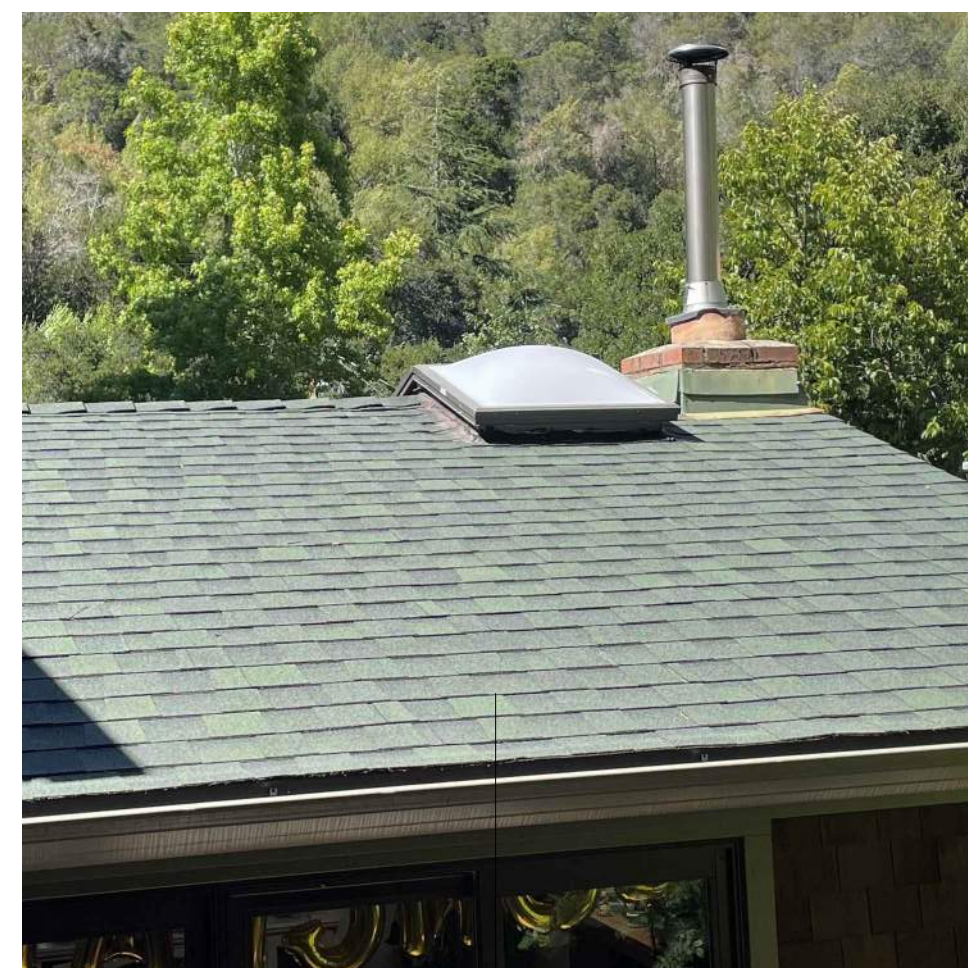
Dimensions
Height: 8.90"
Width: 8.60"
Projection: 7.40"
Product Weight: 5.00 lbs
Backplate: 8.60" x 8.90"
Vertical Mounting Height: 5.30"
Packed Weight: 8.00 lbs
Shipping (DIM) Weight: 25.00 lbs

Socket Lamping
Socket: Medium
Bulb: A-15, 60W Max
Number of Bulbs: 1 (not included)
IES Files Available: N

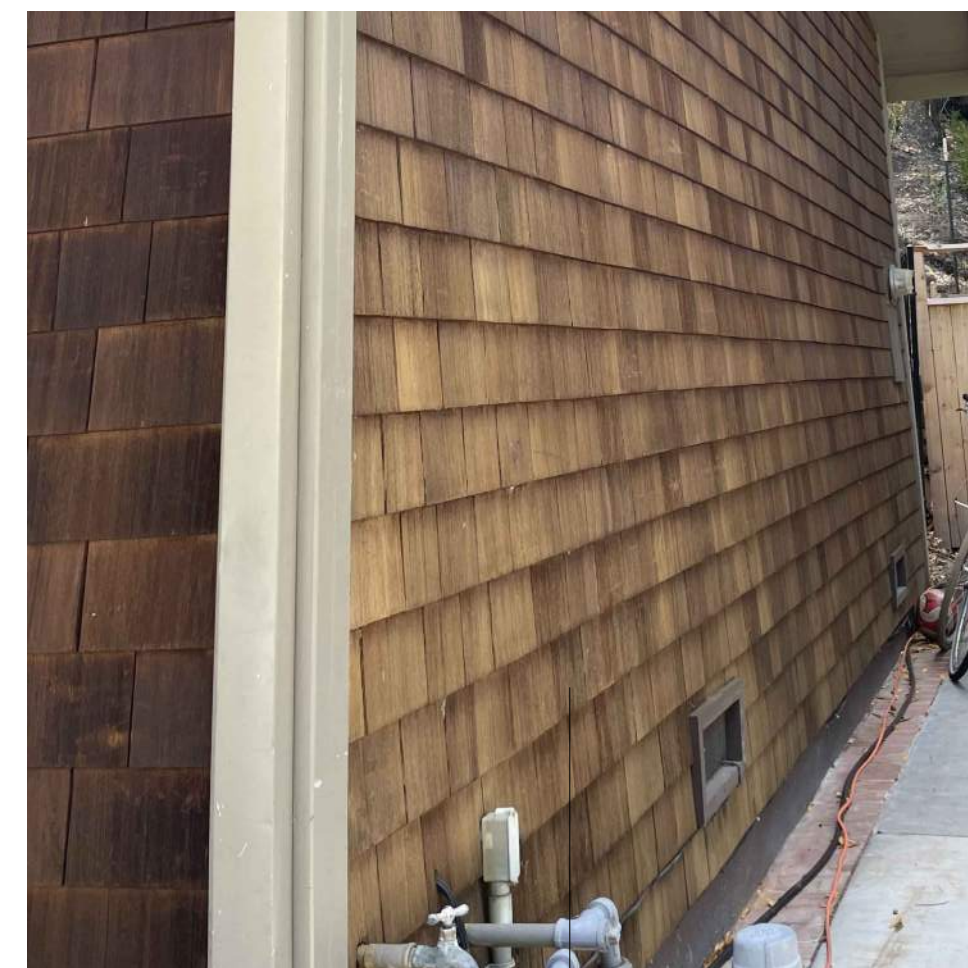
Location Rating
Outdoor Wet

Safety Rating
UL, CUL listed

ASPHALT ROOFING TME



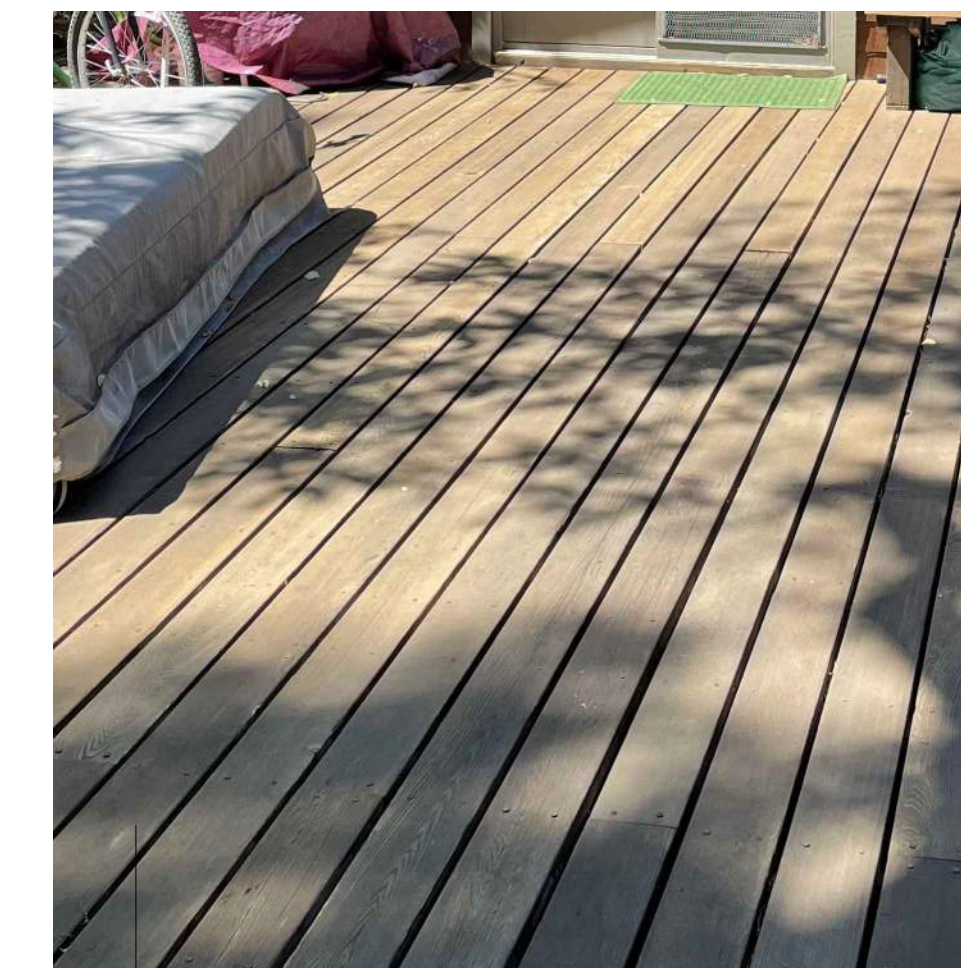
SHINGLE SIDING TME



WINDOW/DOOR TRIM TME



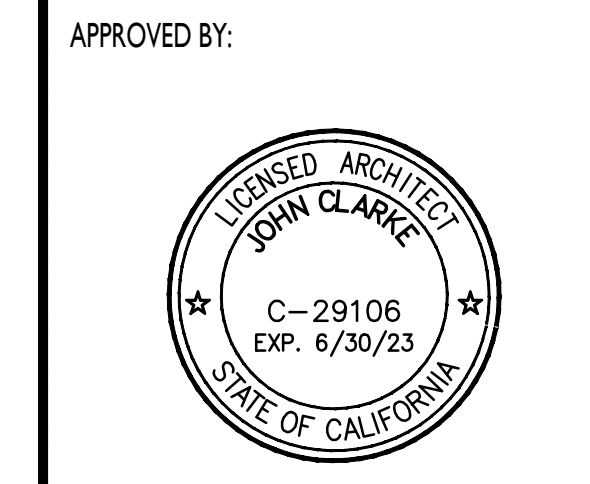
WOOD DECKING TME (PERMITS PENETRATION TO PVIOUS SURFACE BELOW)



PROPOSED WEST ELEVATION COLOR RENDERING ①
SCALE 1/4" = 1'-0" CR.3

REVISIONS:
1. pre-application submittal- december 20, 2021
2. design review submittal- september 12, 2022
3. design review revisions- november 10, 2022

