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LOT DESCRIPTION

64 Mt. View Rd.
 Fairfax Ca. 94930
 A.P.# 002-011-31 ZONE: RS 6
 LOT AREA 6000 sq. ft.

EXISTING FLOOR AREAS:

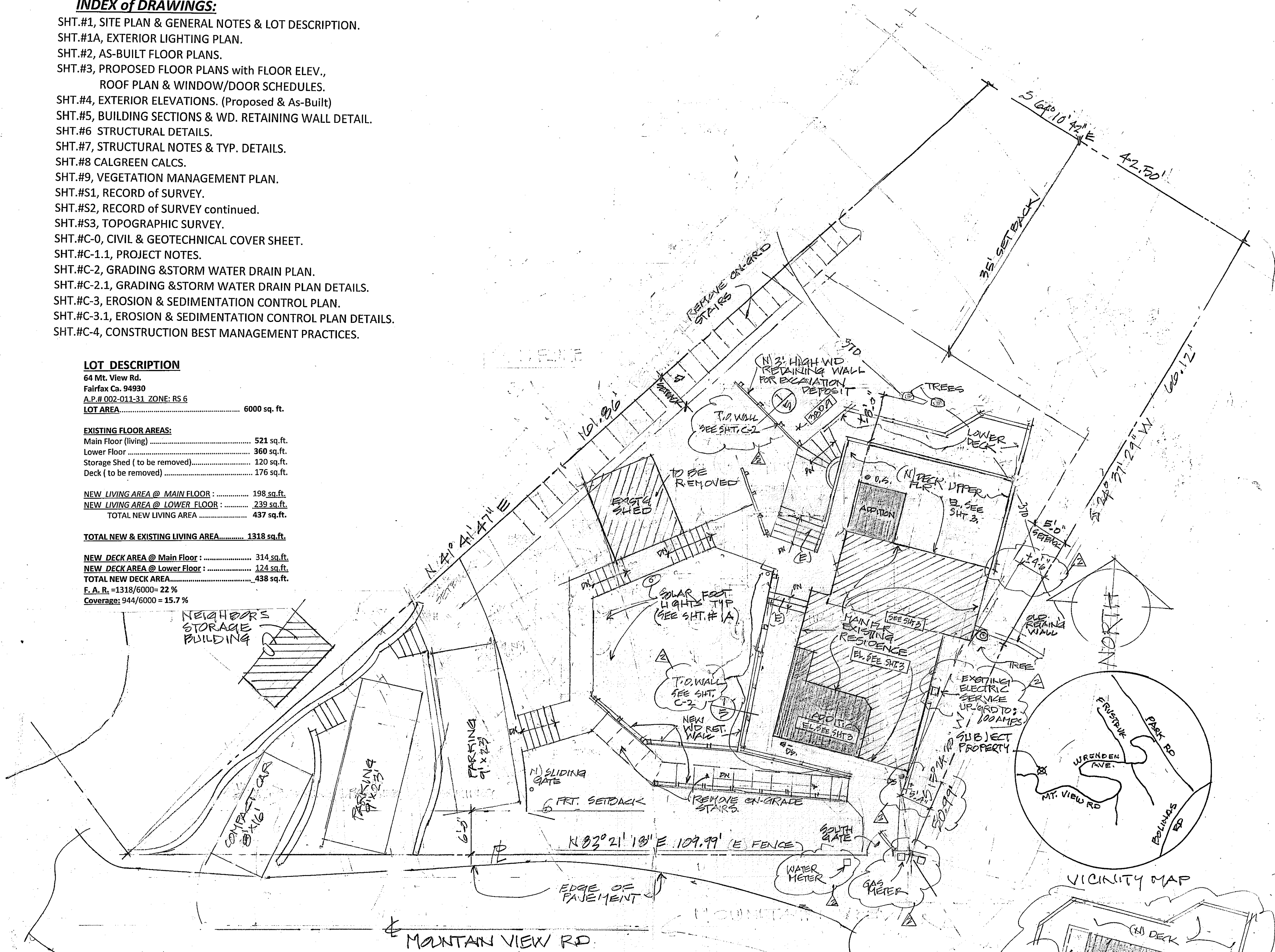
Main Floor (living) 521 sq. ft.
 Lower Floor 360 sq. ft.
 Storage Shed (to be removed) 120 sq. ft.
 Deck (to be removed) 176 sq. ft.

NEW LIVING AREA @ MAIN FLOOR : 198 sq. ft.
 NEW LIVING AREA @ LOWER FLOOR : 239 sq. ft.
 TOTAL NEW LIVING AREA 437 sq. ft.

TOTAL NEW & EXISTING LIVING AREA 1318 sq. ft.

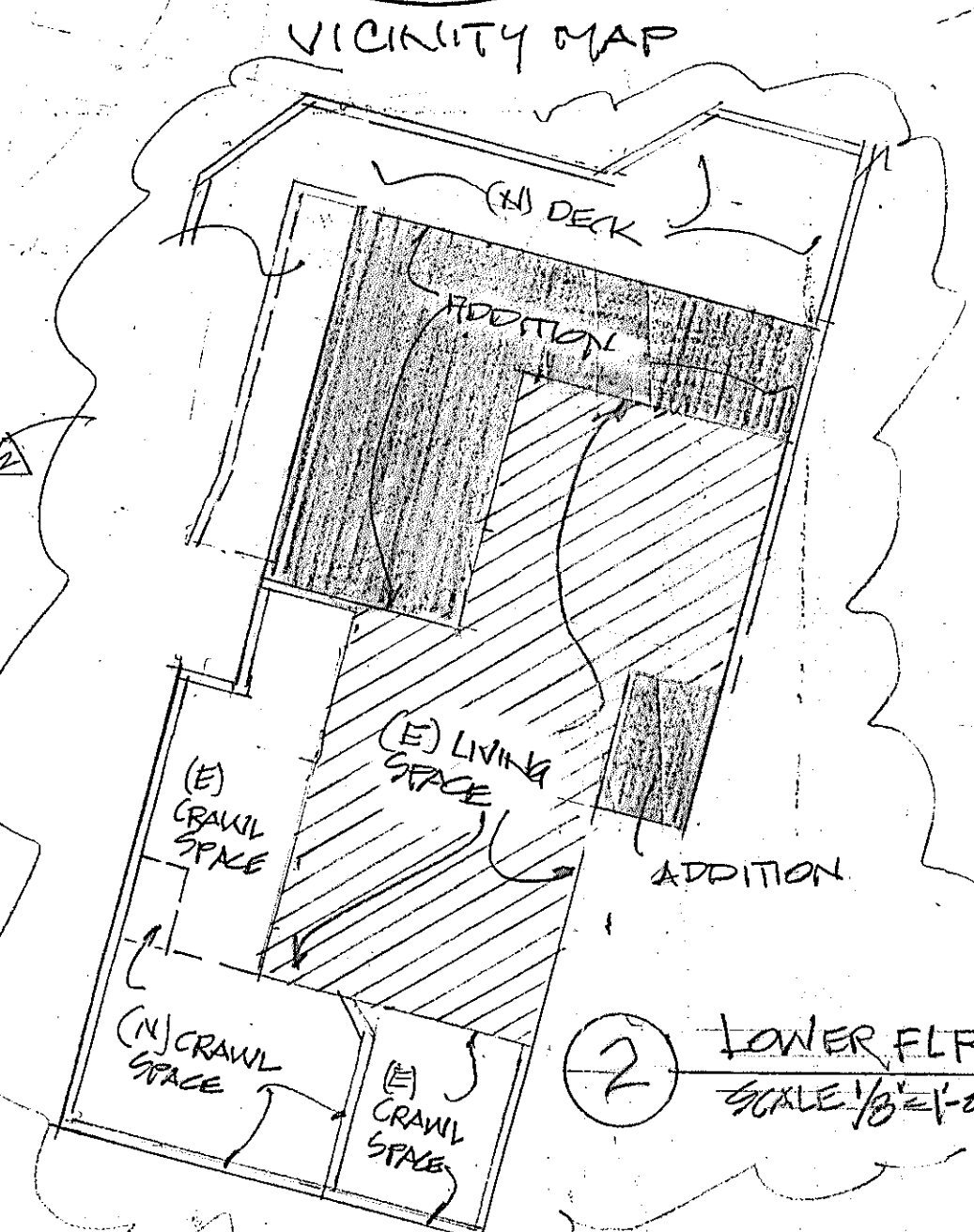
NEW DECK AREA @ Main Floor : 314 sq. ft.
 NEW DECK AREA @ Lower Floor : 124 sq. ft.
 TOTAL NEW DECK AREA 438 sq. ft.
 F.A.R. = 1318/6000 = 22 %
 Coverage: 944/6000 = 15.7 %

NEIGHBORS STORAGE BUILDING



1 SITE PLAN SCALE 1/8"=1'-0"

GRADE ELEVATION DATA TAKEN FROM:
 L.A. STEVENS & ASSOCIATES INC. TOPOGRAPHIC SURVEY
 (SEE SHEET # S3)
 DRAWING NO. 212165, DATED: 11/18/2022
 PHONE NO. (415) 382-7713



2 LOWER FLR. SCALE 1/8"=1'-0"

GENERAL NOTES

- SCOPE OF WORK for: 64 Mt. View Rd., Fairfax Ca.**
- (a) New 234 sq. ft. bedroom, bath, closet, laundry & staircase addition on lower level. (132 sq. ft. of existing to be demo'd)
 - (b) New 192.5 sq. ft. addition at main floor level for living room extension, office, half bath, kitchen remodel and family room extension.
 - (c) All new kitchen cabinets and appliances.
 - (d) Install new sewer lateral to code.
 - (e) Install new heating and cooling unit, including tankless water heater.
 - (f) Install new windows as shown on plans. (Fire egress door in bedroom No 1.)
 - (g) Install new gutters and down spouts leading to downhill drainage flume. (BY OTHERS)
 - (h) Provide new rigid insulation (R30) above existing living room roof sheathing, then reroof with Class A built-up roofing. Also new rigid insulation between existing ceiling joists in the remainder of the roof system. (Satisfying W.U.I. requirements.)
 - (i) Provide new fire-resistant siding. (see exterior elevations.)
 - (j) Remove guard rail, exist deck and roofing over primary bedroom and reroof and rebuild deck and guard rail as shown on plans.
 - (k) New floor covering.
 - (l) Remove main floor bathroom fixtures and relocate to include a separate HALF BATH.

- CODE & WORKMANSHIP NOTES:**
1. This project will comply with the requirements of the 2019 editions of the California Residential Code (CRC), the 2019 edition of the California Plumbing Code (CPC), the 2019 edition of the California Mechanical Code (CMC), the 2019 edition of the California Electric Code (CEC), the 2019 edition of the California Fire Code (CFC), and the 2019 Title 24 Energy Efficiency Standards.
 2. GPS Coordinates: (latitude) N 37° 59' 7.584", (longitude) -122° 35' 44.664"
 3. Existing building located in "Wildland-Urban-Interface" (WUI) district, to comply with Chapter 7a of CBC.

- WILDLAND-URBAN-INTERFACE (WUI) NOTES:**
1. Prior to building permit final approval, the property shall be in compliance with the vegetation clearance requirements prescribed in California Fire Code Section 4906. CRC §R327.1.5
 2. Roof gutters shall be provided with the means to prevent the accumulation of leaves and debris in the gutter. CRC §R327.5.4.
 In lieu of conventional batt insulation requiring ventilation use: rigid insulation (min. R30) APPLIED TO TOP SIDE OF LIVING ROOM SHEATHING then new Class A built-up roofing over. Also on the UNDERSIDE OF ROOF SHEATHING in the remainder of the roof system, TO SATISFY "WILDLAND URBAN INTERFACE" REQUIREMENTS. NO SOFFIT VENTS, RIDGEVENTS, GABLE END VENTS OR SMART VENTS ARE REQUIRED USING THIS SYSTEM.
 3. New exterior windows, window walls, glazed doors, and glazed openings in exterior doors shall be insulating glass units with a minimum of one tempered pane, or glass block units, or have a fire-resistance rating of not less than 20 minutes when tested according to NFPA 257. CRC §R327.8.2.1. (SEE WINDOW SCHEDULE)
 4. Repaired or Replaced exterior walls: The exterior wall covering or wall assembly shall be of noncombustible material, or ignition-resistant material. CRC §R327.7.3.
 5. Extent of exterior wall covering: Exterior wall coverings shall extend from the top of the foundation to the roof, terminating at 2" nominal solid wood blocking between rafters at all roof overhangs, or terminating at the enclosure of enclosed eaves. CRC §R327.7.3.1
 6. Open roof eaves: The exposed roof deck on the underside of unenclosed roof eaves shall consist of noncombustible material, or ignition-resistant material, or 1-layer 5/8. type x gypsum sheathing applied behind an exterior covering on the underside exterior of the roof deck, or the exterior portion of a 1-hour fire resistive assembly applied to the underside of the roof deck. CRC §R327.7.4.

- ELECTRICAL NOTES:**
1. Outdoor lighting attached to the building: Use high efficacy or controlled by a motion sensor and photo motion. Metal Halide is also a high efficacy option. Outdoor lighting shall be labeled "Suitable for wet locations".
 2. Provide kitchen with at least two 20-amp small appliance circuits. Receptacles at countertops must be installed such that no point along the wall line is more than 24 inches from a receptacle. Countertop receptacles shall not be installed in a face up position and not more than 20" above nor 12" below the countertop surface. All receptacles serving countertops in kitchen shall be GFCI protected.
 3. Where separate circuits for the garbage disposal and the dishwasher are terminated in the same box, the receptacles shall be labeled as to which appliance they serve, and the circuit breakers shall have a handle tie at the service panel. No other receptacle shall be installed in this box.
 4. All new residential 125 volt, 15-amp and 20-amp circuits not required to be GFCI protected must be AFCI protected. Also, all new 125 volt, 15 and 20 amp rated receptacles must be of the tamper-resistant type.
 5. Listed combination type arc fault circuit interrupters shall protect all branch circuits serving any electrical outlets in bedrooms.
 6. Bathroom lighting shall be controlled by an occupancy sensor with manual on switch or by high efficacy lighting.
 7. Provide one additional dedicated 20-amp circuit to supply bathroom receptacle outlets. This circuit shall have no other outlets. Receptacle must be installed within 36" of the sink.
 8. Provide one additional dedicated 20-amp circuit to supply laundry receptacle outlets. This circuit shall have no other outlets.
 9. Provide electrical outlets at wall lines to be a maximum of 6 feet from openings and 12 feet on center maximum.
 10. All recessed lighting fixtures in spaces where insulation is required shall be "IC" rated and shall be labeled "airtight".
 11. Bathrooms and Laundry to be provided with exhaust fans (minimum 50 cfm) to be ducted to the exterior.
 Note: All fans installed to meet all of the preceding requirements must be specified at a noise rating of a maximum one "Sone" (for the continuous use calculation) or three "Sone" (for the intermittent use calculation.)

