129 LANSDALE RENOVATION

CODE DATA

FIRE RESISTANCE RATING FOR BUILDING ELEMENTS PER CBC 2019 TABLE 601& 602

PROVIDED FOR TYPE V-B CONSTRUCTION TYPE & R-3 OCCUPANCY		
PRIMARY STRUCTURAL FRAME	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
EXTERIOR BEARING WALL	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
INTERIOR BEARING WALL	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
EXTERIOR NONBEARING WALL/PARTITION		
X< 5'	1 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
5 Ó X <10	1 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
10 Ó X <30	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
X Ó 30	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
INTERIOR NONBEARING WALL/PARTITION	0 HR	
FLOOR CONSTRUCTION & SECONDARY MEMBERS	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOPE
ROOF CONSTRUCTION & SECONDARY MEMBERS	0 HR	FOR REFERENCE, NO WORK IN PROJECT SCOP

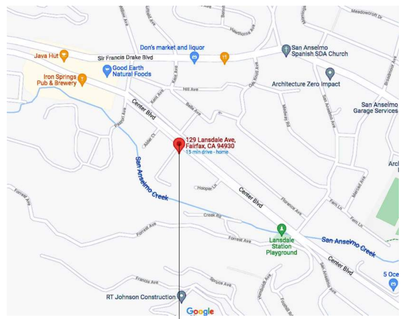
CODES

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
2019 CALIFORNIA RESIDENTIAL CODE
ALL OF THE ABOVE AS ADOPTED BY FAIRFAX CA

MARIN MUNICIPAL CODE, AS APPLICABLE

DEFERRED APPROVAL

RESIDENTIAL FIRE SPRINKLER SYSTEM



PROJECT LOCATION
129 LANSDALE AVE, FAIRFAX, CA

PROJECT DESCRIPTION

RENOVATION OF EXISTING HOME, AS FOLLOWS:
- RENOVATE L1 KITCHEN, LIVING, AND DINING ROOMS
- NEW ROOM LAYOUT AT L2, INCUDING REPLACEMENT OF 2 BATHROOMS
- REPLACEMENT OF WINDOWS & EXTERIOR DOORS, SOME IN NEW LOCATIONS
- NEW LIGHTING, INTERIOR ELECTRICAL, AND FIRE SPRINKLERS
- TOTAL BEDROOMS = 4

RENOVATION OF EXTERIOR / SITE WORK, AS FOLLOWS:
- REPLACE EXISTING SIDING W/ WUI-COMPLIANT SIDING
- REPLACE FRONT/LOW ROOF FINISH WITH STANDING SEAM METAL ROOFING
- REPLACE FRONT ENTRY PORCH
- RENOVATE REAR YARD LANDSCAPE MATERIALS
- CONSTRUCT SUN SHADE AND LOW DECK ON WEST SIDE OF HOME
- DEMO PORTION OF (E) POOL TO CONSTRUCT (2) PARKING STALLS

PROJECT DATA

ADDRESS	129 LANSDALE AVE, FAIRFAX 94930
APN	002-201-36
ZONING	RD-5.5-7
PARCEL AREA	6,000 SQ. FT.
MIN PARCEL AREA	5,500 SQ. FT.
17.084.070 YARDS	
FRONT & REAR YARD	25' MINIMUM COMBINED, 6' MIN
SIDE YARD	15' MINIMUM COMBINED, 5' MIN EACH
FAR MAX	0.40, EXCLUDING 500 SQ. FT. GARAGE
CONSTRUCTION TYPE	V-B
FIRE SPINKLERS	INSTALLED PER PROJECT
WUI ZONE	NO
OCCUPANCY	R-3

	EXISTING	PROPOSED
LOT SIZE	6,000 SQ. FT.	6,000 SQ. FT.
FOOTPRINT ALL STRUCTURES	1,994 SQ. FT.	1,942 SQ. FT.
REFER TO T1.3 FOR BREAKDOWN OF FOOTPRINT TOTAL		
HEIGHT	28.5'	28.5'
STORIES	2	2
LOT COVERAGE	3,666 SQ. FT.	1,942 SQ. FT.
LOT COVERAGE %	61%	32%
REFER TO T1.3 FOR BREAKDOWN OF LOT COVERAGE TOTAL		
NUMBER OF DWELLING UNITS	1	1
PARKING SPACES	1	3
(E) COVRD PARK'G STALL SIZE	17'-6" X 9'-8"	17'-6" X 9'-8"
(N) PARKING STALL SIZE		9' X 19'
LIVING SPACE SQ. FT.	2,442 SQ. FT.	2,432 SQ. FT.
FIRST FLOOR AREA	1,462 SQ. FT.	1,452 SQ. FT.
SECOND FLOOR AREA	980 SQ. FT.	980 SQ. FT.
THIRD FLOOR AREA	0 SQ. FT.	0 SQ. FT.
TOTAL	2,442 SQ. FT.	2,432 SQ. FT.
REFER TO T1.3 FOR BREAKDOWN OF FOOTPRINT TOTAL		
FAR	44%	43%
REFER TO T1.3 FOR BREAKDOWN OF AREAS INCLUDED IN FAR		
SQ. FT. IMPERVIOUS SURFACE		
HOUSE	1462 SQ. FT.	1462 SQ. FT.
POOL SHED	35 SQ. FT.	35 SQ. FT.
ACCESSORY STRUCT-SHED	134 SQ. FT.	134 SQ. FT.
GARAGE FOOTPRINT	190 SQ. FT.	190 SQ. FT.
WALKWAYS	290 SQ. FT.	0 SQ. FT.
PATIOS	0 SQ. FT.	0 SQ. FT.
IMPERVIOUS DECKS	173 SQ. FT.	131 SQ. FT.
MISC (POOL APRON)	1,382 SQ. FT.	0 SQ. FT.
TOTAL	3,666 SQ. FT.	1,942 SQ. FT.
SQ. FT. FILL		
FILL AT DEMO'D POOL, TO CONSTRUCT PARKING		36 CU YD
REFER TO T1.3 FOR CALC		
PARKING COMPLINACE		
EXISTING COVERED PARKING, TO REMAIN		1 STALL
NEW STANDARD STALL, REAR SIDE YARD		1 STALL
NEW GUEST STALL, REAR/SIDE YARD		1 STALL
TOTAL		3 STALLS

DRAWING INDEX

FLUID

FLUID STUDIOS INC
PO BOX 167
FOREST KNOLLS
CA 94933

PROPERTY OWNER
Kate MacLaughlin & Sampson Goff
129 Lansdale Ave, Fairfax CA 94930
cell: 510.414.1592
email: kate.s.maclaughlin@gmail.com

ARCHITECT
Fluid Studios, Inc
Attn: Andrew Davis
PO Box 167
Forest Knolls, CA 94933
415.250.1855
andrew@fluid-studios.com

LICENSED ARCHITECT
ANDREW J. DAVIS
NO. C28439
REN. 09-30-23
STATE OF CALIFORNIA

STRUCTURAL ENGINEER
BASE Design
attn: Katy Briggs, SE
582 Market St., Suite 1402
San Francisco, CA 94104
415.466.2997
katy@basedesigninc.com

ENERGY COMPLIANCE ENGINEER
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Eiki Or, PE
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San Francisco, CA 94103
eiki@mhcengr.com
415.512.7141

Project
129 LANSDALE AVE.
FAIRFAX, CA 94930
APN 002-201-36

SCALE: AS NOTED
SHEET

TITLE & GENERAL INFORMATION

T1.1

DATE:2023.02.08
JOB NUMBER: 2128

GREEN BUILDING EDUCATION

GREEN BUILDING EDUCATION AND SUPERVISION

PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES, INCLUDING ALL SITE GRADING, CONTRACTOR OR OWNER/BUILDER SHALL MEET WITH GREEN BUILDING RATER TO REVIEW GREEN AND ENVIRONMENTALLY FRIENDLY DEVELOPMENT GOALS APPLICABLE TO THE PROJECT. GOALS FOR THE PROJECT INCLUDE:

1. SITE PRESERVATION
   - GRADING AND CONSTRUCTION OF DRAINAGE STRUCTURES TO CONTROL STORM WATER
   - GRADING TO DIRECT STORM WATER AWAY FROM STRUCTURES
   - CONSTRUCTION OF STORM WATER DRAINAGE & RETENTION STRUCTURES
   - EV CHARGING STATION CIRCUITING

2. ENERGY EFFICIENCY
   - COMPLIANCE WITH ENERGY COMPLIANCE MODEL, INCLUDING ELECTRICAL AND BUILDING SHELL
   - INDOOR WATER EFFICIENCY AND CONSERVATION
   - OUTDOOR WATER EFFICIENCY AND CONSERVATION

3. MATERIAL CONSERVATION AND RESOURCE EFFICIENCY
   - CONSTRUCTION AND DEMOLITION WASTE REDUCTION, DISPOSAL AND RECYCLING
   - EFFICIENT FRAMING TECHNIQUES, AS APPLICABLE
   - MATERIAL SOURCES
   - RODENT-PROOFING FOR ENHANCED DURABILITY/REDUCED MAINTENANCE
   - PROPER WATER RESISTANCE AND MANAGEMENT IN BUILDING SHELL CONSTRUCTION
   - DEVELOPMENT OF AN OPERATION AND MAINTENANCE MANUAL, INCLUDING MAINTENANCE SCHEDULE
   - RECYCLING BY OCCUPANTS (POST CONSTRUCTION)

4. ENVIRONMENTAL QUALITY MEASURES
   - USE OF DIRECT-VENT-SEALED-COMBUSTION GAS FIREPLACES
   - COVERING DUCT OPENINGS
   - PROTECTION OF MECHANICAL EQUIPMENT FROM CONSTRUCTION ACTIVITIES
   - USE OF ZERO- AND LOW-VOC CONTENT ADHESIVES, FINISHES, SEALANTS, COATINGS
   - USE OF LOW-VOC CARPETS AND RESILIENT FLOORING SYSTEMS;
   - LIMITATION OF FORMALDEHYDE IN COMPOSITE WOOD PRODUCTS;
   - CONTROL OF INTERIOR MOISTURE VIA VAPOR RETARDERS
   - USE OF BUILDING MATERIALS WITH A MOISTURE CONTENT OF 19% OR LESS;

5. INDOOR AIR QUALITY
   - BATHROOMS TO BE MECHANICALLY VENTED, INCLUDING AUTOMATIC HUMIDISTAT CONTROLS
   - HEATING AND AC SYSTEM STO BE SIZED AND DESIGNED PER ANSI/ACCA 2 MANUAL, ASHRAE HANDBOOK, OR EQUIVALENTINGS OR THE CONTRACT SUM, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. THE CONTRACTOR SHALL VERIFY DIMENSIONS AGAINST FIELD CONDITIONS. ALL TRADES SHALL VERIFY AT THE PROJECT SITE CONDITIONS AND MEASUREMENTS RELATED TO THEIR WORK.

GENERAL CONDITIONS

1. THESE GENERAL CONDITIONS ARE FOR THE 129 LANSDALE AVENUE, FAIRFAX, CA, PROJECT.

2. ALL APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, CURRENT EDITION AND AS ADOPTED BY THE TOWN OF FAIRFAX SHALL BE ADHERED TO IN THE CONSTRUCTION OF THIS PROJECT. IT IS THE CONTRACTORS ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER THESE CODES.

3. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES. CONTRACTOR SHALL PAY ALL FEES, MISC. COSTS, AND OBTAIN AND PAY FOR ALL PERMITS NECESSARY TO COMPLETE ALL WORK, WITH THE EXCEPTION OF THE BUILDING PERMIT WHICH THE OWNER SHALL PAY FOR PRIOR TO THE START OF WORK. BEFORE FINAL ACCEPTANCE OF ANY PART OF THE WORK, THE CONTRACTOR SHALL FURNISH THE OWNER WITH ALL APPROPRIATE CERTIFICATES OF INSPECTION STATING THAT THE WORK HAS BEEN INSPECTED AND APPROVED BY THE BUILDING DEPARTMENT.

4. THE CONTRACTOR SHALL CARRY IN FORCE ALL NEEDED INSURANCE, LICENSES, FEES, PERMITS AND TAXES AS REQUIRED BY LAW FOR THE DURATION OF THE PROJECT.

5. THE CONTRACTOR SHALL MAINTAIN LIABILITY INSURANCE TO PROTECT HIMSELF AND HOLD THE OWNER AND THE ARCHITECT HARMLESS FROM ANY AND ALL CLAIMS FOR DAMAGES, FOR PERSONAL BODILY INJURY OR DEATH, OR PROPERTY DAMAGE DURING THE COURSE OF THE CONTRACT FOR CONSTRUCTION.

6. THE CONTRACTOR SHALL PROVIDE SUFFICIENT MEANS FOR PROTECTING EXISTING EXPOSED INTERIOR FINISHES AND NEW CONSTRUCTION AND MATERIALS FROM DAMAGE BY OTHER TRADES, WEATHER, OR VANDALS FOR THE COURSE OF THE PROJECT.

7. ALL FIXTURES, FINISHES, INSULATION, HARDWARE, EQUIPMENT, APPLIANCES, AND MISCELLANEOUS ITEMS SHALL BE SELECTED AND OR APPROVED BY THE OWNER UNLESS NOTED ON PLANS OR THESE SPECIFICATIONS.

8. THE CONTRACTOR SHALL MAKE THE PROPERTY OWNER, SCHOOL ADMINISTRATION, AND IMMEDIATE NEIGHBORS AWARE 24 HOURS IN ADVANCE OF CONSTRUCTION ACTIVITIES THAT ARE POTENTIALLY DISRUPTIVE.

9. THE ARCHITECT WILL IN NO WAY BE RESPONSIBLE FOR HOW THE WORK IS PERFORMED, SAFETY IN ON OR ABOUT THE JOB SITE, METHODS OF PERFORMANCE OR TIMELINESS IN THE PERFORMANCE OF THE WORK.

10. SHOP AND FIELD WORK SHALL BE PERFORMED BY MECHANICS, CRAFTSMEN, AND WORKERS SKILLED AND EXPERIENCED IN THE FABRICATION AND INSTALLATION OF THE WORK INVOLVED. ALL WORK ON THIS PROJECT SHALL BE PERFORMED IN ACCORDANCE WITH THE BEST ACCEPTED PRACTICES OF THE VARIOUS TRADES INVOLVED AND IN ACCORDANCE WITH THESE DRAWINGS, ANY SHOP DRAWINGS, AND THESE SPECIFICATIONS.

11. THE ARCHITECT RESERVES THE RIGHT TO REJECT ANY MATERIALS AND WORK QUALITY WHICH ARE NOT CONSIDERED TO BE UP TO THE HIGHEST STANDARDS OF THE VARIOUS TRADES INVOLVED. SUCH INFERIOR MATERIAL OR WORK QUALITY SHALL BE REPAIRED OR REPLACED, AS DIRECTED, AT NO ADDITIONAL COST TO THE OWNER.

12. THESE CONSTRUCTION DOCUMENTS ARE BASED ON OBSERVATION AND DOCUMENTATION OF EXISTING CONDITIONS BY THE ARCHITECT. THE ARCHITECT FOR THIS PROJECT MAKES NO CLAIMS THAT THE INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY PORTRAYS THE ACTUAL CONSTRUCTION. SHOULD THE CONTRACTOR ENCOUNTER FIELD CONDITIONS WHICH VARY FROM THESE CONSTRUCTION DOCUMENTS WHICH EFFECT THE INTENT OF THESE DRAWINGS OR THE CONTRACT SUM, THE ARCHITECT SHOULD BE NOTIFIED IMMEDIATELY. THE CONTRACTOR SHALL VERIFY DIMENSIONS AGAINST FIELD CONDITIONS. ALL TRADES SHALL VERIFY AT THE PROJECT SITE CONDITIONS AND MEASUREMENTS RELATED TO THEIR WORK.

13. THE CONTRACTOR SHALL NOT SCALE THE DRAWINGS. ANY NEW AND EXISTING WALLS OR FLOOR AND CEILING SURFACES ARE TO ALIGN WITH EXISTING ADJACENT SURFACES.

14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE BUILDING LINES AND LEVELS.

15. THE CONTRACTOR SHALL INSURE THAT CUTTING, FITTING, PATCHING ETC. BY ALL TRADES CAUSES ALL PARTS TO COME TOGETHER PROPERLY.

16. TRADES SHALL FURNISH ALL LABOR, EQUIPMENT, MATERIALS AND SERVICES REQUIRED TO PERFORM ALL WORK NECESSARY, INDICATED, REASONABLY INFERRED, OR REQUIRED BY ANY CODE WITH JURISDICTION TO COMPLETE THEIR SCOPE OF WORK FOR A COMPLETE AND PROPERLY FINISHED JOB USING ONLY NEW MATERIALS IN ACCORDANCE WITH THE BEST ACCEPTED STANDARDS OF WORKMANSHIP. ANY ITEMS SCHEDULED TO BE FURNISHED BY THE OWNER TO BE INSTALLED BY THE CONTRACTOR.

17. THE CONTRACTOR SHALL HAVE A SUPERINTENDENT AT THE CONSTRUCTION SITE WHENEVER ANY WORK UNDER THIS CONTRACT IS BEING PERFORMED IN ORDER TO PROVIDE CONSTANT SUPERVISION.

18. THE CONTRACTOR SHALL MAINTAIN THE JOB SITE IN A NEAT AN SAFE CONDITIONS IN ACCORDANCE WITH TITLE 8 OF CONSTRUCTION SAFETY ORDERS AS ENFORCED BY THE DIVISION OF INDUSTRIAL SAFETY AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL WEEKLY CLEAN UP, REMOVE AND DISPOSE IN A LEGAL MANNER ALL DEBRIS AND WASTE ATTRIBUTED TO THE JOB.

19. CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF OPENINGS FOR VENTS, DUCTS, PLUMBING RUNS, ELECTRICAL FIXTURES, ETC. WITH PRODUCT SPECIFICATIONS AND ARCHITECTURAL DRAWINGS.

20. THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION SHALL BE MAINTAINED AT LEVELS GENERALLY ACCEPTABLE WITHIN THE CONSTRUCTION INDUSTRY BY THE USE OF BRACING, SHORING, AND UNDERPINNING UNTIL THE PROPOSED AND FUTURE STRUCTURAL MODIFICATIONS ARE COMPLETED. IN NO CASE SHALL THE STRUCTURE BE ALLOWED TO BECOME UNSAFE DURING CONSTRUCTION. THE BRACING AND SHORING SYSTEMS REQUIRED TO PROVIDE TEMPORARY SUPPORT OF THE EXISTING STRUCTURE DURING CONSTRUCTION SHALL BE DESIGNED TO SUPPORT THE DEAD, LIVE, SOIL, EARTHQUAKE AND WIND LOADS THAT MAY BE IMPOSED ON THE STRUCTURE DURING CONSTRUCTION IN ACCORDANCE WITH INDUSTRY STANDARDS AND GENERALLY ACCEPTED ENGINEERING PRINCIPALS.

21. CONTRACTOR SHALL PROVIDE ALL NECESSARY BLOCKING, STIFFENERS, BRACING, FRAMING, HANGERS, OR OTHER SUPPORT FOR ALL FIXTURES, EQUIPMENT, CABINETRY, FURNISHINGS AND ALL OTHER ITEMS REQUIRING THE SAME.

22. THE CONTRACTOR SHALL IDENTIFY CRITICAL DUE DATES FOR A) OWNER SELECTIONS TO BE PURCHASED AND INSTALLED BY THE CONTRACTOR AND B) CONTRACTOR RECEIPT OF OWNER PURCHASED ITEMS TO BE INSTALLED BY THE CONTRACTOR.

23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OR REPAIR OF ANY DAMAGE CAUSED BY HIM OR HIS SUBCONTRACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES ENCOUNTERED IN AREAS WHERE EXCAVATIONS ARE INDICATED AND SHALL REPAIR ANY SUCH DAMAGE AT HIS/HER OWN EXPENSE.

24. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR ONE YEAR, FROM THE DATE OF COMPLETION OF THE WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR ANY DEFECTS OR FAULTY MATERIALS UNDER THE GUARANTEE PERIOD.

25. THE CONTRACTOR SHALL PROVIDE THE OWNER A LIST OF ALL FEATURES, COMPONENTS, AND MECHANICAL DEVICES, AND INSTRUCTIONS ON HOW TO USE THEM EFFICIENTLY.

26. ALL EXISTING CONDITIONS NOT NOTED ON THE PLANS IN THE SCOPE OF WORK ARE TO REMAIN AND SHALL BE PROTECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL REPLACE IN KIND AT HIS/HER COST ANY ITEMS DAMAGED BY PERFORMANCE OF THE WORK.

27. DIMENSIONS ARE TO F.O. STUD, UNLESS NOTED OTHERWISE

28. SINCE ALL THE CONTRACT DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER, THE CONTRACTOR IS OBLIGATED TO STUDY AND COMPARE THE DRAWINGS AND OTHER CONTRACT DOCUMENTS BEFORE STARTING EACH PORTION OF WORK. ADDITIONALLY, THE CONTRACTOR IS OBLIGATED TO TAKE FIELD MEASUREMENTS AND OBSERVATIONS OF ANY CONDITIONS AFFECTING EACH PORTION OF WORK. THESE OBLIGATIONS ARE INTENDED ONLY TO FACILITATE CONSTRUCTION. IN THE EVENT OF INCONSISTENCIES, CONFLICTS, AND/OR MISSING INFORMATION BETWEEN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL REPORT SUCH TO THE ARCHITECT IN THE FORM OF A REQUEST FOR INFORMATION PRIOR TO PROCEEDING WITH EACH PORTION OF THE WORK.

ABBREVIATIONS

L	ANGLE
@	AT
&	AND
℄	CHANNEL
∠	DEGREE
Ø	DIAMETER
LM	MATCH LINE
+/-	PLUS OR MINUS
PL	PROPERTY LINE
AB	ANCHOR BOLT
ABV	ABOVE
A/C	AIR CONDITIONING
AC	ACOUSTIC
A.C.T.	ACOUSTIC CEILING TILE
ACST	ACOUSTIC
A.D.A.	AMERICANS W/ DISABIL. ACT
ADDM	ADDENDUM
ADMIN	ADMINISTRATION
ADJ	ADJUSTABLE
AE	ARTISTIC ELEMENT
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
AISC	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ALLOW	ALLOWANCE
ALT	ALTERNATE
ALUM	ALUMINUM
ANC	ANCHOR(AGE)
ANOD	ANODIZED
AP	ACCESS PANEL
APA	AMERICAN PLYWOOD ASSOCIATION
APPROX	APPROXIMATE
ARCH	ARCHITECT(URAL)
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS
ASHRAE	AMERICAN SOCIETY OF HEATING, REFRIGERATION AND AIR CONDITIONING ENGINEERS
ASME	AMERICAN SOCIETY OF MECHANICAL ENGINEERS
ATTMT	ATTACHMENT
ATTN	ATTENTION
AUTO	AUTOMATIC
AUX	AUXILIARY
AV	AUDIO/VISUAL
AVE	AVENUE
AVG	AVERAGE
B/B	BACK TO BACK
BC	BOTTOM CHORD
BD	BOARD
BFF	BELOW FINISH FLOOR
BITUM	BITUMINOUS
BKG	BACKING
BL	BASE LINE
BLDG	BUILDING
BLKG	BLOCKING
BLW CLG	BELOW CEILING
BM	BEAM
BOT	BOTTOM
BOH	BACK OF HOUSE
B PL	BASE PLATE
BRK	BRICK
BRZ	BRONZE
BW	BOTH WAYS
BYND	BEYOND
C TO C	CENTER TO CENTER
C VALUE	THERMAL CONDUCTANCE
CAB	CABINET
CATW	CATWALK
CD	CONSTRUCTION DOCUMENTS
CD	CONTRACT DOCUMENTS
CER	CERAMIC
CF	CONTRACTOR FURNISHED
CFE	CONTRACTOR FURNISHED EQUIPMENT
CF/CI	CONTRACTOR FURNISHED/ CONTRACTOR INSTALLED
CF/OI	CONTRACTOR FURNISHED/ OWNER INSTALLED
CHFR	CHAMFER
CHW	CHILLED WATER
CHWR	CHILLED WATER RETURN
CHWS	CHILLED WATER SUPPLY
CIP	CAST IN PLACE
CIR	CIRCLE
CJ	CONSTRUCTION JOINT
CJ	CONTROL JOINT
CKT	CIRCUIT
CL	CENTER LINE
℄	CENTER LINE
CLG	CEILING
CLG DIF	CEILING DIFFUSER
CLG HT	CEILING HEIGHT
CLK	CAULK(ING)
CLL	COLUMN LINE
CLL	CONTRACT LIMIT LINE
CLO	CLOSET
CLR	CLEAR
COL	COLUMN
CMU	CONCRETE MASONRY UNIT
CONC	CONCRETE
CONF	CONFERENCE
CONN	CONNECTION
CONSTR	CONSTRUCTION CONSULTANT
CONT	CONTINUOUS
CONTR	CONTRACTOR
COORD	COORDINATE
CORR	CORRIDOR
CPT	CARPET
CR	CLOSET ROD
CS	CAST STONE
CT	CERAMIC TILE
CTR	CENTER
CTRL	CONTROL
CU FT	CUBIC FEET
CU YD	CUBIC YARDS
DB	DECIBEL
DBL	DOUBLE
DEMO	DEMOLISH(ION)
DET	DETAIL
DF	DRINKING FOUNTAIN
DHW	DOMESTIC HOT WATER
DIA	DIAMETER
DIAG	DIAGONAL
DIAG	DIAGRAM
DIM	DIMENSION
DIR	DIRECTION
DISP	DISPENSER
DIST	DISTANCE
DMPF	DAMP PROOFING
DN	DOWN
DOZ	DOZEN
DR	DOOR OR DRAIN
DR CL	DOOR CLOSER
DR FR	DOOR FRAME
DRW	DRAWER
DW	DISH WASHER
DW	DOMESTIC WATER
DWH	DOMESTIC WATER HEATER
DWR	DOMESTIC WATER RETURN
DWH	DOMESTIC WATER SUPPLY
DWG	DRAWING
E	EXISTING
(E)	EXISTING
EA	EACH
EDF	ELECTRIC DRINKING FOUNTAIN
EFS	EXTERIOR FINISH SYSTEM
EGB	EXTERIOR GYPSUM BOARD
EGSB	EXTERIOR GYPSUM SHEATHING BOARD
EIFS	EXTERIOR INSULATION AND FINISH SYSTEM
EJ	EXPANSION JOINT
EL	ELEVATION (HEIGHT)
ELEV	ELEVATOR
ELEC	ELECTRIC(AL)
ENCL	ENCLOSURE
ENTR	ENTRANCE
EP	ELECTRICAL PANEL
EQ	EQUAL
EQUIP	EQUIPMENT
EQUIV	EQUIVALENT
ESCAL	ESCALATOR
EST	ESTIMATE
EXH	EXHAUST
EXIST	EXISTING
EXIST'G	EXISTING
EXP	EXPOSED OR EXPANSION
EXST GR	EXISTING GRADE
EXT	EXTERIOR OR EXTINGUISHER
EXT GR	EXTERIOR GRADE
FA	FIRE ALARM
FAR	FLOOR AREA RATIO
FC	FOOT CANDLE
FCU	FAN COIL UNIT
FD	FLOOR DRAIN
FDC	FIRE DEPT CONNECTION
FDR	FIRE DOOR
FDTN	FOUNDATION
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF EL	FINISH FLOOR ELEVATION
FF	FACE OF FINISH
FF&E	FURNITURE, FIXTURES, AND EQUIPMENT
FG	FIXED GLASS
FH	FIRE HYDRANT
FHC	FIRE HOSE CABINET
FHWS	FLAT HEAD WOOD SCREW
FIN	FINISH(ED)
FIN BS	FINISH BOTH SIDES
FIX	FIXTURE
FLASH	FLASHING
FL	FLOOR
FLO	FLUORESCENT
FLR	FLOOR
FO	FINISHED OPENING
FOC	FACE OF CONCRETE
FOF	FACE OF FINISH
FOS	FACE OF STUD
FOUNT	FOUNTAIN
FOW	FACE OF WALL
FP	FIRE PROOF
FR	FIRE RATING
FRG	FIBER REINFORCED GYPSUM
FRP	FIBERGLASS REINFORCED PLASTIC
FS	FACE OF STUD
FT	FOOT/FEET
FTG	FOOTING
FURN	FURNITURE/FURNISHING
FURG	FURRING
FV	FIELD VERIFY
FWC	FABRIC WALL COVERING
GA	GAUGE
GALV	GALVANIZED
GB.	GRAB BAR
GC	GENERAL CONTRACTOR
GFRC	GLASS FIBER REINFORCED CONCRETE
GFRG	GLASS FIBER REINFORCED GYPSUM
GFRP	GLASS FIBER REINFORCED PLASTER
GL	GLASS
GL BM	GLU LAM BEAM
GLZ	GLAZING
GR FL	GROUND FLOOR
GR LN	GRADE LINE
GSB	GYPSUM SHEATHING BOARD
GWT	GLAZED WALL TILE
GYM	GYMNASIUM
GYP	GYPSUM
GYP BD	GYPSUM BOARD
GYP PLAS	GYPSUM PLASTER
HB	HOSE BIBB
HC	HOLLOW CORE
HCWD	HOLLOW CORE WOOD DOOR
H&CW	HOT AND COLD WATER
HCP	HANDICAPPED
HD	HEAVY DUTY
HDBD	HARDBOARD
HDO	HIGH DENSITY OVERLAY
HDR	HEADER
HDWD	HARDWOOD
HDW	HARDWARE
HM	HOLLOW METAL
HMD	HOLLOW METAL DOOR
HMDF	HOLLOW METAL DOOR AND FRAME
HMF	HOLLOW METAL FRAME
HOR	HORIZONTAL
HSKPG	HOUSEKEEPING
HT	HEIGHT
HVAC	HEATING/VENTILATING/AIR CONDITIONING
HW	HOT WATER
HYD	HYDRANT
HYDR	HYDRAULIC HZ HERTZ
IBC	INTERNATIONAL BUILDING CODE
ID	INSIDE DIAMETER OR INTERIOR DESIGN(ER)
IFS	INSIDE FACE OF STUD
ILLUM	ILLUMINATION
INCL	INCLUDE(ING)
INSUL	INSULATION
INSUL PNL	INSULATED METAL PANEL
INT	INTERIOR
INTM	INTERMEDIATE
IR	INSIDE RADIUS
IS	INSECT SCREEN
JAN	JANITOR
JAN CL	JANITOR CLOSET
J-BOX	JUNCTION BOX
JT	JOINT
K	THOUSAND
K VALUE	THERMAL CONDUCTIVITY
kHZ	KILOHERTZ
KIT	KITCHEN
KIT	KITCHEN
KO	KNOCKOUT
KPL	KICKPLATE
KSF	KIPS PER SQUARE FOOT
KSI	KIPS PER SQUARE INCH
KW	KILOWATT
LAB	LABORATORY
LAM	LAMINATE
LAM GL	LAMINATED GLASS
LAM PL	LAMINATED PLASTIC
LAV	LAVATORY
LB	POUNDS
LC	LAUNDRY CHUTE
LCD	LINEAR CEILING DIFFUSER
LCMU	LIGHTWEIGHT CONCRETE MASONRY UNIT
LD	LINEAR DIFFUSER LF LINEAR FT
LH	LEFT HAND
LHR	LEFT HAND REVERSE
LIB	LIBRARY
LIN	LINEAR
LMST	LIMESTONE
LP	LIGHT POLE
LL	LANDLORD
LPW	LUMENS PER WATT
LT	LIGHT
LT WT	LIGHTWEIGHT
LTC	LIGHTWEIGHT CONCRETE
LTG	LIGHTING
LTG PNL	LIGHTING PANEL
LV	LOW VOLTAGE
LVR	LOUVER(ED)
LWIC	LIGHTWEIGHT INSULATING CONCRETE
LS	LAG SCREW
M	METER
MAHOG	MAHOGANY
MAINT	MAINTENANCE
MATL	MATERIAL
MAX	MAXIMUM
MC	MECHANICAL CONTRACTOR
MB	MACHINE BOLT
MC	METAL CLAD
MD	METAL DECK
MDO	MEDIUM DENSITY OVERLAY
ME	MECHANICAL ENGINEER
MECH	MECHANICAL
MECH RM	MECHANICAL ROOM
MED	MEDIUM
METD	METAL DOOR
METF	METAL FLASHING
MEZZ	MEZZANINE
MF	MILL FINISH
MFR	MANUFACTURER
MFR REC	MANUFACTURER'S RECOMMENDATION
MH	MANHOLE
MHZ	MEGAHERTZ
MIC	MICROPHONE
MLWK	MILLWORK
MIN	MINIMUM
MIRR	MIRROR
MISC	MISCELLANEOUS
MLDG	MOULDING
ML&P	METAL LATH AND PLASTER
MM	MILLIMETER
MO	MASONRY OPENING
MR	MOISTURE RESISTANT
MRB	MARBLE BASE
MRF	MARBLE FLOOR
MRT	MARBLE THRESHOLD
MS	MOP SINK
MT	MOUNTED
MTD	MOUNTED
MTG	MEETING
MTL	METAL
MULL	MULLION
MULT	MULTIPLE
MW	MEGAWATT
mW	MILLIWATT
MWP	MEMBRANE WATERPROOFING
N	NEW
(N)	NEW
NA	NOT APPLICABLE
NCOMBL	NONCOMBUSTIBLE
NFC	NATIONAL FIRE CODE
NIC	NOT IN CONTRACT
NLB	NON LOAD BEARING
NO	NUMBER
NOC	NOTICE OF CLARIFICATION
NOM	NOMINAL
NONFLMB	NONFLAMMABLE
NRS	NOISE REDUCTION COEFFICIENT
NTS	NOT TO SCALE
O/	OVER
OA	OUTSIDE AIR OR OVERALL
OBS	OBSCURED
OC	ON CENTER
OD	OUTSIDE DIAMETER
OF	OUTSIDE FACE
OFCI	OWNER FURNISHED/ CONTRACTOR INSTALLED
OFD	OVERFLOW DRAIN
OFF	OFFICE
OFS	OUTSIDE FACE OF STUDS
OH	OVERHEAD
OH DR	OVERHEAD DOOR (COILING)
O/O	OUT TO OUT
OPNG	OPENING
OPH	OPPOSITE HAND
OPP	OPPOSITE
OPR	OPERABLE
OPT	OPTIONAL
ORD	OVERFLOW ROOF DRAIN OR ORDINANCE
ORIG	ORIGINAL
OR	OUTSIDE RADIUS
ORN	ORNAMENTAL
OSB	ORIENTED STRAND BOARD
OZ	OUNCE
P	POLE
PAR	PARALLEL OR PARAPET
PBD	PARTICLE BOARD
PC	PORTLAND CEMENT
PCC	PRECAST CONCRETE
PCF	POUNDS PR CUBIC FEET
PCI	RECAST/PRESTRESSED CONCRETE INSTITUTE
PCP	PORTLAND CEMENT PLASTER
PERIM	PERIMETER
PERM	PERMANENT
PERP	PERPENDICULAR
PHWS	PHILLIPS HEAD WOOD SCRE
PI	POINT OF INTERSECTION
PIL	PILASTER
PK GAR	PARKING GARAGE
PK LOT	PARKING LOT
PL	PROPERTY LINE
PLAS	PLASTER OR PLASTIC
PLAM	PLASTIC LAMINATE
PLBG	PLUMBING
PLYWD	PLYWOOD
PNL	PANEL
POL	POLISHED
PPGL	POLISHED PLATE GLASS
PR.	PAIR
PRKG	PARKING
PREFAB	PREFABRICATED
PSF	POUNDS PER SQUARE FOOT
PSI	POUNDS PER SQUARE INCH
PSL	PARALLEL STRAND LUMBER
PT	PRESSURE TREATED OR PAINT
PT CONC	POST TENSIONED CONCRETE
PTN	PARTITION
PUR	PURLINS
REQD	REQUIRED
REFL.	REFLECTED
RM	ROOM
SA	SELF ADHERED
SAWPM	SELF ADHERED WP MEMBRANE
SCHED	SCHEDULED
SECT.	SECTION
SHT'G	SHEATING
SIM	SIMILAR
SMS	SHEET METAL SCREW
STL	STEEL
STRUCT.	STRUCTURE
SAD	SEE ARCHITECTURAL DWG'S
SCD	SEE CIVIL DRAWINGS
SED	SEE ELECTRICAL DRAWINGS
SID	SEE INTERIOR DRAWINGS
SLD	SEE LANDSCAPE DRAWINGS
SMD	SEE MECHANICAL DRAWINGS
SMS	SHEET METAL SCREW
SPD	SEE PLUMBING DRAWINGS
SSD	SEE STRUCTURAL DRAWINGS
ST STL	STAINLESS STEEL
STL	STEEL
SUSP.	SUSPENDED
TEMP	TEMPORARY
TH	THICK
TYP	TYPICAL
T.B.D.	TO BE DETERMINED
T & G	TONGUE & GROOVE
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMPOSITION TILE
VERT	VERTICAL
V.I.F.	VERIFY IN FIELD
W/	WITH
WD	WOOD
WO	WHERE OCCURS
W/O	WITHOUT
WP	WATER PROOF
&	AND
#	POUND

SYMBOLS & LEGEND

- FIRE EXTINGUISHER W/ BRACKET
- FEC — FIRE EXTINGUISHER IN SEMI-RECESSED CABINET
- 99 — KEY NOTE
- P999 — PLUMBING FIXTURE
- W999 — WASHROOM EQUIPMENT
- C999 — CASEWORK
- A999 — EQUIPMENT
- 9 — REVISION
- BREAK LINE
- 1" — DIMENSION
- HEY — NOTE
- 99 — WALL OR HORIZONTAL ASSEMBLY TYPE
- 99 — DOOR
- 99 — WINDOW
- 99 / T1.2 — DETAIL
- 99 / A99.9 — SECTION
- 99 / A99.9 — ELEVATION

