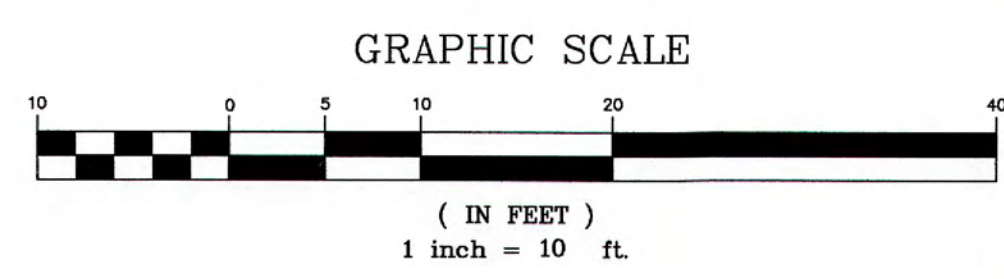


LEGEND

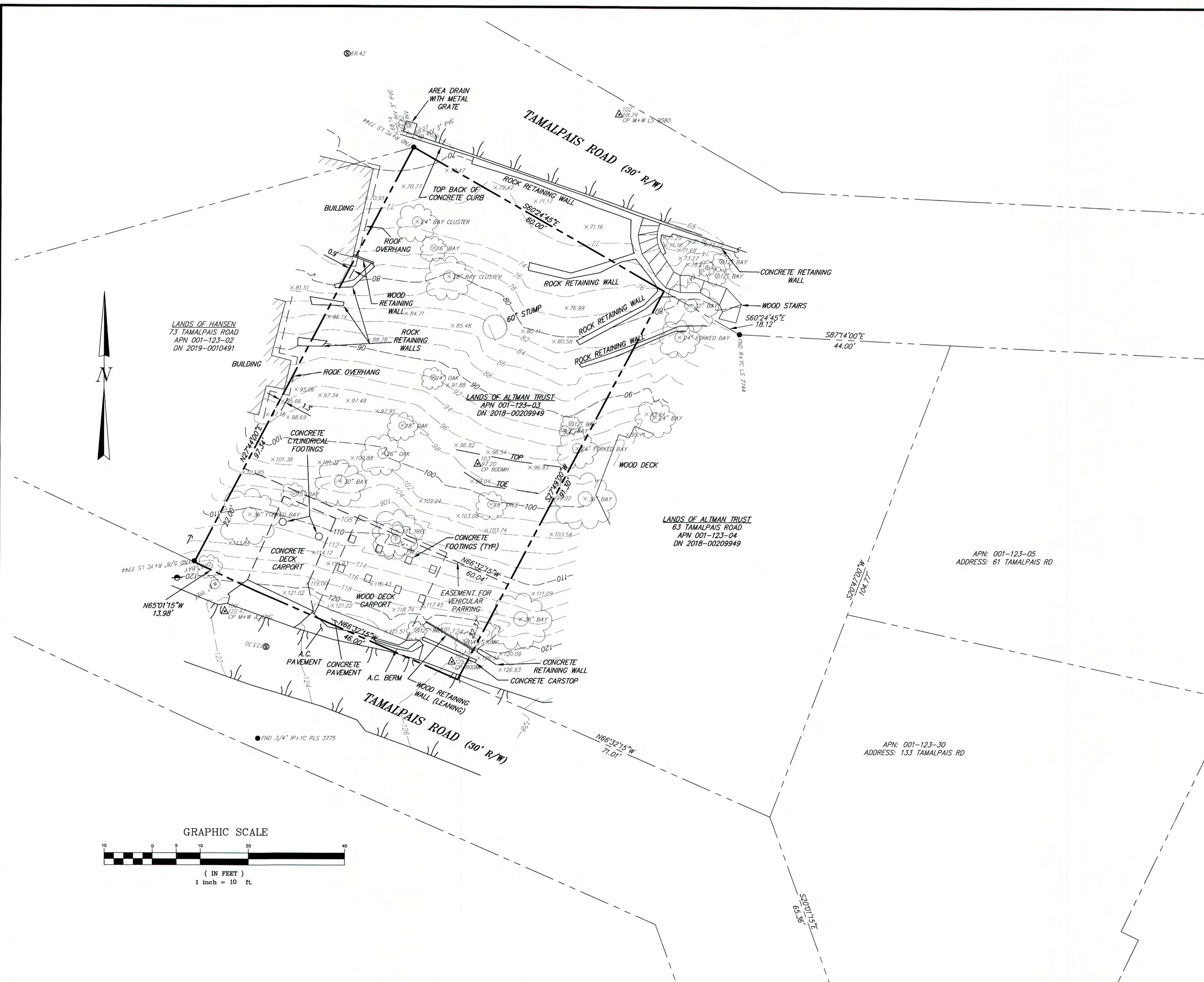
| | |
|--|---------------------------|
| | RANDOM CONTROL FOR SURVEY |
| | RANDOM CONTROL FOR SURVEY |
| | EXISTING GUY ANCHOR |
| | EXISTING JOINT POLE |
| | SANITARY SEWER MANHOLE |
| | ASPHALT CONCRETE |
| | EXISTING TREE |
| | EXISTING CONTOURS |
| | PROPERTY LINE |
| | ADJACENT PROPERTY LINE |
| | EXISTING EDGE OF PAVEMENT |

- NOTES**
- VERTICAL DATUM IS ASSUMED.
 - HORIZONTAL DATUM IS BASED UPON FIELD SURVEY AND RECORD DATA PER 03 RS 248.
 - CONTOUR INTERVAL IS 2'.



X-REFS:

N:\P\2021\96001.dwg 1/18/2022 8:16:02 AM HP-12301.pcs ILS Associates, Inc. .jpg
 W: 1/18/2022 8:16:02 AM HP-12301.pcs ILS Associates, Inc. .jpg
 Title: Mar 18, 2022 - 08:16am Legitt Scott Dimscale: 10



A.P.N.: 001-123-03
 FIELD BOOK NO.: 286
 96001.dwg

| | | |
|------------------------|--|----------------------------------|
| | ILS ASSOCIATES, INC. CIVIL ENGINEERING AND LAND SURVEYING 79 GALLI DRIVE, SUITE A NOVATO, CA 94949-5717 (415)883-9200 FAX (415)883-2763 | |
| | STEPHEN ALTMAN 63 TAMALPAIS ROAD FAIRFAX CALIFORNIA | DRAWN: J.P.G. DATE: 3/18/2022 |
| TOPOGRAPHIC MAP | | C1.0 |

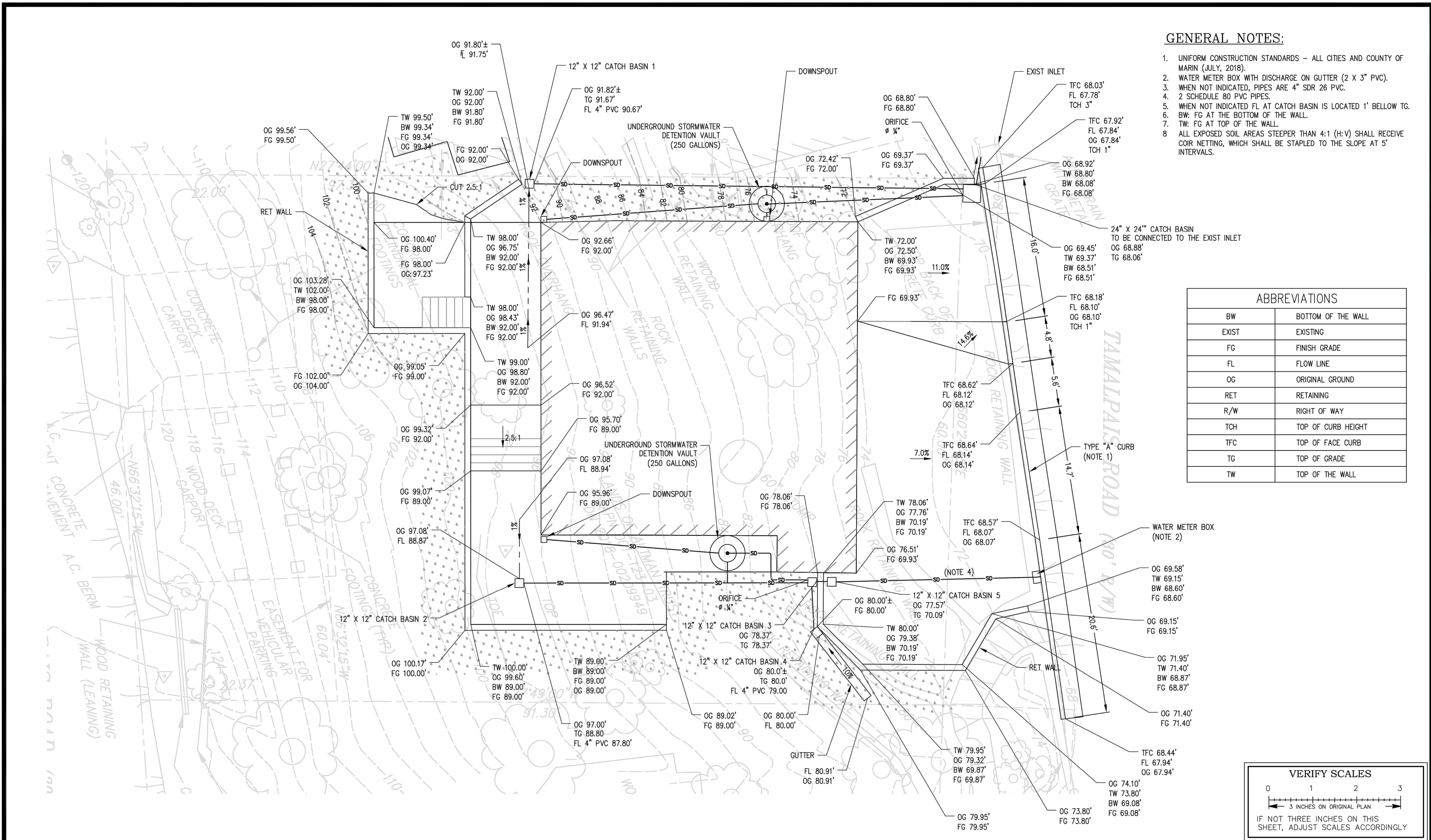
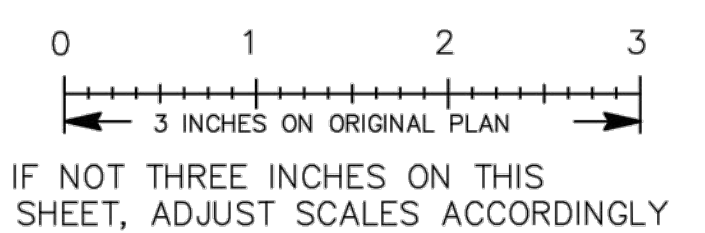
GENERAL NOTES:

1. UNIFORM CONSTRUCTION STANDARDS – ALL CITIES AND COUNTY OF MARIN (JULY, 2018).
2. WATER METER BOX WITH DISCHARGE ON GUTTER (2 X 3" PVC).
3. WHEN NOT INDICATED, PIPES ARE 4" SDR 26 PVC.
4. 2 SCHEDULE 80 PVC PIPES.
5. WHEN NOT INDICATED FL AT CATCH BASIN IS LOCATED 1' BELOW TG.
6. BW: FG AT THE BOTTOM OF THE WALL.
7. TW: FG AT TOP OF THE WALL.
8. ALL EXPOSED SOIL AREAS STEEPER THAN 4:1 (H:V) SHALL RECEIVE COIR NETTING, WHICH SHALL BE STAPLED TO THE SLOPE AT 5' INTERVALS.

ABBREVIATIONS

| | |
|-------|--------------------|
| BW | BOTTOM OF THE WALL |
| EXIST | EXISTING |
| FG | FINISH GRADE |
| FL | FLOW LINE |
| OG | ORIGINAL GROUND |
| RET | RETAINING |
| R/W | RIGHT OF WAY |
| TCH | TOP OF CURB HEIGHT |
| TFC | TOP OF FACE CURB |
| TG | TOP OF GRADE |
| TW | TOP OF THE WALL |

VERIFY SCALES



| NUMBER | DATE | BY | REVISION |
|--------|------|----|----------|
| | | | |
| | | | |
| | | | |

SCALE: _____
 DATE: 07/20/2022
 DESIGNED BY: RTH
 DRAWN BY: ESM
 CHECKED BY: RTH

HEI HARRISON ENGINEERING INC.
 1987 BONIFACIO STREET • CONCORD, CA 94520
 PHONE (925) 691-0450

DRAFT

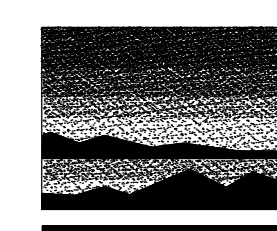
TOWN OF FAIRFAX
 142 BOLINAS ROAD, FAIRFAX, CA 94930
 PHONE: (415) 456-5652

H&H STUDY
 ALTMAN RESIDENCE
 GRADING AND DRAINAGE PLAN
 Sheet No: **C2.0**

ALTMAN RESIDENCE

67 TAMALPAIS RD.
FAIRFAX, CA 94930

22-32



MTW group
LANDSCAPE ARCHITECTURE
AND PLANNING
2707 K Street, Suite 201
Sacramento, CA 95816
916-369-3990



AP #: 001-123-03

| | |
|--------------|----------|
| Project No.: | 20.13 |
| Drawn By: | SL |
| Checked By: | PL |
| Issued Date: | 8/9/22 |
| Revision | No. Date |

PLANCHECK COMMENTS 3/28/2022

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Sheet Title:
SHRUB PLANTING PLAN

Scale: AS NOTED

L1.1

Sheet No:

| KEY | LANDSCAPE LEGEND |
|-----|--|
| | EXISTING TREE TO REMAIN |
| | TREE - NOT ALL SYMBOLS SHOWN |
| | SHRUBS |
| | VINE TRAIN TO TRELIS. SEE ARCHITECTURAL PLANS. |
| | PLANT QUANTITY |
| | PLANT KEY |

PLANT MATERIAL LIST

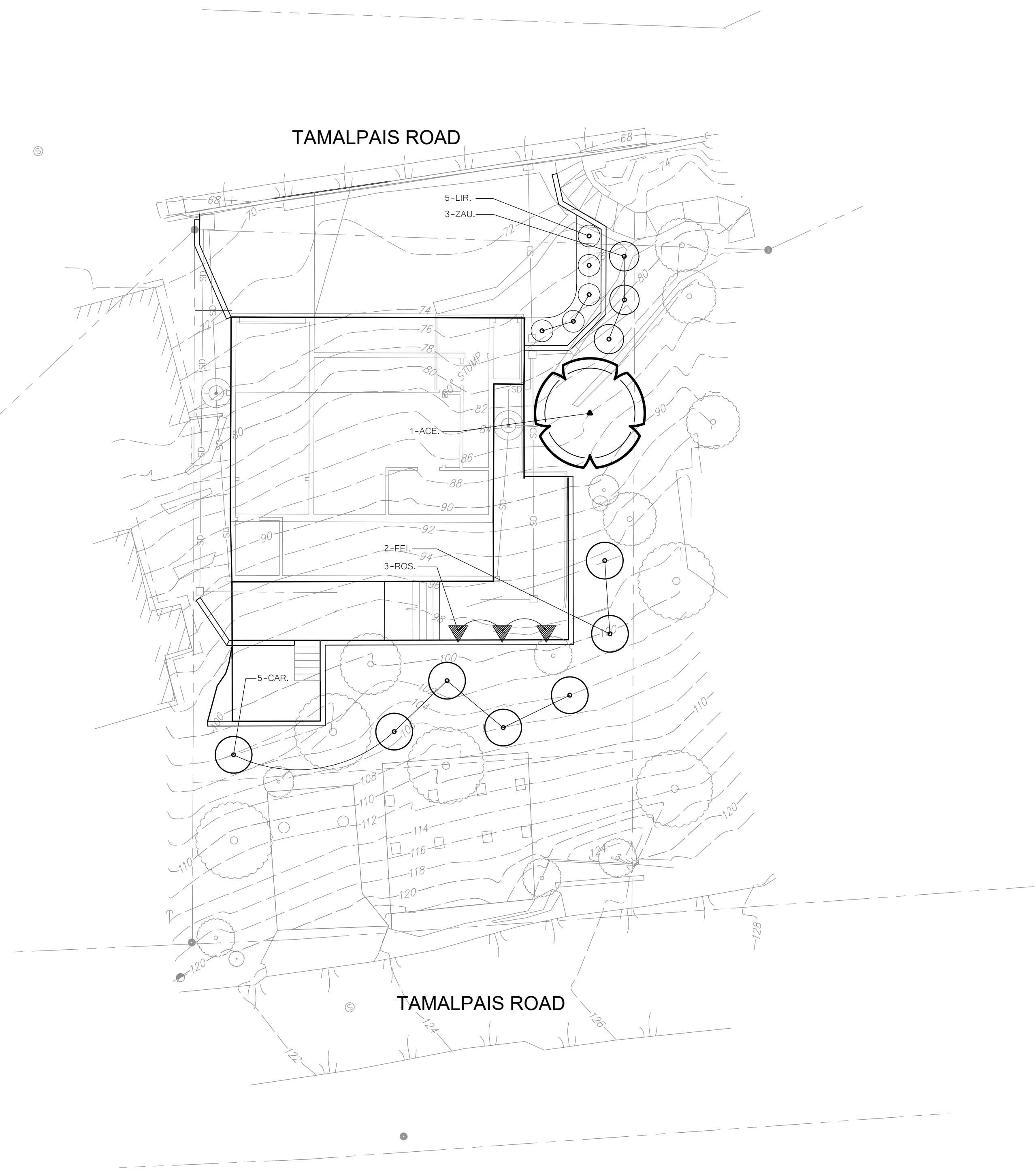
| WATER USE | SIZE | QUANTITY | KEY | BOTANICAL NAME ... COMMON NAME |
|-----------|---------|----------|------|--|
| TREE: | | | | |
| LOW | 15 G.C. | 1 | ACE. | ACER PALMATUM 'BLOODGOOD' ... BLOODGOOD JAPANESE MAPLE |
| SHRUB: | | | | |
| LOW | 5 G.C. | 5 | CAR. | CARPENTERIA CALIFORNICA ... BUSH ANEMONE |
| LOW | 5 G.C. | 2 | FEL. | FELICIA SELLOWIANA ... PINEAPPLE GUAVA |
| LOW | 5 G.C. | 5 | LIR. | LIRIOPE GIGANTEA ... GIANT TURF LILY |
| LOW | 5 G.C. | 3 | ZAU. | ZAUSCHNERIA CALIFORNICA ... CALIFORNIA FUCHSIA |
| VINE: | | | | |
| LOW | 1 G.C. | 3 | ROS. | ROSA BANKSIAE ... LADY BANKS' ROSE |

LANDSCAPE NOTES:

- ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
- SEE SOIL TESTING NOTES FOR SOIL AMENDMENT AND FERTILIZER RATES.
- CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE PROJECT APPLICANT, LANDSCAPE ARCHITECT, AND LANDSCAPE CONTRACTOR UPON COMPLETION OF THE PROJECT. ALL THREE PARTIES TO FILL OUT THE REQUIRED FORM ON PAGE 10 OF THE MARIN WATER LANDSCAPE PLAN REVIEW PACKET.
- IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND OTHER FACTORS NECESSARY FOR ACCURATE PROGRAMMING.

SOIL TESTING NOTES:

- COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNER'S REPRESENTATIVE. SAMPLES LOCATIONS TO BE IDENTIFIED ON PLAN.
- EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
- AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GRO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH NITROGEN, 1/2-0-0. (MINIMUM RATE OF 4 CY PER 1000 SF.)
- ONLY ONE TEST SAMPLE IS REQUIRED FOR ALL PRODUCTION HOMES. SOIL TEST RESULTS FROM THE MODEL HOMES MAY BE USED FOR THE PRODUCTION HOMES.