- PLUMBING/HEATING NOTES:**
1. Termination of all environmental air ducts shall be a minimum of 3 feet from any openings into the building (i.e. exhaust fans, etc., must be 3 feet away from doors, windows, opening skylights or attic vents).
 2. Hot water pipes shall be thermally insulated.
 3. Toilet shall use not more than 1.28 gallons of water per flush.
 4. The maximum hot water temperature discharging from the shower shall be limited to 120° F. All shower valves must be temperature balanced.
 5. All plumbing fixtures to meet the Cal Green Code low flow requirements.
 6. When the gas piping system is altered, or a new gas appliance is installed, a seismic gas shut-off valve shall be installed.
 7. New tankless water heater, heat capacity: 199 k BTU/HR, energy factor: 92%, vent type: forced draft direct vent. Exact heat capacity to be determined in field with installer. See plans for location.
 - 7a. All hot water piping sized 3/4" or larger are required to be insulated as follows: 1" pipe size or less: One-inch-thick insulation; larger pipe sizes require 1 1/2" thick insulation.
 8. New AC unit, energy factor: 92 % size to be determined in field.
 9. Gas shut-off must be located within 6ft. of appliance and must be accessible and shall not be located behind appliance.

- MISCELLANEOUS NOTES:**
1. Shower walls shall be provided with a moisture resistant underlayment and to be finished with a tile surface to a min. height of 72 inches above the drain inlet.
 2. Tub and shower enclosures to be temp. glass.
 3. Shower doors a minimum clear space of 22 inches.
 4. The finish floor of the shower receptor shall slope uniformly from the sides toward the drain not less than 1/4" per foot or more than 1/2" per foot.
 5. All dimensions shown on plan are to face of framing (face of stud) unless otherwise noted.
 6. Handrails @ stairs to be 34 inches to 38 inches above the nose of tread.
 The handgrip portion of handrails shall be not less than 1-1/4" in diameter or more than 2" in cross-sectional dimension. Guard rails to be 42 inches above finish walking surfaces. (SEE FLOOR PLAN)

- FIRE DEPARTMENT:**
1. All smoke alarms in this building shall be provided with AC power and be interconnected for simultaneous alarm. Alarms shall be located in each sleeping room, outside of sleeping rooms centrally located in the corridor and over the center of all stairways with a minimum of one alarm per story of the occupied portion of the residence.
 2. Carbon Monoxide Alarms shall be installed in the following locations: Outside of each separate dwelling unit sleeping area in the immediate vicinity of the bedroom(s), on every level of a dwelling unit including basements.
 3. Address numbers at least 4" tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers are required. Residential numbers must be internally illuminated (backlit). Placed close to a light source or be reflective numbers.

DIRECTORY of CONSULTANT

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- Land Surveyor:** L.A. Stevens & Associates, Inc.
 7 Commercial Blvd. Suite 1, Novato Ca. 94949, (415) 382-7713
- Soils Engineer:** Herzog Geotechnical
 70 Woodside Ln., Mill Valley, Ca., 94941, (415) 388-8355
- Grading, Storm Water, Erosion & Sediment Control Plan Engineer:**
 Agnew Civil Engineering, 454 Gallinas Ave., San Rafael, (415) 868-5532
- Title 24, Energy Calc. Co.** (415) 457-0990
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- CalGreen:** Jon Mitguard, (415) 847-2332
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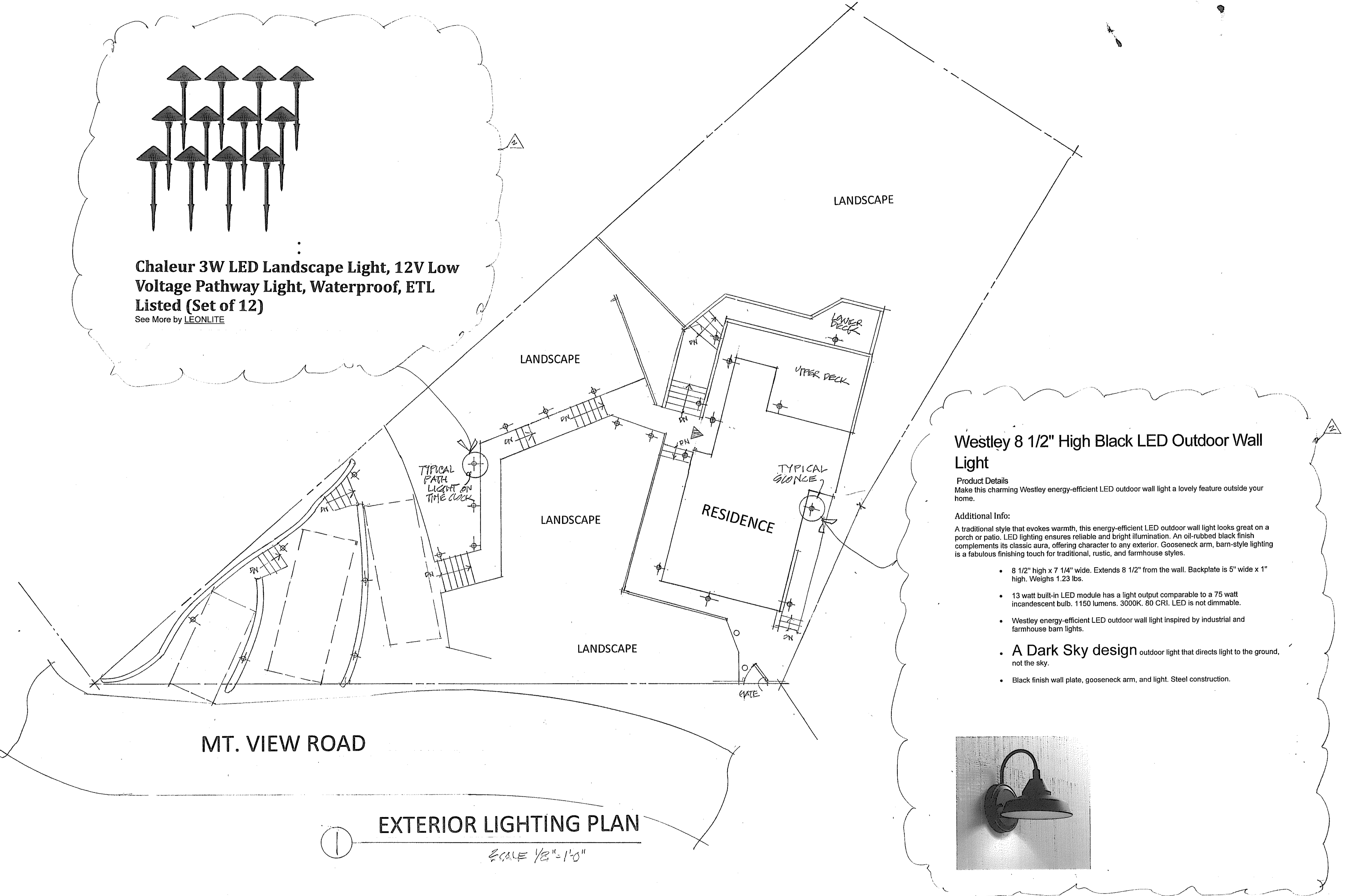
Addition & Renovation to the Lerrigo Residence.
 64 Mt. View Rd., Fairfax, California, 94930
 A.P.#002-011-31, Zone RS-6

TITLE	
1. SITE PLAN 2. DRAINAGE PLAN 3. GENERAL NOTES	
PRINTING:	PURPOSE:
DATE	2/15/23 D.R.
SCALE: SHOWN	
DRAWN: DEL	
JOB #:	
SHEET No.	
of 9	

Addition & Renovation to the Lerrigo Residence.
 64 Mt. View Rd., Fairfax, California, 94930
 A.P.#002-011-31, Zone RS-6



Chaleur 3W LED Landscape Light, 12V Low Voltage Pathway Light, Waterproof, ETL Listed (Set of 12)
 See More by LEONLITE



EXTERIOR LIGHTING PLAN

SCALE 1/8" = 1'-0"

Westley 8 1/2" High Black LED Outdoor Wall Light

Product Details
 Make this charming Westley energy-efficient LED outdoor wall light a lovely feature outside your home.

Additional Info:
 A traditional style that evokes warmth, this energy-efficient LED outdoor wall light looks great on a porch or patio. LED lighting ensures reliable and bright illumination. An oil-rubbed black finish complements its classic aura, offering character to any exterior. Gooseneck arm, barn-style lighting is a fabulous finishing touch for traditional, rustic, and farmhouse styles.

- 8 1/2" high x 7 1/4" wide. Extends 8 1/2" from the wall. Backplate is 5" wide x 1" high. Weighs 1.23 lbs.
- 13 watt built-in LED module has a light output comparable to a 75 watt incandescent bulb. 1150 lumens. 3000K. 80 CRI. LED is not dimmable.
- Westley energy-efficient LED outdoor wall light inspired by industrial and farmhouse barn lights.
- A Dark Sky design outdoor light that directs light to the ground, not the sky.
- Black finish wall plate, gooseneck arm, and light. Steel construction.



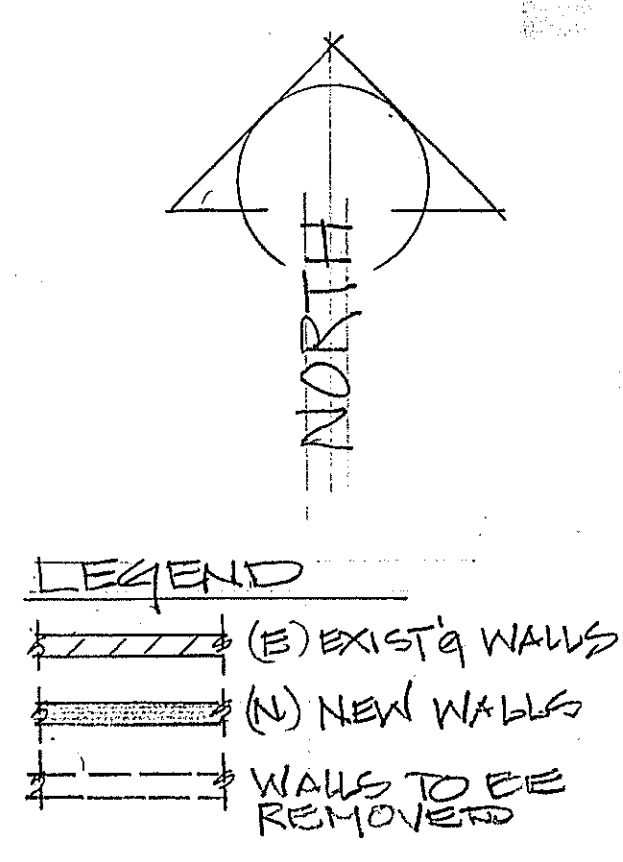
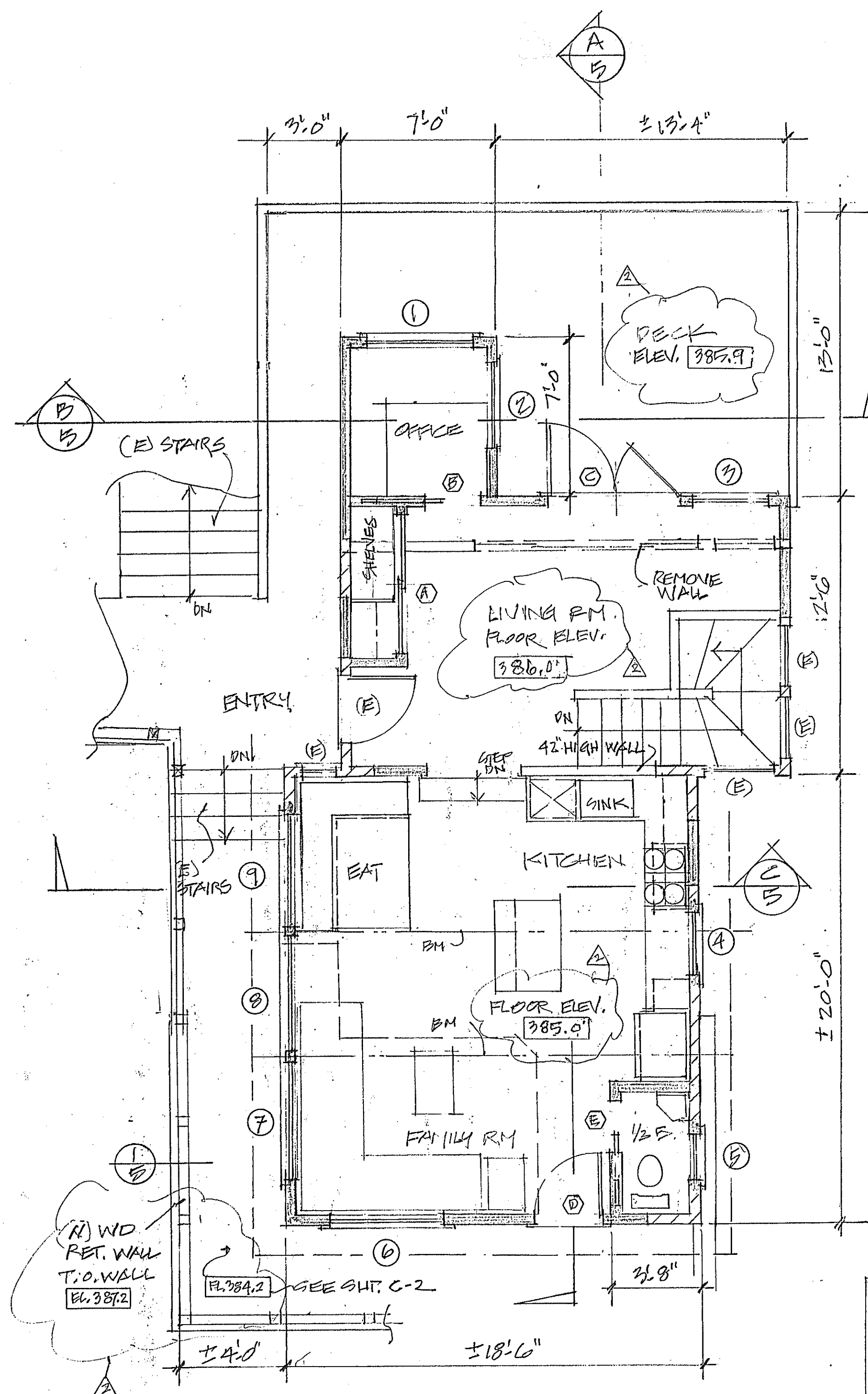
EXTERIOR LIGHTING NOTES:

- All the exterior lighting fixtures must be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or up light panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting plan shall be submitted with the building permit application and be approved by the Planning Department prior to issuance of the project building permit. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety.