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apr: 001-082-46



DRAWING TITLE
proposed west elevation color rendering

JOB NUMBER

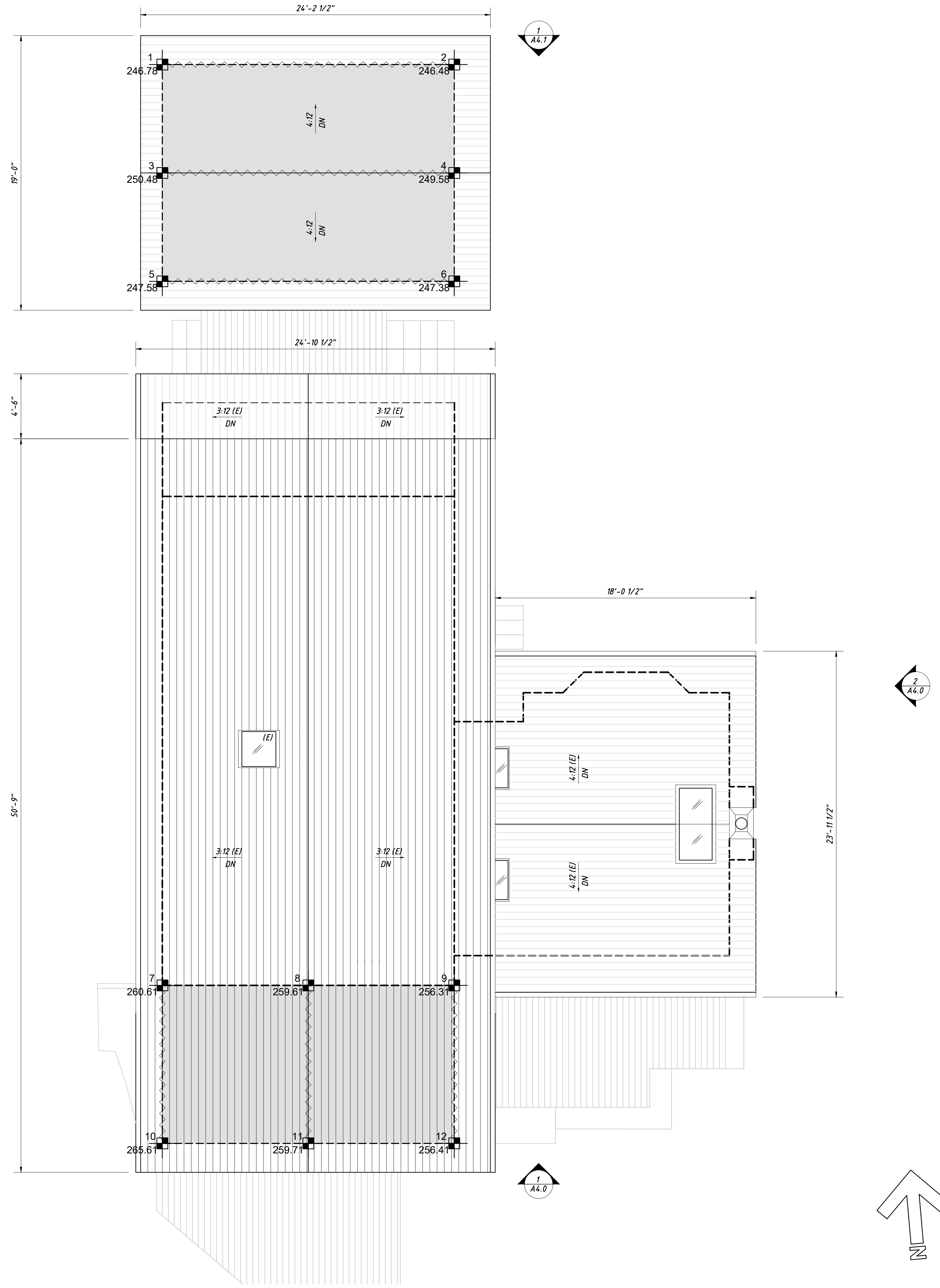
DRAWN BY
jlcg/zsr

SCALE
as noted

DATE
november 10, 2022

SHEET NO.

CR.3



BLDG. CORNER HEIGHTS

MARK #	BASE ELEV @ EXISTING GRADE	TOP OF BUILDING CORNER OR RIDGE FROM (E) GRADE	HEIGHT ABOVE REFERENCE BASE ELEV
1	ELEVATION - 236.9'	246.78'	9.88'
2	ELEVATION - 236.6'	246.48'	9.88'
3	ELEVATION - 237.6'	250.48'	12.88'
4	ELEVATION - 236.7'	249.58'	12.88'
5	ELEVATION - 237.7'	247.58'	9.88'
6	ELEVATION - 237.5'	247.38'	9.88'
7	ELEVATION - 241.9'	260.61'	18.31'
8	ELEVATION - 238.3'	259.61'	21.31'
9	ELEVATION - 238.0'	256.31'	18.31'
10	ELEVATION - 247.3'	265.61'	18.31'
11	ELEVATION - 238.4'	259.71'	21.31'
12	ELEVATION - 238.1'	256.41'	18.31'

LEGEND

ELEVATION MARKER

PLASTIC NETTING

DIMENSION KEY

6'-0" TO FRAMING

6'-0" TO CENTER

6'-0" TO FINISH

ALIGN FACE OF FRAMING

LEGEND

WD FRAMING TO REMAIN

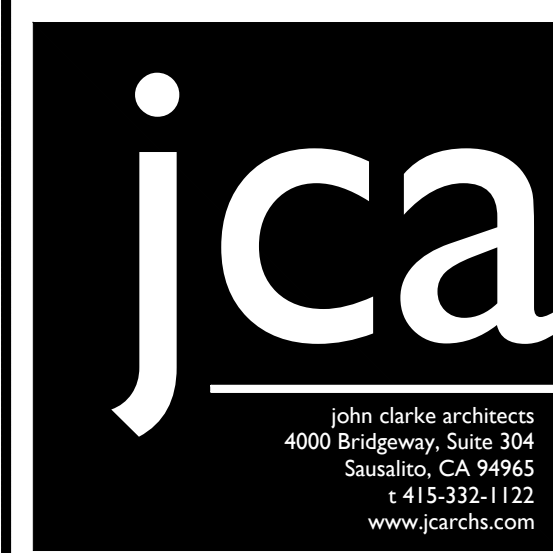
NEW PARTITION

1-HR RATED CONSTRUCTION

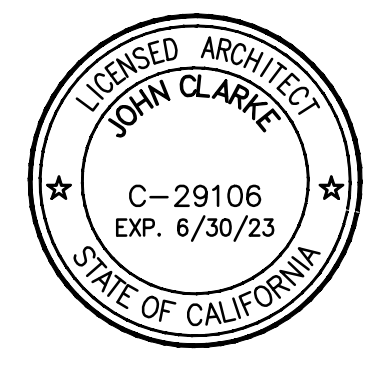
AREA OF ADDITION

REVISIONS:
 1. pre-application submittal- december 20, 2021
 2. design review submittal- september 12, 2022
 3. design review revisions- november 10, 2022

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 apr: 001-082-46



APPROVED BY:



DRAWING TITLE
 proposed story pole plan

JOB NUMBER

DRAWN BY
 jclcg/zer

SCALE
 as noted

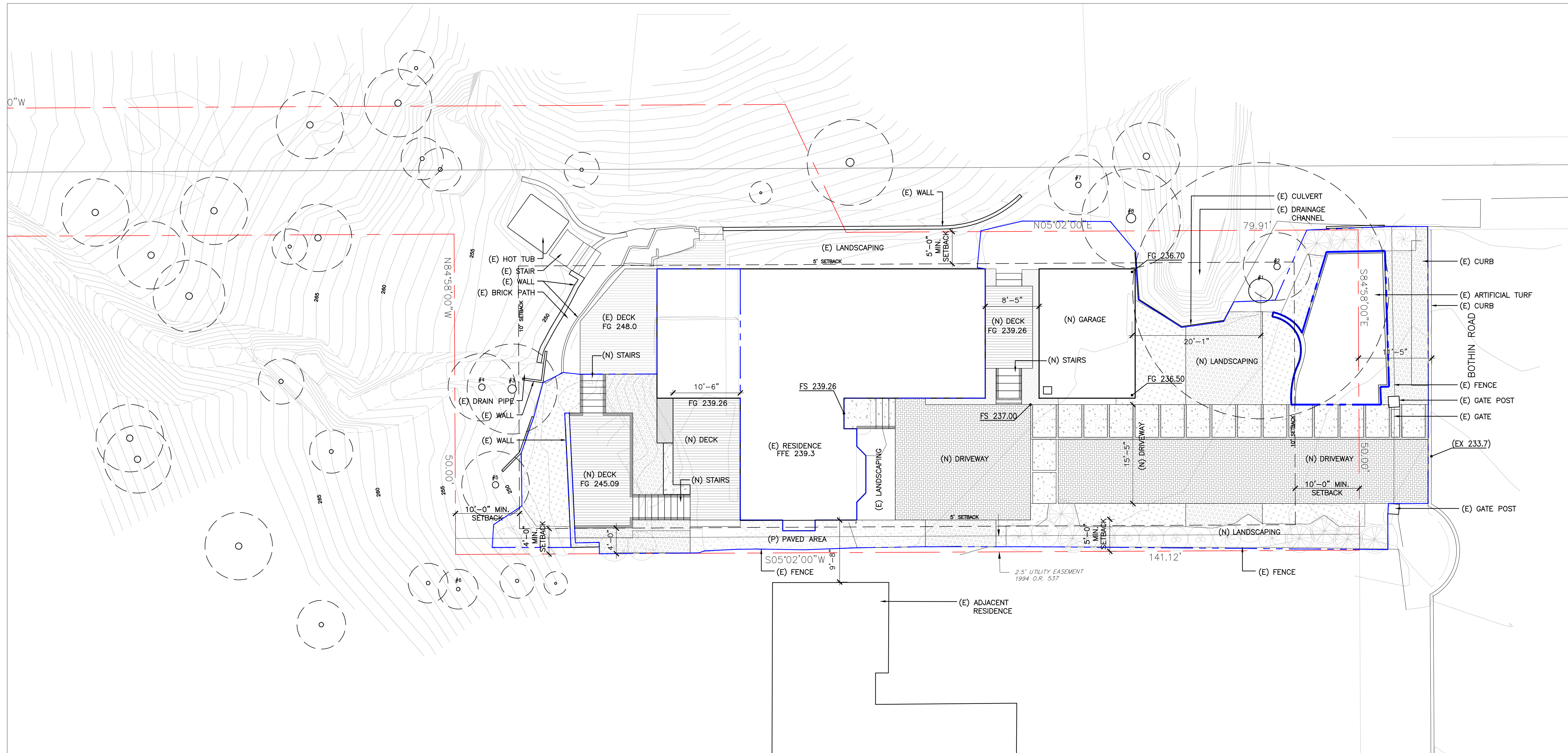
DATE
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SHEET NO.

