# ALTMAN RESIDENCE

67 TAMALPAIS ROAD FAIRFAX, CA 94930

**ABBREVIATIONS** SYMBOLS SCOPE OF WORK **GENERAL NOTES** NEW THREE-STORY HOUSE WITH 1-CAR GARAGE AND **OWNER** 1. DESIGNS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND WERE ANCHOR BOLT KITCH, OR K. KITCHEN NEW JADU AT THE STREET LEVEL. DEVELOPED FOR USE ON THIS PROJECT ONLY. THESE DRAWINGS AND THE DESIGNS THEY REPRESENT ASPHALTIC CONCRETE SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS ACOUSTICAL TILE LENGTH PROJECT WITHOUT WRITTEN PERMISSION FROM KAPPE ARCHITECTS ADJUSTABLE LAMINATE ABOVE FINISH FLOOP LAND'G. LANDING 2. THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, PUBLISHED ALTERNATE LAVATORY **ZONING DATA** ALUMINUM LIN. LINEN BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO AND GOVERN THE WORK OF THIS **ARCHITECT** ANODIZED LOCATION CONTRACT. A COPY OF THE GENERAL CONDITIONS, ALTHOUGH NOT BOUND HEREIN, IS AVAILABLE FOR AUDIO VISUA CONTROL POINT LT. WT. LIGHT WEIGH REVIEW AT THE OFFICE OF THE ARCHITECT. ALL WORK SHALL CONFORM TO THE CURRENT VERSION OF THE UNIFORM BUILDING CODE AND STANDARDS REFERENCED THEREIN. MACHINE BEDROOM 3. CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD AND SHALL NOTIFY THE MARBLE BETWEEN **ZONING** MATERIAL INTERIOR ELEVATION BUILDING ARCHITECT PROMPTLY OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. WRITTEN **MAXIMUM** BLOCK DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONSTRUCTION DETAILS NOT MACHINE BOLT MAX FAR BLOCKING FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS. CIVL ENGINEER MECH. MECHANICAL BOTTOM MEMBER **MEMBRANE** GARAGE ALLOWANCE = 500 SQ.FT. 4. DISCREPANCIES AND INCONSISTENCIES IN CONTRACT DOCUMENTS: IT SHALL BE THE CONTRACTOR'S BASEMENT NEW OR FINISH CONTOUR MEZZ. **MEZZANINE** BEDROOM SOLE RESPONSIBILITY TO NOTIFY THE ARCHITECT IN WRITING, DURING THE BIDDING PERIOD, OF ANY MFCTR MANUFACTURER INCONSISTENCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR ANY MAX LOT COVERAGE = MINIMIM VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF MISCELLANEOUS CHANNE THIS INFORMATION, THE ARCHITECT WILL SEND WRITTEN INSTRUCTION TO ALL CONCERNED. ANY SUCH MASONRY OPENING 32 / EXISTING CONTOUR 28-6" FROM NATURAL GRADE COLD AIR RETURN HEIGHT LIMIT LANDSCAPE ARCHITECT METAL STRIP DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE MULL. MULLION CONTRACTOR. ANY CLAIMS FOR EXTRAS WILL NOT BE HONORED. CALCS. CALCULATIONS 3 SPACES, AT LEAST ONE CANTII EVERED CATCH BASIN COVERED SPACE 5. TESTING AND INSPECTIONS: THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL TESTING AND NEW WALL TYPE CEM. CER. TILE CEMENT HARDWARE GROUP INSPECTIONS REQUIRED BY APPLICABLE BUILDING CODES, ORDINANCES OR DIRECTIVES OF GOVERNING (9X19' EACH) CFRAMIC TILE NOT IN CONTRACT BUILDING OFFICIALS. THE OWNER OR ARCHITECT MAY REQUIRE TESTING OF MATERIALS FOR CEILING NUMBER CLOS. CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE OWNER SHALL PAY ALL COSTS FOR SUCH CLOSET N.T.S. NOT TO SCALE CLEAR TESTING IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN THE DOOR TYPE COMPOUND **KEY NOTE** TESTING INDICATES NON-CONFORMANCE CONCRETE MASONRY UNI OBSCURE 6. PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR PLAN CHECKING FEES AND BUILDING COMPSD COMPRESSED **SURVEYOR** SQUARE FOOTAGE SUMMARY TABLE ON CENTER CONCRETE PERMITS. EACH CONTRACTOR SHALL SECURE AND PAY FOR PERMITS REQUIRED FOR THEIR WORK AND WINDOW TYPE CONC. BLK CONCRETE BLOCK **OUTSIDE DIAMETER** FOR ALL INSPECTIONS WHICH MAY ALSO BE REQUIRED. OPEN. **OPENING** CONDITION CONSTRUCTION CONTINUOUS 7. SCOPE OF WORK: THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, CONTRACTOR PARTITION APPLIANCES. EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE CORNER PANIC BAR DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT CORRIDOR P.C.P. PRE-CAST CONCRETE PANEL LOT AREA 5,718 SQ.FT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER PERPENDICULAR COUNTER SUNK EXECUTION OF THE WORK SHOWN ON THE CONSTRUCTION DOCUMENTS. **PACKAGE** PROPERTY LINE **GARAGE** 315 SQ.FT. 8. ALL MATERIALS SHALL BE NEW AND UNUSED AND OF HIGH QUALITY IN EVERY RESPECT. ALL WORK TO PLASTIC LAMINATE BE DONE IN A PROFESSIONAL MANNER. MANUFACTURER'S MATERIAL, EQUIPMENT, ETC. SHALL BE PI ASTER TITLE FIRST LEVEL 497 SQ.FT SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE. PLUMB. **PLUMBING** DRINKING FOUNTAIN PLYWOOD DOUGLAS FIR **VICINITY MAP** 9. MATERIALS AND WORKMANSHIP WARRANTY: THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE TITLE SHEET PROPERTY MAIN LEVEL DIMENSION(S) MATERIALS AND CORRECT POOR WORKMANSHIP WITH NO ADDITIONAL COST TO THE OWNER, AND SHALL PRESSURE TREATED REMEDY ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH APPEAR IN ONE YEAR FROM THE DATE T-2 **INCLUDES STAIRS\*** 968 SQ.FT DOWN OF COMPLETION OF THE JOB. THIS WARRANTY APPLIES TO WORK DONE BY SUBCONTRACTORS AS WELL P.T.D. PAPER TOWEL DISPENSER AS THE WORK DONE BY THE EMPLOYEES OF THE CONTRACTOR. DRAWING DOWN SPOUT **UPPER LEVEL** 804 SQ.FT RADIUS, RISER, REGISTER 10. SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE RETURN AIR GRILL CIVIL ADEQUATE SHORING, BRACING AND FORMWORK AS REQUIRED FOR THE PROTECTION OF LIFE AND REINFORCED CONC. PIPE PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING. ROOF DRAIN TOTAL 2,269 SQ.FT. RDWD REFERENCE 11. BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF RETAINING THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED. ALLOWABLE FAR **ROUGH OPENING EQUIPMENT** 12. SHOP DRAWINGS: CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SUBMITTING **EXPANSION** S&P SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION. SHELF AND POLE PROPOSED FAR SGL. SINGLE CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NEW FINISH MATERIALS TO THE ARCHITECT FOR **EXISTING** SLT. **LANDSCAPE** SLATE APPROVAL PRIOR TO INSTALLATION OR EXECUTION. SLAB ON GRADE ST. STL. STAINLESS STEEL ALLOWABLE LOT 35% 13. ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPED. ALL SASH AND SLIDING GLASS DOORS SHALL STOR. FLAT BAR STORAGE STRUCT. COVERAGE STRUCTURE FLOOR DRAIN FIRE EXTINGUISHER 14. ALL GLAZING SHALL COMPLY WITH CHAPTER 24, U.B.C., 1997 EDITION. FIXED GLASS TONGUE AND GROOVE PROPOSED LOT 27% (1540 SQ.FT.) **PROPERTY** FIRE HOSE CABINET **TEMPERED** 15. ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST APPLICABLE EDITION OF THE NATIONAL FLAT HEAD MACHINE SCREWS COVERAGE FLAT HEAD WOOD SCREWS ELECTRICAL CODE (N.E.C.). LOCATION AND RATING OF ALL ELECTRICAL PANELS TO BE PROVIDED BY TOP OF MASONRY T.O.W. TOP OF WALL ELECTRICAL CONTRACTOR. **FIXTURE** TOILET PAPER HOLDER **FLASHING** PARKING 1 COVERED, TYPICAL 16. SEE TITLE 24 ENERGY COMPLIANCE DOCUMENTS FOR ALL ENERGY CONSERVATION INSULATION AND FLOOR FOLDING **SETBACKS** 2 UNCOVERED FURNACE REQUIREMENTS. **FOOTING** UNDERWRITER'S LABORATORY FACE OF BLOCK UNLESS OTHERWISE NOTED 17. CONTRACTOR TO PROVIDE LUMINARIES WIRED WITH CONDUCTORS HAVING INSULATION SUITABLE FACE OF CONCRETE FOR THE ENVIRONMENTAL CONDITIONS, CURRENT, VOLTAGE, AND TEMPERATURE TO WHICH THE FACE OF STUD OR STEEL CONDUCTORS WILL BE SUBJECTED. VINYL COMPOSITION TILE

VENTILATOR

VESTIBULE

VERTICAL

WEST

WITH

WAINSCOT

WITHOUT

WATERPROOF

WATER CLOSET

WINDOW OPENING

WET STAND PIPE

WASTE RECEPTACLE

**VENDING MACHINE** 

VERTICAL GRAIN

VERTICAL GRAIN DOUGLAS FIR

VEND. MACH

VFST

VERT

V.G.D.F.

WAINSCT

W.REC.

GALVANIZED IRON

GROUND

HANDICAPPED

HOLLOW CORE

HOLD DOWN

HARDWOOD

HORIZONTAL

HEATING

INCLUDING

INSULATION

INTERIOR

**JANITOR** 

JUNIOR

JOINT

INSIDE DIAMETER

INVERSE OR INVERT

IMPREGNATED

HARDWOOD BOARD

HOSE REEL CABINET

HOLLOW METAL

GLUE LAMINATED BEAM

GALVANIZED SHEET METAL

GLM. BM.

H.M. HORIZ.



#### PROJECT DIRECTORY

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1

**ALTMAN RESIDENCE** 

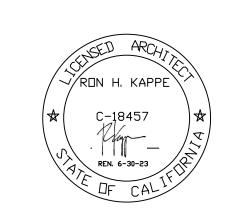
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67 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

Project No.: 20.13 MH Drawn By: Checked By: RK Issued Date: 8-31-2021

PLANCHECK COMMENTS PLANCHECK COMMENTS PLANCHECK COMMENTS ADDITIONAL RENDERING

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TITLE SHEET

Scale: AS NOTED

210.52, ARC-FAULT PROTECTION FOR ALL NEW OUTLETS PER CEC 210.12 (B), AND GFCI PROTECTED OUTLETS FOR LOCATIONS PER 210.8 (A).

18. CONTRACTOR TO PROVIDE TAMPER RESISTANT RECEPTACLES FOR ALL NEW LOCATIONS PER CEC

19. MECHANICAL AND PLUMBING WORK TO BE DONE BY A LICENSED CONTRACTOR ON A DESIGN/BUILD

20. ALL PLUMBING FIXTURES WITHIN THE BUILDING THAT ARE NON-COMPLIANT SHALL BE UPGRADED WITH WATER CONSERVING PLUMBING FIXTURES. THIS INCLUDES: TOILETS THAT USE MORE THAN 1.6 GALLONS PER FLUSH, FAUCETS THAT EMIT MORE THAN 2.2 GALLONS OF WATER PER MINUTE, AND SHOWERHEADS THAT EMIT MORE THAN 2.5 GALLONS OF WATER PER MINUTE.

21. CONTRACTOR TO PROVIDE SEISMIC ANCHORAGE FOR (N) AND/OR (E) WATER HEATER TANKS PER CPC 507.2. THIS INCLUDES STRAPS WITHIN UPPER AND LOWER ONE-THIRD OF UNIT, WITH LOWER STRAP AT LEAST 4" ABOVE CONTROLS.

22. ALL REQUIRED ENGINEERING OR DRAWINGS FOR ELECTRICAL SYSTEMS TO BE PROVIDED BY LICENSED ENGINEERS OR BY CONTRACTOR. COORDINATE ALL WORK WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION.

23. CONTRACTOR SHALL PROVIDE WATER-RESISTANT GYPSUM WALL BOARD AT ALL WET LOCATION, INCLUDING BATHROOMS, SHOWER ROOMS AND KITCHENS. PROVIDE CEMENT BACKER BOARD AT ALL CERAMIC TILE SURFACES.

24. CONTRACTOR TO PROVIDE BATTERY OPERATED SMOKE ALARMS PER SECTION R341. SMOKE ALARMS THAT SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL.

25. CONTRACTOR TO PROVIDE BATTERY OPERATED CARBON MONOXIDE ALARMS PER SECTION R315. CARBON MONOXIDE ALARMS THAT SHALL BE INTERCONNECTED SUCH THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL

FURR. **FURRING** GAUGE GALLON GALVANIZED GENERAL CONTRACTOR GENERAL

= 5 FT SIDE 1 15 FT FRONT

#### CODE DATA

2019 California Building Code (CBC) 2019 California Residential Code (CRC) 2019 California Electrical Code (CEC) 2019 California Mechanical Code (CMC) 2019 California Plumbing Code, 2019 California Energy Efficiency Standards Code (CEES). 2019 California Fire Code (CFC), 2019 California Green Building Standards Code (CGBS or CALGreen)