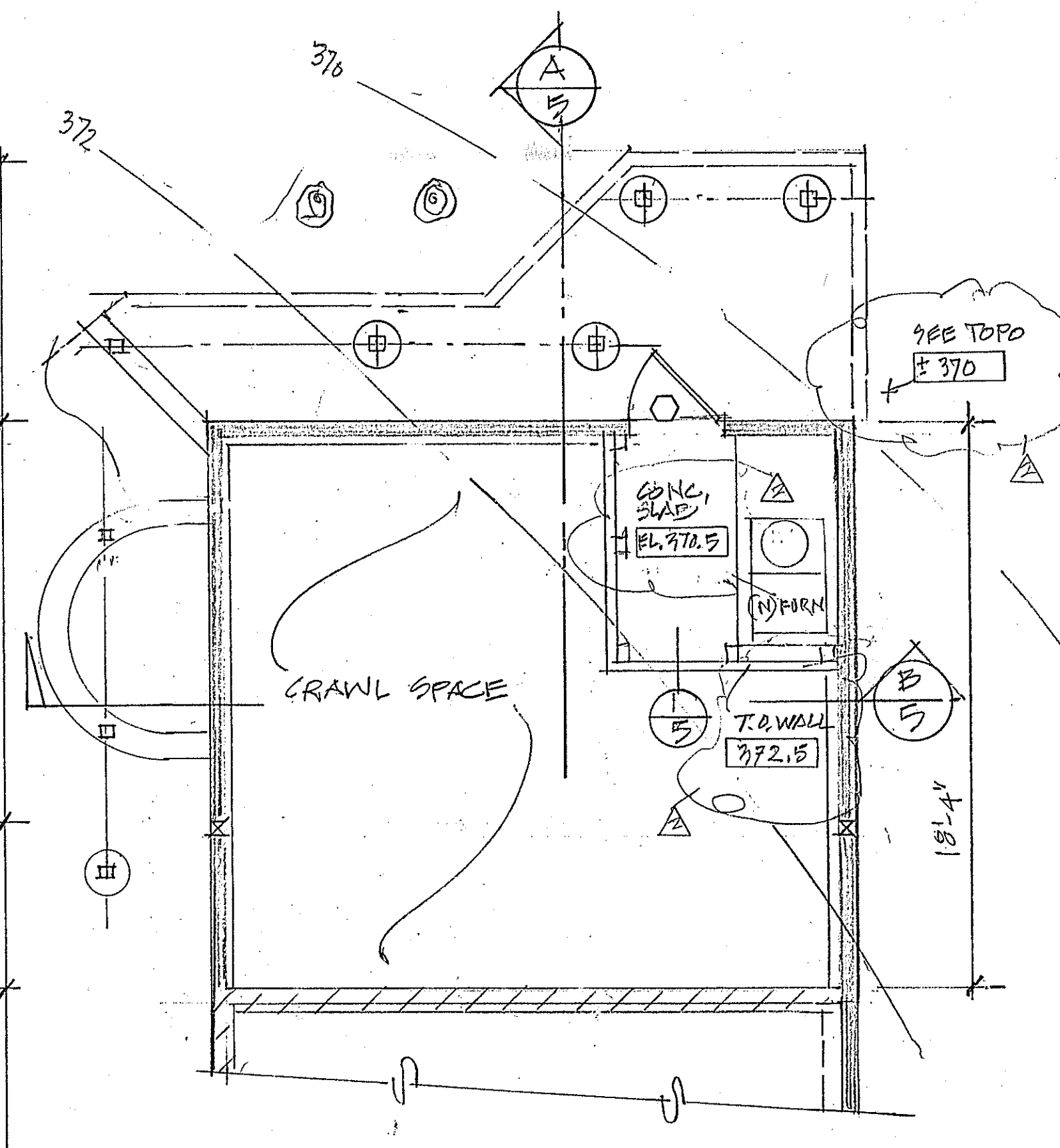
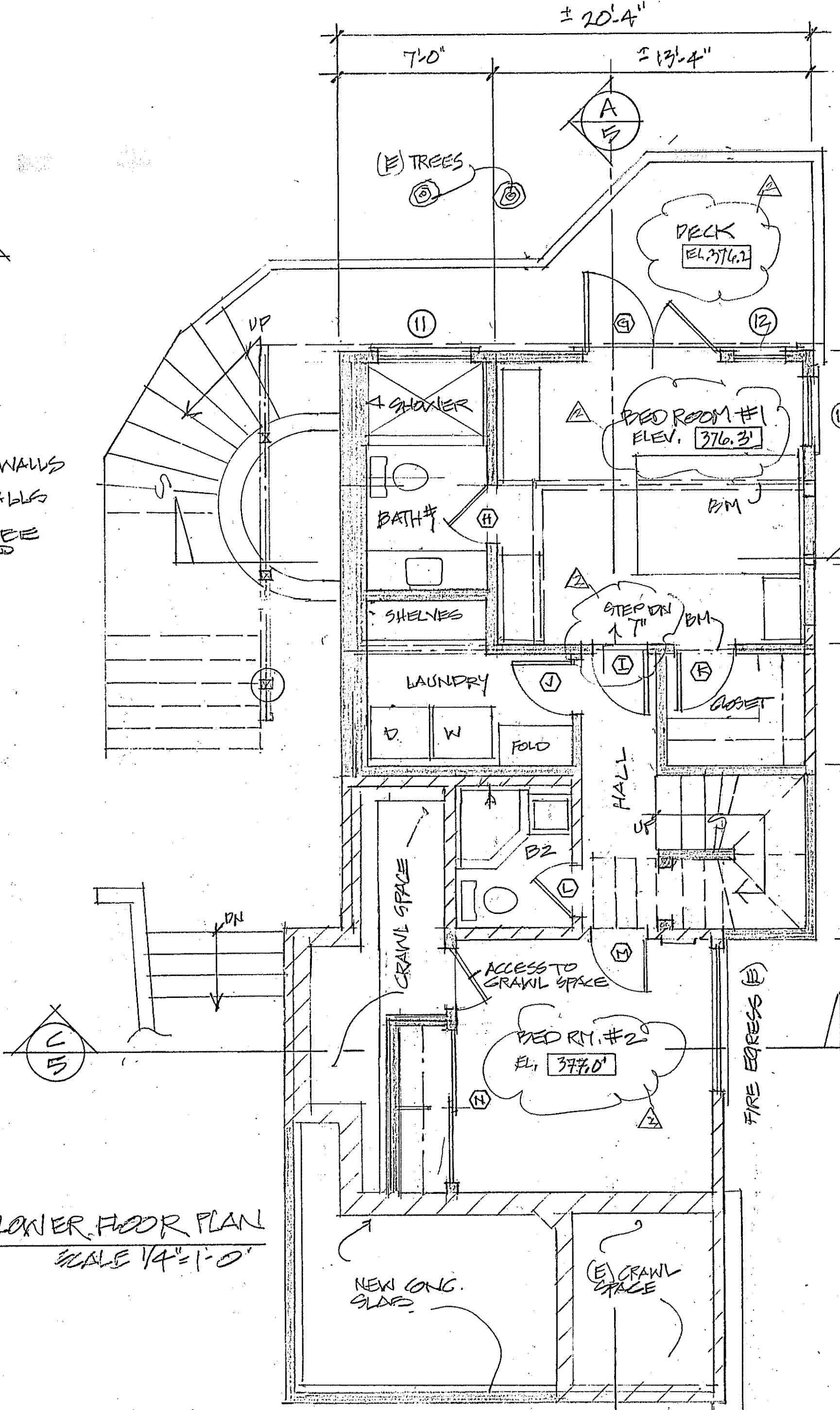
TITLE
EXTERIOR LIGHTING PLAN

PRINTING:
DATE: 2/15/23
PURPOSE:

SCALE: SHOWN
DRAWN: PEL
JOB #:
SHEET No.



2 LOWER FLOOR PLAN
 SCALE 1/4" = 1'-0"



MECHANICAL, ELECTRICAL AND LIGHTING SYMBOLS

○	SURFACE MOUNTED LIGHT FIXTURE	○	DUPLEX OUTLET BOX	○	EXHAUST FAN OR EXHAUST PURPOSE
○	WALL MOUNTED LIGHT FIXTURE	○	DUPLEX OUTLET BOX W/COVER	○	TV OUTLET
○	RECESSED LIGHT FIXTURE	○	OUTLET 220V	○	TELEPHONE OUTLET
○	TRAC-LIGHT FIXTURE	○	DUPLEX OUTLET BOX W/COVER	○	THERMOSTAT
○	WALL MOUNTED LIGHT FIXTURE	○	DUPLEX OUTLET BOX W/COVER	○	FLUORESCENT LIGHT FIXTURE
○	2-WAY SWITCH	○	DUPLEX OUTLET BOX W/COVER	○	WALL AND FLOOR HEAT REGISTER
○	3-WAY SWITCH	○	SUBSTITUTION BOX	○	SMOKE DETECTOR
○	4-WAY SWITCH	○	POUR-FLEX	○	POUR-BID
○	LOW VOLTAGE DIMMER	○	FLUORESCENT LIGHT FIXTURE	○	CARBON MONOXIDE ALARM

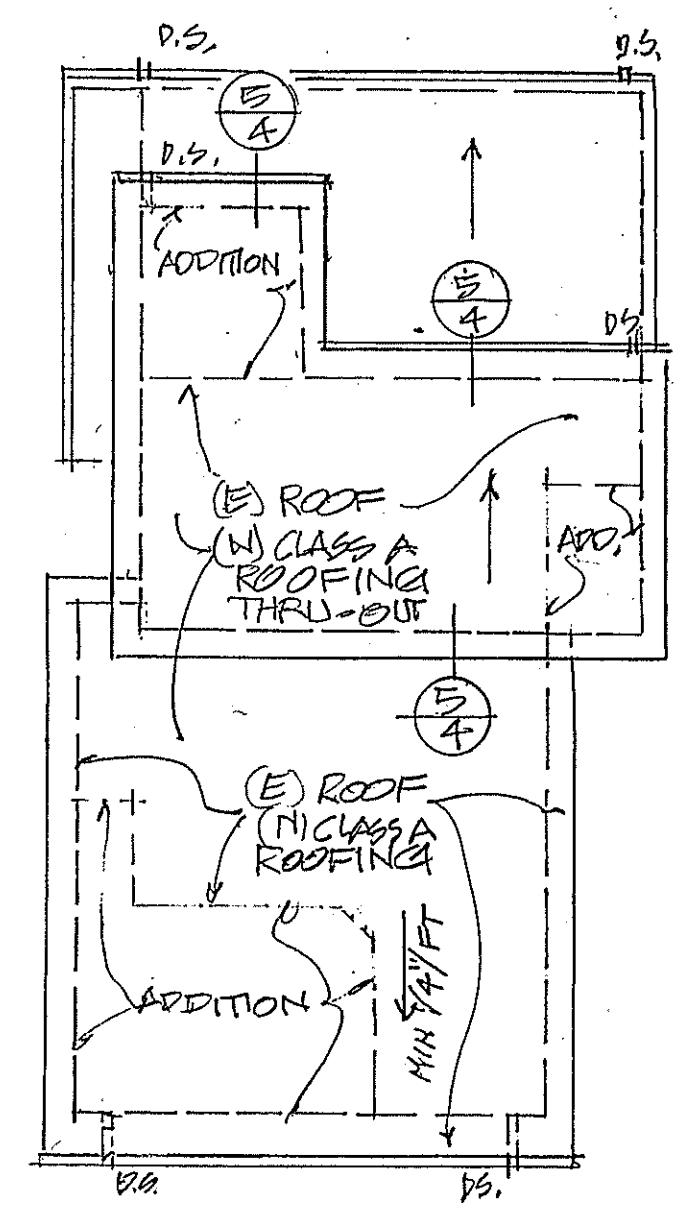
DOOR SCHEDULE * ANDERSEN

No.	Type	Manuf	Act. Unit Size L x H x T	Cat. #	Jamb	Glass	Ext. Fin	Int. Fin	Color	Scrn	Remarks
1	SLD		6'0" x 6'0"								SING. PANEL
2	FR		2'0" x 6'0"								SING. PANEL
3	*		6'0" x 6'0"	FND 606B		1/4"	TEMP				
4	FR		2'0" x 6'0"								DUTCH DOOR SPECIAL ORDER
5	FR		2'4" x 6'0"								
6			NOT USED								
7	*		6'0" x 6'0"	FND 606B		1/4"	TEMP				
8	FR		2'0" x 6'0"								SING. PANEL
9			2'0" x 6'0"								
10			2'0" x 6'0"								
11	V		2'0" x 6'0"								
12	SLD		6'0" x 6'0"								

WINDOW SCHEDULE NOTE: EXTERIOR PANEL OF ALL WINDOWS SHALL BE TEMP. GLASS. W.L.U.I. REQUIREMENTS

No.	Type	Manuf	Size R.O. L x H	Cat. #	Sketch	Jamb	Glass	Ext. Fin	Int. Fin	Color	Scrn	Remarks
1	SLD	ANDERSEN	5'0" x 3'0"	445			1/4"					
2	SLD		4'6" x 3'0"	443			1/4"					
3	SLD		3'0" x 3'0"	435			1/4"	TEMP				
4	CSM		2'0" x 2'0"	413			1/4"					
5	CSM		2'0" x 2'0"	412			1/4"					
6	SLD		5'0" x 3'0"	453								
7	SLD		5'0" x 3'0"	453								
8	FX		5'0" x 3'0"	45								
9	SLD		5'0" x 3'0"	453								
10			NOT USED									
11	MAN		4'0" x 2'0"	A41			1/4"	TEMP				
12	CSM		2'0" x 2'0"	C14			1/4"	TEMP				
13	CSM		3'0" x 4'0"	C14			1/4"					

4 ROOF PLAN
 SCALE 1/8" = 1'-0"



Addition & Renovation to the Lerrigo Residence.
 64 Mt. View Rd., Fairfax, California, 94930
 A.P.#002-011-31, Zone RS-6

TITLE
 FLOOR PLANS
 WINDOW &
 DOOR SCHEDULE

PRINTING:
 DATE: 1/19/23 DR.
 PURPOSE:
 SCALE: SHOWN
 DRAWN: DEL
 JOB #:
 SHEET No.