SP.1

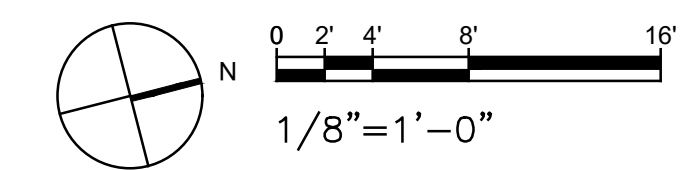
PROPOSED STORY POLE PLAN 1
 SCALE: 1/4" = 1'-0" SP.1

0 | 1 | 2 | 4 | 8



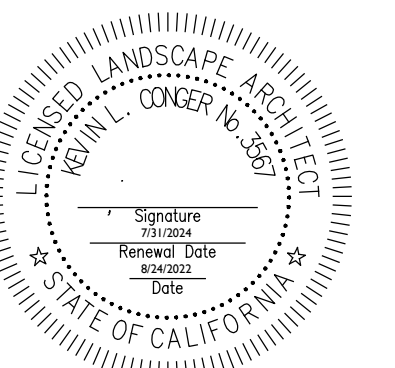
LEGEND	
	PROPERTY LINE
	LIMIT OF WORK -ALL AREAS AND ELEMENTS OUTSIDE OF LIMIT OF WORK ARE EXISTING TO REMAIN
	EXISTING TREE -SEE ARBORIST REPORT

- NOTES:
- SEE LANDSCAPE MATERIALS PLAN (L1.0) FOR HARDSCAPE AND SITE MATERIALS INFORMATION
 - SEE LANDSCAPE PLANTING PLAN (L2.1) FOR PLANTING AND IRRIGATION INFORMATION



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 apr: 001-082-46

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DRAWING TITLE
PROPOSED SITE PLAN

JOB NUMBER

DRAWN BY
 wb

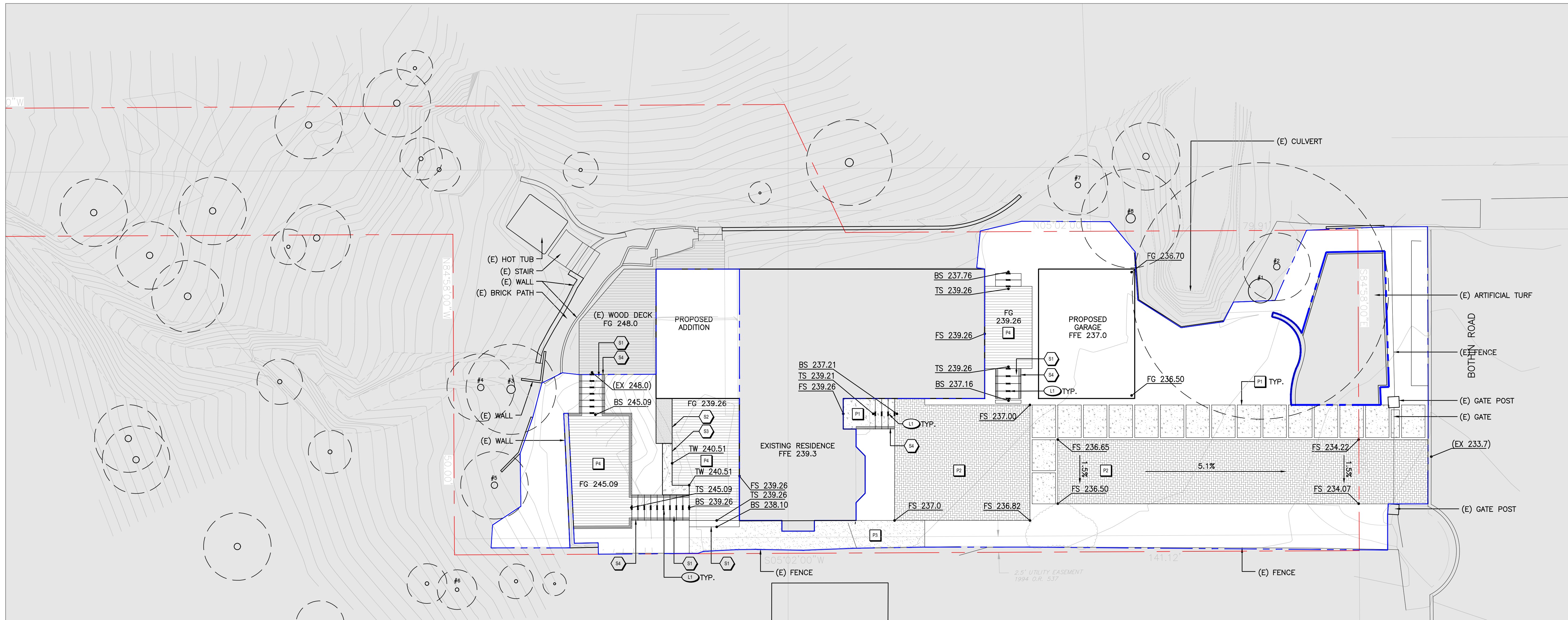
SCALE
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DATE
 11.6.2022

SHEET NO.

L0.1

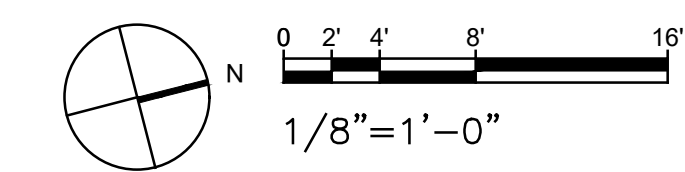
plans prepared by:
 Will Benge, CMG
 wbenge@cmgsite.com
 504.756.0997



LEGEND	
	PROPERTY LINE
	LIMIT OF WORK -ALL AREAS AND ELEMENTS OUTSIDE OF LIMIT OF WORK ARE EXISTING TO REMAIN
	EXISTING TREE -SEE ARBORIST REPORT

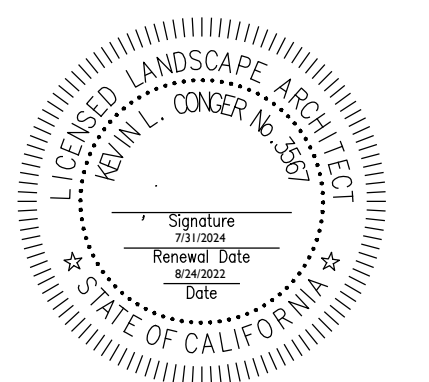
GRADING SCHEDULE	
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	SLOPE VALUE AND DIRECTION
ABBREVIATIONS FS FINISH SURFACE FG FINISH GRADE TC TOP OF CURB BC BOTTOM OF CURB TS TOP OF STAIR BS BOTTOM OF STAIR SB TOP OF SUBGRADE TW TOP OF WALL	

MATERIALS SCHEDULE					
TAG	HATCH	NAME	DESCRIPTION / MANUFACTURER	COLOR / FINISH	NOTES
PAVING					
P1		CONCRETE PAVING	CIP CONCRETE PAVING	COLOR : WARM GREY FINISH : TOPCAST #50	--
P2		BRICK PAVING	4"X8" BRICK PAVERS ON SAND SETTING BED	RUSTICATED RED	--
P3		CRUSHED STONE PAVING	DECOMPOSED GRANITE	CALIFORNIA GOLD	--
P4		WOOD DECK	REDWOOD DECKING	--	DECK IS PERMEABLE WITH SUBGRADE UNDERNEATH
SITE ELEMENTS					
S1		WOOD STAIR	REDWOOD STAIR	--	STAIR IS PERMEABLE WITH SUBGRADE UNDERNEATH
S2		BBQ	GAS GRILL	--	--
S3		CONCRETE SEATWALL	CIP CONCRETE SEATWALL	COLOR : NATURAL GREY FINISH : BOARDFORM	--
S4		WOOD HANDRAIL	REDWOOD HANDRAIL	--	--
SITE LIGHTING					
L1		STEP LIGHT	RECESSED DOWNLIGHT LUMINAIRE BY BEGA PRODUCT 33055	COLOR : BLACK	--



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DRAWING TITLE
LANDSCAPE MATERIALS PLAN

JOB NUMBER

DRAWN BY
 wb

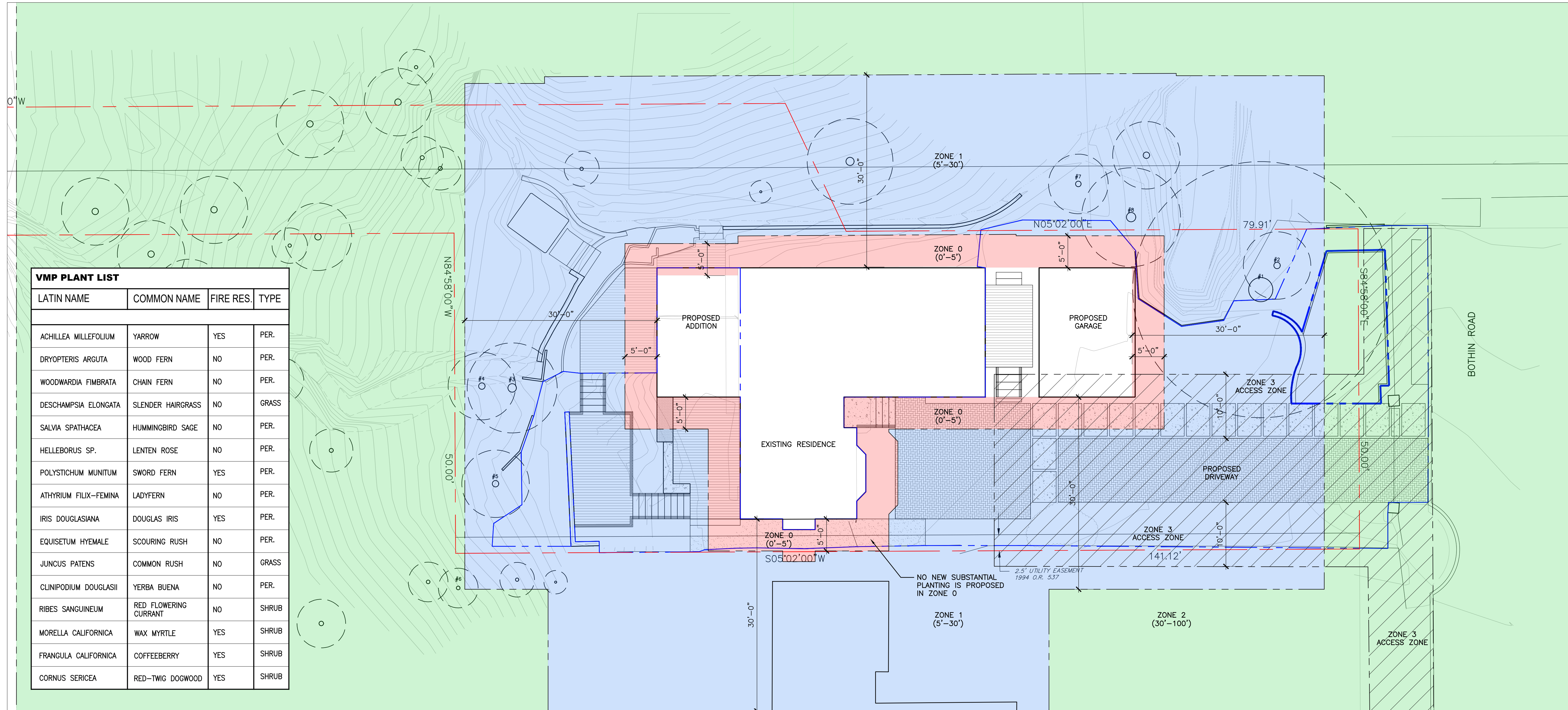
SCALE
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DATE
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SHEET NO.