# 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2021, Includes July 2021 Supplement)

Y N/A RESPON. CHAPTER 3 **GREEN BUILDING SECTION 301 GENERAL** DIVISION 4.4 MATERIAL CONSERVATION AND RESOURCE 4.106.4.2 New multifamily dwellings. If residential parking is available, ten (10) percent of the total number **DIVISION 4.2 ENERGY EFFICIENCY** of parking spaces on a building site, provided for all types of parking facilities, shall be electric vehicle **301.1 SCOPE.** Buildings shall be designed to include the green building measures specified as mandatory in **EFFICIENCY** charging spaces (EV spaces) capable of supporting future EVSE. Calculations for the required number of EV the application checklists contained in this code. Voluntary green building measures are also included in the spaces shall be rounded up to the nearest whole number. application checklists and may be included in the design and construction of structures covered by this code, **4.201.1 SCOPE.** For the purposes of mandatory energy efficiency standards in this code, the California Energy 4.406 ENHANCED DURABILITY AND REDUCED MAINTENANCE but are not required unless adopted by a city, county, or city and county as specified in Section 101.7. Commission will continue to adopt mandatory standards. 4.406.1 RODENT PROOFING. Annular spaces around pipes, electric cables, conduits or other openings in sole/bottom plates at exterior walls shall be protected against the passage of rodents by closing such 1. Construction documents are intended to demonstrate the project's capability and capacity for 301.1.1 Additions and alterations. [HCD] The mandatory provisions of Chapter 4 shall be applied to DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing facilitating future EV charging. additions or alterations of existing residential buildings where the addition or alteration increases the 2. There is no requirement for EV spaces to be constructed or available until EV chargers are installed building's conditioned area, volume, or size. The requirements shall apply only to and/or within the 4.303 INDOOR WATER USE 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. Plumbing fixtures (water closets and 3. A parking space served by electric vehicle supply equipment or designated as a future EV charging 4.408.1 CONSTRUCTION WASTE MANAGEMENT. Recycle and/or salvage for reuse a minimum of 65 urinals) and fittings (faucets and showerheads) shall comply with the sections 4.303.1.1, 4.303.1.2, 4.303.1.3, space shall count as at least one standard automobile parking space for the purpose of complying with Note: On and after January 1, 2014, residential buildings undergoing permitted alterations, additions, or percent of the non-hazardous construction and demolition waste in accordance with either Section any applicable minimum parking space requirements established by a local jurisdiction. See Vehicle improvements shall replace noncompliant plumbing fixtures with water-conserving plumbing fixtures. 4.408.2, 4.408.3 or 4.408.4, or meet a more stringent local construction and demolition waste Code Section 22511.2 for further details. Plumbing fixture replacement is required prior to issuance of a certificate of final completion, certificate Note: All noncompliant plumbing fixtures in any residential real property shall be replaced with water-conserving management ordinance. of occupancy or final permit approval by the local building department. See Civil Code Section 1101.1, plumbing fixtures. Plumbing fixture replacement is required prior to issuance of a certificate of final 4.106.4.2.1 Electric vehicle charging space (EV space) locations. Construction documents shall et seq., for the definition of a noncompliant plumbing fixture, types of residential buildings affected and completion, certificate of occupancy, or final permit approval by the local building department. See Civil **Exceptions:** indicate the location of proposed EV spaces. Where common use parking is provided at least one EV space other important enactment dates. Code Section 1101.1, et sea., for the definition of a noncompliant plumbing fixture, types of residential shall be located in the common use parking area and shall be available for use by all residents. buildings affected and other important enactment dates. Excavated soil and land-clearing debris. Alternate waste reduction methods developed by working with local agencies if diversion or 301.2 LOW-RISE AND HIGH-RISE RESIDENTIAL BUILDINGS. [HCD] The provisions of recycle facilities capable of compliance with this item do not exist or are not located reasonably 4.303.1.1 Water Closets. The effective flush volume of all water closets shall not exceed 1.28 gallons per 4.106.4.2.1.1 Electric Vehicle Charging Stations (EVCS) When EV chargers are installed, EV spaces individual sections of CALGreen may apply to either low-rise residential buildings high-rise residential flush. Tank-type water closets shall be certified to the performance criteria of the U.S. EPA WaterSense close to the jobsite. required by Section 4.106.2.2. Item 3, shall comply with at least one of the following options: buildings, or both. Individual sections will be designated by banners to indicate where the section applies 3. The enforcing agency may make exceptions to the requirements of this section when isolated Specification for Tank-type Toilets specifically to low-rise only (LR) or high-rise only (HR). When the section applies to both low-rise and jobsites are located in areas beyond the haul boundaries of the diversion facility. 1. The EV space shall be located adjacent to an accessible parking space meeting the high-rise buildings, no banner will be used. Note: The effective flush volume of dual flush toilets is defined as the composite, average flush volume requirements of the California Building Code, Chapter 11A, to allow use of the EV charger 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN. Submit a construction waste management plan rom the accessible parking space. in conformance with Items 1 through 5. The construction waste management plan shall be updated as 2. The EV space shall be located on an accessible route, as defined in the California Building **SECTION 302 MIXED OCCUPANCY BUILDINGS** 4.303.1.2 Urinals. The effective flush volume of wall mounted urinals shall not exceed 0.125 gallons per flush. necessary and shall be available during construction for examination by the enforcing agency. Code, Chapter 2, to the building. The effective flush volume of all other urinals shall not exceed 0.5 gallons per flush. **302.1 MIXED OCCUPANCY BUILDINGS.** In mixed occupancy buildings, each portion of a building Identify the construction and demolition waste materials to be diverted from disposal by recycling, **Exception:** Electric vehicle charging stations designed and constructed in compliance with the shall comply with the specific green building measures applicable to each specific occupancy. reuse on the project or salvage for future use or sale. California Building Code, Chapter 11B, are not required to comply with Section 4.106.4.2.1.1 and Specify if construction and demolition waste materials will be sorted on-site (source separated) or 1. [HCD] Accessory structures and accessory occupancies serving residential buildings shall **4.303.1.3.1 Single Showerhead.** Showerheads shall have a maximum flow rate of not more than 1.8 bulk mixed (single stream). comply with Chapter 4 and Appendix A4, as applicable. 3. Identify diversion facilities where the construction and demolition waste material collected will be gallons per minute at 80 psi. Showerheads shall be certified to the performance criteria of the U.S. EPA Note: Electric Vehicle charging stations serving public housing are required to comply with the California 2. [HCD] For purposes of CALGreen, live/work units, complying with Section 419 of the California WaterSense Specification for Showerheads. Building Code, shall not be considered mixed occupancies. Live/Work units shall comply with 4. Identify construction methods employed to reduce the amount of construction and demolition waste Chapter 4 and Appendix A4, as applicable. **4.303.1.3.2** Multiple showerheads serving one shower. When a shower is served by more than one 4.106.4.2.2 Electric vehicle charging space (EV space) dimensions. The EV space shall be showerhead, the combined flow rate of all the showerheads and/or other shower outlets controlled by 5. Specify that the amount of construction and demolition waste materials diverted shall be calculated designed to comply with the following: a single valve shall not exceed 1.8 gallons per minute at 80 psi, or the shower shall be designed to only by weight or volume, but not by both. DIVISION 4.1 PLANNING AND DESIGN allow one shower outlet to be in operation at a time. The minimum length of each EV space shall be 18 feet (5486 mm). **4.408.3 WASTE MANAGEMENT COMPANY.** Utilize a waste management company, approved by the . The minimum width of each EV space shall be 9 feet (2743 mm). Note: A hand-held shower shall be considered a showerhead. enforcing agency, which can provide verifiable documentation that the percentage of construction and 3. One in every 25 EV spaces, but not less than one EV space, shall have an 8-foot (2438 mm) demolition waste material diverted from the landfill complies with Section 4.408.1 wide minimum aisle. A 5-foot (1524 mm) wide minimum aisle shall be permitted provided the ABBREVIATION DEFINITIONS: 4.303.1.4 Faucets. minimum width of the EV space is 12 feet (3658 mm). Note: The owner or contractor may make the determination if the construction and demolition waste Department of Housing and Community Development 4.303.1.4.1 Residential Lavatory Faucets. The maximum flow rate of residential lavatory faucets shall materials will be diverted by a waste management company. California Building Standards Commission a. Surface slope for this EV space and the aisle shall not exceed 1 unit vertical in 48 units Division of the State Architect, Structural Safety not exceed 1.2 gallons per minute at 60 psi. The minimum flow rate of residential lavatory faucets shall horizontal (2.083 percent slope) in any direction. **4.408.4 WASTE STREAM REDUCTION ALTERNATIVE [LR].** Projects that generate a total combined OSHPD Office of Statewide Health Planning and Development not be less than 0.8 gallons per minute at 20 psi. weight of construction and demolition waste disposed of in landfills, which do not exceed 3.4 **4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas.** The maximum flow rate of lavatory lbs./sq.ft. of the building area shall meet the minimum 65% construction waste reduction requirement in 4.106.4.2.3 Single EV space required. Install a listed raceway capable of accommodating a 208/240faucets installed in common and public use areas (outside of dwellings or sleeping units) in residential Additions and Alterations volt dedicated branch circuit. The raceway shall not be less than trade size 1 (nominal 1-inch inside buildings shall not exceed 0.5 gallons per minute at 60 psi. diameter). The raceway shall originate at the main service or subpanel and shall terminate into a listed 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE. Projects that generate a total combined cabinet, box or enclosure in close proximity to the proposed location of the EV space. Construction weight of construction and demolition waste disposed of in landfills, which do not exceed 2 pounds 4.303.1.4.3 Metering Faucets. Metering faucets when installed in residential buildings shall not deliver documents shall identify the raceway termination point. The service panel and/or subpanel shall provide per square foot of the building area, shall meet the minimum 65% construction waste reduction capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit CHAPTER 4 requirement in Section 4.408.1 installation of a branch circuit overcurrent protective device. **4.303.1.4.4 Kitchen Faucets.** The maximum flow rate of kitchen faucets shall not exceed 1.8 gallons RESIDENTIAL MANDATORY MEASURES **4.408.5 DOCUMENTATION**. Documentation shall be provided to the enforcing agency which demonstrates per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch compliance with Section 4.408.2, items 1 through 5, Section 4.408.3 or Section 4.408.4... to exceed 2.2 gallons per minute at 60 psi, and must default to a maximum flow rate of 1.8 gallons per circuit is installed in close proximity to the proposed location of an EV charger, at the time of original construction in accordance with the California Electrical Code. Note: Where complying faucets are unavailable, aerators or other means may be used to achieve **4.106.4.2.4 Multiple EV spaces required.** Construction documents shall indicate the raceway 1. Sample forms found in "A Guide to the California Green Building Standards Code SECTION 4.102 DEFINITIONS termination point and proposed location of future EV spaces and EV chargers. Construction documents (Residential)" located at www.hcd.ca.gov/CALGreen.html may be used to assist in shall also provide information on amperage of future EVSE, raceway method(s), wiring schematics and The following terms are defined in Chapter 2 (and are included here for reference) 4.303.1.4.5 Pre-rinse spray valves. documenting compliance with this section. electrical load calculations to verify that the electrical panel service capacity and electrical system, When installed, shall meet the requirements in the California Code of Regulations, Title 20 (Appliance 2. Mixed construction and demolition debris (C & D) processors can be located at the California including any on-site distribution transformer(s), have sufficient capacity to simultaneously charge all EVs Efficiency Regulations), Sections 1605.1 (h)(4) Table H-2, Section 1605.3 (h)(4)(A), and Section 1607 Department of Resources Recycling and Recovery (CalRecycle). FRENCH DRAIN. A trench, hole or other depressed area loosely filled with rock, gravel, fragments of brick or similar at all required EV spaces at the full rated amperage of the EVSE. Plan design shall be based upon a 40-ampere minimum branch circuit. Required raceways and related components that are planned to be 4.410 BUILDING MAINTENANCE AND OPERATION installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the FOR REFERENCE ONLY: The following table and code section have been reprinted from the California 4.410.1 OPERATION AND MAINTENANCE MANUAL. At the time of final inspection, a manual, compact WATTLES. Wattles are used to reduce sediment in runoff. Wattles are often constructed of natural plant materials Code of Regulations, Title 20 (Appliance Efficiency Regulations), Section 1605.1 (h)(4) and Section disc, web-based reference or other media acceptable to the enforcing agency which includes all of the such as hay, straw or similar material shaped in the form of tubes and placed on a downflow slope. Wattles are also following shall be placed in the building: Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is installed in close proximity to the proposed location of an EV charger, at the time of 4.106 SITE DEVELOPMENT 1. Directions to the owner or occupant that the manual shall remain with the building throughout the original construction in accordance with the California Electrical Code. TABLE H-2 4.106.1 GENERAL. Preservation and use of available natural resources shall be accomplished through evaluation 2. Operation and maintenance instructions for the following: and careful planning to minimize negative effects on the site and adjacent areas. Preservation of slopes, a. Equipment and appliances, including water-saving devices and systems, HVAC systems, management of storm water drainage and erosion controls shall comply with this section. 4.106.4.2.5 Identification. The service panel or subpanel circuit directory shall identify the overcurrent STANDARDS FOR COMMERCIAL PRE-RINSE SPRAY photovoltaic systems, electric vehicle chargers, water-heating systems and other major protective device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance VALUES MANUFACTURED ON OR AFTER JANUARY 28, 2019 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. Projects which disturb less than one acre of soil and are not part of a larger common plan of development which in total disturbs one acre b. Roof and yard drainage, including gutters and downspouts. c. Space conditioning systems, including condensers and air filters. or more, shall manage storm water drainage during construction. In order to manage storm water drainage PRODUCT CLASS during construction, one or more of the following measures shall be implemented to prevent flooding of adjacent MAXIMUM FLOW RATE (gpm) d. Landscape irrigation systems. 4.106.4.3 New hotels and motels. All newly constructed hotels and motels shall provide EV spaces [spray force in ounce force (ozf)] e. Water reuse systems. property, prevent erosion and retain soil runoff on the site. capable of supporting future installation of EVSE. The construction documents shall identify the location 3. Information from local utility, water and waste recovery providers on methods to further reduce Product Class 1 ( $\leq$  5.0 ozf) resource consumption, including recycle programs and locations. Retention basins of sufficient size shall be utilized to retain storm water on the site. 4. Public transportation and/or carpool options available in the area. 2. Where storm water is conveyed to a public drainage system, collection point, gutter or similar disposal method, water shall be filtered by use of a barrier system, wattle or other method approved 5. Educational material on the positive impacts of an interior relative humidity between 30-60 percent Product Class 2 (> 5.0 ozf and  $\leq$  8.0 ozf) and what methods an occupant may use to maintain the relative humidity level in that range. by the enforcing agency. 1. Construction documents are intended to demonstrate the project's capability and capacity Product Class 3 (> 8.0 ozf) 1.28 6. Information about water-conserving landscape and irrigation design and controllers which conserve 3. Compliance with a lawfully enacted storm water management ordinance. or facilitating future EV charging. 2. There is no requirement for EV spaces to be constructed or available until EV chargers 7. Instructions for maintaining gutters and downspouts and the importance of diverting water at least 5 Note: Refer to the State Water Resources Control Board for projects which disturb one acre or more of soil, or are installed for use. Title 20 Section 1605.3 (h)(4)(A): Commercial prerinse spray values manufactured on or after January feet away from the foundation. are part of a larger common plan of development which in total disturbs one acre or more of soil. 3. A parking space served by electrical vehicle supple equipment or designed as a future EV 1, 2006, shall have a minimum spray force of not less than 4.0 ounces-force (ozf)[113 grams-force(gf)] 8. Information on required routine maintenance measures, including, but not limited to, caulking, charging space shall count as at least one standard automobile parking space for the purpose painting, grading around the building, etc. (Website: https://www.waterboards.ca.gov/water\_issues/programs/stormwater/construction.html) of complying with any applicable minimum parking space requirements established by a local 9. Information about state solar energy and incentive programs available jurisdiction. See Vehicle Code Section 22511.2 for further details. 4.303.2 Submeters for multifamily buildings and dwelling units in mixed-used residential/commercial 10. A copy of all special inspections verifications required by the enforcing agency or this code. 4.106.3 GRADING AND PAVING. Construction plans shall indicate how the site grading or drainage system will 11. Information from CAL Fire on maintenance of defensible space around residential structures. manage all surface water flows to keep water from entering buildings. Examples of methods to manage surface **4.106.4.3.1 Number of required EV spaces.** The number of required EV spaces shall be based Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the water include, but are not limited to, the following: on the total number of parking spaces provided for all types of parking facilities in accordance with **4.410.2 RECYCLING BY OCCUPANTS.** Where 5 or more multifamily dwelling units are constructed on a Table 4.106.4.3.1. Calculations for the required number of EV spaces shall be rounded up to the building site, provide readily accessible area(s) that serves all buildings on the site and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, 2. Water collection and disposal systems **4.303.3 Standards for plumbing fixtures and fittings.** Plumbing fixtures and fittings shall be installed in accordance with the *California Plumbing Code*, and shall meet the applicable standards referenced in Table corrugated cardboard, glass, plastics, organic waster, and metals, or meet a lawfully enacted local recycling TABLE 4.106.4.3.1 1701.1 of the California Plumbing Code. 5. Other water measures which keep surface water away from buildings and aid in groundwater TOTAL NUMBER OF PARKING NUMBER OF REQUIRED EV Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. are note required to comply with the organic waste portion of **Exception**: Additions and alterations not altering the drainage path. THIS TABLE COMPILES THE DATA IN SECTION 4.303.1, AND **4.106.4 Electric vehicle (EV) charging for new construction.** New construction shall comply with Sections IS INCLUDED AS A CONVENIENCE FOR THE USER. 4.106.4.1, 4.106.4.2, or 4.106.4.3 to facilitate future installation and use of EV chargers. Electric vehicle supply 10-25 equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. **DIVISION 4.5 ENVIRONMENTAL QUALITY** TABLE - MAXIMUM FIXTURE WATER USE 1. On a case-by-case basis, where the local enforcing agency has determined EV charging and SECTION 4.501 GENERAL **FIXTURE TYPE** infrastructure are not feasible based upon one or more of the following conditions: 1.1 Where there is no commercial power supply. The provisions of this chapter shall outline means of reducing the quality of air contaminants that are odorous, SHOWER HEADS 1.2 Where there is evidence substantiating that meeting the requirements will alter the local 1.8 GMP @ 80 PSI irritating and/or harmful to the comfort and well being of a building's installers, occupants and neighbors. 76-100 (RESIDENTIAL) utility infrastructure design requirements on the utility side of the meter so as to increase SECTION 4.502 DEFINITIONS the utility side cost to the homeowner or the developer by more than \$400.00 per LAVATORY FAUCETS MAX. 1.2 GPM @ 60 PSI MIN. 0.8 GPM @ 20 PSI (RESIDENTIAL) 151-200 10 2. Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) without additional The following terms are defined in Chapter 2 (and are included here for reference) LAVATORY FAUCETS IN 6 percent of total 201 and over 0.5 GPM @ 60 PSI COMMON & PUBLIC USE AREAS AGRIFIBER PRODUCTS. Agrifiber products include wheatboard, strawboard, panel substrates and door cores, not including furniture, fixtures and equipment (FF&E) not considered base building elements. KITCHEN FAUCETS 1.8 GPM @ 60 PSI 4.106.4.1 New one- and two-family dwellings and townhouses with attached private garages. For each 4.106.4.3.2 Electric vehicle charging space (EV space) dimensions. The EV spaces shall be designed to dwelling unit, install a listed raceway to accommodate a dedicated 208/240-volt branch circuit. The raceway COMPOSITE WOOD PRODUCTS. Composite wood products include hardwood plywood, particleboard and METERING FAUCETS 0.2 GAL/CYCLE shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main medium density fiberboard. "Composite wood products" does not include hardboard, structural plywood, service or subpanel and shall terminate into a listed cabinet, box or other enclosure in close proximity to the The minimum length of each EV space shall be 18 feet (5486mm). 1.28 GAL/FLUSH structural panels, structural composite lumber, oriented strand board, glued laminated timber, prefabricated WATER CLOSET proposed location of an EV charger. Raceways are required to be continuous at enclosed, inaccessible or 2. The minimum width of each EV space shall be 9 feet (2743mm) wood I-joists or finger-jointed lumber, all as specified in California Code of regulations (CCR), title 17, Section concealed areas and spaces. The service panel and/or subpanel shall provide capacity to install a 40-ampere 0.125 GAL/FLUSH URINALS 208/240-volt minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit 4.106.4.3.3 Single EV space required. When a single EV space is required, the EV space shall be designed **DIRECT-VENT APPLIANCE.** A fuel-burning appliance with a sealed combustion system that draws all air for in accordance with Section 4.106.4.2.3. 4.304 OUTDOOR WATER USE combustion from the outside atmosphere and discharges all flue gases to the outside atmosphere. Exemption: A raceway is not required if a minimum 40-ampere 208/240-volt dedicated EV branch circuit is **4.106.4.3.4 Multiple EV spaces required.** When multiple EV spaces are required, the EV spaces shall be 4.304.1 OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS. Residential developments shall comply with installed in close proximity to the proposed location of an EV charger at the time of original construction in designed in accordance with Section 4.106.4.2.4. a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water accordance with the California Electrical Code. Efficient Landscape Ordinance (MWELO), whichever is more stringent. **4.106.4.3.5** Identification. The service panels or sub-panels shall be identified in accordance with Section **4.106.4.1.1 Identification.** The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". **4.106.4.3.6** Accessible EV spaces. In addition to the requirements in Section 4.106.4.3, EV spaces for 1. The Model Water Efficient Landscape Ordinance (MWELO) is located in the California Code Regulations, hotels/motels and all EVSE, when installed, shall comply with the accessibility provisions for the EV charging Title 23, Chapter 2.7, Division 2. MWELO and supporting documents, including water budget calculator, are stations in the California Building Code, Chapter 11B. available at: https://www.water.ca.gov/ DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED ON AN INDIVIDUAL NEEDS. THE END USER TO MEET THOSE INDIVIDUAL NEEDS.