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LICENSED ARCHITECT
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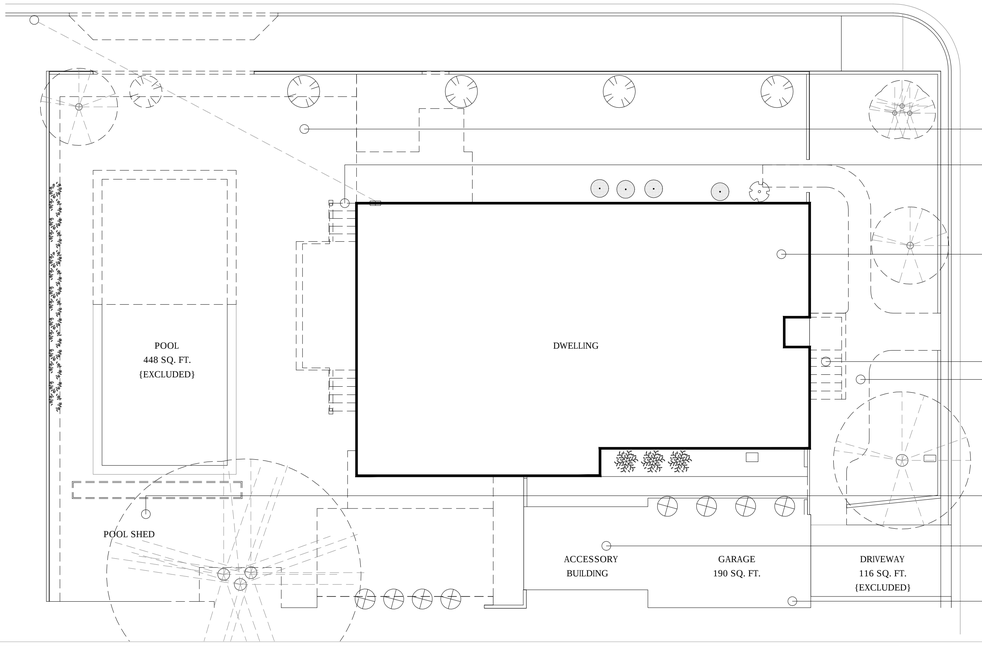
APN 002-201-36

SCALE: NTS SHEET

GENERAL CONDITIONS
LEGEND & SYMBOLS

T1.2

DATE: 2023.02.08
JOB NUMBER: 2128



FILL @ POOL DEMO
196 SQ. FT. X 5' AVG. DEPTH = 980 CU. FT.
980/ 27 = 36 CU YD

IMPERMEABLE LOT COVERAGE

EXISTING	PROPOSED	DESCRIPTION
1382 SQ. FT.		REAR YARD POOL SURROUND (POOL EXCLUDED)
125 SQ. FT.		REAR YARD DECK
1462 SQ. FT.		DWELLING FOOTPRINT
48 SQ. FT.		FRONT YARD PORCH
290 SQ. FT.		FRONT YARD WALKWAY & PORCH
35 SQ. FT.		ACCESSORY STRUCTURE (POOL SHED)
134 SQ. FT.		ACCESSORY STRUCTURE (OFFICE)
190 SQ. FT.		GARAGE
3666 SQ. FT.		TOTAL, EXISTING COVERAGE
61%		COVERAGE % OF 6,000 SQ. FT. PARCEL AREA
	2,100 SQ. FT.	MAXIMUM ALLOWED COVERAGE {35% OF 6,000}
	1,566 SQ. FT.	SQ. FT. OVER ALLOWABLE

FOOTPRINT OF ALL STRUCTURES

EXISTING	PROPOSED	DESCRIPTION
1462 SQ. FT.		HOME
125 SQ. FT.		REAR YARD DECK
48 SQ. FT.		FRONT YARD PORCH
35 SQ. FT.		ACCESSORY STRUCTURE (POOL SHED)
134 SQ. FT.		STORAGE SHED
190 SQ. FT.		GARAGE
1994 SQ. FT.		TOTAL
	1452 SQ. FT.	HOME
	131 SQ. FT.	FRONT YARD PORCH
	35 SQ. FT.	ACCESSORY STRUCTURE (POOL SHED)
	134 SQ. FT.	ACCESSORY STRUCTURE
	190 SQ. FT.	GARAGE
	1942 SQ. FT.	TOTAL

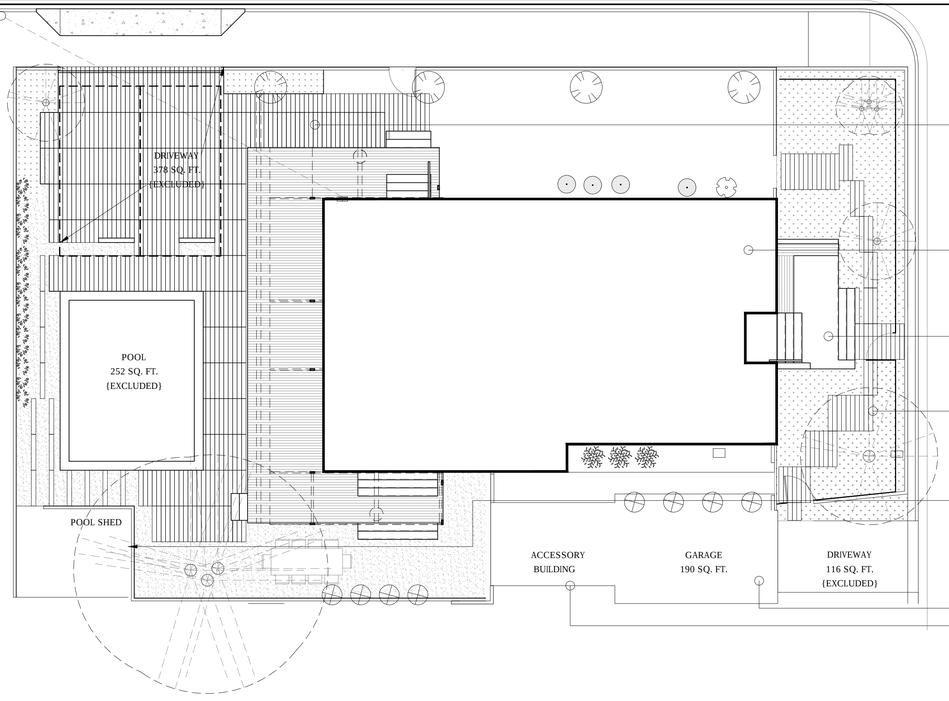
LIVING SPACE SQUARE FOOTAGE

EXISTING	PROPOSED	DESCRIPTION
1462 SQ. FT.	1452 SQ. FT.	FIRST FLOOR
980 SQ. FT.	980 SQ. FT.	SECOND FLOOR
2442 SQ. FT.	2432 SQ. FT.	

FLOOR AREA RATIO

1,462 SQ. FT.	1,452 SQ. FT.	L1 FLOOR AREA (OUTSIDE F.O. WALL)
980 SQ. FT.	980 SQ. FT.	L2 FLOOR AREA (OUTSIDE F.O. WALL)
35 SQ. FT.	35 SQ. FT.	POOL SHED
134 SQ. FT.	134 SQ. FT.	ACCESSORY BUILDING
0 SQ. FT.	0 SQ. FT.	GARAGE
2,611 SQ. FT.	2,601 SQ. FT.	TOTAL
6,000 SQ. FT.		LOT AREA
.44	.43	FAR
.40		FAR ALLOWED PER 17.136.030.A

NOTES:
A ACCESSORY STRUCTURES INCLUDED PER SEC 17.136.030.B (CONTAIN UTILITIES)
B GARAGE AREA EXCLUDED PER SEC 17.136.030.B (UP TO 500 SQ. FT. ALLOWED)
C LEGAL NONCONFORMING FLOOR AREA ALLOWED PER 17.136.040.A.



1047 SQ. FT. PAVING & DECK (PERVIOUS/NOT INCLUDED)

1452 SQ. FT. DWELLING FOOTPRINT

131 SQ. FT. FRONT YARD PORCH (IMPERVIOUS)

127 SQ. FT. FRONT YARD PAVING (PERVIOUS / NOT INCLUDED)

35 SQ. FT. POOL SHED

190 SQ. FT. GARAGE

134 SQ. FT. ACCESSORY STRUCTURE

1942 SQ. FT. TOTAL, PROPOSED COVERAGE

32% COVERAGE %, OF 6,000 SQ. FT. PARCEL AREA

2100 SQ. FT. MAXIMUM ALLOWED COVERAGE {35% OF 6,000}

158 SQ. FT. SQ. FT. UNDER MAXIMUM ALLOWED

1,724 SQ. FT. REDUCTION, COMPARED TO EXISTING COVERAGE

17.040.010 35% MAX ALLOWED LOT COVERAGE; POOLS EXCLUDED

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FAIRFAX, CA 94930
APN 002-201-36

SCALE: ######
SHEET

SITE COVERAGE ANALYSIS

T1.3

DATE: 2023.02.08
JOB NUMBER: 2128

This checklist is effective January 1, 2020 and applies to additions and alterations of low-rise residential buildings including hotels, motels, lodging houses, dwellings, dormitories, condominiums, shelters, congregate residences, employee housing, factory-built housing and other types of dwellings containing sleeping accommodations, and accessory structures.

The provisions of this checklist apply only to the portions of the building being added to or altered within the scope of the permitted work when the cumulative square footage of the project is less than 1,200 square feet. Existing site and landscaping improvements that are not otherwise disturbed are also not subject to the requirements of CALGreen.

Submit this checklist with your plans to demonstrate compliance with the green building ordinance. This checklist includes modifications specific to Marin County. For more information on the County's Green Building requirements, please visit www.maringreenbuilding.org

For more information on CALGreen and complete measure language, see Chapters 4 and Appendix 4 here: https://codes.iccsafe.org/content/CAGBSC2019/table-of-contents

PROJECT DETAILS

129 Lansdale Ave, Fairfax — Project Address

002-201-36 — APN

Andrew Davis — Applicant Name (Please Print)

PROJECT VERIFICATION

The green building professional[1] has reviewed the plans and certifies that the mandatory and elective measures listed below are hereby incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the 2019 California Green Building Standards Code as amended by the County of Marin.

Signature

5/11/20222 — Date

Andrew Davis, Project Architect — Name & Title (Please Print)

[1] A qualified building professional can be an architect, engineer, contractor, or qualified green building professional, such as a CALGreen Special inspector.

DIVISION 4.1 PLANNING AND DESIGN

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

4.106.2 (MANDATORY) A plan is developed and implemented to manage stormwater runoff from the construction activities through compliance with the County of Marin's stormwater management ordinance.
Link: County of Marin's stormwater management ordinance

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* T1.7, T2.2

4.106.3 (MANDATORY) Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

A4.106.4.1 (MANDATORY) One- and two-family dwellings, and townhouses with attached private garages. If the project scope includes an upgrade of the electrical service panel, achieve Level 2 EV readiness including a raceway and dedicated 208/240-volt branch circuit, as required in the Marin County Building Code, Chapter 19.04, Subchapter 2.
Link: Marin County Building Code, Chapter 19.04, Subchapter 2

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

A4.106.4.2 (MANDATORY) Multifamily dwellings and hotels/motels. If the project scope includes an upgrade of the electrical service panel or modification of the parking lot, comply with EV Readiness requirements outlined in the Marin County Building Code, Chapter 19.04, Subchapter 2.
Link: Marin County Building Code, Chapter 19.04, Subchapter 2

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

DIVISION 4.2 ENERGY EFFICIENCY

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

4.201.1 (MANDATORY) Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* T24.1, T24.2

DIVISION 4.3 WATER EFFICIENCY AND CONSERVATION

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

4.303.1 (MANDATORY) Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A7.3

4.303.2 (MANDATORY) Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the *California Plumbing Code* and shall meet the applicable referenced standards.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A7.3, A11.1, A11.2

4.304.1 (MANDATORY) Residential developments shall comply with local water efficient landscape ordinance or the current California Department of Water Resources Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

DIVISION 4.4 MATERIAL CONSERVATION & RESOURCE EFFICIENCY

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

4.406.1 (MANDATORY) Annular spaces around pipes, electric cables, conduits, or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A11.1

4.408.1 (MANDATORY) Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with the reporting standards outlined by Zero Waste Marin.
Link: Zero Waste Marin

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* T1.2, A11.1

4.410.1 (MANDATORY) An operation and maintenance manual shall be provided to the building occupant or owner.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A11.1

4.410.2 (MANDATORY) Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve all buildings on the site and is identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance if more restrictive.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

DIVISION 4.5 ENVIRONMENTAL QUALITY

Note: All measures are mandatory unless not in project scope (Select Completed or Not Applicable [N/A])

4.503.1 (MANDATORY) Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with he U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances including the County of Marin Municipal Code (Wood-Burning Devices).
Link: County of Marin Municipal Code (Wood-Burning Devices)

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

4.504.1 (MANDATORY) Duct openings and other related air distribution component openings shall be covered during construction.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A2.5, A2.7, A11.1, A11.2

4.504.2.1 (MANDATORY) Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A11.1, A11.2

4.504.2.2 (MANDATORY) Paints, stains and other coatings shall be compliant with VOC limits.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A11.1, A11.2

4.504.2.3 (MANDATORY) Aerosol paints and coatings shall be compliant with product weighted MIR Limits for ROC and other toxic compounds.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A11.1, A11.2

4.504.2.4 (MANDATORY) Documentation shall be provided to verify that compliant VOC limit finish materials have been used. Documentation may include (but isn't limited to) the Manufacturer's product specification or field verification of on-site product containers.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A11.1, A11.2

4.504.3 (MANDATORY) Carpet and carpet systems shall be compliant with VOC limits.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

4.504.4 (MANDATORY) 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

4.504.5 (MANDATORY) Particleboard, medium density fiberboard (MDF), and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

A4.504.2 (MANDATORY) Install VOC compliant resilient flooring systems. Ninety (90) percent of floor area receiving resilient flooring shall comply with the VOC-emission limits established in section A4.504.2.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

A4.504.3 (MANDATORY) Thermal insulation installed in the building shall install thermal insulation in compliance with VOC limits

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A9.1, A9.2, A11.1, A11.2

4.505.2 (MANDATORY) Vapor retarder and capillary break is installed at slab on grade foundations.

Completed ☐ N/A ■ *Plan sheet reference (if applicable):* _____

4.505.3 (MANDATORY) Moisture content of building materials used in wall and floor framing is checked before enclosure.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A9.1, A9.2, A11.1, A11.2

4.506.1 (MANDATORY) Each bathroom shall be provided with the following:

1. ENERGY STAR fans ducted to terminate outside the building.
2. Fans must be controlled by a humidity control (Separate or built-in); OR functioning as a component of a whole-house ventilation system.
3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A2.5, A2.7, A11.1, A11.2

4.507.2 (MANDATORY) Duct systems are sized, designed, and equipment is selected using the following methods:

1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent.
2. Size duct systems according to ANSI/ACCA 1 Manual D - 2016 or equivalent.
3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.

Completed ■ N/A ☐ *Plan sheet reference (if applicable):* A2.5, A2.7

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APN 002-201-36

SCALE: AS NOTED SHEET

CALGREEN-1

T1.4A

DATE:2023.02.08
JOB NUMBER: 2128

MECHANICAL GENERAL NOTES

1. ALL MECHANICAL WORK SHALL CONFORM WITH
   - 1.1. 2019 CALIFORNIA BUILDING CODE, WITH LOCAL AMENDMENTS
   - 1.2. 2019 CALIFORNIA MECHANICAL CODE, WITH LOCAL AMENDMENTS
   - 1.3. 2019 CALIFORNIA PLUMBING CODE, WITH LOCAL AMENDMENTS
   - 1.4. 2019 CALIFORNIA ELECTRICAL CODE, WITH LOCAL AMENDMENTS
   - 1.5. 2019 CALIFORNIA FIRE CODE, WITH LOCAL AMENDMENTS
   - 1.6. 2019 CALIFORNIA ENERGY CODE, WITH LOCAL AMENDMENTS
2. ALL INDICATED DIMENSIONS AND LAYOUTS ARE APPROXIMATE AND ARE GIVEN FOR ESTIMATE PURPOSES ONLY. BEFORE PROCEEDING WITH THE WORK, THE CONTRACTOR SHALL CAREFULLY CHECK AND VERIFY ALL DIMENSIONS, SIZES AND REQUIRED CLEARANCES. CONTRACTOR SHALL AND SHALL ASSUME FULL RESPONSIBILITY FOR THE FITTING OF ALL EQUIPMENT AND MATERIALS HEREIN REQUIRED TO OTHER PARTS OF THE WORK AND TO THE WORK OF OTHER TRADES
3. CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF ALL EQUIPMENT REQUIRING READING, ADJUSTMENT, INSPECTION, REPAIRS, REMOVAL AND REPLACEMENT, AND ALL EQUIPMENT SHALL BE ACCESSIBLY LOCATED WITH REFERENCE TO THE FINISHED BUILDING.
4. DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH CHAPTER 6 OF THE LATEST EDITION OF THE CMC AND SMACNA MANUAL, CURRENT EDITION.
5. ALL BRACING OF DUCTS AND PIPING SHALL BE INSTALLED IN ACCORDANCE WITH SMACNA GUIDELINES FOR SEISMIC RESTRAINTS OF MECHANICAL AND PLUMBING SYSTEMS. WHERE BRACING DETAILS ARE NOT SHOWN ON DRAWINGS OR IN THE GUIDELINES, THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECT AND STRUCTURAL ENGINEER.
6. ALL FRESH AIR INTAKES SHALL BE LOCATED A MINIMUM OF 10'-0" FROM ANY SANITARY VENT, EXHAUST FAN DISCHARGE AND FLUE OF GAS FIRED EQUIPMENT. WHEN NECESSARY, EXTEND THE VENT OR PROVIDE ADDITIONAL FRESH AIR INTAKE DUCTWORK WITH APPROPRIATE CLEARANCE TO COMPLY WITH REQUIRED CLEARANCES.
7. WHERE ANCHORAGE DETAILS ARE NOT SHOWN ON THE DRAWINGS, THE FIELD INSTALLATION SHALL BE SUBJECT TO THE APPROVAL OF THE STRUCTURAL ENGINEER OR ARCHITECT.
8. REQUIRED ROUTING MAINTENANCE ACTION SHALL BE CLEARLY STATED AND INCORPORATED IN A READILY ACCESSIBLE MANUAL, WHICH SHALL INCLUDE EQUIPMENT IDENTIFICATION, LOCATION IN THE FINISHED WORK, AND MAINTENANCE SCHEDULE.
9. THE CONTRACTOR SHALL COORDINATE THE WORK WITH ALL TRADES AT THE SITE. AMBIGUITIES OR CONFLICTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
10. PENETRATION OF PIPES, CONDUITS, ETC. IN WALL REQUIRING PROTECTED OPENINGS SHALL BE FIRE STOPPED. FIRE STOP MATERIAL SHALL BE A U.L. TESTED AND APPROVED ASSEMBLY, APPROVED BY THE STATE FIRE MARSHAL.
11. CONTRACTOR SHALL VERIFY LOCATIONS FOR THERMOSTATS WITH THE ARCHITECT AND OWNER, AT THE SITE PRIOR TO INSTALL.
12. EACH SYSTEM PROVIDING HEATING OR COOLING AIR IN EXCESS OF 2,000 CFM SHALL BE EQUIPPED WITH AN AUTOMATIC SHUT-OFF. THE SHUT-OFF SHALL STOP THE AIR MOVING EQUIPMENT WHEN SMOKE IS DETECTED IN THE MAIN SUPPLY AIR DUCT SERVED BY THE SYSTEM.
13. CONTRACTORS SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS, FEES, AND INSPECTIONS REQUIRED BY GOVERNING AUTHORITIES.
14. SMOKE DETECTORS ASSOCIATED WITH SMOKE DAMPERS AND HVAC SHUT-OFFS SHALL BE TESTED BY AN APPROVED TESTING AGENCY OR A QUALIFIED THIRD PARTY SPECIAL INSPECTOR.
15. ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE PROTECTED DURING STORAGE ON THE CONSTRUCTION SITE, AND SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER ACCEPTABLE METHODS UNTIL THE FINAL STARTUP OF THE HEATING AND COOLING EQUIPMENT TO REDUCE THE AMOUNT OF DUST AND DEBRIS WHICH MAY COLLECT IN THE SYSTEM.
16. ALL REFRIGERANT PIPING SHALL BE INSULATED TO R-3 MINIMUM.
17. GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC SECTION 802.6 & SFMC SECTION 802.6.2.
18. LISTED DIRECT VENT APPLIANCES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. THE VENT TERMINAL OF A DIRECT-VENT APPLIANCE WITH AN INPUT OF 10 000 BTU/H (3KW) OR LESS SHALL BE LOCATED NOT LESS THAN 6 INCHES FROM AN AIR OPENING INTO A BUILDING, AND SUCH AN APPLIANCE WITH AN INPUT OVER] 10,000 BTU/H (3 KW) BUT NOT EXCEEDING 50 000 BTU/H (14.7 KW) SHALL BE INSTALLED WITH A 9 INCH VENT TERMINATION CLEARANCE. AND AN APPLIANCE WITH AN INPUT EXCEEDING 50 000 BTU/H (14.7KW) SHALL HAVE NOT LESS THAN A 12 INCH (305 MM) VENT TERMINATION CLEARANCE. THE BOTTOM OF THE VENT TERMINAL AND THE AIR INTAKE SHALL BE LOCATED NOT LESS THAN 12 INCHES ABOVE FINISHED GRADE.
19. CLEARANCES SPECIFIED AS FOLLOWS SHALL NOT INTERFERE WITH COMBUSTION AIR, ACCESSIBILITY OF OPERATION AND SERVICING. LISTED FLOOR-MOUNTED HOUSEHOLD COOKING APPLIANCES, WHERE INSTALLED ON COMBUSTIBLE FLOORS, SHALL BE SET ON THEIR OWN BASES OR AND SHALL BE INSTALLED IN ACCORDANCE WITH THEIR LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS. UNLISTED FLOOR-MOUNTED HOUSEHOLD COOKING APPLIANCES SHALL BE INSTALLED WITH NOT LESS THAN 6 INCHES (152 MM) CLEARANCE AT THE BACK AND SIDES TO COMBUSTIBLE MATERIAL. COMBUSTIBLE FLOORS UNDER UNLISTED APPLIANCES SHALL BE PROTECTED IN AN APPROVED MANNER.
20. HOUSEHOLD COOKING APPLIANCES SHALL HAVE A VERTICAL CLEARANCE ABOVE THE COOKING TOP OF NOT LESS THAN 30 INCHES TO COMBUSTIBLE MATERIAL OR METAL CABINETS. A MINIMUM CLEARANCE OF24 INCHES IS PERMITTED WHERE ONE OF THE FOLLOWING IS INSTALLED:
    (1) THE UNDERSIDE OF THE COMBUSTIBLE MATERIAL OR METAL CABINET ABOVE THE COOKING TOP IS PROTECTED WITH NOT LESS THAN 1/4 OF AN INCH (6.4 MM) INSULATING MILLBOARD COVERED WITH SHEET METAL NOT LESS THAN 0.0122 INCH THICK.
    (2) A METAL VENTILATING HOOD OF SHEET METAL NOT LESS THAN 0.0122 OF AN INCH (0.3099 MM) THICK IS INSTALLED ABOVE THE COOKING TOP WITH A CLEARANCE OF NOT LESS THAN 1/4 OF AN INCH (6.4 111M) BETWEEN THE HOOD AND THE UNDERSIDE OF THE COMBUSTIBLE MATERIAL OR METAL CABINET, AND THE HOOD IS AS WIDE AS THE APPLIANCE AND IS CENTERED OVER THE APPLIANCE.
    (3) A LISTED COOKING APPLIANCE OR MICROWAVE OVEN INSTALLED OVER A LISTED APPLIANCE SHALL BE IN ACCORDANCE WITH THE TERMS OF THE UPPER APPLIANCE LISTING AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
21. ALL INTERIOR SPACES INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH ACTIVE OF PASSIVE SPACE HEATING SYSTEMS CAPABLE OF MAINTAINING AN INDOOR TEMPERATURE OF NOT LESS THAN 68ÅF AT A POINT 3 FEET ABOVE FINISHED FLOOR ON THE DESIGN HEATING DAY
22. PROVIDE MIN 200 SQ IN VENTILATION OUTLET IN GARAGE WALLS OR EXTERIOR DOORS PER SFBC 406.3.3.
23. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION

MECHANICAL SYSTEMS

EXHAUST SYSTEMS

1. EXHAUST DUCTING SHALL BE 4" DIAMETER ROUND OR 3-1/4" X 10" RECTANGULAR. DUCTING SIZES IN EXCESS OF THESE MINIMUMS ARE ALLOWED AND WILL REDUCE PRESSURE DROPS.
   - 1.1. KITCHEN EXHAUST
     - 1.1.1. PROVIDE RANGE HOOD WITH MINIMUM NORMAL FAN SETTING OF 100 CFM. FAN TO BE EXHAUSTED TO EXTERIOR.
     - 1.1.2. DUCTS USED FOR DOMESTIC KITCHEN RANGE VENTILATION SHALL BE OF METAL AND SHALL HAVE SMOOTH INTERIOR SURFACES. DUCTS FOR DOMESTIC RANGE HOODS SHALL SERVE COOKING APPLIANCES.
   - 1.2. BATHROOM EXHAUST
     - 1.2.1. PROVIDE EXHAUST FANS WITH MINIMUM RATE OF 80 CFM.
     - 1.2.2. EXHAUST FANS MUST BE EQUIPPED WITH HUMIDISTAT, OCCUPANCY SENSOR, AND RATED FOR CONTINUOUS OPERATION
     - 1.2.3. FANS SHALL OPERATE CONTINUOUSLY AT A LOW SPEED SETTING OF 50 CFM IN ORDER TO COMPLY WITH WHOLE HOUSE VENTILATION REQUIREMENTS PER ASHRAE 62.2 TABLE 4.1A.
     - 1.2.4. EXHAUST SHALL TERMINATE AT AN EXTERIOR LOCATION. EXTERIOR OUTLET SHALL BE 3 FEET MINIMUM AWAY FROM OPERABLE OPENINGS.
     - 1.2.5. EXHAUST DUCTING SHALL BE 4" DIAMETER ROUND OR 3-1/4" X 10" RECTANGULAR. DUCTING SIZES IN EXCESS OF THESE MINIMUMS ARE ALLOWED AND WILL REDUCE PRESSURE DROPS..
   - 1.3. CLOTHES DRYER EXHAUST
     - 1.3.1. THE DRYER EXHAUST SHALL BE A MAXIMUM OF 14 FEET IN LENGTH FROM APPLIANCE TO OUTLET, IF NO BOOSTER FAN IS UTILIZED. DRYER VENT LENGTHS IN EXCESS OF 14FT ARE ALLOWED IF PUBLISHED MANUFACTURER DATA IS AVAILABLE.
     - 1.3.2. MOISTURE EXHAUST VENTS SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER, OTHERWISE AN INLINE BOOSTER FAN WITH PRESSURE SENSOR SHALL BE PROVIDED.
     - 1.3.3. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINATION. DUCTS FOR EXHAUSTING CLOTHES DRYERS SHALL NOT BE CONNECTED OR INSTALLED WITH SHEET METAL SCREWS OR OTHER FASTENERS THAT WILL OBSTRUCT THE FLOW.
     - 1.3.4. CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL NOT BE CONNECTED TO A GAS VENT CONNECTOR, GAS VENT, OR CHIMNEY, AND SHALL SERVE CLOTHES DRYERS. CLOTHES DRYER MOISTURE EXHAUST DUCTS UNDER POSITIVE PRESSURE SHALL NOT EXTEND INTO OR THROUGH DUCTS OR PLENUMS.
     - 1.3.5. DOMESTIC CLOTHES DRYER MOISTURE EXHAUST DUCTS SHALL BE 4" DIAMETER MINIMUM, MADE OF METAL AND HAVE SMOOTH INTERIOR SURFACES .
     - 1.3.6. WHERE A CLOSET IS DESIGNED FOR THE INSTALLATION OF A CLOTHES DRYER, AN OPENING OF NOT LESS THAN 100 SQUARE INCHES FOR MAKEUP AIR SHALL BE PROVIDED IN THE DOOR OR BY OTHER APPROVED MEANS
   - 1.4. EXHAUST TERMINATIONS
     - 1.4.1. EXHAUST TERMINATIONS SHALL BE 3' MINIMUM FROM ANY OPERABLE OPENING AND/OR THE PROPERTY LINE.
     - 1.4.2. EXHAUST TERMINATIONS SHALL BE SEPARATED MINIMUM 10' HORIZONTAL OR 3' VERTICAL ABOVE ANY MECHANICAL AIR INTAKE.

HEATING

1. HEATING TO BE IN-FLOOR RADIANT HYDRONIC WITH EXTERIOR ELECTRIC CONDENSER.
2. SYSTEM TO BE PROVIDED 'DESIGN-BUILD' BY GC / SUBCONTRACTOR.
3. SYSTEM TO BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMPERATURE OF 70 DEGREES F AT A POINT 3 FEET ABOVE THE FLOOR IN ALL HABITABLE ROOMS.

PIPE MATERIAL SCHEDULE		
CODE	ITEM	MATERIAL DESCRIPTION
W, V	ABOVE GROUND SANITARY WASTE & VENT PIPING	NO HUB CAST IRON PIPE AND FITTINGS WITH STANDARD STAINLESS STEEL SHIELDED COUPLINGS WITH NEOPRENE GASKETS AND OR DWV COPPER PIPE AND FITTINGS WITH 95/5 SOLDERED JOINTS
W, V	BELOW GROUND SANITARY WASTE & VENT PIPING	NO HUB CAST IRON PIPE AND FITTINGS WITH STANDARD STAINLESS STEEL SHIELDED COUPLINGS WITH NEOPRENE GASKETS
CW, HW	ABOVE GROUND DOMESTIC WATER PIPING	TYPE "L" COPPER PIPE AND COPPER FITTINGS WITH: LEAD-FREE SOLDER JOINTS SIZES 1/2"-2" SIL-FOS FITTINGS 2-1/2" AND LARGER;
GAS	ABOVE GROUND GAS PIPING	STEEL PIPE: ASTM A53 OF A120, SCHEDULE 40 BLACK.
GAS	BELOW GROUND GAS PIPING	STEEL PIPE: ASTM A53 OF A120, SCHEDULE 40 BLACK. PROVIDE WITH HIGH DENSITY POLYETHYLENE COATING & WRAP ALL FIELD JOINTS.

PLUMBING GENERAL NOTES

1. THRESHOLDS SHALL BE OF SUFFICIENT WIDTH TO ACCOMMODATE A MINIMUM 22 INCH (559 MM) DOOR. SHOWER DOORS SHALL OPEN SO AS TO MAINTAIN NOT LESS THAN A 22 INCH (559 MM) UNOBSTRUCTED OPENING FOR EGRESS. THE IMMEDIATE ADJOINING SPACE TO SHOWERS WITHOUT THRESHOLDS SHALL BE CONSIDERED A WET LOCATION AND SHALL COMPLY WITH THE REQUIREMENTS OF THE CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, AND CALIFORNIA ELECTRICAL CODE. PER CPC 408.5
2. SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES (0.6606 M2) AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH (762 MM) CIRCLE. THE MINIMUM REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND A POINT TANGENT TO ITS CENTERLINE. THE AREA AND DIMENSIONS SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70 INCHES (1778 MM) ABOVE THE SHOWER DRAIN OUTLET WITH NO PROTRUSIONS OTHER THAN THE FIXTURE VALVE OR VALVES, SHOWERHEADS, SOAP DISHES, SHELVES, AND SAFETY GRAB BARS, OR RAILS. FOLD-DOWN SEATS IN ACCESSIBLE SHOWER STALLS SHALL BE PERMITTED TO PROTRUDE INTO THE 30 INCH (762 MM) CIRCLE. PER CPC 408.6
3. PER CPC 408.7: SHOWER RECEPTORS BUILT ON-SITE SHALL BE WATERTIGHT AND SHALL BE CONSTRUCTED FROM APPROVED-TYPE DENSE, NONABSORBENT, AND NONCORROSIVE MATERIALS. EACH SUCH RECEPTOR SHALL BE ADEQUATELY REINFORCED, SHALL BE PROVIDED WITH AN APPROVED FLANGED FLOOR DRAIN DESIGNED TO MAKE A WATERTIGHT JOINT ON THE FLOOR, AND SHALL HAVE SMOOTH, IMPERVIOUS, AND DURABLE SURFACES.

   SHOWER RECEPTORS SHALL HAVE THE SUBFLOOR AND ROUGH SIDE OF WALLS TO A HEIGHT OF NOT LESS THAN 3 INCHES (76 MM) ABOVE THE TOP OF THE FINISHED DAM OR THRESHOLD SHALL BE FIRST LINED WITH SHEET PLASTIC, LEAD, OR COPPER, OR SHALL BE LINED WITH OTHER DURABLE AND WATERTIGHT MATERIALS. SHOWERS THAT ARE PROVIDED WITH A BUILT IN PLACE, PERMANENT SEAT OR SEATING AREA THAT IS LOCATED WITHIN THE SHOWER ENCLOSURE, SHALL BE FIRST LINED WITH SHEET PLASTIC, LEAD, COPPER, OR SHALL BE LINED WITH OTHER DURABLE AND WATERTIGHT MATERIALS THAT EXTEND NOT LESS THAN 3 INCHES (76 MM) ABOVE HORIZONTAL SURFACES OF THE SEAT OR THE SEATING AREA.

   LINING MATERIALS SHALL BE PITCHED 1/4 INCH PER FOOT (20.8 MM/M) TO WEEP HOLES IN THE SUBDRAIN OF A SMOOTH AND SOLIDLY FORMED SUBBASE. SUCH LINING MATERIALS SHALL EXTEND UPWARD ON THE ROUGH JAMBS OF THE SHOWER OPENING TO A POINT NOT LESS THAN 3 INCHES (76 MM) ABOVE THE HORIZONTAL SURFACES OF THE SEAT OR THE SEATING AREA, THE TOP OF THE FINISHED DAM OR THRESHOLD AND SHALL EXTEND OUTWARD OVER THE TOP OF THE PERMANENT SEAT, PERMANENT SEATING AREA, OR ROUGH THRESHOLD AND BE TURNED OVER AND FASTENED ON THE OUTSIDE FACE OF BOTH THE PERMANENT SEAT, PERMANENT SEATING AREA, OR ROUGH THRESHOLD AND THE JAMBS.

   NONMETALLIC SHOWER SUBPANS OR LININGS SHALL BE PERMITTED TO BE BUILT UP ON THE JOB SITE OF NOT LESS THAN THREE LAYERS OF STANDARD GRADE 15 POUND (6.8 KG) ASPHALT IMPREGNATED ROOFING FELT. THE BOTTOM LAYER SHALL BE FITTED TO THE FORMED SUBBASE AND EACH SUCCEEDING LAYER THOROUGHLY HOT-MOPPED TO THAT BELOW. CORNERS SHALL BE CAREFULLY FITTED AND SHALL BE MADE STRONG AND WATERTIGHT BY FOLDING OR LAPPING, AND EACH CORNER SHALL BE REINFORCED WITH SUITABLE WEBBING HOT-MOPPED IN PLACE.

   FOLDS, LAPS, AND REINFORCING WEBBING SHALL EXTEND NOT LESS THAN 4 INCHES (102 MM) IN ALL DIRECTIONS FROM THE CORNER, AND WEBBING SHALL BE OF APPROVED TYPE AND MESH, PRODUCING A TENSILE STRENGTH OF NOT LESS THAN 50 POUNDS PER SQUARE FOOT (LB/FT2) (244 KG/M2) IN EITHER DIRECTION. NONMETALLIC SHOWER SUBPANS OR LININGS SHALL BE PERMITTED TO CONSIST OF MULTILAYERS OF OTHER APPROVED EQUIVALENT MATERIALS SUITABLY REINFORCED AND CAREFULLY FITTED IN PLACE ON THE JOB SITE AS ELSEWHERE REQUIRED IN THIS SECTION.

