

**TOWN OF FAIRFAX
STAFF REPORT**

Department of Planning and Building Services

TO: Planning Commission
DATE: May 18, 2023
FROM: Linda Neal, Principal Planner
LOCATION: 20 Willow Ave. (001-235-03, pole to be served is at 23 Willow Ave.) and 76 Manor Rd. (APN 001-113-08, pole to be served is on Acacia Rd.)
ZONING: 20 Willow Ave. – RD 5.5-7 Residential Zone, 76 Manor Rd. – RD 5.5-7 Residential Zone
PROJECT: install ground mounted battery backup cabinets in the public rights-of-way to house emergency back-up battery systems for existing COMCAST power sources
ACTION: Encroachment Permit; Application # 23-11
APPLICANT: COMCAST
RIGHT-OF-WAY EASEMENTS: Town of Fairfax
CEQA STATUS: Categorically exempt, §§ 15301(b) and 15302(c).

Note: Each site will have its 300-foot radius map at the beginning of that site's specific discussion within this staff report.

PROJECT DESCRIPTION

Each proposed battery back-up cabinet site is within the public right-of-way easement, out of the travel portion of the road. If the cabinets are placed in an existing sidewalk area, an ADA compliant, 4-foot-wide clear sidewalk width has been maintained. On streets where there are no sidewalks, an area on at least one side of the street remains available for development with a 4-foot-wide sidewalk in the future. The COMCAST power supply utility pole mounted boxes, which the new batteries will provide with power in an emergency, are immediately adjacent to the proposed cabinet locations with the proposed cabinets approximately 4-feet to 6-feet from the adjacent poles. The cabinet on Willow Avenue will service the existing utility pole mounted power supply box located across the street from the proposed battery backup cabinet. The backup cabinets will be hardwired underground the 4-foot to 6-foot distance to the utility pole mounted, metal, power supply boxes except for the system on Willow Avenue. The two, side-by-side cabinets housing the utility shut-off, battery back-up supply on Willow Avenue will be situated on the east side of the street with the supply lines running approximately 21-feet, under the Willow Avenue roadbed to the existing utility pole located on the west side of the road in front of 23 Willow Avenue.

As part of the project, the existing batteries currently located in the existing utility pole mounted metal boxes will be removed and the power source mechanisms in those same pole mounted boxes will be replaced. The existing batteries in the pole mounted boxes did not provide enough power to run the emergency 911 call system during previous storm years and other emergencies where the power was turned off. The new batteries in the ground mounted cabinets will be capable of providing emergency phone/internet service for at least 72 hours.

The two cabinet sites at 20 Willow Avenue and 76 Manor Road (the cabinet will be installed on Acacia Road at the rear of the site) will have two cabinets placed side-by-side, together measuring approximately, 52-inches x 52-inches by 24-inches (\pm 4.3-ft. x 4.3-ft. x 2-ft.). The cabinets will be of metal mounted on 6-inch-thick, precast, concrete slabs affixed to an approximately twelve square-foot slab. The cabinets will be Sea Foam green.

BACKGROUND

The two sites being considered tonight were originally reviewed with five other proposed cabinet sites proposed at various locations throughout Town, at the April 20, 2023, Planning Commission meeting. The Planning Commission approved the encroachment permits for the other five sites but continued these two to the May 18, 2023, meeting requesting the following additional information:

- a. Site plans shall be submitted for both sites that show the adjacent residential driveway entrances with respect to the proposed cabinets.
- b. For 20 Willow Avenue, show the driveway(s) to the adjacent residences.
- c. For 76 Manor Road (the cabinet is proposed at the rear on Acacia Road) show the adjacent driveway locations across the street and north of the cabinet site on Acacia Road.
- d. For both the revised site plans include as much detail as possible including fire hydrant, power pole, water and sewer access point locations, fences, etc. The Planning Commission will use the information to determine if an alternative location for the cabinet is readily available, or where protection bollards might be placed for cabinet safety in areas that are historically used for neighborhood parking.

The Planning Commission also requested that COMCAST representatives meet with adjacent property owners where the new cabinets are proposed to discuss possible minor relocations and/or possible screening/landscaping plans that could improve existing or relocated sites for the adjacent neighbors.

For additional background information on this application see the staff report from the April 20, 2023, Planning Commission meeting by following this link:

<https://storage.googleapis.com/proudcity/fairfaxca/uploads/2023/04/Item-2-Battery-Backups.pdf>

DISCUSSION

Comcast representatives communicated with the owners of 20 Willow and the e-mail communications with those owners are attached as Attachment B to this staff report. The owners are still opposed to the location of the cabinet along their property frontage. Comcast has responded to their concerns by moving the cabinet so that it will maintain approximately 6-feet further to the south from the original proposed location. This results in the cabinet having an approximately 15-foot setback from the 20 Willow Avenue driveway. The relocation improves the visual corridor for residents of 20 Willow Avenue when they exit the residence driveway (see plan set pages T1 and A0 of the project plans set received by the Town on May 12, 2023). Comcast has also indicated

they are willing to continue their conversations with the owners about possible vegetation installation, painting of the cabinets, etc. to improve/screen the appearance of the cabinets.

76 Manor, where the cabinet is proposed at the rear of the site on Acacia Road, has not been moved but the nearest driveway located across the street from the site accessing the parking for 88 Scenic Road, is now shown on the revised plans, received by the Town on May 8, 2023, plan set pages T1 and LS-1.

The newly plotted information relating to adjacent driveways and the relocation of the cabinet at 20 Willow Avenue does not change the staff's recommendations on these two applications and we continue to support the proposals. See the following photos of the 20 Willow Avenue showing the subject pole shadow and the street façade at 20 Willow Avenue where the cabinet is proposed to be located. The photos demonstrate that there is adequate space along the 20 Willow Avenue frontage, with the cabinet shifted approximately 6-feet further south from the originally proposed location, to address the neighbor's concerns and retain the required proximity of the cabinet to the pole meet Comcast's requirements.



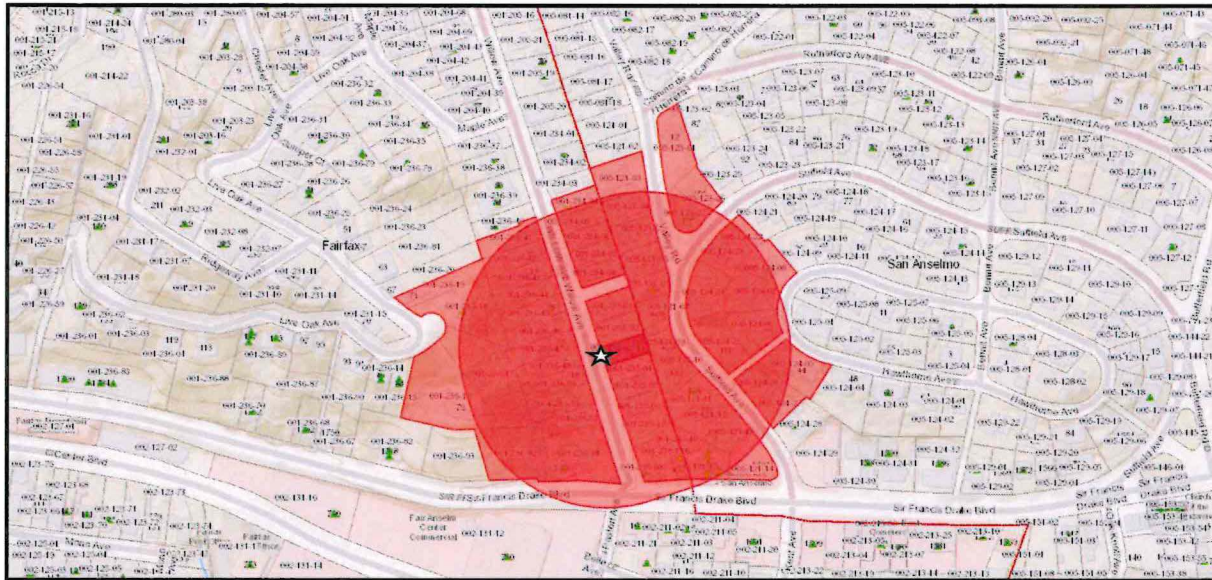


Encroachment Permit Requirements

Town Code § 12.32.010 allows the use of portions of the public rights-of-way, not being used for vehicular or pedestrian travel, to be temporarily used for other structures. To use a portion of the public right-of-way for a privately owned structure, an applicant must obtain a revocable encroachment permit from the Planning Commission in accordance with Town Code 12.32.020. The language in the Town Code was added in 1962 with the adoption of Ordinance No. 246 and has not been amended or updated except when section 12.32.030, adding a required fee for processing, was adopted in 1978. This chapter of the code has not been amended to take into consideration the other uses, applicants, or businesses that may have to utilize the public right-of-way for structures such as modern internet and cellular phone service providers.