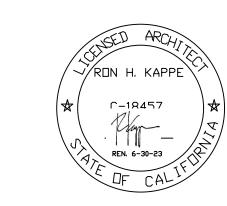
KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 949

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#### ALTMAN RESIDENCE

67 TAMALPAIS RD. FAIRFAX, CA 94930



#### AP #: 001-123-03

Project No.: 20.13

Drawn By: MH

Checked By: RK

Issued Date: 8-31-2021

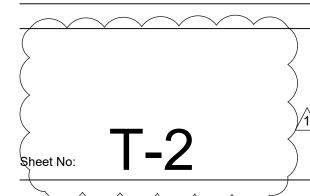
Revision No. Date

PLANCHECK COMMENTS /1 3/28/2022
PLANCHECK COMMENTS /2 8/11/2022

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Shoot Title:

GREEN BUILDING CHECKLIST



## 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE RESIDENTIAL MANDATORY MEASURES, SHEET 1 (July 2021, Includes July 2021 Supplement)

MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change in weight of ozone formed by adding a compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight of compound added, expressed to hundredths of a gram (g O3/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents are specified in CCR, Title 17, Sections 94700 MOISTURE CONTENT. The weight of the water in wood expressed in percentage of the weight of the oven-dry wood. PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for all ingredients in a product subject to this article. The PWMIR is the total product reactivity expressed to hundredths of a gram of ozone formed per gram of product (excluding container and packaging). Note: PWMIR is calculated according to equations found in CCR, Title 17, Section 94521 (a). REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the potential, once emitted, to contribute to VOC. A volatile organic compound (VOC) broadly defined as a chemical compound based on carbon chains or rings with vapor pressures greater than 0.1 millimeters of mercury at room temperature. These compounds typically contain hydrogen and may contain oxygen, nitrogen and other elements. See CCR Title 17, Section 94508(a). 4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances. 4.504 POLLUTANT CONTROL 4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MECHANICAL EQUIPMENT DURING **CONSTRUCTION.** At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air distribution component openings shall be covered with tape, plastic, sheet metal or other methods acceptable to the enforcing agency to reduce the amount of water, dust or debris which may enter the system. **4.504.2 FINISH MATERIAL POLLUTANT CONTROL.** Finish materials shall comply with this section. 4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealant and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality management district rules apply: Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable or SCAQMD Rule 1168 VOC limits, as shown in Table 4.504.1 or 4.504.2, as applicable. Such products also shall comply with the Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and tricloroethylene), except for aerosol products, as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of California Code of Regulations, Title 17, commencing with section 94507. 4.504.2.2 Paints and Coatings. Architectural paints and coatings shall comply with VOC limits in Table 1 of the ARB Architectural Suggested Control Measure, as shown in Table 4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings categories listed in Table 4.504.3 shall be determined by classifying the coating as a Flat, Nonflat or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37 of the 2007 California Air Resources Board, Suggested Control Measure, and the corresponding Flat, Nonflat or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply. 4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and coatings shall meet the Product-weighted MIR Limits for ROC in Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Sections 94522(e)(1) and (f)(1) of California Code of Regulations, Title 17, commencing with Section 94520; and in areas under the jurisdiction of the Bay Area Air ality Management District additionally comply with the percent VOC by weight of product limits of Regulation **4.504.2.4 Verification.** Verification of compliance with this section shall be provided at the request of the enforcing agency. Documentation may include, but is not limited to, the following: Manufacturer's product specification. 2. Field verification of on-site product containers. TABLE 4.504.1 - ADHESIVE VOC LIMIT<sub>1,2</sub> (Less Water and Less Exempt Compounds in Grams per Liter) ARCHITECTURAL APPLICATIONS VOC LIMIT INDOOR CARPET ADHESIVES CARPET PAD ADHESIVES OUTDOOR CARPET ADHESIVES 100 WOOD FLOORING ADHESIVES RUBBER FLOOR ADHESIVES SUBFLOOR ADHESIVES 65 CERAMIC TILE ADHESIVES VCT & ASPHALT TILE ADHESIVES DRYWALL & PANEL ADHESIVES 50 COVE BASE ADHESIVES MULTIPURPOSE CONSTRUCTION ADHESIVE 100 STRUCTURAL GLAZING ADHESIVES SINGLE-PLY ROOF MEMBRANE ADHESIVES OTHER ADHESIVES NOT LISTED SPECIALTY APPLICATIONS 510 PVC WELDING 490 CPVC WELDING ABS WELDING PLASTIC CEMENT WELDING

550

250

30

50

80

ADHESIVE PRIMER FOR PLASTIC

SPECIAL PURPOSE CONTACT ADHESIVE

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

QUALITY MANAGEMENT DISTRICT RULE 1168.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

CONTACT ADHESIVE

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

**FIBERGLASS** 

TABLE 4.504.2 - SEALANT VOC LIN	MIT		
(Less Water and Less Exempt Compounds in Grams per Liter)			
SEALANTS VOC LIMIT			
ARCHITECTURAL	250		
MARINE DECK	760		
NONMEMBRANE ROOF	300		
ROADWAY	250		
SINGLE-PLY ROOF MEMBRANE	450		
OTHER	420		
SEALANT PRIMERS			
ARCHITECTURAL			
NON-POROUS	250		
POROUS	775		
MODIFIED BITUMINOUS	500		
MARINE DECK	760		
OTHER	750		

TABLE 4.504.3 - VOC CONTENT LIMITS FOR

GRAMS OF VOC PER LITER OF COATING, LESS WATER & LESS EXEMPT

ARCHITECTURAL COATINGS2,3

COMPOUNDS

FLAT COATINGS

COATING CATEGORY

FLAT COATINGS	50
NON-FLAT COATINGS	100
NONFLAT-HIGH GLOSS COATINGS	150
SPECIALTY COATINGS	
ALUMINUM ROOF COATINGS	400
BASEMENT SPECIALTY COATINGS	400
BITUMINOUS ROOF COATINGS	50
BITUMINOUS ROOF PRIMERS	350
BOND BREAKERS	350
CONCRETE CURING COMPOUNDS	350
CONCRETE/MASONRY SEALERS	100
DRIVEWAY SEALERS	50
DRY FOG COATINGS	150
FAUX FINISHING COATINGS	350
FIRE RESISTIVE COATINGS	350
FLOOR COATINGS	100
FORM-RELEASE COMPOUNDS	250
GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
HIGH TEMPERATURE COATINGS	420
INDUSTRIAL MAINTENANCE COATINGS	250
LOW SOLIDS COATINGS1	120
MAGNESITE CEMENT COATINGS	450
MASTIC TEXTURE COATINGS	100
METALLIC PIGMENTED COATINGS	500
MULTICOLOR COATINGS	250
PRETREATMENT WASH PRIMERS	420
PRIMERS, SEALERS, & UNDERCOATERS	100
REACTIVE PENETRATING SEALERS	350
RECYCLED COATINGS	250
ROOF COATINGS	50
RUST PREVENTATIVE COATINGS	250
SHELLACS	
CLEAR	730
OPAQUE	550
SPECIALTY PRIMERS, SEALERS & UNDERCOATERS	100
STAINS	250
STONE CONSOLIDANTS	450
SWIMMING POOL COATINGS	340
TRAFFIC MARKING COATINGS	100
TUB & TILE REFINISH COATINGS	420
WATERPROOFING MEMBRANES	250
WOOD COATINGS	275
WOOD PRESERVATIVES	350
ZINC-RICH PRIMERS	340

2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS REVISED LIMITS

ARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE. 3. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

	TABLE 4.504.5 - FORMALDEHYDE LIMITS			
MAXIMUM FORMALDEHYDE EMISSIONS IN PA	RTS PER MILLION			
PRODUCT	CURRENT LIMIT			
HARDWOOD PLYWOOD VENEER CORE	0.05			
HARDWOOD PLYWOOD COMPOSITE CORE	0.05			
PARTICLE BOARD	0.09			
MEDIUM DENSITY FIBERBOARD	0.11			
THIN MEDIUM DENSITY FIBERBOARD2	0.13			

1. VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIF AIR RESOURCES BOARD, AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD AS TESTED IN ACCORDANCE WITH ASTM E 1333. FOR ADDITIONAL INFORMATION, SEE CALIF. CODE OF REGULATIONS, TITLE 17, SECTIONS 93120 THROUGH

2. THIN MEDIUM DENSITY FIBERBOARD HAS A MAXIMUM THICKNESS OF 5/16" (8 MM).

DIVISION 4.5 ENVIRONMENTAL QUALITY (continued) 4.504.3 CARPET SYSTEMS. All carpet installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for

See California Department of Public Health's website for certification programs and testing labs. https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

California Specification 01350

**4.504.3.1 Carpet cushion**. All carpet cushion installed in the building interior shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

https://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

4.504.3.2 Carpet adhesive. All carpet adhesive shall meet the requirements of Table 4.504.1.

4.504.4 RESILIENT FLOORING SYSTEMS. Where resilient flooring is installed, at least 80% of floor area receiving resilient flooring shall meet the requirements of the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.2, January 2017 (Emission testing method for California Specification 01350)

See California Department of Public Health's website for certification programs and testing labs.

hhtps://www.cdph.ca.gov/Programs/CCDPHP/DEODC/EHLB/IAQ/Pages/VOC.aspx.

**4.504.5 COMPOSITE WOOD PRODUCTS.** Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the buildings shall meet the requirements for formaldehyde as specified in ARB's Air Toxics Control Measure for Composite Wood (17 CCR 93120 et seg.). by or before the dates specified in those sections, as shown in Table 4.504.5

4.504.5.1 Documentation. Verification of compliance with this section shall be provided as requested by the enforcing agency. Documentation shall include at least one of the following:

Product certifications and specifications.

Chain of custody certifications Product labeled and invoiced as meeting the Composite Wood Products regulation (see

CCR, Title 17, Section 93120, et seq.). Exterior grade products marked as meeting the PS-1 or PS-2 standards of the Engineered Wood Association, the Australian AS/NZS 2269, European 636 3S standards, and Canadian CSA

0121, CSA 0151, CSA 0153 and CSA 0325 standards. Other methods acceptable to the enforcing agency.

4.505 INTERIOR MOISTURE CONTROL

California Residential Code, Chapter 5, shall also comply with this section.

**4.505.1 General.** Buildings shall meet or exceed the provisions of the *California Building Standards Code*. **4.505.2 CONCRETE SLAB FOUNDATIONS.** Concrete slab foundations required to have a vapor retarder by

**4.505.2.1 Capillary break.** A capillary break shall be installed in compliance with at least one of the

California Building Code, Chapter 19, or concrete slab-on-ground floors required to have a vapor retarder by the

1. A 4-inch (101.6 mm) thick base of 1/2 inch (12.7mm) or larger clean aggregate shall be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and curling, shall be used. For additional information, see American Concrete Institute,

Other equivalent methods approved by the enforcing agency. 3. A slab design specified by a licensed design professional.

4.505.3 MOISTURE CONTENT OF BUILDING MATERIALS. Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19 percent moisture content. Moisture content shall be verified in compliance with the following:

1. Moisture content shall be determined with either a probe-type or contact-type moisture meter. Equivalent moisture verification methods may be approved by the enforcing agency and shall satisfy requirements

found in Section 101.8 of this code. 2. Moisture readings shall be taken at a point 2 feet (610 mm) to 4 feet (1219 mm) from the grade stamped end of each piece verified.

3. At least three random moisture readings shall be performed on wall and floor framing with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing.

Insulation products which are visibly wet or have a high moisture content shall be replaced or allowed to dry prior to enclosure in wall or floor cavities. Wet-applied insulation products shall follow the manufacturers' drying

4.506 INDOOR AIR QUALITY AND EXHAUST

recommendations prior to enclosure.

**4.506.1 Bathroom exhaust fans.** Each bathroom shall be mechanically ventilated and shall comply with the

1. Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. 2. Unless functioning as a component of a whole house ventilation system, fans must be controlled by a

a. Humidity controls shall be capable of adjustment between a relative humidity range less than or

equal to 50% to a maximum of 80%. A humidity control may utilize manual or automatic means of

b. A humidity control may be a separate component to the exhaust fan and is not required to be integral (i.e., built-in)

1. For the purposes of this section, a bathroom is a room which contains a bathtub, shower or 2. Lighting integral to bathroom exhaust fans shall comply with the California Energy Code.

**4.507 ENVIRONMENTAL COMFORT 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN.** Heating and air conditioning systems shall be

sized, designed and have their equipment selected using the following methods:

The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),

ASHRAE handbooks or other equivalent design software or methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

**Exception:** Use of alternate design temperatures necessary to ensure the system functions are

Equipment Selection), or other equivalent design software or methods.

CHAPTER 7

**INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS** 

**NOT APPLICABLE** 

RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,

**702 QUALIFICATIONS** 

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

State certified apprenticeship programs.

Public utility training programs.

3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.

4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

**702.2 SPECIAL INSPECTION [HCD].** When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building

performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade.

4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the

project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

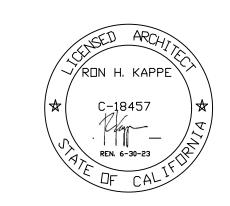
703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.



#### ALTMAN RESIDENCE

67 TAMALPAIS RD. FAIRFAX, CA 94930



#### AP #: 001-123-03

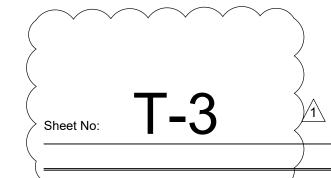
Project No.:	20.13		
Drawn By:	MH		
Checked By:	RK		
Issued Date:	8-31-2021		
Revision		No.	Date