   LININGS SHALL BE PROPERLY RECESSED AND FASTENED TO THE APPROVED BACKING SO AS NOT TO OCCUPY THE SPACE REQUIRED FOR THE WALL COVERING, AND SHALL NOT BE NAILED OR PERFORATED AT A POINT THAT IS LESS THAN 1 INCH (25.4 MM) ABOVE THE FINISHED DAM OR THRESHOLD. AN APPROVED TYPE SUBDRAIN SHALL BE INSTALLED WITH A SHOWER SUBPAN OR LINING. EACH SUCH SUBDRAIN SHALL BE OF THE TYPE THAT SETS FLUSH WITH THE SUBBASE AND SHALL BE EQUIPPED WITH A CLAMPING RING OR OTHER DEVICE TO MAKE A TIGHT CONNECTION BETWEEN THE LINING AND THE DRAIN. THE SUBDRAIN SHALL HAVE WEEP HOLES INTO THE WASTE LINE. THE WEEP HOLES LOCATED IN THE SUBDRAIN CLAMPING RING SHALL BE PROTECTED FROM CLOGGING.
4. DOMESTIC DISHWASHING MACHINES SHALL COMPLY WITH UL 749. COMMERCIAL DISHWASHING MACHINES SHALL COMPLY WITH NSF 3 AND UL 921 PER CPC SEC 414.
5. DOMESTIC DISHWASHING MACHINES SHALL DISCHARGE INDIRECTLY THROUGH AN AIR GAP FITTING IN ACCORDANCE WITH SECTION 807.3 INTO A WASTE RECEPTOR, A WYE BRANCH FITTING ON THE TAILPIECE OF A KITCHEN SINK, OR DISHWASHER CONNECTION OF A FOOD WASTE DISPOSER PER CPC 414.3
6. WHERE TWO SEPARATE HANDLES CONTROL THE HOT AND COLD WATER, THE LEFT-HAND CONTROL OF THE FAUCET WHERE FACING THE FIXTURE FITTING OUTLET SHALL CONTROL THE HOT WATER. FAUCETS AND DIVERTERS SHALL BE CONNECTED TO THE WATER DISTRIBUTION SYSTEM SO THAT HOT WATER CORRESPONDS TO THE LEFT SIDE OF THE FIXTURE FITTING. SINGLE-HANDLE MIXING VALVES INSTALLED IN SHOWERS AND TUB-SHOWER COMBINATIONS SHALL HAVE THE FLOW OF HOT WATER CORRESPONDING TO THE MARKINGS ON THE FIXTURE FITTING. CPC 416.5
7. FLOOR DRAINS SHALL COMPLY WITH ASME A112.3.1, ASME A112.6.3, OR CSA B79. FLOOR DRAINS SHALL BE CONSIDERED PLUMBING FIXTURES AND EACH SUCH DRAIN SHALL BE PROVIDED WITH AN APPROVED-TYPE STRAINER HAVING A WATERWAY EQUIVALENT TO THE AREA OF THE TAIL PIECE. FLOOR DRAINS SHALL BE OF AN APPROVED TYPE AND SHALL PROVIDE A WATERTIGHT JOINT ON THE FLOOR. CPC 418.0
8. FOOD WASTE DISPOSERS: FOOD WASTE DISPOSAL UNITS SHALL COMPLY WITH UL 430. RESIDENTIAL FOOD WASTE DISPOSERS SHALL ALSO COMPLY WITH ASSE 1008. APPROVED WYE OR OTHER DIRECTIONAL-TYPE BRANCH FITTINGS SHALL BE INSTALLED IN CONTINUOUS WASTES CONNECTING OR RECEIVING THE DISCHARGE FROM A FOOD WASTE DISPOSER. NO DISHWASHER DRAIN SHALL BE CONNECTED TO A SINK TAILPIECE, CONTINUOUS WASTE, OR TRAP ON THE DISCHARGE SIDE OF A FOOD WASTE DISPOSER. A COLD WATER SUPPLY SHALL BE PROVIDED FOR FOOD WASTE DISPOSERS. SUCH CONNECTION TO THE WATER SUPPLY SHALL BE PROTECTED BY AN AIR GAP OR BACKFLOW PREVENTION DEVICE IN ACCORDANCE WITH SECTION 603.2. PER CPC 419.
9. KITCHEN AND LAUNDRY SINKS SHALL HAVE A WASTE OUTLET AND FIXTURE TAILPIECE NOT LESS THAN 11/2 INCHES (40 MM) IN DIAMETER. SERVICE SINKS SHALL HAVE A WASTE OUTLET AND FIXTURE TAILPIECE NOT LESS THAN 2 INCHES (50 MM) IN DIAMETER. FIXTURE TAILPIECES SHALL BE CONSTRUCTED FROM THE MATERIALS SPECIFIED IN SECTION 701.2 FOR DRAINAGE PIPING. WASTE OUTLETS SHALL BE PROVIDED WITH AN APPROVED STRAINER. CPC SECTION 420. BATHTUBS AND WHIRLPOOL BATHTUBS SHALL HAVE A WASTE OUTLET AND FIXTURE TAILPIECE NOT LESS THAN 11/2 INCHES (40 MM) IN DIAMETER. FIXTURE TAILPIECES SHALL BE CONSTRUCTED FROM THE MATERIALS SPECIFIED IN SECTION 701.2 FOR DRAINAGE PIPING. WASTE OUTLETS SHALL BE PROVIDED WITH AN APPROVED STOPPER OR STRAINER. CPC SECTION 409.2
10. THE WATER CLOSET SHALL HAVE A CLEARANCE OF 30 INCHES WIDE (15 INCHES ON CENTER) AND 24 INCHES IN FRONT. (CPC 402.5) WHERE THE WATER CLOSET (OR OTHER PLUMBING FIXTURE) COMES INTO CONTACT WITH THE WALL OR FLOOR, THE JOINT SHALL BE CAULKED AND SEALED TO BE WATERTIGHT CPC 402.2.
11. ANY NEW OR REPLACED MIXING VALVE IN A SHOWER (INCLUDING OVER A TUB) SHALL BE PRESSURE BALANCING SET AT A MAXIMUM 120ě F. ANY NEW OR REPLACED WATER-FILLER VALVE IN BATHTUBS/WHIRLPOOLS SHALL HAVE A TEMPERATURE LIMITING DEVICE SET AT A MAXIMUM OF 120ě F. THE WATER HEATER THERMOSTAT CANNOT BE USED TO MEET THESE PROVISIONS. (CPC 408.3, 409.4)
12. CONTROL VALVES AND SHOWERHEADS SHALL BE LOCATED ON THE SIDEWALL OF SHOWER COMPARTMENTS OR OTHERWISE ARRANGED SO THAT THE SHOWERHEAD DOES NOT DISCHARGE DIRECTLY AT THE ENTRANCE TO THE COMPARTMENT SO THAT THE BATHER. THERE IS NO REQUIREMENT FOR HEIGHT PLACEMENT OF THE SHOWER VALVE FOR SINGLE FAMILY RESIDENTIAL PROJECTS.
13. GREEN BUILDING COMPLIANCE: DOMESTIC HOT WATER SYSTEM SHALL INCLUDE A RECIRCULATION PUMP. ALL PIPING IN THE DISTRIBUTION AND RETURN SYSTEM SHALL BE INSULATED.

ELECTRICAL & POWER GENERAL NOTES

1. ALL ELECTRICAL WORK SHALL BE INSTALLED PER 2019 CALIFORNIA ELECTRICAL CODE.
2. GENERAL CONTRACTOR/SUBCONTRACTOR SHALL VERIFY THE EXISTING ELECTRICAL SERVICE IS SUFFICIENT FOR ALL EXISTING PLUS NEW ELECTRICAL LOADS. IN THE EVENT A SERVICE UPGRADE IS REQUIRED, GENERAL CONTRACTOR/SUBCONTRACTOR SHALL BE RESPONSIBLE FOR ALL REQUIRED PERMITS, CALCULATIONS, DESIGNS AND APPLICATIONS, INCLUDING UTILITY APPLICATIONS.
3. THE LAYOUT AND LOCATION OF ALL ELECTRICAL PANELS AND SUBPANELS, LIGHTING FIXTURES, SWITCHES, RECEPTACLES, AND LOW VOLTAGE DEVICES (INCLUDING TRANSFORMERS) SHALL BE VERIFIED IN THE FIELD WITH THE ARCHITECT & OWNER, PRIOR TO COMMENCEMENT OF ANY WORK IN THE POWER, LOW-VOLTAGE, AND LIGHTING SCOPE OF WORK.
4. OUTLETS SHALL BE INSTALLED SO THAT NO POINT ALONG THE FLOOR LINE IN ANY WALL IS MORE THAN 6' HORIZONTALLY FROM AN OUTLET. THE MAX DISTANCE BETWEEN OUTLETS IS 12'.
5. BEDROOM RECEPTACLE OUTLETS TO BE INSTALLED AT EACH WALL SPACE 2' OR WIDER AND NO FURTHER THAN 12' O.C. APART AND SO THAT AT NO POINT ALONG THE WALL LINE IS MORE THAN 6' MEASURED -HORIZONTALLY, FROM A RECEPTACLE OUTLET IN THAT SPACE.
6. HALLWAYS LONGER THAN 10' REQUIRE (1) OUTLET MIN.
7. ALL BATHROOM RECEPTACLES ARE TO BE GFCI PROTECTED. 1 OUTLET IS REQ'D WITHIN 3' OF EA. BASIN LOCATION.
8. PROVIDE GROUND FAULT CIRCUIT INTERRUPTER PROTECTION ON ALL OUTDOOR, BATHROOM, KITCHEN AND GARAGE OUTLETS (GFCI).
9. ALL COUNTERTOP RECEPTACLES TO HAVE GFCI PROTECTION, AND SHALL BE INSTALLED SO THAT NO POINT ALONG THE WALL LINE IS MORE THAN 24", MEASURED HORIZONTALLY, FROM A RECEPTACLE. COUNTERTOP RECEPTACLES SHALL NOT BE INSTALLED FACE UP AND NOT MORE THAN 20" ABOVE NOR MORE THAN 12" BELOW THE COUNTERTOP SURFACE. (1) RECEPTACLE REQ'D AT ISLAND COUNTER.
10. INSTALL HARD WIRED INTERCONNECTED SMOKE DETECTORS WITH BATTERY BACKUP IN ALL BEDROOMS AND IN HALLWAYS OUTSIDE BEDROOMS AND OTHER LOCATIONS ARE REQUIRED BY CODE. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL UNIT. THE ALARM SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED.
11. AN APPROVED CARBON MONOXIDE DETECTOR SHALL BE INSTALLED IN DWELLING UNITS, IN SLEEPING UNITS WITHIN WHICH FUEL-BURNING APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES. THE CARBON MONOXIDE DETECTOR ALARM SHALL COMPLY W/ UL 2034 & INSTALLED & MAINTAINED PER NFPA 720. THE DETECTOR UNIT TO BE HARD-WIRED W/ BATTERY BACK-UP. WHERE MORE THAN ONE CARBON MONOXIDE ALARM IS REQUIRED, THE ALARM SHALL BE INTERCONNECTED SO THAT ACTIVATION OF ONE ALARM ACTIVATES ALL OF THE ALARMS IN THE INDIVIDUAL UNIT.
12. THE GENERAL CONTRACTOR SHALL VERIFY AND PROVIDE ALL NECESSARY ELECTRICAL, MECHANICAL AND PLUMBING CONNECTIONS REQUIRED BY ALL APPLIANCES AND ELECTRICAL DEVICES, FIXTURES AND TRIM.
13. ALL NEW RESIDENTIAL 125 V, 15 & 20 AMP CIRCUITS NOT REQ'D TO BE GFCI PROTECTED MUST BE AFCI PROTECTED. NEW 125 V, 15 & 20 AMP RECEPTACLES MUST BE OF THE TAMPER-RESISTANT TYPE.
14. MIN. (2) 20 AMP SMALL APPLIANCE BRANCH CIRCUITS ARE REQ'D TO SERVE COUNTERTOP RECEPTACLES IN KITCHEN/DINING ROOM/PANTRY/BREAKFAST NOOK/AND PASS THROUGHS.
15. (1) 20 AMP CIRCUIT REQ'D FOR EA. BATHROOM. WHERE CIRCUIT IS SIZED FOR THE LOAD, A SINGLE 20 AMP CIRCUIT MAY SUPPLY POWER TO ALL BATHROOM GFCI RECEPTACLES IN A DWELLING.
16. CLOTHES DRYER OUTLETS SHALL HAVE A 30 AMP DEDICATED CIRCUIT OR GREATER DEPENDING ON EQUIPMENT MANUFACTURER REQUIRMENTS, WITH EQUIPMENT GROUND COMPLYING WITH CEC ARTICLE 250.138A
17. ELECTRICAL PANELS SHALL NOT BE INSTALLED IN BATHROOMS OR CLOTHES CLOSETS, LINEN CLOSETS, OR STORAGE ROOMS W/ EASILY IGNITABLE COMBUSTIBLES, OR IN LOCATIONS WHICH ARE NOT READILY ACCESSIBLE.
18. ALL LIGHT SWITCH PLATES ARE TO BE INSTALLED IN VERTICAL ORIENTATION @ 42" A.F.F., TO TOP OF SWITCH PLATE, U.N.O.
19. ALL RECEPTACLES TO BE INSTALLED IN VERTICAL ORIENTATION @ 18" AFF, TO TOP OF RECEPTACLE PLATE, U.N.O.
20. CEILING HEIGHTS INDICATED ON PLAN ARE A.F.F., U.N.O.

ELEC - LIGHTING - MECH LEGEND

SYMBOL	DESCRIPTION
$	SWITCH
$3	SWITCH, 2WAY
$M	SWITCH, MOTION SENSOR
$T	SWITCH, TIMER
	DUPLEX OUTLET
D	DEDICATED DUPLEX OUTLET
	QUADRUPLEX OUTLET
	FLOOR OUTLET
GFCI	GROUND FAULT CIRCUIT INTERRUPT OUTLET
240V	HIGH VOLTAGE OUTLET (240V)
	DATA & COAX OUTLET
	DATA COMMUNICATIONS FLOOR OUTLET
	TELEPHONE OUTLET
	TELEPHONE FLOOR OUTLET
TV	TELEVISION OUTLET
J	UNPOWERED JBOX ON DEDICATED CIRCUIT
SD	SMOKE DETECTOR
S/C	SMOKE/CARBON MONOXIDE DETECTOR
DH	DEHUMIDISTAT
PC	CIRCUIT ON PHOTOCELL
WP	TO BE RATED FOR WET LOCATIONS
HB	HOSE BIB
G	GAS LINE OUTLET
A	RECESSED LED DOWNLIGHT
	LED LIGHT STRIP
	EXHAUST FAN, PER ASHRAE 62.2
	EXHAUST FAN/LIGHT COMBO
	INDUSTRIAL GRADE EXHAUST FAN
B	RECESSED LED WALL WASHER
E	WALL MOUNTED LIGHT
E E	WALL MOUNTED MIRROR WITH LIGHTS
	FEATURE PENDANT LIGHT FIXTURE
	ACCENT PENDANT LIGHT FIXTURE
	SURFACE MOUNTED LED FIXTURE
EXIT	WALL-MOUNT SELF-LUMINOUS EXIT SIGN
EM	EMERGENCY BALLAST
	UTILITY LED SURFACE MOUNTED STRIP
	SECURITY FLOOD LIGHTS
	EXTERIOR WALL WASHERS
	POLE MOUNTED EXT. LIGHT & CAMERA
S	STEP LIGHT
S AS	STEP LIGHT ON ASTRONOMICAL TIMER
EP	ELECTRICAL PANEL
INT	INTERCOM

NOTES:

1. LIGHTING IN EXTERIOR LOCATIONS TO BE RATED FOR WET LOCATIONS.
2. LIGHTING IN BATHROOMS TO BE RATED FOR DAMP LOCATIONS & IN SHOWER/BATH STALLS TO BE RATED FOR WET LOCATIONS
3. OUTLETS IN EXTERIOR LOCATIONS TO BE RATED FOR WET LOCATIONS

LIGHTING ENERGY COMPLIANCE GENERAL NOTES

1. RESIDENTIAL LUMINAIRE REQUIREMENTS
   - 1.1. LUMINAIRES SHALL BE DETERMINED TO BE "HIGH EFFICACY" OR "LOW EFFICACY" FOR PURPOSES OF COMPLIANCE. CERTIFICATION IS PROVIDED BY THE MANUFACTURER TO THE ENERGY COMMISSION. ONLY APPROPRIATE LABELED AND CERTIFIED LUMINAIRES SHALL BE USED IN THE WORK. REFER TO TABLES BELOW FROM THE 2019 RESIDENTIAL COMPLIANCE MANUAL FOR ADDITIONAL INFORMATION.
2. HIGH EFFICACY LED LIGHTING: LED LIGHTING SHALL BE CERTIFIED TO THE ENERGY COMMISSION BY THE MANUFACTURER, AND SHALL MEET THE MINIMUM EFFICACY REQUIREMENTS IN TABLE 150.0-A OF THE 2019 RESIDENTIAL COMPLIANCE MANUAL.
3. ALL LIGHT FIXTURES SHALL BE HIGH EFFICACY:
   - 3.1. 50% OF KITCHEN LIGHTING WATTAGE MAY BE LOW-EFFICACY (SEC. 6.6A)
   - 3.2. KITCHEN LOW EFFICACY TRADEOFF OPTION:
     - 3.2.1. DWELLINGS < 2,500 SQ. FT. IN AREA: AN ADDITIONAL 50 W OF LOW EFFICACY LUMINAIRES MAY BE INSTALLED IN KITCHENS.
     - 3.2.2. DWELLINGS > 2,500 SQ. FT. IN AREA: AN ADDITIONAL 100 W OF LOW EFFICACY LUMINAIRES MAY BE INSTALLED.
   - 3.3. VACANCY SENSORS OR DIMMERS SHALL BE PROVIDED FOR ALL LUMINAIRES REQUIRED TO HAVE LIGHT SOURCES COMPLIANT WITH REFERENCE JOINT APPENDIX JA8 SUCH AS GU-24 SOCKETS CONTAINING LED LIGHT SOURCES. EXCEPT FOR HALLWAYS AND CLOSETS LESS THAN 70 SF. CEC SECTION 150.0(k)(2)(J).
   - 3.4. BATHROOMS, UTILITY AND LAUNDRY ROOMS SHALL HAVE HIGH EFFICACY LUMINAIRES. AT LEAST ONE OF THE FIXTURES IN THE ROOM/SPACE SHALL BE CONTROLLED BY VACANCY SENSOR. CEC SECTION 150.0(k)(2) (l).
   - 3.5. -
   - 3.6. CLOSETS LESS THAN 60 SQUARE FEET MAY BE LOW EFFICACY
   - 3.7. OUTDOOR LIGHTS ATTACHED TO THE BUILDING SHALL BE HIGH EFFICACY, CONTROLLED BY A MANUAL ON/OFF SWITCH WITH PHOTO CELL AND EITHER A MOTION SENSOR OR AN AUTOMATIC TIME SWITCH CONTROL. OR CONTROLLED BY AN ASTRONOMICAL TIME CLOCK OR BY AN ENERGY MANAGEMENT SYSTEM. CONTROLS THAT OVERRIDE TO ON SHALL NOT BE ALLOWED UNLESS THE OVERRIDE AUTOMATICALLY RETURNS THE AUTOMATIC CONTROLS TO THE NORMAL OPERATION WITHIN 6 HOURS. CEC SECTION 150.0(K)(3)(A).
4. GARAGES, LAUNDRY ROOMS, UTILITY ROOMS & BATHROOMS: ALL LUMINAIRES MUST BE HIGH EFFICACY AND CONTROLLED BY A VACANCY SENSOR PER NOTES 3.3 & 3.4 ABOVE
5. LIGHT FIXTURES WITHIN TUB AND SHOWER ENCLOSURES MUST BE LISTED WATER RESISTANT BY AN APPROVED TESTING AGENCY.
6. FLUORESCENT LAMPS WITH A POWER RATING OF 13 WATTS OR MORE SHALL HAVE ELECTRONIC BALLASTS OPERATING THE LAMP AT A FREQUENCY OF 20 kHz OR MORE.
7. LUMINAIRES RECESSED INTO CEILINGS SHALL HAVE AIRTIGHT HOUSINGS, AND SHALL BE "IC-RATED" FOR INSULATION CONTACT WHEN INSTALLED IN INSULATED CEILINGS. LIGHTING CONTROLS AND BALLASTS FOR RESIDENTIAL RECESSED LUMINAIRES ARE REQUIRED TO BE CERTIFIED BY THE MANUFACTURER AND LISTED ON THE ENERGY COMMISSION DATABASE.
8. MULTI WIRE CIRCUITS AND SOME LIGHTING CONTROL SYSTEMS MAY NOT BE SUITABLE OR COMPATIBLE WITH THE REQUIRED ARC-FAULT PROTECTION DEVICES. THE CONTRACTOR SHALL CONSULT THE ARC-FAULT DEVICE MANUFACTURER AND LIGHTING CONTROL MANUFACTURER TO CONFIRM COMPATIBILITY
9. CONTROLS
   - 9.1. ALL SELF-CONTAINED LIGHTING CONTROL DEVICES SHALL BE CERTIFIED BY THE ENERGY COMMISSION.

HIGH EFFICACY LUMINAIRES

TABLE 150.0-A

CLASSIFICATION OF HIGH-EFFICACY LIGHT SOURCES

HIGH-EFFICACY LIGHT SOURCES Light sources shall comply with one of the columns below:	
Light sources in this column, other than those installed in ceiling recessed downlight luminaires, are classified as high efficacy and are **not** required to comply with Reference Joint Appendix JA8	Light sources in this column are only considered to be high efficacy if they are certified to the Commission as High Efficacy Light Sources in accordance with Reference Joint Appendix JA8 and marked as required by JA8.
1. Pin-based linear fluorescent or compact fluorescent light sources using electronic ballasts. 2. Pulse-start metal halide light sources. 3. High pressure sodium light sources. 4. Luminaires with hardwired high frequency generator and induction lamp. 5. LED light sources installed outdoors. 6. Inseparable SSL luminaires containing colored light sources that are installed to provide decorative lighting.	8. All light sources installed in ceiling recessed downlight luminaires. Note that ceiling recessed downlight luminaires shall not have screw bases regardless of lamp type as described in Section 150.0(k)1C. 9. Any light source not otherwise listed in this table.

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APN 002-201-36

SCALE: NTS
SHEET

MEP GENERAL NOTES

T1.5

DATE: 2023.02.08
JOB NUMBER: 2128

GENERAL NOTES:

1. PLAN IS BASED ON PUBLICLY AVAILABLE INFORMATION & IS FOR REFERENCE TO SHOW EXISTING CONDITIONS IN THE VICINITY. PLAN IS NOT A SURVEY.
2. NO CHANGES PROPOSED TO FOOTPRINT OF STRUCTURES ON SUBJECT PROPERTY

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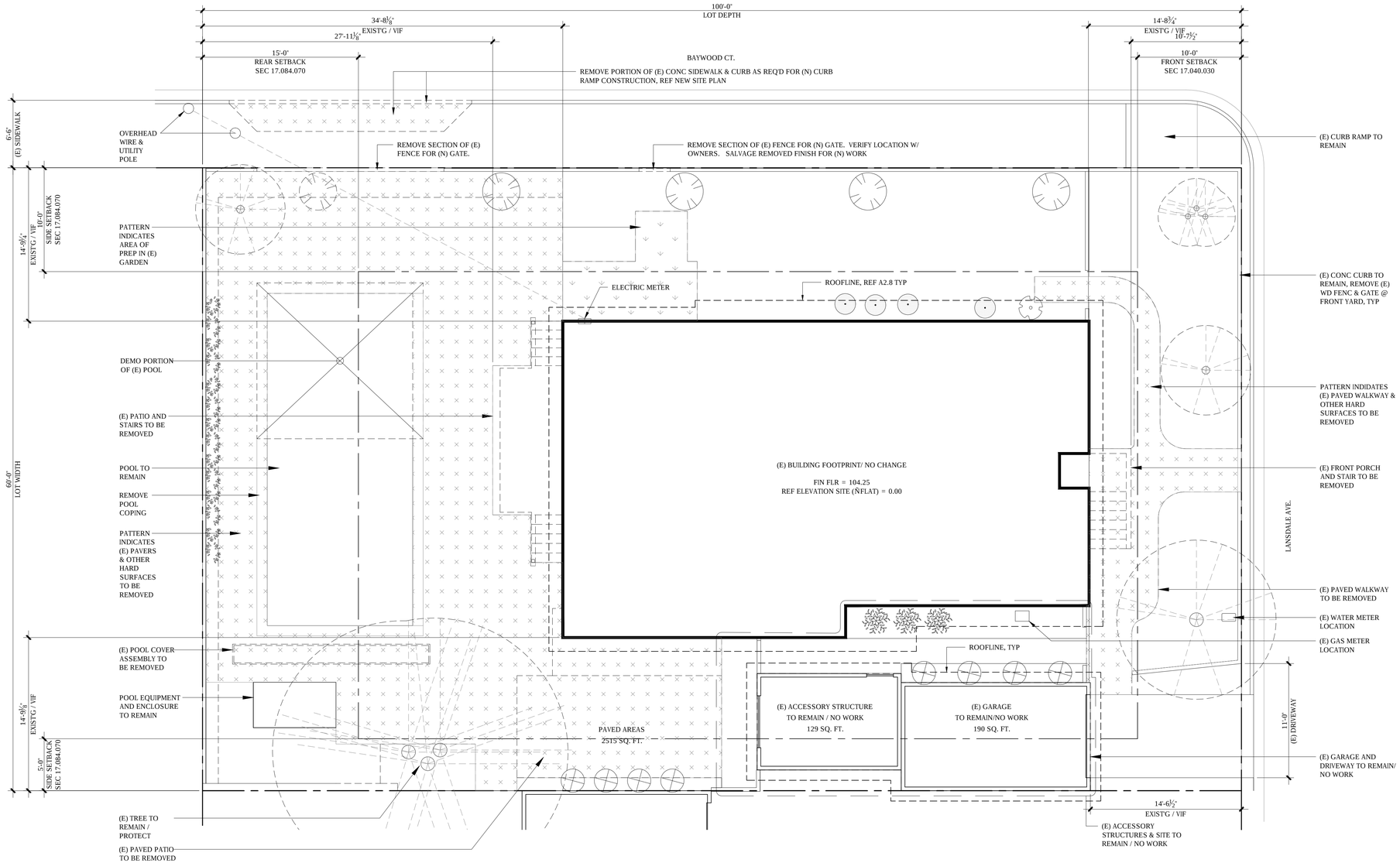
SCALE: 1/16" = 1'-0"

SHEET
CONTEXT PLAN
T2.0

DATE: 2023.02.08
JOB NUMBER: 2128



DEFENSIBLE SPACE REQUIREMENTS

ALL HAZARDOUS VEGETATION OR COMBUSTIBLE MATERIAL SHALL BE MANAGED PER COUNTY FIRE SAFE VEGETATION MANAGEMENT REQUIREMENTS INCLUDING BUT NOT LIMITED TO THE BEST MANAGEMENT PRACTICES BELOW:

1. MAINTAIN A THIRTY-FOOT DEFENSIBLE SPACE AROUND ALL STRUCTURES
   - 1.1. THE GRASS NEEDS TO BE CUT SIX INCHES (6') OR LESS. DO NOT CUT TO BARE MINERAL SOIL.
   - 1.2. THE TREE BRANCHES NEED TO BE LIMBED UP SIX FEET (6) FROM THE GROUND.
   - 1.3. SHRUBS NEED TO BE MAINTAINED.
   - 1.4. CLIMBING VINES MUST BE MAINTAINED TO BE CLEAR OF DEAD AND DYING MATERIALS OR REMOVED FROM TREES AND STRUCTURES.
2. ADDITIONAL DEFENSIBLE SPACE OUTWARD TO ONE HUNDRED FEET (100') FROM ALL STRUCTURES MAY BE REQUIRED DEPENDING ON THE PROPERTY SLOPE, FUEL LOAD AND/OR FUEL TYPE.
3. WITHIN TEN FEET (10') OF ROADWAY FRONTAGE:
   - 3.1. REMOVE DEAD AND DYING VEGETATION.
   - 3.2. REMOVE TREE BRANCHES UP TO SIX FEET (6) ABOVE THE GROUND
   - 3.3. TRIM GRASSES TO FOUR INCHES (4') OR LESS BUT NOT TO THE BARE SOIL.
4. REMOVE ALL PORTIONS OF TREES WITHIN TEN FEET (10') OF CHIMNEY AND/OR STOVEPIPE OUTLETS.
   - 4.1. PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING TREES YEAR ROUND.
   - 4.2. TREES NEED TO BE CUT TEN FEET (10') AWAY FROM THE CHIMNEY IN ANY DIRECTION.
5. MAINTAIN TREES ADJACENT TO OR OVERHANGING A STRUCTURE FREE OF DEAD/DYING WOOD. CUT THE TREES BACK AND REMOVE ANY DEAD OR DYING WOOD.
6. MAINTAIN THE ROOF OF ANY STRUCTURE FREE OF LEAVES, NEEDLES, OR OTHER DEAD/DYING WOOD. REMOVE ANY LEAVES, NEEDLES, BRANCHES, OR DEBRIS FROM THE ROOF AND/OR GUTTERS.
7. INSTALL A SPARK ARRESTER ON CHIMNEY AND/OR STOVEPIPE OUTLETS.
   - 7.1. THE SPARK ARRESTER MUST BE CONSTRUCTED OF HEAVY WIRE MESH WITH OPENINGS NOT TO EXCEED ONE-HALF INCH (ij ').
8. PROVIDE STREET ADDRESS NUMBERS THAT ARE CLEARLY VISIBLE FROM THE ROADSIDE, MINIMUM HEIGHT: FOUR INCHES (4')
   - 8.1. THE ADDRESS NUMBERS SHOULD BE POSTED ON THE HOUSE.
   - 8.2. IF THE HOUSE SITS BACK FROM THE STREET, POST THE ADDRESS AT THE BEGINNING OF THE DRIVEWAY AND ON THE HOUSE.
   - 8.3. THE ADDRESS NUMBERS SHOULD BE REFLECTIVE IN A CONTRASTING COLOR FOR VISIBILITY PURSUANT TO SONOMA COUNTY CODE CHAPTER 13
9. REMOVE ALL TREE LIMBS AND BRANCHES WITHIN SIX FEET (6) OF THE GROUND.
10. REMOVE DEAD/DYING VEGETATION FROM PROPERTY.

GENERAL NOTES

1. AREA OF DEMO SHOWN IS GENERAL, COORDINATE DEMO WITH NEW SITE PLAN, DETAILS, & STRUCT DOC'S.
2. ALL CONDITIONS NOT IN THE SCOPE OF WORK ARE EXISTING TO REMAIN / PROTECT.
3. PROTECT GARDEN / LANDSCAPE AREAS WHICH ARE TO REMAIN TO THE GREATEST EXTENT POSSIBLE
4. SITE SLOPES LESS THAN 5%/NO CONTOURS SHOWN
5. CONTACT UNDERGROUND UTILITY LOCATOR SERVICE PRIOR TO DEMOLITION AND ANY SITEWORK. EXISTING WASTEWATER SYSTEM MAIN/CONNECTION NOT KNOWN; GAS, ELECTRIC & WATER INDICATED ON PLAN FOR REFERENCE.

KEYNOTES

1. -

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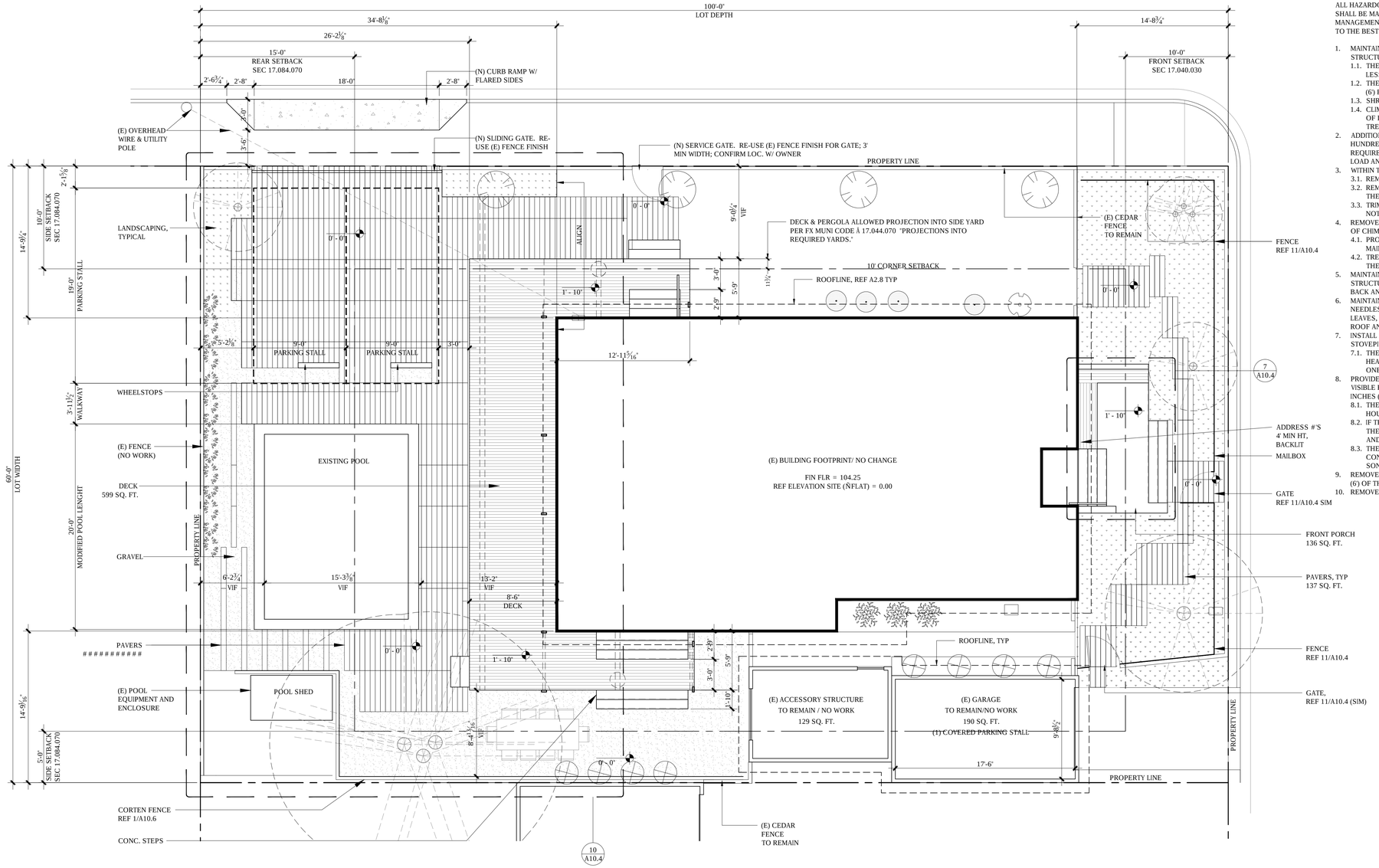
SCALE: 3/16" = 1'-0" SHEET

EXISTING SITE PLAN

T2.1

DATE: 2023.02.08
JOB NUMBER: 2128



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SWIMMING POOL REQUIREMENTS : CBC SEC 3109.2 {California Swimming Pool Safety Act (Statewide)}

THE SWIMMING POOL SHALL BE EQUIPPED WITH (2) OF THE FOLLOWING DROWNING PREVENTION SAFETY FEATURES :

- AN APPROVED SAFETY POOL COVER, AS DEFINED IN SUBDIVISION (D) OF SECTION 115921.
- EXIT ALARMS ON THE HOME'S DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL. THE EXIT ALARM MAY CAUSE EITHER AN ALARM NOISE OR A VERBAL WARNING, SUCH AS A REPEATING NOTIFICATION THAT "THE DOOR TO THE POOL IS OPEN."
- AN ALARM IN THE POOL THAT WILL SOUND UPON DETECTION OF ACCIDENTAL OR UNAUTHORIZED ENTRANCE INTO THE WATER. THE ALARM SHALL MEET AND BE INDEPENDENTLY CERTIFIED TO THE ASTM STANDARD F2208 "STANDARD SAFETY SPECIFICATION FOR RESIDENTIAL POOL ALARMS," WHICH INCLUDES SURFACE MOTION, PRESSURE, SONAR, LASER, AND INFRARED TYPE ALARMS..

SECTION 115921 SAFETY COVER REQUIREMENTS:
'APPROVED SAFETY POOL COVER' MEANS A MANUALLY OR POWER-OPERATED SAFETY POOL COVER THAT MEETS ALL OF THE PERFORMANCE STANDARDS OF THE AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM), IN COMPLIANCE WITH STANDARD F1346-91.