Sites and Application Numbers

20 Willow Ave. (the utility pole is in front of 23 Willow on the west side of the street)



Staff performed a site inspection on April 7, 2023, and the Building Official inspected all the sites in January of 2022. On January 14, of 2022, the Building Official advised the consultants working with COMCAST to file their applications that cabinet proposed on the west side of Willow blocked sidewalk access, it appeared that the adjacent property owner may have encroached into the right-of-way with his fence and landscaping, and that COMCAST may have to obtain a survey to resolve that location originally proposed on the west side of Willow Avenue. COMCAST responded by relocating the cabinet to the east side of the street in front of 20 Willow Avenue where there is adequate room. The lines connecting the cabinet batteries to the power source mounted in the box on the utility pole will run underneath Willow Avenue (See plan set page A0 for an enlarged site plan).

The side-by-side cabinets will be installed approximately 21-feet 4-inches east of the pole they will serve on the west side of Willow Avenue. The cabinet will maintain approximately a 2-foot 6-inch setback from the curb face and will maintain an approximately 5-foot-wide paved sidewalk area, larger than the minimum required 4-feet of sidewalk width required by the Americans with Disabilities Act (ADA) regulations.

No parking allowed on the east side of Willow Avenue where the cabinet location is proposed.

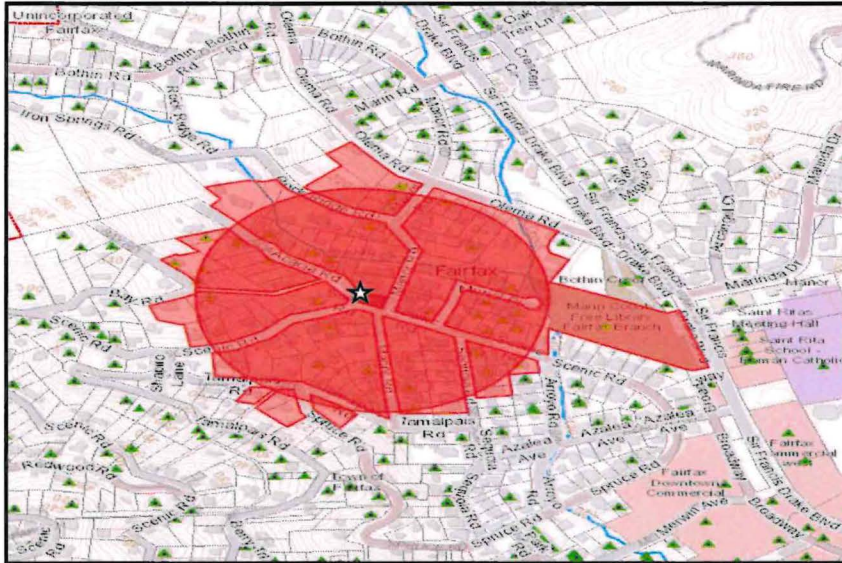
Comcast representatives spoke with the owner and the resident of 20 Willow Avenue with the following results:

- Both would prefer that the cabinet not be located in front of 20 Willow Avenue and would like it relocated across the street adjacent to the pole it is serving at 23

Willow Avenue.

- If relocation is not possible, Comcast must ensure that the proposed location will not block site lines for persons existing the 20 Willow Avenue driveway and the project must include landscaping and other options to ensure the location is aesthetically pleasing to all involved parties (Attachment D).

76 Manor Rd. (cabinet adjacent to rear of property fronting on Acacia



The revised plans (Attachment C) show the location of the nearest driveway to the proposed cabinet location which is the driveway for 88 Scenic Road. There is no driveway accessing the site north of the proposed cabinet because that property is developed with the house at 72 Manor that has driveway access from Manor Road and not from Acacia Road.

The proposed two, side-by-side, cabinets will be installed approximately 6-feet north of the utility pole mounted power source box they will serve at the corner of Acacia and Scenic Roads. The cabinet will maintain approximately a 1-foot 7-inch setback from the edge of the paved portion of Acacia Road and a 1-foot 4-inch setback from the rear fence at 76 Manor Road. Neither the east nor west sides of Acacia Road are improved with sidewalks.

Encroachment Permit Findings

1. The portions of the various public rights-of-way where the two COMCAST cabinets are proposed, at 20 Willow Avenue and 76 Manor Road, are not currently being used for vehicular or pedestrian travel. Therefore, use of portions of the rights-of-way to provide the infrastructure so the public can continue to use their cell phones and computers to receive emergency warning notification during power outages warrants the granting of these temporary easements.
2. The proposed cabinet locations will not obstruct any private driveway or create safety issues for vehicles or pedestrians traveling within the right-of-way.

3. The approvals to use the portions of the rights-of-way by the COMCAST utility are Temporary Encroachments which may be rescinded/revoked by the Town in the future if there is a need to utilize the rights-of-way for the greater public good.

OTHER AGENCY/DEPARTMENT COMMENTS/CONDITIONS

Ross Valley Sanitary District commented that none of the proposed cabinet sites or their installation will conflict with any of the District's facilities or improvements.

The Building Official commented that the cabinet proposed at 76 Manor Road is located on Acacia Road in an area commonly used for parking. Bollards must be installed to protect the cabinet. The size and location of the bollards will be determined by the Building Official during the processing of the required Public Works Department encroachment permit.

Note: the Fairfax Public Works Director agreed with the Building Official's comments and requirements and staff has included the above as conditions of approval in attached Resolution 2023-09.

Marin Municipal Water District (MMWD) commented that the District may own and maintain facilities in the area of the work at all of the locations in question. Should the proposed new cabinets and underground conduits encroach upon or encumber access to said facilities, 811 shall be notified of the work taking place so MMWD improvements can be located, and the proposed work can avoid impacting those existing facilities.

Staff has included the following condition in the attached Resolution 2023-09.

Utility Service Alert (811) shall be notified prior to any work taking place on any of the approved sites so MMWD improvements can be located, and the proposed work can avoid impacting any existing facilities.

The Town received no comments from the Ross Valley Fire Department or the Fairfax Police Department.

Northern Spotted Owl

Neither of the two sites is located within ¼ mile of any known Northern Spotted Owl nesting site.

Update on Required Recording of the Revocable Encroachment Permit document

Communication with both the Town Attorney and the Marin County Recorder's Office has revealed that since the Revocable Encroachment Permit documents cannot be tied to any one property and/or property owner, they cannot be recorded. Staff has eliminated this condition from Resolution No. 2023-11 relating to 20 Willow Avenue and 76 Manor Road. To document the Commission's actions, the Revocable Encroachment documents will be retained electronically in both the Planning Department and Public Works Department files and the paper copies will be retained in the Planning and Building Department files until the projects are completed.

RECOMMENDATION

- Conduct the public hearing.
- Move to approve application 23-11 by adopting Resolution No. 2023-11 setting forth the findings and conditions for granting the requested Encroachment Permits for the two COMCAST battery back-up sites at 20 Willow Avenue and 76 Manor Road (Acacia Road), with the additional condition added to the Resolution as follows:

The cabinet along the 20 Willow Avenue frontage shall not block site lines for persons exiting the 20 Willow Avenue driveway and the project must include landscaping and/or other options to ensure the location is aesthetically pleasing to all involved parties. If agreement cannot be reached between the two parties, the final design of any visual enhancements shall be approved by the Planning Director or the Planning Commission.