PLANCHECK COMMENTS /1\ PLANCHECK COMMENTS /2

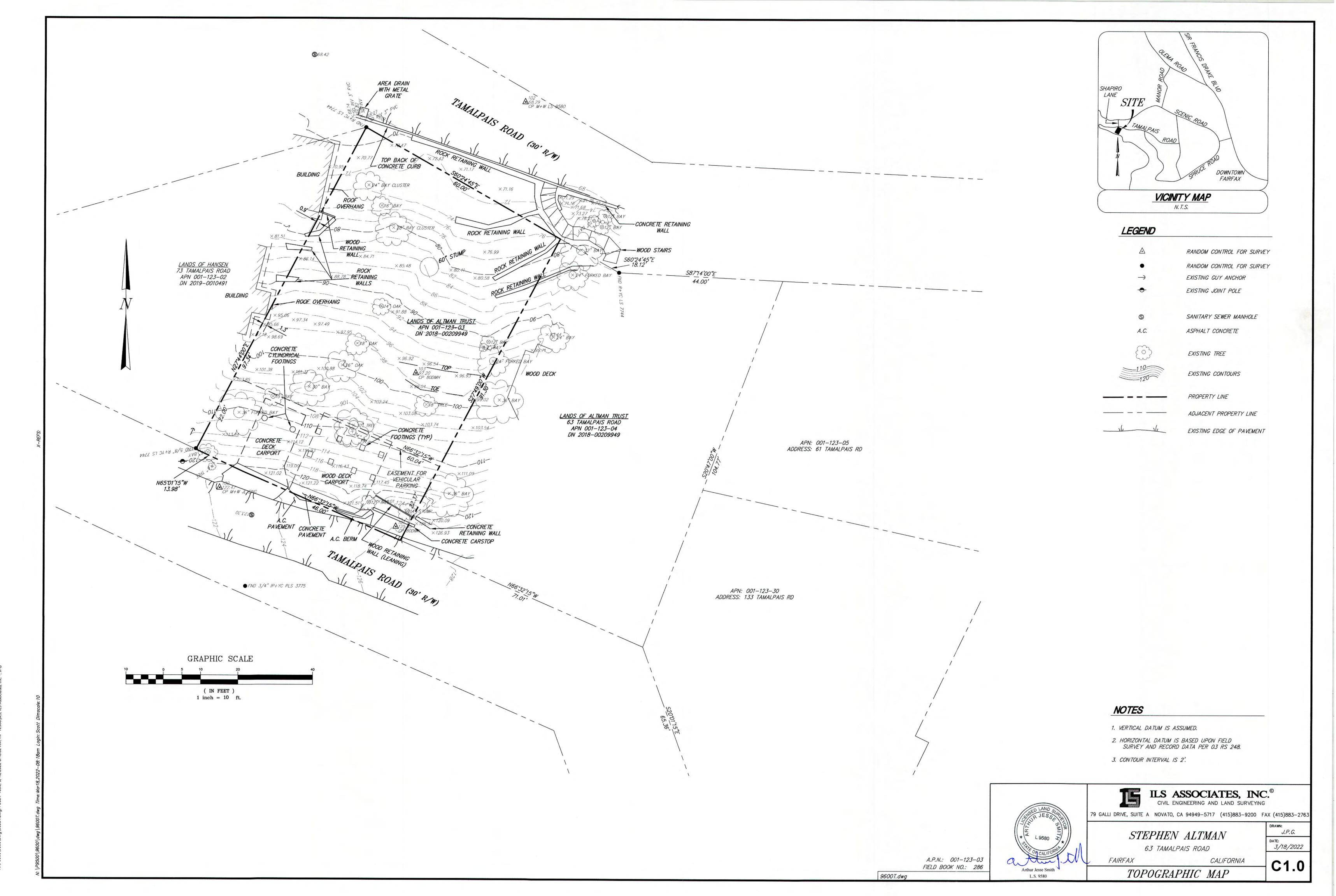
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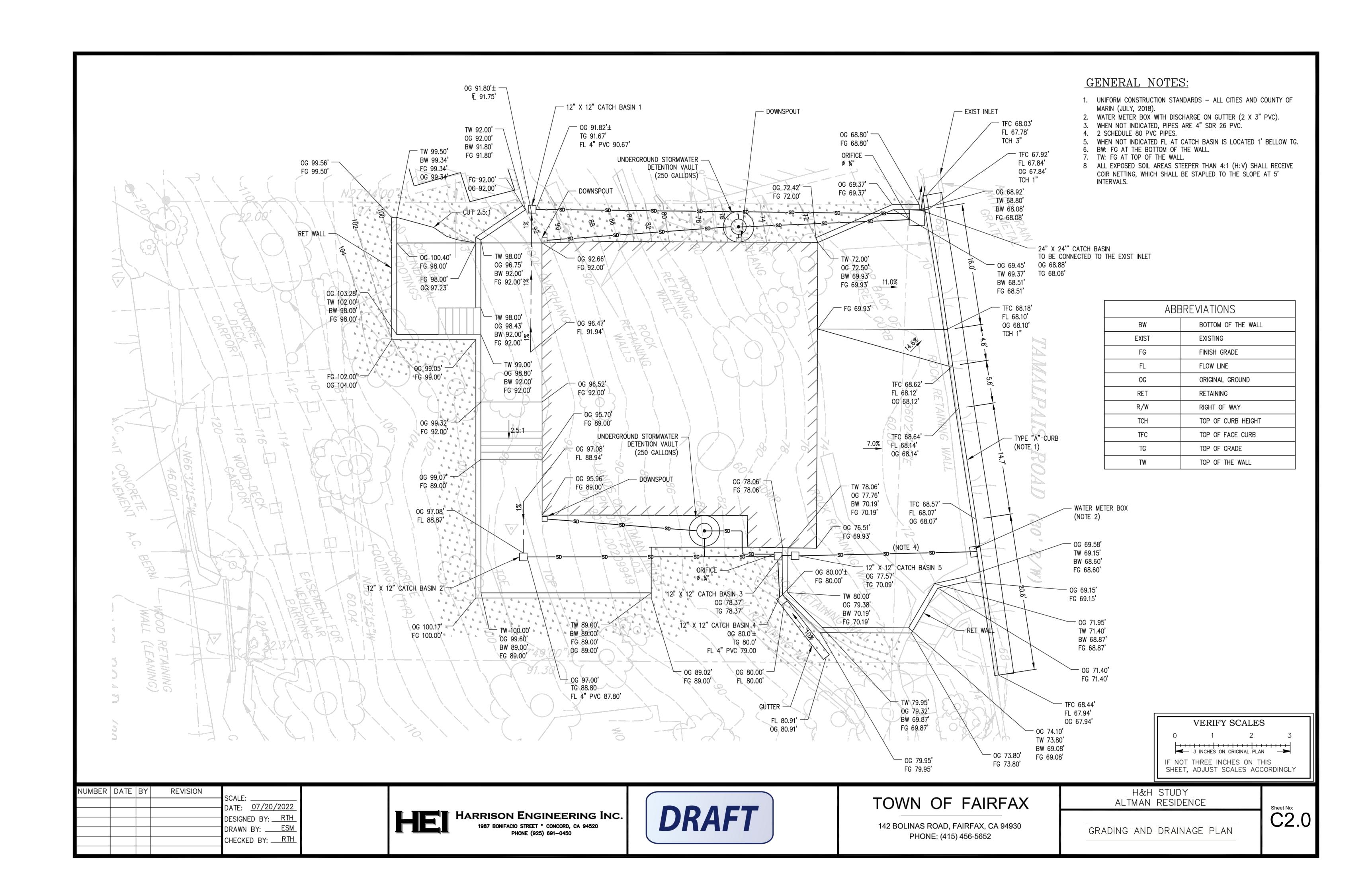
must be reviewed by this office before proceeding with fabrication.

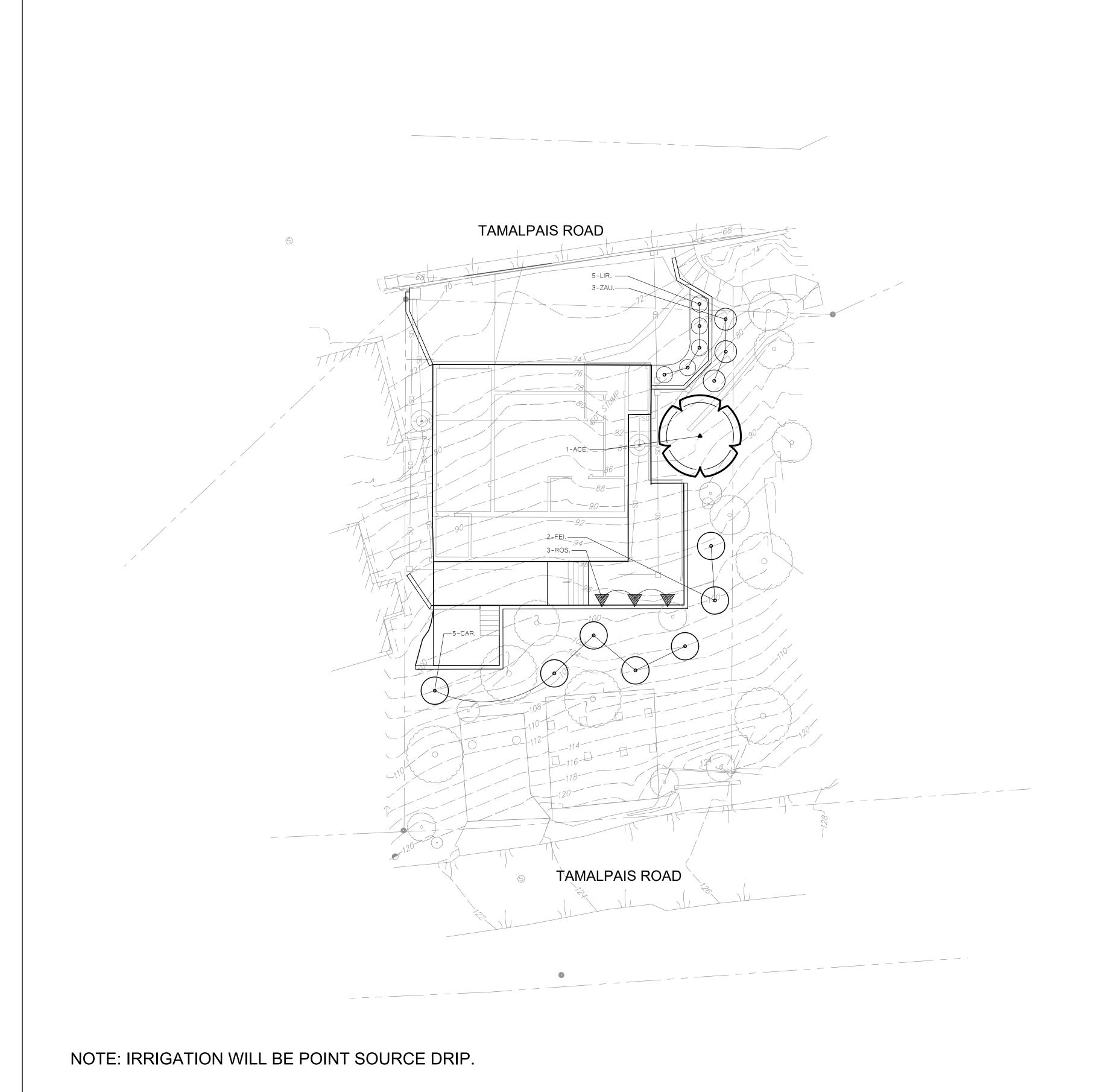
GREEN BUILDING CHECKLIST

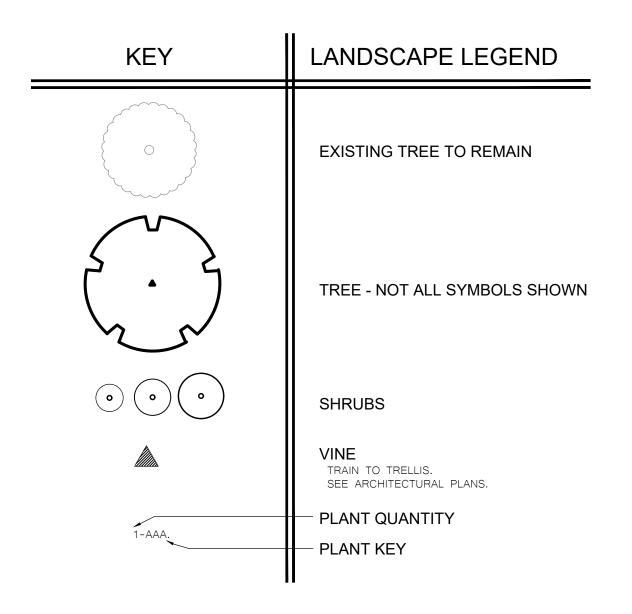


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#### PLANT MATERIAL LIST

WATER USE	SIZE	QUANTITY	KEY	BOTANICAL NAME COMMON NAME
				TREE:
LOW	15 G.C.	1	ACE.	ACER PALMATUM 'BLOODGOOD' BLOODGOOD JAPANESE MAPLE
				SHRUB:
LOW LOW LOW	5 G.C. 5 G.C. 5 G.C. 5 G.C.	5 2 5 3	CAR. FEI. LIR. ZAU.	CARPENTERIA CALIFORNICA BUSH ANEMONE FEIJOA SELLOWIANA PINEAPPLE GUAVA LIRIOPE GIGANTEA GIANT TURF LILY ZAUSCHNERIA CALIFORNICA CALIFORNIA FUCHSIA
				VINE:
LOW	1 G.C.	3	ROS.	ROSA BANKSIAE LADY BANKS' ROSE

#### LANDSCAPE NOTES:

- 1. ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
- 2. SEE SOIL TESTING NOTES FOR SOIL AMENDMENT AND FERTILIZER RATES.
- 3. CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE PROJECT APPLICANT, LANDSCAPE ARCHITECT, AND LANDSCAPE CONTRACTOR UPON COMPLETION OF THE PROJECT. ALL THREE PARTIES TO FILL OUT THE REQUIRED FORM ON PAGE 10 OF THE MARIN WATER LANDSCAPE PLAN REVIEW PACKET.
- 4. IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.

#### SOIL TESTING NOTES:

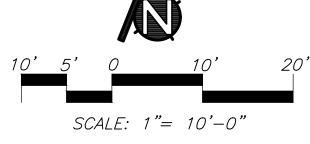
- 1. COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNER'S REPRESENTATIVE. SAMPLES LOCATIONS TO BE IDENTIFIED ON PLAN.
- 2. EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
- AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GRO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH NITROGEN, 1/2-0-0. (MINIMUM RATE OF 4 CY PER 1000 SF.)
- 4. ONLY ONE TEST SAMPLE IS REQUIRED FOR ALL PRODUCTION HOMES. SOIL TEST RESULTS FROM THE MODEL HOMES MAY BE USED FOR THE PRODUCTION HOMES.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

8/9/22

SCALE
LANDSCAPE ARCHITECT

DATE



**KAPPE** ARCHITECTS

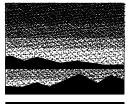
801 'D' STREET SAN RAFAEL, CA 94901

TEL: 415.457.7801 FAX: 415.457.7885

#### **ALTMAN RESIDENCE**

#### 67 TAMALPAIS RD. FAIRFAX, CA 94930

22-32



MTW g r o u p

LANDSCAPE ARCHITECTURE

AND PLANNING

2707 K Street, Suite 201

Sacramento, CA 95816



#### AP #: 001-123-03

Project No.:	20.13		
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Checked By:	PL		
Issued Date:	8/9/22		
Revision		No.	Date
PLANCHECK	COMMENTS	1	3/28/2022

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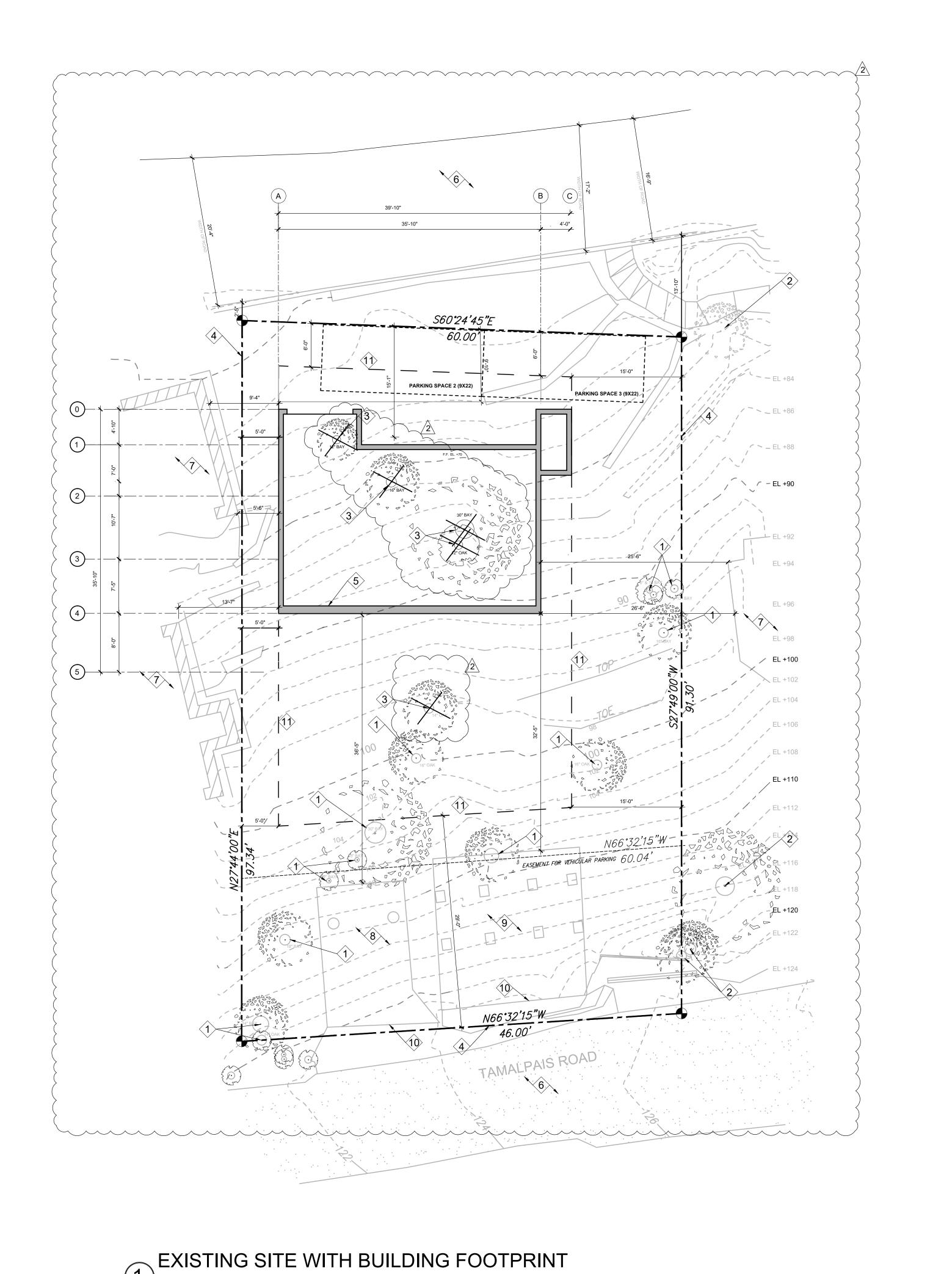
Sheet Title:

SHRUB PLANTING PLAN

Scale: AS NOTED

L1.