LEGEND

GENERAL NOTES

1. EXISTING ROOF DRAINAGE AND SITE DRAINAGE SYSTEM TO REMAIN. NEW ROOF TO BE CONNECTED TO EXISTING DRAINAGE COLLECTION SYSTEM. ALL SURFACE DRAINAGE PATTERNS TO REMAIN.
2. WHERE MODIFICATION OF EXISTING ROOF IS REQUIRED BY THE WORK, CONFORM WITH THE FOLLOWING:
   - 2.1. UNDERGROUND STORM DRAINS SHALL SLOPE 0.5% MINIMUM
   - 2.2. UNDERGROUND STORM DRAINS SHALL BE 4" Ï MINIMUM.
3. SURFACE DRAINAGE SHALL REMAIN WHERE MODIFICATION OF EXISTING SURFACE DRAINAGE SYSTEM IS REQUIRED BY THE WORK, CONFORM WITH THE FOLLOWING:
   - 3.1. SURFACES SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS.
   - 3.2. THE GRADE SHALL FALL NOT FEWER THAN 6' WITHIN THE FIRST 10' FROM THE FOUNDATION WALLS.
   - 3.3. WHERE PHYSICAL BARRIERS PROHIBIT 6' OF FALL WITHIN THE FIRST 10' DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10' OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2% AWAY FROM THE BUILDING.
   - 3.4. GRADING SHALL ENSURE SURFACE WATER FLOWS DO NOT ENTER BUILDING
4. PIPE MATERIAL SHALL BE AS FOLLOWS:
   - UNDER DRIVEWAY AND PARKING AREAS: HDPE / N12 CORRUGATED DUAL WALL PIPE
   - UNDER WALKWAYS & PAVED SURFACES: SCHEDULE 40 PVC
   - LANDSCAPE AREAS: CORRUCATED FLEXIBLE DRAINAGE PIPE
   - FOUNDATION SUBDRAIN COLLECTOR: SCH 20 PERFORATED PIPE
5. RAIN LEADERS AND CONDUCTORS CONNECTED TO THE BUILDING STORM DRAIN SYSTEM SHALL HAVE A CLEANOUT INSTALLED AT THE BASE OF THE OUTSIDE LEADER OR OUTSIDE CONDUCTOR BEFORE IT CONNECTS TO THE HORIZONTAL DRAIN, PER CPC 1101.13.1. AT ROOF DRAINS WITH RAIN CHAIN AND AT AREA DRAINS, DRAIN LINE IS ACCESSIBLE VIA CATCH BASIN & CLEANOUT MAY BE OMITTED.
6. REFER TO LANDSCAPE PLAN T2.3 FOR PLANTS & TREES
7. REFER TO EXISTING SITE PLAN T2.1 FOR EXISTING UTILITY LOCATIONS.
8. REFER TO EXTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION AT ADDRESS SIGNAGE ETC. RAIN WATER LEADERS SHOWN ON EXTERIOR ELEVATIONS & ROOF PLAN. REFER TO L1 RCP/ELECTRICAL PLAN FOR LIGHTING, INCLUDING SITE LIGHTING

ZONING DATA

1. LOT AREA = 6,000 SQ. FT., CONFORMS W/ 17.084.050.A (AVG SLOPE = 0.00 PER COUNTY GIS)
2. YARDS CONFORM WITH 17.084.070, AS FOLLOWS:
   14'-8" FRONT YARD + 34'-8" REAR YARD = 49'-4" TOTAL (25' TOTAL REQ'D PER 17.084.070.A.1)
   14'-9" SIDE YARD + 14'-9" SIDE YARD = 29'-6" TOTAL (15' MINIMUM REQ'D PER 17.084.070.A.2
3. NO CHANGE TO BUILDING HEIGHT, REF 2/A3.3 FOR HEIGHT (EXISTING HEIGHT = 28'-6")

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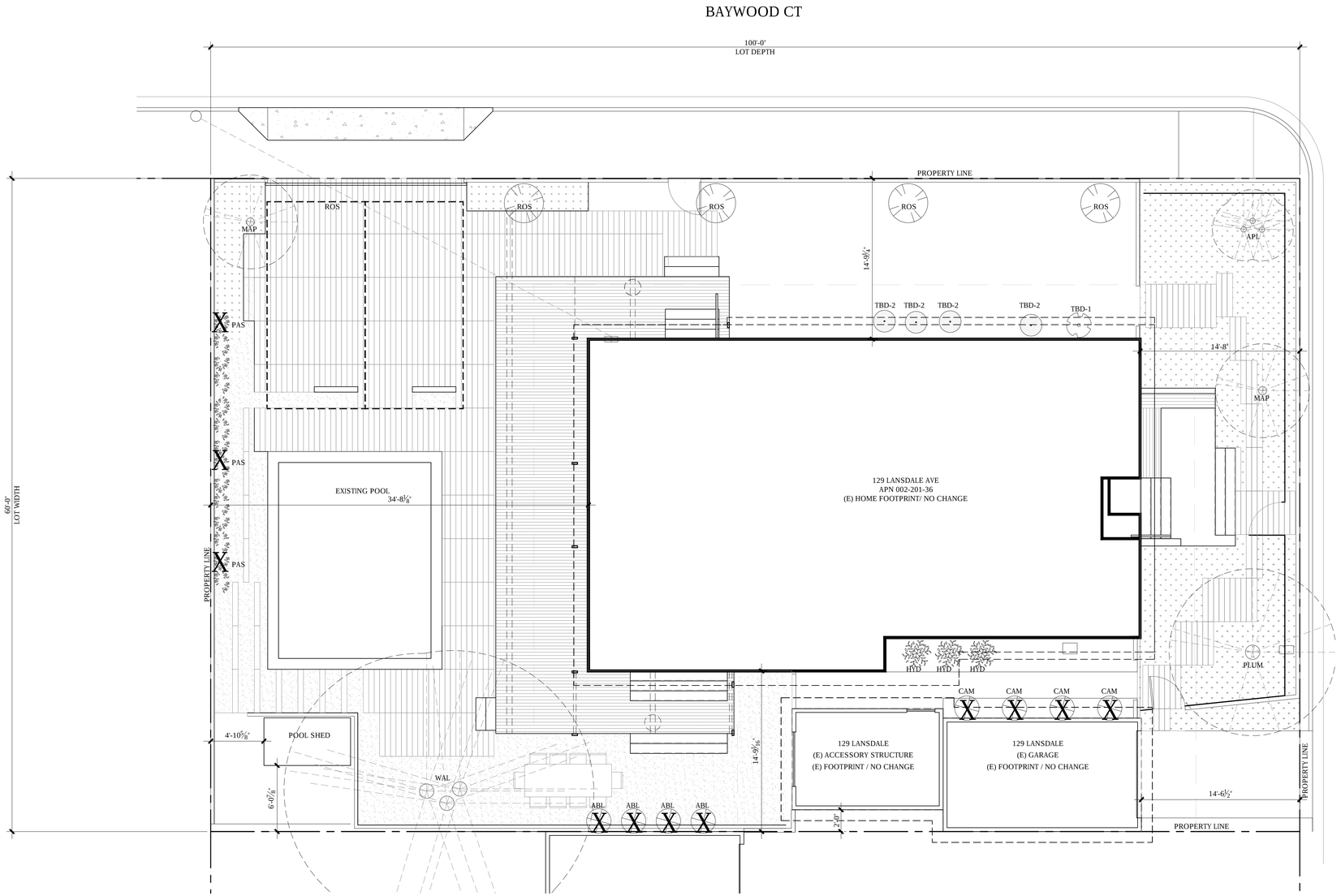
SCALE: 3/16" = 1'-0" SHEET

PROPOSED SITE PLAN

T2.2

DATE: 2023.02.08
JOB NUMBER: 2128



LEGEND

PATTERN	DESCRIPTION
	PEA GRAVEL OR RIVER ROCK, PERMEABLE
	RAISED DECK, WUI COMPLIANT, PERMEABLE
	GARDEN / LANDSCAPE, IRRIGATED
	DRY-SET CONCRETE PAVERS, PERMEABLE
	CONC DRIVEWAY APRON (EXISTING)

ICON DENOTES TREE OR SHRUB (VARIES)

PLUM — TAG ABBREVIATES COMMON NAME, REFER TO LEGEND FOR FULL NAME & LATIN NAME

'X' INDICATES TREE OR SHRUB TO BE REMOVED

LANDSCAPE PLAN: PLANT LIST

SYMBOL	COMMON NAME	LATIN NAME	QTY	FIRE RESISTANT	TYPE	NEW OR EXIST'G	REMARKS
WAL	CALIFORNIA BLACK WALNUT	JUGLANS NIGRA	1	NO	TREE	(E)	PRUNE
PLUM	PLUM	PRUNUS SALICINA	1	YES	TREE	(E)	IRRIGATED
MAP	JAPANESE MAPLE	ACER PALMATUM	2	YES	TREE	(E)	IRRIGATED
APL	GRANNY SMITH/PINK LADY/FUJI APPLE TREE	MALUS DOMESTICA	1	YES	TREE	(E)	IRRIGATED
ROS	ROSE	ROSA SALLY HOLMES	5	YES	SHRUB	(E)	IRRIGATED
CAM	CAMELIA	CAMELLIA JAPONICA	4	YES	SHRUB	(E)	REMOVE
HYD	PANICLED HYDRANGEA	HYDRANGEA PANICULATA	4	NO	SHRUB	(E)	IRRIGATED
PAS	PASSION FLOWER	PASSIFLORA INCARNATA	3	NO	VINE	(E)	REMOVE
ABL	INDIAN MALLOW	ABUTILON PICTUM	4	NO	SHRUB	(E)	REMOVE

1. FIRESAFE MARIN MAINTAINS A LIST OF APPROVED FIRE RESISTANT PLANTS AT WWW.FIRESAFEMARIN.ORG/PLANTS. OTHER PLANT SPECIES NOT LISTED OR NAMED SHALL REQUIRE APPROVAL BY THE FIRE CODE OFFICIAL.
2. GROUND COVER, DECORATIVE GRASSES AND FLOWERS NOT SHOWN & ARE TO BE MAINTAINED IN ACCORDANCE WITH ZONE DEFINED ON PLAN.

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LANDSCAPE PLAN

T2.3

DATE: 2023.02.08
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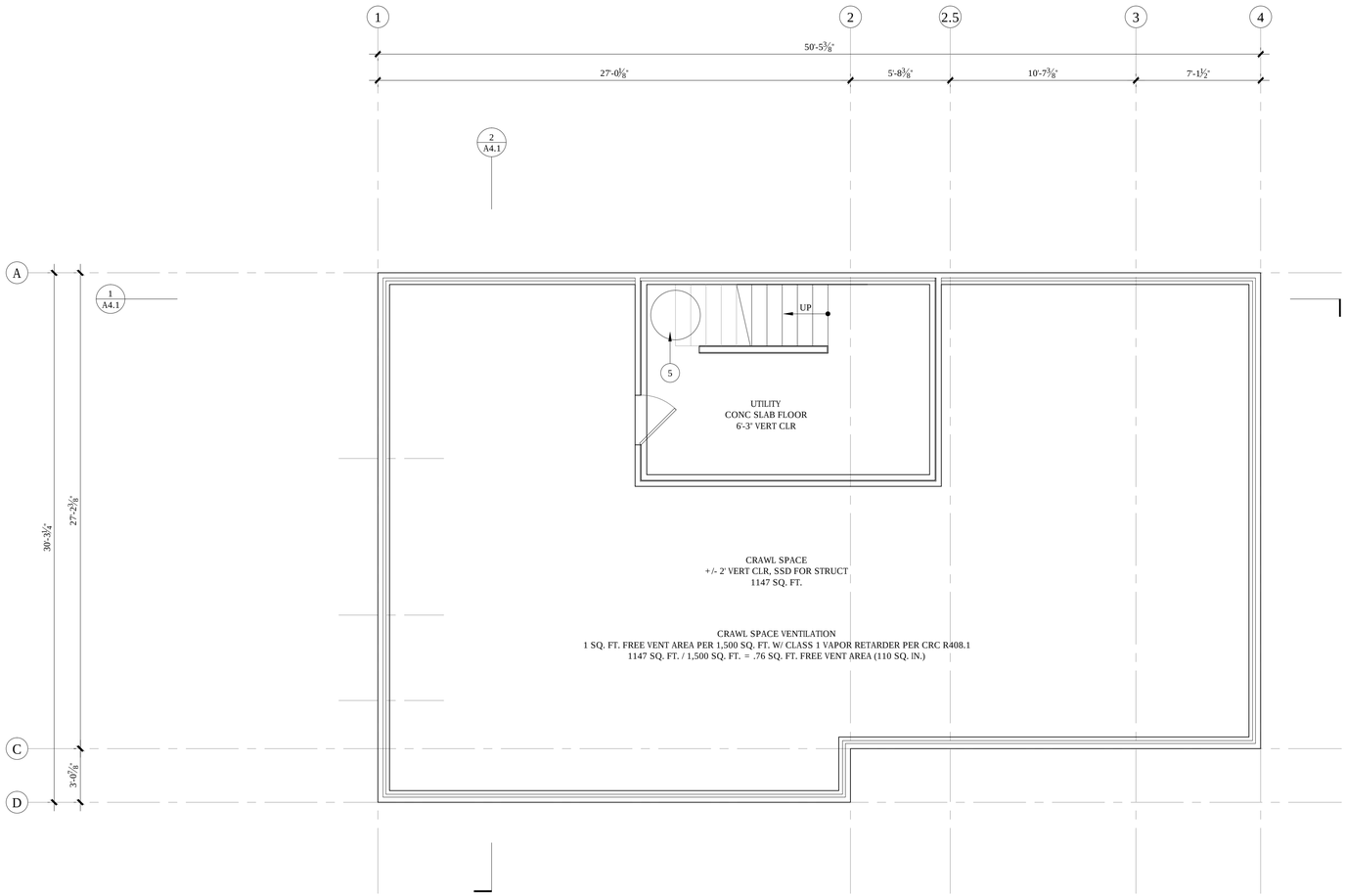

-

LEGEND

MARK	DESCRIPTION
	DEMO (E) WALL
	EXISTING WALL OR ITEM(S) TO REMAIN/PROTECT

GENERAL NOTES

1. ALL CONDITIONS TO BE VIF.
2. EXISTING UNDER-FLOOR UTILITIES NOT SHOWN - VIF.
3. REFER TO EXISTING AND NEW EXTERIOR ELEVATIONS FOR CRAWL SPACE VENTS ABLE TO BE VERIFIED. EXISTING VENTS TO BE REMOVED. REPLACE VENTS IN SAME LOCATIONS, TO THE EXTENT REQUIRED PER THE VENT CALC PER PLAN ABOVE. VENT OPENINGS NOT REQUIRED SHALL BE INFILLED WITH FRAM'G/SHT'G & FINISHED WITH THE BUILDING ENVELOPE.

KEYNOTES

1. EXISTING WH

01 CRAWL SPACE PLAN

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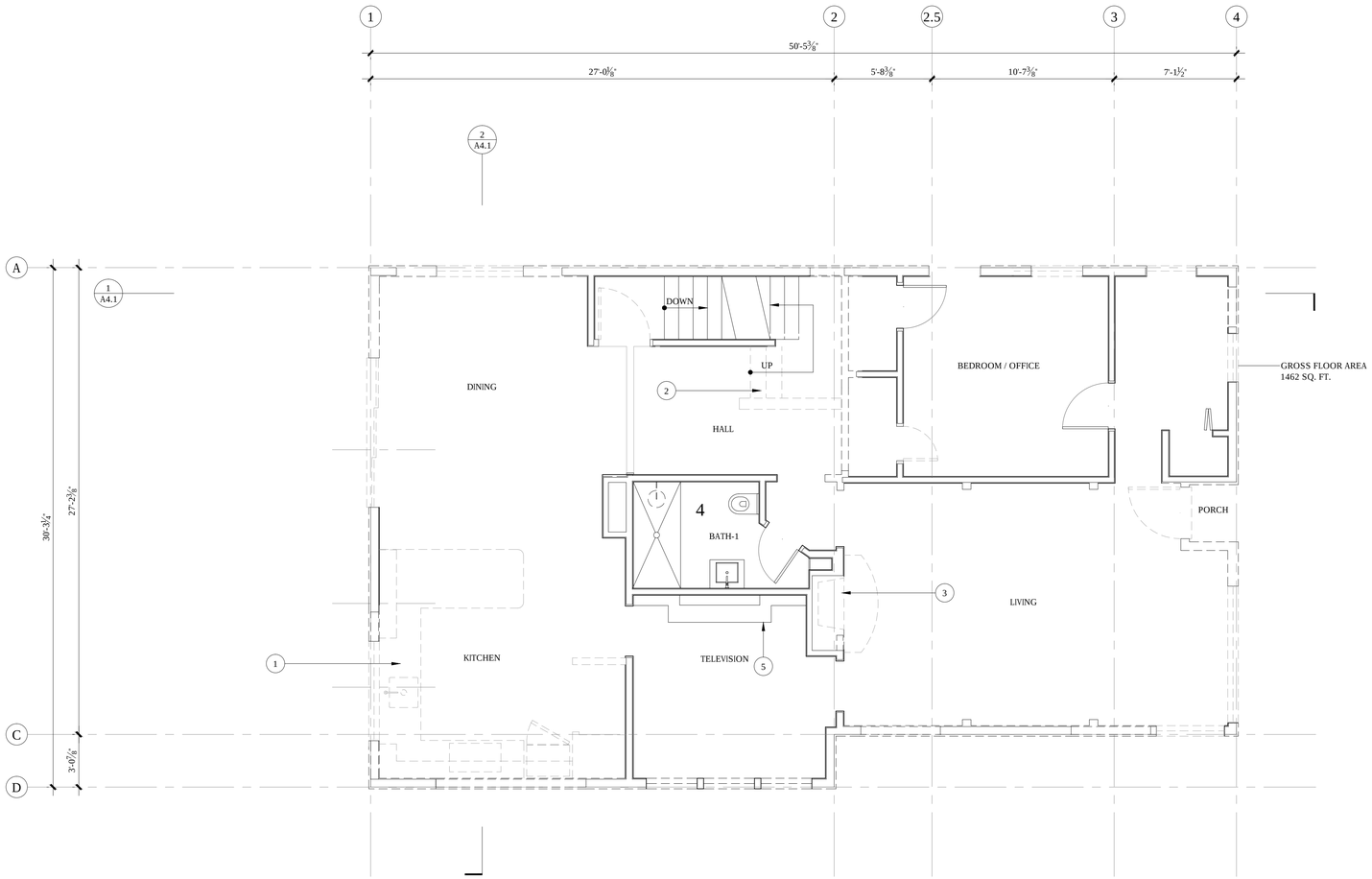
Project
129 LANSDALE AVE.
FAIRFAX, CA 94930
APN 002-201-36

SCALE: 1/4" = 1'-0"

SHEET
CRAWL SPACE PLAN
A2.0

DATE: 2023.02.08
JOB NUMBER: 2128



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LEGEND

MARK	DESCRIPTION
	DEMO (E) WALL
	EXISTING WALL OR ITEM(S) TO REMAIN/PROTECT

GENERAL NOTES

1. ALL CONDITIONS TO BE VIF.
2. POWER RECEPTACLES, SWITCHES, DATA/TEL, MECH EQUIP & DUCTING NOT SHOWN & ARE TO BE REMOVED.
3. NO PROPOSED CHANGE TO EXISTING ELECTRICAL SERVICE. EXISTING PANELS, INCLUDING SOLAR PV EQUIPMENT, TO REMAIN / PROTECT
4. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION

KEYNOTES

1. REMOVE KITCHEN CABINETS, APPLIANCES & FIXTURES
2. REMOVE STAIRS TO THE 2ND FLOOR, STAIRS TO BASEMENT TO REMAIN
3. REMOVE ALL FIRE PLACE, INSERT, FLUE, AND ETC.
4. (E) BATHROOM TO BE REMAINED IN PLACE AND PROTECTED
5. CASEWORK TO REMAIN AND PROTECTED

01 L1 DEMO PLAN

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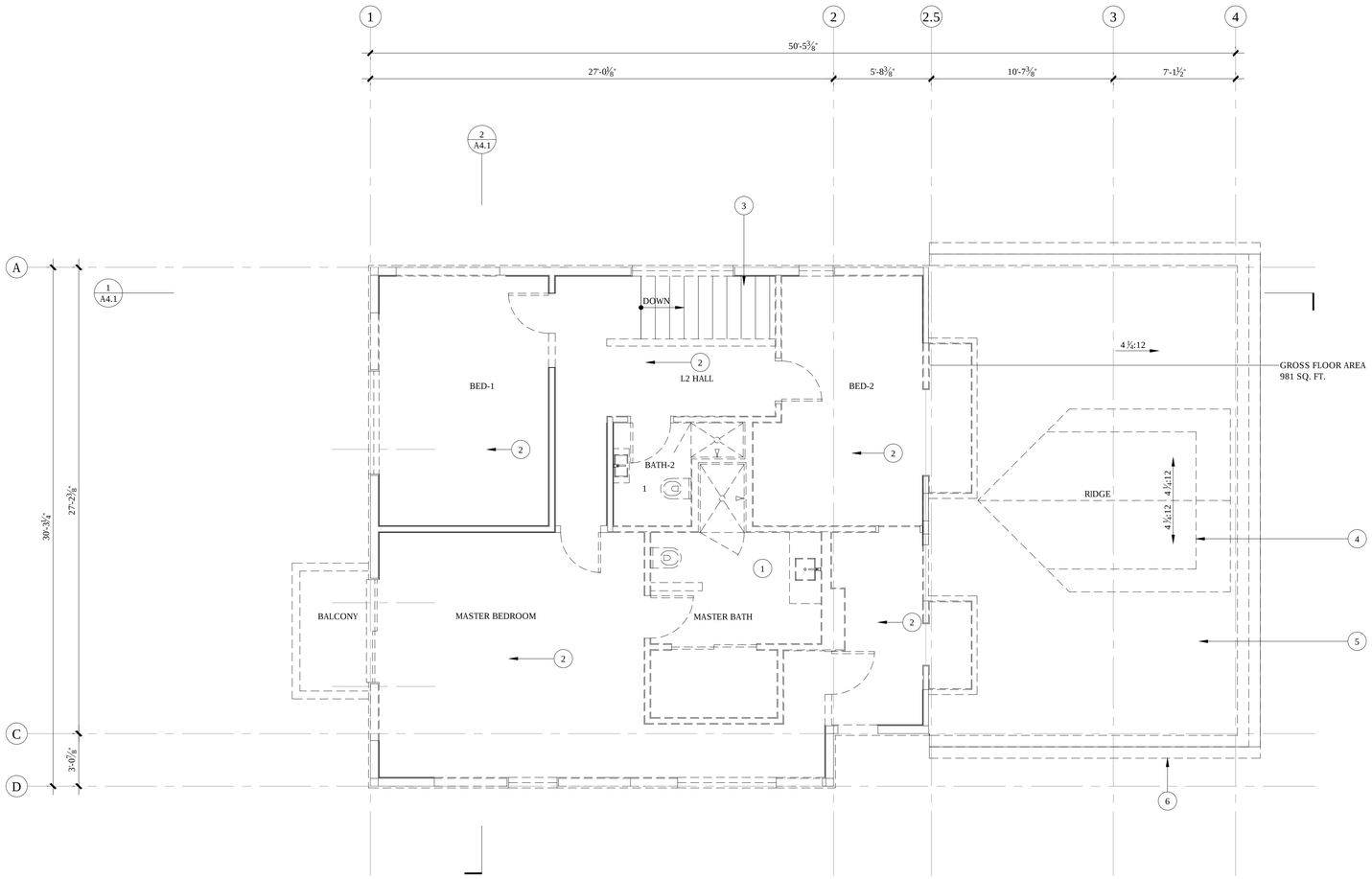
SHEET
L1 DEMO PLAN

A2.1

DATE:2023.02.08
JOB NUMBER: 2128



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LEGEND

MARK	DESCRIPTION
	DEMO (E) WALL
	EXISTING WALL OR ITEM(S) TO REMAIN/PROTECT

GENERAL NOTES

1. ALL CONDITIONS TO BE VIF.
2. POWER RECEPTACLES, SWITCHES, DATA/TEL, MECH EQUIP & DUCTING NOT SHOWN & ARE TO BE REMOVED.
3. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION

KEYNOTES

1. REMOVE BATHROOM FINISHES & FIXTURES
2. REMOVE FLOORING TO SHEATHING
3. REMOVE STAIR, HANDRAILS AND RAILINGS
4. REMOVE ENTIRE DORMER AND FLASHING
5. REMOVE (E) ASPHALT SHINGLE AND ROOFING PAPER
6. CUT ROOF EAVE BACK PER STRUCTURAL

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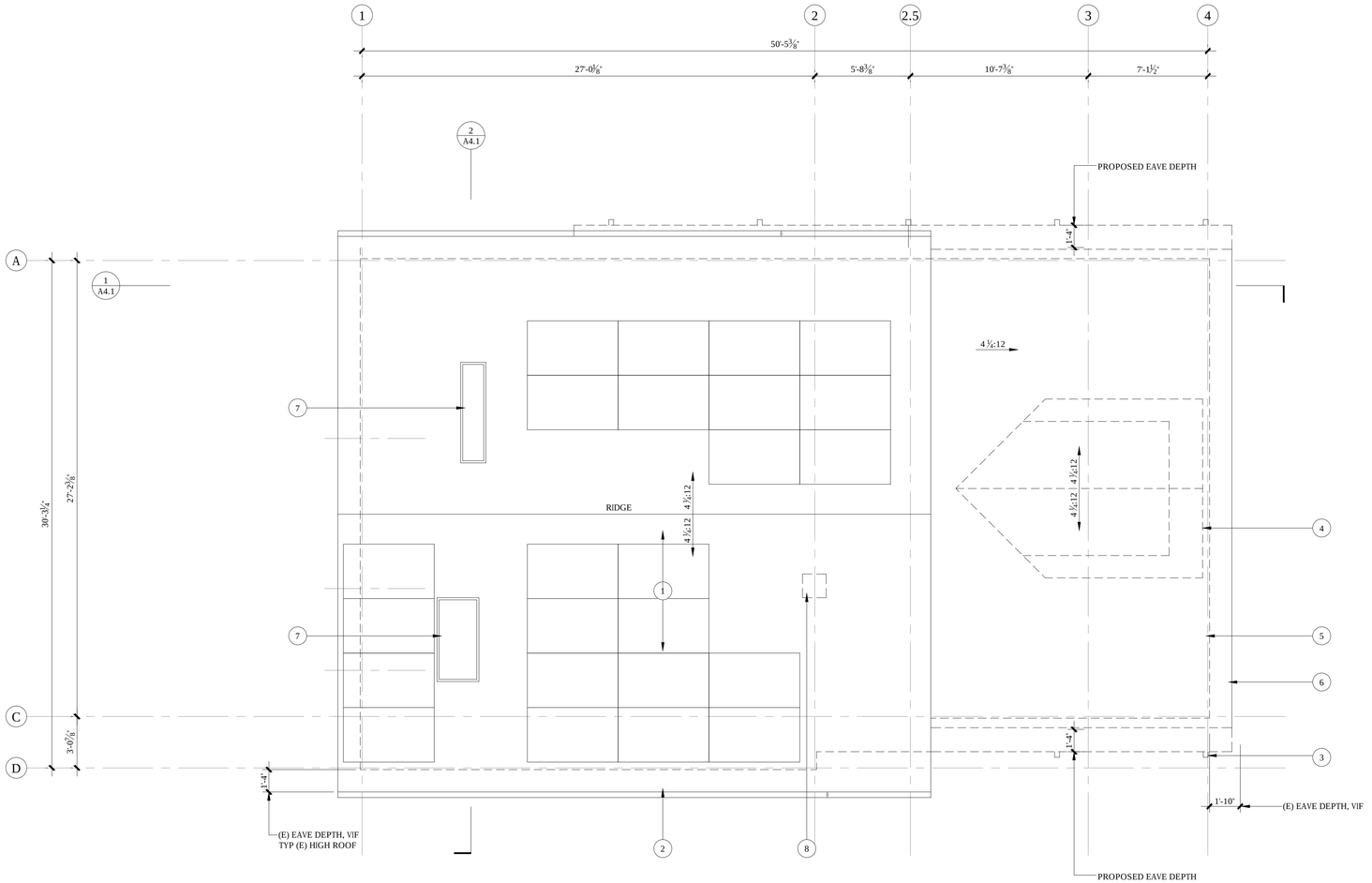
SCALE: 1/4" = 1'-0"

SHEET
L2 DEMO PLAN

A2.2

DATE: 2023.02.08
JOB NUMBER: 2128



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LEGEND

MARK	DESCRIPTION
	DEMO (E) WALL
	EXISTING WALL OR ITEM(S) TO REMAIN/PROTECT

GENERAL NOTES

1. ALL CONDITIONS TO BE VIF.
2. POWER RECEPTACLES, SWITCHES, DATA/TEL, MECH EQUIP & DUCTING NOT SHOWN & ARE TO BE REMOVED.

KEYNOTES

1. (E) SOLAR PANEL TO REMAIN AND PROTECTED
2. (E) UPPER ROOF TO REMAIN / NO WORK
3. (E) ROOF OUTRIGGERS TO BE REMOVED
4. REMOVE ENTIRE DORMER
5. (E) ASPHALT SHINGLE TO REMAIN
6. CUT (E) ROOF EAVE BACK PER STRUCTURAL
7. (E) SKYLIGHT TO REMAIN/PROTECT
8. (E) MASONRY CHIMNEY, CAP, ARRESTOR & ALL FLASH'G TO BE REMOVED

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SCALE: 1/4" = 1'-0" SHEET

ROOF DEMO PLAN

A2.3

DATE: 2023.02.08
JOB NUMBER: 2128

-

LEGEND

PATTERN	DESCRIPTION
	(E) FRAMED WALL TO REMAIN / PROTECT
	(N) WALL, REF WALL TYPE FOR FINISH & SSD FOR FRAMG

GENERAL NOTES

1. PRIOR TO CLOSE-IN OF BUILDING SHELL, CONFIRM MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED FOR MOISTURE CONTENT OF 19% OR LESS. DO NOT PROCEED WITH WORK UNTIL MOISTURE CONTENT IS 19% OR LESS.
2. CONTRACTOR SHALL LAYOUT ROUGH FRAMING ALIGNMENT AND FIXTURE/FITTING CENTERS FOR OWNER/ARCHITECT APPROVAL PRIOR TO COMMENCING WALL FRAMING OR ROUGH-IN WORK.
3. REFER TO SYMBOLS PLAN AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FIXTURES, APPLIANCES, AND EQUIPMENT. REFER TO LAYOUT PLAN FOR DIMENSIONS.
4. PRIOR TO CONSTRUCTION, CONFIRM FRAMING LAYOUT AND FIXTURE LOCATIONS WILL CONFORM WITH MINIMUM DESIGN REQUIREMENTS LISTED BELOW
5. THIS LEVEL IS OCCUPANCY GROUP R-3, FOR REFERENCE
6. REF LAYOUT PLAN A2.2A FOR PLUMBING, MECH ROUTING, & DIMENSIONS

KEYNOTES

1. -

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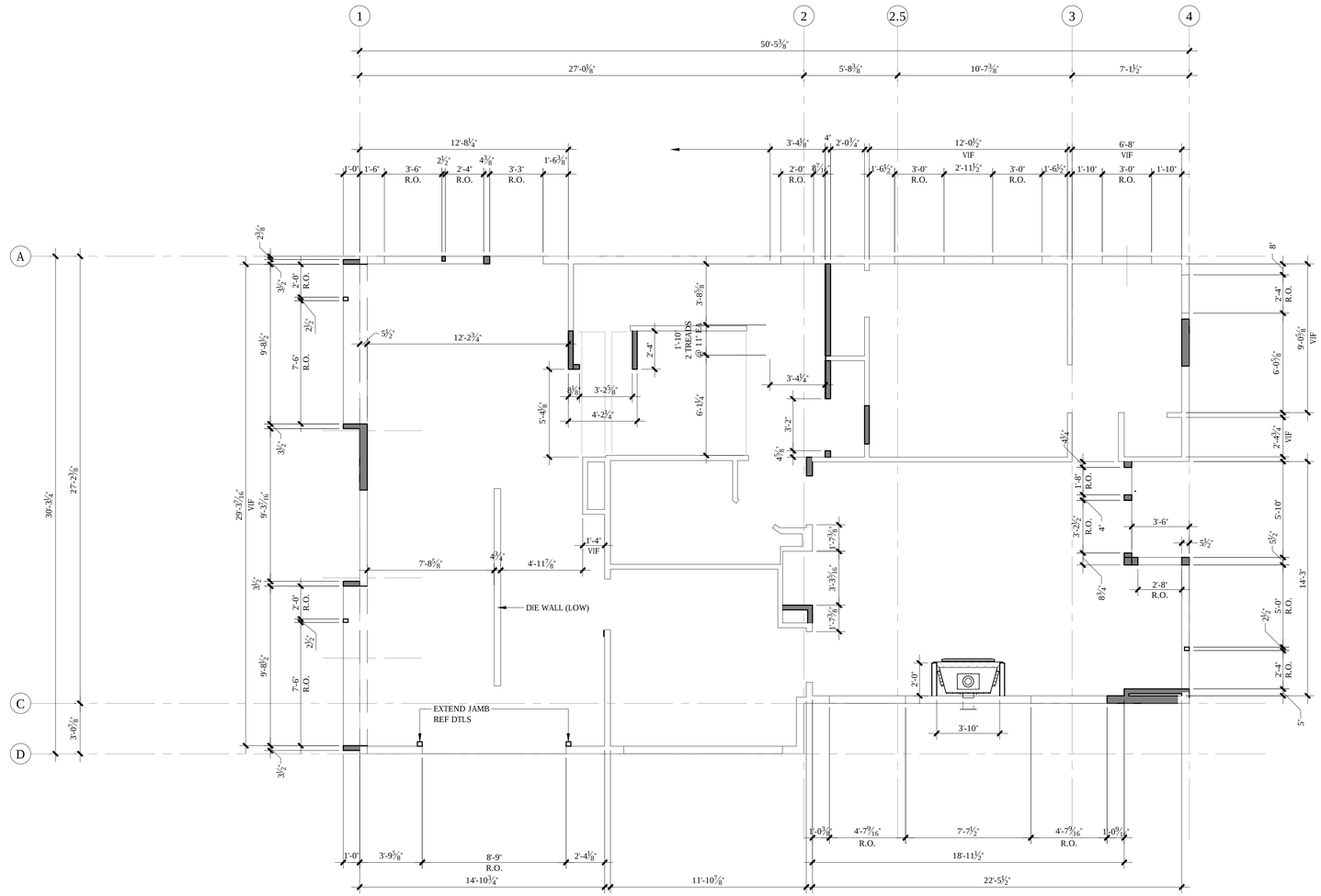
SCALE: 1/4" = 1'-0" SHEET

PROPOSED L1 PLAN

A2.4

DATE: 2023.02.08
JOB NUMBER: 2128



MINIMUM DESIGN REQUIREMENTS

1. SPACES FOR LIVING, SLEEPING, EATING OR COOKING ARE DEFINED AS HABITABLE SPACES. BATHROOMS, TOILET ROOMS, CLOSETS, HALLS, STORAGE OR UTILITY SPACES, AND SIMILAR AREAS ARE NOT CONSIDERED HABITABLE SPACES.
2. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM, AND SHALL HAVE NATURAL VENTILATION PROVIDED BY WINDOWS, DOORS, SKYLIGHTS, OR LOUVERS WITH OPENABLE AREA NOT LESS THAN 4% OF THE FLOOR AREA OF THE ROOM PER R303.1. BATHROOMS SHALL HAVE WINDOWS NOT LESS THAN 3 SQ. FT., HALF OF WHICH SHALL BE OPENABLE PER R303.3. GLAZED AREAS MAY BE OMITTED IF ARTIFICIAL LIGHT AND VENT ARE PROVIDED PER R303.3 EXCEPTION.
3. FLOOR AREA OF HABITABLE ROOMS SHALL NOT BE LESS THAN 70 SQ. FT. PER R304.1.
4. HABITABLE ROOMS EXCEPT KITCHENS SHALL NOT BE LESS THAN 7' IN ANY HORIZONTAL DIMENSION, R304.2
5. CEILING HEIGHT FOR HABITABLE ROOMS & HALLWAYS TO BE 7'.
6. CEILING HEIGHT FOR BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS TO BE 6'-8'
7. EACH SLEEPING ROOM SHALL HAVE (1) EMERGENCY ESCAPE AND RESCUE OPENING (EERO) OPENING ONTO A PUBLIC WAY, YARD OR COURT. EERO TO BE 5.7 SQ. FT. MIN; 24" MIN NET CLR HEIGHT X 20" MIN NET CLR WIDTH, EERO WINDOW SILLS SHALL NOT BE MORE THAN 44" ABOVE FLOOR PER R310.2.1&.2. HINGED AND SLIDING DOORS OR AS EERO WHERE COMPLYING WITH DIMENSIONAL REQUIREMENTS.
8. PRIOR TO CONSTRUCTION, CONFIRM FRAMING LAYOUT AND FIXTURE LOCATIONS WILL PROVIDE A MINIMUM OF THE FOLLOWING:
   - WC SHALL HAVE 30" CLEARANCE, AND BE 15" FROM ADJACENT WALL OR FIXTURES.
   - WC SHALL HAVE 24" CLEARANCE IN FRONT OF FIXTURE., AND HAVE 30" CLEAR
   - SHOWER DOORS SHALL PROVIDE 22" MINIMUM CLEAR WHEN OPEN CPC SEC 408.5, AND SHALL OPEN OUT.
   - SHOWER COMPARTMENTS HALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE PER CPC SECTION 408.6
9. OUTLINE OF LANDINGS AT DOORS OTHER THAN EGRESS DOORS, PER CRC R311.3 & CRC 311.3.2: THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED & SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). THE LANDINGS OR FLOORS SHALL NOT MORE THAN 73/4 INCHES BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.
10. OUTLINE OF LANDINGS AT EGRESS DOORS, PER CRC R311.3.1: THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED & SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
11. STAIRWAY WIDTH PER R311.7.1 WIDTH: STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 311/2 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
12. STAIR LANDINGS PER R311.7.6: THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED.RVED.

KEYNOTES

1. EXTERIOR WALL FRAMING ASSUMED TO BE 2x6. IF 2x4, FURR INTERIOR TO PROVIDE 2x6 WALL CAVITY TO COMPLY WITH ENERGY CALCULATION REQUIREMENTS. REVIEW STRUCT WALLS W/ STRUCT ENGINEER.
2. POST AT DOUBLE WINDOW OPENINGS ("18A" + "18B" FOR EXAMPLE) TO BE 3x4.