L1.0

plans prepared by :
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 504.756.0997



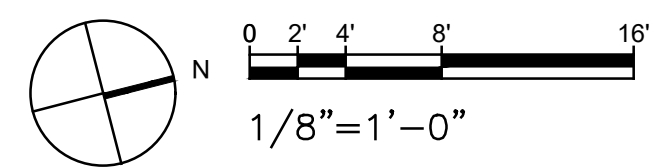
VMP PLANT LIST			
LATIN NAME	COMMON NAME	FIRE RES.	TYPE
ACHILLEA MILLEFOLIUM	YARROW	YES	PER.
DRYOPTERIS ARGUTA	WOOD FERN	NO	PER.
WOODWARDIA FIMBRATA	CHAIN FERN	NO	PER.
DESCHAMPSIA ELONGATA	SLENDER HAIRGRASS	NO	GRASS
SALVIA SPATHACEA	HUMMINGBIRD SAGE	NO	PER.
HELLEBORUS SP.	LENTEN ROSE	NO	PER.
POLYSTICHUM MUNITUM	SWORD FERN	YES	PER.
ATHYRIUM FILIX-FEMINA	LADYFERN	NO	PER.
IRIS DOUGLASIANA	DOUGLAS IRIS	YES	PER.
EQUISETUM HYEMALE	SCOURING RUSH	NO	PER.
JUNCUS PATENS	COMMON RUSH	NO	GRASS
CLINOPODIUM DOUGLASII	YERBA BUENA	NO	PER.
RIBES SANGUINEUM	RED FLOWERING CURRANT	NO	SHRUB
MORELLA CALIFORNICA	WAX MYRTLE	YES	SHRUB
FRANGULA CALIFORNICA	COFFEEBERRY	YES	SHRUB
CORNUS SERICEA	RED-TWIG DOGWOOD	YES	SHRUB

LEGEND	
	PROPERTY LINE
	LIMIT OF WORK -ALL AREAS AND ELEMENTS OUTSIDE OF LIMIT OF WORK ARE EXISTING TO REMAIN
	EXISTING TREE -SEE ARBORIST REPORT

PAVING LEGEND	
	CONCRETE PAVING
	BRICK PAVING
	CRUSHED STONE PAVING
	WOOD DECK

FIRE MANAGEMENT ZONES	
	<p>ZONE 0 – IMMEDIATE ZONE (0’-5’) ZONE 0 is the area closest to your house, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This area is most vulnerable, and should be most aggressively maintained for fire resistance.</p> <ul style="list-style-type: none"> Remove any combustible outdoor furniture. Replace jute or fiber door mats with fire resistant materials. Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories. Clean all fallen leaves and needles regularly. Repeat often during fire season. No vegetation is recommended within 5’ of structures. Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 5’ of structures. Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs. Move stored combustibles inside, or at least 30’ away from structures. Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2” diameter) may be OK.
	<p>ZONE 1 – INTERMEDIATE ZONE (5’-30’) The Intermediate Zone from 5’ to 30’ out from buildings, structures, decks, etc. Keep ZONE 1 “Lean, Clean, and Green” and employ careful landscaping to create breaks that can help influence and decrease fire behavior.</p> <ul style="list-style-type: none"> Remove all dead plants, grass, and weeds (vegetation). Remove dead or dry leaves and pine needles from your yard, roof and rain gutters. Trim trees regularly to keep branches a minimum of 10 feet from other trees. Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney. Remove vegetation and items that could catch fire from around and under decks. Remove fire-prone plants, and choose only fire-resistant varieties. Irrigate regularly. Remove limbs to a height of 10 above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a “fire ladder”. Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2” diameter) may be OK.
	<p>ZONE 2 – EXTENDED ZONE (30’-100’) The extended zone from 30’ to 100’ (or more, if required due to steep slopes, nearby vegetation conditions, and/or your local fire department). The goal here is not to eliminate fire but to interrupt fire’s path and keep flames smaller and on the ground. This zone should include at a minimum:</p> <ul style="list-style-type: none"> Cut or mow annual grass down to a maximum height of 4 inches. Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs and trees. Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches if erosion control is an issue.
	<p>ZONE 3 – ACCESS ZONE (0’-10’) Extends 10 feet horizontally from the edge on either side of the road or driveway.</p> <ul style="list-style-type: none"> Within this zone, plantings shall be fire resistant and shall not extend within the 14 foot vertical clearance above the surface of the roadway or driveway, as required for emergency. All landscape shall meet the requirements for separation as stated in the Zone 2 above.

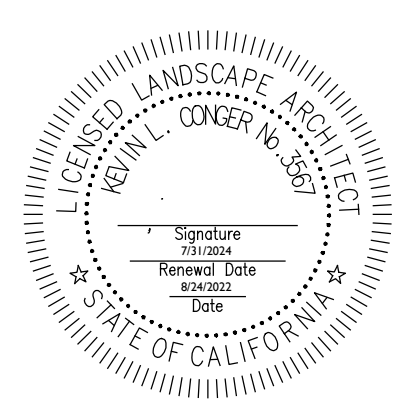
VEGETATIVE MANAGEMENT PLAN NARRATIVE	
1.	EXISTING CONDITIONS – THERE ARE CURRENTLY MATURE BAY LAUREL TREES, OAKS, MAPLES, REDWOOD TREES AND OTHER TREES ON SITE. THERE ARE ALSO NUMEROUS NATIVE SHRUB SPECIES AND OTHER ORNAMENTAL SHRUBS.
2.	PROPOSED SCOPE – THE INTENT OF THIS PLAN IS TO MAINTAIN ALL OF THE MATURE TREES WITH SELECTIVE PRUNING AND REMOVAL OF ALL DEAD MATERIAL PER FIREWISE STANDARDS. THERE ARE NO FIRE-PRONE SPECIES CURRENTLY LOCATED WITHIN THE INTERMEDIATE ZONE AND MANY OF THE PROPOSED SPECIES ARE FIRE-RESISTANT. ALL TREES AND SHRUBS WITHIN THE INTERMEDIATE ZONE WILL BE IRRIGATED AND THINNED REGULARLY.
3.	FUTURE PLANTING – ANY FUTURE PLANTINGS THROUGHOUT THE SITE WILL INCLUDE FIRE-RESISTANT SPECIES WHICH WILL BE IRRIGATED.
4.	LONG TERM MAINTENANCE SCHEDULE AND SAFETY PRACTICES
A.	ALL FIRE PRONE FUELS AND DEAD MATERIAL WILL BE REMOVED WITHIN 100’ OF THE HOME.
B.	REMOVE BRANCHES BENEATH LARGE TREES FOR A 6-FOOT MINIMUM CLEARANCE.
C.	NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LITTER SHALL BE REMOVED FROM ROOFS AND CUTTER AT MINIMUM TWICE YEARLY.
D.	ALL WEEDS AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4” OR LESS.
E.	VEGETATION SHALL BE TRIMMED TO WITHIN 10’ HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHAND ROADWAYS AND PROVIDE 14’ OF CLEARANCE VERTICALLY.
F.	ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LADDER FUELS.
G.	COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANOPIES, VEGETATION AND LADDER FUELS ON AN ANNUAL BASIS.
H.	NO NATIVE GRASSES SHALL BE PLANTED WITHIN HOME IGNITION ZONES 1 AND 2.
I.	ALL PLANTED AREAS INSIDE HOME IGNITION ZONES 1 AND 2 SHALL BE IRRIGATED.
J.	ALL PLANTINGS SHALL BE SELECTED IN COORDINATION WITH FIRESAFE MARIN PLANTING LIST LOCATED AT WWW.FIRESAFEAMARIN.ORG/PLANTS. OTHER FIRE RESISTANT PLANTS CAN BE UTILIZED WITH PRIOR APPROVAL OF THE FIRE CODE OFFICIAL.
K.	REGARDLESS OF PLANT SELECTION, SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN GROUND FUELS AND TREE CROWNS, SUCH THAT GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.



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 504.756.0997

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 apr: 001-082-46

APPROVED BY:



DRAWING TITLE
**VEGETATION
 MANAGEMENT PLAN**

JOB NUMBER

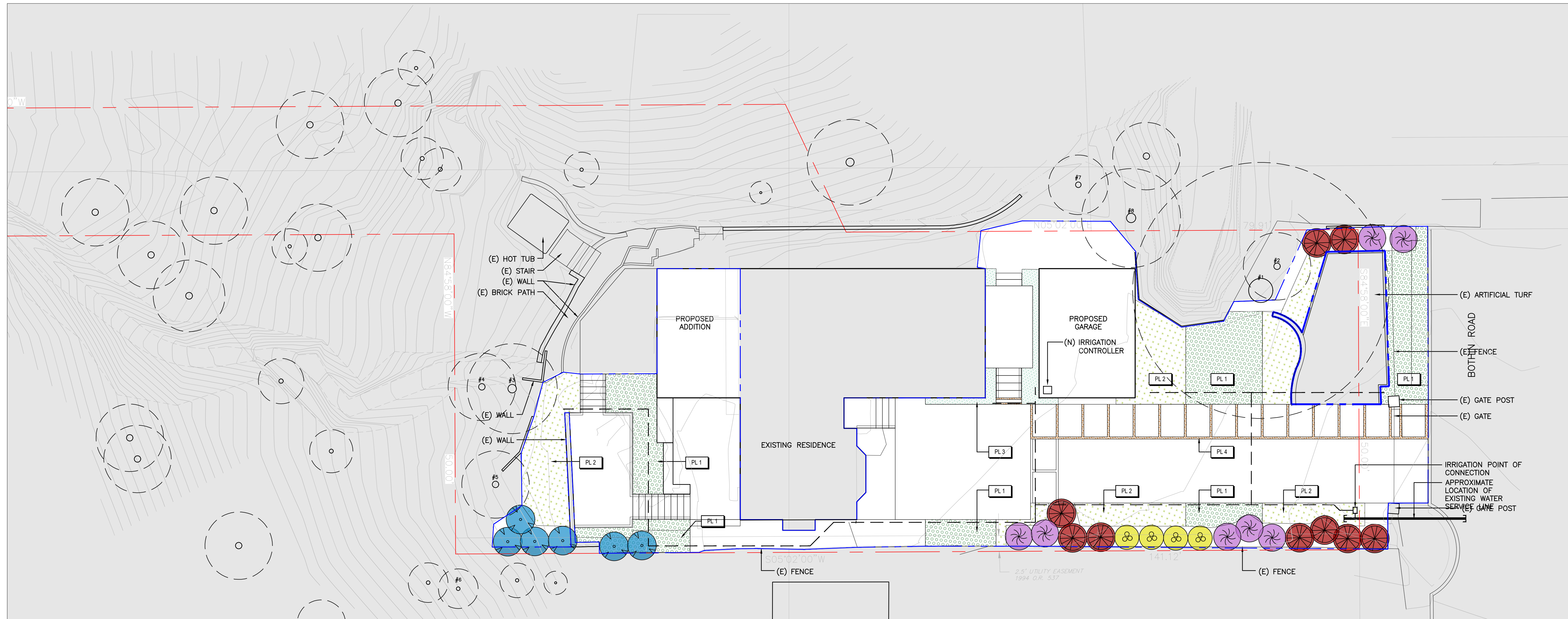
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 wlb

SCALE
 as noted

DATE
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L2.0

plans prepared by:
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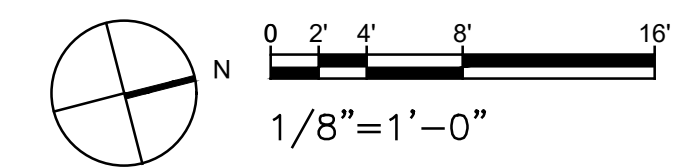
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LEGEND	
	PROPERTY LINE
	LIMIT OF WORK -ALL AREAS AND ELEMENTS OUTSIDE OF LIMIT OF WORK ARE EXISTING TO REMAIN
	EXISTING TREE -SEE ARBORIST REPORT