ATTACHMENTS

- A – Resolution No. 2023-11
- B- Revised plans for 20 Willow Avenue
- C – Revised plans for 76 Manor Road
- D – E-mails between Comcast representatives and the owner/resident of 20 Willow Avenue.

RESOLUTION NO. 2023-11

A Resolution of The Fairfax Planning Commission Approving Application No. 23-11 for Two Revocable Encroachment Permits Granted to Comcast for Power Outage Emergency Back-up Battery Cabinets Located at Grade Within the Public Rights-of-Way of the Town of Fairfax adjacent to the Following Addresses: 20 Willow Avenue and 76 Manor Road

WHEREAS, the Town of Fairfax received an application from Comcast on March 7, 2023, to install five emergency back-up battery cabinets in various locations throughout Town adjacent to existing utility pole mounted power supply boxes; and

WHEREAS, Comcast requested the Revocable Encroachment Permits to comply with California Public Utility Commission regulations requiring 72-hour back-up battery sources to provide phone service and internet service whereby emergency notifications can be received by customers during any emergency that involves extended power outages; and

WHEREAS, after holding public hearings on April 20, 2023 and May 18, 2023 proposed 20 Willow Avenue and 76 Manor Road sites, and Commission discussion of the project at both those regular Planning Commission monthly meetings, the Planning Commission determined that Revocable Encroachment Permits can be issued for the two battery of the back-up cabinets proposed at 20 Willow Avenue and 76 Manor Road; and

WHEREAS, the Commission has now made the following findings:

Encroachment Permit (Town Code §12.32.010)

1. The portions of the various public rights-of-way where the two COMCAST cabinets are being proposed at 20 Willow Avenue and 76 Manor Road are not currently being used for vehicular travel or pedestrian travel. Therefore, use of portions of the rights-of-way to provide the infrastructure so the public can continue to use their cell phones and computers to receive emergency warning notifications during power outages warrants the granting of these temporary easements.
2. The proposed cabinet locations will not obstruct any private driveway or create safety issues for vehicles or pedestrians traveling within the right-of-way.
3. The approvals to use the portions of the right-of-way by the COMCAST utility are Temporary Encroachments which may be rescinded/revoked by the Town in the future if there is a need to utilize the rights-of-way for the greater public good.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with the following conditions:

1. Prior to issuance of any of the Public Works Encroachment permits for the project, the Planning Department shall complete the Revocable Encroachment Permits for the project sites and make sure they are filed electronically in the Fairfax Public Works and Planning Departments electronic files with the paper copy being retained in the Building Department until the construction of the two sites is completed.
2. Any damages to the public portions of Willow Avenue or Acacia Road (76 Manor Road cabinet site) or other public roadway used to access either of the two sites referenced in the Title of this Resolution, resulting from construction activities, shall be the responsibility of the COMCAST Utility.
3. The cabinet proposed at 76 Manor Road is located on Acacia Road in an area commonly used for parking. Bollards must be installed to protect the cabinet. The size and location of the bollards will be determined by the Building Official during the processing of the required Public Works Department encroachment permit.
4. The cabinet along the 20 Willow Avenue frontage shall not block site lines for persons exiting the 20 Willow Avenue driveway and the project must include landscaping and/or other options to ensure the location is aesthetically pleasing to all involved parties. If agreement cannot be reached between the two parties, the final design of any visual enhancements shall be approved by the Planning Director or the Public Works Director.
5. Comcast shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council or Planning Director or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein,

6. provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.
7. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act and Best Management Practices for Stormwater Pollution Prevention.
8. Utility Service Alert (811) shall be notified prior to any work taking place on any of the approved sites so MMWD improvements can be located, and the proposed work can avoid impacting any existing facilities.
9. Conditions placed upon the project by the Fairfax Building Official may be eliminated or amended with that department's written notification to the Planning Department prior to issuance of the Public Works Encroachment Permit.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the requested Revocable Encroachment Permits, Application 23-11, allowing installation of two emergency back-up battery cabinets at 20 Willow Avenue and 76 Manor Road comply with the requirements of the California Public Utilities Commission; and

Installation of the battery backup cabinets can occur without causing significant impacts on neighboring residences and will be a benefit for the general public in emergencies allowing emergency notifications to occur even when there is a widespread loss of power.

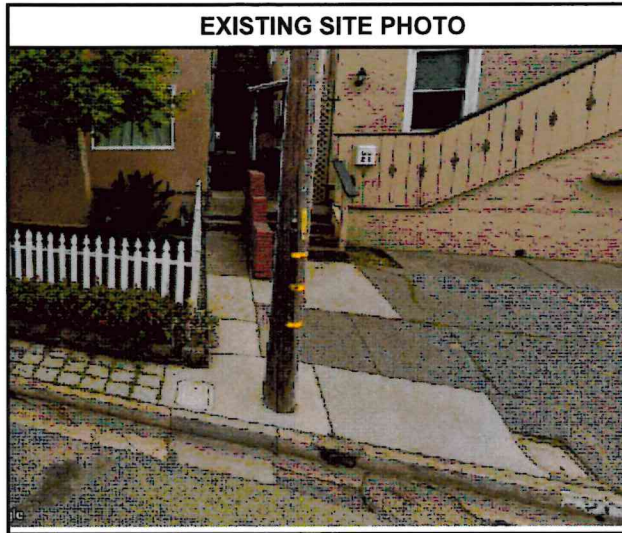
The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 18th day of May 2023 by the following vote:

AYES:
 NOES:
 RECUSED:
 ABSENT:

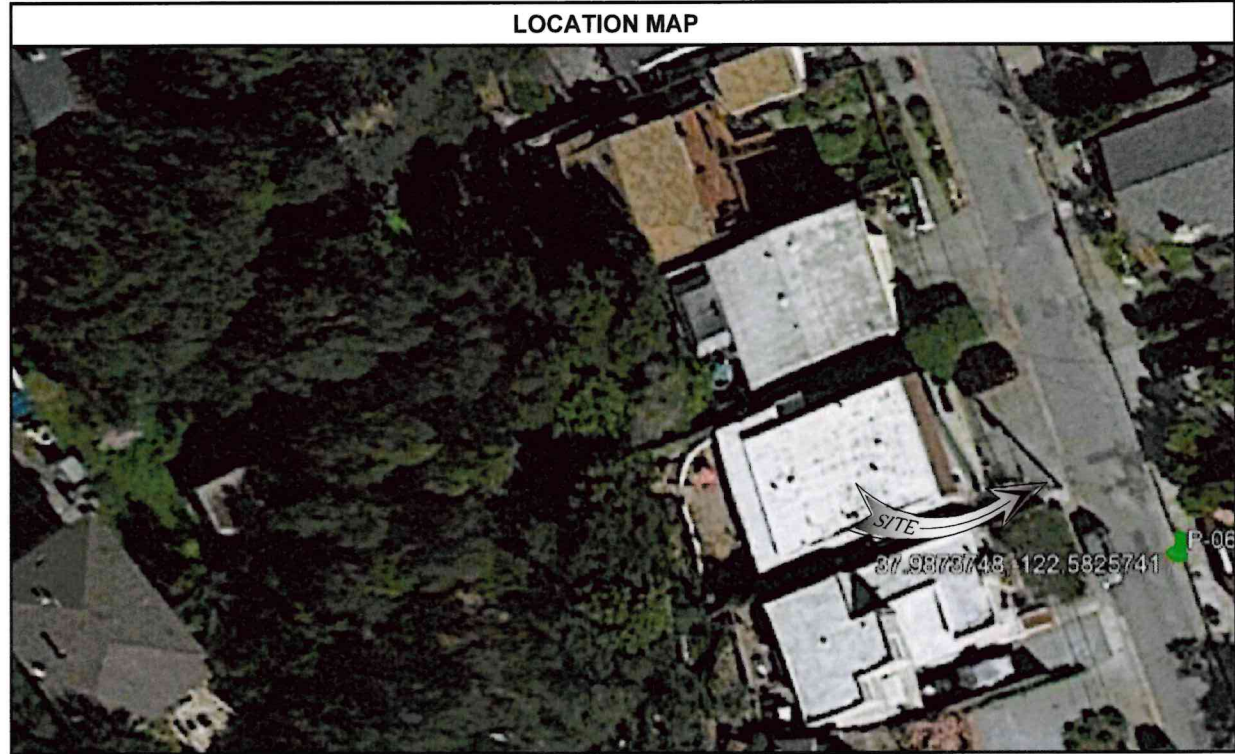
Chair Cindy Swift

Attest:

Linda Neal, Principal Planner



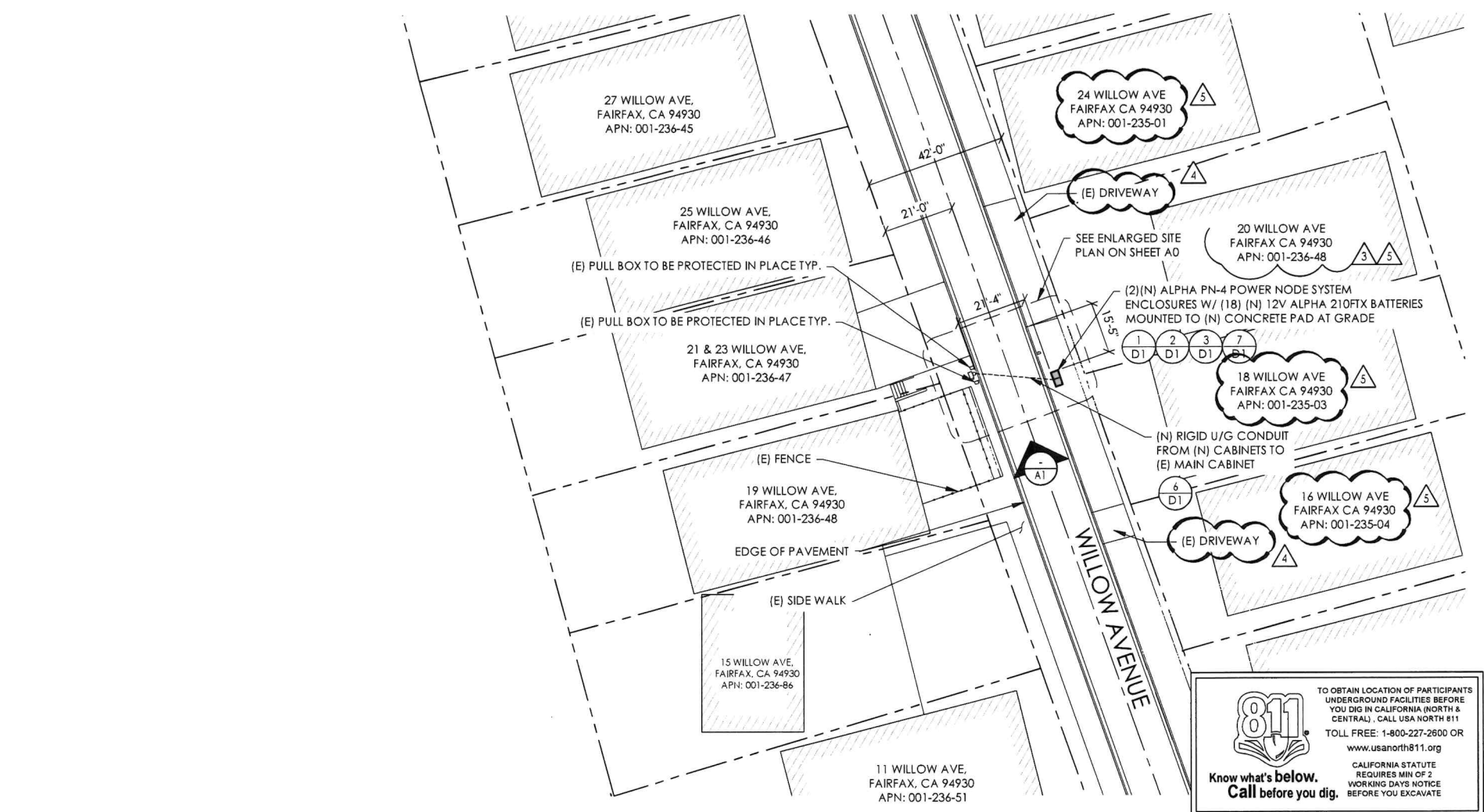
EXISTING SITE PHOTO



LOCATION MAP

AE TA4 SCOPE OF WORK

- THIS PROJECT MODIFICATION OF EXISTING CONSISTS OF:
- INSTALLATION OF (2) (N) ALPHA PN-4 POWERNODE SYSTEM ENCLOSURE
 - INSTALLATION OF (18) (N) 12V ALPHA 210FTX BATTERIES
 - INSTALLATION OF (1) (N) PRECAST CONCRETE PAD
 - REMOVAL & REPLACEMENT OF (E) POWER SUPPLY
 - ALL ASSOCIATED ELECTRIC WIRES AND CONDUITS TO CONNECT POWERNODE CABINET TO EXISTING ALPHA CABINET



SITE PLAN



SITE ADDRESS: 23 WILLOW AVE FAIRFAX, CA 94930

SITE INFORMATION

SITE ADDRESS:	23 WILLOW AVE FAIRFAX, CA 94930
LATITUDE/LONGITUDE (NAD 83):	37.9873748, -122.5825741
JURISDICTION:	Town of Fairfax
POWER PROVIDER:	PGT
AMP DRAW:	5.10

DRAWING INDEX

SHEET	DESCRIPTION
T1	TITLE SHEET AND SITE PLAN
LS1	LAND SURVEY
A0	ENLARGED SITE PLANS
A1	ELEVATIONS
D1	DETAILS
TC1	TRAFFIC CONTROL 1

PROJECT TEAM

OWNER: COMCAST CABLE
3011 COMCAST PLACE
LIVERMORE, CA 94551

ENGINEER/ ARCHITECT: J5 INFRASTRUCTURE PARTNERS
JOSE M. MIRANDA
ARCHITECT/ENGINEER CONTACT
PH: (949) 247-7787
EMAIL: jmiranda@j5ip.com
23 MAUCHLY, SUITE 110
IRVINE, CALIFORNIA, 92618

APPLICANT: ALPHA TECHNOLOGIES, INC.
RICHARD A. SEIFF
SERVICE OPERATIONS MANAGER
ENERGY SYSTEMS AMERICAS
PH: (351) 278-0232
EMAIL: rich.seiff@enersys.com

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. CALIFORNIA BUILDING STANDARDS CODE: 2019 TRIENNIAL EDITION OF TITLE 24, WITH AN EFFECTIVE DATE OF JANUARY 1, 2020.