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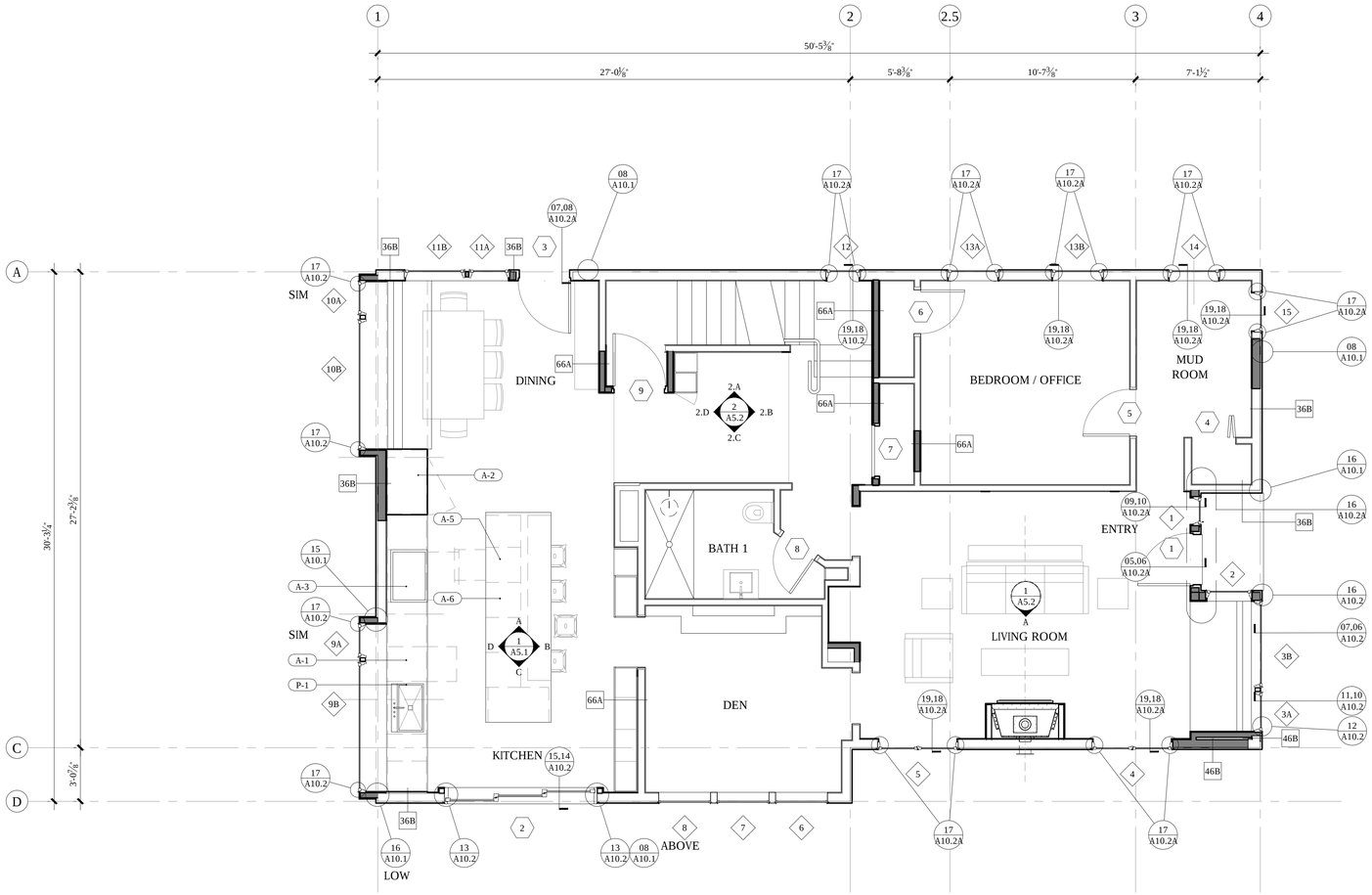
APN 002-201-36

SCALE: 1/4" = 1'-0" SHEET

L1 LAYOUT PLAN

A2.4A

DATE: 2023.02.08
JOB NUMBER: 2128



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SHEET

L1 SYMBOLS PLAN

A2.4B

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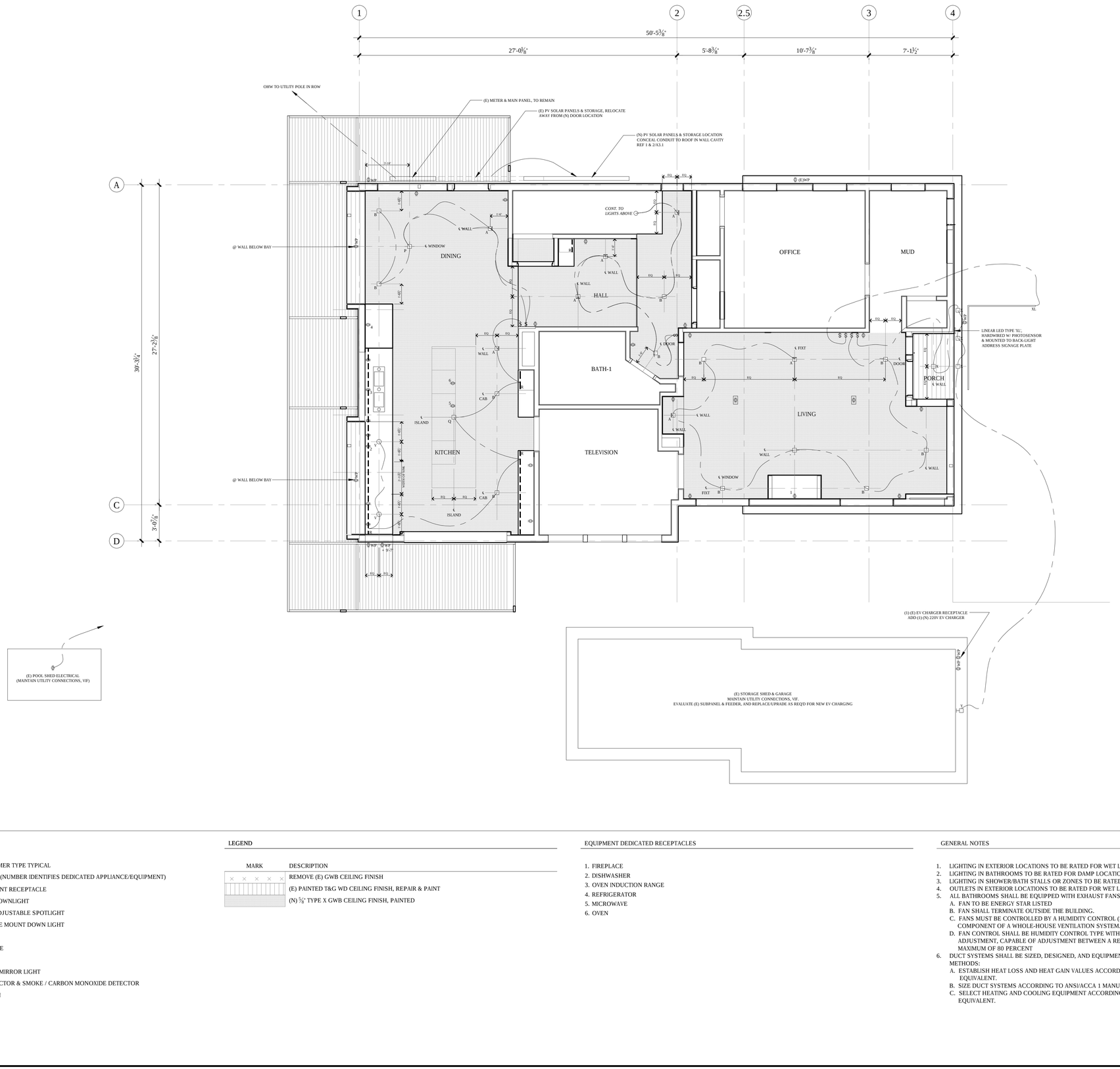

LEGEND

MARK	DESCRIPTION
	REMOVE (E) GWB CEILING FINISH
	(E) PAINTED T&G WD CEILING FINISH, REPAIR & PAINT
	(N) 5/8" TYPE X GWB CEILING FINISH, PAINTED

- $ SWITCH, DIMMER TYPE TYPICAL
- RECEPTACLE (NUMBER IDENTIFIES DEDICATED APPLIANCE/EQUIPMENT)
- FLOOR MOUNT RECEPTACLE
- RECESSED DOWNLIGHT
- RECESSED ADJUSTABLE SPOTLIGHT
- CAN SURFACE MOUNT DOWN LIGHT
- PENDANT
- WALL SCONCE
- LED STRIP
- INTEGRATED MIRROR LIGHT
- SD SC SMOKE DETECTOR & SMOKE / CARBON MONOXIDE DETECTOR
- EXHAUST FAN

EQUIPMENT DEDICATED RECEPTACLES

1. FIREPLACE
2. DISHWASHER
3. OVEN INDUCTION RANGE
4. REFRIGERATOR
5. MICROWAVE
6. OVEN

GENERAL NOTES

1. LIGHTING IN EXTERIOR LOCATIONS TO BE RATED FOR WET LOCATIONS.
2. LIGHTING IN BATHROOMS TO BE RATED FOR DAMP LOCATIONS.
3. LIGHTING IN SHOWER/BATH STALLS OR ZONES TO BE RATED FOR WET LOCATIONS.
4. OUTLETS IN EXTERIOR LOCATIONS TO BE RATED FOR WET LOCATIONS.
5. ALL BATHROOMS SHALL BE EQUIPPED WITH EXHAUST FANS CONFORMING WITH THE FOLLOWING:
   A. FAN TO BE ENERGY STAR LISTED
   B. FAN SHALL TERMINATE OUTSIDE THE BUILDING.
   C. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL (SEPARATE OR BUILT-IN); OR FUNCTIONING AS A COMPONENT OF A WHOLE-HOUSE VENTILATION SYSTEM.
   D. FAN CONTROL SHALL BE HUMIDITY CONTROL TYPE WITH MANUAL OR AUTOMATIC MEANS OF ADJUSTMENT, CAPABLE OF ADJUSTMENT BETWEEN A RELATIVE HUMIDITY RANGE OF Ó 50 PERCENT TO A MAXIMUM OF 80 PERCENT
6. DUCT SYSTEMS SHALL BE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
   A. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI/ACCA 2 MANUAL J-2016 OR EQUIVALENT.
   B. SIZE DUCT SYSTEMS ACCORDING TO ANSI/ACCA 1 MANUAL D - 2016 OR EQUIVALENT.
   C. SELECT HEATING AND COOLING EQUIPMENT ACCORDING TO ANSI/ACCA 3 MANUAL S-2014 OR EQUIVALENT.

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SHEET

L1 RCP

A2.5

DATE:2023.02.08
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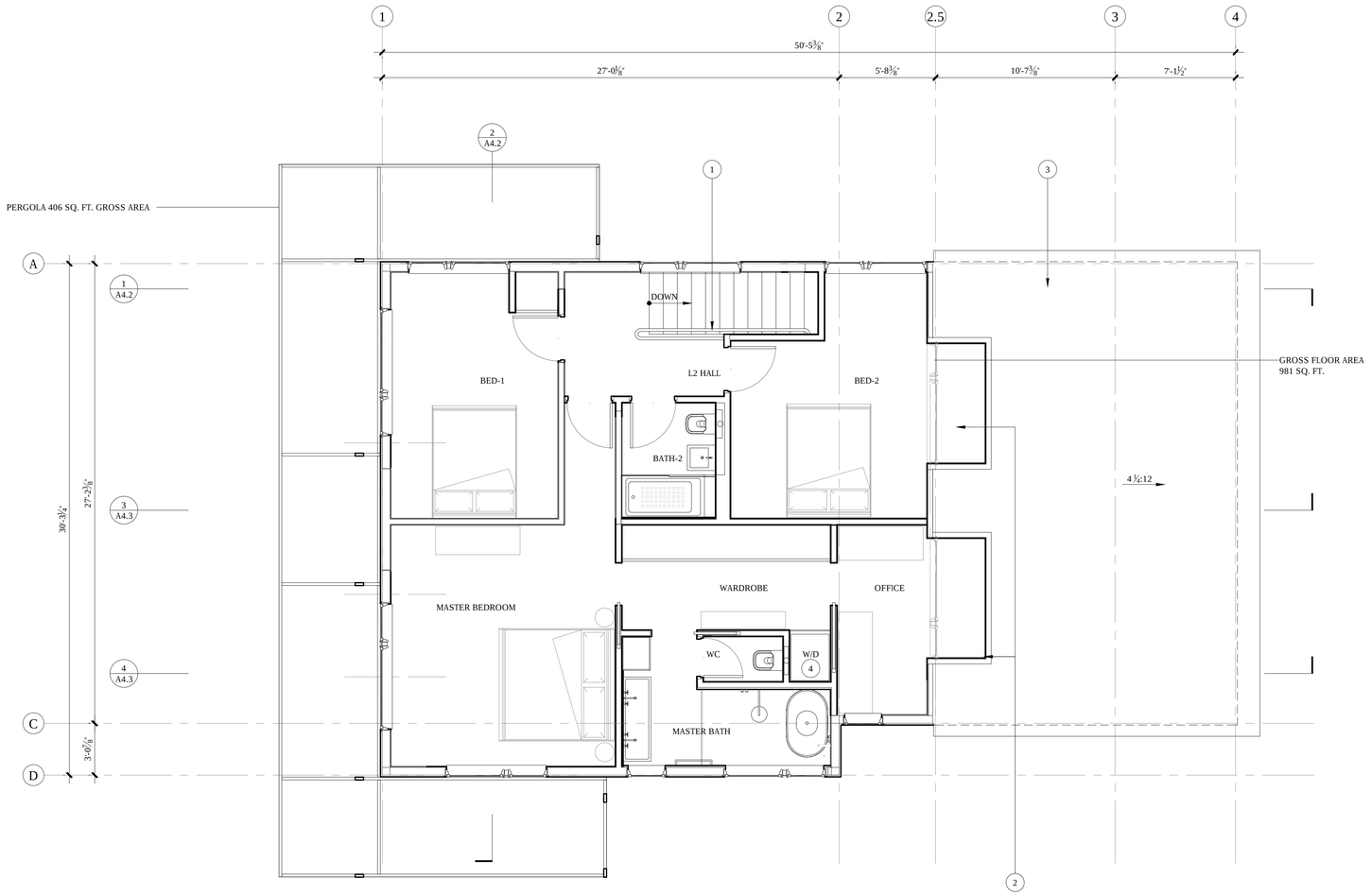

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LEGEND

PATTERN	DESCRIPTION
	(E) FRAMED WALL TO REMAIN / PROTECT
	(N) WALL, REF WALL TYPE FOR FINISH & SSD FOR FRAMG

GENERAL NOTES

1. PRIOR TO CLOSE-IN OF BUILDING SHELL, CONFIRM MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED FOR MOISTURE CONTENT OF 19% OR LESS. DO NOT PROCEED WITH WORK UNTIL MOISTURE CONTENT IS 19% OR LESS.
2. CONTRACTOR SHALL LAYOUT ROUGH FRAMING ALIGNMENT AND FIXTURE/FITTING CENTERS FOR OWNER/ARCHITECT APPROVAL PRIOR TO COMMENCING WALL FRAMING OR ROUGH-IN WORK.
3. REFER TO SYMBOLS PLAN AND INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION REGARDING FIXTURES, APPLIANCES, AND EQUIPMENT. REFER TO LAYOUT PLAN FOR DIMENSIONS.
4. PRIOR TO CONSTRUCTION, CONFIRM FRAMING LAYOUT AND FIXTURE LOCATIONS WILL CONFORM WITH MINIMUM DESIGN REQUIREMENTS LISTED BELOW
5. THIS LEVEL IS OCCUPANCY GROUP R-3, FOR REFERENCE
6. REF LAYOUT PLAN A2.2A FOR PLUMBING, MECH ROUTING, & DIMENSIONS

KEYNOTES

1. NEW WD GUARDRAIL/HANDRAIL W/ WD POOL CUE BALLUSTER
2. LIMITED VERTICAL CLR STORAGE, UNDER (E) ROOF
3. (N) STANDING SEAM METAL ROOF FINISH
4. (N) WASHER / DRYER

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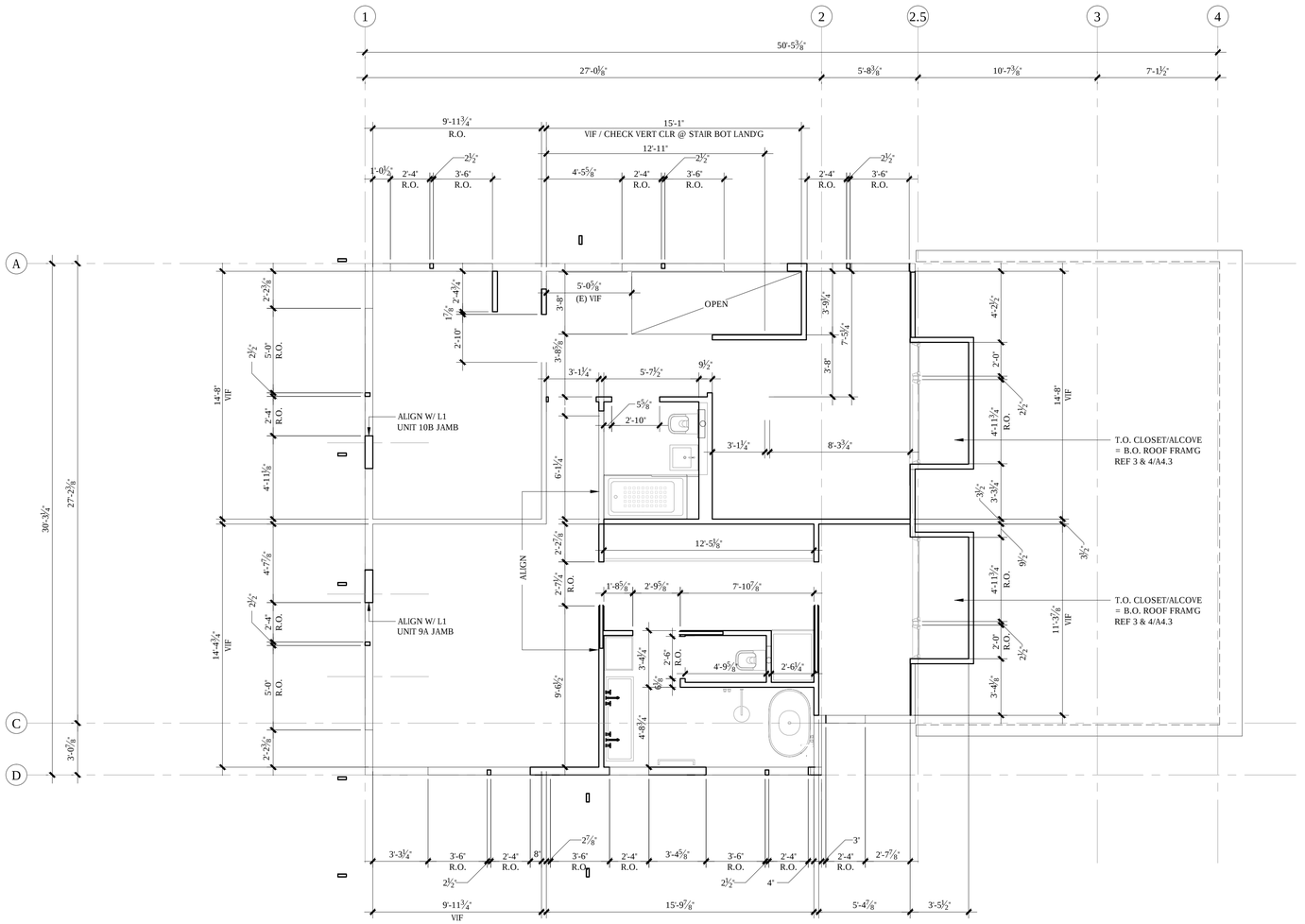
Project
129 LANSDALE AVE.
FAIRFAX, CA 94930
APN 002-201-36

SCALE: 1/4" = 1'-0" SHEET

L2 PROPOSED PLAN

A2.6

DATE: 129 LANSDALE PERMIT
JOB NUMBER: 2128



MINIMUM DESIGN REQUIREMENTS

1. SPACES FOR LIVING, SLEEPING, EATING OR COOKING ARE DEFINED AS HABITABLE SPACES. BATHROOMS, TOILET ROOMS, CLOSETS, HALLS, STORAGE OR UTILITY SPACES, AND SIMILAR AREAS ARE NOT CONSIDERED HABITABLE SPACES.
2. HABITABLE ROOMS SHALL HAVE AN AGGREGATE GLAZING AREA NOT LESS THAN 8% OF THE FLOOR AREA OF THE ROOM, AND SHALL HAVE NATURAL VENTILATION PROVIDED BY WINDOWS, DOORS, SKYLIGHTS, OR LOUVERS WITH OPENABLE AREA NOT LESS THAN 4% OF THE FLOOR AREA OF THE ROOM PER R303.1. BATHROOMS SHALL HAVE WINDOWS NOT LESS THAN 3 SQ. FT., HALF OF WHICH SHALL BE OPENABLE PER R303.3. GLAZED AREAS MAY BE OMITTED IF ARTIFICIAL LIGHT AND VENT ARE PROVIDED PER R303.3 EXCEPTION.
3. FLOOR AREA OF HABITABLE ROOMS SHALL NOT BE LESS THAN 70 SQ. FT. PER R304.1.
4. HABITABLE ROOMS EXCEPT KITCHENS SHALL NOT BE LESS THAN 7' IN ANY HORIZONTAL DIMENSION, R304.2
5. CEILING HEIGHT FOR HABITABLE ROOMS & HALLWAYS TO BE 7'.
6. CEILING HEIGHT FOR BATHROOMS, TOILET ROOMS, AND LAUNDRY ROOMS TO BE 6'-8"
7. EACH SLEEPING ROOM SHALL HAVE (1) EMERGENCY ESCAPE AND RESCUE OPENING (EERO) OPENING ONTO A PUBLIC WAY, YARD OR COURT. EERO TO BE 5.7 SQ. FT. MIN; 24" MIN NET CLR HEIGHT X 20" MIN NET CLR WIDTH, EERO WINDOW SILLS SHALL NOT BE MORE THAN 44" ABOVE FLOOR PER R310.2.1&.2. HINGED AND SLIDING DOORS OK AS EERO WHERE COMPLYING WITH DIMENSIONAL REQUIREMENTS.
8. PRIOR TO CONSTRUCTION, CONFIRM FRAMING LAYOUT AND FIXTURE LOCATIONS WILL PROVIDE A MINIMUM OF THE FOLLOWING:
   - WC SHALL HAVE 30" CLEARANCE, AND BE 15" FROM ADJACENT WALL OR FIXTURES.
   - WC SHALL HAVE 24" CLEARANCE IN FRONT OF FIXTURE., AND HAVE 30" CLEAR
   - SHOWER DOORS SHALL PROVIDE 22" MINIMUM CLEAR WHEN OPEN CPC SEC 408.5, AND SHALL OPEN OUT.
   - SHOWER COMPARTMENTS HALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30 INCH CIRCLE PER CPC SECTION 408.6
9. OUTLINE OF LANDINGS AT DOORS OTHER THAN EGRESS DOORS, PER CRC R311.3 & CRC 311.3.2: THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED & SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). THE LANDINGS OR FLOORS SHALL NOT MORE THAN 73/4 INCHES BELOW THE TOP OF THE THRESHOLD. EXCEPTION: A TOP LANDING IS NOT REQUIRED WHERE A STAIRWAY OF NOT MORE THAN TWO RISERS IS LOCATED ON THE EXTERIOR SIDE OF THE DOOR, PROVIDED THAT THE DOOR DOES NOT SWING OVER THE STAIRWAY.
10. OUTLINE OF LANDINGS AT EGRESS DOORS, PER CRC R311.3.1: THE WIDTH OF EACH LANDING SHALL BE NOT LESS THAN THE DOOR SERVED & SHALL HAVE A DIMENSION OF NOT LESS THAN 36 INCHES MEASURED IN THE DIRECTION OF TRAVEL. THE SLOPE AT EXTERIOR LANDINGS SHALL NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). LANDINGS OR FINISHED FLOORS AT THE REQUIRED EGRESS DOOR SHALL BE NOT MORE THAN 11/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL BE NOT MORE THAN 73/4 INCHES (196 MM) BELOW THE TOP OF THE THRESHOLD PROVIDED THAT THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
11. STAIRWAY WIDTH PER R311.7.1 WIDTH: STAIRWAYS SHALL BE NOT LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT AND BELOW THE REQUIRED HEADROOM HEIGHT. THE CLEAR WIDTH OF STAIRWAYS AT AND BELOW THE HANDRAIL HEIGHT, INCLUDING TREADS AND LANDINGS, SHALL BE NOT LESS THAN 311/2 INCHES WHERE A HANDRAIL IS INSTALLED ON ONE SIDE AND 27 INCHES WHERE HANDRAILS ARE INSTALLED ON BOTH SIDES.
12. STAIR LANDINGS PER R311.7.6: THERE SHALL BE A FLOOR OR LANDING AT THE TOP AND BOTTOM OF EACH STAIRWAY. THE WIDTH PERPENDICULAR TO THE DIRECTION OF TRAVEL SHALL BE NOT LESS THAN THE WIDTH OF THE FLIGHT SERVED.RVED.

GENERAL NOTES

1. EXTERIOR WALL FRAMING ASSUMED TO BE 2x6. IF 2x4, FURR INTERIOR TO PROVIDE 2x6 WALL CAVITY TO COMPLY WITH ENERGY CALCULATION REQUIREMENTS. REVIEW STRUCT WALLS W/ STRUCT ENGINEER.
2. POST AT DOUBLE WINDOW OPENINGS ('18A" + "18B' FOR EXAMPLE) TO BE 3x4.

01 L2 LAYOUT PLAN

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L2 LAYOUT PLAN

A2.6A

DATE: 129 LANSDALE PERMIT
JOB NUMBER: 2128

1. -

1. -

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SHEET

L2 SYMBOLS PLAN

A2.6B

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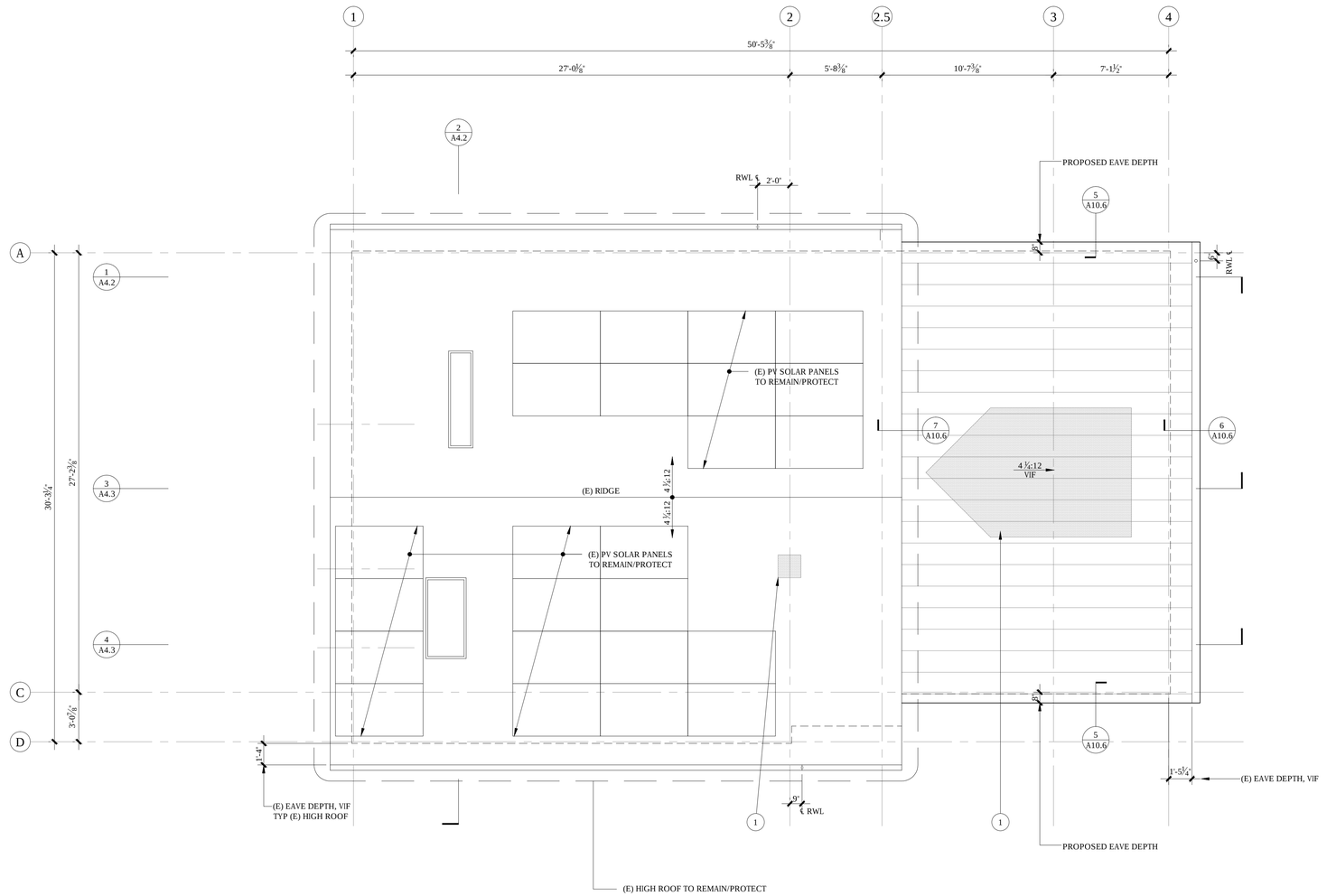
JOB NUMBER: 2128



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GENERAL NOTES

1. AREAS OF NEW ROOFING TO BE A CLASS-A TESTED AND LISTED ASSEMBLY, SPECIFIC TO THE ROOF SLOPE AND COMBUSTIBLE DECK.
2. ROOF FINISH TO BE STANDING SEAM METAL. REFER TO HORIZONTAL ASSEMBLIES 20, 21, 22, 23, & 24/A9.2 FOR ADDITIONAL INFORMATION.
3. ATTIC AT FRONT ROOF TO BE VENTED. REFER TO EXTERIOR ELEVATIONS FOR SIDE WALL VENTS.
4. RAIN LEADERS AND CONDUCTORS CONNECTED TO THE BUILDING STORM DRAIN SYSTEM SHALL HAVE A CLEANOUT INSTALLED AT THE BASE OF THE OUTSIDE LEADER OR OUTSIDE CONDUCTOR BEFORE IT CONNECTS TO THE HORIZONTAL DRAIN, PER CPC 1101.13.1. IN LIEU OF CLEANOUT, RAIN CHAIN WILL CONNECT TO CATCHBASIN WITH REMOVABLE COVER FOR MAINTENANCE/ALTERNATE COMPLIANCE.
5. RAIN WATER LEADER LOCATIONS ARE COORDINATED WITH EXTERIOR ELEVATIONS. WHERE LOCATION AT UPPER ROOF IS REVISED, PATCH OR REPLACE SECTION OF GUTTER AS REQURIED. ENSURE GUTTER SLOPES TO DRAIN.
6. NEW GUTTER AT LOW ROOF TO BE 8" HALF ROUND, GALVANIZED AND PAINTED TO MATCH METAL DETAILS ON EXTERIOR.
7. PV SOLAR AND SKYLIGHTS ARE EXISTING TO REMAIN/PROTECT.

KEYNOTES

1. PATTERN INDICATES AREA OF EXISTING ROOF TO BE PATCHED WITH (E) FRAM'G AS REQ'D & SHTG AT DEMO'D CHIMNEY AND CUPOLA. AT CHIMNEY INFILL, SHINGLE-IN (N) AC SHINGLES TO MATCH (E) ADJACENT AC SHINGLE SIZE, STYLE & COLOR.

01 ROOF PLAN

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SHEET
ROOF PLAN
A2.8

DATE: 2023.02.08
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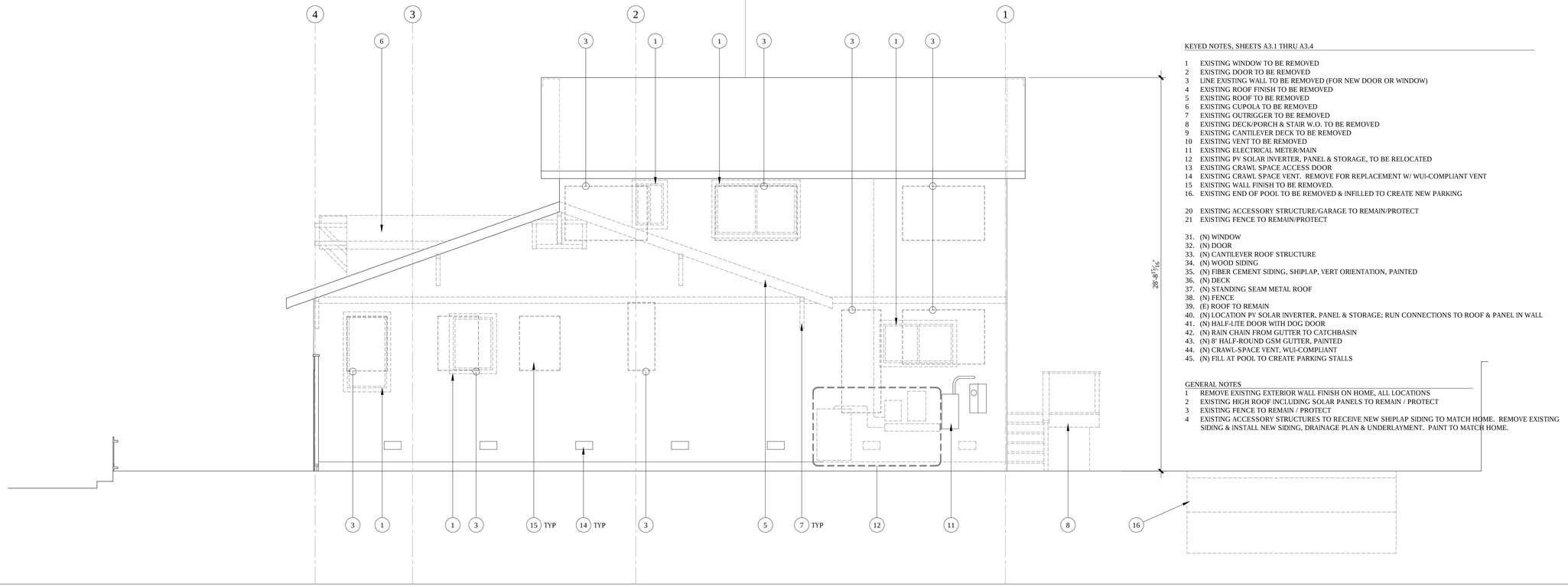


KEYED NOTES, SHEETS A3.1 THRU A3.4

1 EXISTING WINDOW TO BE REMOVED
2 EXISTING DOOR TO BE REMOVED
3 LINE EXISTING WALL TO BE REMOVED (FOR NEW DOOR OR WINDOW)
4 EXISTING ROOF FINISH TO BE REMOVED
5 EXISTING ROOF TO BE REMOVED
6 EXISTING CUPOLA TO BE REMOVED
7 EXISTING OUTRIGGER TO BE REMOVED
8 EXISTING DECK/PORCH & STAIR W.O. TO BE REMOVED
9 EXISTING CANTILEVER DECK TO BE REMOVED
10 EXISTING VENT TO BE REMOVED
11 EXISTING ELECTRICAL METER/MAIN
12 EXISTING PV SOLAR INVERTER, PANEL & STORAGE, TO BE RELOCATED
13 EXISTING CRAWL SPACE ACCESS DOOR
14 EXISTING CRAWL SPACE VENT. REMOVE FOR REPLACEMENT W/ WUI-COMPLIANT VENT
15 EXISTING WALL FINISH TO BE REMOVED.
16. EXISTING END OF POOL TO BE REMOVED & INFILLED TO CREATE NEW PARKING

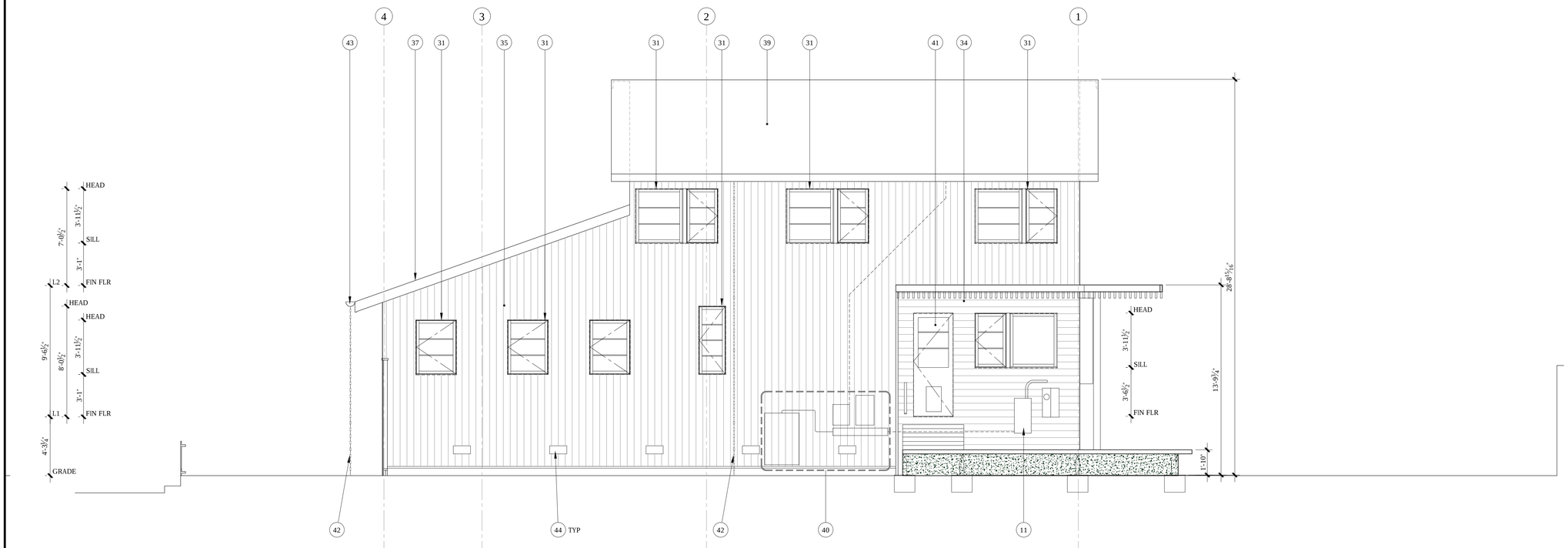
20 EXISTING ACCESSORY STRUCTURE/GARAGE TO REMAIN/PROTECT
21 EXISTING FENCE TO REMAIN/PROTECT

31. (N) WINDOW
32. (N) DOOR
33. (N) CANTILEVER ROOF STRUCTURE
34. (N) WOOD SIDING
35. (N) FIBER CEMENT SIDING, SHIPLAP, VERT ORIENTATION, PAINTED
36. (N) DECK
37. (N) STANDING SEAM METAL ROOF
38. (N) FENCE
39. (E) ROOF TO REMAIN
40. (N) LOCATION PV SOLAR INVERTER, PANEL & STORAGE; RUN CONNECTIONS TO ROOF & PANEL IN WALL
41. (N) HALF-LITE DOOR WITH DOG DOOR
42. (N) RAIN CHAIN FROM GUTTER TO CATCHBASIN
43. (N) 8" HALF-ROUND GSM GUTTER, PAINTED
44. (N) CRAWL-SPACE VENT, WUI-COMPLIANT
45. (N) FILL AT POOL TO CREATE PARKING STALLS

GENERAL NOTES

1 REMOVE EXISTING EXTERIOR WALL FINISH ON HOME, ALL LOCATIONS
2 EXISTING HIGH ROOF INCLUDING SOLAR PANELS TO REMAIN / PROTECT
3 EXISTING FENCE TO REMAIN / PROTECT
4 EXISTING ACCESSORY STRUCTURES TO RECEIVE NEW SHIPLAP SIDING TO MATCH HOME. REMOVE EXISTING SIDING & INSTALL NEW SIDING, DRAINAGE PLAN & UNDERLAYMENT. PAINT TO MATCH HOME.