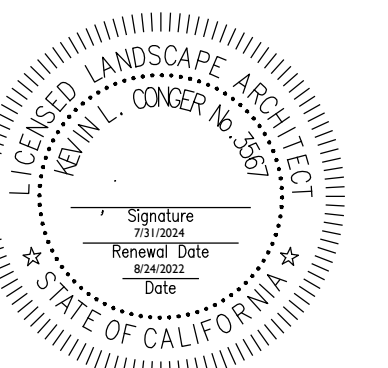
IRRIGATION SCHEDULE	
	IRRIGATION POINT OF CONNECTION -PROVIDE 1" CONNECTION TO EXISTING WATER LINE -CONNECTION TO INCLUDE REDUCED PRESSURE BACKFLOW ASSEMBLY, GATE VALVE, MASTER VALVE AND FLOW SENSOR -CONTROLLER TO BE A SMART CONTROLLER, 120 VOLT, 5 AMP, LOCATE ADJACENT TO POINT OF CONNECTION
	IRRIGATION MAINLINE (1") - ALL (N) PLANTING AREAS TO RECEIVE (N) DRIP IRRIGATION

PLANTING SCHEDULE							
SHRUBS, PERENNIALS AND GROUNDCOVERS							
TAG	HATCH	LATIN NAME	COMMON NAME	SIZE	SPACING	TYPE	MAT. HT.
(RIB SAN)		RIBES SANGUINEUM	RED FLOWERING CURRANT	15 GAL	AS SHOWN	(N)	8'-10'
(MOR CAL)		MORELLA CALIFORNICA	WAX MYRTLE	15 GAL	AS SHOWN	(N)	8'-12'
(COR SER)		CORNUS SERICEA	RED-TWIG DOGWOOD	15 GAL	AS SHOWN	(N)	6'-9'
(FRA CAL)		FRANGULA CALIFORNICA	COFFEEBERRY	15 GAL	AS SHOWN	(N)	8'-10'

PLANTING MIXES								
TAG	HATCH	LATIN NAME	COMMON NAME	SIZE	SPACING	%	TYPE	MAT. HT.
PL 1		ACHILLEA MILLEFOLIUM	YARROW	1 GAL	18" OC	25%	(N)	24"-48"
		DRYOPTERIS ARGUTA	WOOD FERN	1 GAL	18" OC	25%	(N)	18"-24"
		WOODWARDIA FIMBRATA	CHAIN FERN	5 GAL	36" OC	25%	(N)	36"-48"
PL 2		DESCHAMPSIA ELONGATA	SLENDER HAIRGRASS	1 GAL	18" OC	25%	(N)	24"-36"
		SALVIA SPATHACEA	HUMMINGBIRD SAGE	1 GAL	18" OC	25%	(N)	24"-36"
		HELLEBORUS SP.	LENTEN ROSE	1 GAL	18" OC	25%	--	18"-24"
		POLYSTICHUM MUNITUM	SWORD FERN	5 GAL	36" OC	25%	(N)	36"-48"
PL 3		ATHYRIUM FILIX-FEMINA	LADYFERN	5 GAL	36" OC	25%	(N)	36"-48"
		IRIS DOUGLASIANA	DOUGLAS IRIS	1 GAL	18" OC	33%	(N)	12"-24"
		EQUISETUM HYEMALE	SCOURING RUSH	1 GAL	18" OC	33%	(N)	24"-36"
PL 4		JUNCUS PATENS	COMMON RUSH	1 GAL	18" OC	33%	(N)	24"-36"
		CLINIPODIUM DOUGLASII	YERBA BUENA	4" POT	12" OC	--	(N)	3"-6"



APPROVED BY:



DRAWING TITLE
LANDSCAPE PLANTING PLAN

JOB NUMBER

DRAWN BY
 wb

SCALE
 as noted

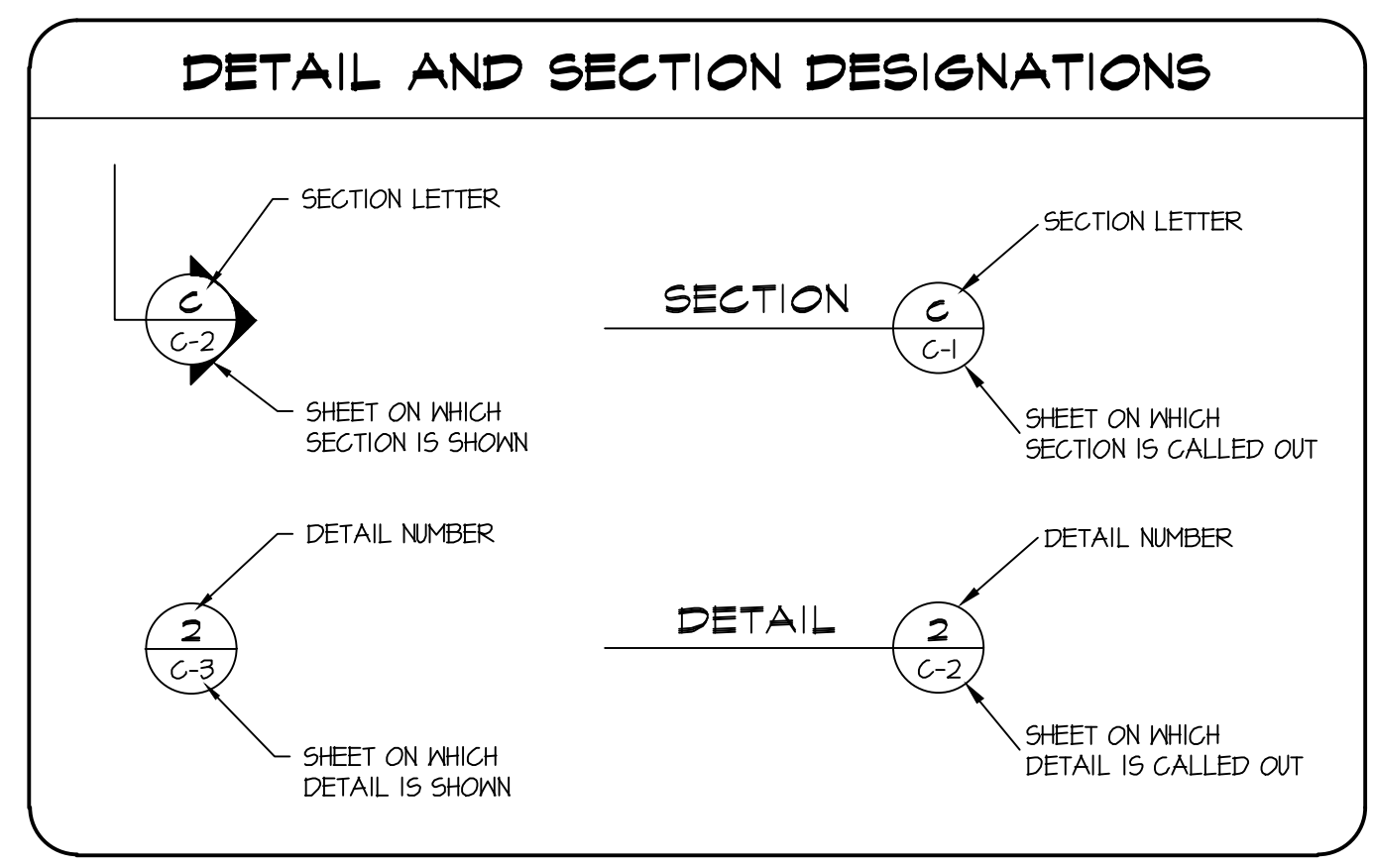
DATE
 11.6.2022

SHEET NO.

L2.1

plans prepared by:
 Will Benge, CMG
 wbenge@cmgsite.com
 504.756.0997

LEGEND	
EX NEW 	ASPHALT PAVING (IMPERVIOUS)
	CONCRETE PAVING (IMPERVIOUS)
	NEW FLAGSTONE PAVING (IMPERVIOUS)
	NEW CONCRETE PAVERS (SEMI-PERVIOUS)
	NEW WOOD DECK (PERVIOUS)
	PERVIOUS PAVING
	PLANTED, LANDSCAPED AREA
	GRAVEL OR DECOMPOSED GRANITE (PERVIOUS)
	EROSION CONTROL BLANKET
AD ⊕	AREA DRAIN
	DRAINAGE INLET
	ROOF LEADER
	FIRE HYDRANT
	JOINT POLE
	GAS METER, ELECTRIC METER
	WATER METER
	EX TREE
	EX TREE DRIPLINE
	PROPERTY LINE
	EASEMENT LINE
	EX WOODEN RET WALL
	DRAINAGE DITCH/ BIO-SWALE
	UNDISTURBED SOIL
	COMPACTED FILL MATERIAL
	GEOTEXTILE
	EROSION CONTROL BLANKET
	TURF REINFORCING MAT
	STRAW WATTLE
	RUNOFF FLOW DIRECTION
	SWALE FLOW DIRECTION
	STORMWATER LEVEL SPREADER
	BUBBLE-UP DRAINAGE EMITTER
	POP-UP DRAINAGE EMITTER
	SUBDRAIN END CAP
	SUBDRAIN OR STORMWATER CLEANOUT
	SUBDRAIN OUTLET
	HIDDEN FOUNDATION OR RETAINING WALL
	TREE PROTECTION FENCING
EX NEW 	CONC RETAINING WALL
	SUBDRAIN (PERFORATED PIPE)
	STORM DRAIN PIPE
E/OH — E/OH	ELECTRICAL OVERHEAD LINE
E/UG — E/UG	ELECTRICAL UNDERGROUND
COM/OH — COM/OH	COMMUNICATION OVERHEAD LINE
COM/UG — COM/UG	COMMUNICATION UNDERGROUND
JT — JT	JOINT TRENCH
SS — SS	SANITARY SEWER
W — W	WATER LINE
G — G	GAS LINE
	EDGE OF ROAD
	ROOF EAVE
	EX FENCE
	NEW WIRE FENCE
	NEW WOOD FENCE
	EXISTING GRADE ELEVATION CONTOUR
	FINISHED GRADE ELEVATION CONTOUR
	FINISHED GRADE ELEVATION
	REMOVE EX TREE



- ### GENERAL NOTES:
- SITE SURVEY AND TOPOGRAPHIC BASE MAP PREPARED BY MICHAEL FORD LAND SURVEYING, INC. 2300 BETHARDS DRIVE, SUITE J, SANTA ROSA, CA. 95405. (707) 542-8513. www.michaelfordinc.com. DATED 10-11-21. BENCHMARK: A ONE POINT MINIMALLY CONSTRAINED CORS ADJUSTMENT USING CORS STATIONS SVIN AND T3RP. ADJUSTMENT BASED ON NAD83, CALIFORNIA ZONE 3 (0403), GSRG 2017.50 EPOCH, GEOID12B(CONUS), USING A 2.6 HOUR GPS OBSERVATION OF CONTROL POINT 4 ON MARCH 30, 2021. CONTROL POINT 4 ELEVATION = 236.71' BASIS OF BEARING: N75d45'06"E BETWEEN A FOUND IRON PIPE LS 2731 AS SHOWN ON 35 05 36, AND A FOUND NAIL AND TAG LS 3887 AS SHOWN ON CORNER RECORD D.N. 001-082-23 FILED JULY 22, 2003, MARIN COUNTY RECORDS.
 - THE LOCATION OF EXISTING UNDERGROUND UTILITIES OR IMPROVEMENTS HAS NOT BEEN VERIFIED BY THE ENGINEER AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF INFORMATION SHOWN ON THE DRAWINGS. THE CONSTRUCTION CONTRACTOR MUST NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS BEFORE EXCAVATION AND REQUEST FIELD LOCATION OF ALL UNDERGROUND UTILITIES. CALL UNDERGROUND SERVICE ALERT (USA) AT 811 OR 800-227-2600. ANY UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL UTILITY ENGINEER, AT THE SOLE EXPENSE OF THE CONTRACTOR. ANY PROPERTY DAMAGE OR DAMAGE TO CONSTRUCTED FACILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE ENGINEER AND OWNER AT THE SOLE EXPENSE OF THE CONTRACTOR.