Sheet N



#### **KEY NOTES**

- (1) EXISTING TREE TO REMAIN
- 2 EXISTING TREE TO REMAIN (OUTSIDE OF PROPERTY)
- 3 EXISTING TREE FOR REMOVAL
- 4 PROPERTY LINE
- 5 PROPOSED BUILDING FOOTPRINT
- 6 ASPHALT ROADWAY
- 7 NEIGHBORING STRUCTURE

10 EXISTING CONCRETE WALL LINE

**GENERAL NOTES** 

TREES LISTED AS "BAY" ARE CALIFORNIA BAY LAUREL

Umbellularia californica UNLESS OTHERWISE NOTED

\*\*\* PLEASE SEE CIVIL DRAWINGS FOR RETAINING

TREES LISTED AS "OAK" ARE COAST LIVE OAK

Quercus agrifolia UNLESS OTHERWISE NOTED

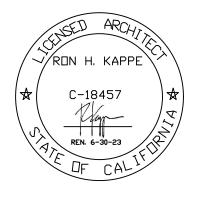
WALL HEIGHTS

- 8 EXISTING WOOD PARKING DECK, CONTOURS BENEATH DECK
- > DENEATE DEON
- 9 EXISTING CONCRETE PARKING DECK, CONTOURS BENEATH DECK
- 11 SETBACK LINE

ARCHITECTS	SAN RAFAEL, CA 94901 FAX: 415.457.7885
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<u>и</u>	T 0
KAPPE	801 'D' STREET TEL:415.457.7801

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#### AP #: 001-123-03

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 20.13

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 MH/GRC

 Checked By:
 RK

 Issued Date:
 8/31/2021

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 No.
 Date

PLANCHECK COMMENTS /1 3/28/2022
PLANCHECK COMMENTS /2 8/11/2022

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#### Sheet Title:

EXISTING SITE WITH PROPOSED BUILDING FOOTPRINT

Scale: AS NOTED

Sheet No: A1.0

## GRADING CALCULATIONS FOR CUT EARTH

SECTION 1 = 505 SQ.FT. X 7 = 3,535 CU.FT. SECTION 2 = 600 SQ.FT. X 7 = 4,200 CU.FT. SECTION 3 = 585 SQ.FT. X 7 = 4,095 CU.FT. SECTION 4 = 570 SQ.FT. X14 = 7,980 CU.FT.

REAR LANDSCAPING = 1,000 CU.FT. TRENCHING = 2,600 CU.FT.

TOTAL = 23,410 CU.FT. = 867 CUBIC YARDS

FLOOR PLAN LEGEND FOR SECTION CUTS

1/16" = 1'-0"

# RIDGE 37' - 6" SECOND L. +80 10' - 0" AREA= 600 SQ.FT. FIRST L. +70 0' - 0" SECTION 2 SECOND L. +80 10' - 0" AREA= 570 SQ.FT.

8'-9"

SECTION 4

AREA= 505 SQ.FT.

AREA= 585 SQ.FT.

23'-0"

GRADING SECTION CUTS

SECTION 1

17'-0"

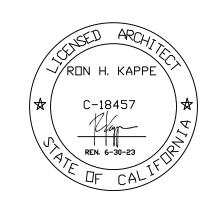
SECTION 3

ALTMAN RESIDENCE

'D' STREET

8 0 1 T E L :

67 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

Project No.: 20.13

Drawn By: MH

Checked By: RK

Issued Date: 8/31/2021

Revision No. Date

PLANCHECK COMMENTS /1 3/2
PLANCHECK COMMENTS /2 7/2

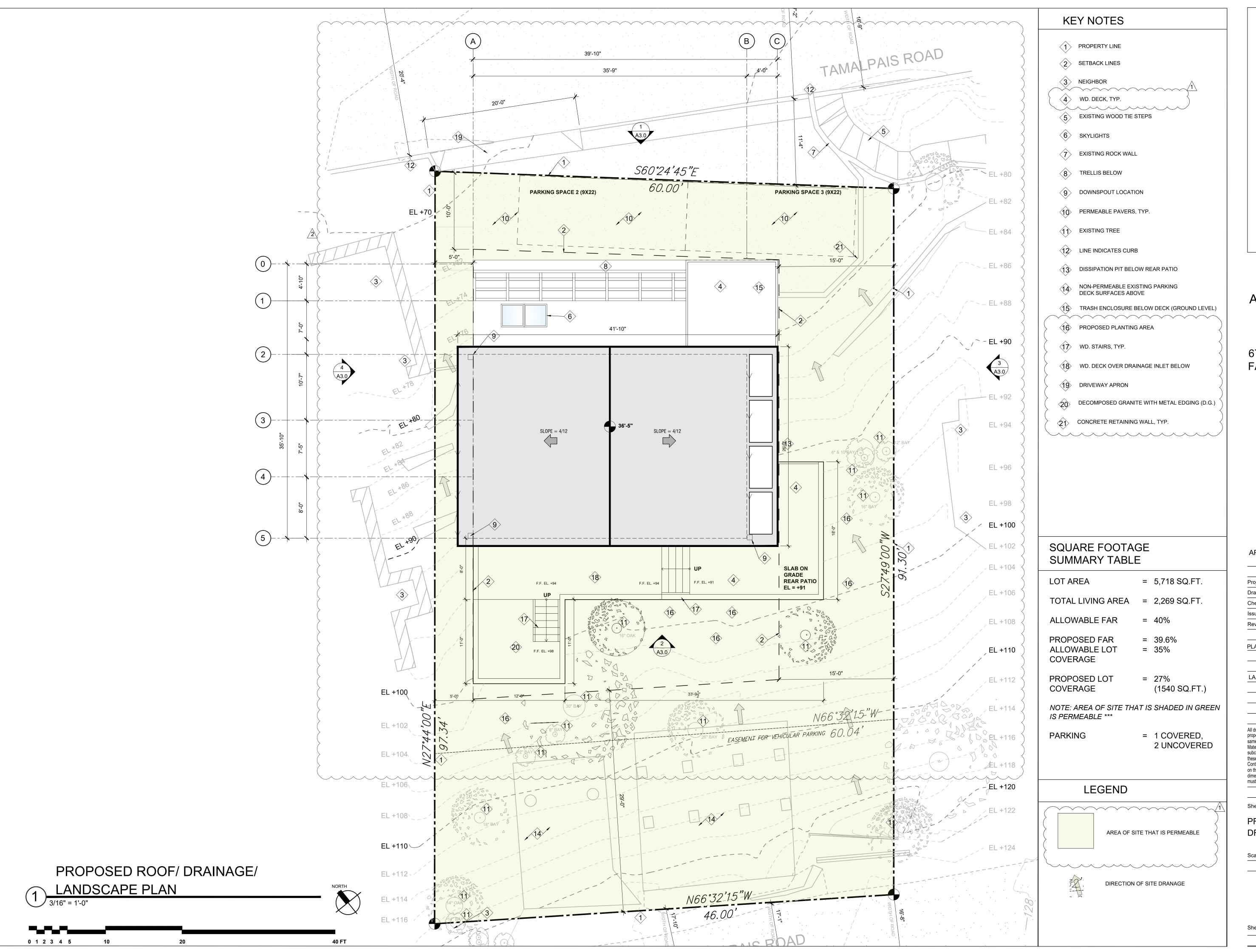
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Sheet Title:

SECTIONS OF (E) TOPOGRAPHY & GRADING CALCULATIONS

Scale: AS NOTED

et No: A1.



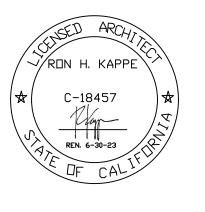
**KAPPE** ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901

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ALTMAN RESIDENCE

67 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

 Project No.:
 20.13

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 MH /GC

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 RK

 Issued Date:
 8/31/2021

PLANCHECK COMMENTS /1 3/28/2022

LANDSCAPE EDIT 7/19/2022

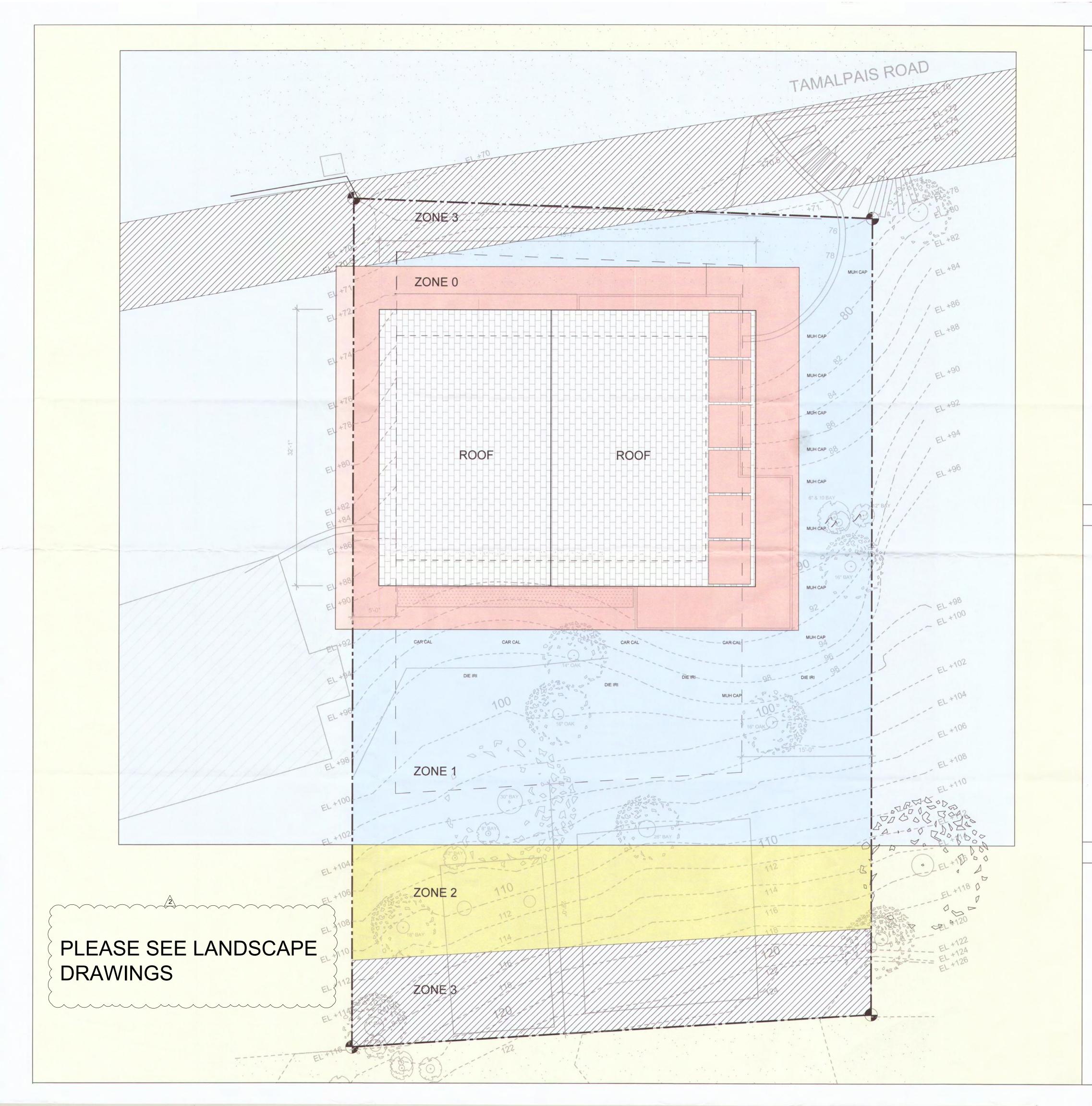
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Sheet Title:

PROPOSED ROOF/ DRAINAGE/ LANDSCAPE PLAN

Scale: AS NOTED

No: A2.0



#### HAZARD ZONES

IMMEDIATE ZONE (ZONE 0): 0'-5'

 REMOVE ANY COMBUSTIBLE OUTDOOR FURNITURE REPLACE JUTE OR FIBER DOOR MATS WITH FIRE RESISTANT MATERIALS REMOVE OR RELOCATE ALL COMBUSTIBLE MATERIALS, INCLUDING GARAGE AND RECYCLING CONTAINERS, LUMBER, TRASH AND PATIO ACCESSORIES. CLEAN ALL FALLEN LEAVES AND NEEDLES REGULARLY. REPEAT OFTEN

NO VEGETATION IS RECOMMENDED WITHIN 5'-0" OF STRUCTURES. - REMOVE TREE LIMBS THAT EXTEND INTO THIS ZONE. FIRE-PRONE TREE VARIETIES SHOULD BE REMOVED IF THEY EXTEND WITHIN 5'-0" OF

- DO NOT STORE FIREWOOD, LUMBER, OR COMBUSTIBLES HERE, EVEN (ESPECIALLY) UNDER DECKS OR OVERHANGS, MOVE STORED COMBUSTIBLES INSIDE, OR AT LEAST 30'-0" AWAY FROM STRUCTURES. USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN  $\frac{1}{2}$ ") MAY BE OK.



REMOVE ALL DEAD PLANTS, GRASS AND WEEDS (VEGETATION).

- REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS. TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10'-0" FROM
- OTHER TREES. REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD
- BRANCHES 10'-0" AWAY FROM YOUR CHIMNEY. REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS
- REMOVE FIRE PRONE PLANTS, AND CHOOSE ONLY FIRE-RESISTANT VARIETIES. IRRIGATE REGULARLY.
- REMOVE LIMBS TO A HEIGHT OF 10'-0" ABOVE THE GROUND (OR \$\frac{1}{3}\$ THE HEIGHT OF THE TREE) TO PROVIDE CLEARANCE AND TO ELIMINATE A "FIRE LADDER". USE ONLY INORGANIC, NON COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN

#### EXTENDED ZONE (ZONE 2): 30'-100'

 $\frac{1}{2}$ ") MAY BE OK.

- CUT OR MOW ANNUAL GRASS DOWN TO MAXIMUM HEIGHT OF 4 INCHES.
- CREATE HORIZONTAL SPACING BETWEEN SHRUBS, TREES AND VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES
- REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES IF EROSION CONTROL IS AN ISSUE.

#### ACCESS ZONE (ZONE 3): 0'-10'

- WITHIN THIS ZONE, PLANTINGS SHALL BE FIRE RESISTANT AND SHALL NOT
- EXTEND WITHIN THE 14'-0" VERTICAL. CLEARANCE ABOVE THE SURFACE OF THE ROADWAY OR DRIVEWAY, AS
- REQUIRED FOR EMERGENCY ACCESS. ALL LANDSCAPE SHALL MEET THE REQUIREMENTS FOR SEPARATION AS STATED IN THE ZONE 2 ABOVE.

#### VEGETATIVE PLAN NARRATIVE

#### 1. EXISTING CONDITIONS:

THERE ARE CURRENTLY CALIFORNIA BAY LAUREL TREES AND COAST LIVE OAKS. 3 CALIFORNIA BAY LAUREL TREES WILL BE REMOVED AND ONE COAST LIVE OAK WILL BE REMOVED FOR CONSTRUCTION OF BUILDING FOUNDATION. ALL REMAINING TREES WILL BE PROPERLY

#### 2. PROPOSED SCOPE:

THE INTENT OF THIS PLAN IS TO PROPERLY MAINTAIN THE EXISTING TREES WITH SELECTIVE PRUNING AND REMOVE ALL DEAD MATERIAL PER FIREWISE STANDARDS.

#### 3. FUTURE PLANTING:

ANY FUTURE PLANTINGS THROUGH THE SITE WITH INCLUDE FIRE-RESISTANT, IRRIGATED SHRUBS, PERENNIALS, AND GROUND COVERS AS IN THE FIRESAFE MARIN PLANTING LISTS LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS.

#### 4. LONG TERM MAINTENANCE SCHEDULE AND SAFETY PRACTICES:

- ALL FIRE PRONE FUELS AND DEAD MATERIAL WILL BE REMOVED W/IN 100' OF THE HOME BRANCHES BENEATH LARGE TREES WILL BE REMOVED FOR A 6'-0" CLEARANCE
- NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LITTER SHALL BE REMOVED FROM ROOFS AND GUTTER AT MINIMUM TWICE A YEAR.
- ALL WEEDS AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4" OR LESS. VEGETATION SHALL BE TRIMMED TO WITHIN 10' HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14'-0" OF CLEARANCE
- ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LADDER FUELS.
- COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANOPIES. VEGETATION VOLUME AND LADDER FUELS.
- NO NATIVE GRASSES SHALL BE PLANTED WITHIN HOME IGNITION ZONES 1 AND 2. ALL PLANTED AREAS INSIDE HOME IGNITION ZONES 1 AND 2 SHALL BE IRRIGATED
- PLANING LIST LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS. OTHER FIRE RESISTANT
- PLANTS CAN BE UTILIZED WITH PRIOR APPROVAL OF THE FIRE CODE OFFICIAL REGARDLESS OF PLANT SELECTION, SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN GROUND FUELS AND TREE CROWNS, SUCH THAT A GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

#### VEGETATIVE PLAN NARRATIVE

SYMBOL	COMMON NAME	LATIN NAME	QTY	FIRE RESISTANT	(N) OR (E)	REMARKS
OAK	COAST LIVE OAK	QUERCUS AGRIF(LIA	4	YES, TREE	EXISTING	KEEP WELL HYDRATED
BAY	CALIFORNIA BAY LAUREL	UMBEL.ULARIA CALIFORNICA	8	YES, TREE	EXISTING	KEEP WELL HYDRATED
CAR CAL	BUSH ANEMONE	CARPENTERIA CALIFORNICA	4	YES, SHRUB	NEW	IRRIGATED
DIE IRI	FORTNITE LILY	DIETESIRIDIODES	4	YES, PERENNIAL	NEW	PRUNE
MUH CAP	MUHLENBERGIA CAPILLARIS	PINK MUHLY	10	YES, GRASS	NEW	IRRIGATED

\*\*\* ALL EXISTING SHRUBS/GRASS IN RED AND BLUEZONES WILL BE REMOVED

proved with Conditions

VEGETATION MAGEMENT PLAN

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ALTMAN RESIDENCE

67 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

Project No.:	20.13		
Drawn By:	MH		
Checked By:	RK		
Issued Date:	9/7/2021		
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PLANCHECK COMMENTS