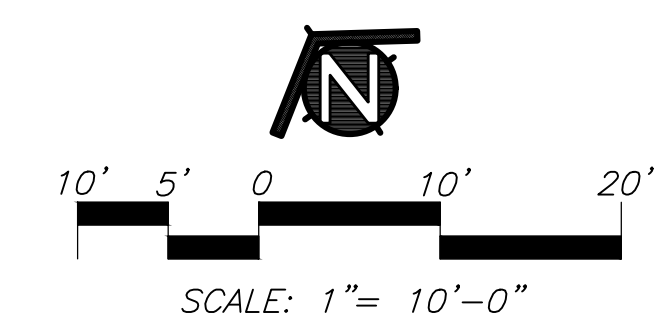


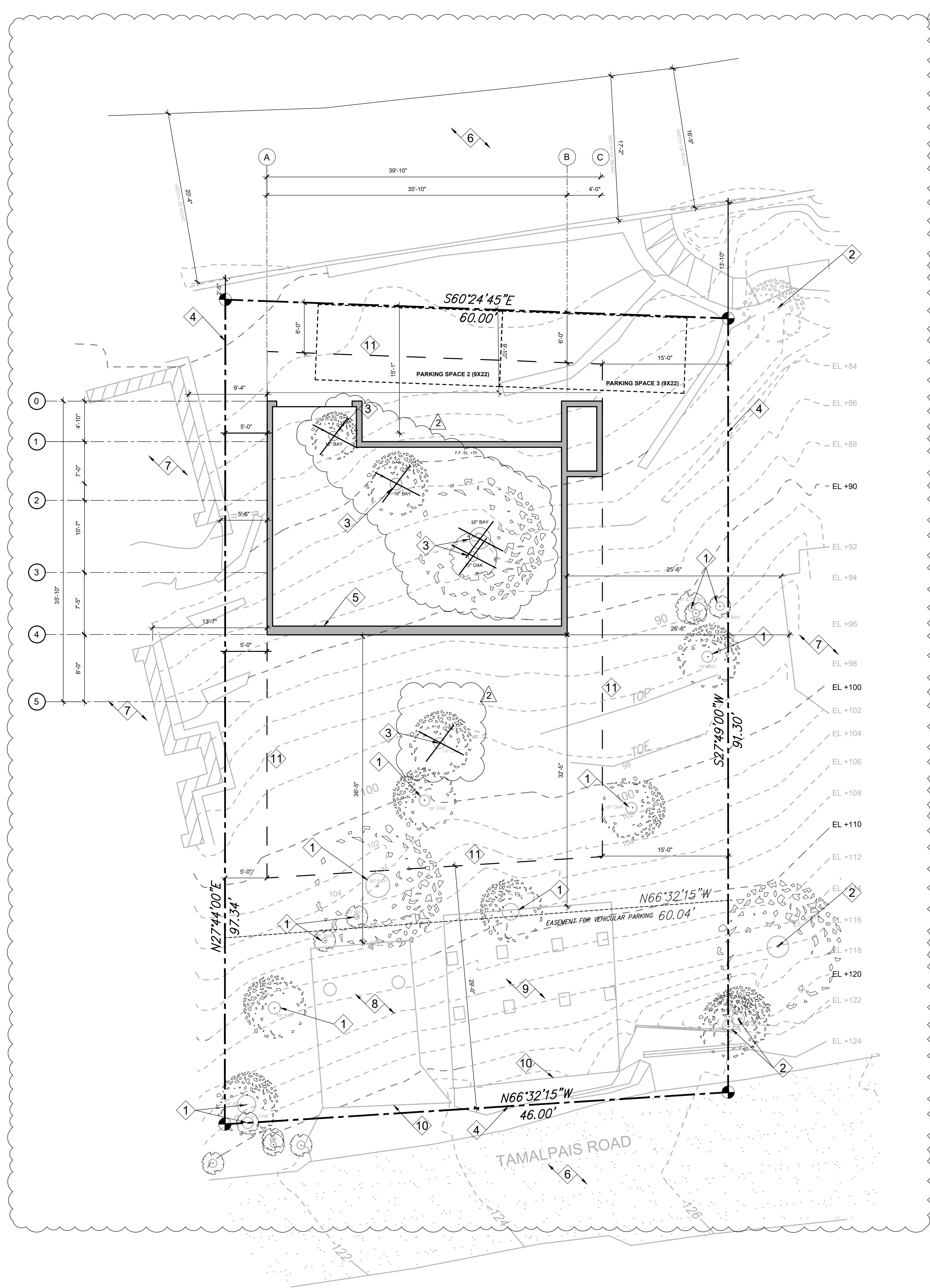
NOTE: IRRIGATION WILL BE POINT SOURCE DRIP.

I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM FOR EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

LANDSCAPE ARCHITECT

8/9/22
DATE





1 EXISTING SITE WITH BUILDING FOOTPRINT
1/8" = 1'-0"

KEY NOTES

- 1 EXISTING TREE TO REMAIN
- 2 EXISTING TREE TO REMAIN (OUTSIDE OF PROPERTY)
- 3 EXISTING TREE FOR REMOVAL
- 4 PROPERTY LINE
- 5 PROPOSED BUILDING FOOTPRINT
- 6 ASPHALT ROADWAY
- 7 NEIGHBORING STRUCTURE
- 8 EXISTING WOOD PARKING DECK, CONTOURS BENEATH DECK
- 9 EXISTING CONCRETE PARKING DECK, CONTOURS BENEATH DECK
- 10 EXISTING CONCRETE WALL LINE
- 11 SETBACK LINE

GENERAL NOTES

TREES LISTED AS "BAY" ARE CALIFORNIA BAY LAUREL *Umbellularia californica* UNLESS OTHERWISE NOTED

TREES LISTED AS "OAK" ARE COAST LIVE OAK *Quercus agrifolia* UNLESS OTHERWISE NOTED

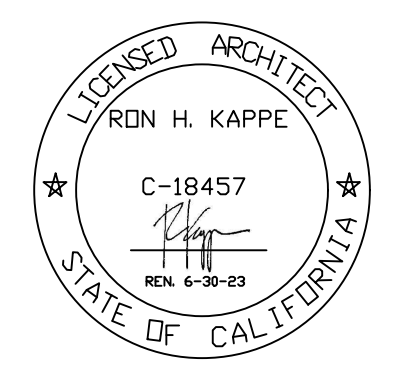
*** PLEASE SEE CIVIL DRAWINGS FOR RETAINING WALL HEIGHTS

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

ALTMAN RESIDENCE

67 TAMALPAIS RD.
FAIRFAX, CA 94930



AP #: 001-123-03

| | |
|--------------|-----------|
| Project No.: | 20.13 |
| Drawn By: | MH/GRC |
| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |

| | | |
|--------------------|---|-----------|
| PLANCHECK COMMENTS | 1 | 3/28/2022 |
| PLANCHECK COMMENTS | 2 | 8/11/2022 |

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Sheet Title:
EXISTING SITE WITH PROPOSED BUILDING FOOTPRINT

Scale: AS NOTED

Sheet No: **A1.0**

GRADING CALCULATIONS FOR CUT EARTH

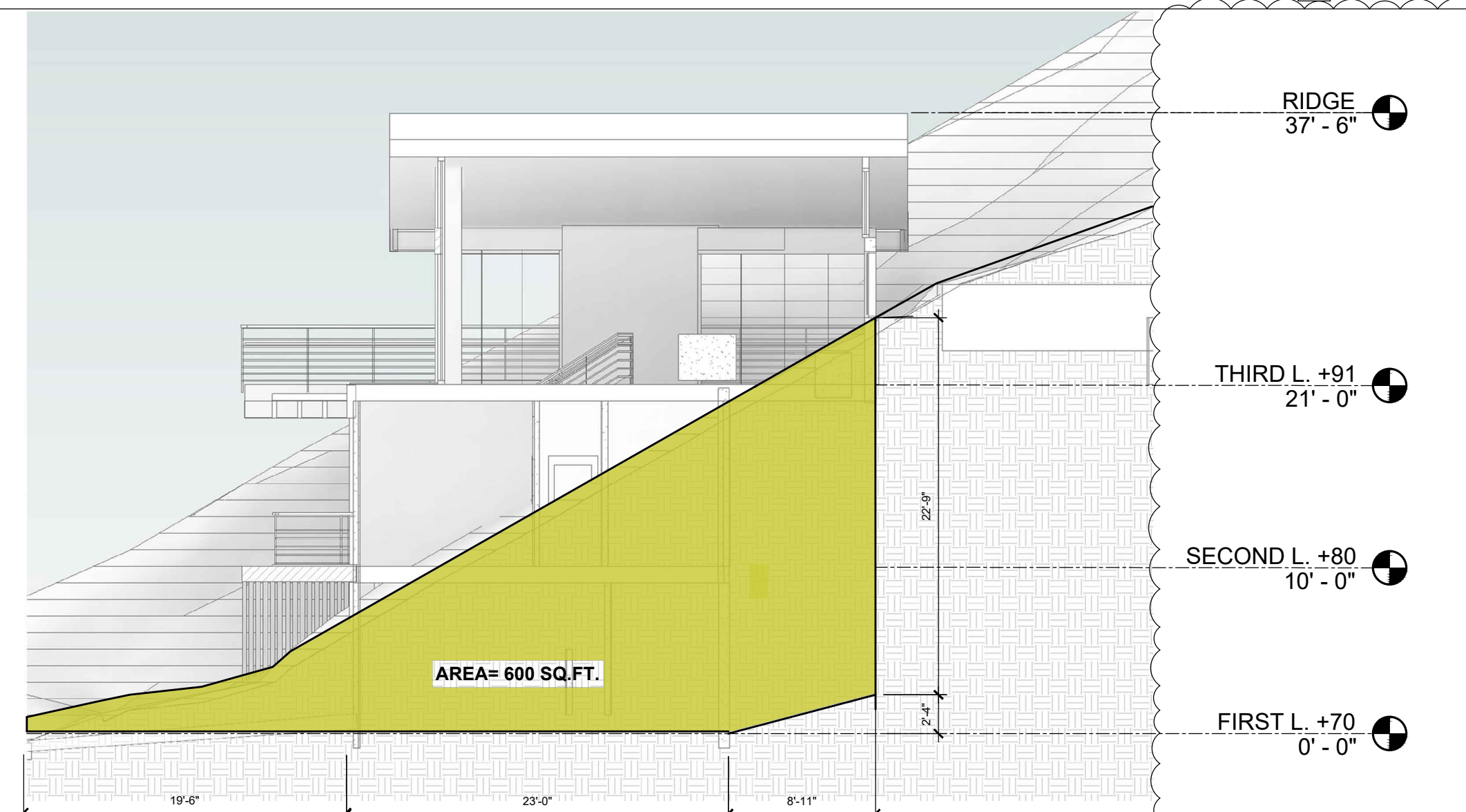
SECTION 1 = 505 SQ.FT. X 7 = 3,535 CU.FT.
 SECTION 2 = 600 SQ.FT. X 7 = 4,200 CU.FT.
 SECTION 3 = 585 SQ.FT. X 7 = 4,095 CU.FT.
 SECTION 4 = 570 SQ.FT. X 14 = 7,980 CU.FT.

REAR LANDSCAPING = 1,000 CU.FT.
 TRENCHING = 2,600 CU.FT.

TOTAL = 23,410 CU.FT. = 867 CUBIC YARDS



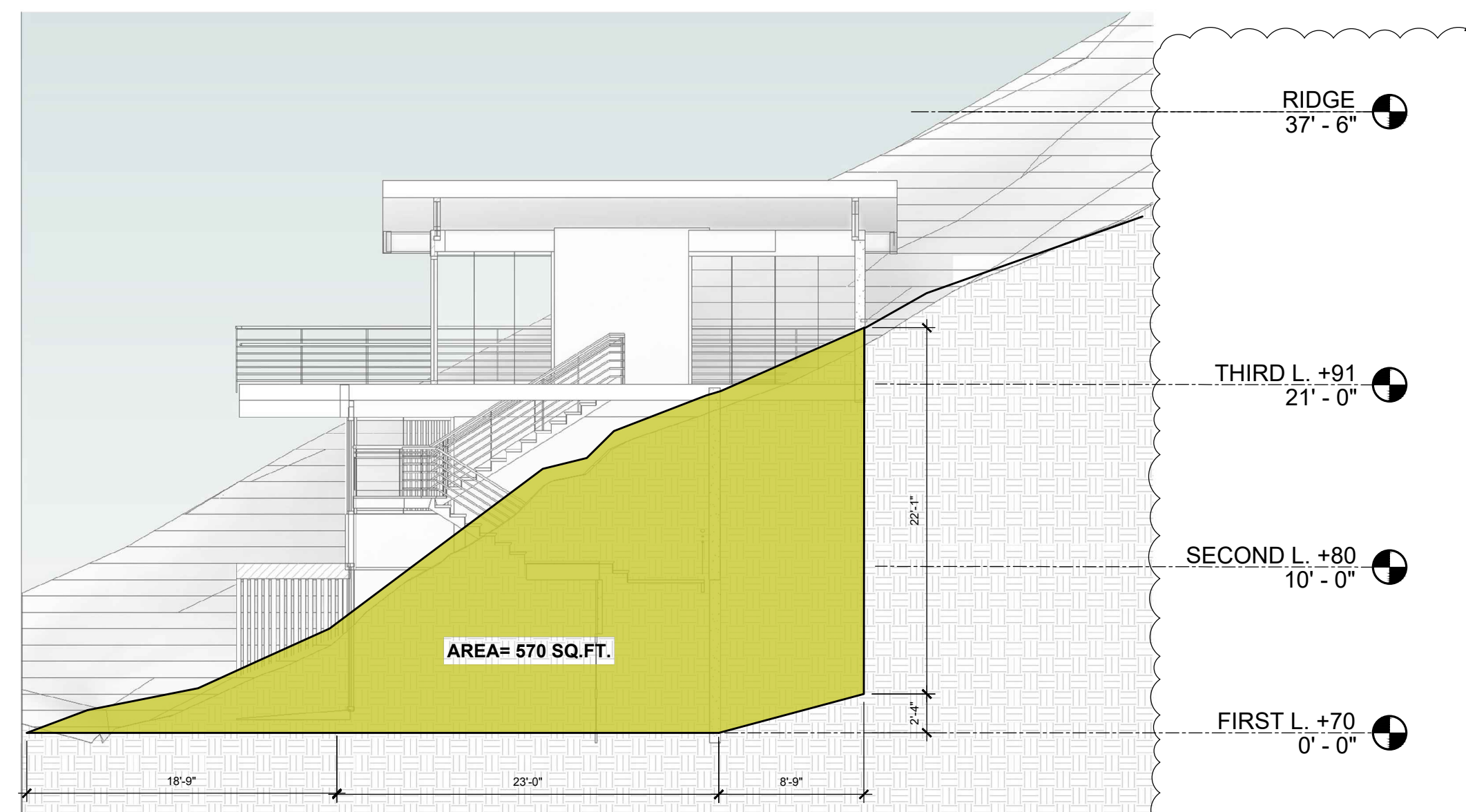
SECTION 1



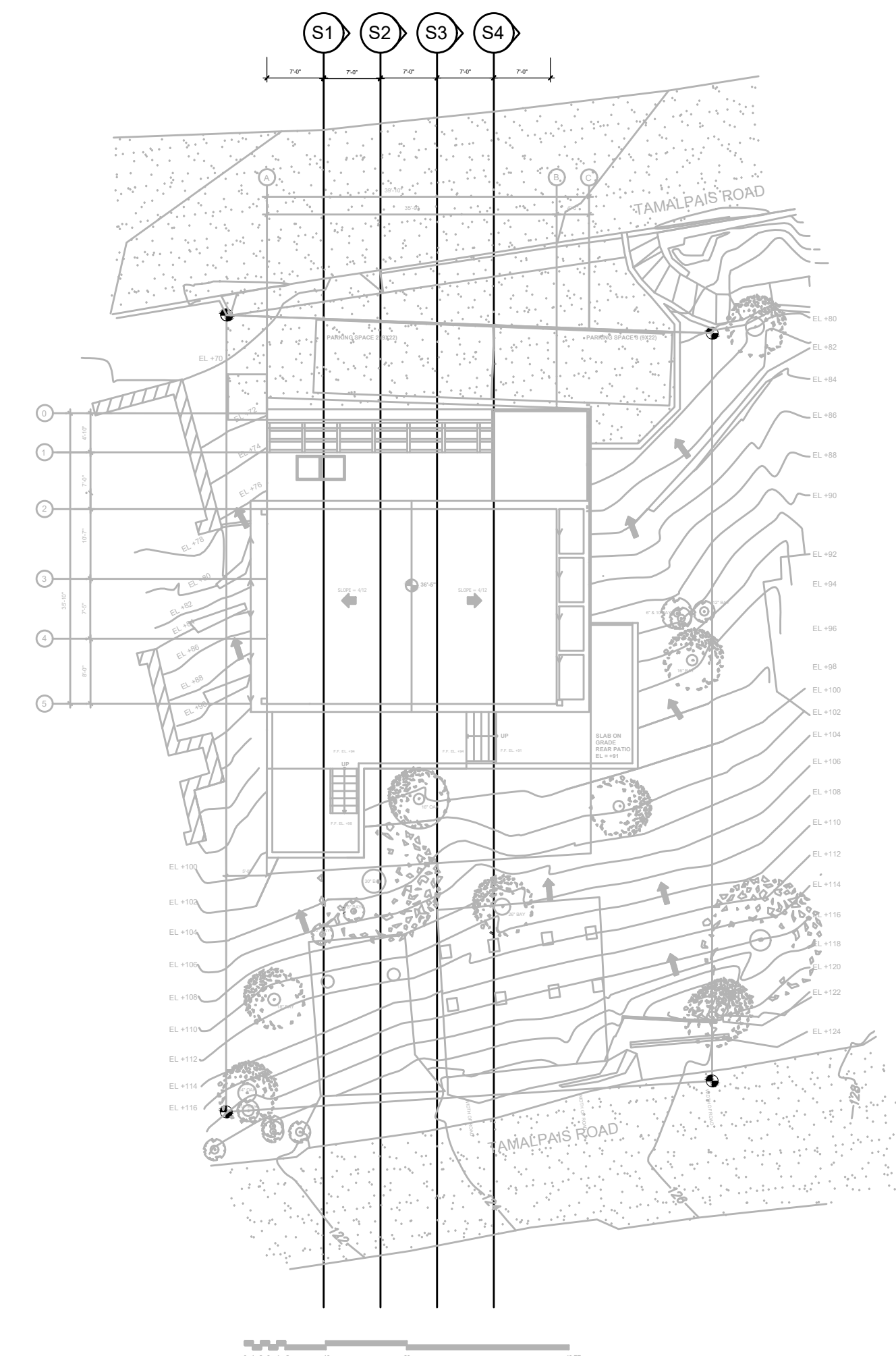
SECTION 2



SECTION 3



SECTION 4



2 FLOOR PLAN LEGEND FOR SECTION CUTS
 1/16" = 1'-0"

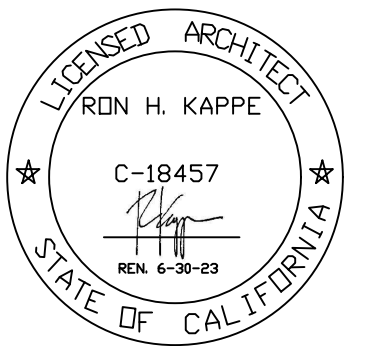
1 GRADING SECTION CUTS
 1/8" = 1'-0"

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901
 TEL: 415.457.7801 FAX: 415.457.7885