Project name: 64 Mt. View Road, Fairfax, CA 94930
Remodel
Prepared by: Aurora Building Performance - Jon Mitguard ICC 8880943

2019 California Green Building Mandatory Measures

FEATURE OR MEASURE

	Mandatory Achieved	
PLANNING AND DESIGN		
Site Development		
4.106.2 A plan is developed and implemented to manage storm water drainage during construction.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.106.4 Provide capability for electric vehicle charging for one- and two-family dwellings; townhouses with attached private garages; multifamily dwellings; and hotels/motels in accordance with Section 4.106.4.1, 4.106.4.2, or 4.106.4.3, as applicable.	<input type="checkbox"/>	<input type="checkbox"/>
ENERGY EFFICIENCY		
General		
4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
WATER EFFICIENCY AND CONSERVATION		
Indoor Water Use		
4.303.1 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.303.2 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.303.1.4.3 Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle. I	<input type="checkbox"/>	<input type="checkbox"/>
Outdoor Water Use		
4.304.1 Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Enhanced Durability and Reduced Maintenance		
4.406.1 Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing	<input checked="" type="checkbox"/>	<input type="checkbox"/>

4.504.3 Carpet and carpet systems shall be compliant with VOC limits.	<input type="checkbox"/>	<input type="checkbox"/>
4.504.4 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Interior Moisture Control		
4.505.2 Vapor retarder and capillary break is installed at slab-on-grade foundations.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Indoor Air Quality and Exhaust		
4.506.1 Each bathroom shall be provided with the following: 1. ENERGY STAR fans ducted to terminate outside the building. 2. Fans must be controlled by a humidity control (separate or built-in); OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Environmental Comfort		
4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.	<input type="checkbox"/>	<input type="checkbox"/>
Installer and Special Inspector Qualifications		
Qualifications		
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems. I	<input checked="" type="checkbox"/>	<input type="checkbox"/>
702.2 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
703.1 Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance. 1. Green building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

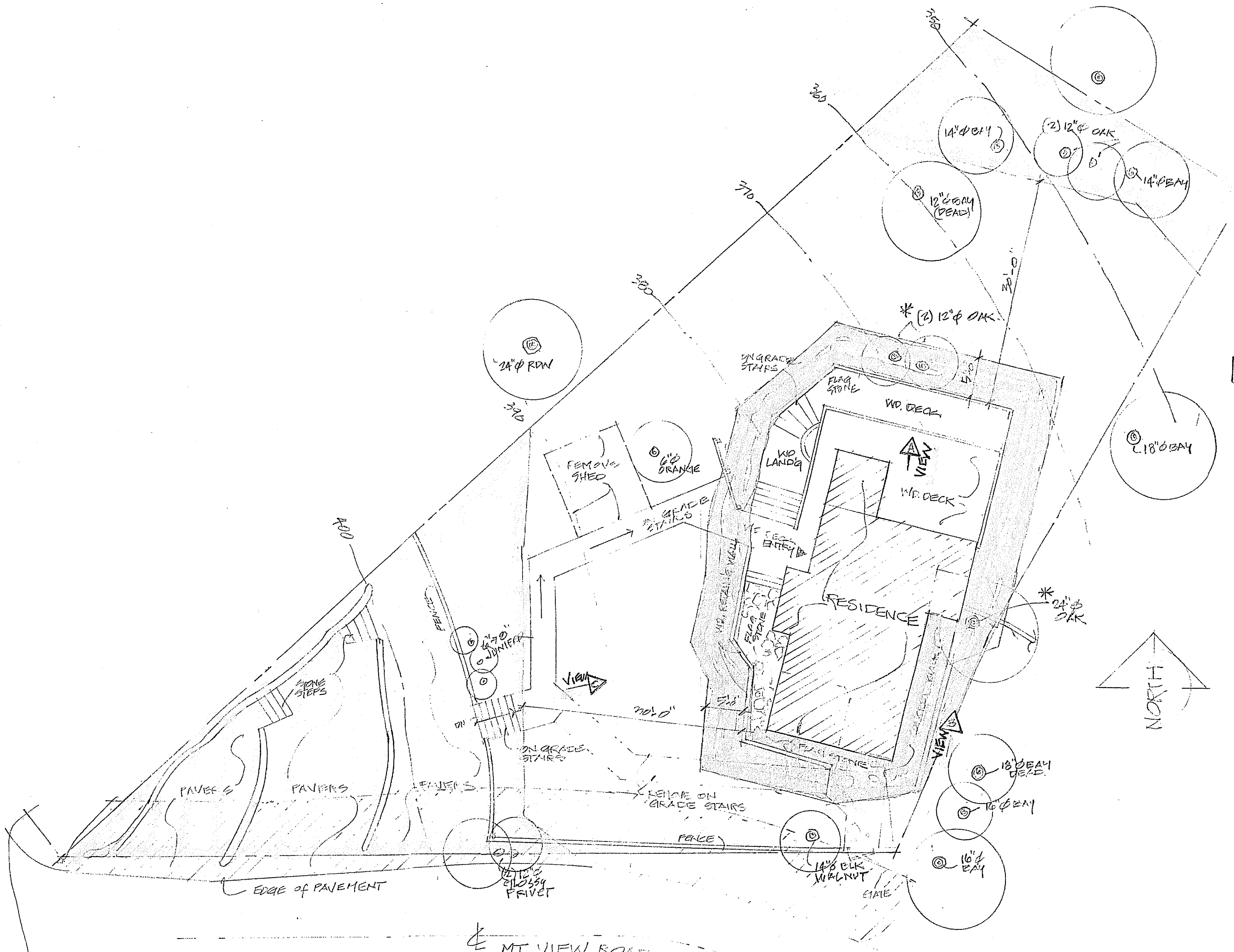
Signed: Jon Mitguard Aurora Building Performance *Jon Mitguard* Date: 12/29/202

Construction Waste Reduction, Disposal and Recycling		
4.408.1 Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan, per Section 4.408.2; or 3. A waste management company, per Section 4.408.3; or 4. The waste stream reduction alternative, per Section 4.408.4.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Building Maintenance and Operation		
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.	<input type="checkbox"/>	<input type="checkbox"/>
4.410.2 Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.	<input type="checkbox"/>	<input type="checkbox"/>
ENVIRONMENTAL QUALITY		
Fireplaces		
4.503.1 Any installed gas fireplace shall be a direct-vent sealed combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.	<input type="checkbox"/>	<input type="checkbox"/>
Pollutant Control		
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction. I	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits. I	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.3 Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Addition & Renovation to the Lerrigo Residence.
64 Mt. View Rd., Fairfax, California, 94930
A.P.#002-011-31, Zone RS-6

TITLE CALGREEN
PRINTING: DATE PURPOSE 2/15/23 D.R.
SCALE: 1
DRAWN: JMN
JOB #:
SHEET No.

8



The Vegetation Management Plan submitted for review by the Ross Valley Fire Department has been approved.

There shall be zero vegetation within 0-5 feet of structures or under decks and awnings. 2-12" diameter oak trees to remain, but branches shall be cut back to maintain 6' clearance of the roof and decks and 10' clearance from chimney if applicable. Please do not remove any tree that requires a permit from the town without first securing such permit.

Please note that all vegetation within the 30 foot zones shall be irrigated. Seasonal grasses within the 30 foot zones are not permitted unless regularly irrigated. If not kept as green grass the area shall be covered in a weed barrier which should be covered in a layer of mulch.

Every effort shall be taken to ensure erosion control efforts are in compliance with standards established by Town regulations.

The approved plan is to last the life of the property. Any changes to the plan now or in the future will require Fire Department review. It is recommended that if the applicant has plans to landscape in the future that those plans be intermingled into this plan.

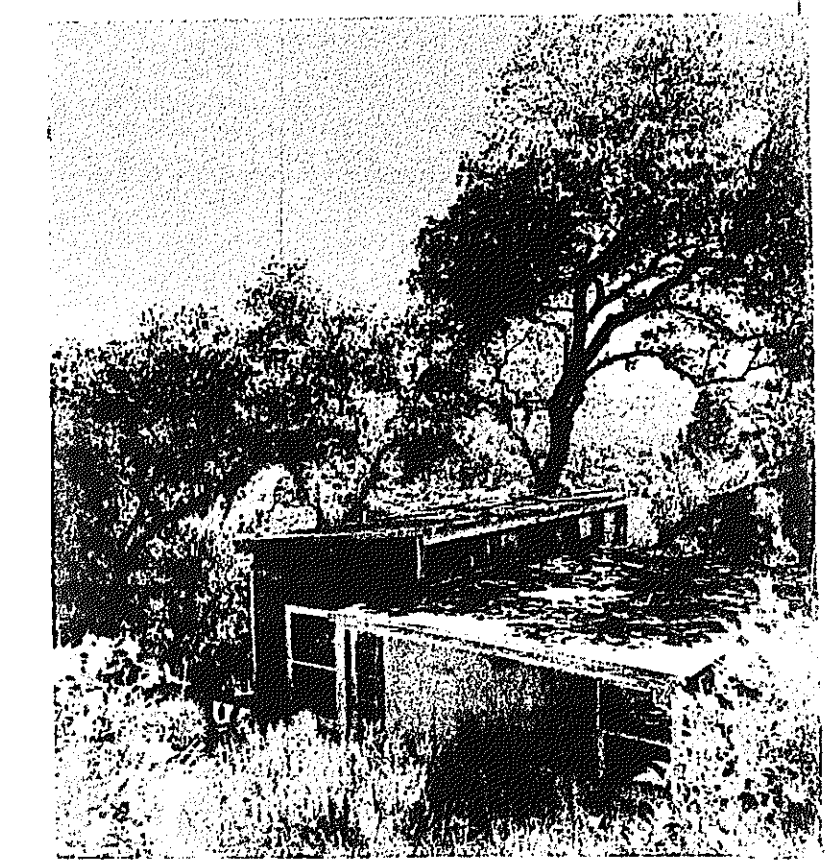
Vegetation shall be maintained to ensure address numbers are visible from both angles of approach.

Minimum standards shall be in place prior to final fire clearance.

If you have any questions about any of the items listed above, please call me. I am available to meet with you on site to help you develop a plan. Please contact me to schedule (415) 258-4673 if you desire my assistance.

Sincerely,

 Derrick Shaw
 Fire Inspector



VIEW CORRIDOR

ROSS VALLEY FIRE DEPT
 Approved _____
 Approved with Conditions
 Not Approved - need revision _____
 Incomplete _____
 Date: 8/12/22

ROSS VALLEY FIRE DEPARTMENT
 Fire Protection Standard 220-A
 VEGETATION MANAGEMENT PLAN CONTENT
 Date: 01/01/2020
 Approved by: Jason Weber, Fire Chief

The following information is provided to assist you in the evaluation of the vegetation on your property, and creating a vegetation management plan and narrative for plan submission. Please note all properties are different and may require additional details or explanation. Please consult with your Fire Department to identify specific detail requirements for your property/project. See Standard 220 for requirements, intent, and definitions and Standard 220-B for an example VMP graphic plan.

REQUIREMENTS AND PRESCRIPTIONS PER ZONE
 The following information will help identify prescriptive measures in each of the Home Ignition Zones. The VMP shall identify compliance with the requirements for each zone. Check with your local fire department or district for any additional defensible space or weed abatement requirements. FIREsafe MARIN and the NFPA Firewise USA Program are great resources for additional design information.

Immediate Zone (ZONE 0): 0'-5'
 The Immediate Zone extends 0-5' from your house. ZONE 0 is the area closest to your house, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This zone is most vulnerable, and should be most aggressively maintained for fire resistance.

- Remove any combustible outdoor furniture.
- Replace jute or fiber door mats with fire resistant materials.
- Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories.
- Clean all fallen leaves and needles regularly. Repeat often during fire season.
- No vegetation is recommended within 5' of structures.
- Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 5' of structures.
- Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs. Move stored combustibles inside, or at least 30' away from structures.
- Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

Intermediate Zone (ZONE 1): 5'-30'
 The Intermediate Zone from 5' to 30' out from buildings, structures, decks, etc. Keep ZONE 1 "Lean, Clean, and Green" and employ careful landscaping to create breaks that can help influence and decrease fire behavior.

- Remove all dead plants, grass, and weeds (vegetation).
- Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
- Trim trees regularly to keep branches a minimum of 10 feet from other trees.

ROSS VALLEY FIRE DEPARTMENT
 Fire Protection Standard 220-A
 VEGETATION MANAGEMENT PLAN CONTENT
 Date: 01/01/2020
 Approved by: Jason Weber, Fire Chief

- Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
- Remove vegetation and items that could catch fire from around and under decks.
- Remove fire-prone plants, and choose only fire-resistant varieties. Irrigate regularly.
- Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder".
- Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

Extended Zone (ZONE 2): 30'-100'
 The Extended Zone from 30' to 100' (or more, if required due to steep slopes, nearby vegetation conditions, and/or your local fire department). The zone is not to eliminate fire but to interrupt fire's path and keep flames smaller and on the ground. This zone should include at a minimum:

- Cut or mow annual grass down to a maximum height of 4 inches.
- Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs and trees.
- Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches if erosion control is an issue.

Access Zone (ZONE 3): 0'-10'
 Extends 10 feet horizontally from the edges on either side of the road or driveway.

- Within this zone, plantings shall be fire resistant and shall not extend within the 14 foot vertical.
- Clearance above the surface of the roadway or driveway, as required for emergency access.
- All landscape shall meet the requirements for separation as stated in the Zone 2 above

ROSS VALLEY FIRE DEPARTMENT
 Fire Protection Standard 220-A
 VEGETATION MANAGEMENT PLAN CONTENT
 Date: 01/01/2020
 Approved by: Jason Weber, Fire Chief

VEGETATION MANAGEMENT PLAN: PLANT LIST
 FIREsafe Marin maintains a list of approved fire resistant plants at <https://www.fire-safe.com/resources/vegetation>. Other plant species not listed or named shall require approval by the Fire Code Official. All VMP's shall include a legend list of all plants that are existing, that will be added, or will be removed as part of the VMP process.

Symbol	Common Name	Latin Name	Qty	Fire Resistant	Type	(New or Existing)	Remarks
①	Manzanita	Echinospartum	2	Yes	Shrub	New	Approved
②	Manzanita	Echinospartum	1	No	Shrub	Existing	Remove
③	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
④	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑤	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑥	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑦	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑧	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑨	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑩	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑪	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑫	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑬	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑭	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑮	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑯	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑰	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑱	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑲	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved
⑳	Manzanita	Echinospartum	1	Yes	Shrub	New	Approved

VEGETATION MANAGEMENT PLAN NARRATIVE
 The following "example" narrative language is provided to illustrate typical language and details that shall be included in your plan. Please note all properties are different and may require additional details or explanation.

- Existing Conditions
 - There are currently mature coast live oaks, redwood trees, eucalyptus trees and a few other miscellaneous native shrub species located throughout the property.
- Proposed Scope
 - The intent of this plan is to properly maintain the mature live oak and redwood trees with selective pruning and removal of all dead material per firewise standards. The eucalyptus trees will be removed. Fire prone species including

ROSS VALLEY FIRE DEPARTMENT
 Fire Protection Standard 220-A
 VEGETATION MANAGEMENT PLAN CONTENT
 Date: 01/01/2020
 Approved by: Jason Weber, Fire Chief

scotch broom and juniper will be removed. The existing shrubs will be thinned or removed to provide a fire break from 0-30' from the home.

- Future Planting
 - Any future plantings throughout the site will include fire-resistant, irrigated shrubs, perennials, and ground covers as in the FIREsafe Marin planting lists located at www.fire-safe.com/resources/vegetation.
- Long Term Maintenance Schedule and Safety Practices
 - All fire prone fuels and dead material will be removed within 100' of the home.
 - Remove branches beneath large trees for a 6-foot minimum clearance.
 - Needles and leaves and other combustible debris and litter shall be removed from roofs and gutters at minimum twice yearly.
 - All weeds and grasses shall be cut regularly to a height of 4" or less.
 - Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be thinned as not to overhang roadways and provide 14' of clearance vertically.
 - All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
 - Coordinate with adjacent property owners to maintain tree canopies, vegetation and ladder fuels on an annual basis.
 - No native grasses shall be planted within Home Ignition zones 1 and 2.
 - All planted areas inside Home Ignition zones 1 and 2 shall be irrigated.
 - All plantings shall be selected in coordination with the FIREsafe Marin planting list located at www.fire-safe.com/resources/vegetation. Other fire resistant plants shall be utilized with prior approval of the Fire Code Official.
 - Regardless of plant selection, shrubs shall be spaced so that no continuity exists between adjacent fuels and tree canopies, such that a ground fire will not extend via the tree canopy.