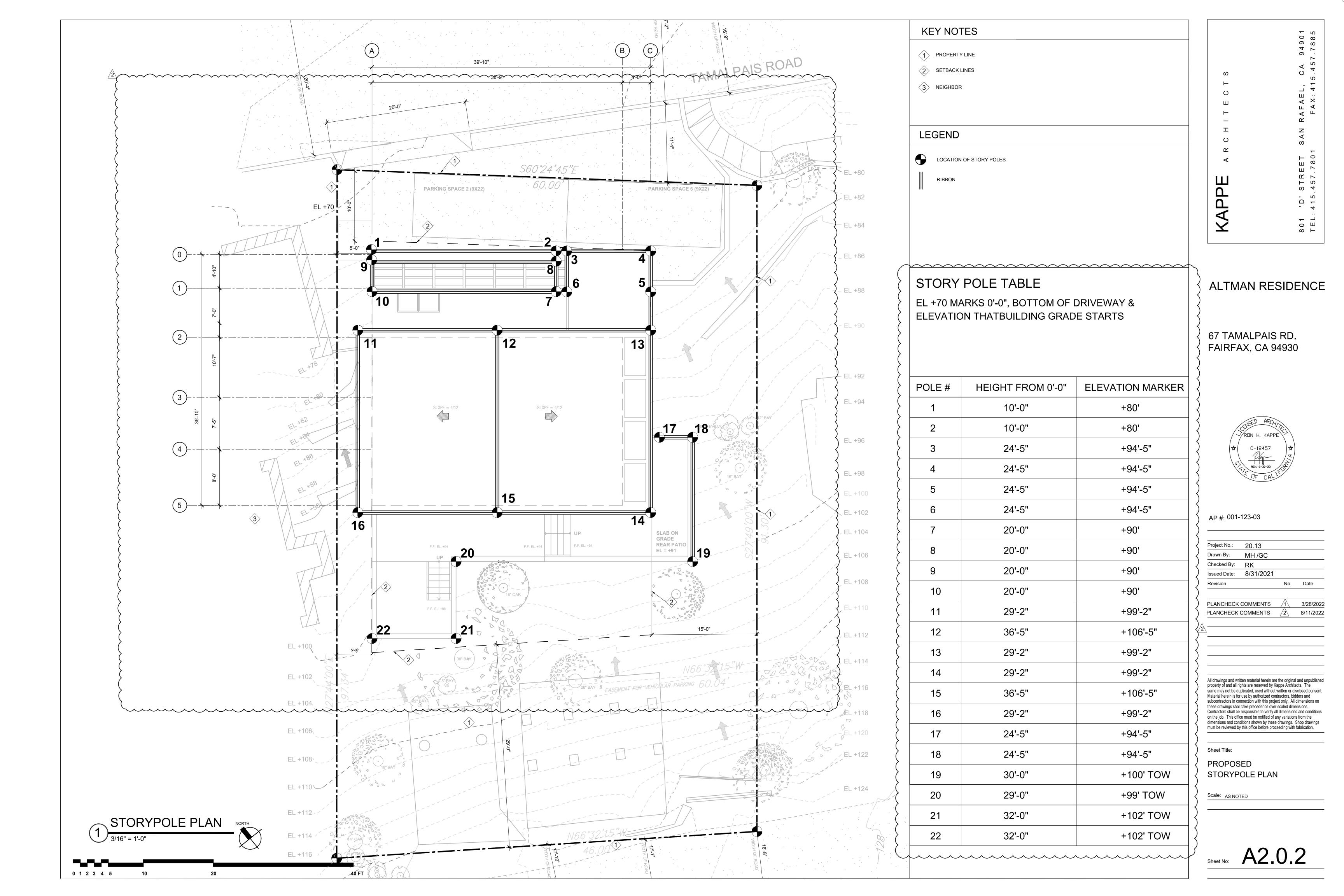
PLANCHECK COMMENTS /2

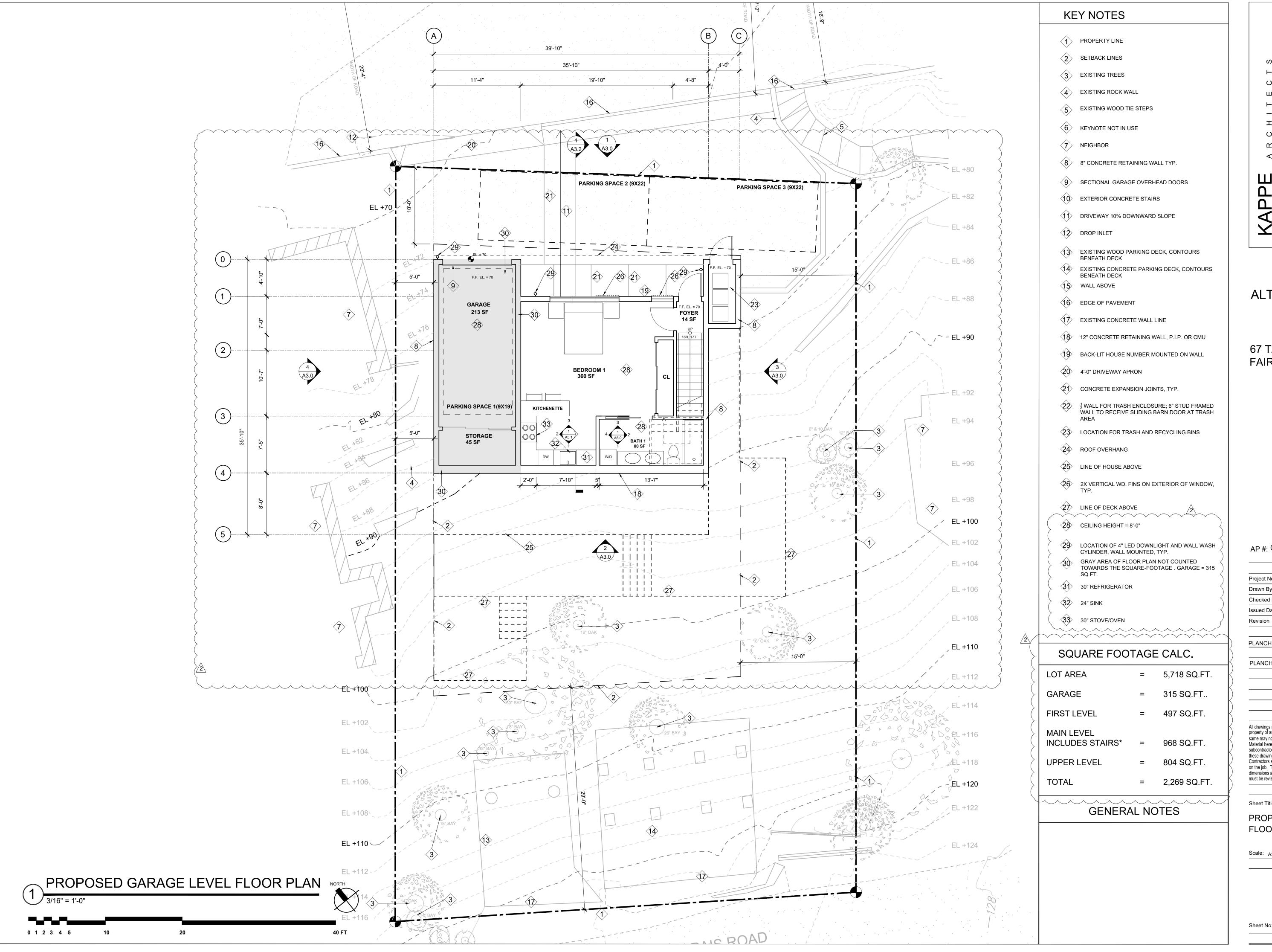
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VEGETATION MANAGEMENT PLAN

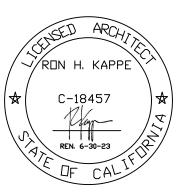




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Drawn By:	MH		
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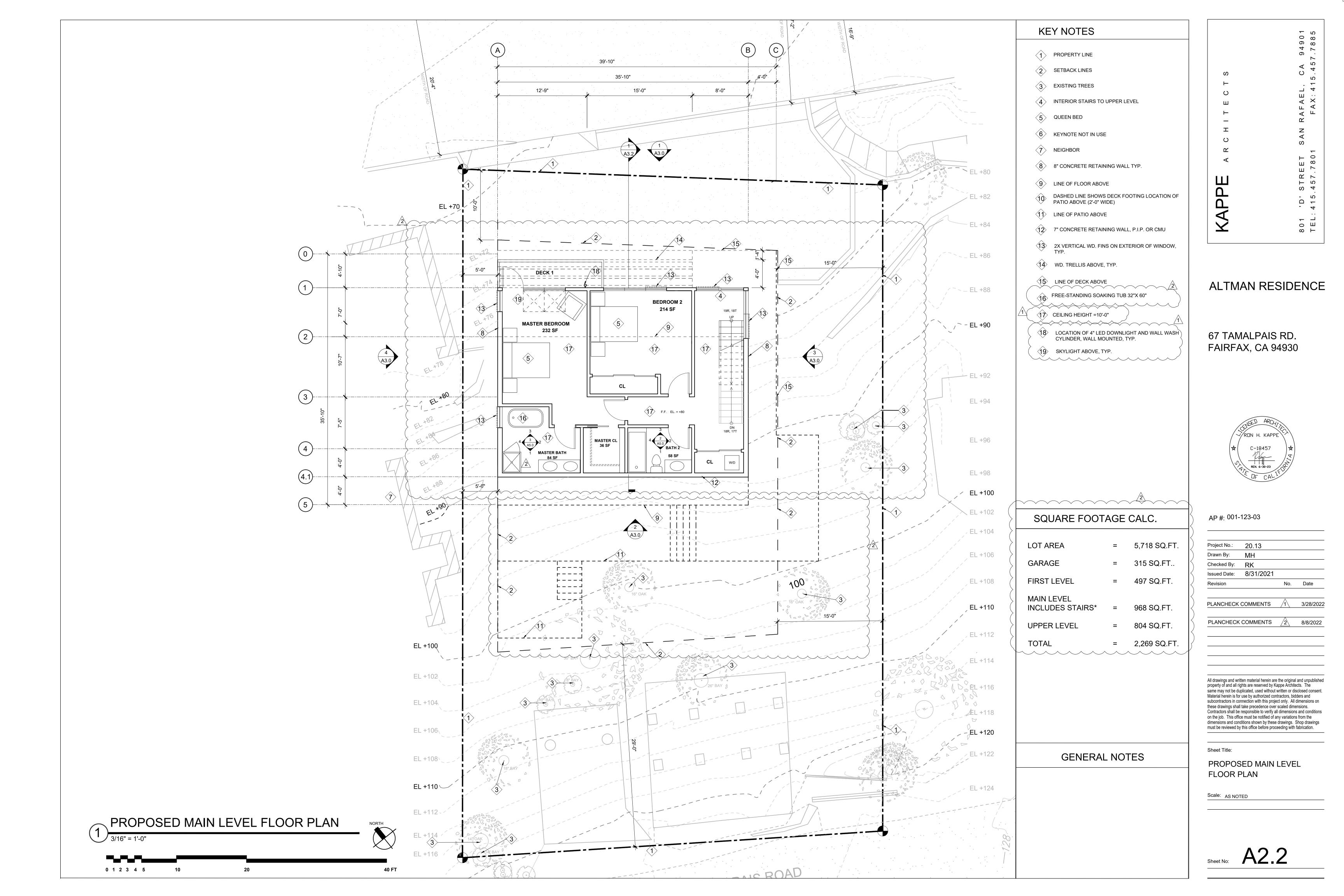
PLANCHECK COMMENTS /1\ PLANCHECK COMMENTS /2

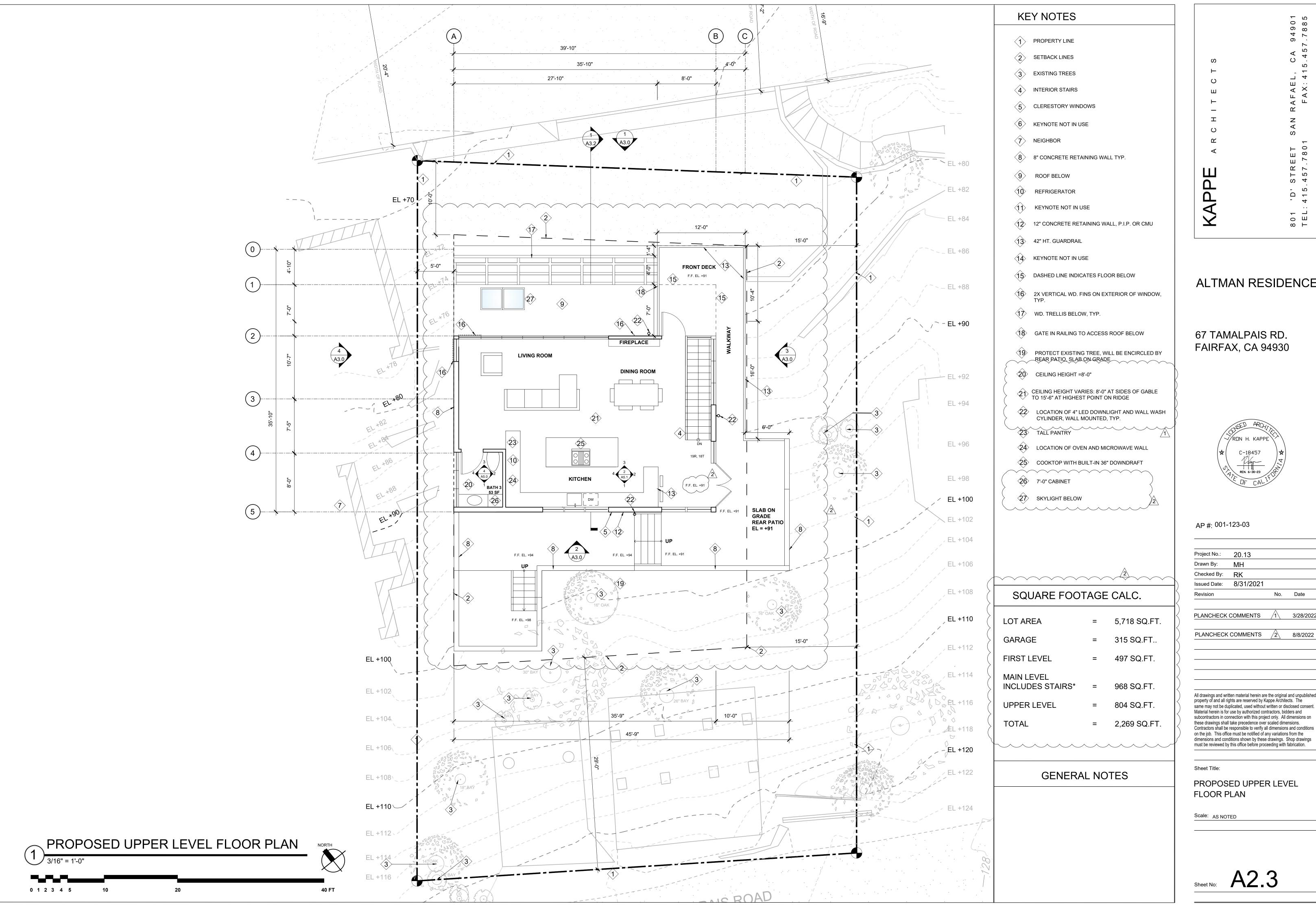
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Sheet Title:

PROPOSED GARAGE LEVEL **FLOOR PLAN** 

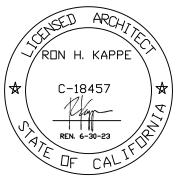




CA 5.45 RAFAEL, FAX: 41! S STREET.457.780 D ' 0 1 E L

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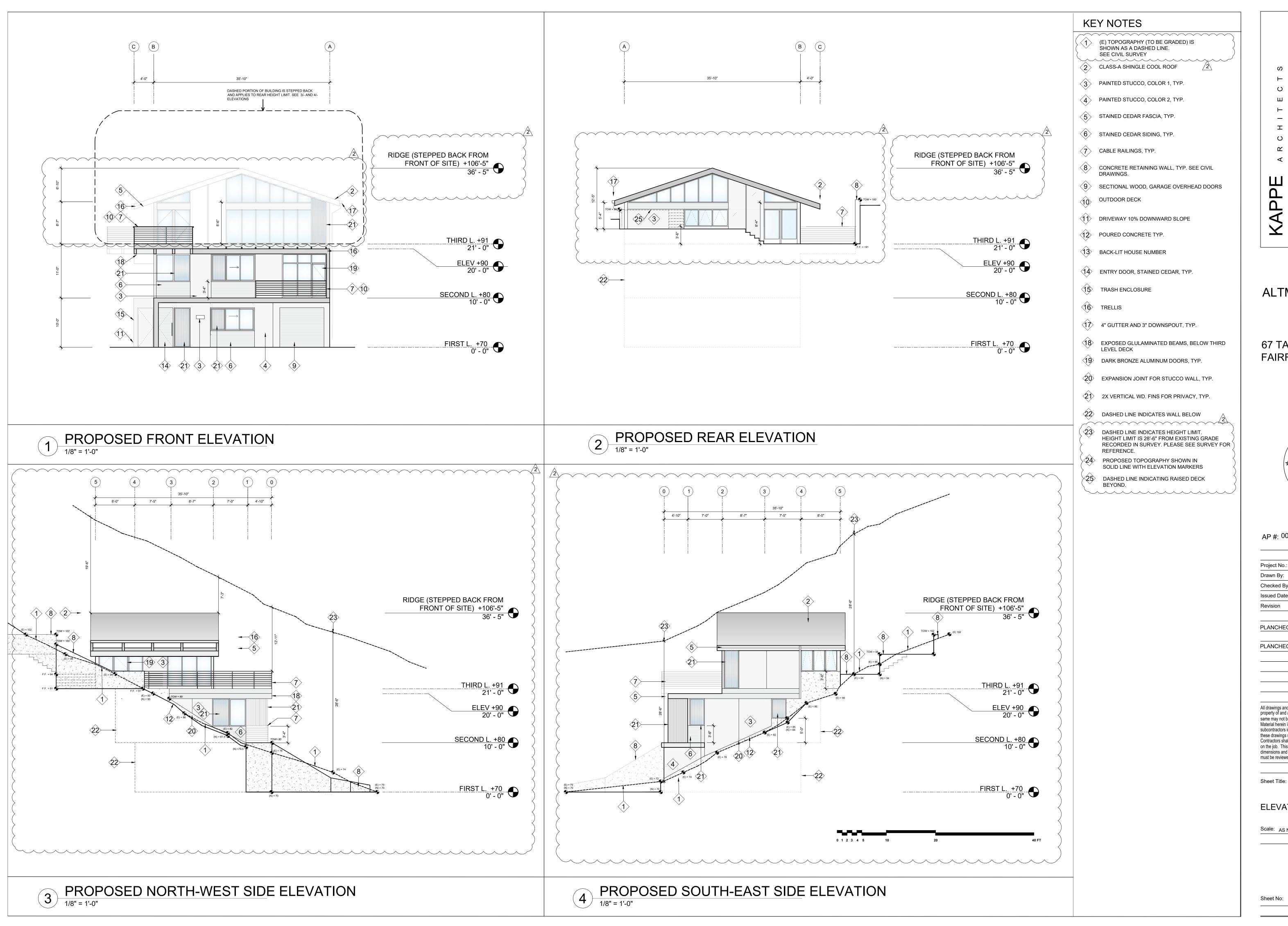
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PROPOSED UPPER LEVEL FLOOR PLAN

Scale: AS NOTED

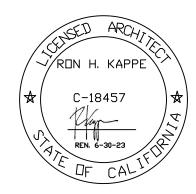
Sheet No: A2.3



STREET.457.780 . D . 4 1 5 . 0 1 E L

**ALTMAN RESIDENCE** 

67 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

Project No.:	20.13
Drawn By:	MH
Checked By:	RK
Issued Date:	8/31/2021

PLANCHECK COMMENTS /1\

PLANCHECK COMMENTS /2\ 8/8/2022

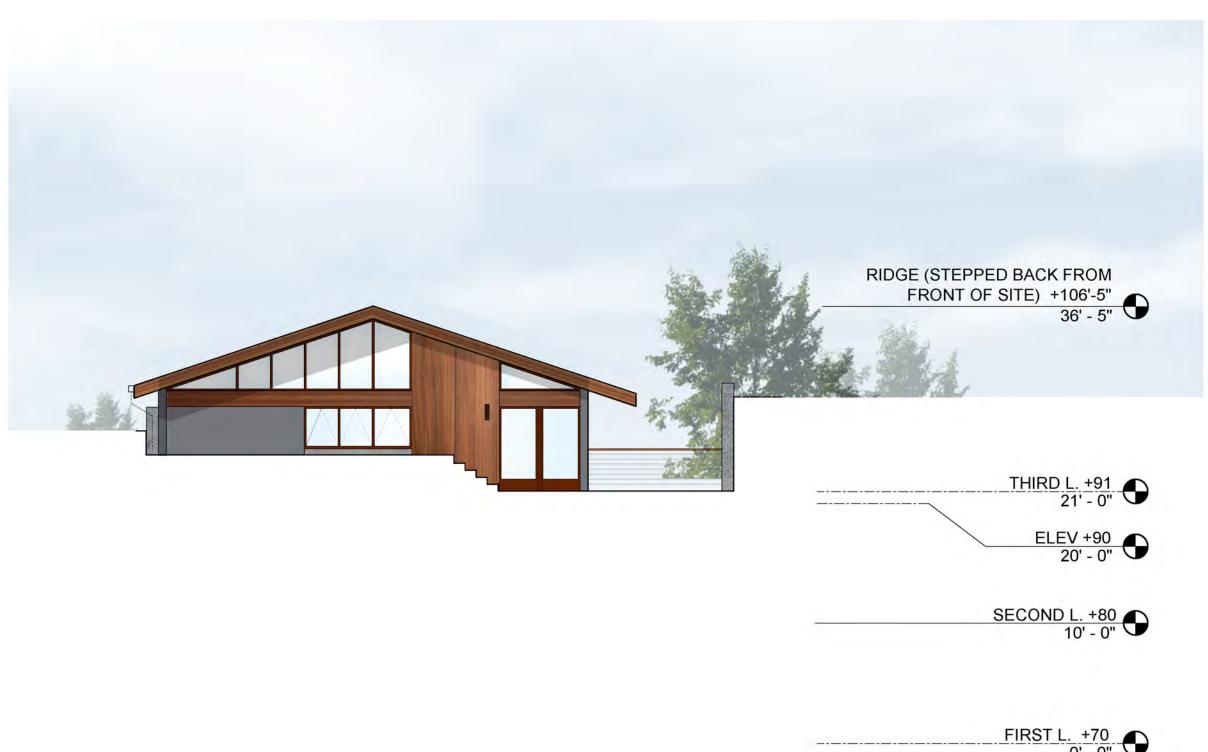
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**ELEVATIONS** 

Scale: AS NOTED

Sheet No: A3.0





## MATERIALS LEGEND POURED CONCRETE, PAINTED STUCCO, COLOR 1: BENJAMIN MOORE, ROCK GRAY 1615, TYP. PAINTED STUCCO, COLOR 2: BENJAMIN MOORE, THUNDER CLOUD GRAY 2124-40, STAINED CEDAR, HORIZONTAL SIDING STAINED CEDAR FASCIA, TYP. STAINED GLULAM BEAM. TYP. DARK BRONZE ALUMINUM WINDOWS. TYP.

STAINED CEDAR TOP, CABLE RAILINGS, TYP.

**CLASS A ASPHALT** 

STAINED WD. PANELS TO MATCH CEDAR SIDING,

4" LED DOWNLIGHT AND WALL WASH CYLINDER, WALL MOUNTED, TYP.

**TOTAL LUMENS: 325** 

COLOR TEMP: 3000K

WAC LIGHTING CYLINDER LED OUTDOOR

TOTAL WATTS: 6

(SOFT WHITE)

WALL SCONCE

THE EXTERIOR OF THE BUILDING WILL

STRUCTURES AT NIGHT WHEN THE IN-TERIOR OF THE HOMEIS LIT AS ALL WINDOWS WILL HAVE INTERIOR

SHADES. SOME WINDOWS ALSO HAVE VERTICAL WD. FINS TO REDUCE THE

AMOUNT OF LIGHT IMPACTING THE

NEIGHBORS.

**EXTERIOR LIGHTING NOTES:** 

NOT IMPACT THE NEIGHBORING

MANUFACTURER:

SHINGLES, TYP.

TYP.

ALTMAN RESIDENCE

67 TAMALPAIS RD.
FAIRFAX, CA 94930

KAPPE

RAFAEL, CA 94901 FAX: 415.457.7885

S

'D' STREET

801 TEL:

C-18457

REN. 6-30-23

REN. 6-30-23

AP #: 001-123-03

 Project No.:
 20.13

 Drawn By:
 MH

 Checked By:
 RK

 Issued Date:
 8/31/2021

 Revision
 No.
 Date

PLANCHECK COMMENTS /1 1/10/2022

PLANCHECK COMMENTS /2 8/11/2022

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1

COLORED ELEVATIONS & MATERIALS BOARD

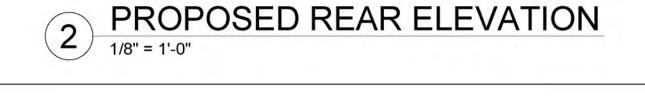
Scale: AS NOTED

**\\\\\\\\** 

A3.1

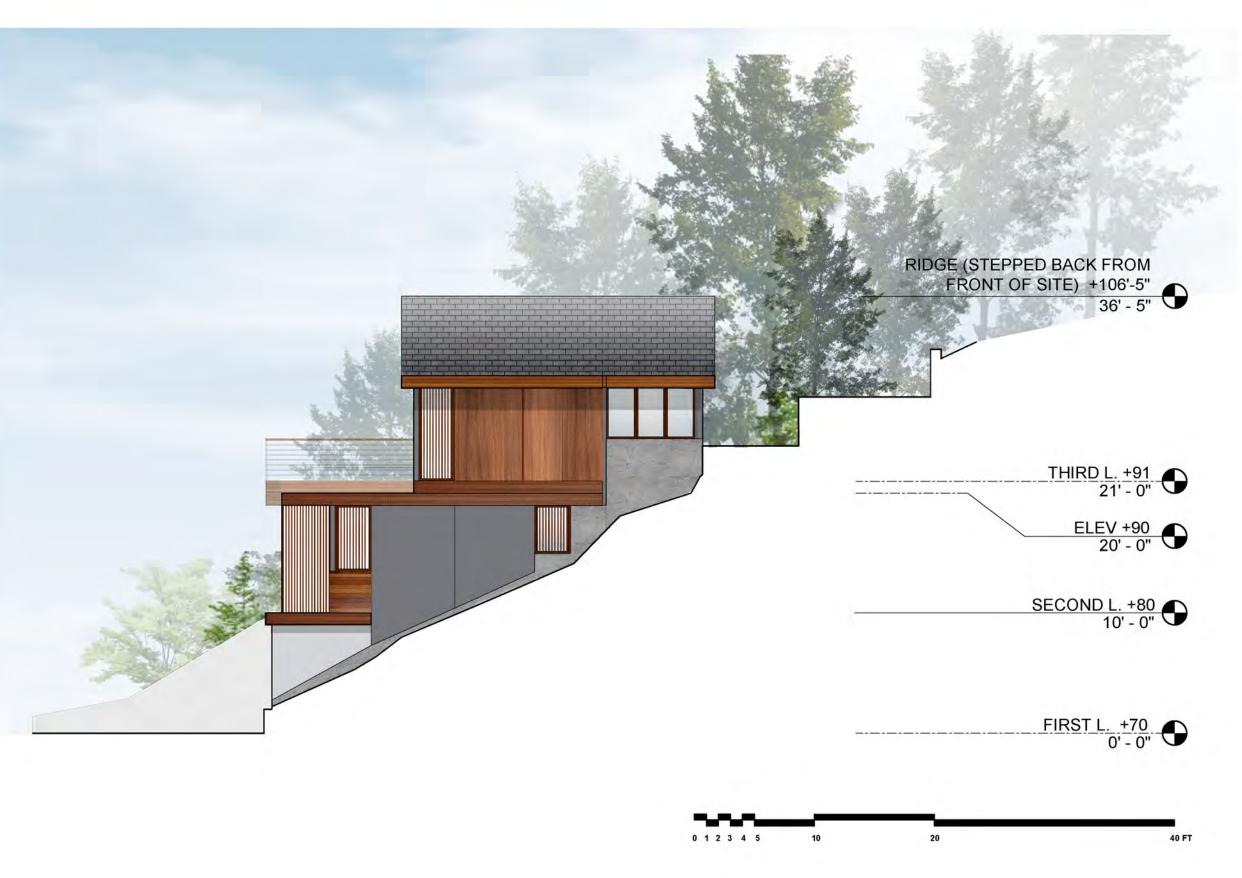
PROPOSED FRONT ELEVATION

1/8" = 1'-0"



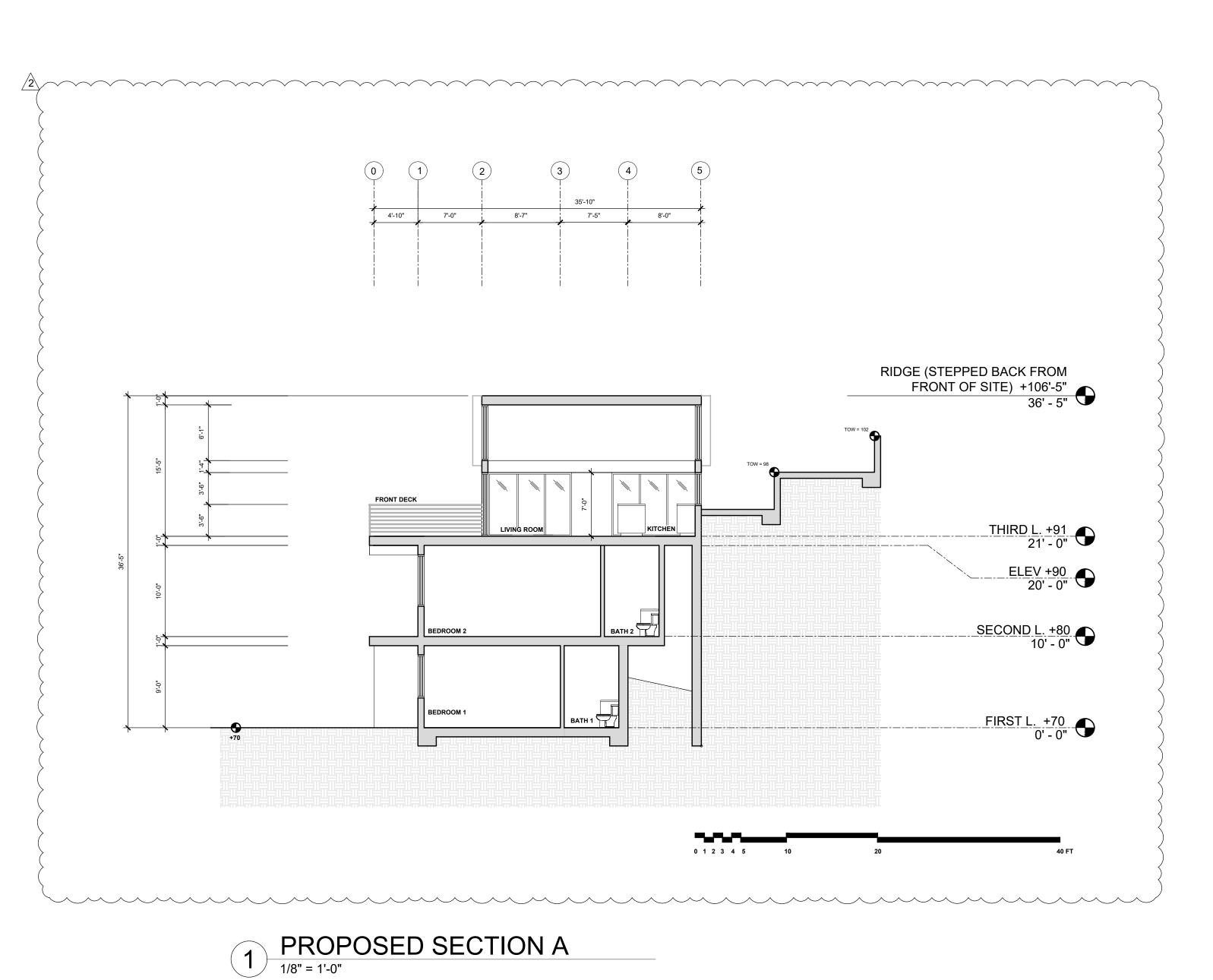


PROPOSED NORTH-WEST SIDE ELEVATION



PROPOSED SOUTH-EAST SIDE ELEVATION

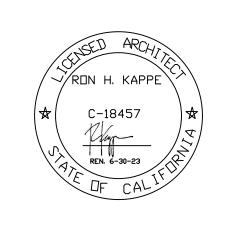
1/8" = 1'-0"





### **ALTMAN RESIDENCE**

#### 67 TAMALPAIS RD. FAIRFAX, CA 94930



#### AP #: 001-123-03

Project No.:	20.13		
Drawn By:	МН		
Checked By:	RK		
Issued Date:	8/31/2021		
Revision		No.	Date