ALTMAN RESIDENCE

67 TAMALPAIS RD.
 FAIRFAX, CA 94930



AP #: 001-123-03

Project No.: 20.13
 Drawn By: MH
 Checked By: RK
 Issued Date: 8/31/2021

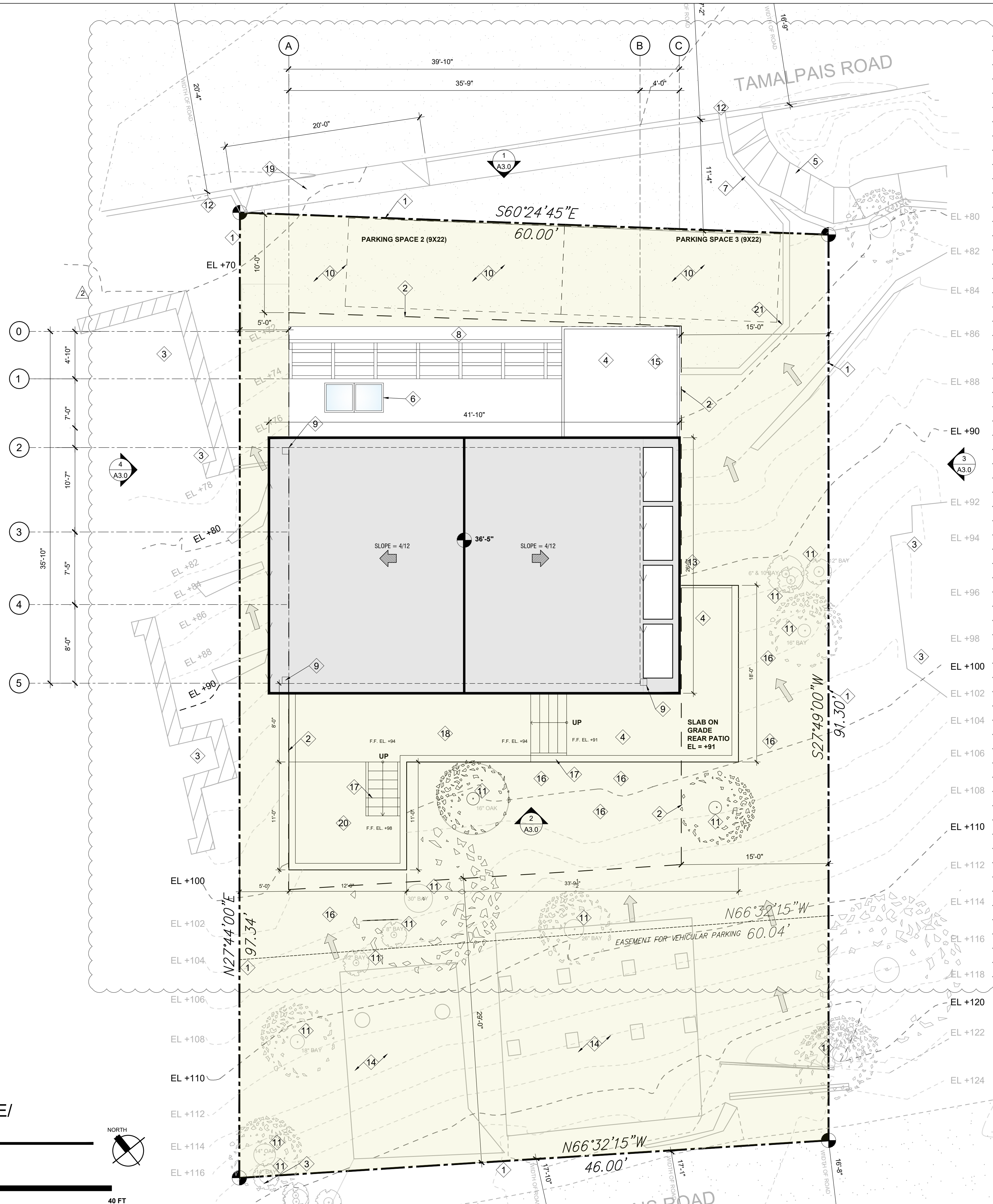
Revision No. Date
 PLANCHECK COMMENTS 1 3/28/2022
 PLANCHECK COMMENTS 2 7/22/2022

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Sheet Title:
 SECTIONS OF (E) TOPOGRAPHY
 & GRADING CALCULATIONS

Scale: AS NOTED

Sheet No: **A1.1**



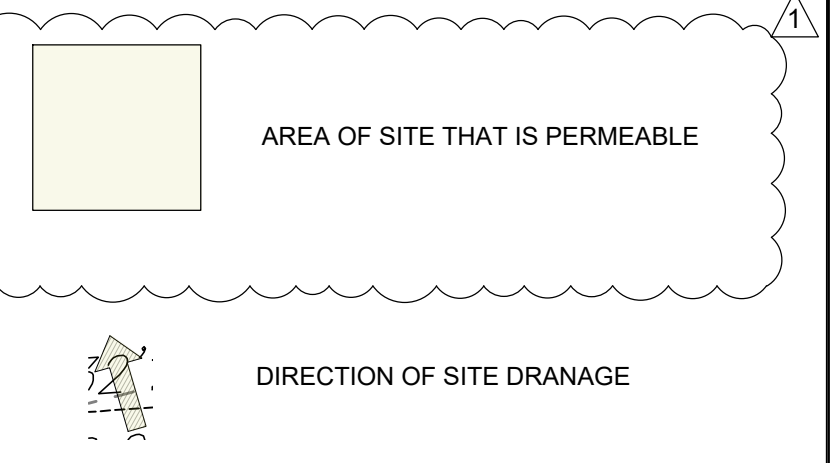
KEY NOTES

- 1 PROPERTY LINE
- 2 SETBACK LINES
- 3 NEIGHBOR
- 4 WD. DECK, TYP.
- 5 EXISTING WOOD TIE STEPS
- 6 SKYLIGHTS
- 7 EXISTING ROCK WALL
- 8 TRELIS BELOW
- 9 DOWNSPOUT LOCATION
- 10 PERMEABLE PAVERS, TYP.
- 11 EXISTING TREE
- 12 LINE INDICATES CURB
- 13 DISSIPATION PIT BELOW REAR PATIO
- 14 NON-PERMEABLE EXISTING PARKING DECK SURFACES ABOVE
- 15 TRASH ENCLOSURE BELOW DECK (GROUND LEVEL)
- 16 PROPOSED PLANTING AREA
- 17 WD. STAIRS, TYP.
- 18 WD. DECK OVER DRAINAGE INLET BELOW
- 19 DRIVEWAY APRON
- 20 DECOMPOSED GRANITE WITH METAL EDGING (D.G.)
- 21 CONCRETE RETAINING WALL, TYP.

SQUARE FOOTAGE SUMMARY TABLE

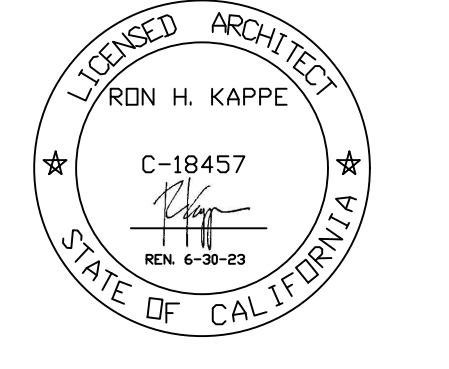
| | |
|--|--------------------------|
| LOT AREA | = 5,718 SQ.FT. |
| TOTAL LIVING AREA | = 2,269 SQ.FT. |
| ALLOWABLE FAR | = 40% |
| PROPOSED FAR | = 39.6% |
| ALLOWABLE LOT COVERAGE | = 35% |
| PROPOSED LOT COVERAGE | = 27% (1540 SQ.FT.) |
| <i>NOTE: AREA OF SITE THAT IS SHADED IN GREEN IS PERMEABLE ***</i> | |
| PARKING | = 1 COVERED, 2 UNCOVERED |

LEGEND



KAPPE ARCHITECTS
 801 'D' STREET SAN RAFAEL, CA 94901
 TEL: 415.457.7801 FAX: 415.457.7885

ALTMAN RESIDENCE
 67 TAMALPAIS RD.
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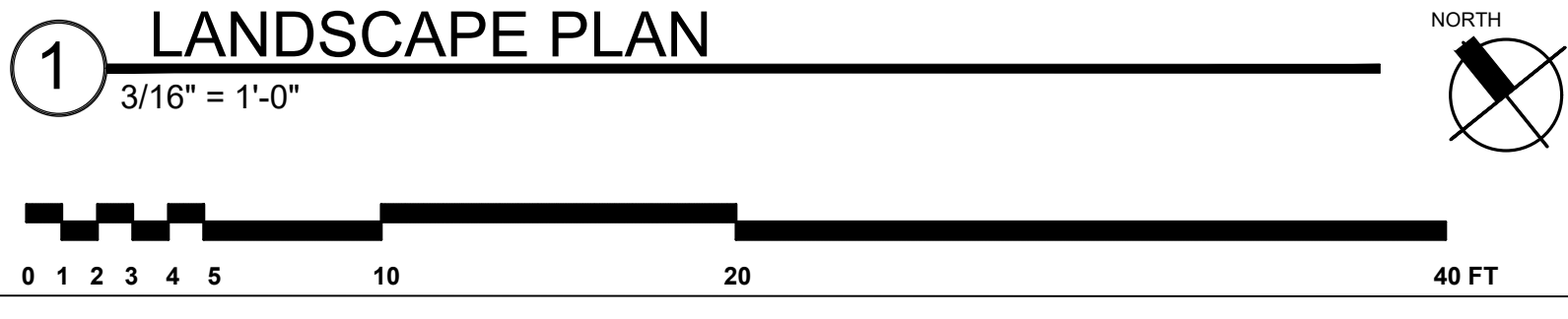
AP #: 001-123-03

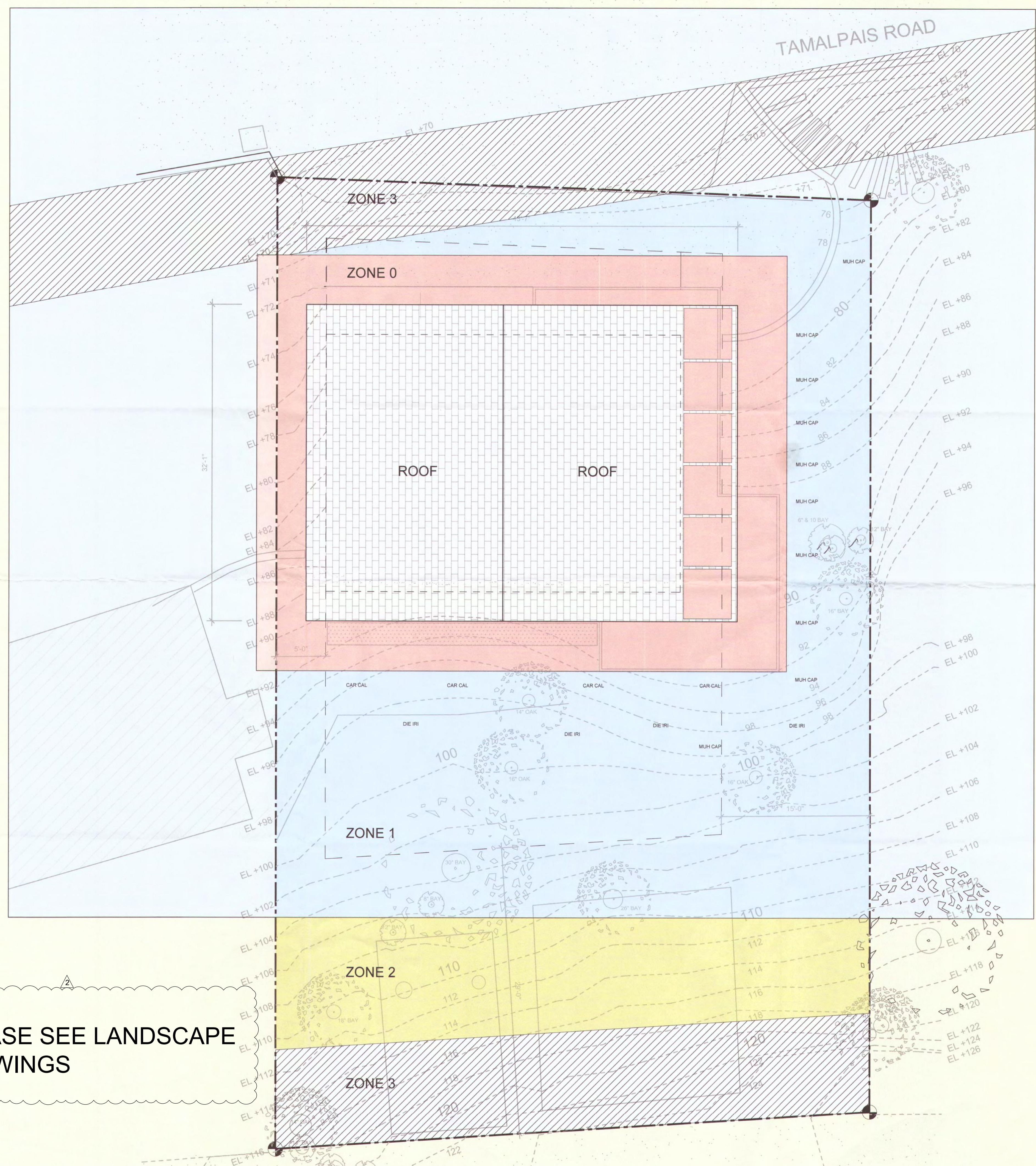
| | |
|---------------------|--------------|
| Project No.: | 20.13 |
| Drawn By: | MH/GC |
| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |
| PLANCHHECK COMMENTS | 1/ 3/28/2022 |
| LANDSCAPE EDIT | 7/19/2022 |

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Sheet Title:
**PROPOSED ROOF/
 DRAINAGE/ LANDSCAPE PLAN**
 Scale: AS NOTED
 Sheet No: **A2.0**

**PROPOSED ROOF/ DRAINAGE/
 LANDSCAPE PLAN**





HAZARD ZONES

- IMMEDIATE ZONE (ZONE 0): 0'-5'**
 - REMOVE ANY COMBUSTIBLE OUTDOOR FURNITURE
 - REPLACE JUTE OR FIBER DOOR MATS WITH FIRE RESISTANT MATERIALS
 - REMOVE OR RELOCATE ALL COMBUSTIBLE MATERIALS, INCLUDING GARAGE AND RECYCLING CONTAINERS, LUMBER, TRASH AND PATIO ACCESSORIES.
 - CLEAN ALL FALLEN LEAVES AND NEEDLES REGULARLY. REPEAT OFTEN DURING FIRE SEASON.
 - NO VEGETATION IS RECOMMENDED WITHIN 5'-0" OF STRUCTURES.
 - REMOVE TREE LIMBS THAT EXTEND INTO THIS ZONE. FIRE-PRONE TREE VARIETIES SHOULD BE REMOVED IF THEY EXTEND WITHIN 5'-0" OF STRUCTURES.
 - DO NOT STORE FIREWOOD, LUMBER, OR COMBUSTIBLES HERE, EVEN (ESPECIALLY) UNDER DECKS OR OVERHANGS. MOVE STORED COMBUSTIBLES INSIDE, OR AT LEAST 30'-0" AWAY FROM STRUCTURES.
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 3") MAY BE OK.
- INTERMEDIATE ZONE (ZONE 1): 5'-30'**
 - REMOVE ALL DEAD PLANTS, GRASS AND WEEDS (VEGETATION).
 - REMOVE DEAD OR DRY LEAVES AND PINE NEEDLES FROM YOUR YARD, ROOF AND RAIN GUTTERS.
 - TRIM TREES REGULARLY TO KEEP BRANCHES A MINIMUM OF 10'-0" FROM OTHER TREES.
 - REMOVE BRANCHES THAT HANG OVER YOUR ROOF AND KEEP DEAD BRANCHES 10'-0" AWAY FROM YOUR CHIMNEY.
 - REMOVE VEGETATION AND ITEMS THAT COULD CATCH FIRE FROM AROUND AND UNDER DECKS
 - REMOVE FIRE PRONE PLANTS, AND CHOOSE ONLY FIRE-RESISTANT VARIETIES. IRRIGATE REGULARLY.
 - REMOVE LIMBS TO A HEIGHT OF 10'-0" ABOVE THE GROUND (OR 1/3 THE HEIGHT OF THE TREE) TO PROVIDE CLEARANCE AND TO ELIMINATE A "FIRE LADDER".
 - USE ONLY INORGANIC, NON-COMBUSTIBLE MULCHES SUCH AS STONE OR GRAVEL. COMPOSTED MULCH AND LARGE BARK AND CHIPS (GREATER THAN 3") MAY BE OK.
- EXTENDED ZONE (ZONE 2): 30'-100'**
 - CUT OR MOW ANNUAL GRASS DOWN TO MAXIMUM HEIGHT OF 4 INCHES.
 - CREATE HORIZONTAL SPACING BETWEEN SHRUBS, TREES AND VERTICAL SPACING BETWEEN GRASS, SHRUBS AND TREES
 - REMOVE FALLEN LEAVES, NEEDLES, TWIGS, BARK, CONES AND SMALL BRANCHES. HOWEVER, THEY MAY BE PERMITTED TO A DEPTH OF 3 INCHES IF EROSION CONTROL IS AN ISSUE.
- ACCESS ZONE (ZONE 3): 0'-10'**
 - WITHIN THIS ZONE, PLANTINGS SHALL BE FIRE RESISTANT AND SHALL NOT EXTEND WITHIN THE 14'-0" VERTICAL.
 - CLEARANCE ABOVE THE SURFACE OF THE ROADWAY OR DRIVEWAY, AS REQUIRED FOR EMERGENCY ACCESS.
 - ALL LANDSCAPE SHALL MEET THE REQUIREMENTS FOR SEPARATION AS STATED IN THE ZONE 2 ABOVE.

VEGETATIVE PLAN NARRATIVE

- EXISTING CONDITIONS:**

THERE ARE CURRENTLY CALIFORNIA BAY LAUREL TREES AND COAST LIVE OAKS. 3 CALIFORNIA BAY LAUREL TREES WILL BE REMOVED AND ONE COAST LIVE OAK WILL BE REMOVED FOR CONSTRUCTION OF BUILDING FOUNDATION. ALL REMAINING TREES WILL BE PROPERLY MAINTAINED.
- PROPOSED SCOPE:**

THE INTENT OF THIS PLAN IS TO PROPERLY MAINTAIN THE EXISTING TREES WITH SELECTIVE PRUNING AND REMOVE ALL DEAD MATERIAL PER FIREWISE STANDARDS.
- FUTURE PLANTING:**

ANY FUTURE PLANTINGS THROUGH THE SITE WITH INCLUDE FIRE-RESISTANT, IRRIGATED SHRUBS, PERENNIALS, AND GROUND COVERS AS IN THE FIRESAFE MARIN PLANTING LISTS LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS.
- LONG TERM MAINTENANCE SCHEDULE AND SAFETY PRACTICES:**
 - A. ALL FIRE PRONE FUELS AND DEAD MATERIAL WILL BE REMOVED WITHIN 100' OF THE HOME
 - B. BRANCHES BENEATH LARGE TREES WILL BE REMOVED FOR A 6'-0" CLEARANCE
 - C. NEEDLES AND LEAVES AND OTHER COMBUSTIBLE DEBRIS AND LITTER SHALL BE REMOVED FROM ROOFS AND GUTTER AT MINIMUM TWICE A YEAR.
 - D. ALL WEEDS AND GRASSES SHALL BE CUT REGULARLY TO A HEIGHT OF 4" OR LESS.
 - E. VEGETATION SHALL BE TRIMMED TO WITHIN 10' HORIZONTALLY OF ROADWAYS, AND TREES SHALL BE TRIMMED AS NOT TO OVERHANG ROADWAYS AND PROVIDE 14'-0" OF CLEARANCE VERTICALLY.
 - F. ALL DEAD AND DYING VEGETATION SHALL BE REMOVED SEASONALLY TO REDUCE VEGETATION VOLUME AND LADDER FUELS.
 - G. COORDINATE WITH ADJACENT PROPERTY OWNERS TO MAINTAIN TREE CANOPIES, VEGETATION VOLUME AND LADDER FUELS.
 - H. NO NATIVE GRASSES SHALL BE PLANTED WITHIN HOME IGNITION ZONES 1 AND 2.
 - I. ALL PLANTED AREAS INSIDE HOME IGNITION ZONES 1 AND 2 SHALL BE IRRIGATED
 - J. ALL PLANTINGS SHALL BE SELECTED IN COORDINATION WITH THE FIRESAFE MARIN PLANTING LIST LOCATED AT WWW.FIRESAFEMARIN.ORG/PLANTS. OTHER FIRE RESISTANT PLANTS CAN BE UTILIZED WITH PRIOR APPROVAL OF THE FIRE CODE OFFICIAL.
 - K. REGARDLESS OF PLANT SELECTION, SHRUBS SHALL BE SPACED SO THAT NO CONTINUITY EXISTS BETWEEN GROUND FUELS AND TREE CROWNS, SUCH THAT A GROUND FIRE WILL NOT EXTEND INTO THE TREE CANOPY.