Design Information Resources
FIREsafe Marin
 FIREsafe Marin (FSM) is Marin County's Fire Safe Council. FSM promotes public and private partnerships to enhance wildfire safety and build Firewise Communities. FSM is a nonprofit organization with the dual mission of reducing wildland fire hazards and improving fire-safety awareness in Marin County. FSM maintains a wealth of fire preparedness information including fire resistant plant listing, defensible space information, living with fire resources, emergency planning information, and home hardening tips.
<https://www.fire-safe.com/resources/vegetation>

ROSS VALLEY FIRE DEPARTMENT
 Fire Protection Standard 220-A
 VEGETATION MANAGEMENT PLAN CONTENT
 Date: 01/01/2020
 Approved by: Jason Weber, Fire Chief

National Fire Protection Agency (NFPA), Firewise USA
 NFPA's Firewise USA program teaches people how to adapt to living with wildfire and encourages neighbors to work together and take action now to prevent losses. Information includes details for homeowners to prepare their homes to withstand ember attacks and minimize the likelihood of flames or surface fire touching the home or any attachments.
<https://www.nfpa.org/firewise>

TITLE
 VEGETATION MANAGEMENT GRAPHIC PLAN

PRINTING:
 DATE: 2/15/23
 PURPOSE: DR

SCALE: 1/8" = 1'-0"

DRAWN: [Signature]

JOB #:

SHEET No.

① TREES TO BE REMOVED

* THIS SYMBOL INDICATES A TREE WE VERY MUCH WANT TO SAVE

○ TREES

X TREES TO BE REMOVED

→ PHOTO VIEW DIRECTION

○ FLAG STONE

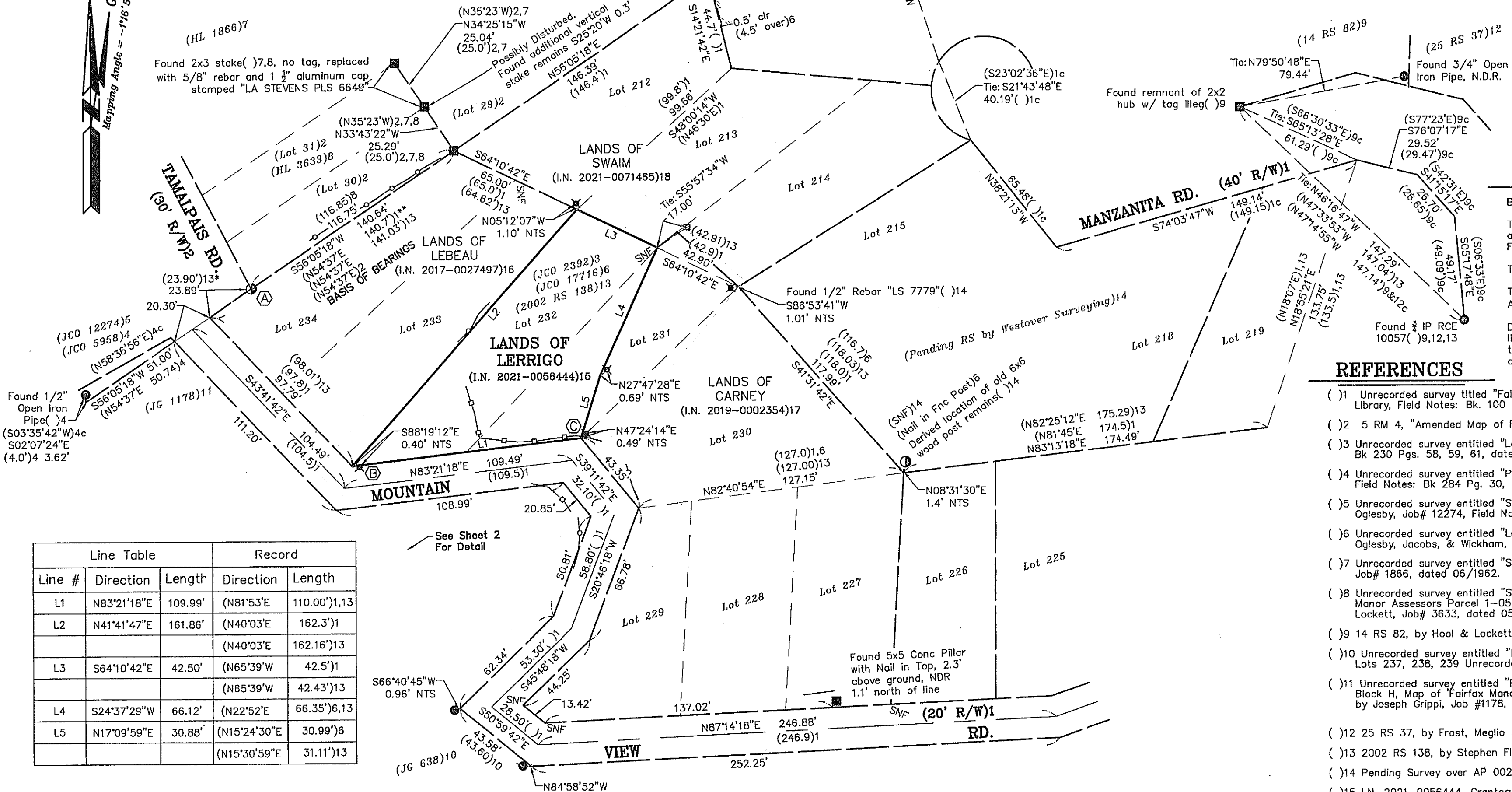
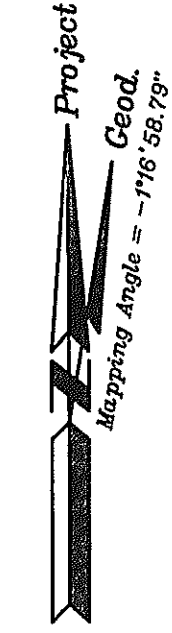
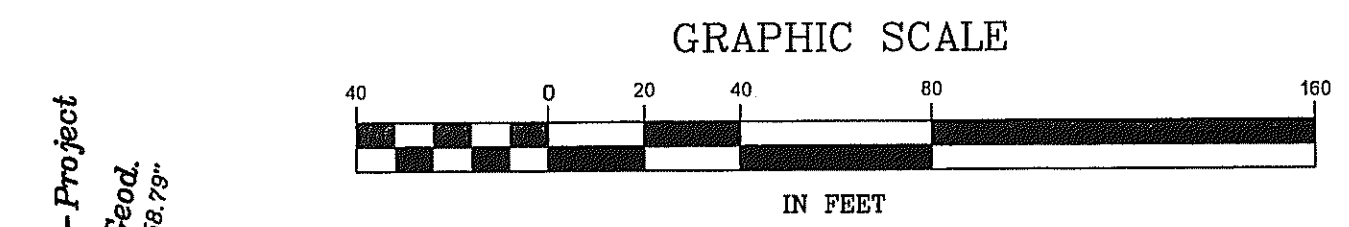
WORKING DRAWINGS BY:
 Dennis Ludlow
 5 Sierra Ave.
 San Anselmo, Calif 94960
 Office: (415) 482-8823
 deludlow@comcast.net

Addition & Renovation to the Lerrigo Residence.
 64 Mt. View Rd., Fairfax, California, 94930
 A.P.#002-011-31, Zone R5-6

9 of 9

All measured distances are in scaled feet and decimals thereof.
 Multiply measured distances by 1.00007665 to obtain ground distances.

All distances shown in () are record dimensions as stated in said reference document.



Line Table		Record		
Line #	Direction	Length	Direction	Length
L1	N83°21'18\"E	109.99'	(N81°53'E)	(110.00')1.13
L2	N41°41'47\"E	161.86'	(N40°03'E)	(162.3')1
L3	S64°10'42\"E	42.50'	(N40°03'E)	(42.5')1
L4	S24°37'29\"W	66.12'	(N65°39'W)	(66.35')6,13
L5	N17°09'59\"E	30.88'	(N15°24'30\"E)	(30.99')6
			(N15°30'59\"E)	(31.11')13

BASIS OF BEARINGS
 The Basis of Bearings of this survey is S56°05'18\"W between found 2x3 stake with Nail and Tag \"LS 2738\" () 8 and a derived nail and tag \"LS 2738\" () 8 using geometry () 13 as shown hereon, rotated clockwise 01°28'18\" from record bearing (S54°37'E).

SURVEYOR'S STATEMENT
 This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Professional Land Surveyors' Act at the request of Lydia Lerrigo in November, 2021.

Lawrence A. Stevens, PLS 6649

(A) Point \"A\" (the nail and tag LS 2738 in carport garage) 13 was derived by aligning the geometry along the right of way of Mountain View Road & Ptn of the NWly line of Lot 234 per 2002 RS 138 to the found 5/8\" rebar with LS 7744 near the most Wly corner of Lerrigo () 8 and to the 5/8\" rebar LS 7744 near the SE corner of lands of Lerrigo () 8.

COUNTY SURVEYOR'S STATEMENT
 This map has been examined in accordance with Section 8766 of the Professional Land Surveyors' Act this _____ day of _____, 202__.

Tracy W. Park, PLS 8176, County Surveyor
 By Deputy _____

RECORDER'S STATEMENT
 Filed this _____ day of _____, 20__ at _____ m. in Book 20__ of Maps, Page _____, at the request of the Marin County Department of Public Works.

Serial No. _____ Fee: _____
 County Recorder _____ Deputy Recorder _____
 AP 002-011-31

- LEGEND**
- Found 2x3 stake with nail & tag \"LS 2738\" () 7,8, replaced with 5/8\" rebar and aluminum cap stamped \"LA STEVENS PLS 6649\", U.N.O.
 - Found 3/4\" Iron Pipe & Plastic Plug, Stamped \"LS 3775\" () 10, U.N.O.
 - Found 5/8\" Rebar & Plastic Cap, Stamped \"PLS 7744\" () 13, U.N.O.
 - Found buried remains of 6\"x6\" wood post, N.D.R.
 - Derived location of nail and tag \"LS 2738\" () 8 using geometry () 13, U.N.O., See Note for Point \"A\" derivation. Monument was SNF.
 - Set 5/8\" Rebar & Punched Aluminum Cap, Stamped \"LA Stevens, PLS 6649\"
 - () #c Calculated per Record Map
 - NDR No Discovered Record
 - NTS Not to Scale
 - SNF Searched Area Nothing Found
 - UNO Unless Noted Otherwise
 - Wood Fence
 - Wire Fence
 - RM Major Subdivision Map - Filled in Book of Maps
 - RS Record of Survey filed in Official Surveys prior to 1998 & in Book of Maps in 1998 and thereafter

NOTE
 Boundary evidence collected between 12/17/21 & 03/04/22
 The archives of Hiram Austin, George Dodge, J.C. Oglesby, George Wickham, & C.H. Towle are available for review at the Anne T. Kent California Room, part of the Marin County Free Library.
 The archives of Hool & Lockett are available from D. L. Contreras - custodian.
 The Preliminary Report reviewed during the course of this survey was provided by North American Title Co., dated 08/04/2021, Order Number 91402-21-19301
 Dashed Lines are not to be considered the location of final boundary lines. Solid dashed lines are to be considered dimension lines to document the location of evidence found in the field. The only boundary lines established by this survey are shown as a thick continuous line for the parcels owned by Lerrigo.

- REFERENCES**
- () 1 Unrecorded survey titled \"Fairfax Park Map #2\", by Dodge, in Dodge-Austin Index at Anne T. Kent California Room Library, Field Notes: Bk. 100 Pg. 68-108, dated 10/21/1910.
 - () 2 5 RM 4, \"Amended Map of Fairfax Manor\", filed 04/08/1919
 - () 3 Unrecorded survey entitled \"Lots 212, 213, 227, 230, & 231 Fairfax Park\", by J.C. Oglesby, Job# 2392, Field Notes: Bk 230 Pgs. 58, 59, 61, dated 09/1934.
 - () 4 Unrecorded survey entitled \"Portion of Fairfax Manor Tr. Surveyed for R.P. Hawley\", by J.C. Oglesby, Job# 5958, Field Notes: Bk 234 Pg. 30, dated 03/1944.
 - () 5 Unrecorded survey entitled \"Survey of Portion Lot 29 Block H Fairfax Manor\" for Mrs. Murray Powell, by J.C. Oglesby, Job# 12274, Field Notes: Bk 610 Pg. 22, dated 04/1952.
 - () 6 Unrecorded survey entitled \"Lots 227, 228, 229, 230, & Portion 214-231 Map No. 2 Fairfax Park Tract\", by Oglesby, Jacobs, & Wickham, Job# 17716, Field Notes: Bk 935 Pg. 21-22, dated 09/1961.
 - () 7 Unrecorded survey entitled \"Survey of Lots 34 & 35 - Block A, Am. Map of Fairfax Manor\", by Hool & Lockett, Job# 1866, dated 06/1962.
 - () 8 Unrecorded survey entitled \"Survey of Southeast Line of Lots 30, 31, 32, & 33 - Block A, Amended Map of Fairfax Manor Assessors Parcel 1-054-01 and Topography of Tamalpais Road and Mountain View Avenue\", by Hool & Lockett, Job# 3633, dated 05/1975.
 - () 9 14 RS 82, by Hool & Lockett, filed 04/11/1978
 - () 10 Unrecorded survey entitled \"Map of Survey Lands Described in Book _____ Official Records Page _____ Being Portion Lots 237, 238, 239 Unrecorded Map of Fairfax Park Tract\", by Joseph Grippi, Job # 638, dated 06/1978.
 - () 11 Unrecorded survey entitled \"Plot of Survey Lands of Richardson As Described in Deed No. 82-012015 Being Lot 29, Block H, Map of Fairfax Manor S-Maps-4 and Being a Portion Lot 235 Unrecorded Map No. 2 Fairfax Park Tract\", by Joseph Grippi, Job #1178, dated 11/1982.
 - () 12 25 RS 37, by Frost, Meglio & Associates, filed 01/13/1989.
 - () 13 2002 RS 138, by Stephen Flatland, filed 07/30/2002
 - () 14 Pending Survey over AP 002-011-50 by Westover Surveying
 - () 15 I.N. 2021-0056444, Grantor: BPL Holdings, Grantee: Lydia C. Lerrigo, recorded 9/9/2021
 - () 16 I.N. 2017-0027497, Grantor: Lebeau, Grantee: Lebeau, recorded 7/11/2017
 - () 17 I.N. 2019-0002354, Grantor: Carney (upon death), Grantee: Donald Carney and Meghan Carney, rec. 1/25/2019
 - () 18 I.N. 2021-0071465, Grantor: Peariman, Grantee: Swaim, recorded 12/03/2021