PART 1 - CALIFORNIA ADMINISTRATIVE CODE, BASED ON THE 2018 INTERNATIONAL BUILDING CODE

PART 2 - CALIFORNIA BUILDING CODE, BASED ON THE 2018 INTERNATIONAL BUILDING CODE

PART 3 - CALIFORNIA ELECTRICAL CODE, BASED ON THE 2017 NATIONAL ELECTRICAL CODE

PART 4 - CALIFORNIA MECHANICAL CODE, BASED ON THE 2016 UNIFORM MECHANICAL CODE

PART 5 - CALIFORNIA PLUMBING CODE, BASED ON THE 2018 UNIFORM PLUMBING CODE

PART 6 - CALIFORNIA ENERGY CODE

PART 7 - VACANT

PART 8 - CALIFORNIA HISTORICAL BUILDING CODE

PART 9 - CALIFORNIA FIRE CODE, BASED ON THE INTERNATIONAL FIRE CODE

PART 10 - CALIFORNIA EXISTING BUILDING CODE, BASED ON THE 2018 INTERNATIONAL EXISTING BUILDING CODE

PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO KNOWN AS CALGREEN)

PART 12 - CALIFORNIA REFERENCED STANDARDS CODE

2. ANSI/TIA-222 (REV. H)

3. 2018 NFPA 101, LIFE SAFETY CODE

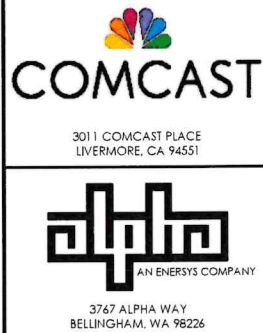
4. 2018 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE

5. 2019 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS

GENERAL CONTRACTOR NOTES

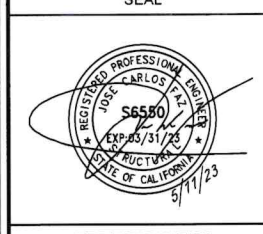
DO NOT SCALE DRAWINGS IF NOT FULL SIZE (24 X 36)

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT / ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BEAR THE RESPONSIBILITY FOR THE SAME.



ISSUE STATUS

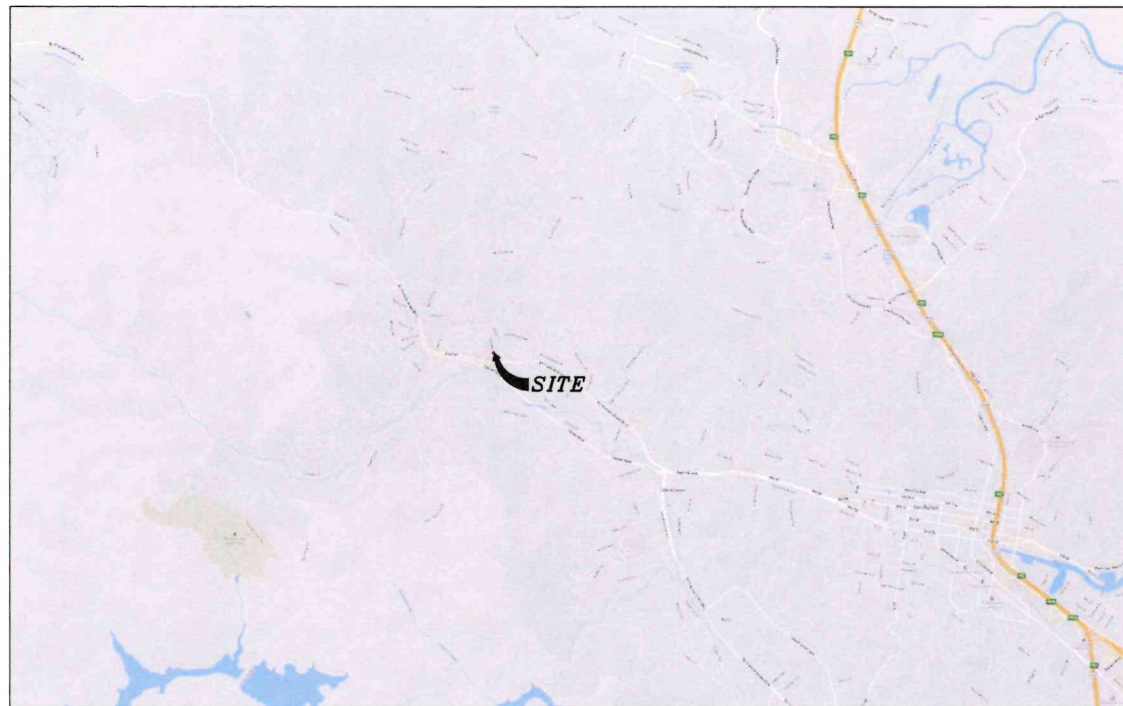
REV	DATE	DESCRIPTION	BY
A	09/17/21	90% CD	AS
B	09/21/21	90% CD	TT
0	01/04/22	100% CD	BN
1	01/18/22	PCC#1 ADDRESS UPDATE	MZ
2	05/05/22	PCC # 2	IK
	03/16/23	PCC # 3	MZ
△	05/08/23	PCC # 4	MJC
△	05/11/23	PCC # 5	MJC



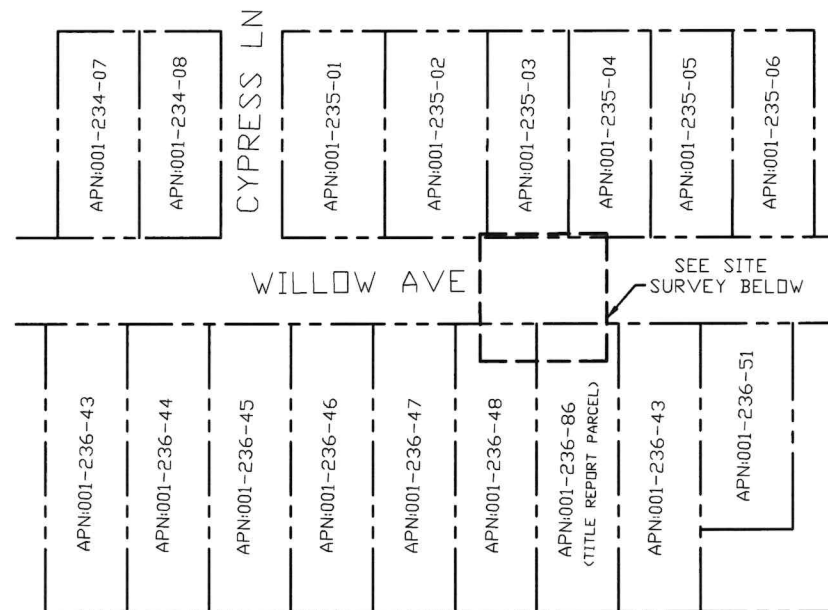
SITE ADDRESS:
23 WILLOW AVE,
FAIRFAX, CA 94930

SHEET TITLE:
TITLE SHEET

T1



VICINITY MAP
N.T.S.



OVERALL SITE
N.T.S.

SURVEY DATE
01/24/2023

BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE THREE, DETERMINED BY GPS OBSERVATIONS.

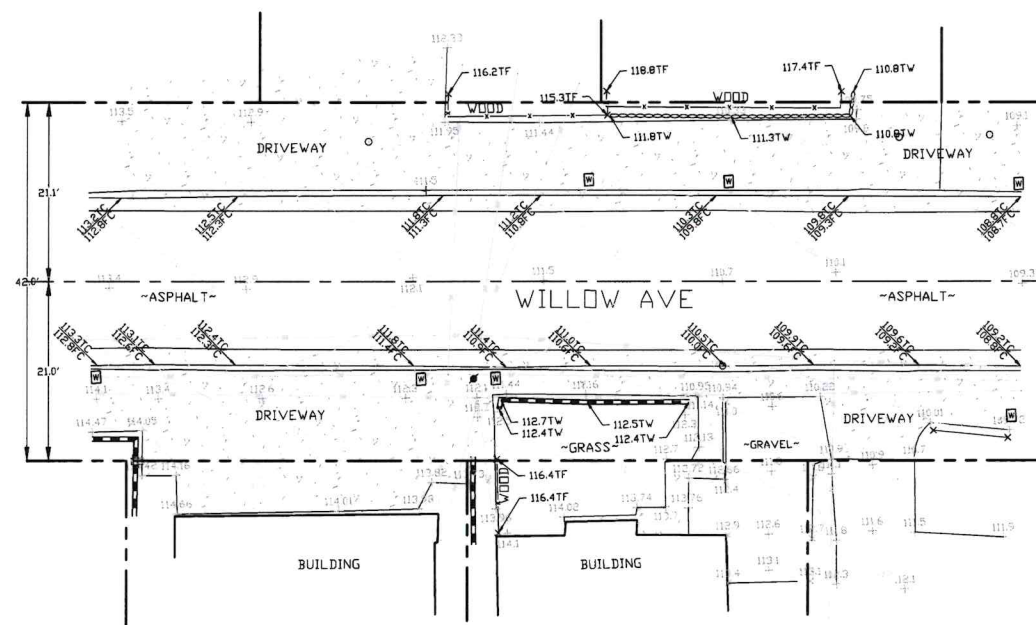
BENCHMARK
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 18' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'CRTN' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

FLOOD ZONE
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X". ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06041C0452E, DATED 03/17/2014.