1 EXISTING NORTH / BAYWOOD COURT ELEVATION



2 PROPOSED NORTH / BAYWOOD COURT ELEVATION

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SCALE: 1/4" = 1'-0" SHEET

EXTERIOR ELEVATIONS

A3.1

DATE: 2023.02.08
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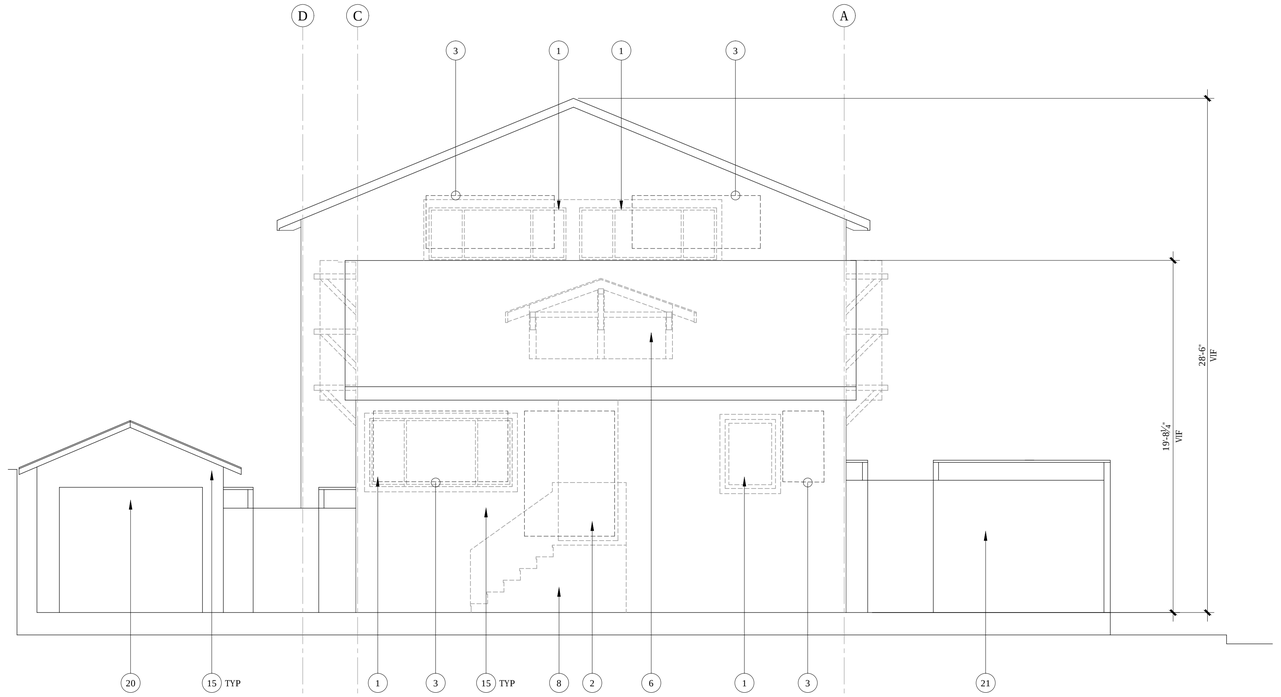

1 EXISTING EAST / LANSDALE AVE ELEVATION

2 PROPOSED EAST / LANSDALE AVE ELEVATION

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EXTERIOR ELEVATIONS

A3.2

DATE: 2023.02.08
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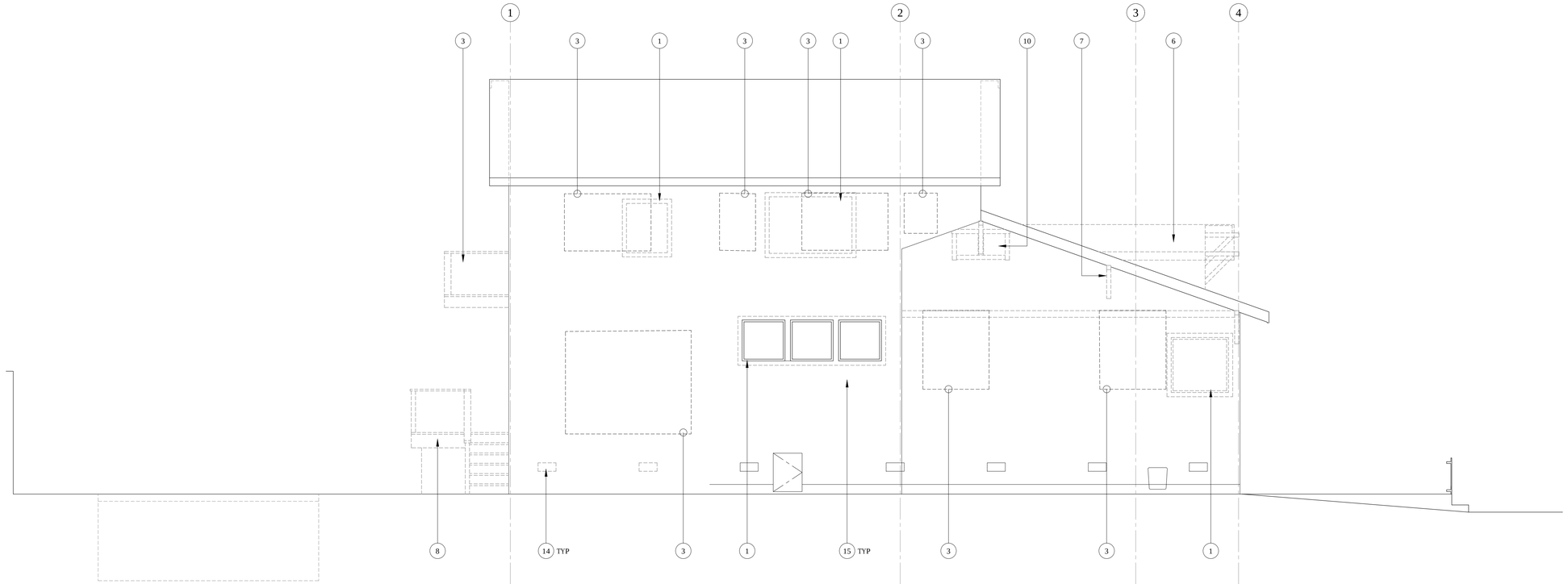
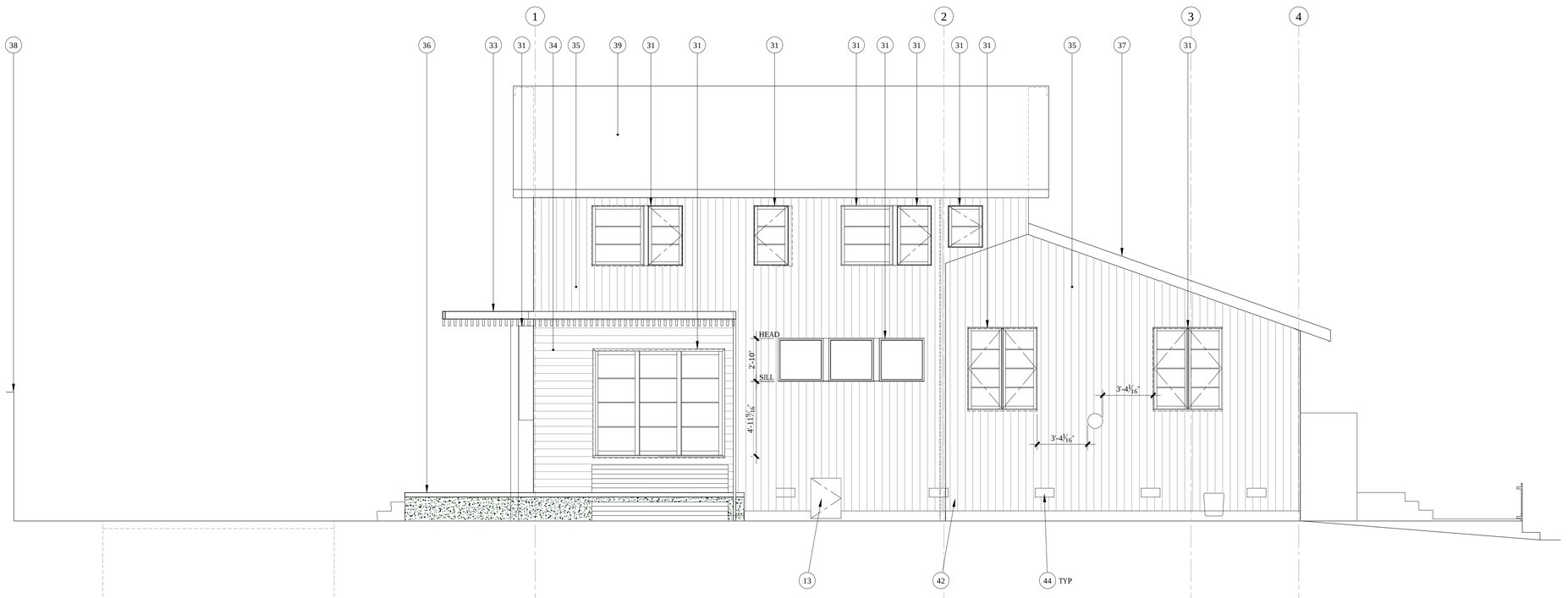


1 EXISTING SOUTH ELEVATION



2 PROPOSED SOUTH ELEVATION

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EXTERIOR ELEVATIONS

A3.3

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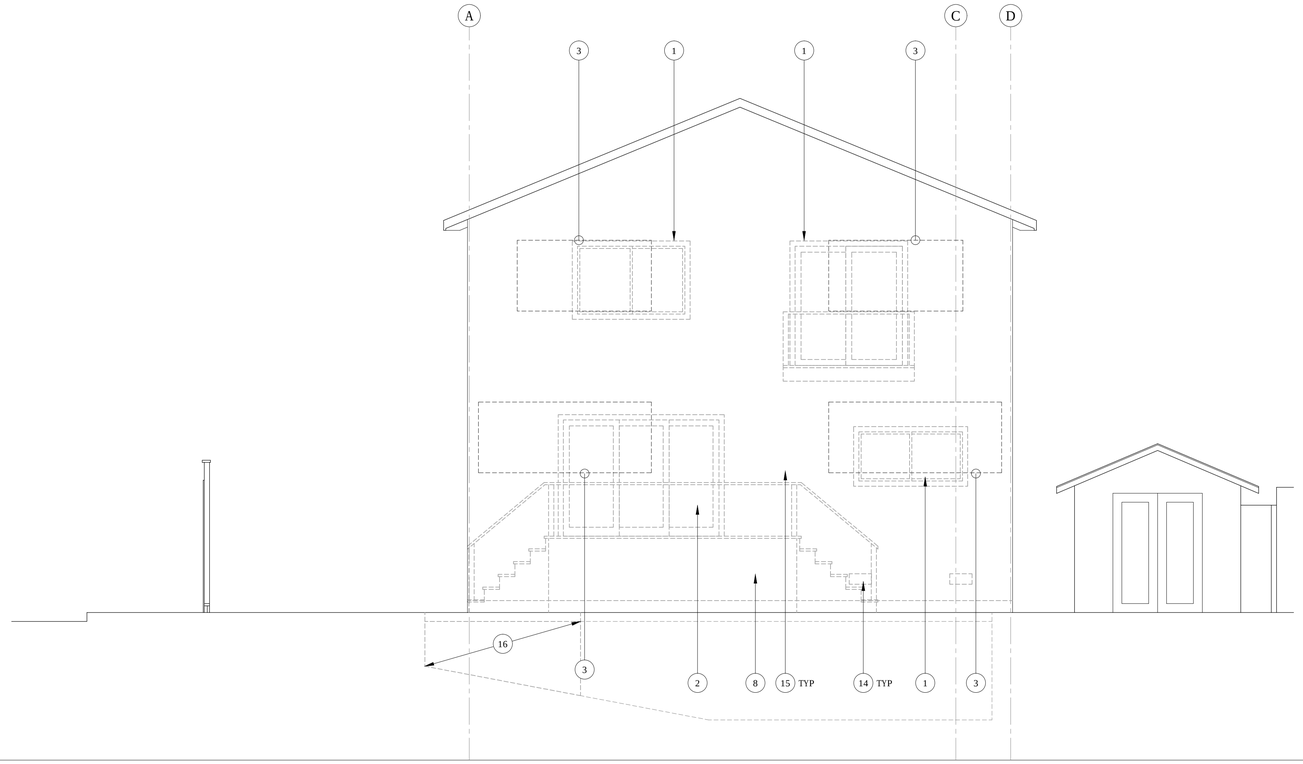
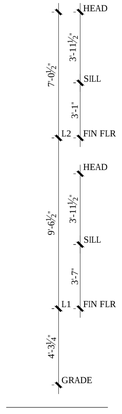
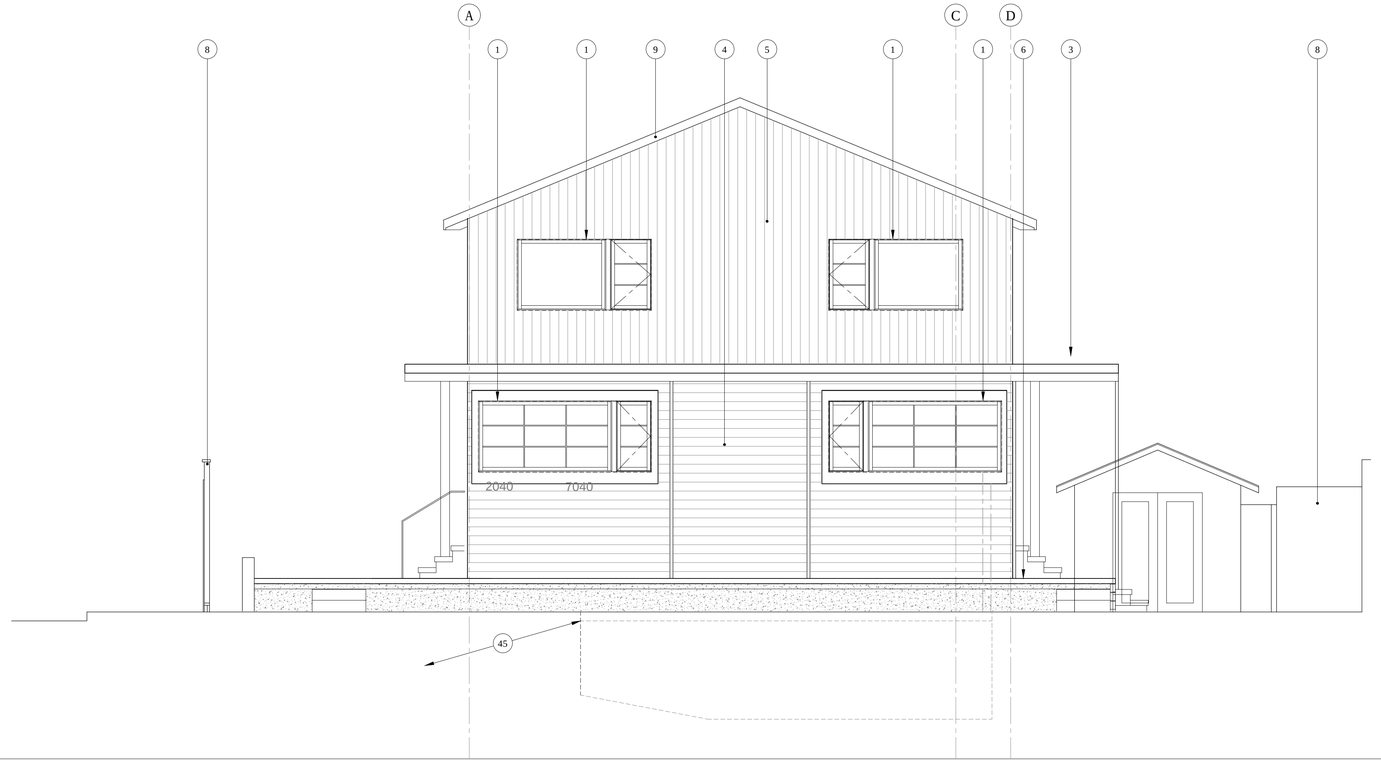


1 EXISTING WEST ELEVATION





2 PROPOSED WEST ELEVATION

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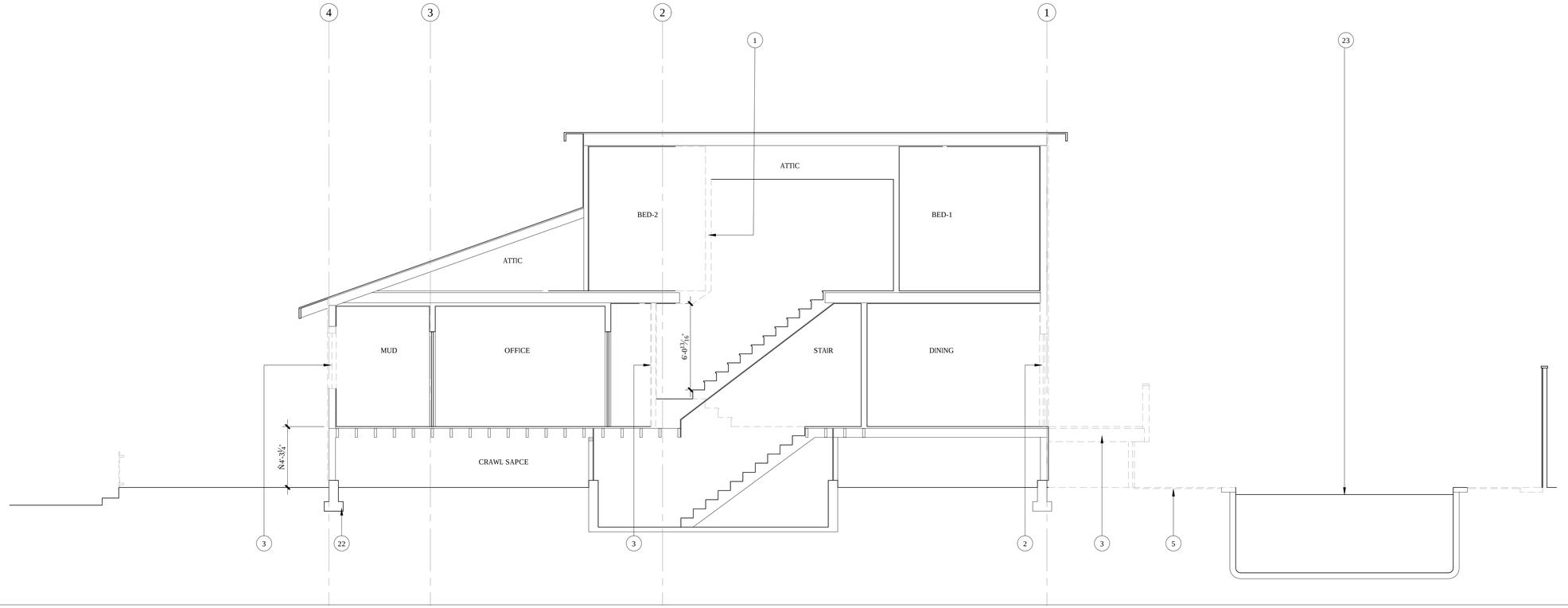
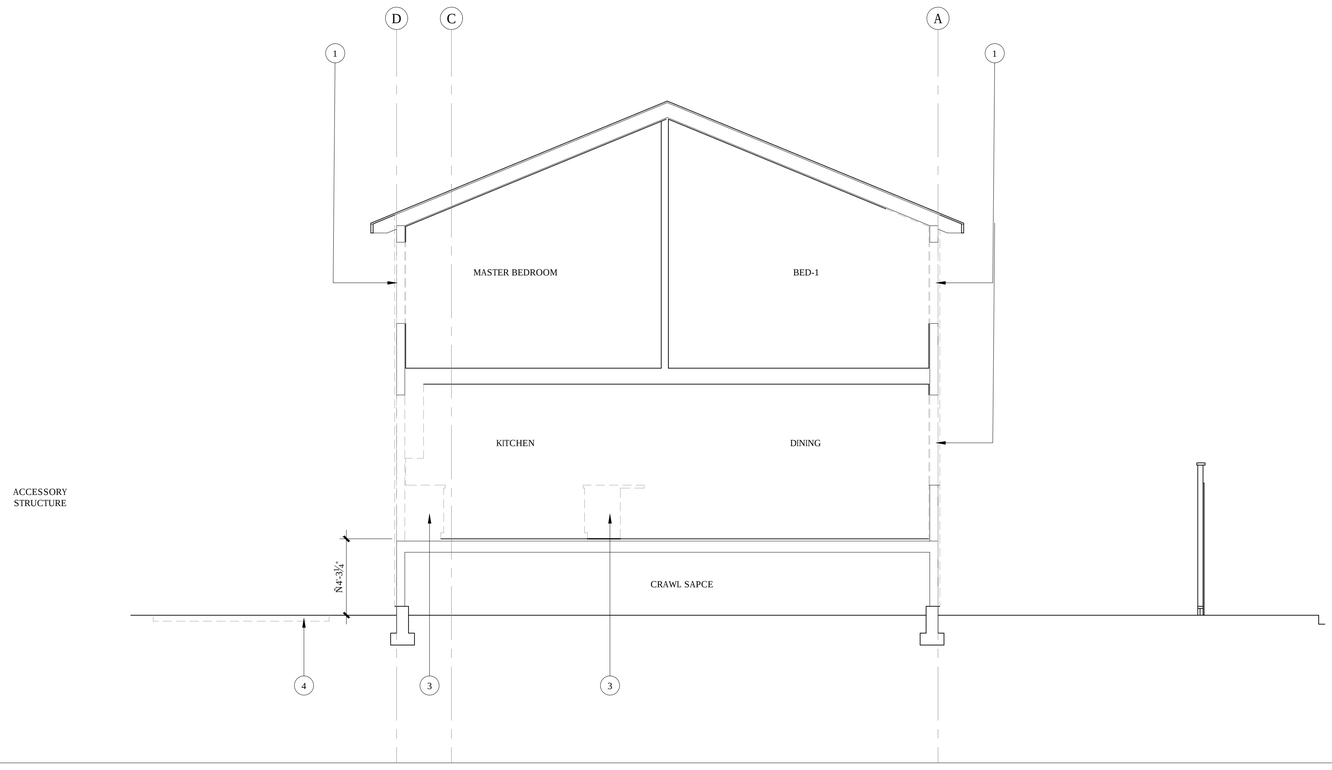


01 EXISTING LONG SECTION



02 EXISTING CROSS SECTION

KEYED NOTES

1 EXISTING WALL TO BE REMOVED
2 EXISTING DOOR OR WINDOW TO BE REMOVED/OPENING TO BE MODIFIED
3 EXISTING CASEWORK TO BE REMOVED
4 EXISTING HARDSCAPE / CONCRETE TO BE REMOVED
5 EXISTING DECK/STAIR TO BE REMOVED

20 EXISTING ACCESSORY STRUCTURE/GARAGE TO REMAIN/PROTECT
21 EXISTING FENCE TO REMAIN/PROTECT
22 EXISTING FOOTING, VIF
23 EXISTING POOL TO REMAIN/PROTECT

GENERAL NOTES

1 REMOVE EXISTING EXTERIOR WALL FINISH ON HOME, ALL LOCATIONS
2 EXISTING HIGH ROOF INCLUDING SOLAR PANELS TO REMAIN / PROTECT
3 EXISTING FENCE TO REMAIN / PROTECT
4 NO WORK AT EXISTING ACCESSORY STRUCTURES

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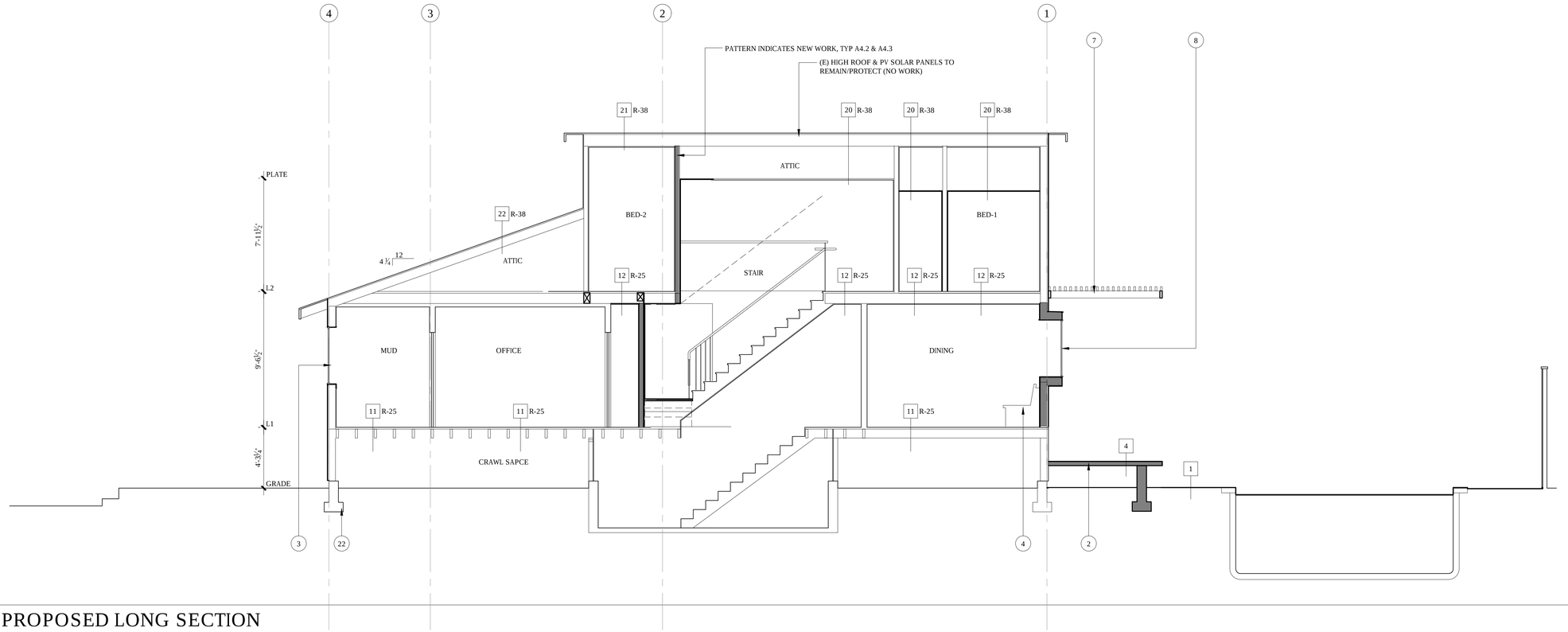
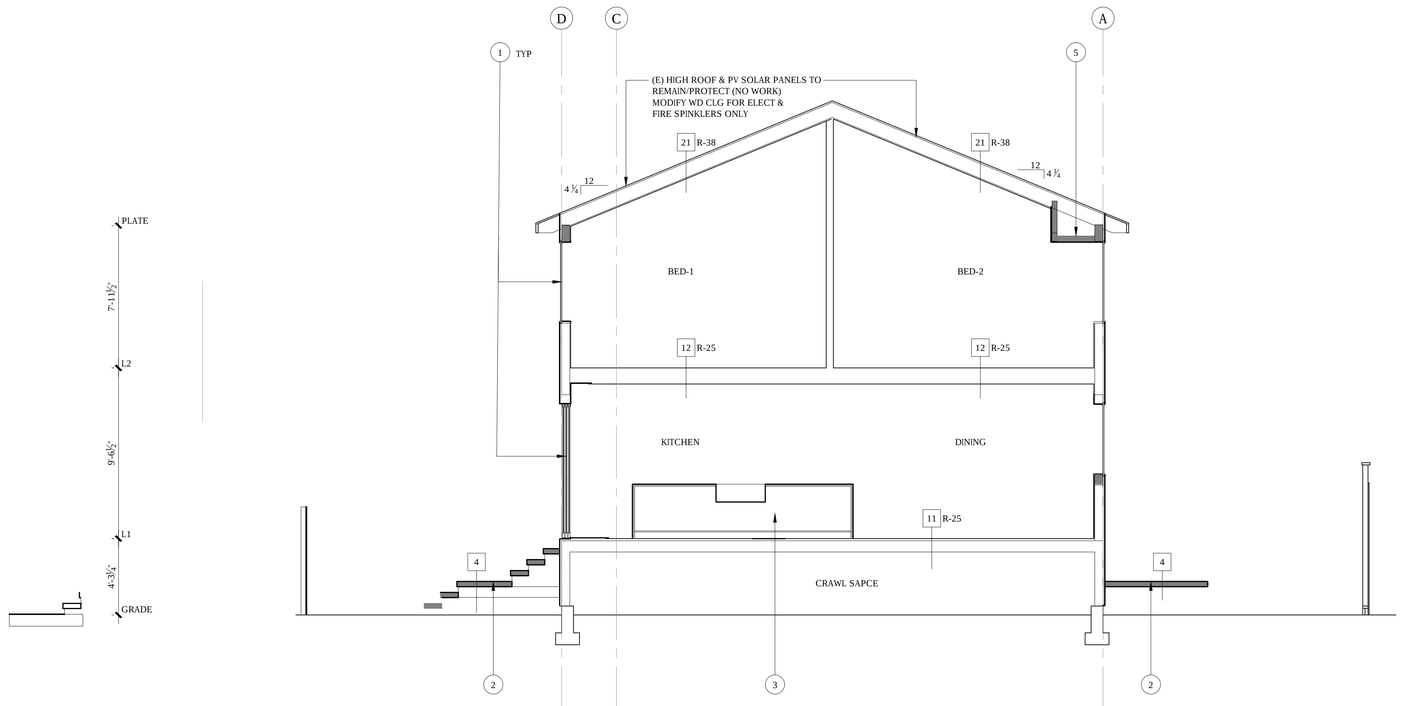
SHEET
EXISTING SECTIONS

A4.1

DATE: 2023.02.08
JOB NUMBER: 2128



01 PROPOSED LONG SECTION



KEYED NOTES

1 NEW WINDOW/DOOR PER PLAN
2 NEW DECK / STAIR, REF SITE PLAN
3 CASEWORK PER PLAN
4 WINDOW SEAT PER PLAN
5 NON-STRUCT SOFFIT
6 ENCLOSED EAVE
7 PERGOLA, REF SITE PLAN
8 BAY WINDOW, PER PLAN

20 EXISTING ACCESSORY STRUCTURE/GARAGE TO REMAIN/PROTECT
21 EXISTING FENCE TO REMAIN/PROTECT
22 EXISTING FOOTING, VIF
23 EXISTING POOL TO REMAIN/PROTECT

02 PROPOSED CROSS SECTION

FLUID STUDIOS INC
PO BOX 167
FOREST KNOLLS
CA 94933

PROPERTY OWNER
Kate MacLaughlin & Sampson Goff
129 Lansdale Ave, Fairfax CA 94930
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email: kate.s.maclaughlin@gmail.com

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Forest Knolls, CA 94933
415.250.1855
andrew@fluid-studios.com

LICENSED ARCHITECT
ANDREW J. DAVIS
No. C 28439
REN. 09-30-23
STATE OF CALIFORNIA

STRUCTURAL ENGINEER
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ENERGY COMPLIANCE ENGINEER
MHC Engineers, Inc.
Eiki Or, PE
150 8th Street
San Francisco, CA 94103
eiki@mhcengr.com
415.512.7141

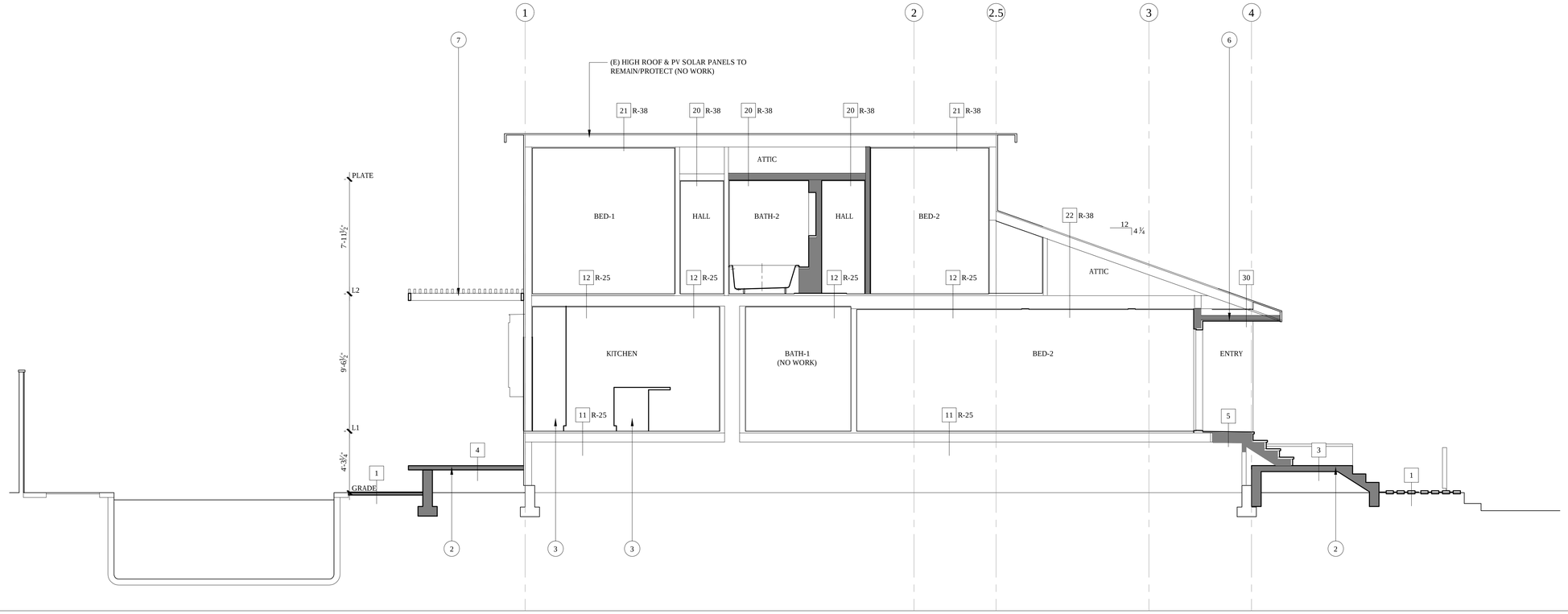
Project
129 LANSDALE AVE.
FAIRFAX, CA 94930
APN 002-201-36