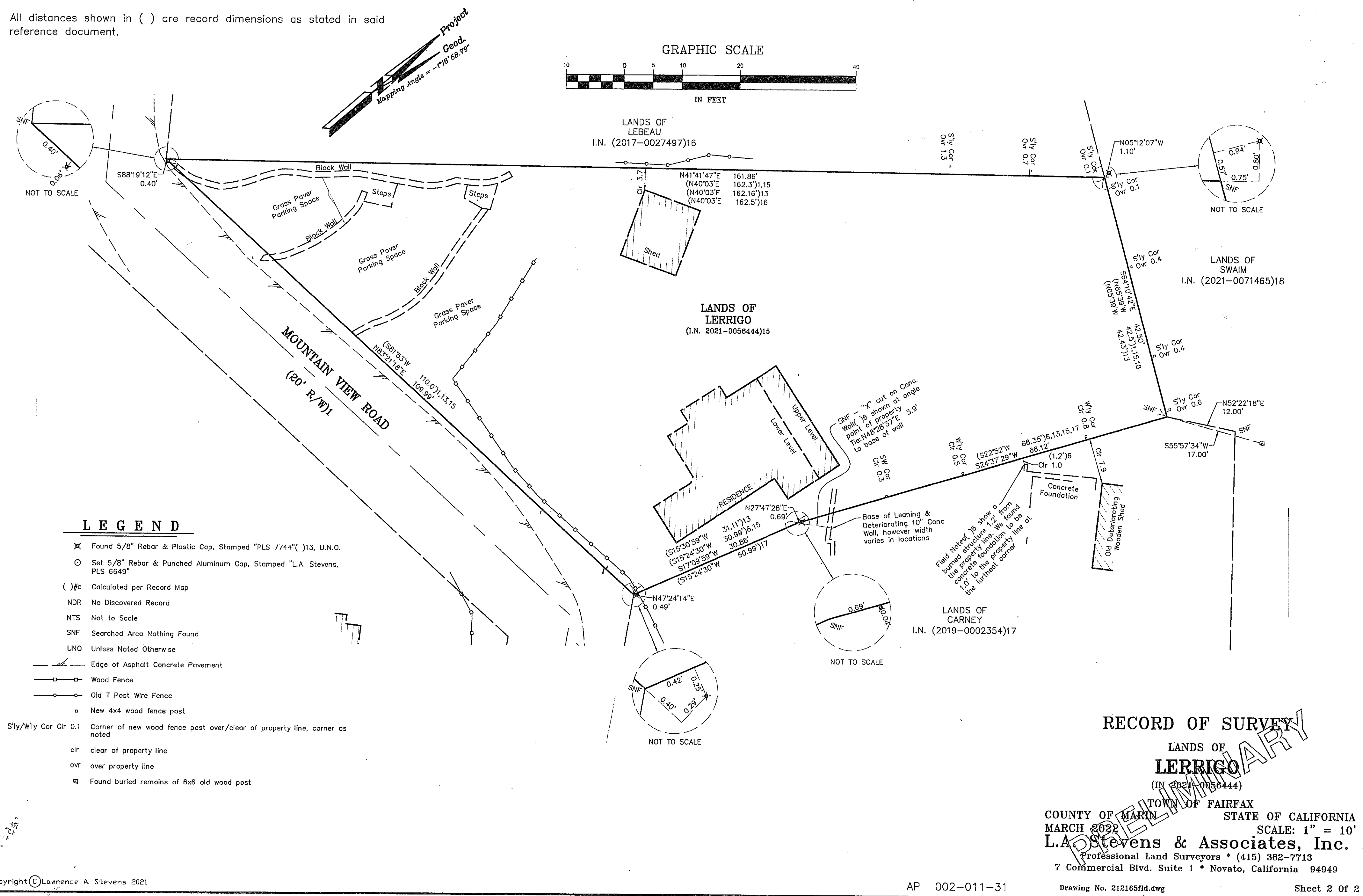
RECORD OF SURVEY
 LANDS OF LERRIGO
 (IN 2021-0056444)
 COUNTY OF MARIN STATE OF CALIFORNIA
 MARCH 2022 SCALE: 1\" = 40'
 L.A. Stevens & Associates, Inc.
 Professional Land Surveyors * (415) 382-7713
 7 Commercial Blvd. Suite 1 • Novato, California 94949
 Drawing No. 212165fld.dwg Sheet 1 of 2

Addition & Renovation to the Lerrigo Residence.
 64 Mt. View Rd., Fairfax, California, 94930
 A.P.#002-011-31, Zone RS-6

TITLE	SURVEY
PRINTING:	
DATE	PURPOSE
2/15/23	D.R.
SCALE:	SHOWN
DRAWN:	
JOB #:	
SHEET No.	51
	of 2

All measured distances are in scaled feet and decimals thereof.
 Multiply measured distances by 1.00007665 to obtain ground distances.

All distances shown in () are record dimensions as stated in said reference document.



LEGEND

- ✱ Found 5/8" Rebar & Plastic Cap, Stamped "PLS 7744" () 13, U.N.O.
- Set 5/8" Rebar & Punched Aluminum Cap, Stamped "L.A. Stevens, PLS 6649"
- ()# Calculated per Record Map
- NDR No Discovered Record
- NTS Not to Scale
- SNF Searched Area Nothing Found
- UNO Unless Noted Otherwise
- Edge of Asphalt Concrete Pavement
- Wood Fence
- Old T Post Wire Fence
- New 4x4 wood fence post
- S'ly/Wly Cor Clr 0.1 Corner of new wood fence post over/clear of property line, corner as noted
- clr clear of property line
- ovr over property line
- Found buried remains of 6x6 old wood post

Copyright © Lawrence A. Stevens 2021

RECORD OF SURVEY

LANDS OF
LERRIGO
 (I.N. 2021-0050444)
 COUNTY OF MARIN TOWN OF FAIRFAX STATE OF CALIFORNIA
 MARCH 2022 SCALE: 1" = 10'
L.A. Stevens & Associates, Inc.
 Professional Land Surveyors • (415) 382-7713
 7 Commercial Blvd. Suite 1 • Novato, California 94949

AP 002-011-31

Drawing No. 212185fld.dwg

Sheet 2 of 2

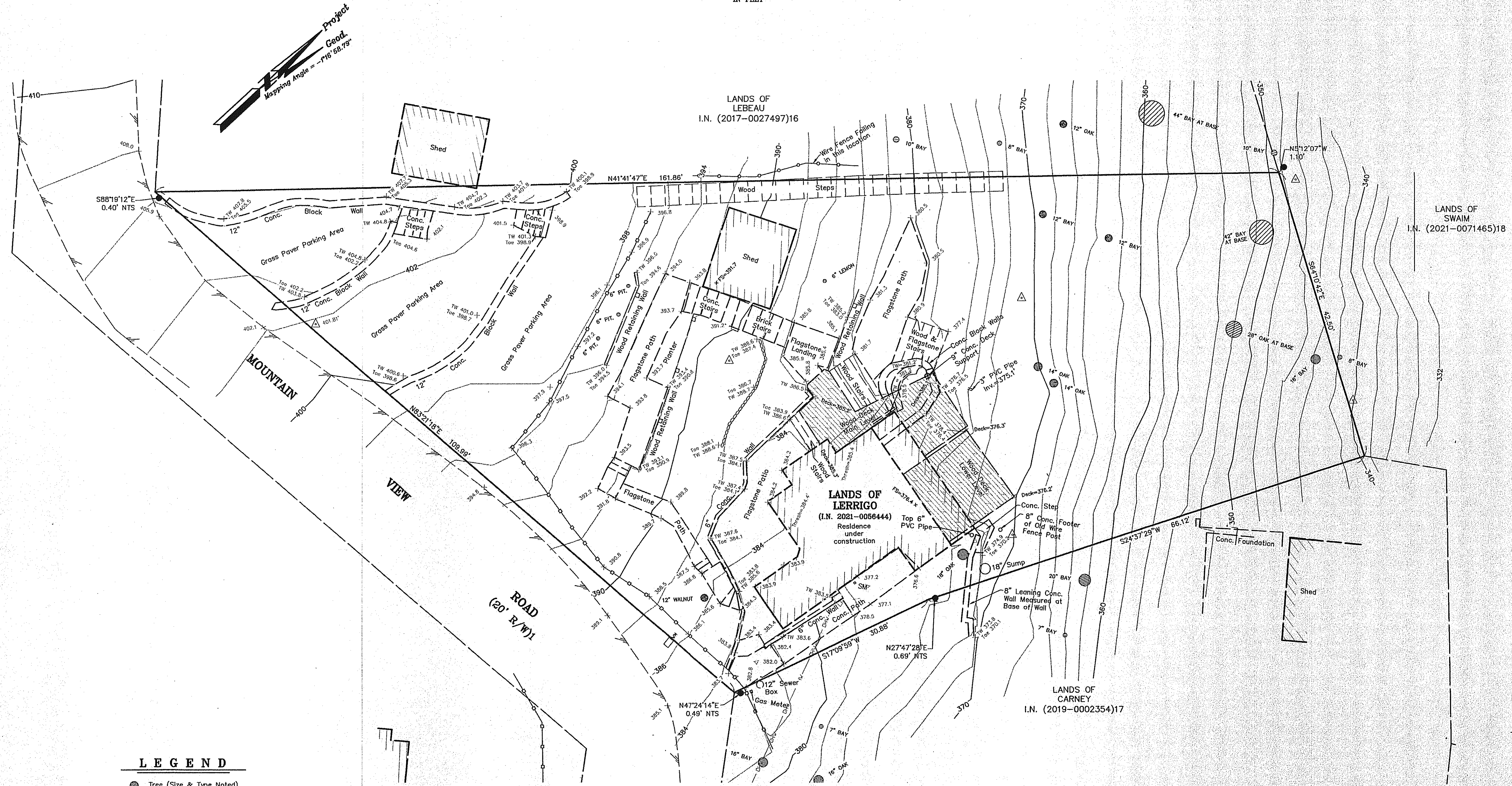
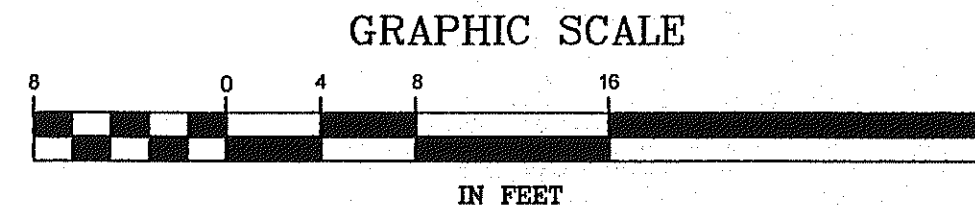
CHECK PRINT - LAST EDIT - 03/10/2022 - SURVEYOR'S COPY
 TO BE REMOVED WHEN READY FOR MYLAR

Addition & Renovation to the Lerrigo Residence.
 64 Mt. View Rd, Fairfax, California, 94930
 A.P.#002-011-31, Zone RS-6

TITLE:	SURVEY
PRINTING:	
DATE	PURPOSE
2/15/23	O.R.
SCALE:	SHOWN
DRAWN:	
JOB #:	
SHEET No.	
52	
of 2	

All measured distances are in scaled feet and decimals thereof.
 Multiply measured distances by 1.00007665 to obtain ground distances.

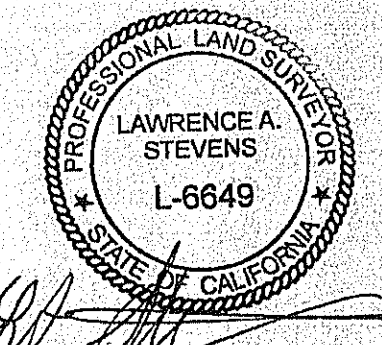
All distances shown in () are record dimensions as stated in said
 reference document.



LEGEND

- Tree (Size & Type Noted)
- Found 5/8" Rebar & Plastic Cap, Stamped "PLS 7744" (13) U.N.O.
- Spot Elevation
- FS = 101.4 Finish Surface Elevation
- WM Water Meter
- Joint Pole
- △ Random Survey Control Point
- Rock Wall
- Concrete Surface
- Wood Fence
- Metal Fence
- Edge of Asphalt Concrete Pavement
- Fire Hydrant
- Sanitary Sewer Manhole
- AC Asphalt Concrete
- CONC Concrete
- OHW Overhead Wire
- SS Sanitary Sewer
- SM Smart Meter
- TBM Temporary Benchmark
- TW Top Back of Wall
- U.N.O. Unless Noted Otherwise
- WV Water Valve
- PIT. Pittoisporum
- NTS Not to Scale

- SURVEYOR'S NOTES:**
- Contour Interval: 2 Feet
 - Vertical Datum: North American Vertical Datum of 1988 (NAVD88)
 - Benchmark: Elevation established by GPS relative positioning from National Geodetic Survey (NGS) Continuously Operating Reference Stations (CORS). Stations used were: P181, TIBB, & P224.
 - Individual steps not accurately located.
 - Boundary lines shown herein are based on a boundary retracement survey by L.A. Stevens & Associates, Inc. from 12/17/21 & 03/04/22. A Record of Survey has been filed on July 8, 2022 at the County of Marin Recorder's Office in Book 2022 of Maps at Page 125.
 - The fieldwork for this topographic map was conducted by L.A. Stevens & Associates, Inc. on 10/24/2022. The topographic elements shown herein reflect the site conditions existing at that time.
 - Dashed Lines are not to be considered the location of final boundary lines. Solid dashed lines are to be considered dimension lines to document the location of evidence found in the field. The only boundary lines established by this survey are shown as a thick continuous line for the parcels owned by Lands of Lerrigo.
 - Assessor's Parcel: 002-011-31
 - The Title Insurance Policy reviewed during the course of this survey was provided by North American Title Co., dated 08/04/2021, Policy Number 91402-21-19301 Only documents within said Policy were reviewed for this work.
 - Subsurface and environmental conditions were not surveyed or examined or considered as part of this survey. No statement is made concerning the existence of underground or overhead conditions, containers, or facilities that may affect the use or development of this property.
 - Only bond copies, with an original stamp and signature in red, may be considered to represent the work of L.A. Stevens & Associates, Inc. - Professional Land Surveyors. Any data relied upon from another format shall be checked to a bond copy mentioned above.
 - This map was prepared for the exclusive use of Lands of Lerrigo and/or their legal representatives for the design and construction of Improvements. Use or reliance on this map by any other party is forbidden without expressed written permission by Lawrence A. Stevens whose seal and signature are shown herein.
 - This document shall be considered a "Preliminary Check Print" without a wet signature in red ink and wet stamp of the licensee responsible for the work.