INDEX OF DRAWINGS

DRAWING NO.	DESCRIPTION
C-1	COVER SHEET
C-2	CONCEPTUAL GRADING AND DRAINAGE PLAN
C-3	DETAILS

ABBREVIATIONS

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ADA	AMERICANS WITH DISABILITIES ACT
APN	ASSESSOR'S PARCEL NUMBER
APPROX	APPROXIMATE
ASTM	AM. SOCIETY OF TESTING MATERIALS
BM	BENCH MARK
BPD	BACKWATER PREVENTION DEVICE
CMP	CORRUGATED METAL PIPE
CO	CLEANOUT
COM	COMMUNICATION
COM/OH	COMMUNICATION OVERHEAD
COM/UG	COMMUNICATION UNDERGROUND
CONC	CONCRETE
CY	CUBIC YARDS
DI	DRAINAGE INLET
DIA	DIAMETER
E	ELECTRICAL
E/OH	ELECTRICAL OVERHEAD
E/UG	ELECTRICAL UNDERGROUND
EG	EXISTING GROUND
EL or ELEV	ELEVATION
EX	EXISTING
FD	FLOOR DRAIN
FF	FINISHED FLOOR ELEVATION
FL	FLOW LINE
F&G	FINISHED GRADE ELEVATION
FT	FEET or FOOT
G	NATURAL GAS
GALV	GALVANIZED
GM	GAS METER
GPM	GALLONS PER MINUTE
H	HEIGHT OF EXPOSED WALL FACE
HB	HOSE BIB
HDPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	INVERT ELEVATION
JP	JOINT UTILITY POLE
JT	JOINT UTILITY TRENCH
LLFF	LOWER LEVEL FINISHED FLOOR ELEV
LFFF	LOW POINT FINISHED FLOOR ELEV
MAX	MAXIMUM
MH	MANHOLE
MIN	MINIMUM
MLFF	MAIN LEVEL FINISHED FLOOR ELEV
MMWD	MARIN MUNICIPAL WATER DISTRICT OVERHEAD
OH	OVERHEAD
P&E	PACIFIC GAS AND ELECTRIC
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RIM	ELEV AT MH COVER OR DI GRATE
RL	ROOF LEADER
ROW	RIGHT-OF-WAY
S	SLOPE
SCH	SCHEDULE
SIM	SIMILAR
SDMH	STORM DRAIN MANHOLE
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
SDR	STANDARD DIMENSION RATIO
TC	TOP OF CURB ELEVATION
TM	TOP OF WALL ELEVATION
TYP	TYPICAL
UCS	UNIFORM CONSTRUCTION STANDARDS, MARIN COUNTY
ULFF	UPPER LEVEL FINISHED FLOOR ELEV
VB	VALVE BOX
W	WATER
WM	WATER METER
WV	WATER VALVE

EROSION CONTROL PLAN

AN APPROVED EROSION CONTROL PLAN IS REQUIRED FOR ALL PROJECTS INVOLVING EXCAVATION, DRILLING, OTHER EARTHWORK OR EXPOSED BARE SOIL. THE PLAN MUST BE SUBMITTED TO THE TOWN ENGINEER AND APPROVED PRIOR TO STARTING WORK. IMPLEMENT EROSION CONTROL MEASURES YEAR ROUND AS APPROPRIATE. REGULARLY MONITOR EROSION CONTROL MEASURES AND PROMPTLY REPAIR OR REPLACE ANY DAMAGED OR INEFFECTIVE EROSION CONTROL MEASURES AS REQUIRED BY THE EROSION CONTROL PLAN. A SIGNED COPY OF THE EROSION CONTROL PLAN MUST BE POSTED AT THE WORK SITE.

DRAINAGE CONSTRUCTION REVIEW

THE CONTRACTOR SHALL CONTACT THE ENGINEER AND REQUEST REVIEW OF ALL SUBSURFACE DRAINAGE PIPING AND STORMWATER DRAINAGE PIPING AT LEAST 2 DAYS BEFORE PLACING BACKFILL MATERIAL.

FOUNDATION ELEVATIONS

BUILDING FOOTING, GRADE BEAM AND FOUNDATION WALL ELEVATIONS ARE SHOWN ON THE ARCHITECTURAL AND STRUCTURAL DRAWINGS. CONTACT THE ENGINEER IF ACTUAL SITE ELEVATIONS DIFFER FROM THE TOPOGRAPHY SHOWN ON THE GRADING PLAN. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FOUNDATION ELEVATIONS WITH THE GRADING PLAN, ARCHITECTURAL PLANS, STRUCTURAL PLANS AND LANDSCAPE PLANS. CONTACT THE ENGINEER AND ARCHITECT TO RESOLVE ANY CONFLICTS BETWEEN FOUNDATION ELEVATIONS AND THE SITE TOPOGRAPHY.

ESTIMATED EARTHWORK QUANTITIES

EXCAVATION	37 CY
FILL	0 CY
EXCESS	35 CY
MAX. EXCAVATION DEPTH	6 FT
MAX. FILL DEPTH	0 FT
DISTURBED AREA	0.03 AC

- ### EARTHWORK NOTES:
- QUANTITIES ARE "IN-PLACE" ESTIMATES AND DO NOT INCLUDE AN ALLOWANCE FOR SHRINK OR SWELL. ESTIMATES ARE FOR PERMITTING PURPOSES ONLY. CONTRACTOR IS RESPONSIBLE FOR INDEPENDENTLY DETERMINING QUANTITIES FOR CONSTRUCTION PURPOSES.
 - LEGALLY DISPOSE OF EXCESS MATERIAL OFF-SITE.
 - SITE GRADING IS NOT PERMITTED BETWEEN OCTOBER 15 AND APRIL 15 UNLESS PERMITTED IN WRITING BY THE BUILDING OFFICIAL/ DIRECTOR OF PUBLIC WORKS.

- ### GREEN BUILDING STANDARDS
- THE GRADING AND DRAINAGE PLAN SHOWN ON THE DRAWINGS COMPLIES WITH CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.3 REQUIRING MANAGEMENT OF SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS.
 - THE CONTRACTOR IS RESPONSIBLE FOR MANAGING STORMWATER DRAINAGE DURING CONSTRUCTION TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN RUNOFF ON THE SITE AS REQUIRED BY CALIFORNIA GREEN BUILDING CODE STANDARDS SECTION 4.106.2.

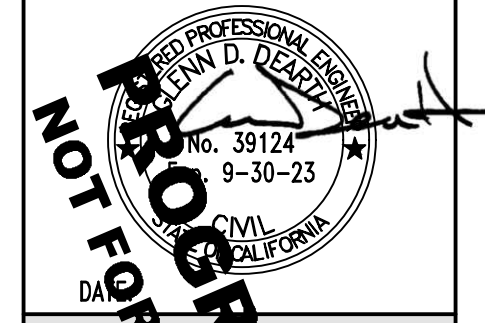
STORMWATER PLAN SUMMARY

	EXISTING SITE	PROPOSED SITE DEVELOPMENT PLAN
IMPERVIOUS SURFACES	3,520 SF	2,511 SF
CONCRETE PAVERS (PERVIOUS)	0 SF	463 SF
LANDSCAPE (PERVIOUS)	3,536 SF	3,582 SF
TOTAL LOT AREA	7,056 SF	7,056 SF

- ### STORMWATER NOTES:
- IMPERVIOUS SURFACES INCLUDE ROOF, DRIVEWAY, WALKWAYS AND PATIOS. FOR DRAINAGE PURPOSES, IMPERVIOUS AREA INCLUDES ROOF EAVE OVERHANG AREA.
 - NEW OR REPLACEMENT IMPERVIOUS AREA IS 54 SF.

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OWNER
MICHAEL TZORTZIS
& SHANON SNYDER
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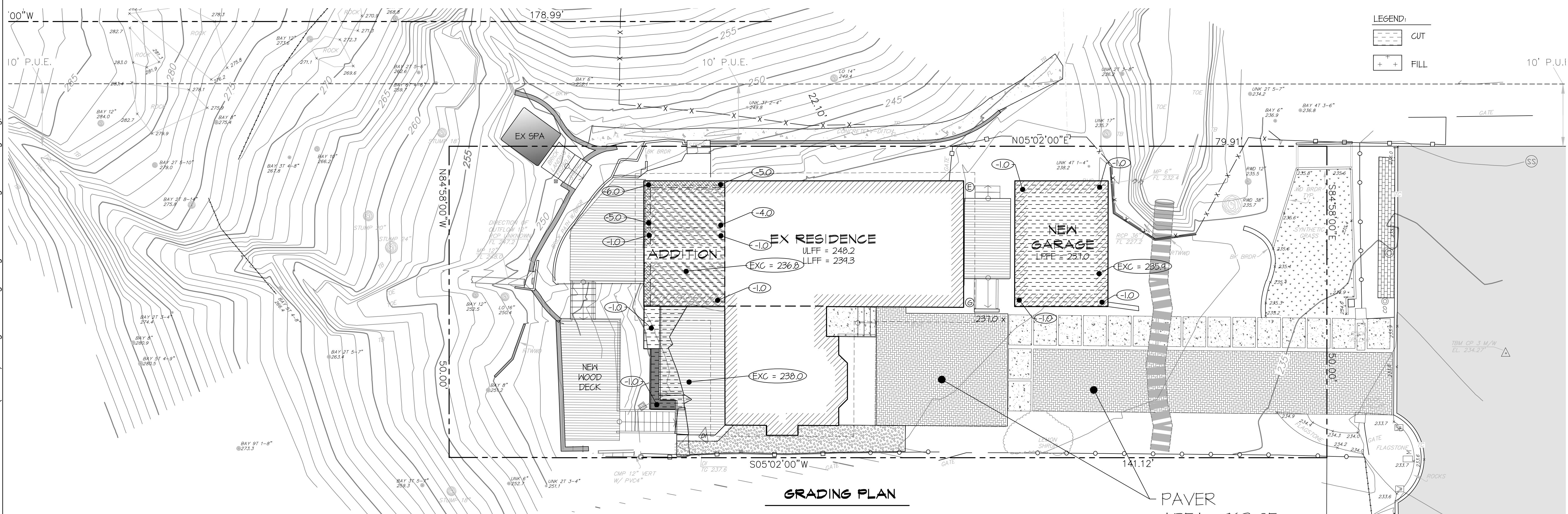
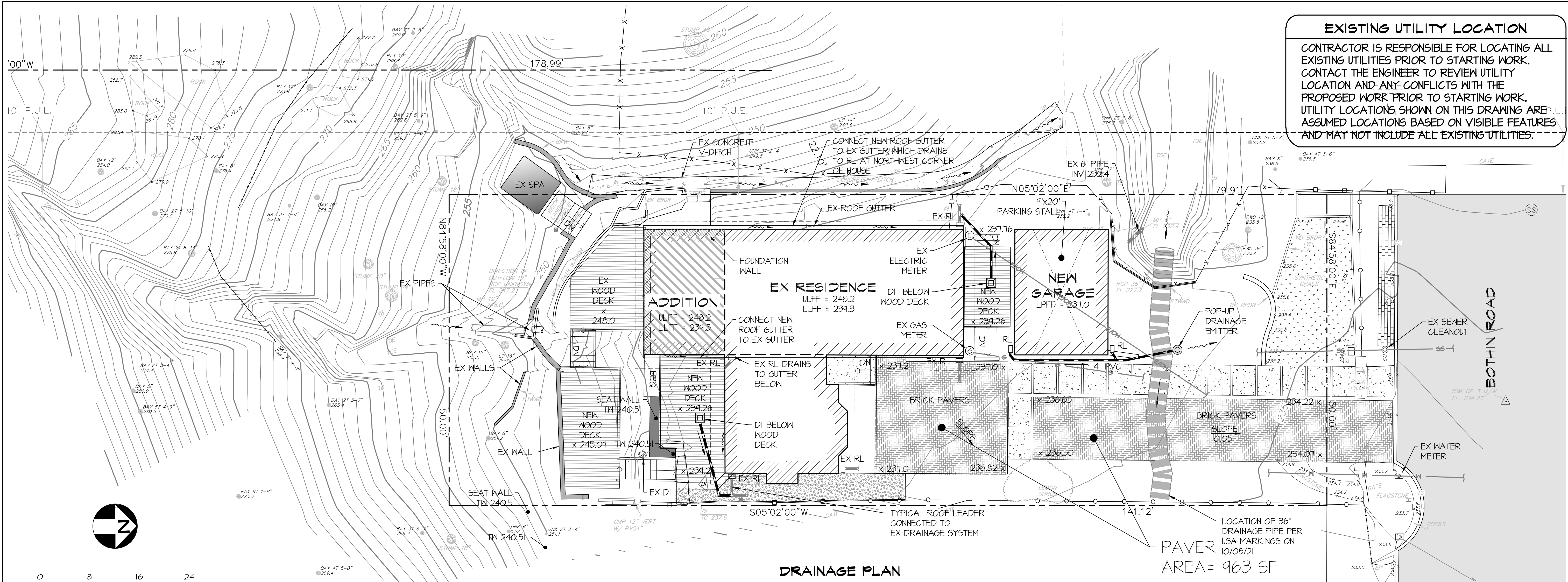
REVISIONS