VEGETATIVE PLAN NARRATIVE

| SYMBOL | COMMON NAME | LATIN NAME | QTY | FIRE RESISTANT | (N) OR (E) | REMARKS |
|---------|-------------------------|--------------------------|-----|----------------|------------|--------------------|
| OAK | COAST LIVE OAK | QUERCUS AGRIFOLIA | 4 | YES, TREE | EXISTING | KEEP WELL HYDRATED |
| BAY | CALIFORNIA BAY LAUREL | UMBELLULARIA CALIFORNICA | 8 | YES, TREE | EXISTING | KEEP WELL HYDRATED |
| CAR CAL | BUSH ANEMONE | CARPHOTERIA CALIFORNICA | 4 | YES, SHRUB | NEW | IRRIGATED |
| DIE IRI | FORTNITE LILY | DIETESRIDODODES | 4 | YES, PERENNIAL | NEW | PRUNE |
| MUH CAP | MULLENBERGIA CAPILLARIS | PINK MULCH | 10 | YES, GRASS | NEW | IRRIGATED |

*** ALL EXISTING SHRUBS/GRASS IN RED AND BLUE ZONES WILL BE REMOVED

ROSS VALLEY FIRE DEPT
 Approved
 Approved with Conditions
 Not Approved - need revision
 Incomplete
 Date: 9/12/21

1 VEGETATION MAGEMENT PLAN
 3/16" = 1'-0"

KAPPE ARCHITECTS
 801 'D' STREET SAN RAFAEL, CA 94901
 TEL: 415-457-7801 FAX: 415-457-7885

ALTMAN RESIDENCE

67 TAMALPAIS RD.
 FAIRFAX, CA 94930



AP #: 001-123-03

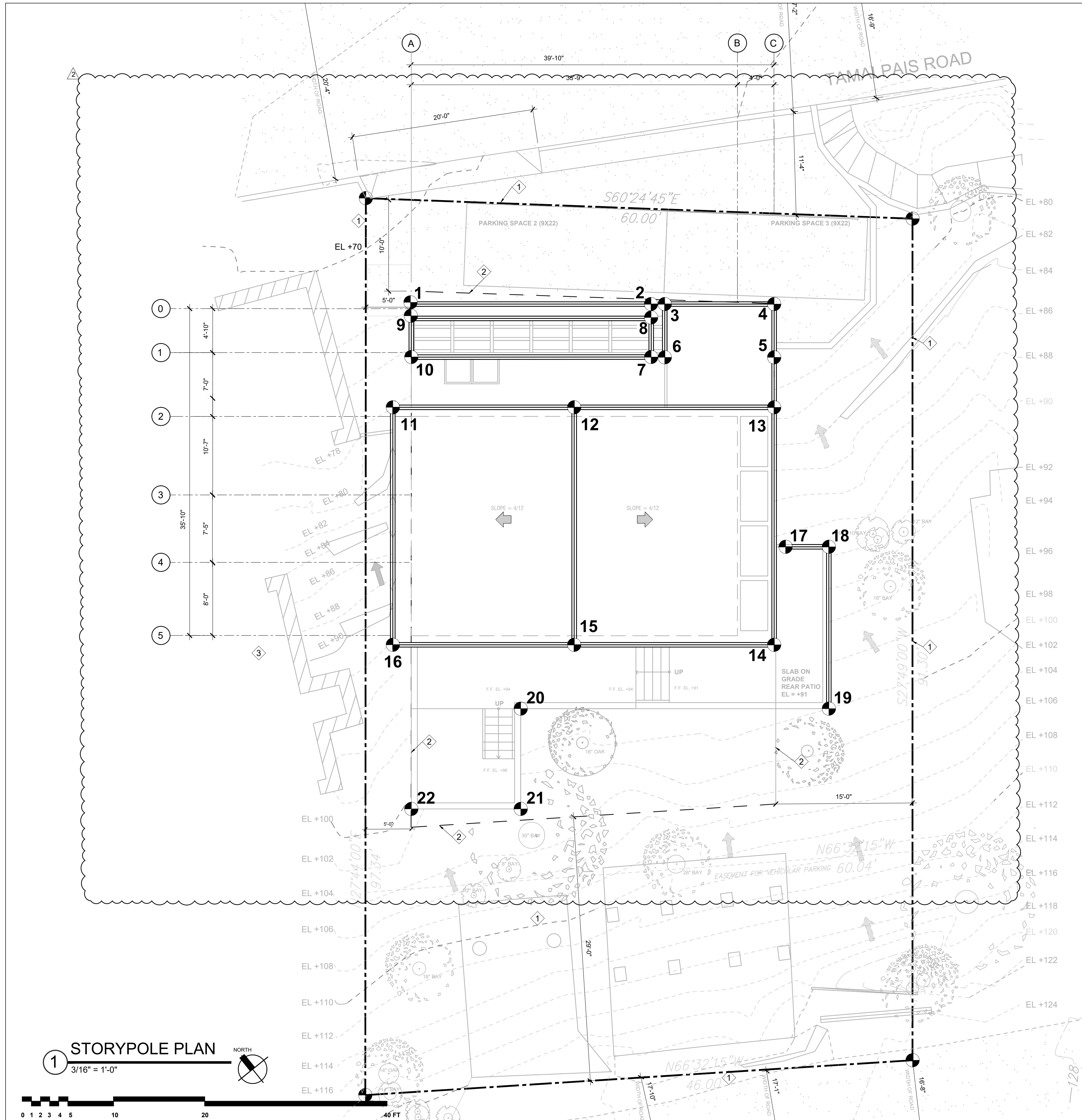
| | |
|--------------------|-------------|
| Project No.: | 20.13 |
| Drawn By: | MH |
| Checked By: | RK |
| Issued Date: | 9/7/2021 |
| Revision | No. Date |
| PLANCHECK COMMENTS | 1 3/28/2022 |
| PLANCHECK COMMENTS | 2 8/8/2022 |

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Sheet Title:
VEGETATION MANAGEMENT PLAN
 Scale: AS NOTED

Sheet No: **A2.0.1**

PLEASE SEE LANDSCAPE DRAWINGS



KEY NOTES

- ① PROPERTY LINE
- ② SETBACK LINES
- ③ NEIGHBOR

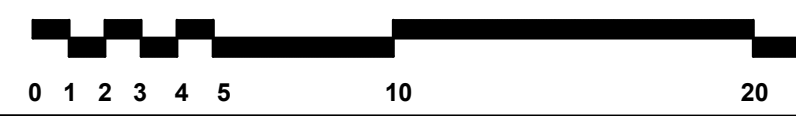
LEGEND

- LOCATION OF STORY POLES
- ▬ RIBBON

STORY POLE TABLE
 EL +70 MARKS 0'-0", BOTTOM OF DRIVEWAY & ELEVATION THAT BUILDING GRADE STARTS

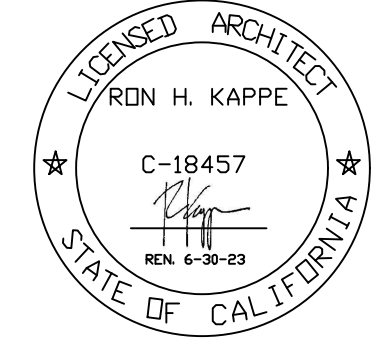
| POLE # | HEIGHT FROM 0'-0" | ELEVATION MARKER |
|--------|-------------------|------------------|
| 1 | 10'-0" | +80' |
| 2 | 10'-0" | +80' |
| 3 | 24'-5" | +94'-5" |
| 4 | 24'-5" | +94'-5" |
| 5 | 24'-5" | +94'-5" |
| 6 | 24'-5" | +94'-5" |
| 7 | 20'-0" | +90' |
| 8 | 20'-0" | +90' |
| 9 | 20'-0" | +90' |
| 10 | 20'-0" | +90' |
| 11 | 29'-2" | +99'-2" |
| 12 | 36'-5" | +106'-5" |
| 13 | 29'-2" | +99'-2" |
| 14 | 29'-2" | +99'-2" |
| 15 | 36'-5" | +106'-5" |
| 16 | 29'-2" | +99'-2" |
| 17 | 24'-5" | +94'-5" |
| 18 | 24'-5" | +94'-5" |
| 19 | 30'-0" | +100' TOW |
| 20 | 29'-0" | +99' TOW |
| 21 | 32'-0" | +102' TOW |
| 22 | 32'-0" | +102' TOW |

STORYPOLE PLAN
 3/16" = 1'-0"



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AP #: 001-123-03

Project No.: 20.13
 Drawn By: MH/GC
 Checked By: RK
 Issued Date: 8/31/2021

| Revision | No. | Date |
|----------|-----|------|
| | | |

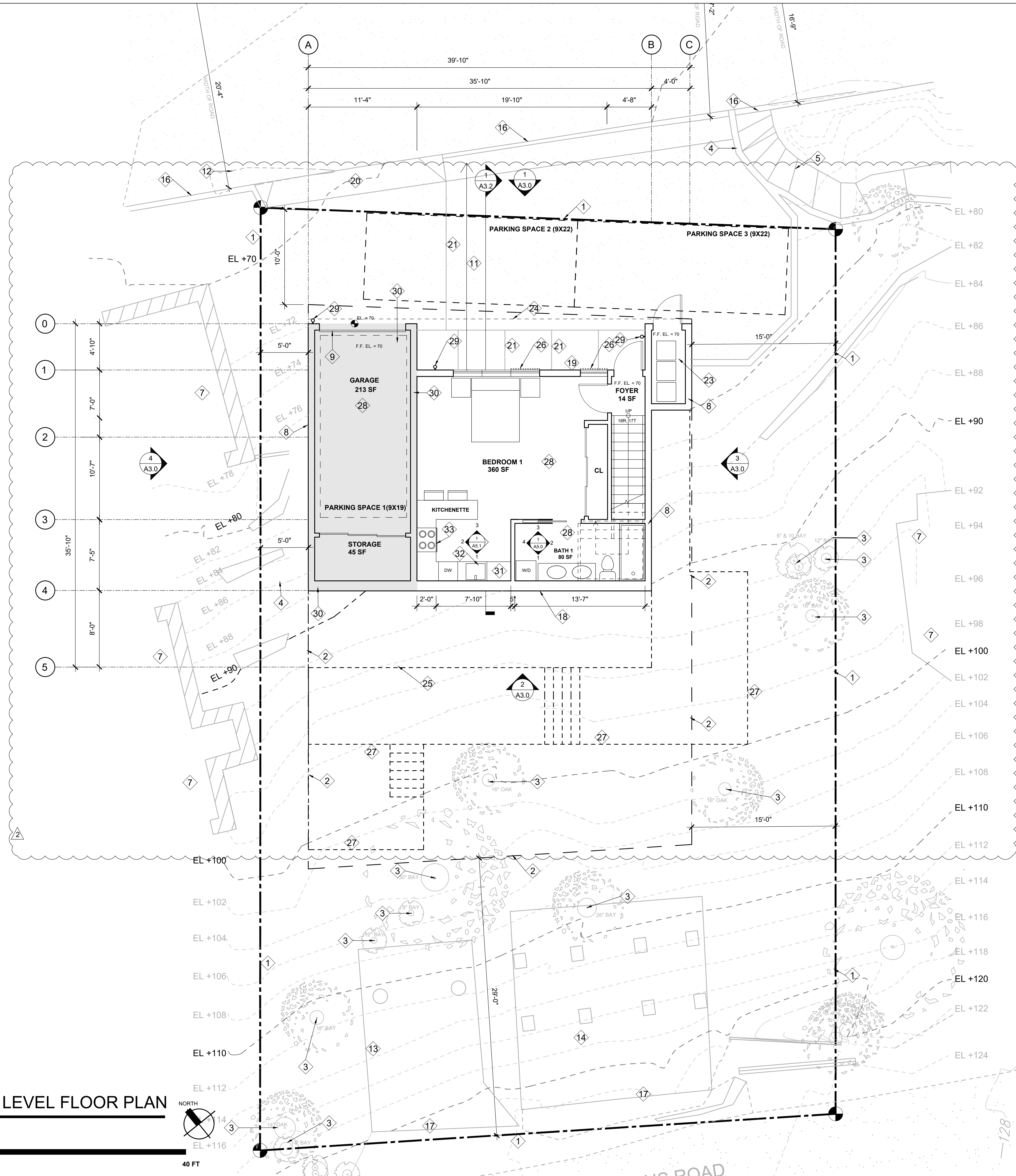
PLANCHECK COMMENTS ① 3/28/2022
 PLANCHECK COMMENTS ② 8/11/2022

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Sheet Title:
PROPOSED STORYPOLE PLAN

Scale: AS NOTED

Sheet No: **A2.0.2**



1 PROPOSED GARAGE LEVEL FLOOR PLAN
3/16" = 1'-0"



- ### KEY NOTES
- 1 PROPERTY LINE
 - 2 SETBACK LINES
 - 3 EXISTING TREES
 - 4 EXISTING ROCK WALL
 - 5 EXISTING WOOD TIE STEPS
 - 6 KEYNOTE NOT IN USE
 - 7 NEIGHBOR
 - 8 8" CONCRETE RETAINING WALL TYP.
 - 9 SECTIONAL GARAGE OVERHEAD DOORS
 - 10 EXTERIOR CONCRETE STAIRS
 - 11 DRIVEWAY 10% DOWNWARD SLOPE
 - 12 DROP INLET
 - 13 EXISTING WOOD PARKING DECK, CONTOURS BENEATH DECK
 - 14 EXISTING CONCRETE PARKING DECK, CONTOURS BENEATH DECK
 - 15 WALL ABOVE
 - 16 EDGE OF PAVEMENT
 - 17 EXISTING CONCRETE WALL LINE
 - 18 12" CONCRETE RETAINING WALL, P.I.P. OR CMU
 - 19 BACK-LIT HOUSE NUMBER MOUNTED ON WALL
 - 20 4'-0" DRIVEWAY APRON
 - 21 CONCRETE EXPANSION JOINTS, TYP.
 - 22 1/2" WALL FOR TRASH ENCLOSURE: 6" STUD FRAMED WALL TO RECEIVE SLIDING BARN DOOR AT TRASH AREA
 - 23 LOCATION FOR TRASH AND RECYCLING BINS
 - 24 ROOF OVERHANG
 - 25 LINE OF HOUSE ABOVE
 - 26 2X VERTICAL WD. FINIS ON EXTERIOR OF WINDOW, TYP.
 - 27 LINE OF DECK ABOVE
 - 28 CEILING HEIGHT = 8'-0"
 - 29 LOCATION OF 4" LED DOWNLIGHT AND WALL WASH CYLINDER, WALL MOUNTED, TYP.
 - 30 GRAY AREA OF FLOOR PLAN NOT COUNTED TOWARDS THE SQUARE-FOOTAGE, GARAGE = 315 SQ.FT.
 - 31 30" REFRIGERATOR
 - 32 24" SINK
 - 33 30" STOVE/OVEN

SQUARE FOOTAGE CALC.

| | | |
|--------------------------------|---|---------------------|
| LOT AREA | = | 5,718 SQ.FT. |
| GARAGE | = | 315 SQ.FT.. |
| FIRST LEVEL | = | 497 SQ.FT. |
| MAIN LEVEL INCLUDES STAIRS* | = | 968 SQ.FT. |
| UPPER LEVEL | = | 804 SQ.FT. |
| TOTAL | = | 2,269 SQ.FT. |

GENERAL NOTES

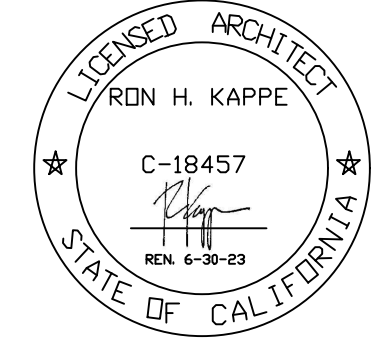
Sheet Title:
PROPOSED GARAGE LEVEL FLOOR PLAN

Scale: AS NOTED

Sheet No: **A2.1**

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AP #: 001-123-03

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| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |

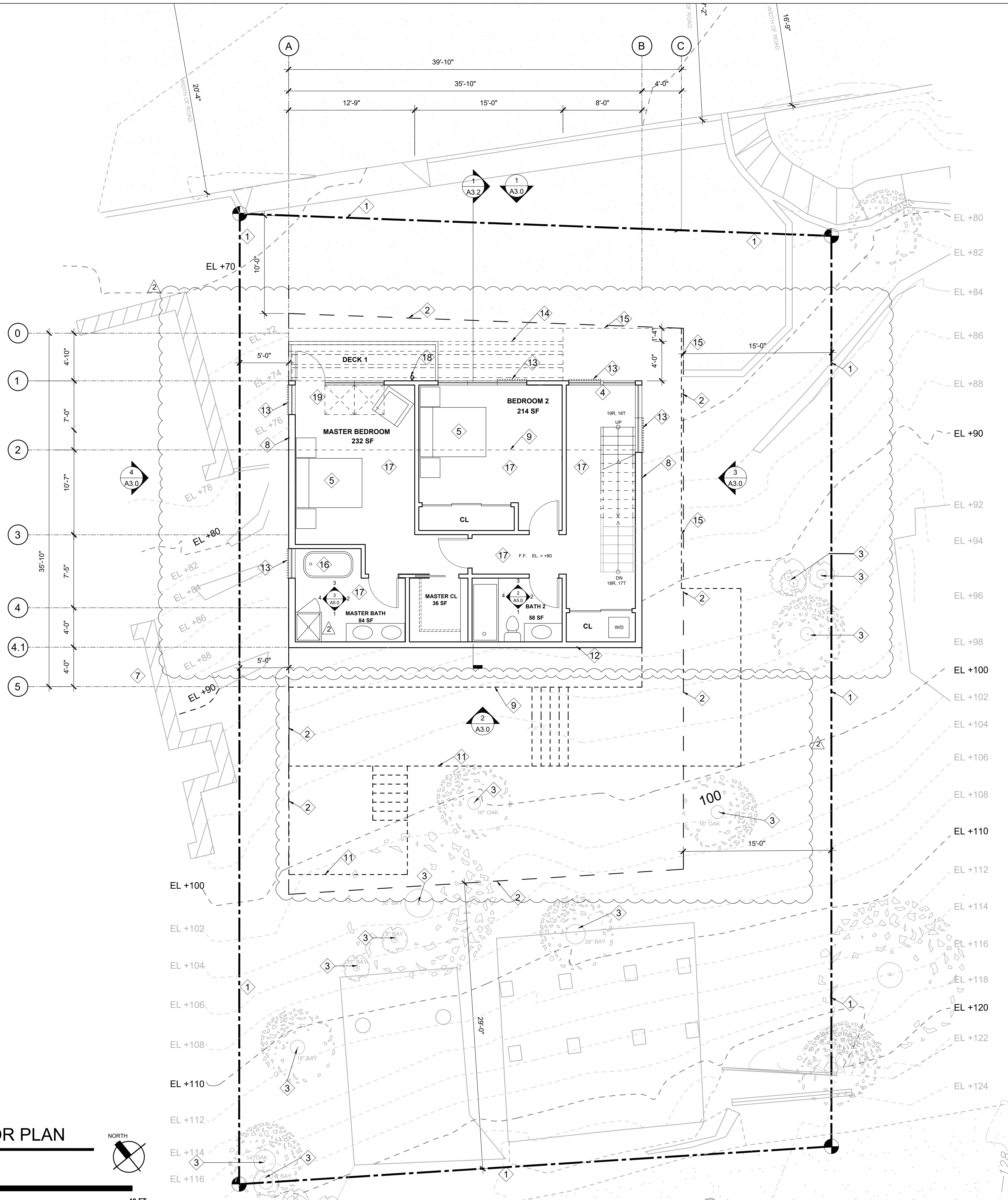
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|--------------------|---|-----------|
| PLANCHECK COMMENTS | 1 | 3/28/2022 |
| PLANCHECK COMMENTS | 2 | 8/8/2022 |

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Sheet Title:
PROPOSED GARAGE LEVEL FLOOR PLAN

Scale: AS NOTED

Sheet No: **A2.1**



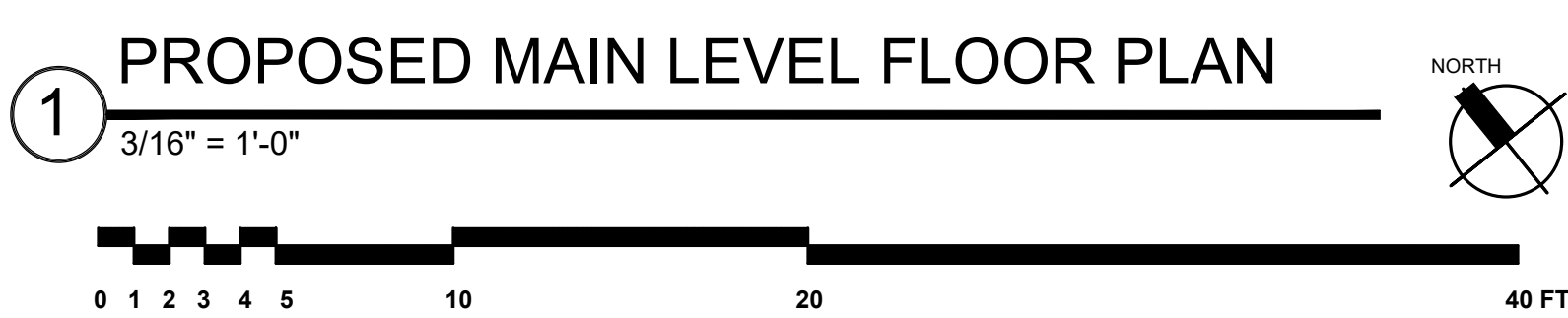
- ### KEY NOTES
- 1 PROPERTY LINE
 - 2 SETBACK LINES
 - 3 EXISTING TREES
 - 4 INTERIOR STAIRS TO UPPER LEVEL
 - 5 QUEEN BED
 - 6 KEYNOTE NOT IN USE
 - 7 NEIGHBOR
 - 8 8" CONCRETE RETAINING WALL TYP.
 - 9 LINE OF FLOOR ABOVE
 - 10 DASHED LINE SHOWS DECK FOOTING LOCATION OF PATIO ABOVE (2'-0" WIDE)
 - 11 LINE OF PATIO ABOVE
 - 12 7" CONCRETE RETAINING WALL, P.I.P. OR CMU
 - 13 2X VERTICAL WD. FIN. ON EXTERIOR OF WINDOW, TYP.
 - 14 WD. TRELLIS ABOVE, TYP.
 - 15 LINE OF DECK ABOVE
 - 16 FREE-STANDING SOAKING TUB 32"X 60"
 - 17 CEILING HEIGHT = 10'-0"
 - 18 LOCATION OF 4" LED DOWNLIGHT AND WALL WASH CYLINDER, WALL MOUNTED, TYP.
 - 19 SKYLIGHT ABOVE, TYP.