No.	REVISION:	BY:	DATE:
L.A. Stevens & Associates, Inc. Professional Land Surveyors * (415) 382-7713 7 Commercial Blvd., Suite 1 * Novato, California 94949			
LERRIGO RESIDENCE 64 MOUNTAIN VIEW RD. FAIRFAX, CALIFORNIA			BY: T.B./L.A.S. DATE: 11-18-2022 SCALE: 1/8" = 1'-0" DRAWING NO. 212165
TOPOGRAPHIC SURVEY			

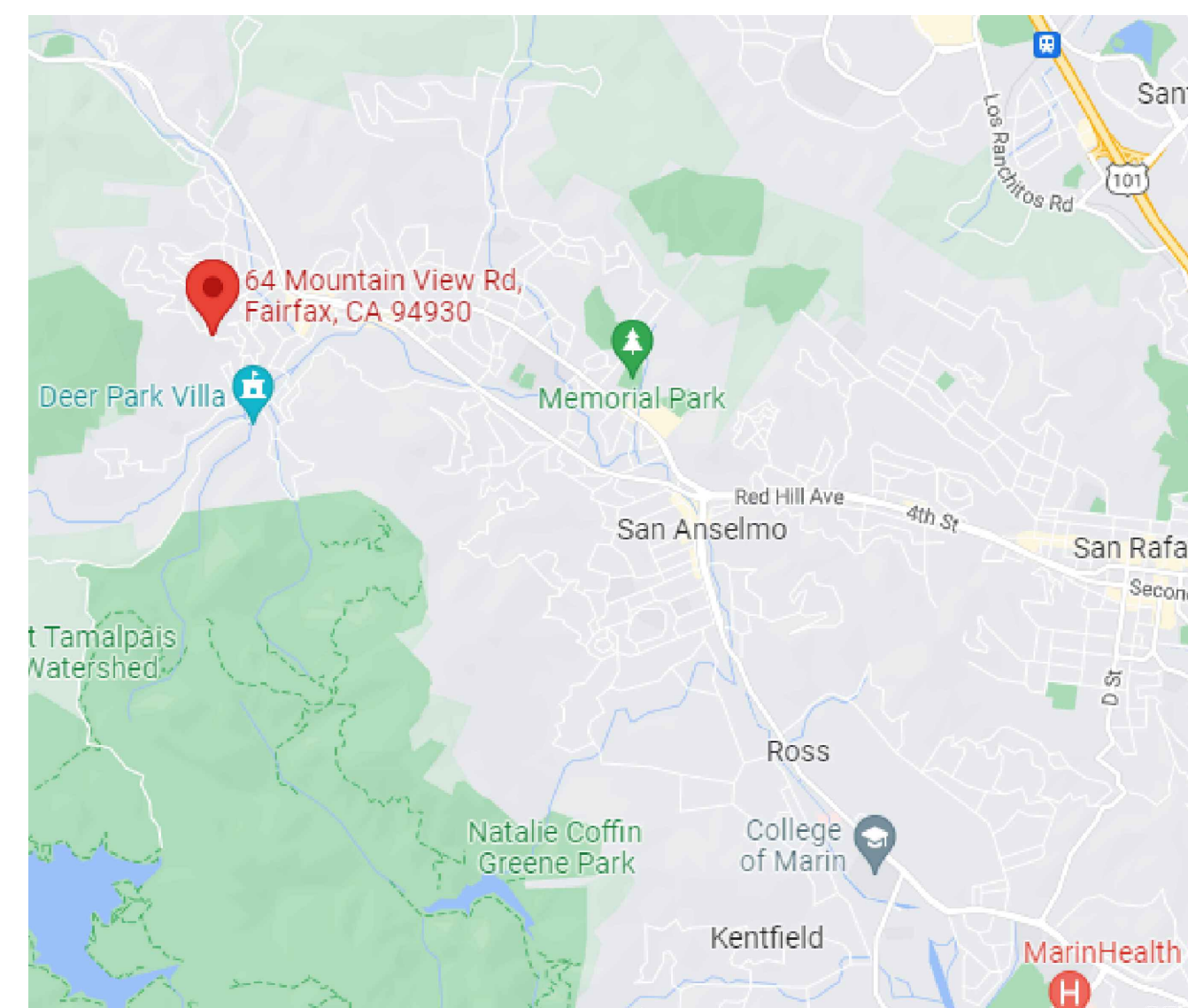
53

CIVIL DESIGN

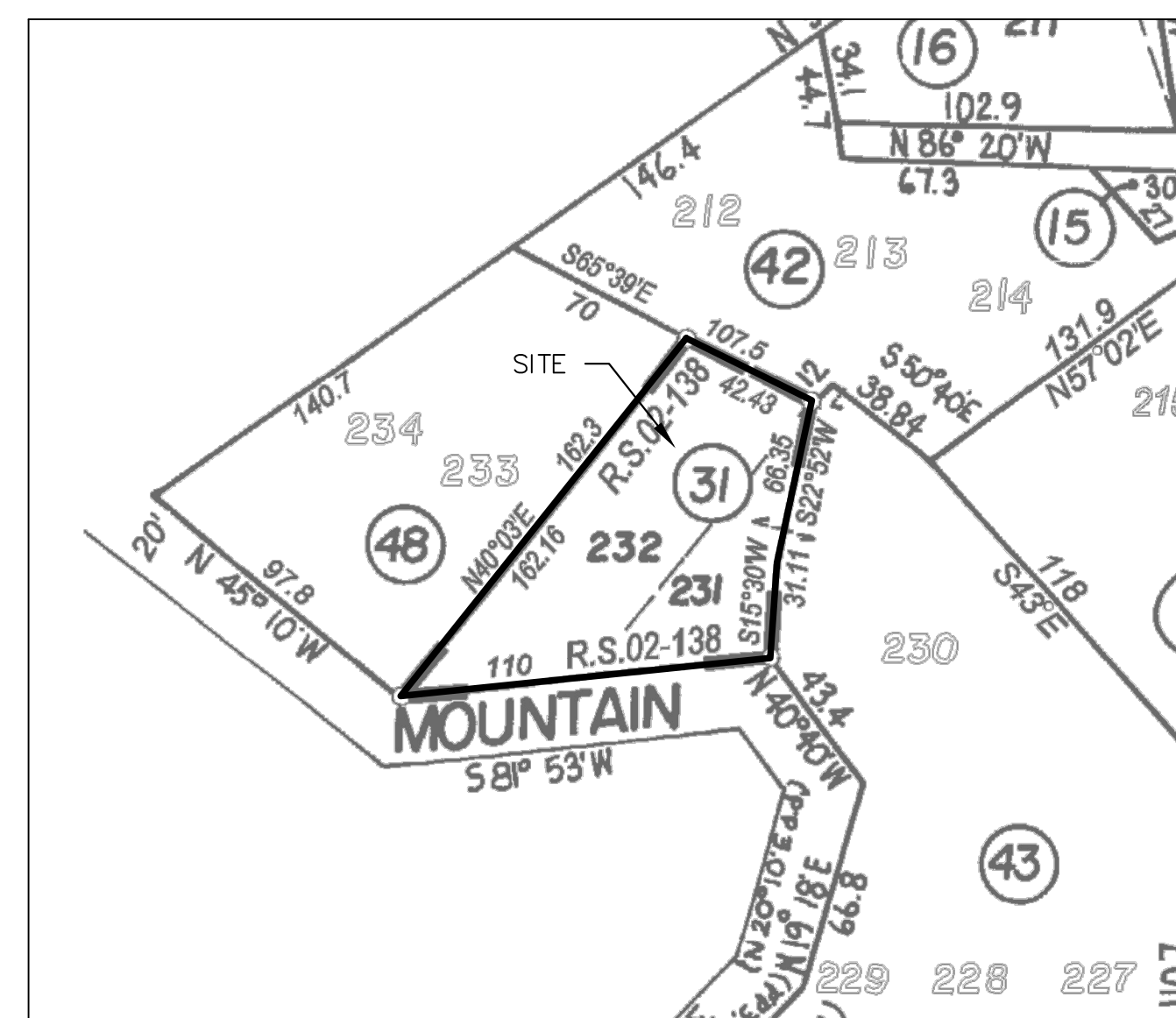
64 MOUNTAIN VIEW RD, FAIRFAX, CA 94930



1 SITE OVERVIEW MAP
SCALE: 1"=10'



PARCEL LOCATION
SCALE: NA



VICINITY MAP
SCALE: NA

SHEET INDEX	
C-0	COVER SHEET
C-1.1	PROJECT NOTES
C-2	GRADING & STORM WATER DRAIN PLAN
C-3	EROSION & SEDIMENTATION CONTROL PLAN
C-4	CONSTRUCTION BEST MANAGEMENT PRACTICES

DEVELOPER / APPLICANT		
1	2/17/23	JRD
REV.	DATE	BY

SITE INFO		
64 Mountain View Rd, Fairfax, CA 94930		
002-011-31		
6000 SQ/FT		

SCOPE OF WORK		
0	12/29/22	INITIAL RELEASE
REV.	DATE	DESC.

REFERENCES		
THIS PLAN IS SUPPLEMENTAL TO:		
ARCH. PLANS : "ADDITION & RENOVATION TO THE LERRIGO RESIDENCE", BY: DENNIS LUDLOW, DATED: 6/3/22,		
TOPOGRAPHY & BOUNDARY : "RECORD OF SURVEY", BY: L.A. STEVENS & ASSOCIATES, INC. DATED: MARCH OF 2022		
SOILS REPORT: "GEOTECHNICAL INVESTIGATION" BY: HERZOG GEOTECHNICAL CONSULTING ENGINEERS, DATED: MAY 25TH, 2022		

BENCHMARK		
X		

BASIS OF BEARINGS		
THE BASIS OF BEARING OF THIS SURVEY IS S56°05'18"W BETWEEN FOUND 2X3 STAKE WITH NAIL AND TAG "LS 2738"(1)B AND A DERIVED NAIL AND TAG "LS 2738"(1)B USING GEOMETRY (1)13 AS SHOWN HEREON, ROTATED CLOCKWISE 01°28'18" FROM RECORD BEARING (S54°37'E).		

ESTIMATED EARTHWORK QUANTITIES		
	CUBIC YARDAGE	TOTAL
CUT	15.38	15.38
FILL	1.6	1.6
EXPORT	13.78	13.78

IMPERVIOUS SURFACE DATA		
EXISTING	755	
PROPOSED	830	

PARKING STALL DATA		
EXISTING	3	
PROPOSED	0 (3 TOTAL)	

GRADING QUANTITIES REPRESENT BANK YARDAGE. IT DOES NOT INCLUDE ANY SWELLING OR SHRINKAGE FACTORS AND IS INTENDED TO REPRESENT IN-SITU CONDITIONS. QUANTITIES DO NOT INCLUDE OVER-EXCAVATION, TRENCHING, STRUCTURAL FOUNDATIONS OR PIERS, OR POOL EXCAVATION (IF ANY). NOTE ADDITIONAL EARTHWORKS, SUCH AS KEYWAYS OR BENCHING, MAY BE REQUIRED BY THE GEOTECHNICAL ENGINEER IN THE FIELD AT TIME OF CONSTRUCTION. CONTRACTOR TO VERIFY QUANTITIES.

NOT IN SCOPE NEIGHBORS STORAGE BUILDING

GRAPHIC SCALE
10 0 5 10 20 40
(IN FEET)
1 INCH = 10 FEET

NOTE: THESE NOTES ARE INTENDED TO BE USED AS A GENERAL GUIDELINE FOR THE VERIFICATION OF THE LOCATIONS OF ALL EXISTING UTILITIES IN THE FIELD. ALL CONTRACTORS SHALL CALL U.S.A. AT (800-227-2800) 48 HOURS BEFORE DIGGING AND OBTAIN AN IDENTIFICATION NUMBER (SECTION 4210.1 OF THE GOVERNMENT CODE).

AGNEW CIVIL ENGINEERING
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COVER SHEET

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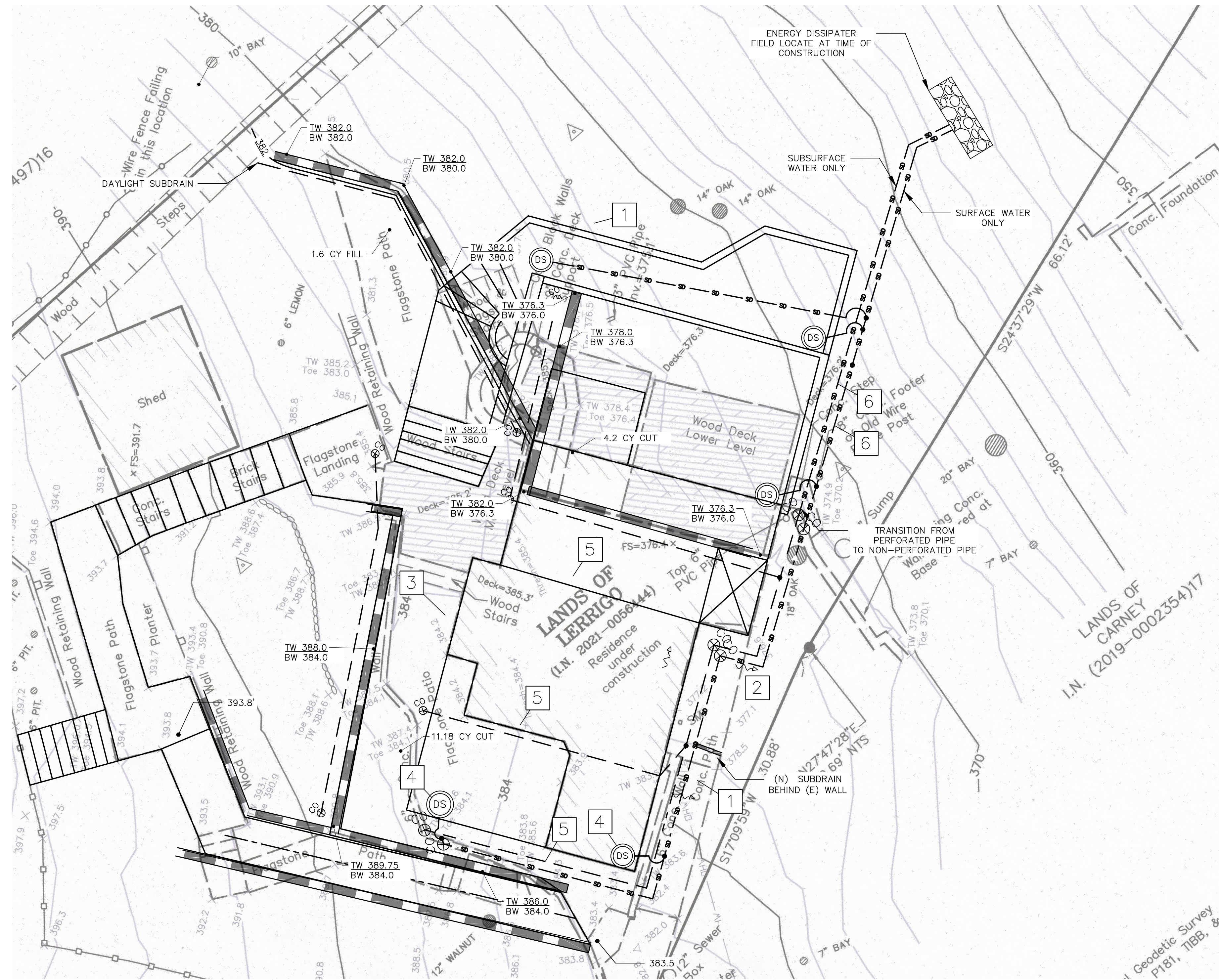
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1 GRADING & STORM WATER DRAINAGE PLAN
SCALE: 1"=5'