NO.	DATE	DESCRIPTION
Δ	8/24/22	ISSUED FOR REVIEW
Δ		
Δ		
Δ		
Δ		
Δ		

DESIGNED BY: G. DEARTH
DRAWN BY: E. HAYDEN
APPROVED BY:
SCALE: NA
DATE: 8/24/2022 PROJECT NO. 706.001

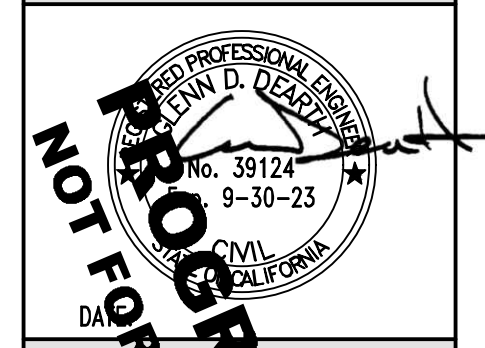
COVER SHEET

REVISION **0**
SHEET NO. **1 OF 3**
DRAWING **C-1**



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REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR REVIEW

DESIGNED BY: G. DEARTH
 DRAWN BY: E. HAYDEN
 APPROVED BY:
 SCALE: 1" = 8'-0"
 DATE: 8/24/2022 PROJECT NO. 106.001

CONCEPTUAL GRADING AND DRAINAGE PLAN

REVISION **0**
 SHEET NO. **2 OF 3**
 DRAWING **C-2**

C:\CAD\Tzortzis Res Fairfax (706.001) Grading and Drainage\Design\Tzortzis Grading and Drainage.dwg, 8/18/2022 4:37:03 PM

OWNER
 MICHAEL TZORTZIS
 & SHANON SNYDER
 197 BOTHIN ROAD
 FAIRFAX, CA, 94430



DESIGN REVIEW NOTES

STORMWATER DRAINAGE PLAN

1. THE CONCEPTUAL STORMWATER DRAINAGE PLAN IS DESIGNED TO COMPLY WITH THE TOWN REQUIREMENTS FOR ON-SITE STORMWATER MANAGEMENT AND CONTROL OF STORMWATER RUNOFF TO MINIMIZE OFF-SITE IMPACTS AND IMPROVE STORMWATER QUALITY.
2. THE EXISTING DEVELOPMENT ON THE SITE TOTALS 3520 SQUARE FEET (SQ FT) OF IMPERVIOUS AREA. THIS INCLUDES ROOF AREA, IMPERVIOUS PATIOS, IMPERVIOUS WALKWAYS AND THE DRIVEWAY. THE TOTAL LOT AREA IS 1056 SQ FT. THE EXISTING IMPERVIOUS AREA AMOUNTS TO 50 PERCENT OF THE TOTAL LOT AREA.
3. THE PROPOSED DEVELOPMENT PLAN REDUCES THE IMPERVIOUS AREA BY 1,009 SF, GIVING A TOTAL OF 2,511 SQ FT OF IMPERVIOUS AREA. THE PROPOSED TOTAL IMPERVIOUS AREA AMOUNTS TO 36 PERCENT OF THE LOT AREA.
4. RUNOFF FROM 300 SQ FT OF PROPOSED NEW IMPERVIOUS AREA WILL BE COLLECTED IN A PIPED DRAINAGE SYSTEM AND DIRECTED TO A LANDSCAPE AREA WHERE IT WILL BE DISPERSED ON SITE. THE IMPERVIOUS AREA DIRECTED TO THE LANDSCAPE INCLUDES THE ENTIRE ROOF AREA OF THE NEW GARAGE.
5. RUNOFF FROM THE ADDITION TO THE HOUSE WILL BE DIRECTED TO THE EXISTING STORMWATER DRAINAGE SYSTEM. THE EXISTING SYSTEM DISCHARGES STORMWATER TO THE DRAINAGE SWALE CROSSING THE PROPERTY.
6. AREA DRAINS IN LANDSCAPE AND HARDSCAPE AREAS ARE LIMITED TO LOCATIONS WHERE THEY ARE NECESSARY TO PREVENT WATER PONDING THAT COULD DAMAGE THE HOUSE. RUNOFF FROM MOST OF THE HARDSCAPE AREAS WILL BE ALLOWED TO SHEET FLOW TOWARD LANDSCAPED AREAS WHERE IT CAN INFILTRATE OR SLOWLY RUNOFF TOWARD THE STREET DRAINAGE SYSTEM.
7. A FOUNDATION DRAINAGE SYSTEM WILL BE CONSTRUCTED USING PERFORATED PVC PIPE. THE SYSTEM WILL OUTLET TO THE GROUND SURFACE AT A SUITABLE LOCATION. PERMANENT EROSION CONTROL WILL BE INSTALLED AT THE OUTLET LOCATION.

EXCAVATION & GRADING PLAN

1. SITE GRADING WILL BE COMPLETED IN CONFORMANCE WITH THE PROJECT GEOTECHNICAL REPORT AND THE APPROVED SITE GRADING PLAN. SITE GRADING WILL BE LIMITED TO EXCAVATION WITHIN THE FOOTPRINT OF THE ADDITION TO THE HOUSE AND THE NEW GARAGE.
2. EXCESS EXCAVATED MATERIAL WILL BE LEGALLY DISPOSED OF AT AN OFF-SITE LOCATION TO BE DETERMINED BY THE CONSTRUCTION CONTRACTOR.

EROSION CONTROL

1. EROSION CONTROL MEASURES WILL BE INCORPORATED INTO THE PROJECT DURING CONSTRUCTION AND IMPLEMENTED BY THE CONSTRUCTION CONTRACTOR. STRAW WATTLES WILL BE PLACED AROUND THE DOWN-SLOPE PERIMETER OF THE DISTURBED AREA. EXCAVATED AREAS AND SOIL STOCKPILES WILL BE COVERED WITH PLASTIC TARPS TO MINIMIZE EROSION. AREAS DISTURBED DURING CONSTRUCTION WILL BE RESTORED BY SEEDING AND INSTALLATION OF EROSION CONTROL BLANKET AND STRAW WATTLES.
2. PERMANENT EROSION CONTROL WILL BE PROVIDED BY LANDSCAPING THE ENTIRE DISTURBED AREA AT THE COMPLETION OF THE WORK IN ACCORDANCE WITH THE LANDSCAPING PLANS.

STORMWATER POLLUTION PREVENTION

1. SPECIFICATIONS WILL BE INCLUDED ON THE PROJECT DRAWINGS OUTLINING CONSTRUCTION PRACTICES THAT MUST BE FOLLOWED TO PREVENT STORMWATER POLLUTION. CONSTRUCTION WORKERS WILL BE ADVISED OF REQUIRED CONSTRUCTION MEASURES FOR AVOIDING STORMWATER POLLUTION. THESE MEASURES WILL INCLUDE PROCEDURES FOR MATERIAL STORAGE, USE AND DISPOSAL OF HAZARDOUS MATERIALS (PAINT, SOLVENTS, ADHESIVES, ETC.), WASTE DISPOSAL PROCEDURES, CONCRETE WASHOUT REQUIREMENTS AND OTHER CONSTRUCTION PRACTICES.

UTILITY PLAN

1. ALL UTILITY SERVICES WILL BE PROVIDED BY EXTENSION FROM THE EXISTING HOUSE. NO NEW CONNECTIONS TO SERVICE MAINS ARE PLANNED.

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 197 BOTHIN ROAD
 FAIRFAX, CALIFORNIA

REVISIONS		
NO.	DATE	DESCRIPTION
△	8/24/22	ISSUED FOR REVIEW
△		
△		
△		
△		

DESIGNED BY: G. DEARTH
 DRAWN BY: E. HAYDEN
 APPROVED BY:
 SCALE: AS SHOWN
 DATE: 8/24/2022 PROJECT NO. 106.001

DETAILS

REVISION **0**
 SHEET NO. **3 OF 3**
 DRAWING **C-2**

SURVEYOR'S STATEMENT
 THIS MAP IS BASED ON A FIELD SURVEY MADE BY ME OR UNDER MY DIRECTION ON 3/31/21 & 10/08/21 AND REPRESENTS THE VISUAL SURFACE CONDITIONS AS OF THE DATE OF SURVEY.