PLANCHECK COMMENTS	/1\	3/28/2022
PLANCHECK COMMENTS	2	8/11/2022

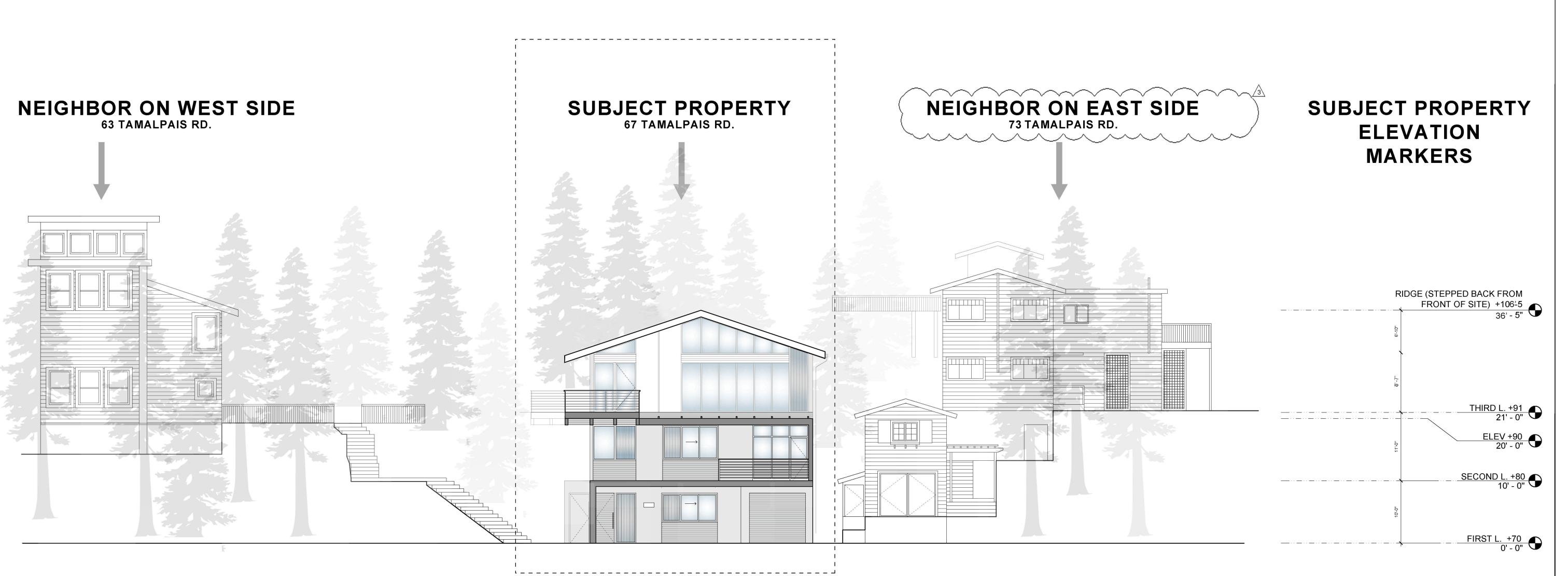
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Sheet Title:

SECTION

Scale: AS NOTED

Sheet No: A3.2



STREETSCAPE ELEVATIONS WITH NEIGHBORS ON EITHER SIDE OF PROPERTY

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901

TEL: 415.457.7801 FAX: 415.457.7885

ALTMAN RESIDENCE

63 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

Project No.:	20.13			
Drawn By:	МН			_
Checked By:	RK			
Issued Date:	8/31/2021			
Revision		No.	Date	_
PLANCHECK	COMMENTS	/1\	1/10/20	2
PLANCHECK	COMMENTS	/2\	8/11/202	2
				_

PLANCHECK COMMENTS /3\ 12/19/2022

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Sheet Ti

STREETSCAPE ELEVATIONS

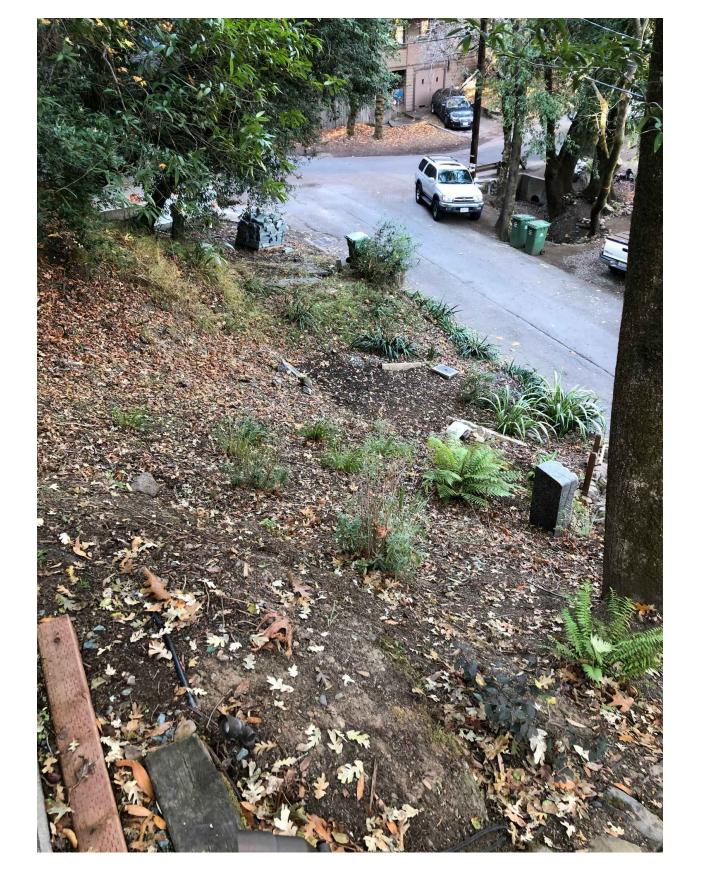






PHOTO FROM TAMALPAIS LOOKING
UPHILI

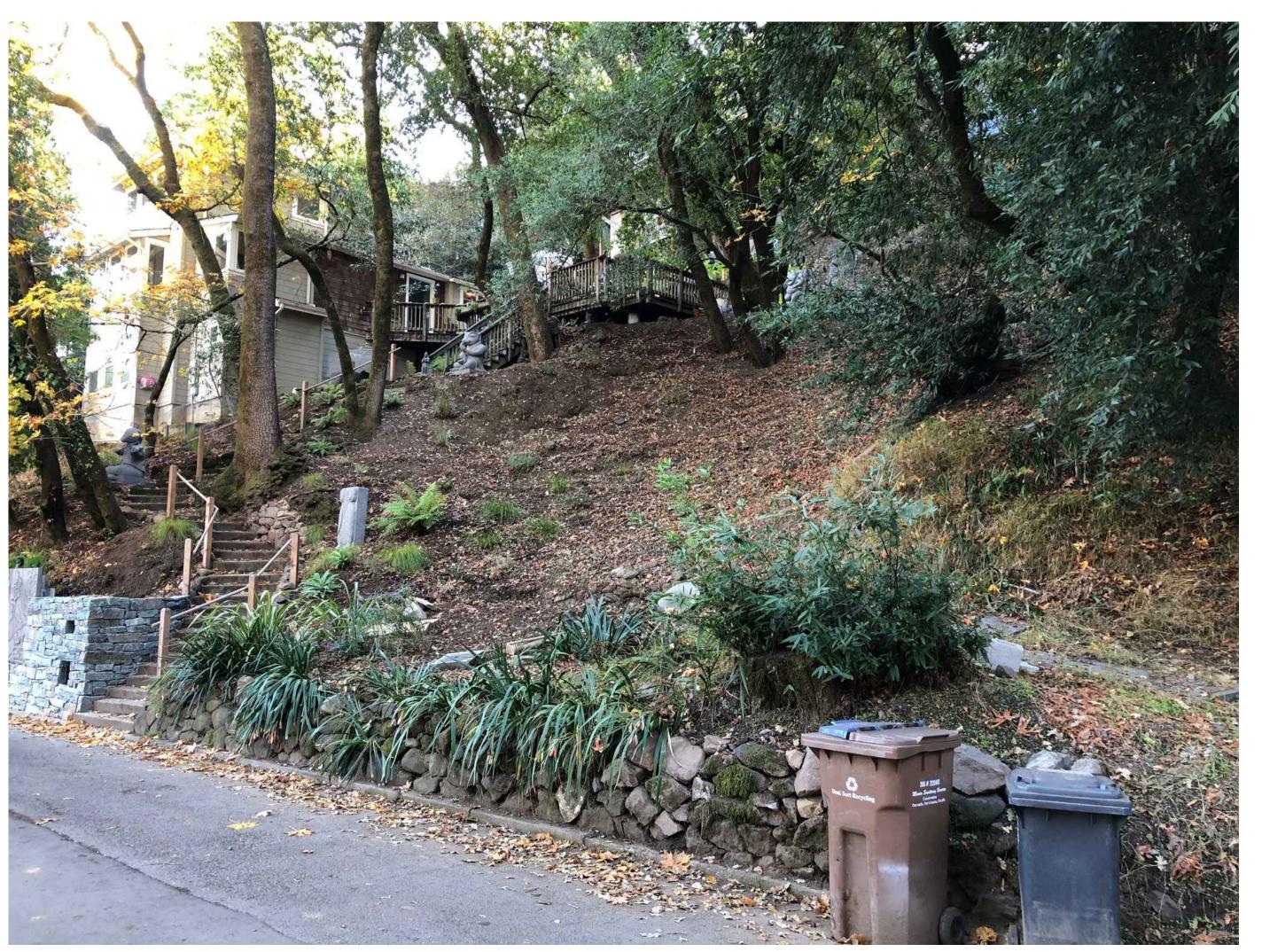
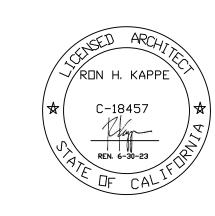


PHOTO OF ENTIRE SITE FROM TAMALPAIS

**KAPPE** ARCHITECTS
801 'D' STREET SAN RAFAEL, CA 9490
TEL: 415.457.7801 FAX: 415.457.7888

ALTMAN RESIDENCE

67 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

Project No.:	20.13		
Drawn By:	MH		
Checked By:	RK		
Issued Date:	8/31/2021		
Revision		No.	Date

PLANCHECK COMMENTS /1 3/28/2022

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Sheet Title:

EXISTING PHOTOS OF SITE

Scale: AS NOTED

Sheet No: A6.0





(1) EXISTING EMPTY SITE

PROPOSED STRUCTURE ON SITE

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 949

TEL: 415.457.7801 FAX: 415.457.78

ALTMAN RESIDENCE

67 TAMALPAIS RD. FAIRFAX, CA 94930



AP #: 001-123-03

Project No.:	20.13		
Drawn By:	MH		
Checked By:	RK		
Issued Date:	8/31/2021		
Revision		No.	Date
PLANCHECK	COMMENTS	$\bigwedge$ 1	3/28/2022
PLANCHECK	COMMENTS	2	8/11/2022
PLANCHECK	COMMENTS	3	12/19/2022
ADDITIONAL	RENDERING	4	1/17/2023
1			

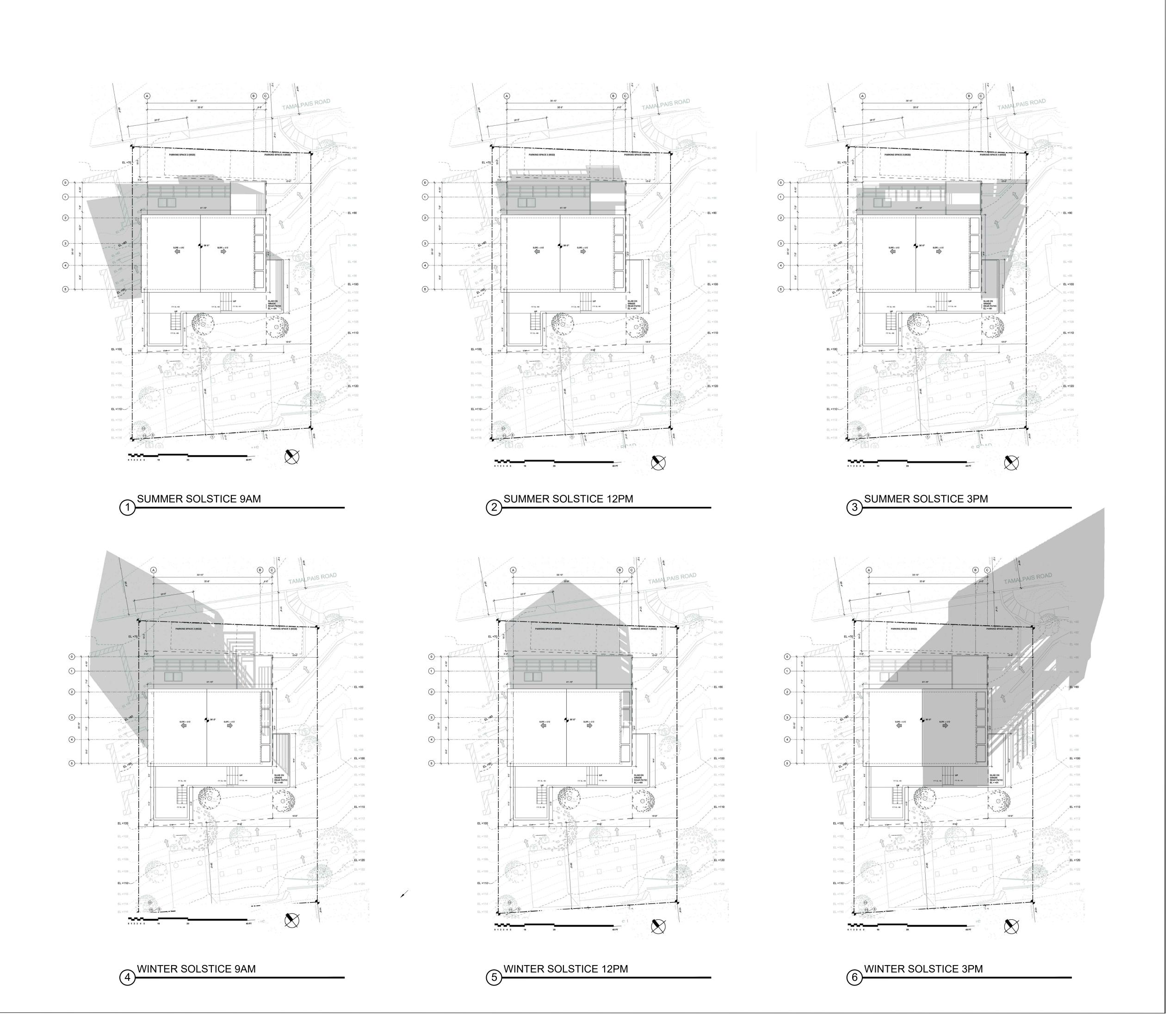
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Sheet Title:

PROPOSED STRUCTURE ON SITE

Scale: AS NOTED

. A7.0



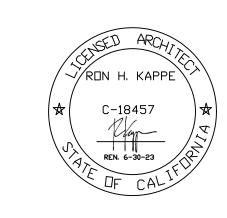
**KAPPE** ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901

TEL: 415.457.7801 FAX: 415.457.7885

ALTMAN RESIDENCE

67 TAMALPAIS RD. FAIRFAX, CA 94930



AP#: 001-123-03

Project No.:	20.13
Drawn By:	MH/GC
Checked By:	RK
Issued Date:	8/31/2021

PLANCHECK COMMENTS /1 3/28/2022

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Sheet Title:

PROPOSED
SOLAR & SHADE STUDY

Scale: AS NOTED

Sheet No: A8.0



Dimensions:

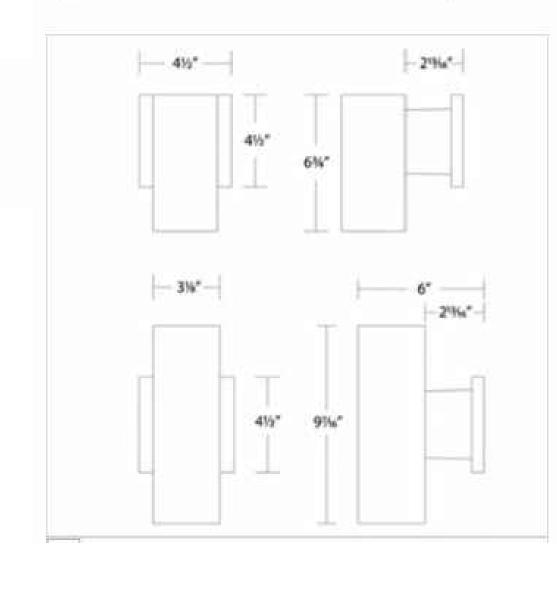
Small Option Backplate: Width 4.25", Height 4.25"
Small Option Fixture: Width 4.5", Height 6.75", Depth 6"

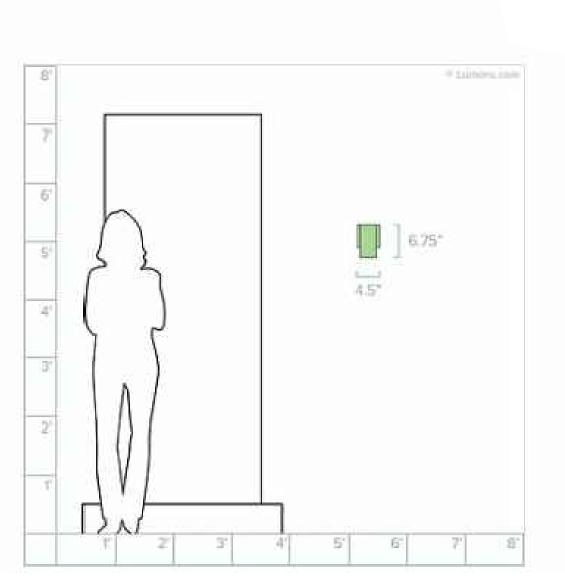
WAC Lighting, founded in 1984, has developed a strong reputation for high quality decorative and task lighting. Based in Garden City, New York, WAC Lighting is a leading manufacturer of low voltage, line voltage and LED lighting, including track systems, transformers, lamps, cabinet lighting and recessed downlights.

#### Details:

- Dimmer Not Included
- Lighting Style: Downlight
- Designed in 2020
- Material: Die-cast aluminium
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100-5%
- ADA compliant, Title 24 compliant
- Installation Type: Hardwired
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

#### Cylinder LED Outdoor Wall Sconce Diagram





**KAPPE** ARCHITECTS
801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

**ALTMAN RESIDENCE** 

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Revision		No.	Date
PLANCHECK	COMMENTS	/1\	3/28/202
	COMMENTS	$\triangle$	8/1/2022

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Sheet Title:

SPECIFICATIONS

Scale: AS NOTED

Sheet No: A8.1