LEGEND

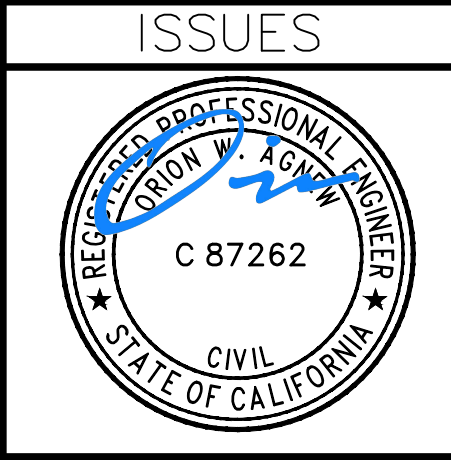
PROPOSED	DESCRIPTION
---	BOUNDARY
---	PROPERTY LINE
---	RETAINING WALL
---	LANDSCAPE RETAINING WALL
---	SUBDRAIN LINE
---	CENTER LINE
---	STORM DRAIN LINE (GENERAL)
▽	DIRECTION OF GUTTER FLOW
~	DIRECTION OF SURFACE FLOW
CB	CATCH BASIN
JB	JUNCTION BOX
AD	AREA DRAIN
TW 96.83 BW 91.00	SPOT ELEVATION
⊕	BENCHMARK
200	CONTOURS
✕	TREE TO BE REMOVED
⊗	CLEANOUT
DS	DOWNSPOUTS
4 C2.1	DETAIL NUMBER
	PAGE NUMBER

NOTES

- 1 FINISHED GRADES AT BUILDING PERIMETER SHALL BE SLOPED AT A MIN. OF 5% FOR THE FIRST 10 FT. AWAY FROM THE BUILDING AND THEN SHALL CONTINUE TO SLOPE TO TOWARDS POSITIVE OUTFALL.
- 2 MAINTAIN 8" CLEARANCE BETWEEN FINISH EARTHEN GRADE AND BOTTOM OF MUD SILL AT ALL TIMES, U.O.N. -TYP.
- 3 PROVIDE 1% - TYP. (0.4% MIN.) SLOPE ACROSS FLATWORK AND/OR PAVING AND SLOPE TO DAYLIGHT, REFER TO ARCHITECTS PLANS FOR PAVEMENT TYPE, LAYOUT, AND FINISH. -TYP.
- 4 CONNECT (N) ROOF DOWNSPOUT (DS) LEADERS TO 4" PVC (SDR-35) STORM DRAIN TIGHTLINE 1% - TYP.. (0.5% MIN.).
- 5 INSTALL NEW PERFORATED SUBDRAIN LINE BEHIND RETAINING WALL AND AROUND NEW HOUSE FOUNDATION. USE 4" PVC (SDR-35 OR BETTER) WITH HOLES FACING DOWN.
- 6 4" PVC (SDR-35) STORM DRAIN 1% - TYP. (0.5% MIN.).

1	2/17/23	JRD
REV.	DATE	BY

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REV.	DATE	DESC.

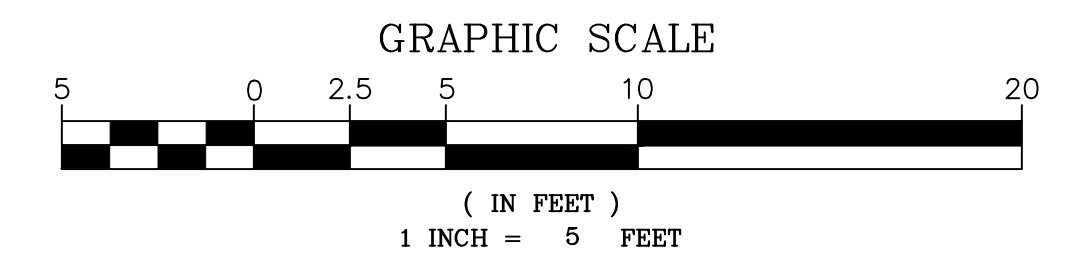


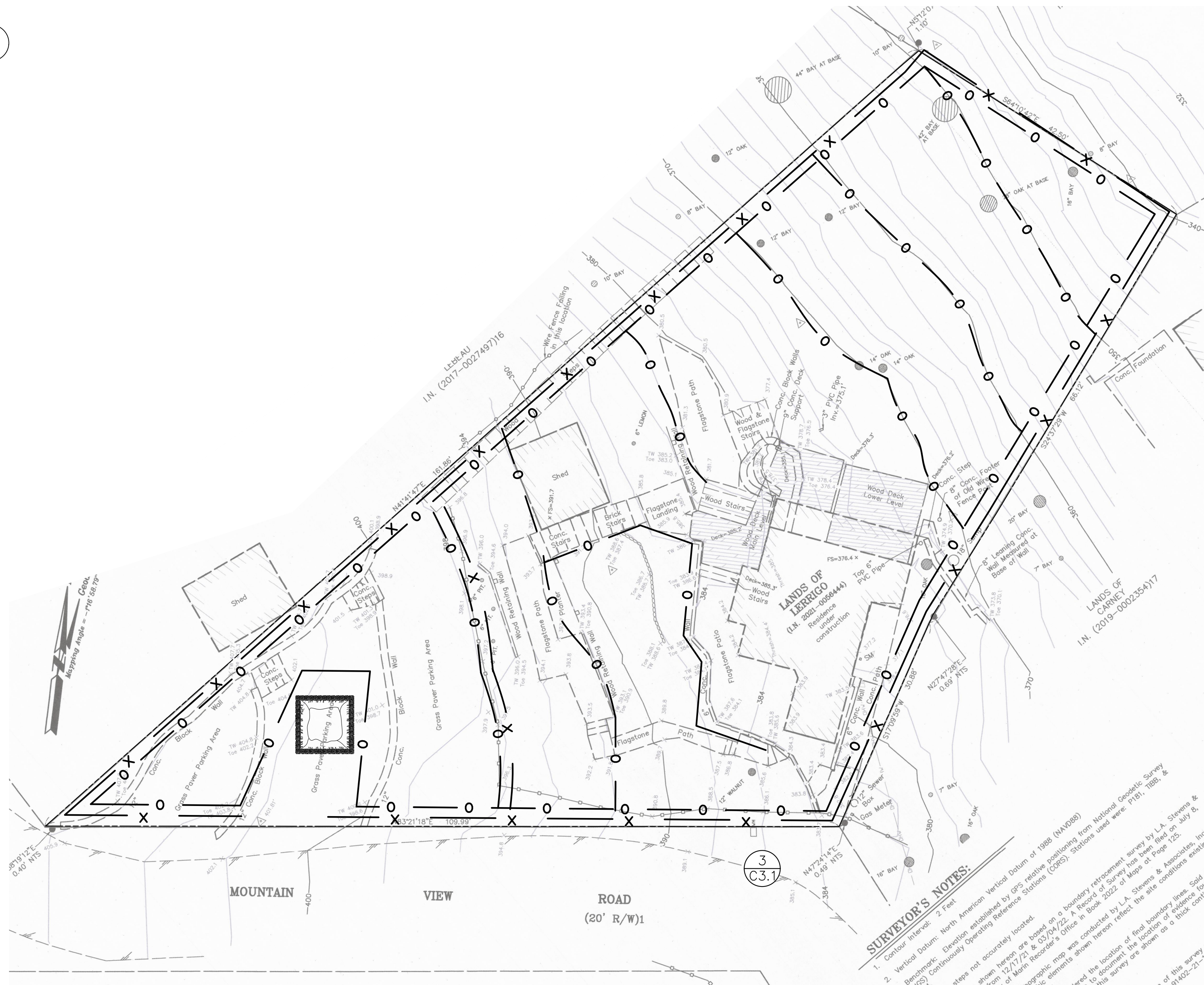
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GRADING AND STORM WATER
DRAINAGE PLAN
Lydia Lerrigo
64 Mountain View Rd, Fairfax, CA 94930
002-011-31

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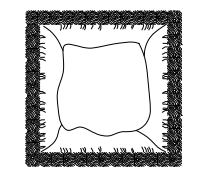
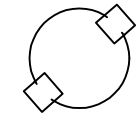


1 EROSION & SEDIMENTATION CONTROL PLAN
SCALE: 1"=10'

SURVEYOR'S NOTES:

1. Contour Interval: 2 feet
2. Vertical Datum: North American Vertical Datum of 1988 (NAVD88)
3. Elevation: Elevation established by GPS receiver downloading from National Geodetic Survey benchmark. Station established by GPS receiver downloading from National Geodetic Survey benchmark. Station established by GPS receiver downloading from National Geodetic Survey benchmark. Station established by GPS receiver downloading from National Geodetic Survey benchmark.

EROSION CONTROL LEGEND

-  STRAW ROLL (WATTLE)
-  SILT FENCE
-  CONCRETE WASHOUT
-  TREE PROTECTION

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EROSION & SEDIMENTATION
CONTROL PLAN

Lydia Lerrigo
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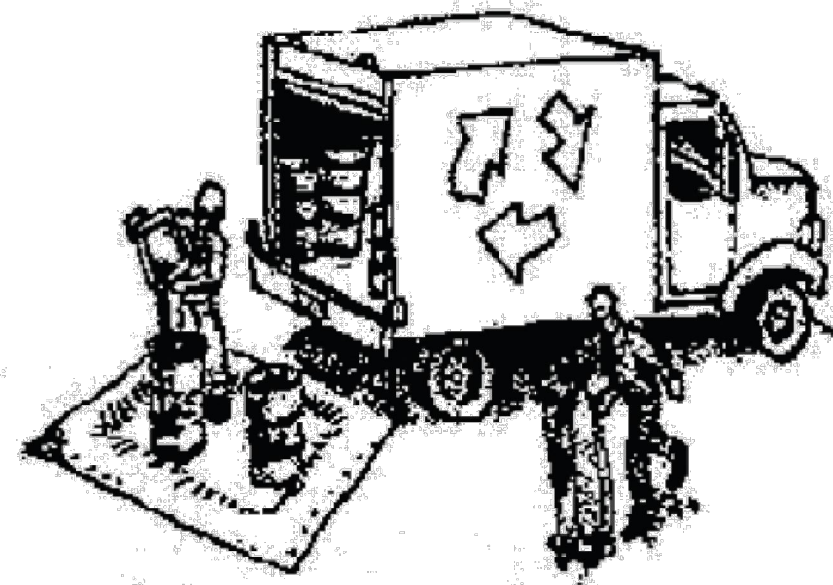
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Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



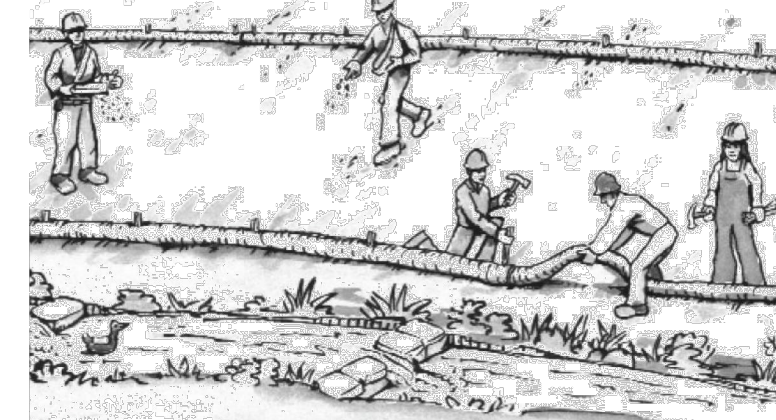
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

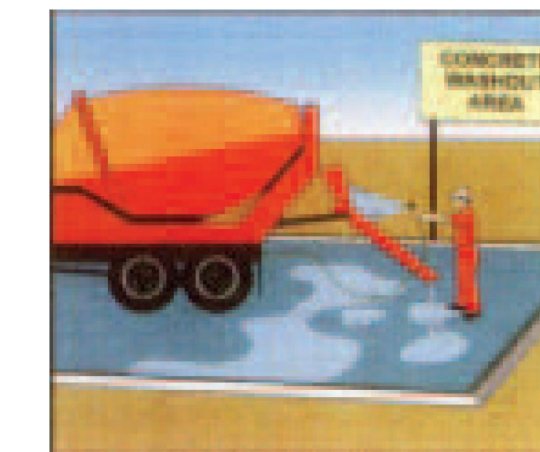


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

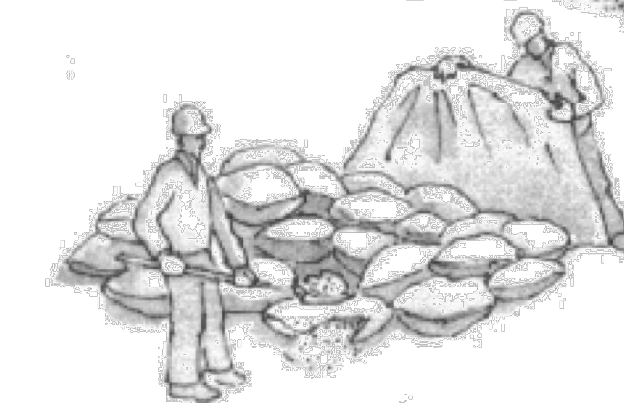
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



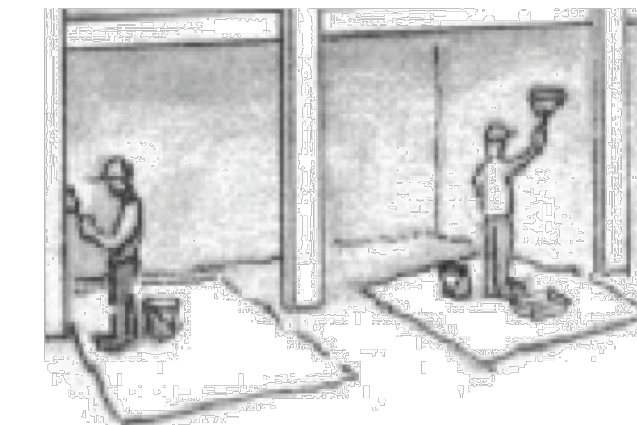
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

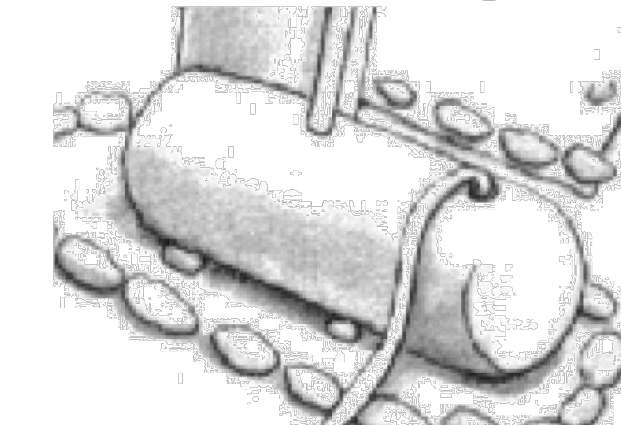
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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CONSTRUCTION BEST
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