SCALE: 1/4" = 1'-0" SHEET

PROPOSED SECTIONS

A4.2

DATE: 2023.02.08
JOB NUMBER: 2128



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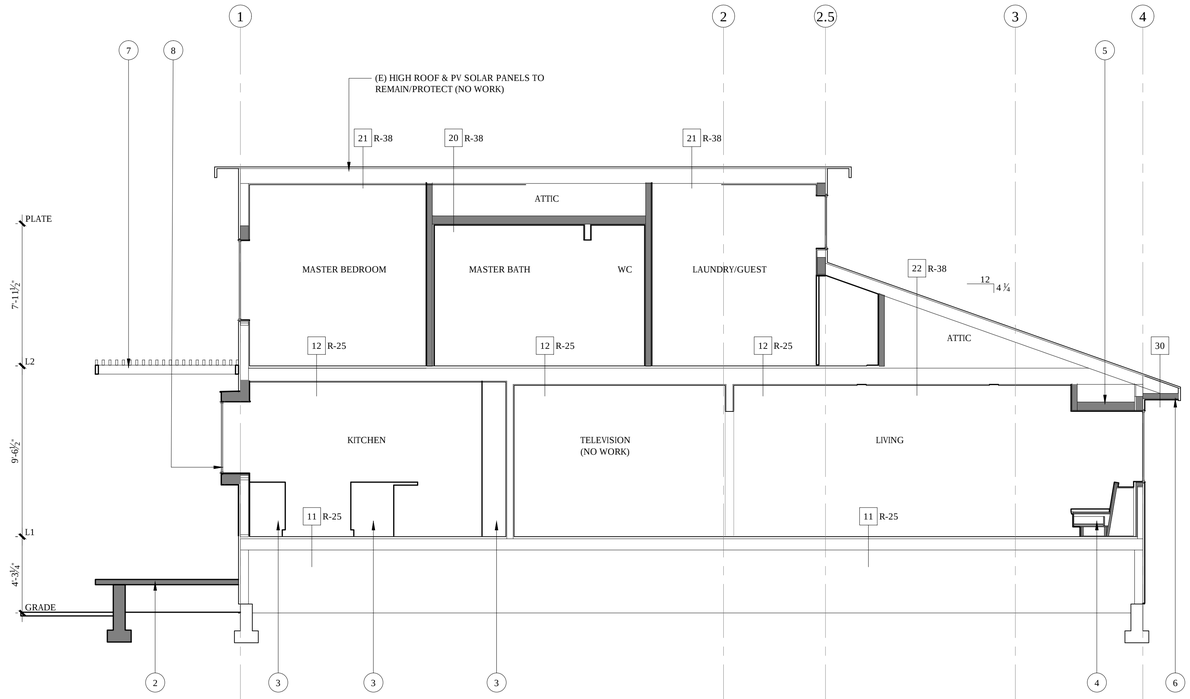

4 PROPOSED LONG SECTION

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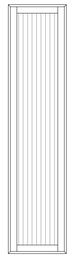
SHEET
PROPOSED SECTIONS

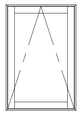
A4.3

DATE: 2023.02.08
JOB NUMBER: 2128



A

CASEMENT PICTURE
REED GLASS
VERT ORIENTATION

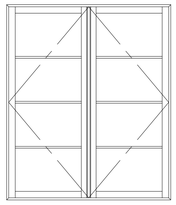


B

AWNING

C

CASEMENT PICTURE



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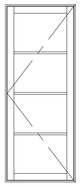
FRENCH PUSH OUT CASEMENT



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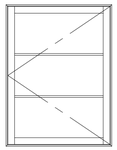
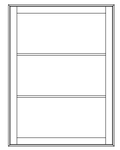
CASEMENT



I

PUSH OUT
CASEMENT



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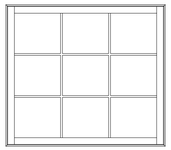
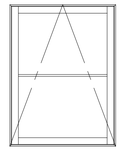
PICTURE
CASEMENT



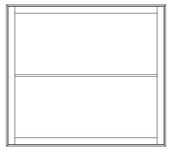
K

PICTURE
CASEMENT



L

AWNING



M

AWNING
PICTURE

WINDOW SCHEDULE

MARK	TYPE	LOCATION	REF FACE	EERO	GLAZING REQ'MTS	MFR SERIES	MFR #	NOM SIZE WxH	U-FACTOR	SHGC	INT CAS'G HD & JAMB	SILL	NOTES
1	A	ENTRY	EAST	NO	[1], [2], [3], [4]	CASEMENT PICTURE	1870	1'-7 ½" X 6'-11 ½"	0.28	0.22	WD	WD	
2	J	ENTRY	NORTH	NO	[1], [2], [3], [4]	CASEMENT PICTURE	2840	2'-7 ½" X 3'-11 ½"	0.28	0.22	WD	WD	
3A	I	LIVING ROOM	EAST	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	WD	WD	
3B	K	LIVING ROOM	EAST	NO	[1], [2], [3], [4]	CASEMENT PICTURE	5040	3'-5 ½" X 3'-11 ½"	0.28	0.22	WD	WD	
4	D	LIVING ROOM	SOUTH	NO	[1], [2], [3], [4]	FRENCH CASEMENT	FC2-2456	4'-7 ⅛" X 5'-5 ½"	0.30	0.18	GYP BD	WD	
5	D	LIVING ROOM	SOUTH	NO	[1], [2], [3], [4]	FRENCH CASEMENT	FC2-2456	4'-7 ⅛" X 5'-5 ½"	0.30	0.18	GYP BD	WD	
6	C	DEN	SOUTH	NO	[1], [2], [3], [4]	EXIST'G	N/A	2'-11 ½" X 2'-9 ¾"	-	-	N/A	N/A	
7	C	DEN	SOUTH	NO	[1], [2], [3], [4]	EXIST'G	N/A	2'-11 ½" X 2'-9 ¾"	-	-	N/A	N/A	
8	C	DEN	SOUTH	NO	[1], [2], [3], [4]	EXIST'G	N/A	2'-11 ½" X 2'-9 ¾"	-	-	N/A	N/A	
9A	I	KITCHEN	WEST	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
9B	K	KITCHEN	WEST	NO	[1], [2], [3], [4]	CASEMENT PICTURE	7040	6'-11 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
10A	I	DINING	WEST	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
10B	K	DINING	WEST	NO	[1], [2], [3], [4]	CASEMENT PICTURE	7040	6'-11 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
11A	I	DINING	NORTH	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
11B	C	DINING	NORTH	NO	[1], [2], [3], [4]	CASEMENT PICTURE	3640	3'-5 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
12	H	STAIR	NORTH	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2050	1'-11 ½" X4'-11 ½"	0.30	0.18	GYP BD	WD	
13A	I	OFFICE	NORTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	3040	2'-11 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
13B	I	OFFICE	NORTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	3040	2'-11 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
14	I	MUD ROOM	NORTH	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	3040	2'-11 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
15	I	MUD ROOM	EAST	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
16A	L	PROJECT ROOM	EAST	NO	[1], [2], [3], [4]	AWNING	2030	1'-11 ½" X 2'-11 ½"	0.30	0.19			
16B	M	PROJECT ROOM	EAST	NO	[1], [2], [3], [4]	AWNING PICTURE	5030	4'-11 ½" X 2'-11 ½"	0.28	0.22			
17	I	MASTER BATH	SOUTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
18A	I	MASTER BATH	SOUTH	NO	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	TILE	TILE	
18B	J	MASTER BATH	SOUTH	NO	[1], [2], [3], [4]	CASEMENT PICTURE	3640	3'-5 ½" X 3'-11 ½"	0.28	0.22	TILE	TILE	
19A	I	MASTER BED	SOUTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
19B	J	MASTER BED	SOUTH	NO	[1], [2], [3], [4]	CASEMENT PICTURE	3640	3'-5 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
20A	I	MASTER BED	WEST	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
20B	C	MASTER BED	WEST	NO	[1], [2], [3], [4]	CASEMENT PICTURE	5040	4'-11 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
21A	I	BED-1	WEST	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
21B	C	BED-1	WEST	NO	[1], [2], [3], [4]	CASEMENT PICTURE	5040	4'-11 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
22A	I	BED-1	NORTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
22B	C	BED-1	NORTH	NO	[1], [2], [3], [4]	CASEMENT PICTURE	3640	3'-5 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
23A	I	STAIR	NORTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
23B	C	STAIR	NORTH	NO	[1], [2], [3], [4]	CASEMENT PICTURE	3640	3'-5 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
24A	I	BED-2	NORTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 3'-11 ½"	0.30	0.18	GYP BD	WD	
24B	C	BED-2	NORTH	NO	[1], [2], [3], [4]	CASEMENT PICTURE	3640	3'-5 ½" X 3'-11 ½"	0.28	0.22	GYP BD	WD	
25A	L	BED-2	EAST	NO	[1], [2], [3], [4]	AWNING	2030	1'-11 ½" X 2'-11 ½"	0.30	0.19			
25B	M	BED-2	EAST	NO	[1], [2], [3], [4]	CASEMENT PICTURE	5030	4'-11 ½" X 2'-11 ½"	0.28	0.22			
26	I	OFFICE	SOUTH	YES	[1], [2], [3], [4]	PUSH-OUT CASEMENT	2440	2'-3 ½" X 2'-9 ½"	0.30	0.18	GYP BD	WD	

GLAZING REQ'MTS

[1] WUI COMPLIANCE

[2] HAZARDOUS LOCATIONS: SAFETY GLAZING MATERIALS REQUIRED DUE TO ONE OR MORE OF THE HAZARDOUS LOCATIONS NOTED BELOW. COMPLY WITH CBC SEC 2406 FOR SAFETY GLAZING MATERIALS.

FIXED AND OPERABLE GLAZING PANELS IN SWINGING, SLIDING & BIFOLD DOORS, PER CBC 2406.4.1

GLAZING ADJACENT TO DOORS, WHERE LOCATED WITHIN A 24' ARC OF THE CLOSED DOOR & WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. CBC 2406.4.2.

GLAZING IN WINDOWS MEETING THE FOLLOWING CONDITIONS: 1) AREA GREATER THAN 9 SQ. FT.; 2) BOTTOM OF GLAZING < 18" AFF; 3) TOP OF GLAZING > 36" AFF; 4) WHERE WALKING SURFACE IS WITHIN 36" HORIZONTALLY OF GLAZING PLANE. CBC 2406.4.3

GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NON-STRUCTURAL INFILL. CBC 2406.4.4.

GLAZING IN WALLS & ENCLOSURES AT HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AN DINDOOR AND OUTDOOR POOLS WHERE THE BOTTOM EDGE OF GLAZING IS < 60" ABOVE THE WALKING SURFACE. CBC 2406.4.5

GLAZING ADJACENT TO STAIRWAYS AND RAMPS WHERE BOTTOM EDGE IS <60" ABOVE THE WALKING SURFACE. CBC 2406.4.6.

GLAZING ADJACENT TO THE BOTTOM STAIRWAY LANDING, WHERE GLAZING IS <60" ABOVE THE LANDING & WITHIN A 60" HORIZONTAL ARC THAT IS LESS THAN 180° FROM THE BOTTOM TREAD NOSING. CBC 2406.4.7

[3] SAFETY GLAZING SHALL BE IDENTIFIED BY A MFR DESIGNATION, COMPLIANCE STANDARD, AND PERMANENTLY IDENTIFIED ON EACH PANE. LABELS IN LIEU OF DESIGNATION ON PANE.

[4] ALL GLAZING TO BE INSULATING, ARGON-FILL, WITH LOW-E COATING

GENERAL NOTES

1 INSTALLER/WINDOW SUBCONTRACTOR RESPONSIBLE FOR VERIFYING ROUGH OPENINGS, INCLUDING HEIGHT, WIDTH AND DEPTH & COORDINATION WITH ADJACENT FINISHES. SIZES SHOWN ASSUME ½" FOR BOTH ROUGH OPENING WIDTH & HEIGHT

WINDOW MANUFACTURER & SYSTEMS

A ALL UNITS TO BE MANUFACTURED BY WEATHERSHIELD WINDOWS & DOORS, MEDFORD WI, AS FOLLOWS

SERIES: CONTEMPORARY COLLECTION, SHADOWLINE FRAME

PRODUCTS: CASEMENT, FRENCH CASEMENT, PICTURE CASEMENT & AWNING. OPERATING UNITS TO BE PUSH-OUT TYPE.

FINISH: EXTERIOR TO BE BLACK ANODIZED ALUMINUM; INTERIOR TO BE PINE, STAINED 'EBONY'

HARDWARE: BLACK, CONTEMPORARY

SCREENS: NONE REQUIRED

DIVIDED LITES: ⅞" SDL

GLASS: ¾" THICK, INSULATED, 'Zo-e-shield 5' WITH ARGON FILL

GENERAL NOTES

1. INSTALLER/WINDOW SUBCONTRACTOR RESPONSIBLE FOR VERIFYING ROUGH OPENINGS, INCLUDING HEIGHT, WIDTH AND DEPTH. SIZES SHOWN ASSUME ½" FOR BOTH ROUGH OPENING WIDTH & HEIGHT
2. INSTALLER/WINDOW SUBCONTRACTOR RESPONSIBLE FOR COORDINATING ORDER WITH EXTERIOR FINISHES

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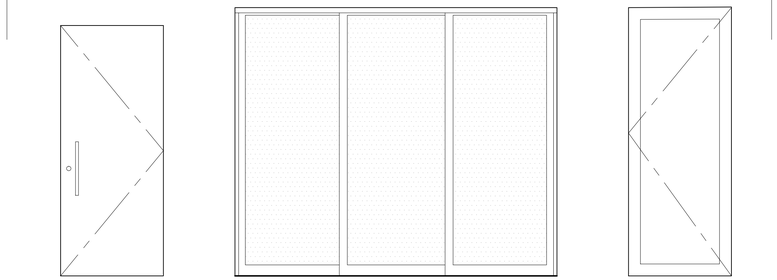
SCALE: 1/2" = 1'-0"

SHEET
WINDOW SCHEDULE

A7.1

DATE: 2023.02.08
JOB NUMBER: 2128

EXTERIOR

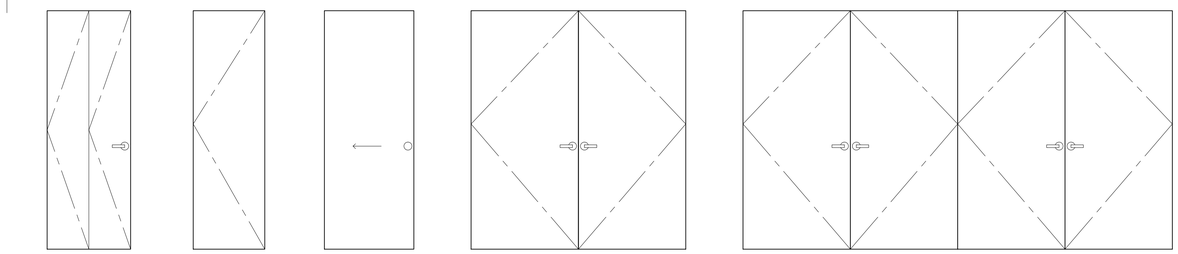


A
HINGED

B
STACKING

C
HINGED

INTERIOR



D
BI-FOLD

E
HINGED

F
POCKET

M
HINGED

N
HINGED

DOOR SCHEDULE

	(N) OR (E)	MARK	TYPE	LOCATION	REF FACE	EGRESS	GLAZING REQ'MTS	MFR SERIES	MFR #	NOM SIZE W X H	U-FACTOR	SHGC	INT CASING	THRESHOLD	HARDWARE TYPE	NOTES
		1	A	ENTRY	EAST	YES		FLUSH	TMF-1000 EXT	3'-0" X 7'-0"	DEFAULT	DEFAULT	WD	WD	HW-02	
EXT	(N)	2	B	KITCHEN	SOUTH	-	[1], [2], [3], [4]	STACKING	3-3072	8'-8 ½" X 7'-2 5/32"	0.30	0.20	GYP BD	MFR	HW-01	
		3	C	DINING	NORTH	-	[1], [2], [3], [4]	FRENCH	FL-100 EXT	3'-0" X 7'-0"	DEFAULT	DEFAULT	WD	WD	HW-01	
		4	E	MUD ROOM						EXISTING TO REMAIN						
	(E)	5	I	OFFICE						EXISTING TO REMAIN						
		6	H	OFFICE CLOSET						EXISTING TO REMAIN						
	(N)	7	J	HALL CLOSET	-	-	-	PLANK	TMP1000	3'-0" X 6'-8"	-	-	WD	-	HW-03	
	(E)	8	G	BATH 1						EXISTING TO REMAIN						
		9	J	BASEMENT	-	-	-	PLANK	TMP1000	3'-0" X 6'-8"	-	-	WD	-	HW-03	
		10	I	BED-1	-	-	-	PLANK	TMP1000	2'-8" X 6'-8"	-	-	WD	-	HW-02	
		11	J	BED-1 CLOSET	-	-	-	FLUSH	TMF-1000 INT	2'-6" X 6'-8"	-	-	WD	-	HW-07	
		12	I	MASTER BED	-	-	-	PLANK	TMP1000	2'-8" X 6'-8"	-	-	WD	-	HW-02	
INT		13	L	WARDROBE CLOSET	-	-	-	FLUSH	TMF-1000 INT	12'-0" X 8'-0"	-	-	WD	-	HW-06	
		14	F	MASTER BATH	-	-	-	PLANK	TMP1000	2'-8" X 6'-8"	-	-	WD	-	HW-05	
		15	F	WARDROBE	-	-	-	PLANK	TMP1000	2'-6" X 6'-8"	-	-	WD	-	HW-05	
		16	E	MASTER WC	-	-	-	PLANK	TMP1000	2'-4" X 6'-8"	-	-	WD	-	HW-02	
		17	D	MASTER WC CLOSET	-	-	-	FLUSH	TMF-1000 INT	2'-4" X 6'-8"	-	-	WD	-	HW-07	
		18	I	BATH-2	-	-	-	PLANK	TMP1000	2'-8" X 6'-8"	-	-	WD	-	HW-02	
		19	I	BED-2	-	-	-	PLANK	TMP1000	2'-8" X 6'-8"	-	-	WD	-	HW-02	
		20	F	OFFICE	-	-	-	PLANK	TMP1000	2'-6" X 6'-8"	-	-	WD	-	HW-05	
		21	D	OFFICE	-	-	-	FLUSH	TMF-1000 INT	2'-0" X 6'-8"	-	-	WD	-	HW-07	

HARDWARE GROUPS

GROUP	FUNCTION	HARDWARE
1	BY DOOR MFR	
2	PRIVACY	LEVER & LATCH, PRIVACY; CONCEALED HINGES; SILENCERS
3	PASSAGE	LEVER & LATCH; CONCEALED HINGES; SILENCERS
4	BY-PASS CLOSET	DOOR TRACK KIT; POCKET DOOR FLUSH PULL, PASSAGE
5	POCKET / PRIVACY	POCKET DOOR FLUSH PULL WITH LATCH, SILENCER
6	HINGED PAIR CLOSET	PAIR FLUSH PULL, PAIR CONCEALED HINGES, PAIR MAG LATCH
7	CLOSET	FLUSH PULL, CONCEALED HINGES, MAG LATCH

HARDWARE SPECS

TYPE	MFR	SPEC	FINISH	
HINGES	IVES	5BB1 4.5X4.5 NRP	BLACK	
CONCEALED HINGES	TECTUS	TE 240 3D	BLACK	
LEVER & LATCH, PRIVACY	BUSTER & PUNCH	NLH-09180	SMOKED BRONZE	
LEVER & LATCH, PASSAGE	BUSTER & PUNCH	NLG-09188	SMOKED BRONZE	
LEVER & LATCH, OCCUPIED INDICATOR	VIZILOK	C5FA-R	*	*OIL RUBBED BRONZE
CLOSER	LCN	1460	695	DARK BRONZE
PANIC DEVICE	VON DUPRIN	55-75-L-F	643A	TBD
FLOOR STOP	IVES	FS439	704	OIL RUBBED BRONZE
KICK PLATE	TRIMCO	K0050 36" X 10"	613	OIL RUBBED BRONZE
PUSH PLATE	TRIMCO	1001-3	613	DARK OXIDIZED SATIN BRONZE
PULL PLATE	TRIMCO	1012-3	613	DARK OXIDIZED SATIN BRONZE
SILENCERS	TRIMCO	1229B	GREY	
THRESHOLD	PEMKO	154A	A	MILL FIN ALUM, USE 158 FOR OFFSET CONDITIONS
POCKET DOOR KIT	HAGER	9850	N/A	
POCKET DOOR FLUSH PULL, PASSAGE	LINNEA	RPS-150	ST STL	
POCKET DOOR FLUSH PULL, PRIVACY	EMTEK	2115	US26	POLISHED CHROME
BY PASS DOOR KIT	HAGER			

GLAZING REQ'MTS

[1] WUI COMPLIANCE

[2] HAZARDOUS LOCATIONS: SAFETY GLAZING MATERIALS REQUIRED DUE TO ONE OR MORE OF THE HAZARDOUS LOCATIONS NOTED BELOW. COMPLY WITH CBC SEC 2406 FOR SAFETY GLAZING MATERIALS.

FIXED AND OPERABLE GLAZING PANELS IN SWINGING, SLIDING & BIFOLD DOORS, PER CBC 2406.4.1

GLAZING ADJACENT TO DOORS, WHERE LOCATED WITHIN A 24" ARC OF THE CLOSED DOOR & WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. CBC 2406.4.2.

GLAZING IN WINDOWS MEETING THE FOLLOWING CONDITIONS: 1) AREA GREATER THAN 9 SQ. FT.; 2) BOTTOM OF GLAZING < 18" AFF; 3) TOP OF GLAZING > 36" AFF; 4) WHERE WALKING SURFACE IS WITHIN 36" HORIZONTALLY OF GLAZING PLANE. CBC 2406.4.3

GLAZING IN GUARDS AND RAILINGS, INCLUDING STRUCTURAL BALUSTER PANELS AND NON-STRUCTURAL INFILL. CBC 2406.4.4.

GLAZING IN WALLS & ENCLOSURES AT HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AN DINDOOR AND OUTDOOR POOLS WHERE THE BOTTOM EDGE OF GLAZING IS < 60" ABOVE THE WALKING SURFACE. CBC 2406.4.5

GLAZING ADJACENT TO STAIRWAYS AND RAMPS WHERE BOTTOM EDGE IS <60" ABOVE THE WALKING SURFACE. CBC 2406.4.6.

GLAZING ADJACENT TO THE BOTTOM STAIRWAY LANDING, WHERE GLAZING IS <60" ABOVE THE LANDING & WITHIN A 60" HORIZONTAL ARC THAT IS LESS THAN 180ì FROM THE BOTTOM TREAD NOSING. CBC 2406.4.7

[3] SAFETY GLAZING SHALL BE IDENTIFIED BY A MFR DESIGNATION, COMPLIANCE STANDARD, AND PERMANENTLY IDENTIFIED ON EACH PANE. LABELS IN LIEU OF DESIGNATION ON PANE.
ALL GLAZING TO BE INSULATING, ARGON-FILL, WITH LOW-E COATING

[4]

GENERAL NOTES

1 GENERAL CONTRACTOR/DOOR SUBCONTRACTOR RESPONSIBLE FOR VERIFYING ROUGH OPENINGS, INCLUDING HEIGHT, WIDTH AND DEPTH & COORDINATION WITH ADJACENT FINISHES. SIZES SHOWN ASSUME ½" FOR BOTH ROUGH OPENING WIDTH & HEIGHT

DOOR MANUFACTURER & SYSTEMS

A STACKING UNITS TO BE MANUFACTURED BY WEATHERSHIELD WINDOWS & DOORS, MEDFORD WI, AS FOLLOWS
SERIES: CONTEMPORARY COLLECTION, SHADOWLINE FRAME
PRODUCTS: CASEMENT, FRENCH CASEMENT, PICTURE CASEMENT & AWNING. OPERATING UNITS TO BE PUSH-OUT TYPE.
FINISH: EXTERIOR TO BE BLACK ANODIZED ALUMINUM; INTERIOR TO BE PINE, STAINED 'EBONY'
HARDWARE: BLACK, CONTEMPORARY
SCREENS: NONE REQUIRED
DIVIDED LITES: NONE
GLASS: ¾" THICK, INSULATED, 'Zo-e-shield 5' WITH ARGON FILL

A HINGED & POCKET UNITS TO BE MANUFACTURED BY TRUSTILE DOORS, DENVER CO, AS FOLLOWS
EXTERIOR FULL LITE DOORS: FRENCHN DOOR (FL) SERIES, #FL100, 1 ¾" THK, PAINT-GRADE MAHOGANY, INSULATED GLASS, SQUARE STICKING (SS), NO DIVIDED LITES
FLUSH DOORS: TRU&MODERN FLUSH (TMF) SERIES, #TMF1000, 1 ¾" THICKNESS, PAINT GRADE MAHOGANY
VENEER DOORS: TRU&MODERN PLANK (TMP) SERIES, #TMP1000, 1 ¾" THICKNESS, ¾" KERF CUT REVEAL (ON FACES), RIFT-SAWN WHITE OAK
HARDWARE: BLACK, CONTEMPORARY
SCREENS: NONE REQUIRED
DIVIDED LITES: NONE
FRAMES: SHOP FABRICATE FRAMES PER DETAILS FROM PAINT-GRADE WD FOR EXTERIOR AND SOLID STOCK MATCHING DOOR FACE FOR INTERIOR LOCATIONS

GENERAL NOTES

1 GENERAL CONTRACTOR/DOOR SUBCONTRACTOR RESPONSIBLE FOR VERIFYING ROUGH OPENINGS, INCLUDING HEIGHT, WIDTH AND DEPTH & COORDINATION WITH ADJACENT FINISHES. SIZES SHOWN ASSUME ½" FOR BOTH ROUGH OPENING WIDTH & HEIGHT

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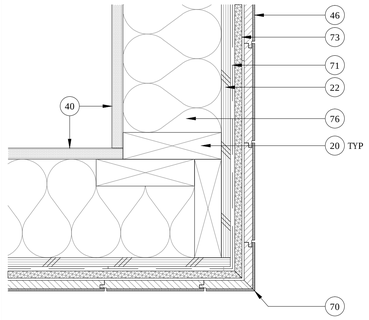
APN 002-201-36

SCALE: 1/2" = 1'-0"

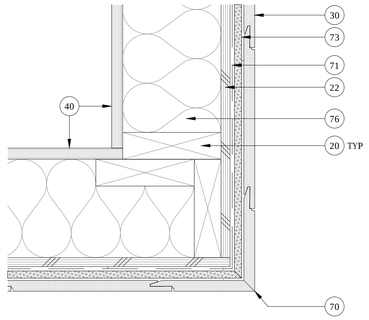
SHEET
DOOR SCHEDULE

A7.2

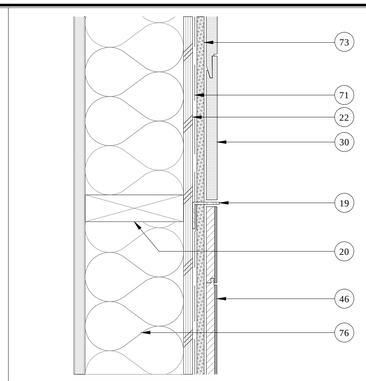
DATE: 2023.02.08
JOB NUMBER: 2128



16 WD SID'G OUTSIDE CORNER
3" = 1'-0"



12 SHIPLAP OUTSIDE CORNER
3" = 1'-0"



08 SHIPLAP SID'G INSIDE CORNER
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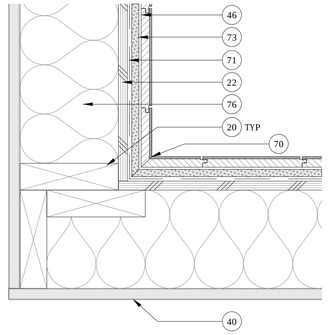
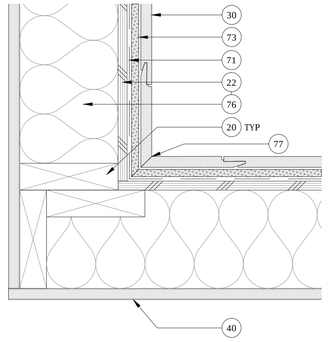
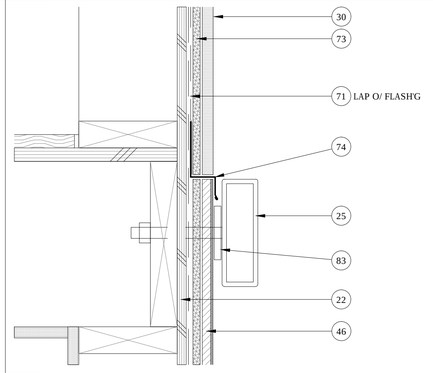


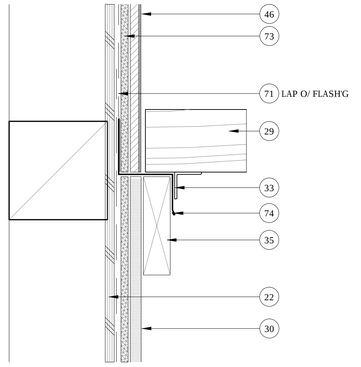
15 WD SID'G INSIDE CORNER
3" = 1'-0"



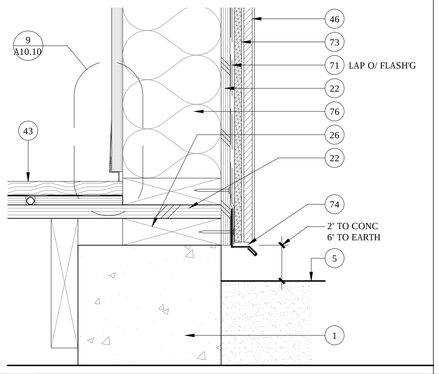
11 SHIPLAP SID'G INSIDE CORNER
3" = 1'-0"



07 PERGOLA HSS TO WALL
3" = 1'-0"



06 DECK LEDGER
3" = 1'-0"



9 WD SID'G WALL BASE
3" = 1'-0"

KEYED NOTES

1. (E) CIP CONC WALL, SSD
2. (E) CIP CONC SLAB, SSD
3. (E) FRAM'G, VIF
4. (E) STRUCT SHT'G, VIF
5. (E) PAV'G, SLOPED AWAY FROM STRUCT 5% MIN VIF

19. 1.5" X 1.5" X .125" THICK ALUM. L-SHAPED ANGLE, BLACK
20. WD FRAM'G, SSD
21. COLD FORMED MTL FRAM'G, SSD
22. STRUCT SHT'G, SSD
23. HR STL PLATE, ADHESIVE-ATTACHED
24. STRUCT CHANNEL, SSD
25. HSS BEAM, SSD
26. PT SILL PLATE OR LEDGER, BOLTED, SSD
27. FURRING OR BLOCKING, AS REQUIRED
28. STL FLAT BAR
29. 4x WD DECK PER PLAN
30. SHIPLAP FIBER CEMENT SIDING
31. CIP CONC OR MORTAR CURB
32. LTWT CONCRETE O/ METAL DECK
33. 2" X 2" X .125" STL ANGLE, PAINTED
34. -
35. LEDGER, SSD
36. STL CHANNEL & WD COMPOSITE BEAM, SSD
37. -
38. -

40. SCHEDULED GYPSUM WALL BOARD ASSEMBLY
41. SCHEDULED WD SLAT CEILING ASSEMBLY
42. SCHEDULED TILE FLOOR ASSEMBLY
43. SCHEDULED WOOD FLOOR ASSEMBLY
44. SCHEDULED WOOD WALL FINISH ASSEMBLY
45. SCHEDULED TILE DECK ASSEMBLY
46. SCHEDULED 1x NOM T&G WD SID'G, SHIPLAP / NICKEL GAP, BLIND-NAILED
47. HR STL, ADHESIVE-ATTACHED
48. -
49. SCHEDULED STONE SLAB FINISH O/ BACKER
50. HR STL PLATE, ADHESIVE-ATTACHED
51. SCHEDULED TILE WALL ASSEMBLY

60. SCHEDULED WINDOW
61. SCHEDULED DOOR

70. HIGH-TEMPERATURE SELF-ADHERED UNDERLAYMENT
71. UNDERLAYMENT
72. SELF-ADHERED WP FLASH'G
73. WALL VAPOR & MOISTURE DRAINAGE MAT
74. GSM FLASH'G, PAINTED
75. ST STL SILL PAN, BED IN SEALANT. VIF CONDITIONS & FABRICATE ACCORDINGLY
76. THERMAL INSULATION, PER PLAN & ENERGY REPORT
77. JOINT SEALANT, VERIFIED COMPATIBLE W/ MFR OF ADJ FINISHES & VOC COMPLIANT
78. GSM CLEAT
79. COMPRESSIBLE JOINT FILLER
80. FRY REGLET PROFILE
81. DRYWALL PROFILE, MUD-IN / HARD TROWEL SMOOTH
82. WD TRIM, S4S, MATCH WD SLAT SYSTEM SPECIES/FINISH
83. POLYPROPYLENE SPACER, BLACK

90. THRU BOLT
91. SIMPSON CONNECTOR, SSD
92. -

01 NOTES & LEGEND

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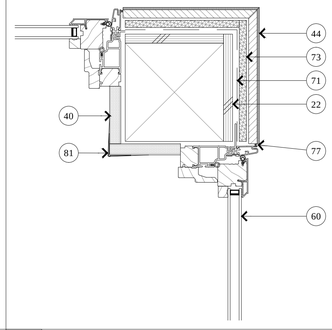
APN 002-201-36

SCALE: 1:4
SHEET

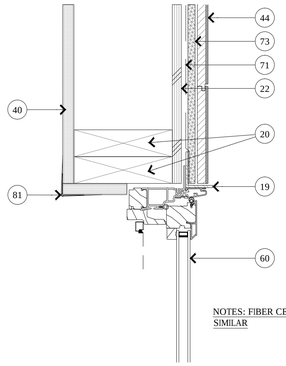
DETAILS - EXTERIOR

A10.1

DATE: 2202.05.24
JOB NUMBER: 2128

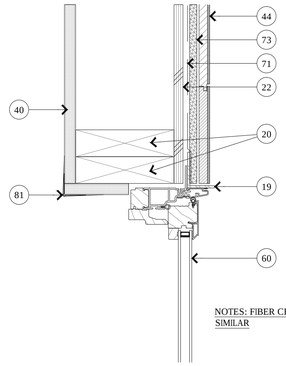


16 JAMB
3" = 1'-0"



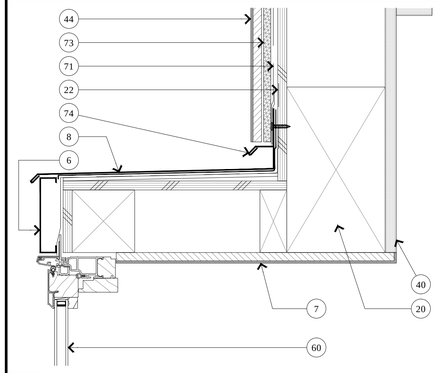
NOTES: FIBER CEMENT SIDING SIMILAR

12 OPERABLE JAMB
3" = 1'-0"

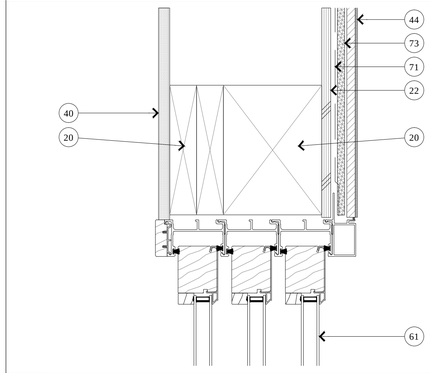


NOTES: FIBER CEMENT SIDING SIMILAR

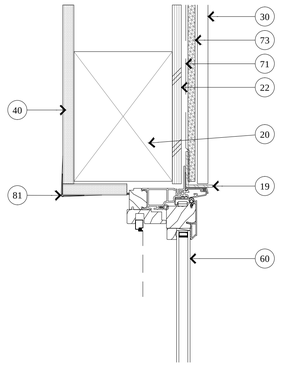
8 FIXED JAMB
3" = 1'-0"



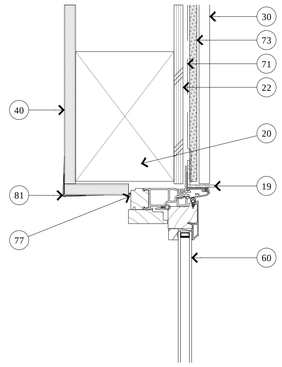
19 HEAD @ POP OUT WIN.
3" = 1'-0"



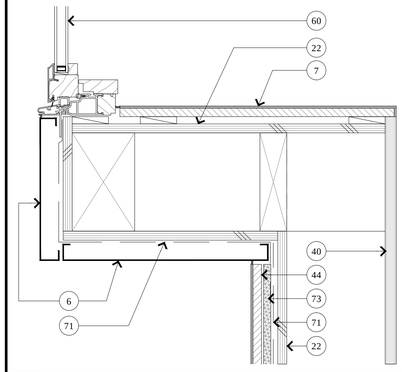
15 MULTI SLIDE DOOR JAMB
3" = 1'-0"



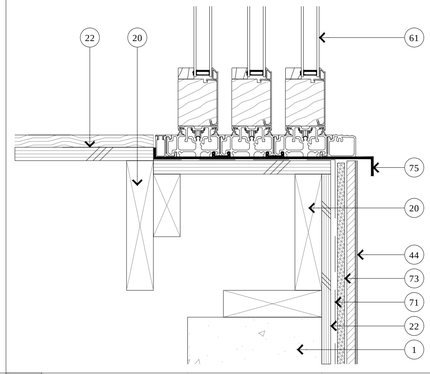
11 OPERABLE HEAD
3" = 1'-0"



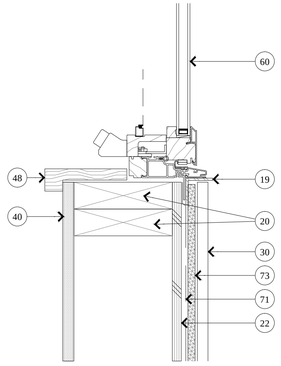
7 FIXED HEAD
3" = 1'-0"



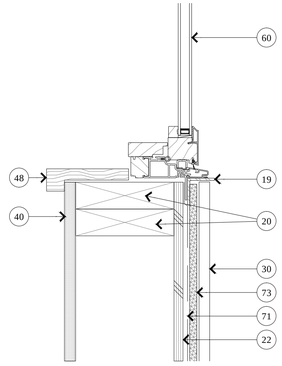
18 SILL AT POP OUT WIN.
3" = 1'-0"



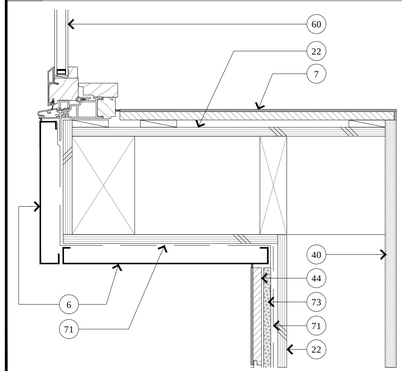
14 MULTI SLIDE DOOR JAMB
3" = 1'-0"



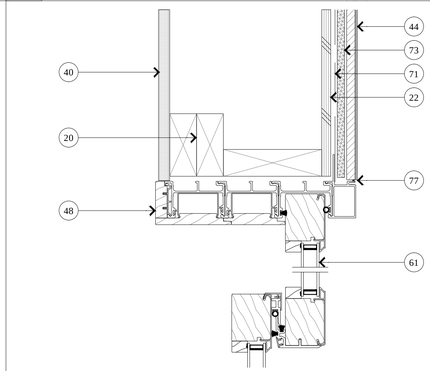
10 OPERABLE SILL
3" = 1'-0"



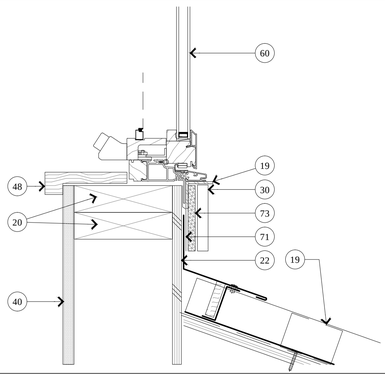
6 FIXED SILL
3" = 1'-0"



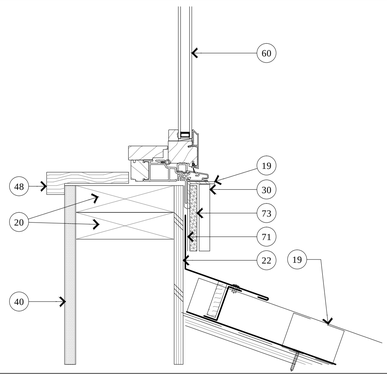
17 JAMB AT POP OUT WIN.
3" = 1'-0"



13 MULTI SLIDE DOOR JAMB
3" = 1'-0"



9 OPERABLE SILL
3" = 1'-0"



5 FIXED SILL
3" = 1'-0"

GENERAL NOTES

1. IN ADDITION TO UNDERLAYMENT SHOWN, BACK UP ALL TRANSITIONS (ROOF TO WALL, OUTSIDE & INSIDE CORNERS, ROOF TO EAVE, ETC) WITH SELF-ADHERED WATERPROOF MEMBRANE.
2. UNDERLAYMENT TO BE SHINGLED, FROM BOTTOM OF WALL TO TOP, WITH HORIZONTAL AND SIDE LAPS PER MFR. LAP BOTTOM COURSE OF UNDERLAYMENT OVER VERT FLANGE OF BASE FLASHING PROFILE.
3. BED HEAD & RAILS OF WINDOW/DOOR NAIL FLANGE IN SEALANT. DO NOT SEAL BOTTOM FLANGE.
4. DETAILS AND LAYOUT PLANS ASSUME ¼" SHIM SPACE BOTH SIDES OF R.O. JAMBS & ½" @ VERT OPNG TYPICAL. FILL ALL GAPS W/ CLOSED-CELL SPRAY FOAM.
5. METAL GAUGE, FASTENERS, ATTACHMENT, CLEATS, ETC AND MATERIALS RELATED TO ROOFING, FLASHING, AND ROOF AND WALL DRAINAGE PLANE DETAILING SHALL BE CONSTRUCTED AND INSTALLED PER NRCA OR SMACNA.
6. GENERALLY, THERMAL INSULATION IS NOT SHOWN ON DETAILS. REFER TO WALL TYPES AND HORIZONTAL ASSEMBLIES SCHEDULED ON SECTIONS AND SYMBOLS PLANS FOR INSULATION TYPE AND VALUES.
7. AT ALL SHIM SPACE BETWEEN WINDOW/DOOR FRAME AND ROUGH OPENING, FILL WILL CLOSED-CELL SPRAY FOAM INSULATION.