SQUARE FOOTAGE CALC.

| | | |
|-----------------------------|----------|---------------------|
| LOT AREA | = | 5,718 SQ.FT. |
| GARAGE | = | 315 SQ.FT. |
| FIRST LEVEL | = | 497 SQ.FT. |
| MAIN LEVEL INCLUDES STAIRS* | = | 968 SQ.FT. |
| UPPER LEVEL | = | 804 SQ.FT. |
| TOTAL | = | 2,269 SQ.FT. |

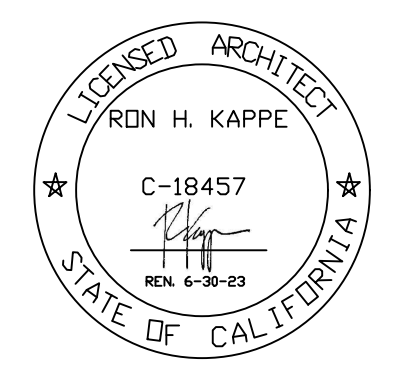
GENERAL NOTES

Scale: AS NOTED



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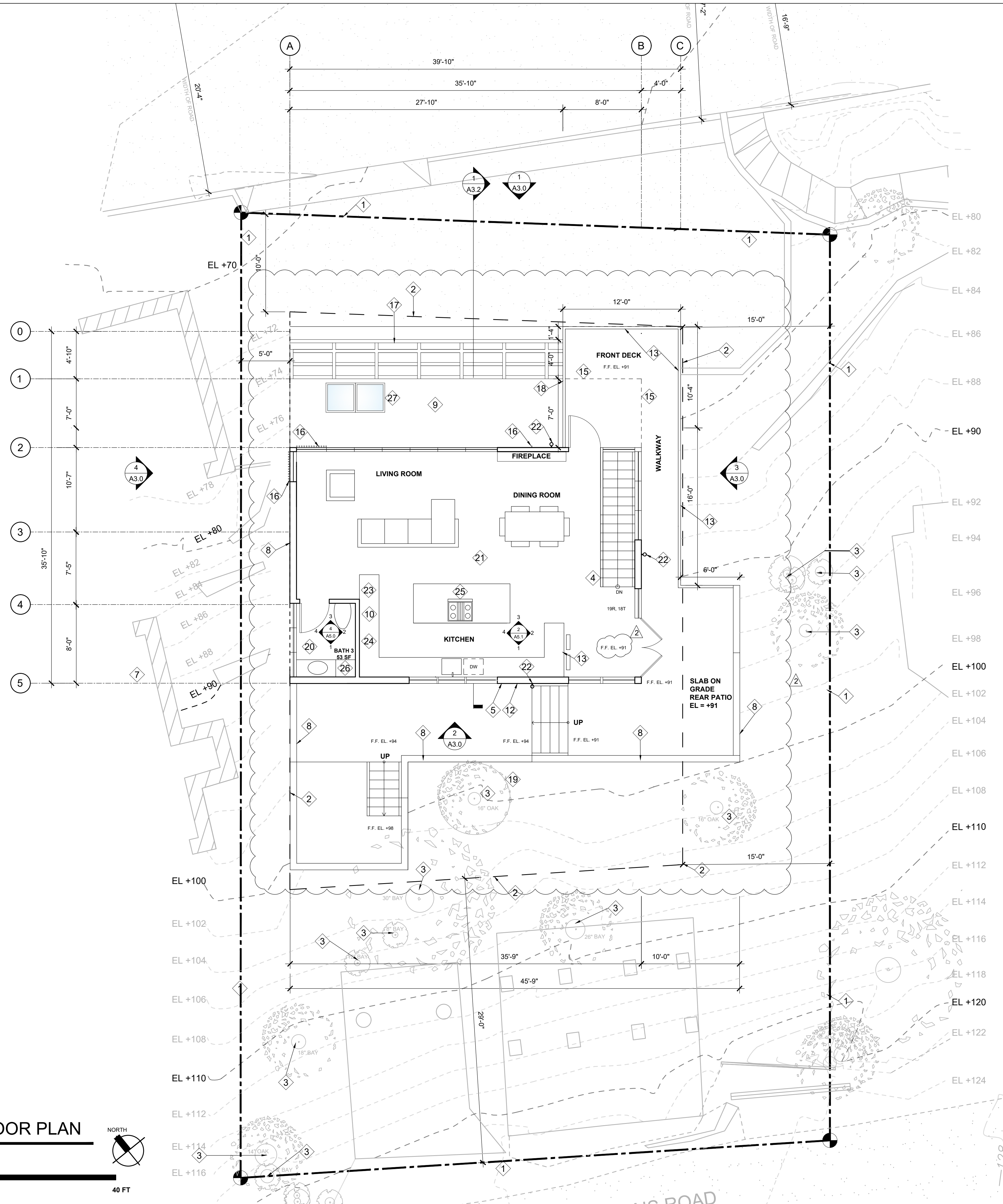
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| Project No.: | 20.13 |
| Drawn By: | MH |
| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |

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| PLANCHECK COMMENTS | 1 | 3/28/2022 |
| PLANCHECK COMMENTS | 2 | 8/8/2022 |

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Sheet Title:
PROPOSED MAIN LEVEL FLOOR PLAN

Sheet No: **A2.2**



KEY NOTES

- 1 PROPERTY LINE
- 2 SETBACK LINES
- 3 EXISTING TREES
- 4 INTERIOR STAIRS
- 5 CLERESTORY WINDOWS
- 6 KEYNOTE NOT IN USE
- 7 NEIGHBOR
- 8 8" CONCRETE RETAINING WALL TYP.
- 9 ROOF BELOW
- 10 REFRIGERATOR
- 11 KEYNOTE NOT IN USE
- 12 12" CONCRETE RETAINING WALL, P.I.P. OR CMU
- 13 42" HT. GUARDRAIL
- 14 KEYNOTE NOT IN USE
- 15 DASHED LINE INDICATES FLOOR BELOW
- 16 2X VERTICAL WD. FIN ON EXTERIOR OF WINDOW, TYP.
- 17 WD. TRELLIS BELOW, TYP.
- 18 GATE IN RAILING TO ACCESS ROOF BELOW
- 19 PROTECT EXISTING TREE, WILL BE ENCIRCLED BY REAR PATIO, SLAB ON GRADE
- 20 CEILING HEIGHT = 8'-0"
- 21 CEILING HEIGHT VARIES: 8'-0" AT SIDES OF GABLE TO 15'-6" AT HIGHEST POINT ON RIDGE
- 22 LOCATION OF 4" LED DOWNLIGHT AND WALL WASH CYLINDER, WALL MOUNTED, TYP.
- 23 TALL PANTRY
- 24 LOCATION OF OVEN AND MICROWAVE WALL
- 25 COOKTOP WITH BUILT-IN 36" DOWNDRAFT
- 26 7'-0" CABINET
- 27 SKYLIGHT BELOW

SQUARE FOOTAGE CALC.

| | | |
|-----------------------------|----------|---------------------|
| LOT AREA | = | 5,718 SQ.FT. |
| GARAGE | = | 315 SQ.FT. |
| FIRST LEVEL | = | 497 SQ.FT. |
| MAIN LEVEL INCLUDES STAIRS* | = | 968 SQ.FT. |
| UPPER LEVEL | = | 804 SQ.FT. |
| TOTAL | = | 2,269 SQ.FT. |

GENERAL NOTES

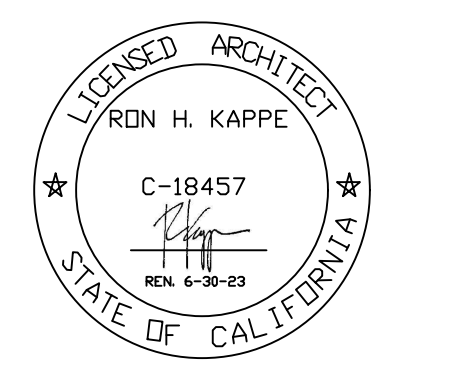
PROPOSED UPPER LEVEL FLOOR PLAN

Scale: AS NOTED

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ALTMAN RESIDENCE

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FAIRFAX, CA 94930



AP #: 001-123-03

| | |
|--------------|-----------|
| Project No.: | 20.13 |
| Drawn By: | MH |
| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |

| | | |
|--------------------|---|-----------|
| PLANCHECK COMMENTS | 1 | 3/28/2022 |
| PLANCHECK COMMENTS | 2 | 8/8/2022 |

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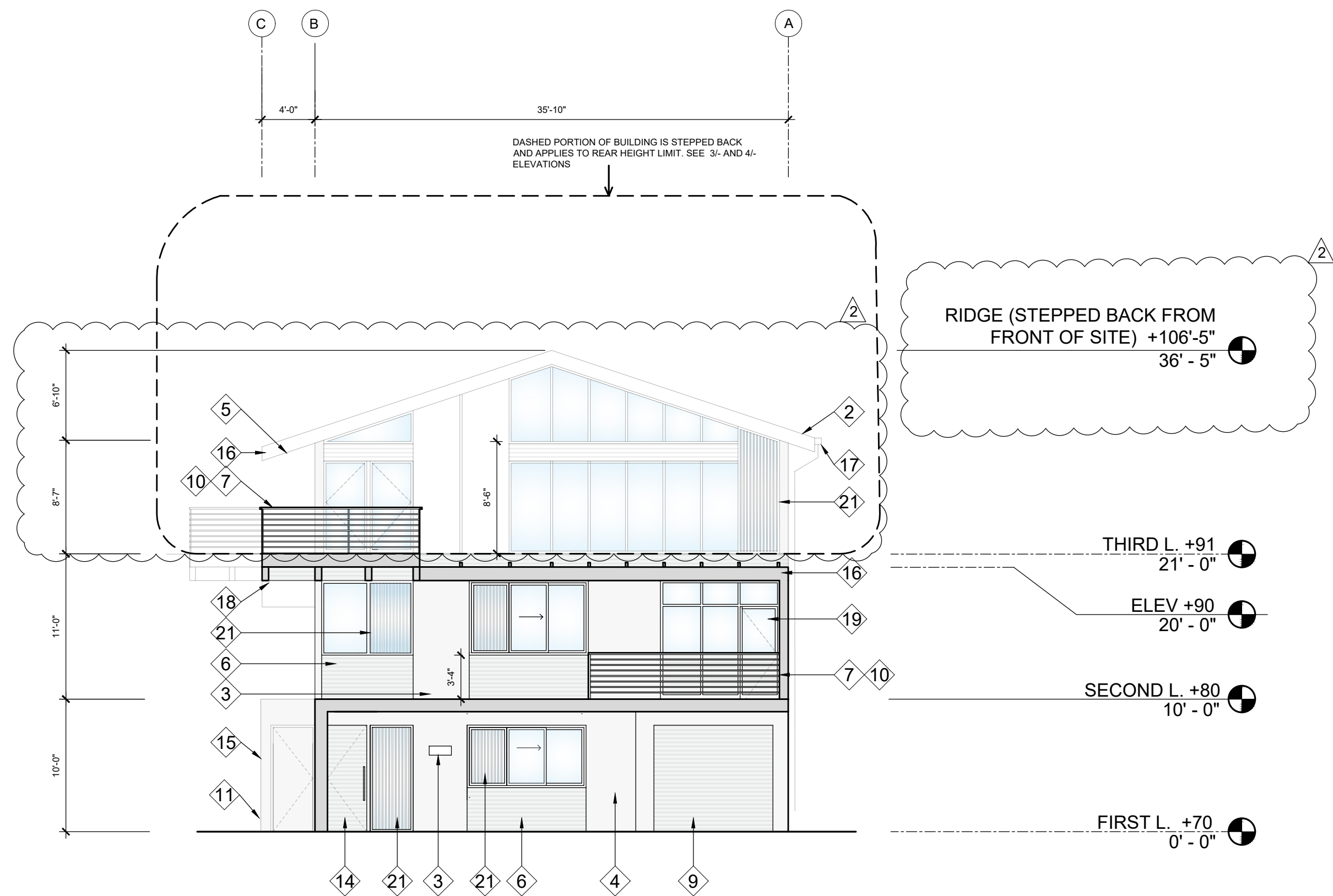
Sheet Title:
PROPOSED UPPER LEVEL FLOOR PLAN

Scale: AS NOTED

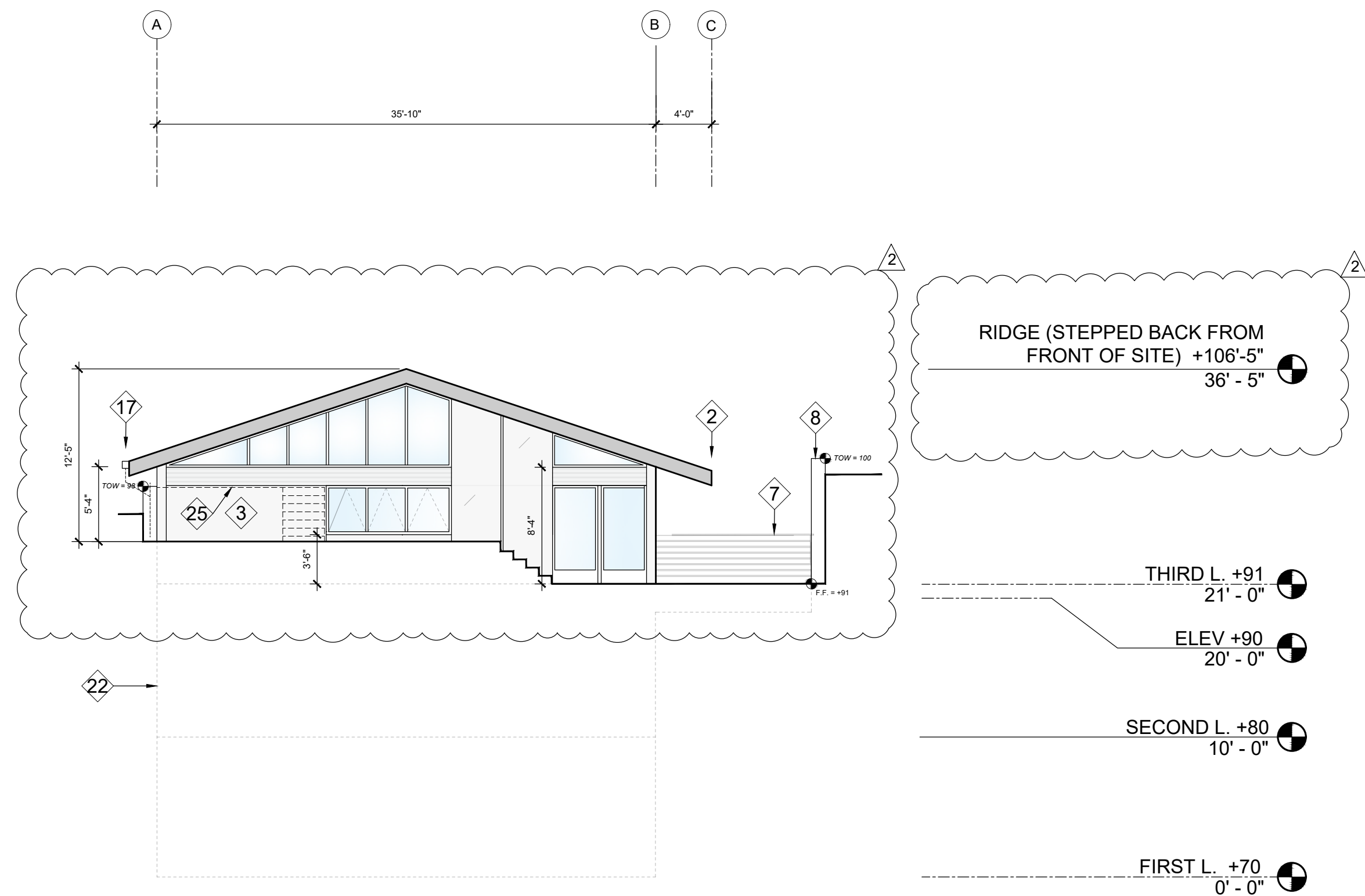
Sheet No: **A2.3**

1 PROPOSED UPPER LEVEL FLOOR PLAN

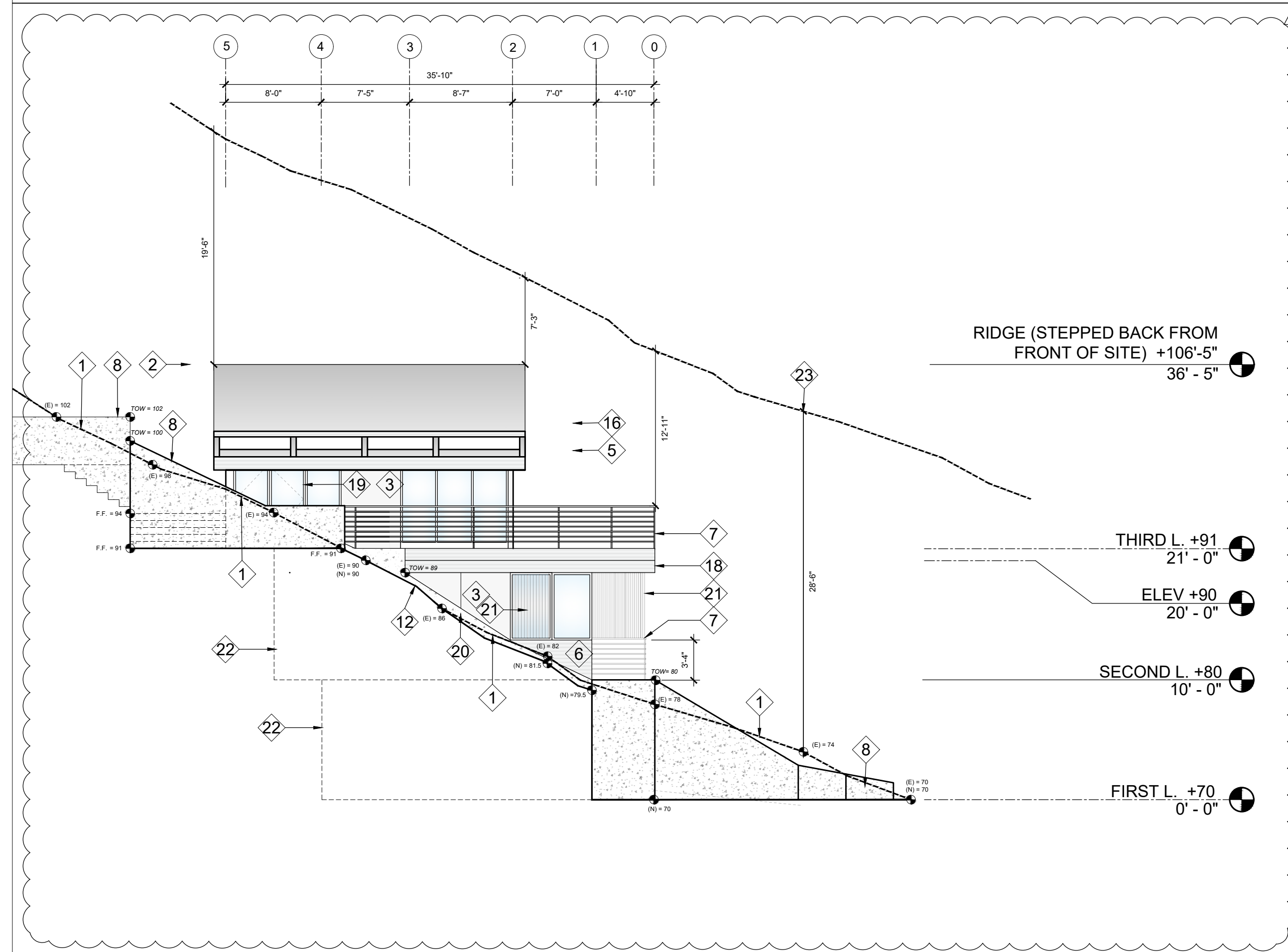
3/16" = 1'-0"