APN 001-082-46
 197 BOTHIN ROAD
 FAIRFAX, CA

TOPOGRAPHIC MAP

REVISIONS:
 10/11/21 DC

DATE:
 4/5/21

DRAWN BY:
 AJ

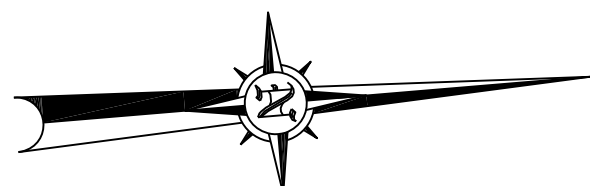
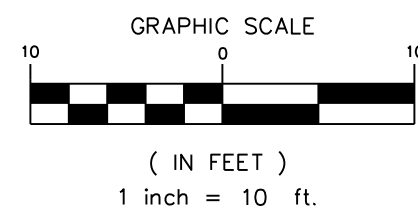
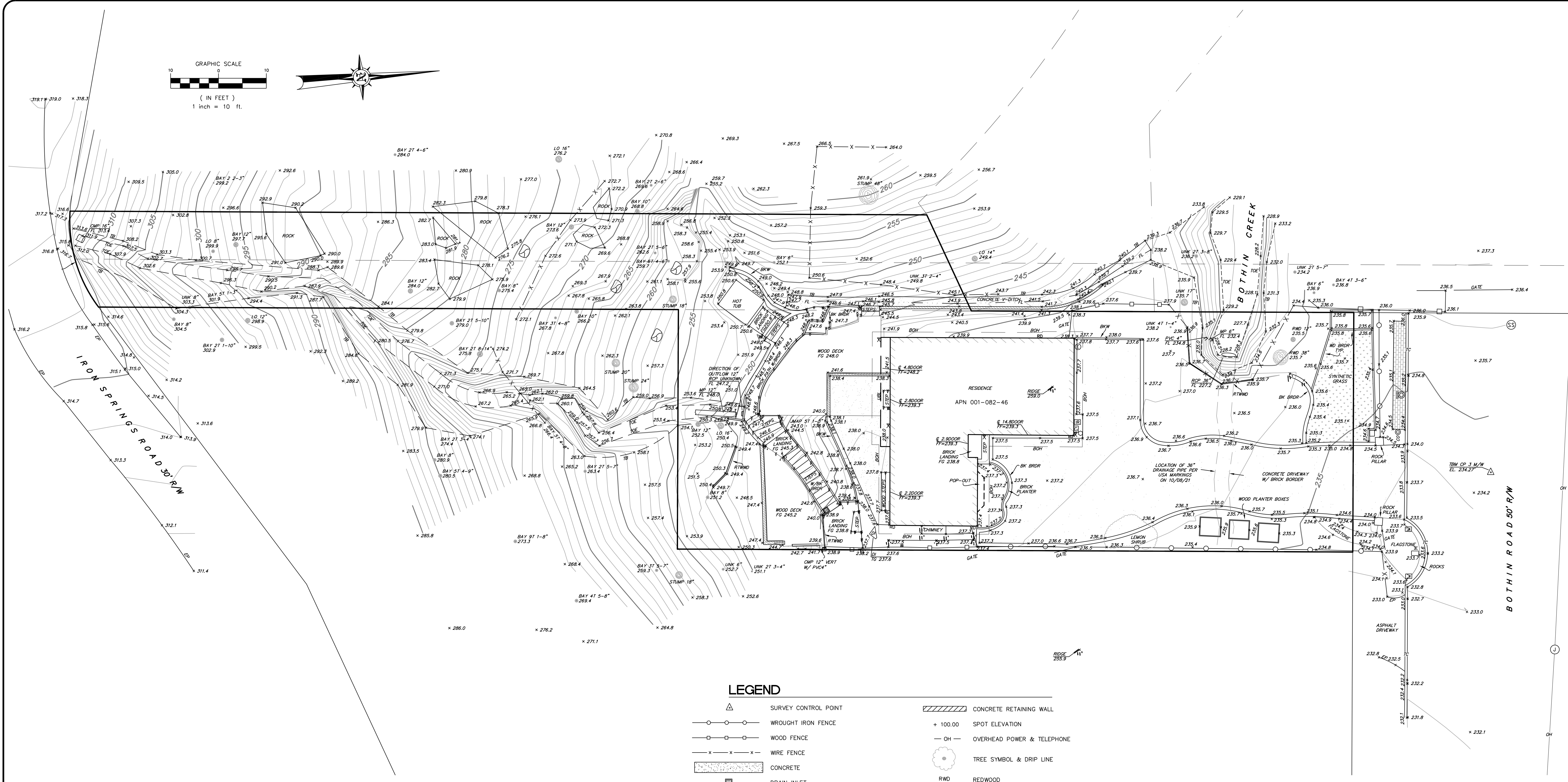
CHECKED BY:
 MEF

SCALE:
 1" = 10'

JOB NUMBER
 213586

DWG. FILE
 3586-TP.DWG

SHEET



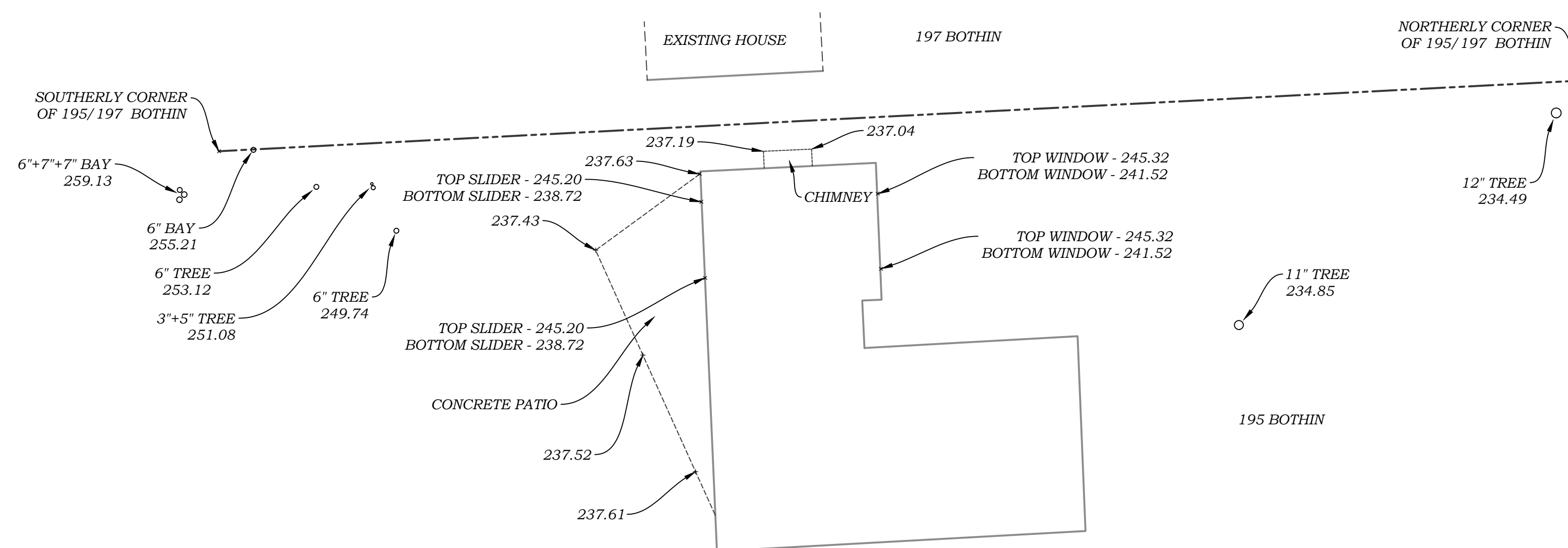
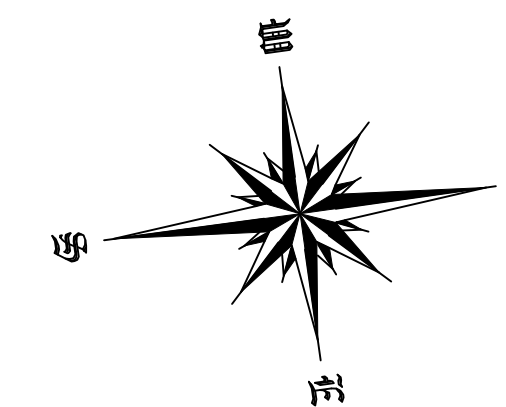
LEGEND

	SURVEY CONTROL POINT		CONCRETE RETAINING WALL
	WROUGHT IRON FENCE		+ 100.00 SPOT ELEVATION
	WOOD FENCE		OH - OVERHEAD POWER & TELEPHONE
	WIRE FENCE		TREE SYMBOL & DRIP LINE
	CONCRETE		RWD REDWOOD
	DRAIN INLET		JMAP JAPANESE MAPLE
	SANITARY SEWER MANHOLE		L.O. LIVE OAK
	SANITARY SEWER CLEANOUT		UNK UNKNOWN SPECIES
	HOSE BIB		EP EDGE OF PAVEMENT
	WATER METER		TC TOP OF CURB
	GAS METER		FL FLOWLINE
	JOINT UTILITY POLE		TB TOP OF BANK
	ELECTRIC METER		TOE TOE OF BANK
	BOLLARD		MP METAL PIPE
	IRRIGATION CONTROL VALVE		RCP REINFORCED CONCRETE PIPE
	ROCK		CMP CORRUGATED METAL PIPE
	BASKET BALL HOOP		BKW BRICK WALL
	4X4 POST		BK BRDR BRICK BORDER
	MAIL BOX		WD BRDR WOOD BORDER
	ROOF DRAIN		RTWWD RETAINING WALL, WOOD
	UPPER BUILDING LINE		CMP CORRUGATED METAL PIPE
	BUILDING OVERHANG		TBM TEMPORARY BENCHMARK
			CP CONTROL POINT
			M/W MAGNETIC NAIL AND WASHER

BENCHMARK:
 A ONE POINT MINIMALLY CONSTRAINED CORS ADJUSTMENT USING CORS STATIONS SVIN AND T3RP. ADJUSTMENT BASED ON NAD83, CALIFORNIA ZONE 3 (0403), CSRC 2017.50 EPOCH, GEOID12B(CONUS), USING A 2.6 HOUR GPS OBSERVATION OF CONTROL POINT 4 ON MARCH 30, 2021.
CONTROL POINT 4 ELEVATION = 236.77'

NOTE:
 BOUNDARY INFORMATION SHOWN HEREON TAKEN FROM A RECORD OF SURVEY IN PROGRESS AT THIS OFFICE.

BASIS OF BEARING:
 N73°45'06"E BETWEEN A FOUND IRON PIPE LS 2731 AS SHOWN ON 35 OS 36, AND A FOUND NAIL AND TAG LS 3887 AS SHOWN ON CORNER RECORD D.N. 001-082-23 FILED JULY 22, 2003, MARIN COUNTY RECORDS.



NOTES:

- 1) Boundary Line based on 2021 MAPS 133 and Found Evidence Thereof.
- 2) Underground Improvements and Installations have not been located unless otherwise shown.
- 3) Any Discrepancy between the Electronic File and the Signed Sealed Paper Copy or PDF File, the Signed Sealed Paper Copy or Stamped PDF will prevail.
- 4) Vertical Datum: Found CP 3 M/F as shown on Topographical Exhibit Prepared by Michael Ford Land Surveying dated 04-05-21, Job #213586, Taken as 234.27

REV	DATE	DESCRIPTION	DRAWN	CHECKED
XXXXXX	XXXXXX	XXXXXXXXXXXX	did	rwd


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LAND SURVEYORS
 45 Leveroni Court Tel. (415) 883-9099
 Novato CA 94949 Email: rwdavis@rwdavis-survey.com
 L.S. 6330

CITY
 FAIRFAX
 COUNTY
 MARIN
 STATE
 CALIFORNIA

197 BOTHIN ROAD
TOPOGRAPHICAL EXHIBIT

Prepared Under The
 Direction Of:


SHEET
V-1
 SCALE: 1" = 10'
 DATE: 05-09-2022
 PROJECT NUMBER: 615-001