KEYED NOTES

1. (E) CIP CONC WALL, SSD
2. (E) CIP CONC SLAB, SSD
3. (E) FRAMG, VIF
4. (E) STRUCT SHT'G, VIF
5. (E) PAVG, SLOPED AWAY FROM STRUCT 5% MIN VIF
6. CUSTOM BUILT METAL WALL PANEL
7. WD VENEER WINDOW SURROUND
8. METAL ROOF FLASHING T MATCH METAL WALL PANEL
9. BREAK METAL SHAPE PER MANUFACTURE
18. STANDING SEAM METAL ROOF ASSEMBLY, SEE ROOF DETAILS
19. 1.5' X 1.5' X .125' THICK ALUM. L-SHAPED ANGLE, BLACK
20. WD FRAMG, SSD
21.
22. STRUCT SHT'G, SSD

-38. -

40. SCHEDULED GYPSUM WALL BOARD ASSEMBLY
41. SCHEDULED WD SLAT CEILING ASSEMBLY
42. SCHEDULED TILE FLOOR ASSEMBLY
43. SCHEDULED WOOD FLOOR ASSEMBLY
44. SCHEDULED WOOD WALL FINISH ASSEMBLY
45. SCHEDULED TILE DECK ASSEMBLY
46. SCHEDULED 1x NOM T&G WD SID'G, SHIPLAP / NICKEL GAP, BLIND-NAILED
47. HR STL, ADHESIVE-ATTACHED
48. WD SILL
49. SCHEDULED STONE SLAB FINISH O/ BACKER
50. HR STL PLATE, ADHESIVE-ATTACHED
51. SCHEDULED TILE WALL ASSEMBLY

60. SCHEDULED WINDOW
61. SCHEDULED DOOR

70. HIGH-TEMPERATURE SELF-ADHERED UNDERLAYMENT
71. UNDERLAYMENT
72. SELF-ADHERED WP FLASH'G
73. WALL VAPOR & MOISTURE DRAINAGE MAT
74. GSM FLASH'G, PAINTED
75. ST STL SILL PAN, BED IN SEALANT. VIF CONDITIONS & FABRICATE ACCORDINGLY
76. THERMAL INSULATION, PER PLAN & ENERGY REPORT
77. JOINT SEALANT, VERIFIED COMPATIBLE W/ MFR OF ADJ FINISHES & VOC COMPLIANT
78. GSM CLEAT
79. COMPRESSIBLE JOINT FILLER
80. FRY REGLET PROFILE
81. DRYWALL PROFILE, MUD-IN / HARD TROWEL SMOOTH
82. WD TRIM, S4S, MATCH WD SLAT SYSTEM SPECIES/FINISH

90. THRU BOLT
91. SIMPSON CONNECTOR, SSD
92.

100. JM ADHERED EPDM MEMBRANE ROOFING SYSTEM, CLASS A
101. JM EPDM MEMBRANE ADHESIVE
102. JM LVOC CAULK
103. JM 6' EPDM SEALING STRIP.
104. JM EPDM PEEL & STICK FLASHING, OVERLAP LOWER FLASHING 2" MIN
105. JM EPDM PRIMER
106. PT NAILER, DIM VIF

121. 8" HALF-ROUND WING GUTTER WITH BRACKETS.
122. LEAF/DEBRIS SCREEN
123. FIBER CEMENT FASCIA, MATCH (E) ADJACENT

01 NOTES & LEGEND

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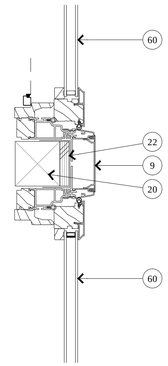
SCALE: 1:4
SHEET

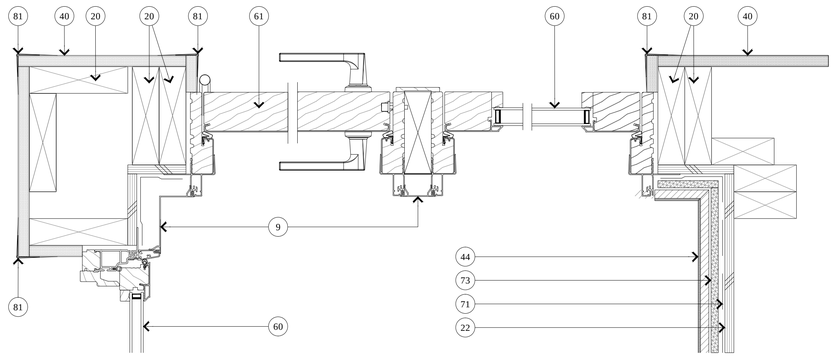
DETAILS - EXTERIOR OPENINGS

A10.2

DATE: 2202.05.24
JOB NUMBER: 2128



20 IN-BETWEEN JAMB
3" = 1'-0"



16 ENTRY DOOR JAMB
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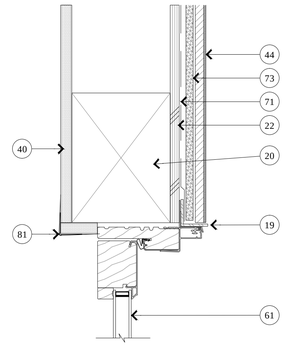
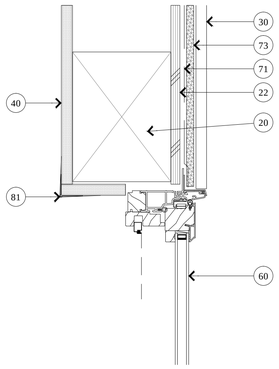
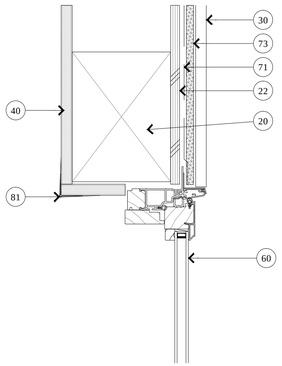


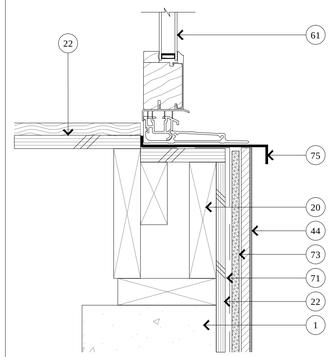
08 REAR DOOR HEAD
3" = 1'-0"



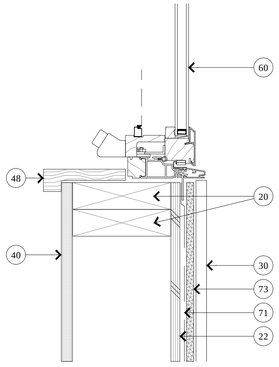
19 HEAD OPERABLE
3" = 1'-0"



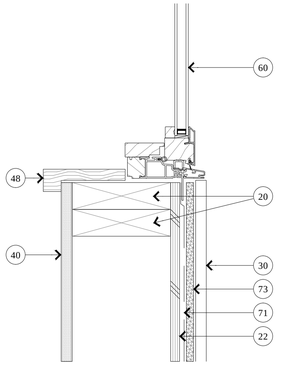
15 HEAD
3" = 1'-0"



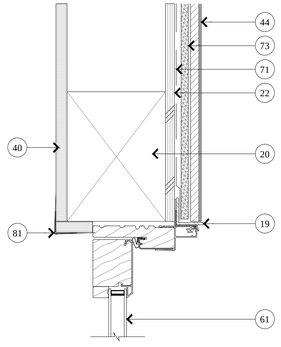
07 REAR DOOR SILL
3" = 1'-0"



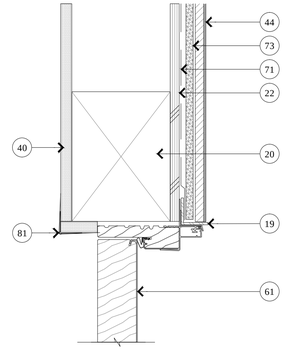
18 SILL OPERABLE
3" = 1'-0"



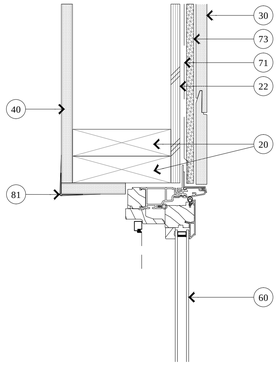
14 SILL
3" = 1'-0"



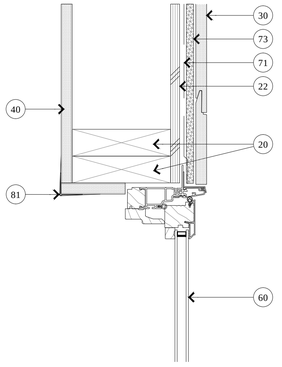
10 ENTRY SIDE LITE HEAD
3" = 1'-0"



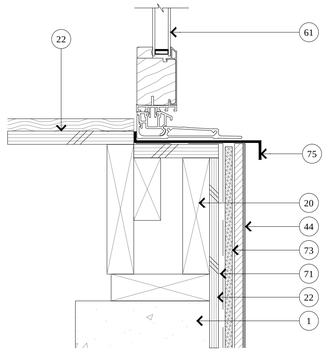
06 DOOR HEAD
3" = 1'-0"



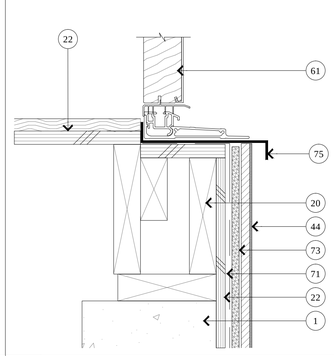
17 JAMB OPERABLE
3" = 1'-0"



13 JAMB
3" = 1'-0"



09 ENTRY SIDE LITE SILL
3" = 1'-0"



05 HINGED DOOR SILL
3" = 1'-0"

GENERAL NOTES

1. IN ADDITION TO UNDERLAYMENT SHOWN, BACK UP ALL TRANSITIONS (ROOF TO WALL, OUTSIDE & INSIDE CORNERS, ROOF TO EAVE, ETC) WITH SELF-ADHERED WATERPROOF MEMBRANE.
2. UNDERLAYMENT TO BE SHINGLED, FROM BOTTOM OF WALL TO TOP, WITH HORIZONTAL AND SIDE LAPS PER MFR. LAP BOTTOM COURSE OF UNDERLAYMENT OVER VERT FLANGE OF BASE FLASHING PROFILE.
3. BED HEAD & RAILS OF WINDOW/DOOR NAIL FLANGE IN SEALANT. DO NOT SEAL BOTTOM FLANGE.
4. DETAILS AND LAYOUT PLANS ASSUME ½" SHIM SPACE BOTH SIDES OF R.O. JAMBS & ½" @ VERT OPNG TYPICAL. FILL ALL GAPS W/ CLOSED-CELL SPRAY FOAM.
5. METAL GAUGE, FASTENERS, ATTACHMENT, CLEATS, ETC AND MATERIALS RELATED TO ROOFING, FLASHING, AND ROOF AND WALL DRAINAGE PLANE DETAILING SHALL BE CONSTRUCTED AND INSTALLED PER NRCA OR SMACNA.
6. GENERALLY, THERMAL INSULATION IS NOT SHOWN ON DETAILS. REFER TO WALL TYPES AND HORIZONTAL ASSEMBLIES SCHEDULED ON SECTIONS AND SYMBOLS PLANS FOR INSULATION TYPE AND VALUES.
7. AT ALL SHIM SPACE BETWEEN WINDOW/DOOR FRAME AND ROUGH OPENING, FILL WILL CLOSED-CELL SPRAY FOAM INSULATION.

KEYED NOTES

1. (E) CIP CONC WALL, SSD
2. (E) CIP CONC SLAB, SSD
3. (E) FRAM'G, VIF
4. (E) STRUCT SHT'G, VIF
5. (E) PAV'G, SLOPED AWAY FROM STRUCT 5% MIN VIF
6. CUSTOM BUILT METAL WALL PANEL
7. WD VENEER WINDOW SURROUND
8. METAL ROOF FLASHING T MATCH METAL WALL PANEL
9. BREAK METAL SHAPE PER MANUFACTURE
18. STANDING SEAM METAL ROOF ASSEMBLY, SEE ROOF DETAILS
19. 1.5" X 1.5" X .125" THICK ALUM. L-SHAPED ANGLE, BLACK
20. WD FRAM'G, SSD
21.
22. STRUCT SHT'G, SSD
-38. -

40. SCHEDULED GYPSUM WALL BOARD ASSEMBLY
41. SCHEDULED WD SLAT CEILING ASSEMBLY
42. SCHEDULED TILE FLOOR ASSEMBLY
43. SCHEDULED WOOD FLOOR ASSEMBLY
44. SCHEDULED WOOD WALL FINISH ASSEMBLY
45. SCHEDULED TILE DECK ASSEMBLY
46. SCHEDULED 1x NOM T&G WD SID'G, SHIPLAP / NICKEL GAP, BLIND-NAILED
47. HR STL, ADHESIVE-ATTACHED
48. WD SILL
49. SCHEDULED STONE SLAB FINISH O/ BACKER
50. HR STL PLATE, ADHESIVE-ATTACHED
51. SCHEDULED TILE WALL ASSEMBLY

60. SCHEDULED WINDOW
61. SCHEDULED DOOR

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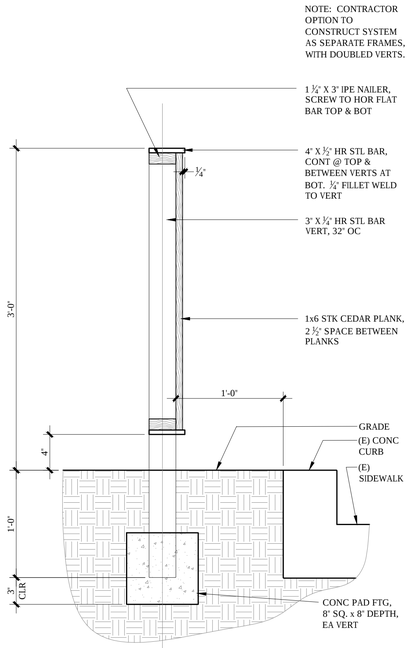
APN 002-201-36

SCALE: 3" = 1'-0" SHEET

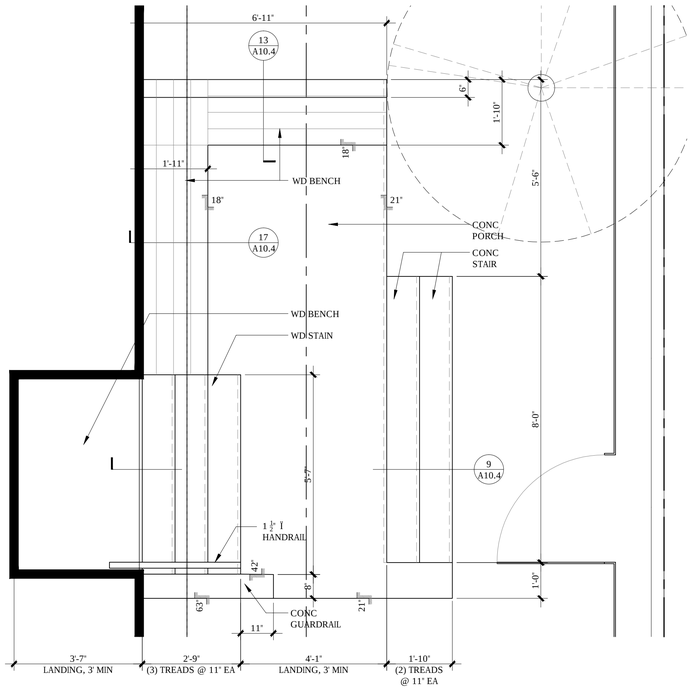
DETAILS - EXTERIOR OPENINGS

A10.2A

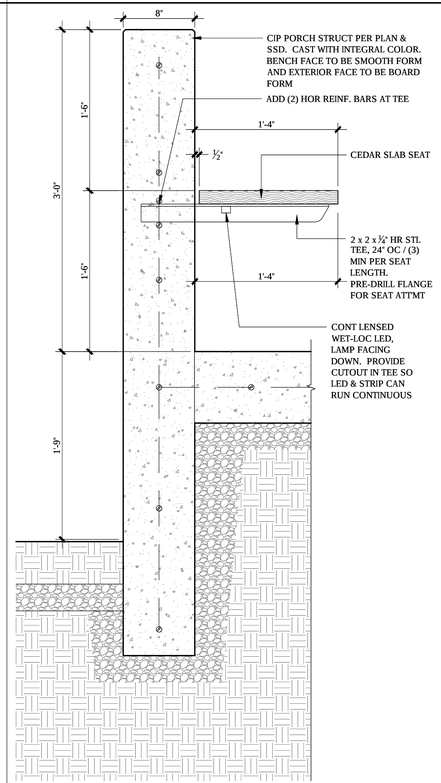
DATE: 2023.02.08
JOB NUMBER: 2128



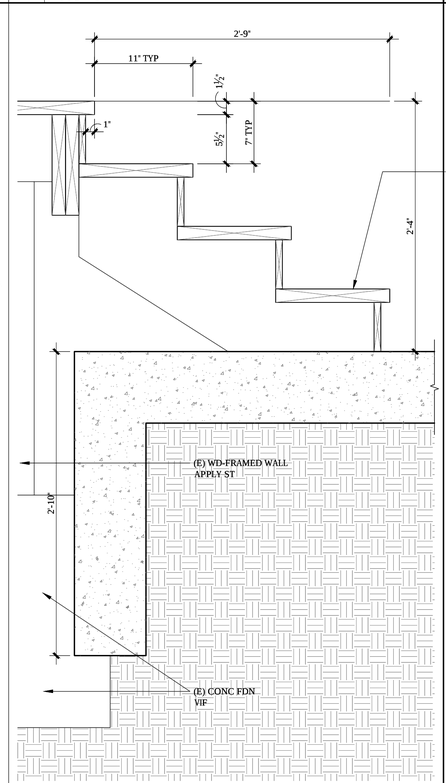
11 FENCE SECTION
1 1/2" = 1'-0"



7 FRONT PORCH DETAIL PLAN
1/2" = 1'-0"

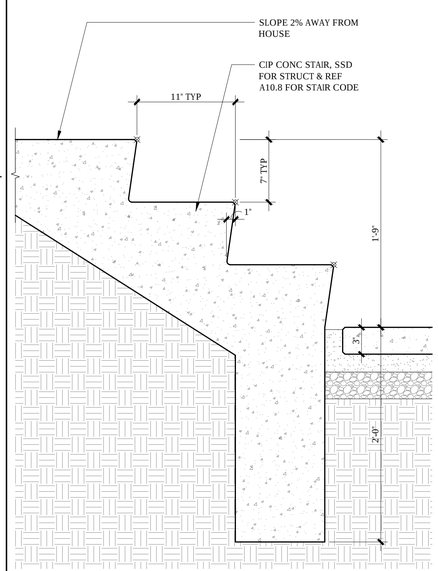


17 BENCH DETAIL
1 1/2" = 1'-0"



13 BENCH DETAIL
1 1/2" = 1'-0"

09 STEPS AT FRONT
1 1/2" = 1'-0"



NOTES

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2. FABRICATOR OPTION TO SUBSTITUTE BLACK ANODIZED ALUMINUM IN LIEU OF ST STL FOR COMPONENT CALLED OUT IN KEYED NOTE '8'. PROVIDE BARRIER BETWEEN ALUMINUM & ST STL TO PREVENT GALVANIC ACCTION BETWEEN DISSIMILAR METALS.
3. OAK TREADS TO BE STAINED BLACK

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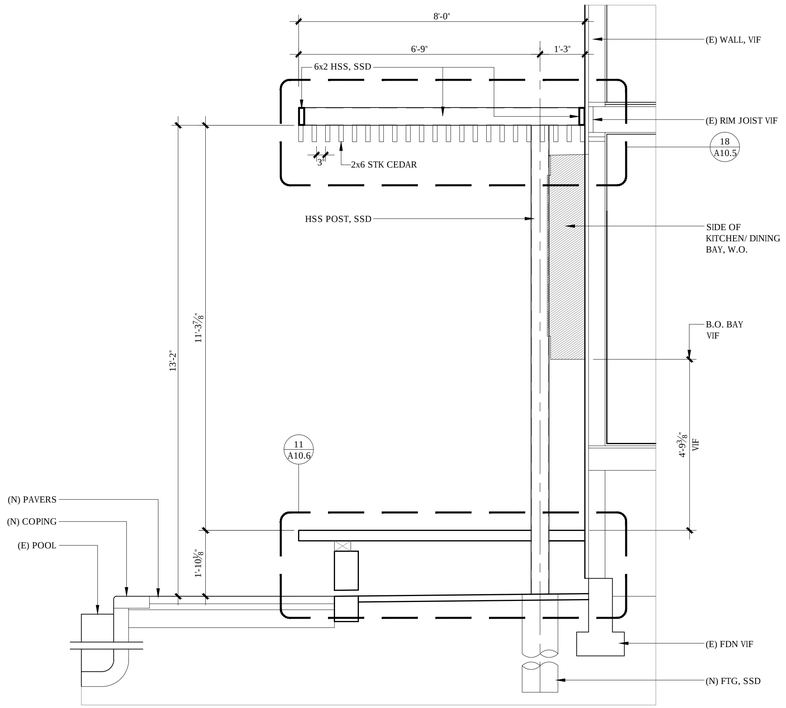
APN 002-201-36

SCALE: 1:8
SHEET

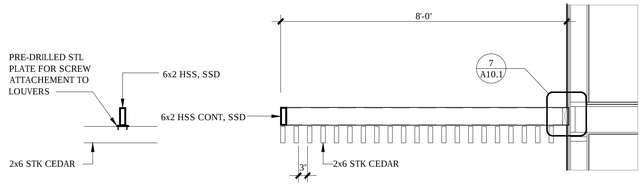
DETAILS - SITE

A10.4

DATE: 2202.05.24
JOB NUMBER: 2128



19 TYP SECTION @ PERGOLA



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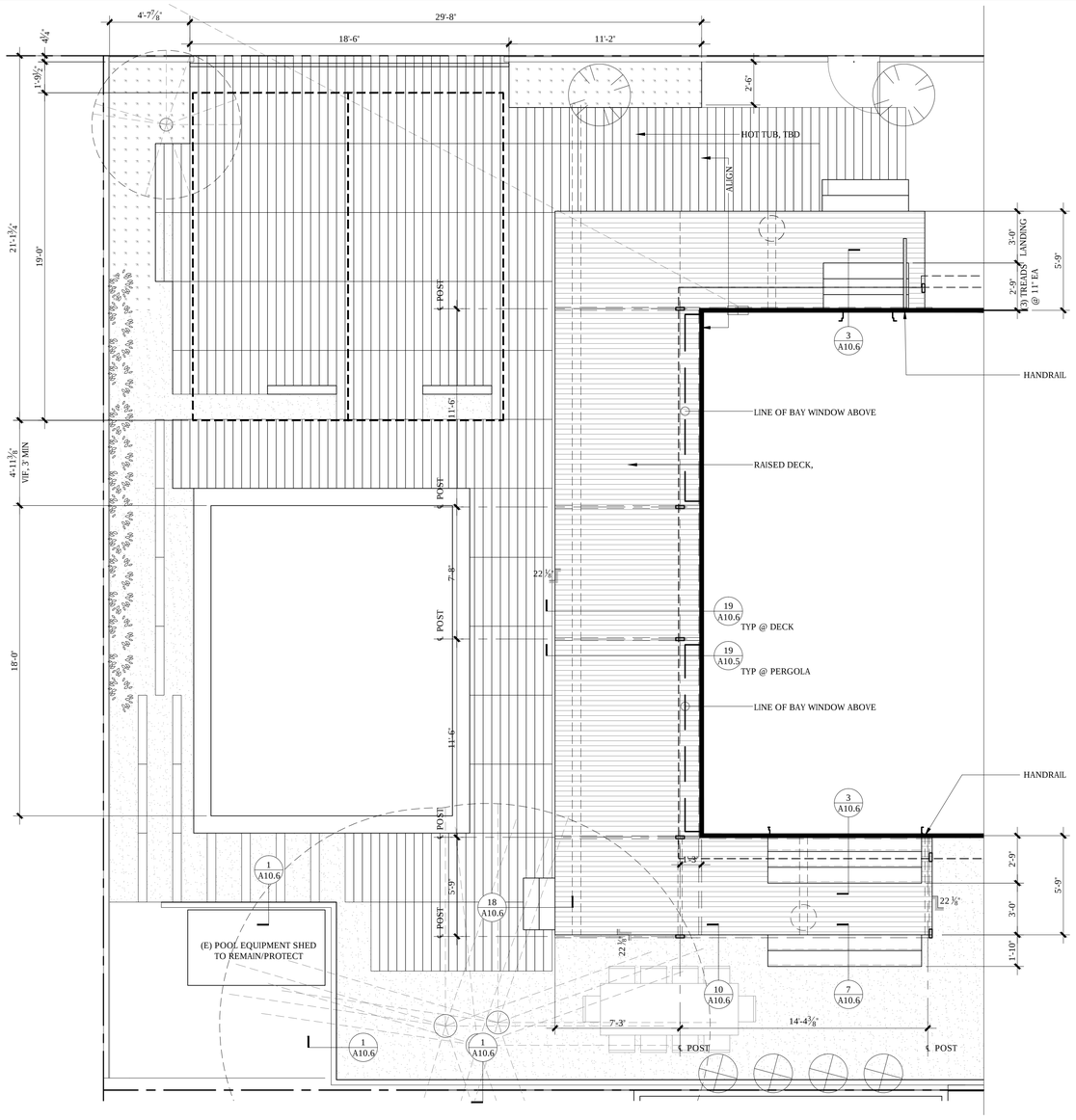
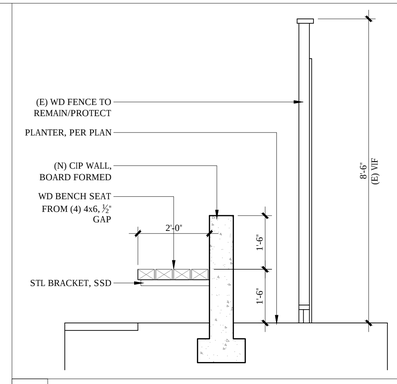


10 REAR YARD DETAIL PLAN ¼" = 1'-0"



13 BENCH & CIP WALL

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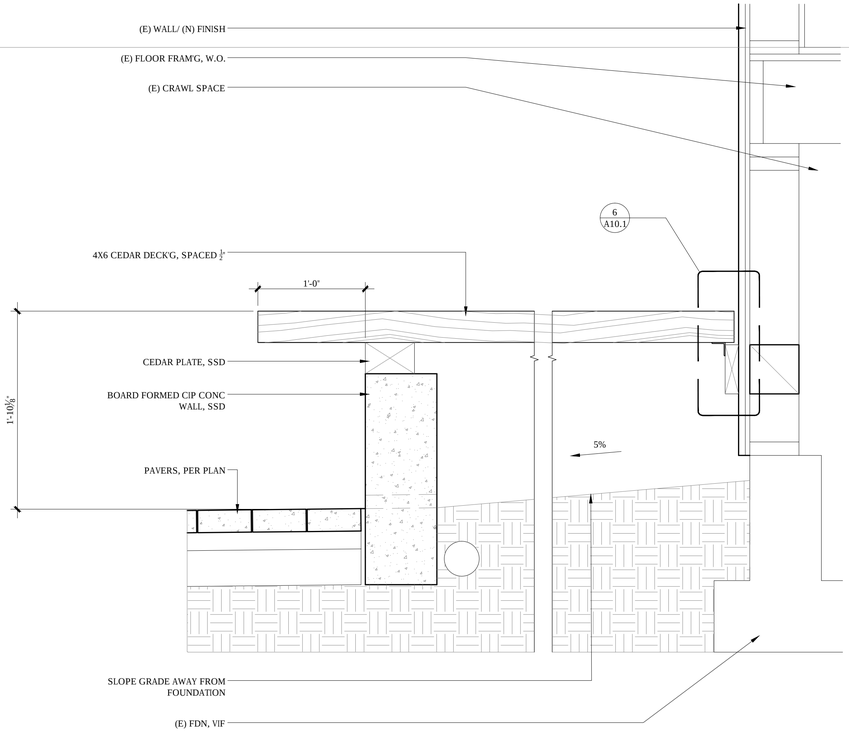
SCALE: 1/2" = 1'-0"
SHEET

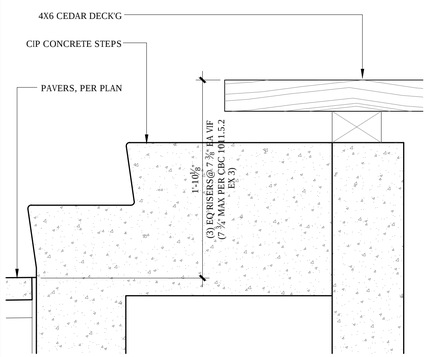
DETAILS - SITE

A10.5

DATE: 2202.05.24
JOB NUMBER: 2128



19 DECK
1 1/2" = 1'-0"



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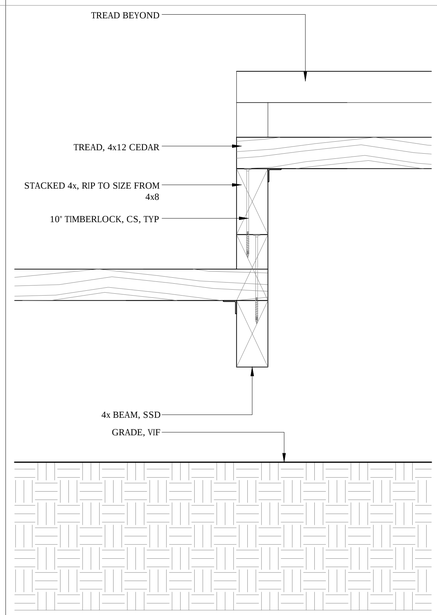
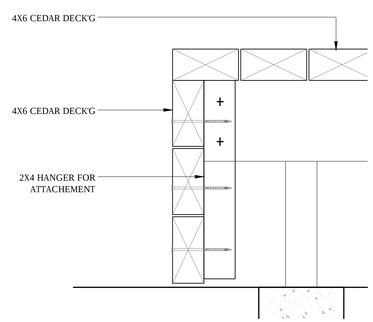
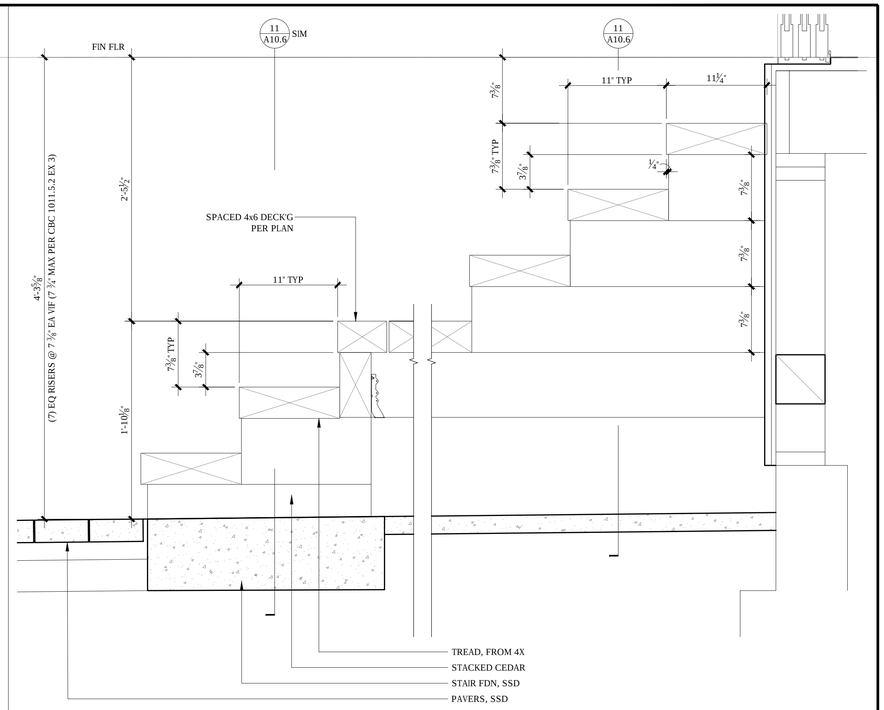


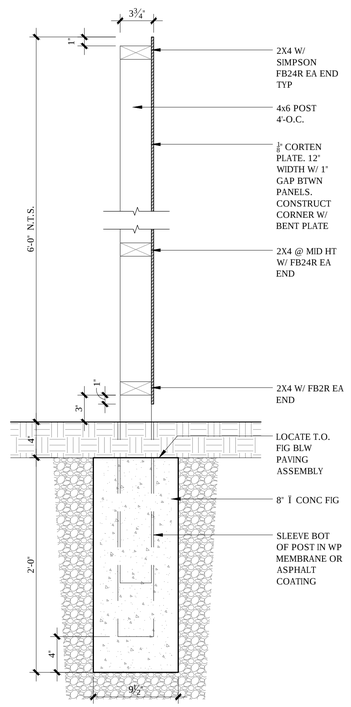
11 STAIR EDGE
1 1/2" = 1'-0"



10 DECK EDGE
1 1/2" = 1'-0"



7 STEPS TO GRADE
1 1/2" = 1'-0"



1 CORTEN FENCE
1 1/2" = 1'-0"

3 STEPS TO DECK
1 1/2" = 1'-0"

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SCALE: # # #
SHEET

DETAILS - SITE

A10.6

DATE: 2202.05.24
JOB NUMBER: 2128