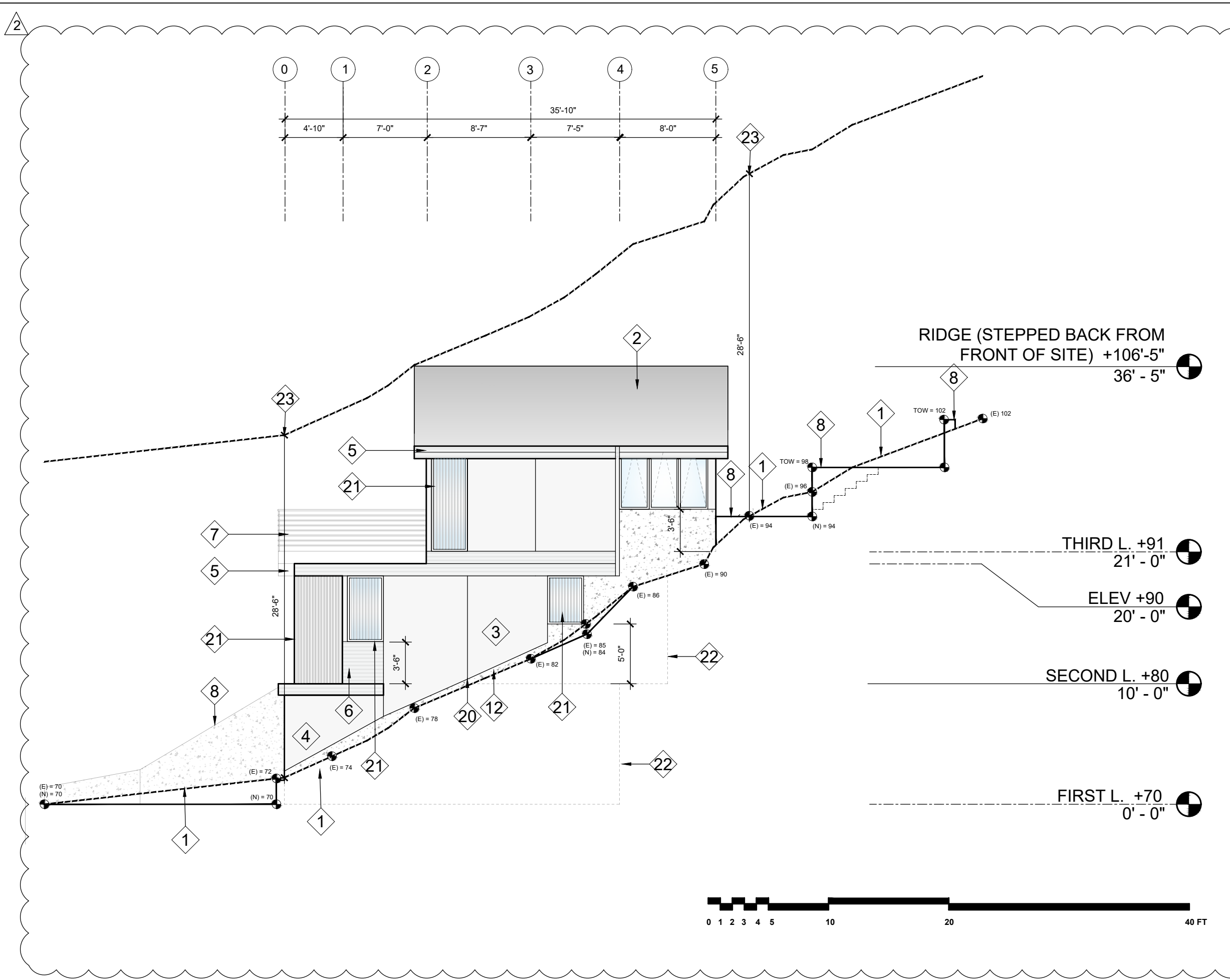
1 PROPOSED FRONT ELEVATION
1/8" = 1'-0"



2 PROPOSED REAR ELEVATION
1/8" = 1'-0"



3 PROPOSED NORTH-WEST SIDE ELEVATION
1/8" = 1'-0"



4 PROPOSED SOUTH-EAST SIDE ELEVATION
1/8" = 1'-0"

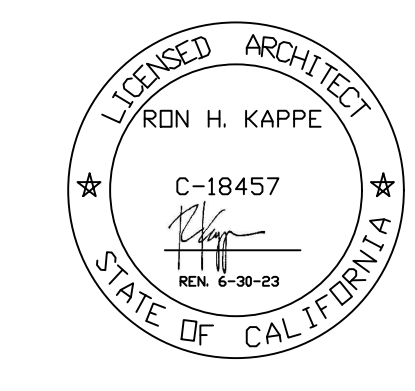
KEY NOTES

- 1 (E) TOPOGRAPHY (TO BE GRADED) IS SHOWN AS A DASHED LINE. SEE CIVIL SURVEY
- 2 CLASS-A SHINGLE COOL ROOF
- 3 PAINTED STUCCO, COLOR 1, TYP.
- 4 PAINTED STUCCO, COLOR 2, TYP.
- 5 STAINED CEDAR FASCIA, TYP.
- 6 STAINED CEDAR SIDING, TYP.
- 7 CABLE RAILINGS, TYP.
- 8 CONCRETE RETAINING WALL, TYP. SEE CIVIL DRAWINGS.
- 9 SECTIONAL WOOD, GARAGE OVERHEAD DOORS
- 10 OUTDOOR DECK
- 11 DRIVEWAY 10% DOWNWARD SLOPE
- 12 POURED CONCRETE TYP.
- 13 BACK-LIT HOUSE NUMBER
- 14 ENTRY DOOR, STAINED CEDAR, TYP.
- 15 TRASH ENCLOSURE
- 16 TRELLIS
- 17 4" GUTTER AND 3" DOWNSPOUT, TYP.
- 18 EXPOSED GLULAMINATED BEAMS, BELOW THIRD LEVEL DECK
- 19 DARK BRONZE ALUMINUM DOORS, TYP.
- 20 EXPANSION JOINT FOR STUCCO WALL, TYP.
- 21 2X VERTICAL WD. FINS FOR PRIVACY, TYP.
- 22 DASHED LINE INDICATES WALL BELOW
- 23 DASHED LINE INDICATES HEIGHT LIMIT. HEIGHT LIMIT IS 28'-6" FROM EXISTING GRADE RECORDED IN SURVEY. PLEASE SEE SURVEY FOR REFERENCE.
- 24 PROPOSED TOPOGRAPHY SHOWN IN SOLID LINE WITH ELEVATION MARKERS
- 25 DASHED LINE INDICATING RAISED DECK BEYOND.

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ALTMAN RESIDENCE

**67 TAMALPAIS RD.
FAIRFAX, CA 94930**



AP #: 001-123-03

| | |
|--------------|-----------|
| Project No.: | 20.13 |
| Drawn By: | MH |
| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |

| | | |
|--------------------|---|-----------|
| PLANCHECK COMMENTS | 1 | 3/28/2022 |
| PLANCHECK COMMENTS | 2 | 8/8/2022 |

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Sheet Title:

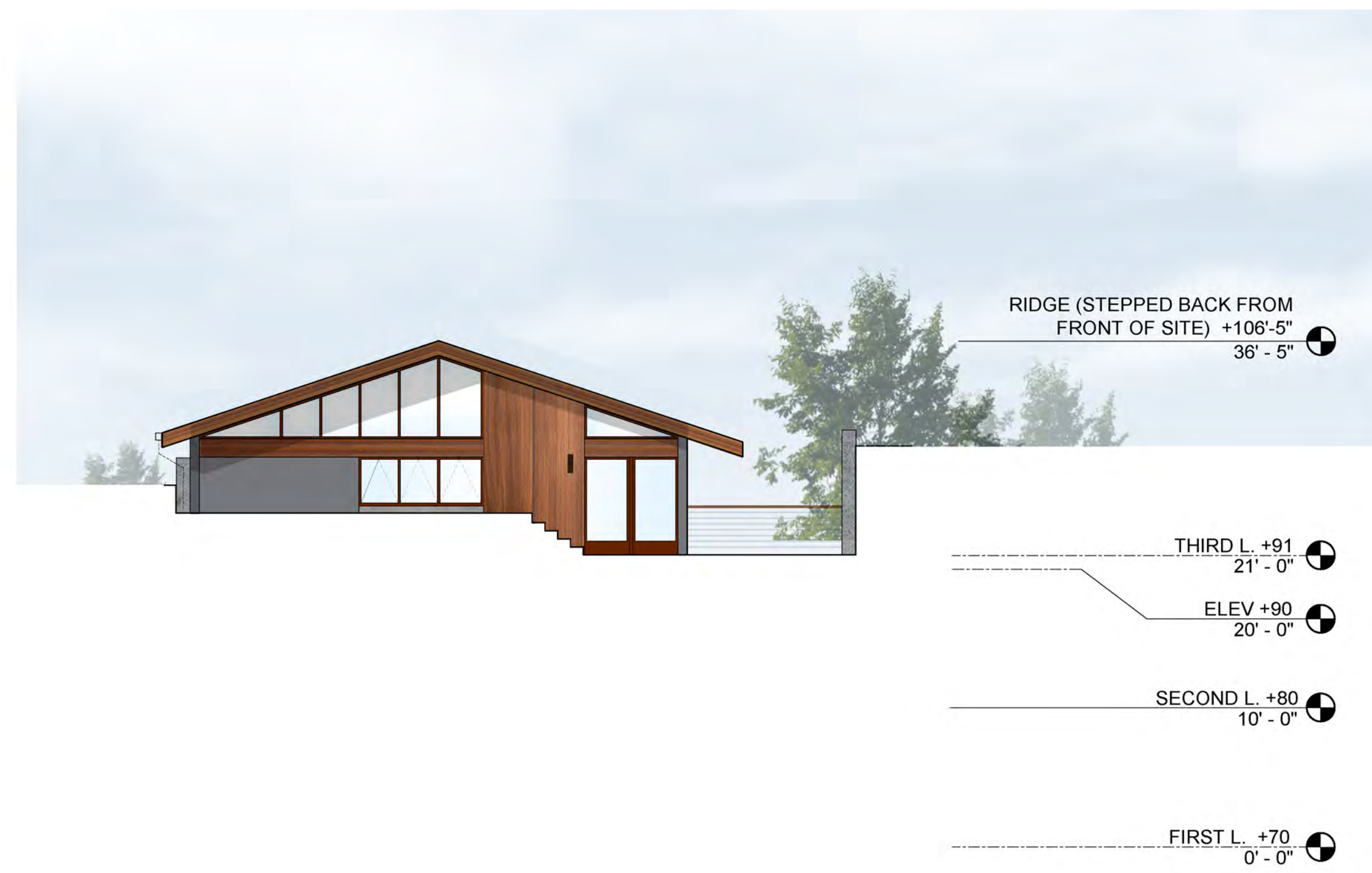
ELEVATIONS

Scale: AS NOTED

Sheet No: **A3.0**



1 PROPOSED FRONT ELEVATION
1/8" = 1'-0"



2 PROPOSED REAR ELEVATION
1/8" = 1'-0"



3 PROPOSED NORTH-WEST SIDE ELEVATION
1/8" = 1'-0"



4 PROPOSED SOUTH-EAST SIDE ELEVATION
1/8" = 1'-0"

MATERIALS LEGEND

- POURED CONCRETE, TYP.
- PAINTED STUCCO, COLOR 1: BENJAMIN MOORE, ROCK GRAY 1615, TYP.
- PAINTED STUCCO, COLOR 2: BENJAMIN MOORE, THUNDER CLOUD GRAY 2124-40, TYP.
- STAINED CEDAR, HORIZONTAL SIDING
- STAINED CEDAR FASCIA, TYP.
- STAINED GLULAM BEAM, TYP.
- DARK BRONZE ALUMINUM WINDOWS, TYP.
- STAINED CEDAR TOP, CABLE RAILINGS, TYP.
- CLASS A ASPHALT SHINGLES, TYP.
- STAINED WD. PANELS TO MATCH CEDAR SIDING, TYP.

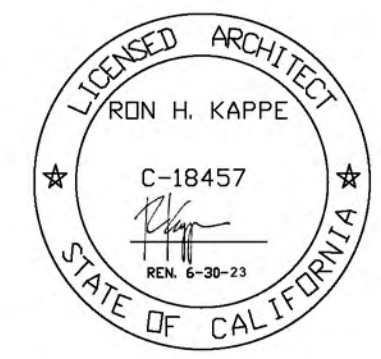
- 4" LED DOWNLIGHT AND WALL WASH CYLINDER, WALL MOUNTED, TYP.
- TOTAL LUMENS: 325
- TOTAL WATTS: 6
- COLOR TEMP: 3000K (SOFT WHITE)
- MANUFACTURER: WAC LIGHTING CYLINDER LED OUTDOOR WALL SCNCE

EXTERIOR LIGHTING NOTES:
THE EXTERIOR OF THE BUILDING WILL NOT IMPACT THE NEIGHBORING STRUCTURES AT NIGHT WHEN THE INTERIOR OF THE HOME IS LIT AS ALL WINDOWS WILL HAVE INTERIOR SHADES. SOME WINDOWS ALSO HAVE VERTICAL WD. FINS TO REDUCE THE AMOUNT OF LIGHT IMPACTING THE NEIGHBORS.

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| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |

| | | |
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| PLANCHHECK COMMENTS | 1 | 1/10/2022 |
| PLANCHHECK COMMENTS | 2 | 8/11/2022 |

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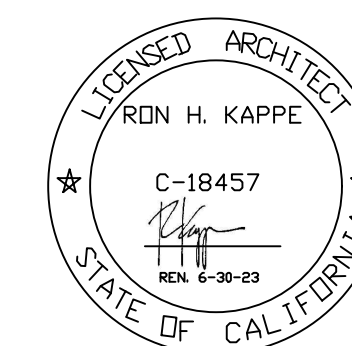
Sheet Title:
COLORED ELEVATIONS & MATERIALS BOARD

Scale: AS NOTED

Sheet No. **A3.1**

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AP #: 001-123-03

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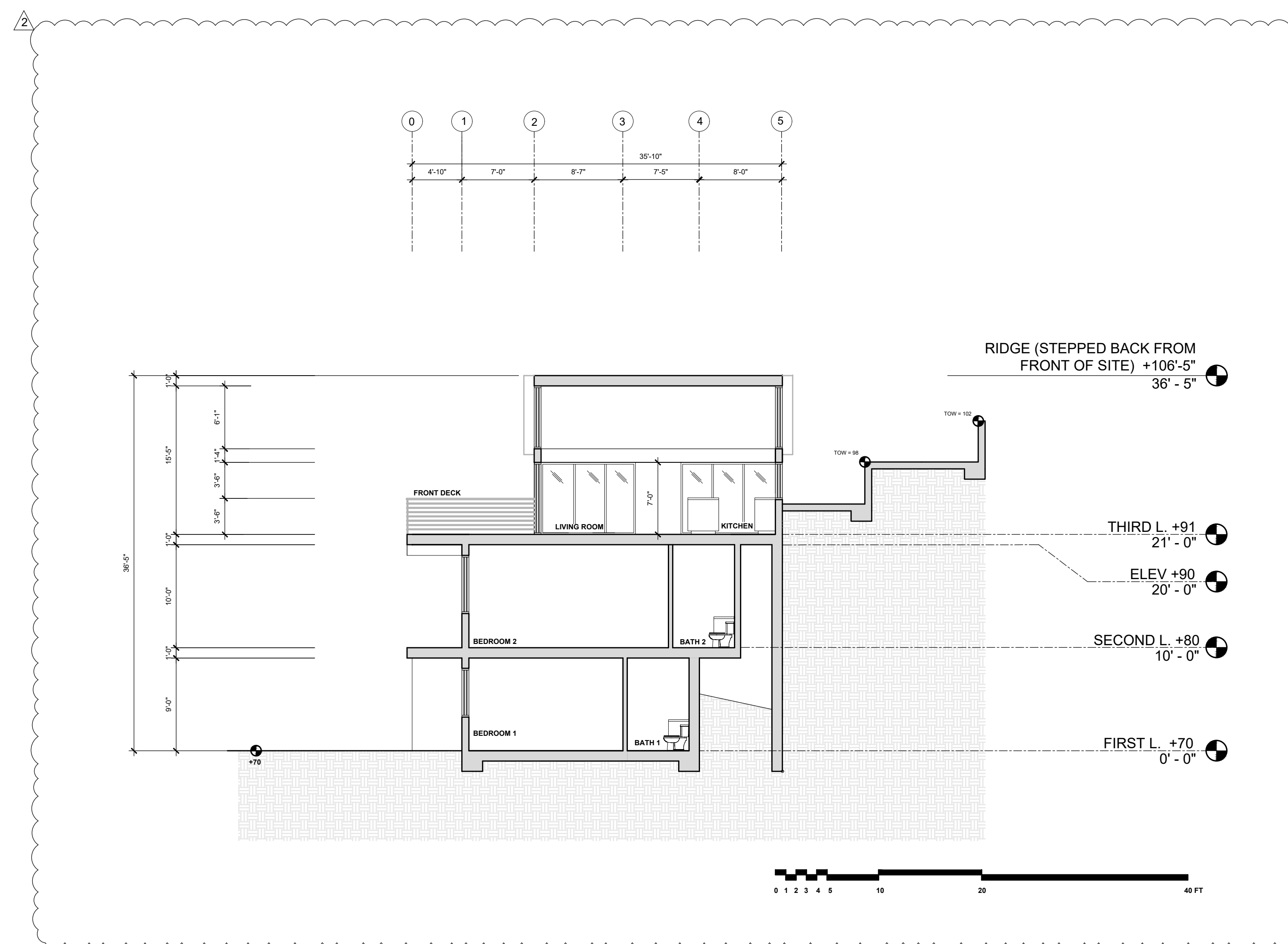
Sheet Title:

SECTION

Scale: AS NOTED

Sheet No:

A3.2



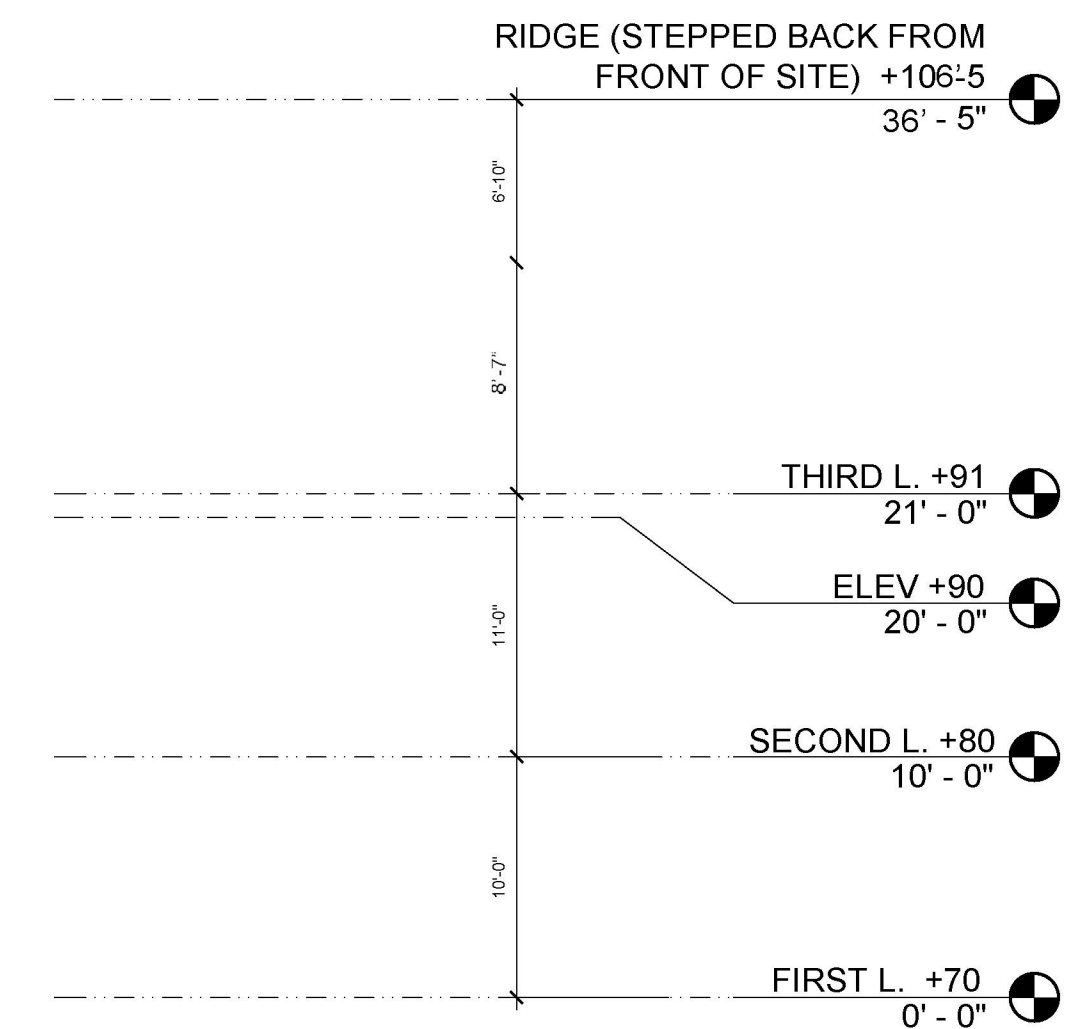
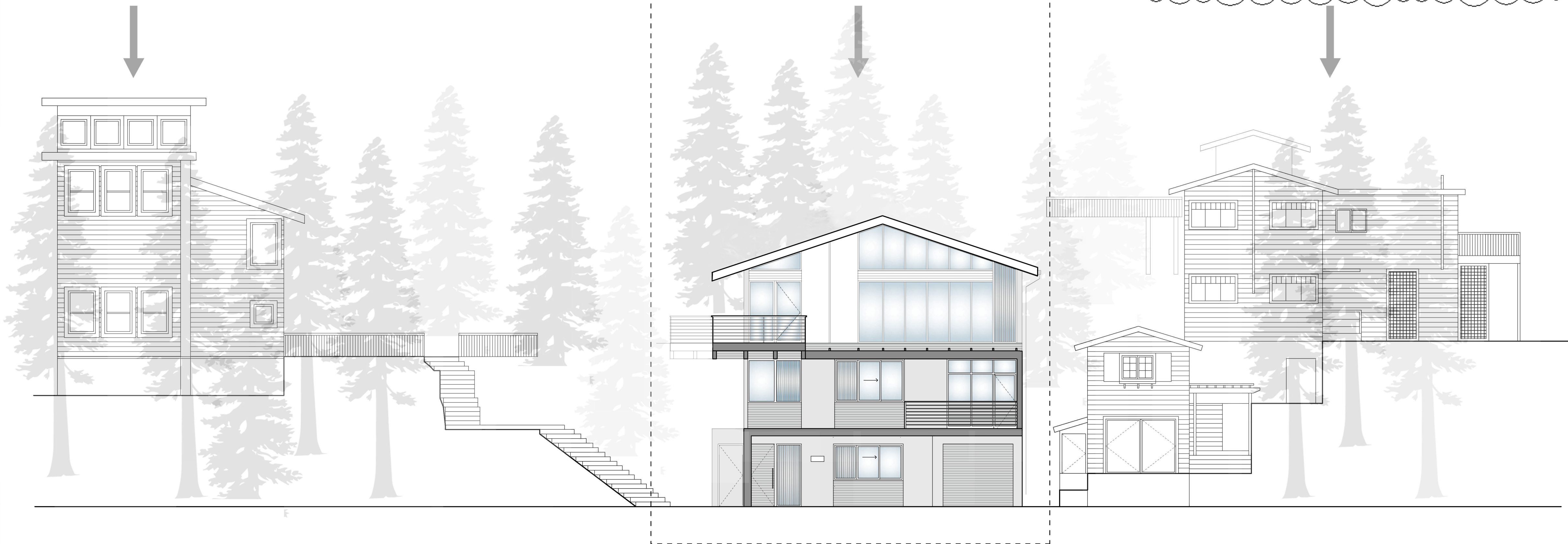
1 PROPOSED SECTION A
 1/8" = 1'-0"

NEIGHBOR ON WEST SIDE
63 TAMALPAIS RD.

SUBJECT PROPERTY
67 TAMALPAIS RD.

NEIGHBOR ON EAST SIDE
73 TAMALPAIS RD.

**SUBJECT PROPERTY
ELEVATION
MARKERS**



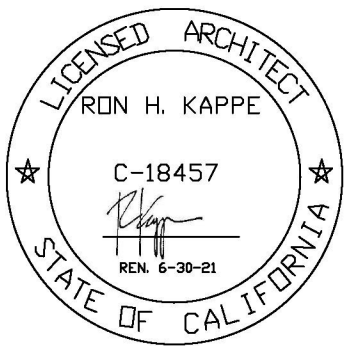
1 STREETScape ELEVATIONS WITH NEIGHBORS ON EITHER SIDE OF PROPERTY
1/4" = 1'-0"

KAPPE ARCHITECTS

801 'D' STREET SAN RAFAEL, CA 94901
TEL: 415.457.7801 FAX: 415.457.7885

ALTMAN RESIDENCE

63 TAMALPAIS RD.
FAIRFAX, CA 94930



AP #: 001-123-03

Project No.: 20_13
Drawn By: MH
Checked By: RK
Issued Date: 8/31/2021

| Revision | No. | Date |
|--------------------|-----|------------|
| PLANCHECK COMMENTS | 1 | 1/10/2022 |
| PLANCHECK COMMENTS | 2 | 8/11/2022 |
| PLANCHECK COMMENTS | 3 | 12/19/2022 |

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Sheet Title:
STREETScape ELEVATIONS

Scale: AS NOTED

Sheet No:

A3.3



① PHOTO FROM SITE LOOKING DOWNHILL



② PHOTO FROM TAMALPAIS LOOKING UPHILL



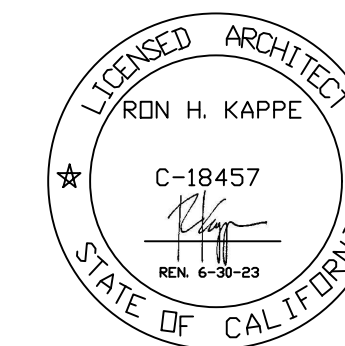
③ PHOTO OF ENTIRE SITE FROM TAMALPAIS

KAPPE ARCHITECTS

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 FAIRFAX, CA 94930



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| Revision | No. | Date |
|----------|-----|------|
| | | |

PLANCHECK COMMENTS ① 3/28/2022

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Sheet Title:

EXISTING PHOTOS OF SITE

Scale: AS NOTED

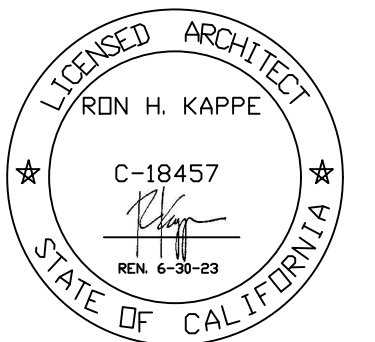
Sheet No:

A6.0



ALTMAN RESIDENCE

67 TAMALPAIS RD.
 FAIRFAX, CA 94930



AP #: 001-123-03

Project No.: 20.13
 Drawn By: MH
 Checked By: RK
 Issued Date: 8/31/2021

| Revision | No. | Date |
|----------------------|-----|------------|
| PLANCHECK COMMENTS | 1 | 3/28/2022 |
| PLANCHECK COMMENTS | 2 | 8/11/2022 |
| PLANCHECK COMMENTS | 3 | 12/19/2022 |
| ADDITIONAL RENDERING | 4 | 1/17/2023 |

1 EXISTING EMPTY SITE

2 PROPOSED STRUCTURE ON SITE

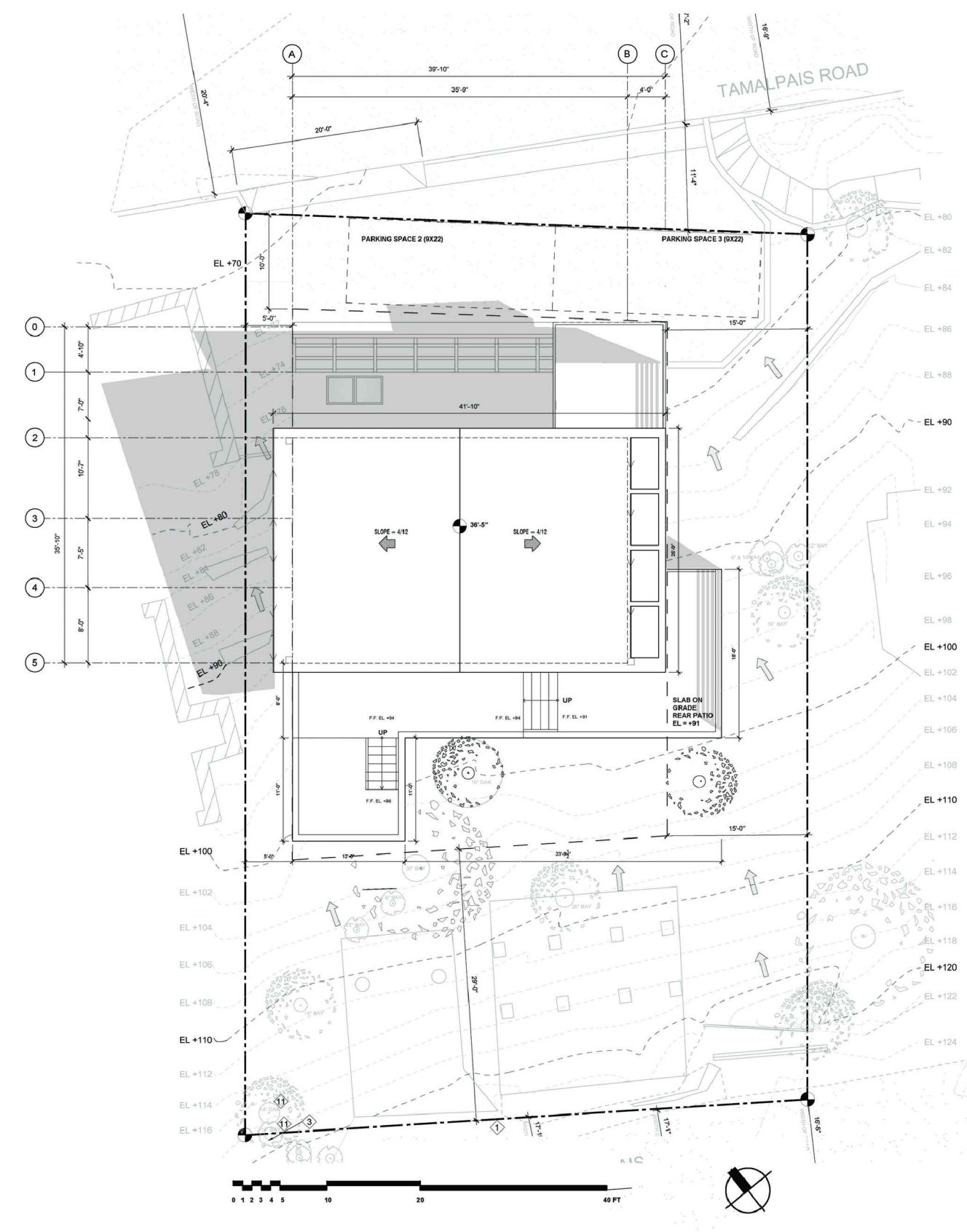
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Sheet Title:

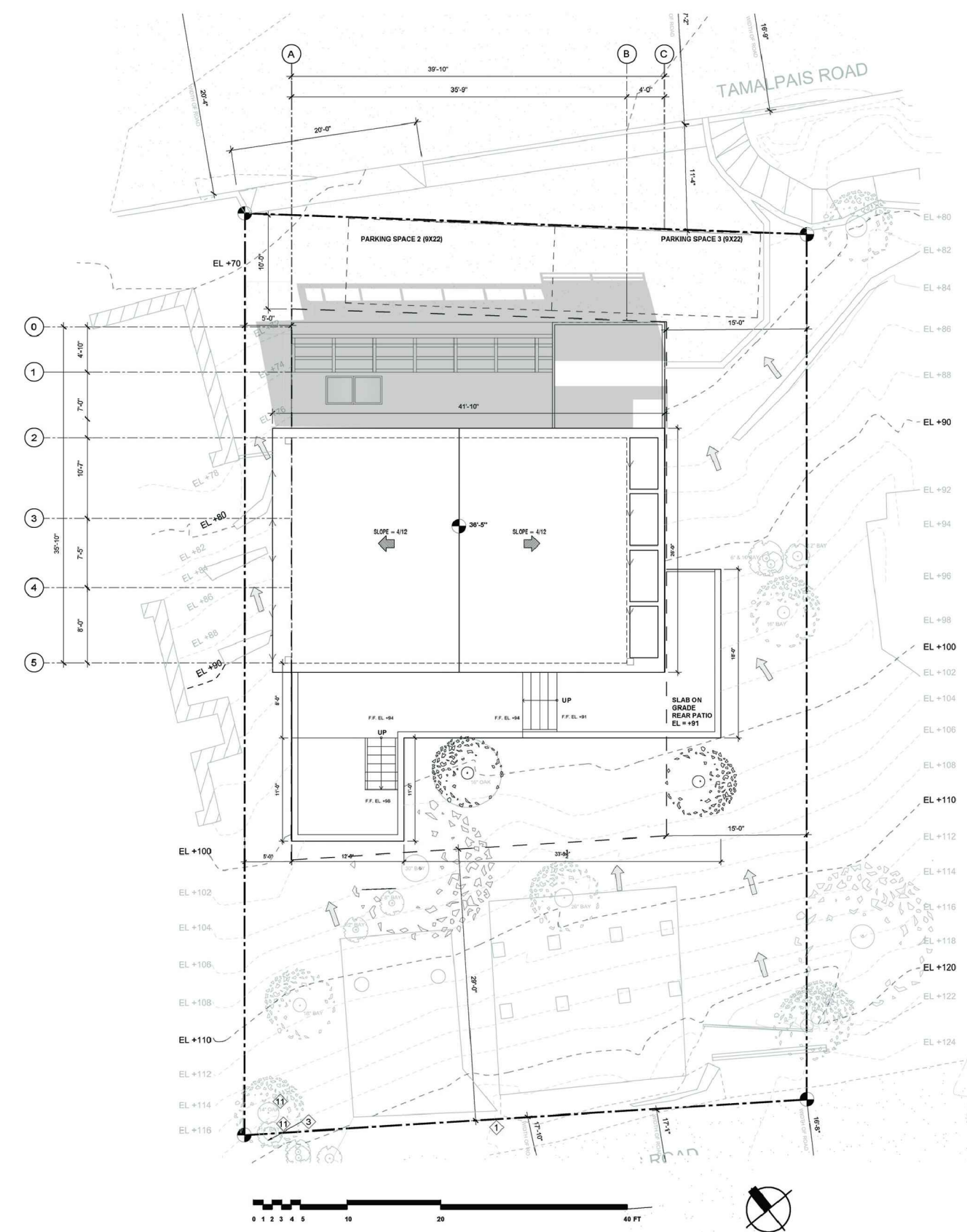
PROPOSED STRUCTURE ON SITE

Scale: AS NOTED

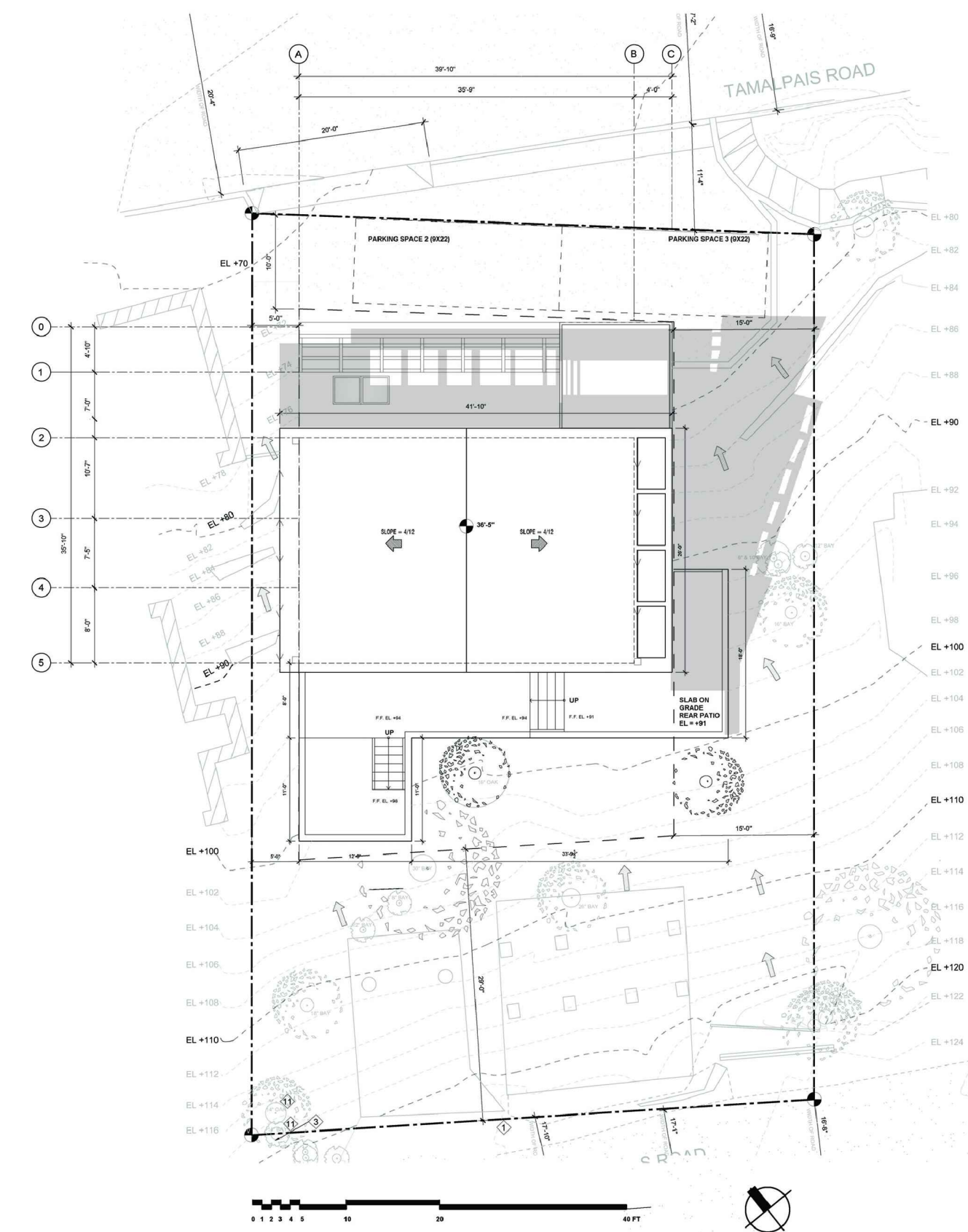
Sheet No: **A7.0**



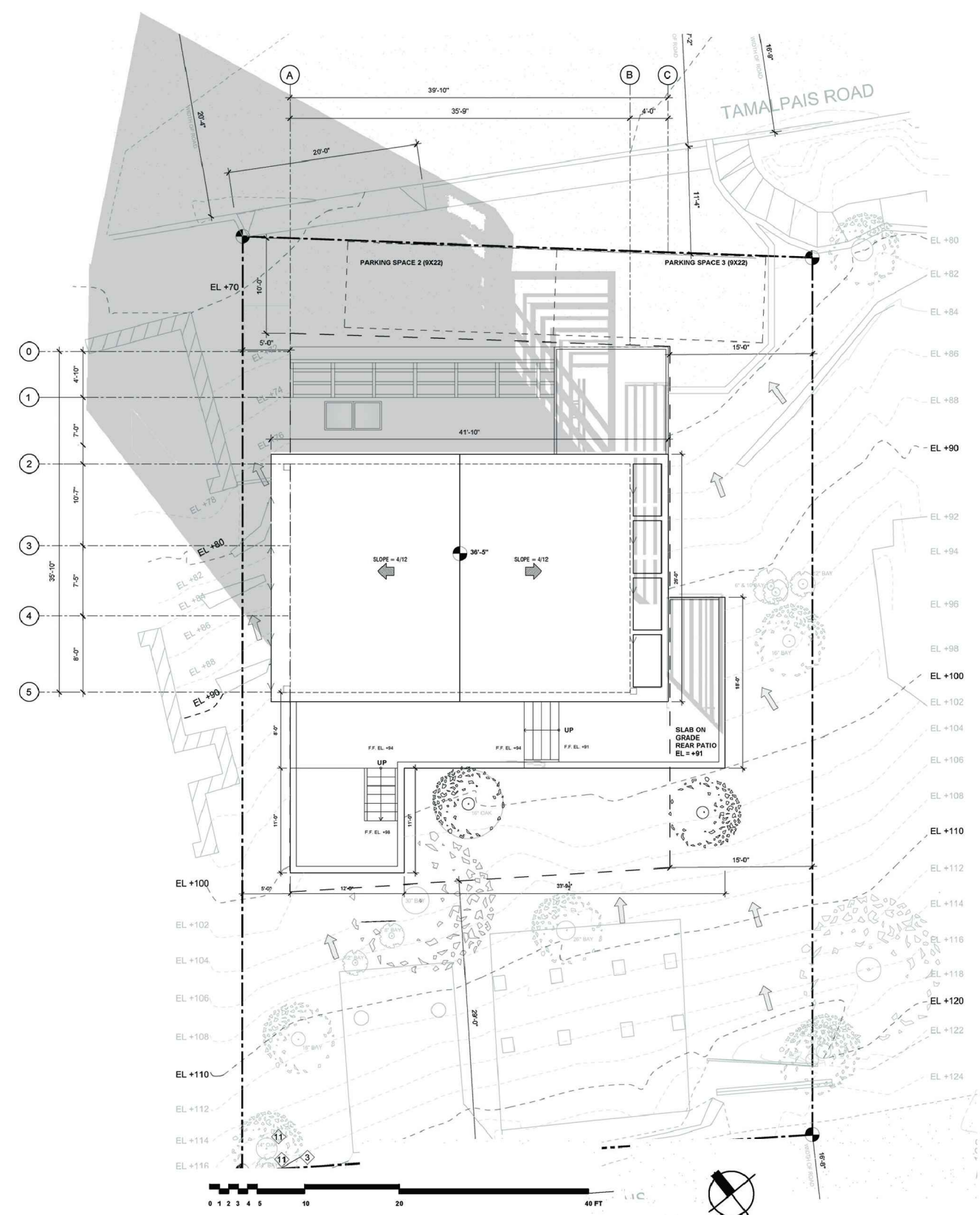
1 SUMMER SOLSTICE 9AM



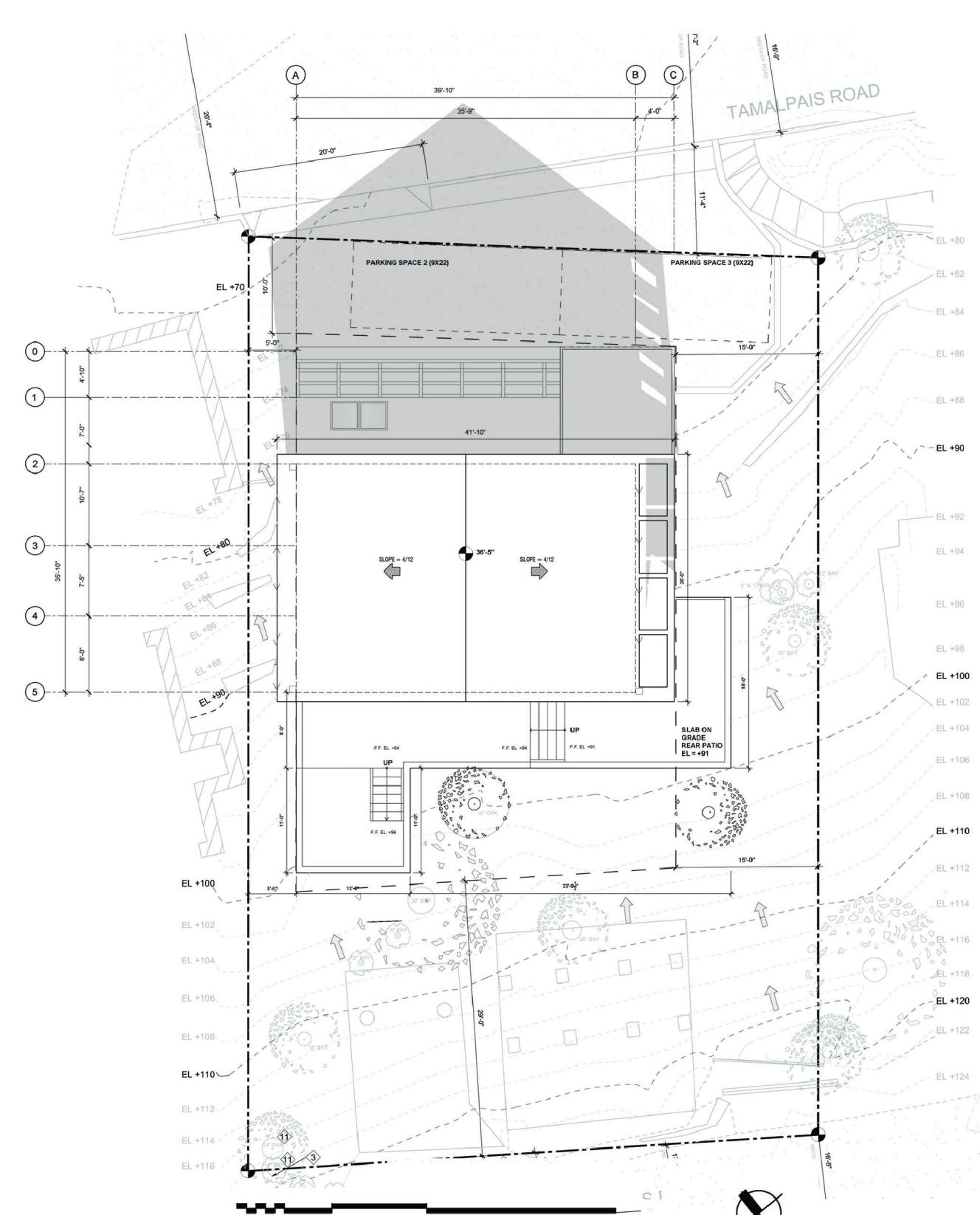
2 SUMMER SOLSTICE 12PM



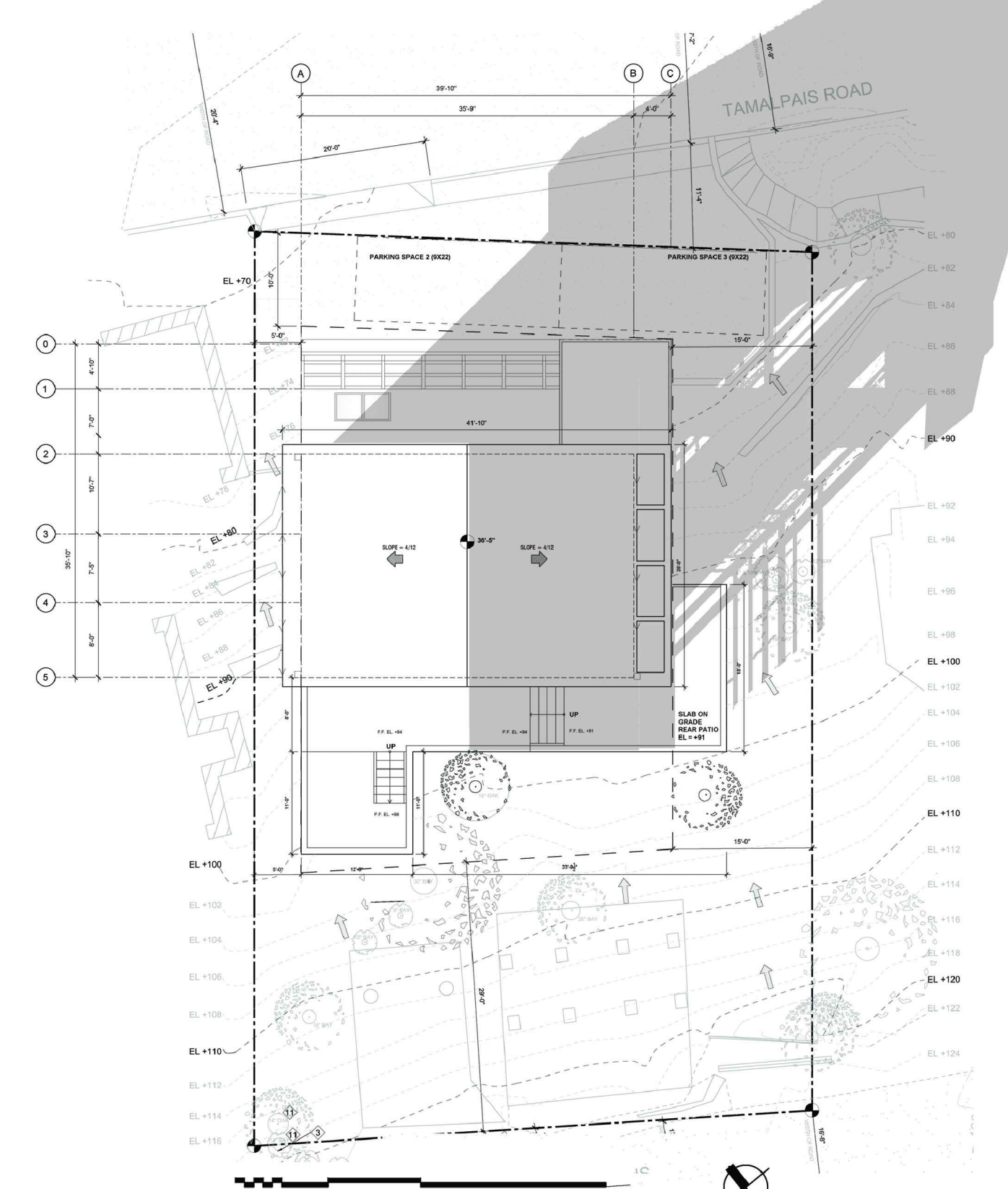
3 SUMMER SOLSTICE 3PM



4 WINTER SOLSTICE 9AM



5 WINTER SOLSTICE 12PM



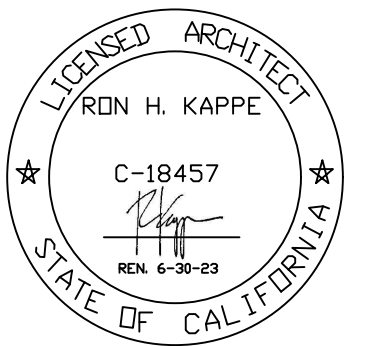
6 WINTER SOLSTICE 3PM

KAPPE ARCHITECTS

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ALTMAN RESIDENCE

67 TAMALPAIS RD.
FAIRFAX, CA 94930



AP #: 001-123-03

Project No.: 20.13
Drawn By: MH/GC
Checked By: RK
Issued Date: 8/31/2021

Revision No. Date
PLANCHECK COMMENTS 1 3/28/2022

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Sheet Title:
PROPOSED
SOLAR & SHADE STUDY

Scale: AS NOTED

Sheet No: A8.0



Dimensions:

Small Option Backplate: Width 4.25", Height 4.25"

Small Option Fixture: Width 4.5", Height 6.75", Depth 6"

| | |
|---------------------|-------------------|
| Lamp Type | LED Built-in |
| Total Lumens | 325 |
| Total Watts | 6.00 |
| Volts | 120 |
| Color Temp | 3000 (Soft White) |

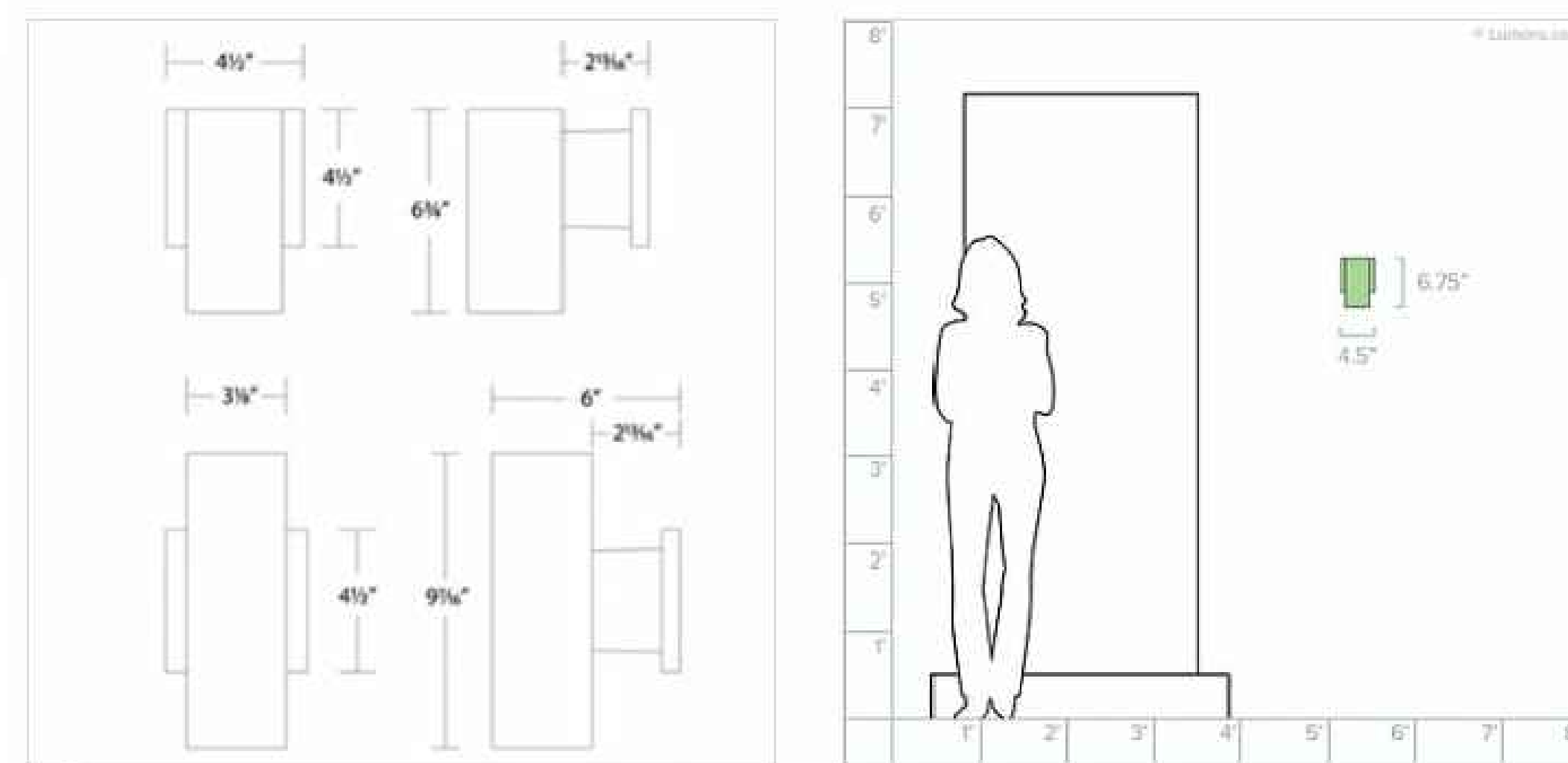
| | |
|--|----------|
| Average Lifespan | 50000.00 |
| CRI | 80 |
| Equivalent Halogen, CFL or LED Bulb Can Be Used | No |

WAC Lighting, founded in 1984, has developed a strong reputation for high quality decorative and task lighting. Based in Garden City, New York, WAC Lighting is a leading manufacturer of low voltage, line voltage and LED lighting, including track systems, transformers, lamps, cabinet lighting and recessed downlights.

Details:

- Dimmer Not Included
- Lighting Style: Downlight
- Designed in 2020
- Material: Die-cast aluminium
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dimmer Range: 100-5%
- ADA compliant, Title 24 compliant
- Installation Type: Hardwired
- ETL Listed Wet
- Warranty: 5 Years Functional, 2 Years Finish
- Made In China

Cylinder LED Outdoor Wall Sconce Diagram

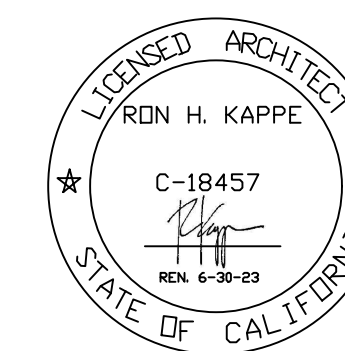


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AP #: 001-123-03

| | |
|--------------|-----------|
| Project No.: | 20.13 |
| Drawn By: | MH /GC |
| Checked By: | RK |
| Issued Date: | 8/31/2021 |
| Revision | No. Date |

| | | |
|--------------------|---|-----------|
| PLANCHECK COMMENTS | 1 | 3/28/2022 |
| PLANCHECK COMMENTS | 2 | 8/1/2022 |

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Sheet Title:
EXTERIOR LIGHTING SPECIFICATIONS

Scale: AS NOTED

Sheet No: **A8.1**

1 WAC LIGHTING 4" CYLINDER LED OUTDOOR WALL SCNCE