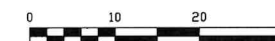
UTILITY NOTES
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT 811 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/ OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

SURVEYOR'S NOTE
THE LOCATION AND DIMENSIONS SHOWN WERE TAKEN FROM THE MAP(S) RECORDED IN VOLUME 2 PAGE 80 OF MAPS AND BOOK 2001 PAGE 66 OF RECORDS OF SURVEYS, MARIN COUNTY RECORDER, AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTIES.

TITLE REPORT DESCRIPTION
TITLE REPORT PARCEL
APN: 001-236-86
PREPARED USING AMERICAN TITLE'S TITLE REPORT #5026900-6942907 DATED 01/11/2023;



SITE SURVEY



LEGEND

- These standard symbols will be found in the drawing
- CONCRETE
 - PROPERTY LINE
 - CENTER LINE
 - OVERHEAD LINE
 - CHAINLINK FENCE
 - ROOF
 - WALL
 - ROCK WALL
 - WATER METER
 - WATER VALVE
 - POWER POLE
 - ELEVATION GRADE
 - GUY WIRE
 - MAILBOX
 - WATER METER
 - SIGN NO STOPPING
 - MANHOLE TELE
 - MANHOLE UTILITY
 - RECTANGLE INLET
 - SHRUB
 - TRUNK
 - CT CONIFEROUS TREE
 - DC DECIDUOUS TREE
 - TC TOP OF CURB
 - FC FACE OF CURB
 - TF TOP OF FENCE
 - TW TOP OF WALL

COMCAST
3011 COMCAST PLACE
LIVERMORE, CA 94551

ALPHA
3767 ALPHA WAY
BELLINGHAM, WA 98226



15604 Magnolia Rd.
Grass Valley, CA. 95949
Ph. 530.830.0038

DRAWN BY: HE
CHECKED BY: SE

REVISIONS:

REV	DATE	DESCRIPTION
0	01/28/23	SUBMITTAL



PROJECT INFORMATION:

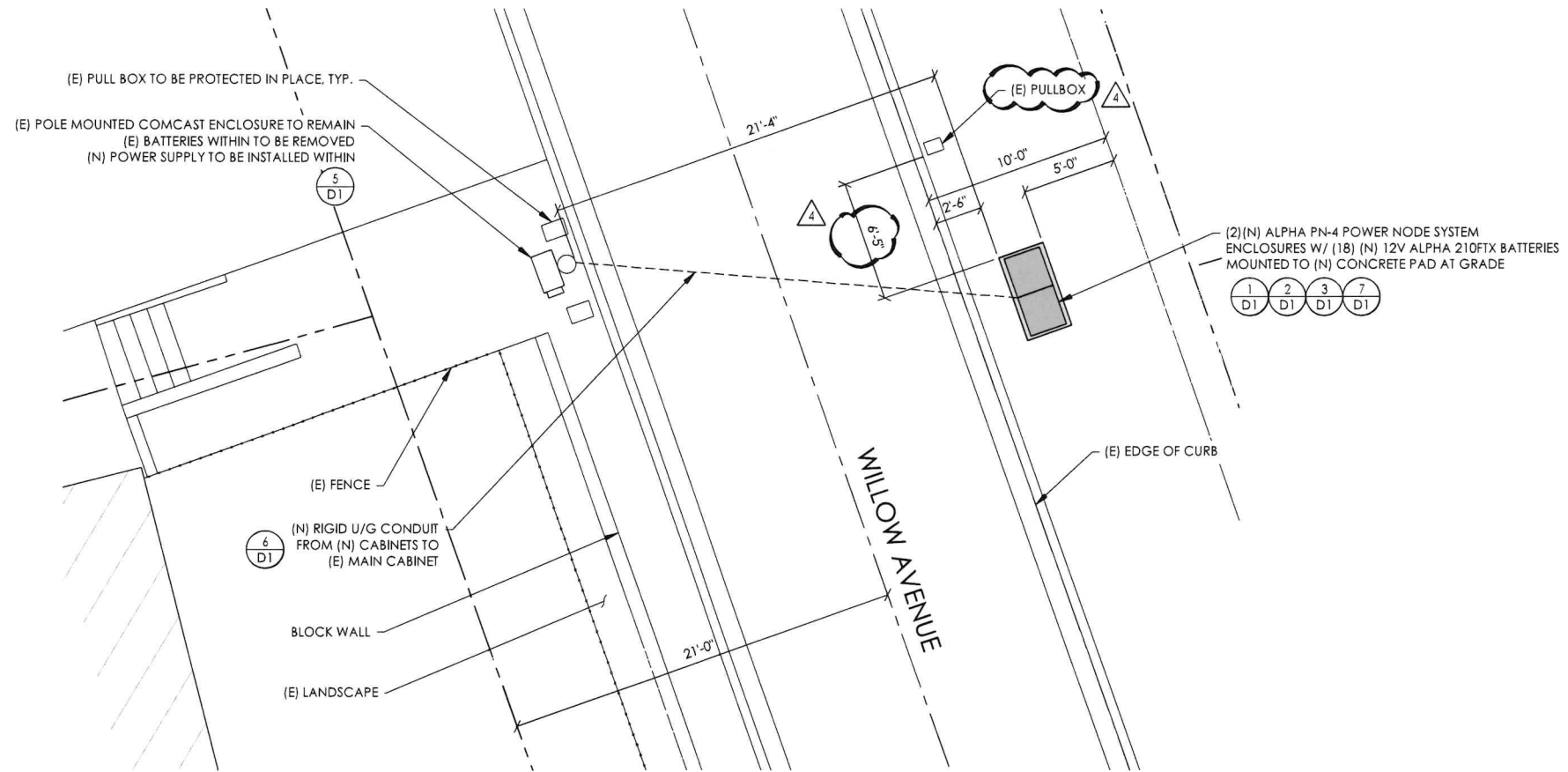
P-061500
23 WILLOW AVE.
FAIRFAX, CA. 94930
MARIN COUNTY

SHEET TITLE:

SITE SURVEY

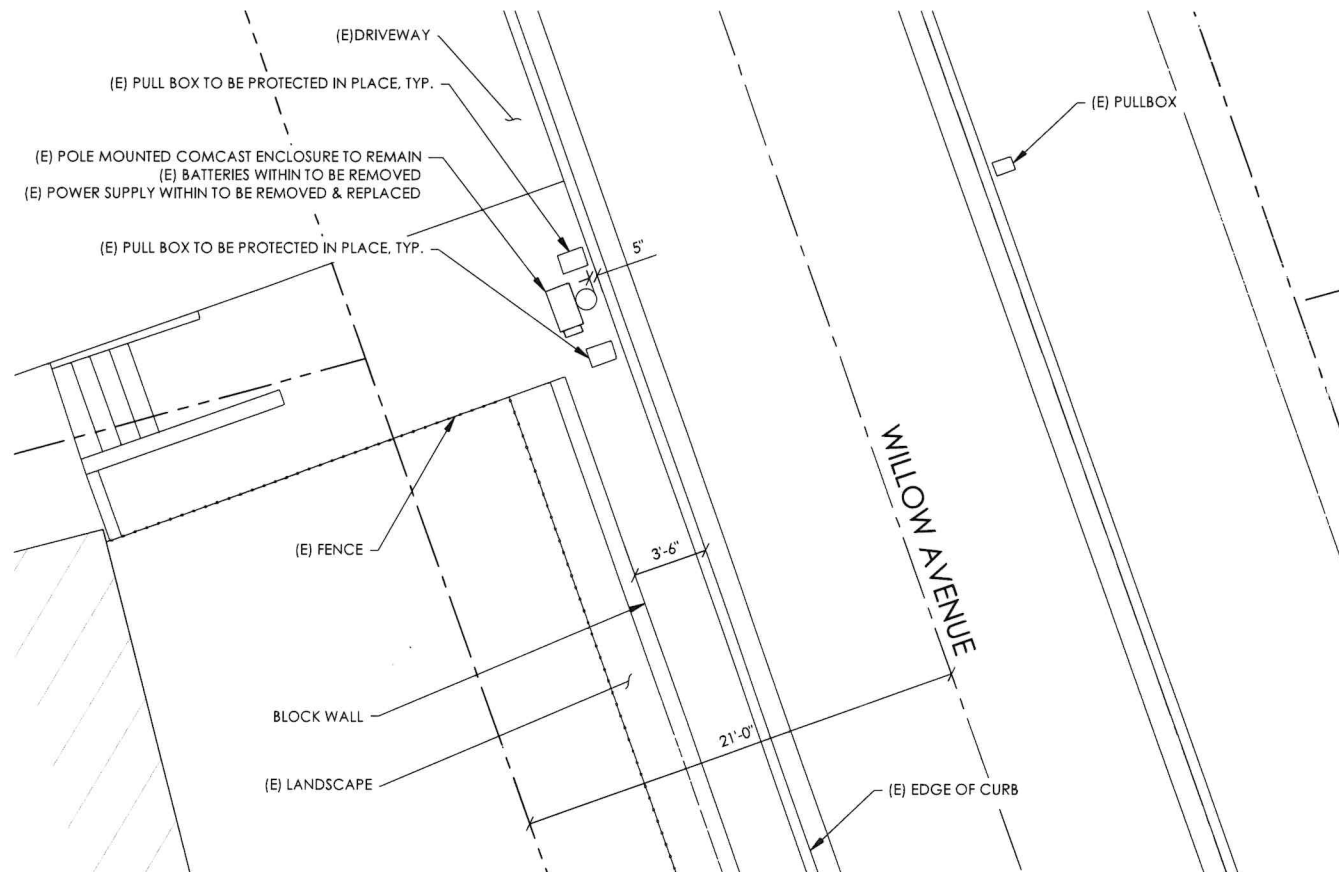
SHEET NUMBER:

LS-1



PROPOSED ENLARGED SITE PLAN

24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"
 4' 3' 2' 1' 0' 4' NORTH 1



EXISTING ENLARGED SITE PLAN

24"x36" SCALE: 1/4" = 1'-0"
 11"x17" SCALE: 1/8" = 1'-0"
 4' 3' 2' 1' 0' 4' NORTH 2



301 I COMCAST PLACE
 LIVERMORE, CA 94551



3767 ALPHA WAY
 BELLINGHAM, WA 98226



23 MAUCHLY, STE 110
 IRVINE, CA 92618

J5 PROGRAM ID: ALP-CA-CPUC
 J5 PROJECT ID: P-061500

ISSUE STATUS

REV	DATE	DESCRIPTION	BY
A	09/17/21	90% CD	AS
B	09/21/21	90% CD	TT
0	01/04/22	100% CD	BN
1	01/18/22	PCC#1 ADDRESS UPDATE	MZ
2	05/05/22	PCC # 2	IK
3	03/16/23	PCC # 3	MZ
4	05/08/23	PCC # 4	MJC
5	05/11/23	PCC # 5	MJC

SEAL



SITE INFORMATION

SITE ADDRESS:
 23 WILLOW AVE.
 FAIRFAX, CA 94930

SHEET TITLE:
 ENLARGED
 SITE PLANS

A0



3011 COMCAST PLACE
LIVERMORE, CA 94551



3767 ALPHA WAY
BELLINGHAM, WA 98226



23 MAUCHLY, STE 110
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JS PROGRAM ID: ALP-CA-CPUC
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5	05/11/23	PCC # 5	MJC

SEAL



SITE INFORMATION

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FAIRFAX, CA 94930

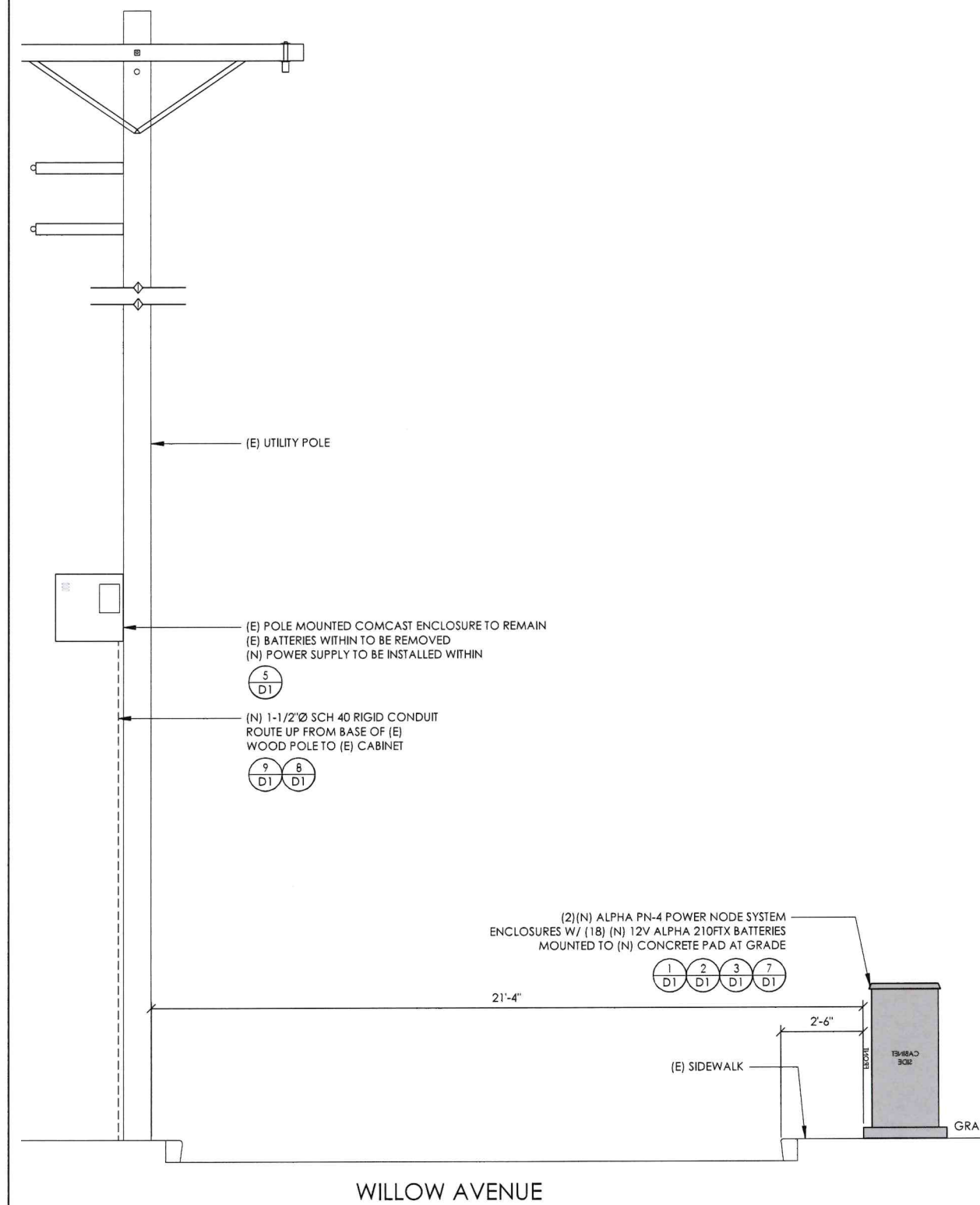
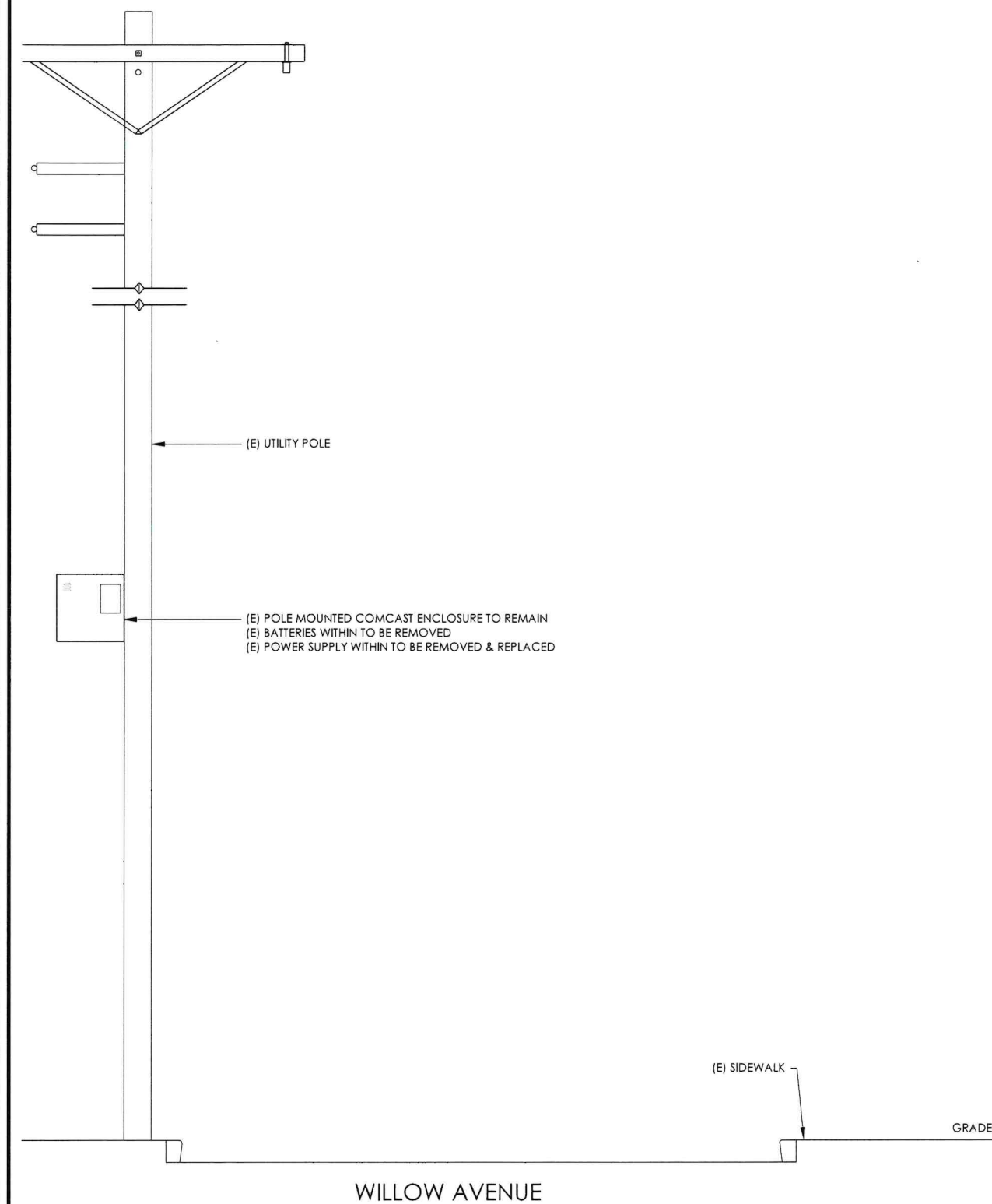
SHEET TITLE:

ELEVATIONS

A1

CONDUIT ROUTING NOTE:
 1. GC TO ROUTE (N) 1-1/2" RIGID U/G CONDUIT FROM (N) CABINETS TO (E) MAIN CABINET FOR (N) BATTERY & INTERFACE ASSOCIATED CABLING. SEE TRENCHING DETAIL ON SHEET D1.

NOTES:
 1. CONTRACTOR TO COMPLY WITH ALL APPLICABLE/REQUIRED INSPECTIONS PER LOCAL JX GUIDELINES.
 2. CONTRACTOR SHALL BE AWARE OF (E) PEDESTRIAN AND VEHICLE ACCESS. CONTRACTOR SHALL NOT BLOCK WALKWAYS, DRIVEWAYS AND/OR OTHER FORMS OF ACCESS. CONTRACTOR SHALL REACH OUT TO ENGINEER IF REVISIONS TO DESIGN HEREON ARE REQUIRED.



EXISTING ELEVATION

24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/4" = 1'-0"

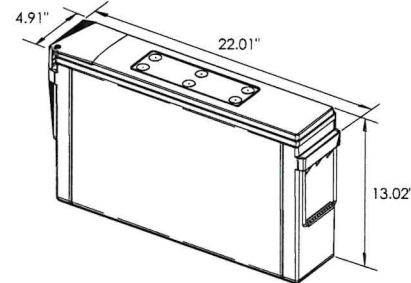
2 PROPOSED ELEVATION

24"x36" SCALE: 1/2" = 1'-0"
 11"x17" SCALE: 1/4" = 1'-0"

1



ALPHA
210 FTX BATTERY UNIT

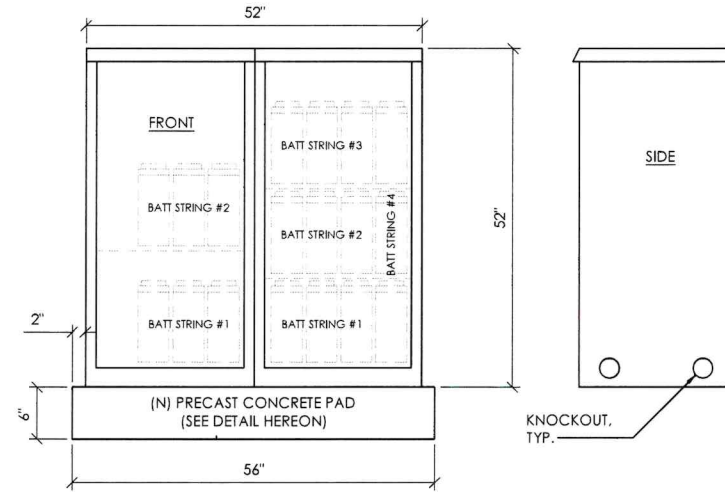


EQUIPMENT SPECIFICATIONS (1 UNIT)	
MFG:	ALPHA
MODEL:	210 FTX
HEIGHT:	13.02 IN
WIDTH:	4.91 IN
LENGTH:	22.01 IN
WEIGHT:	145 LBS

BATTERY INFORMATION (VRLA TYPE BATTERIES)

INSTALL STATUS	BATTERY MODEL	TOTAL # OF BATTERY UNITS INSTALLED	VOLTAGE (V)	AMP-HOURS (AH)	KWh, Kilowatt-hours = (V*AH)/1000	TOTAL BATTERY CAPACITY, KWh	STATIONARY BATTERY STORAGE SYSTEM THRESHOLD QUANTITY, PER CFC 2019 SECTION 1206	STATIONARY BATTERY STORAGE SYSTEM CHECK	TOTAL ELECTROLYTE VOLUME (GALLONS) PER UNIT	TOTAL ELECTROLYTE BY VOLUME (GALLONS) =
PROPOSED	ALPHACELL 210FTX	18	12	210	2.52	45.36			2.1	37.8
TOTAL		18				45.36	70	CFC 2019 SECTION 1206 DOES NOT APPLY		37.8

7 BATTERY SPECIFICATIONS
N.T.S.

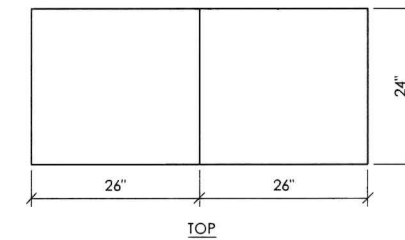


CABINET SPECIFICATIONS

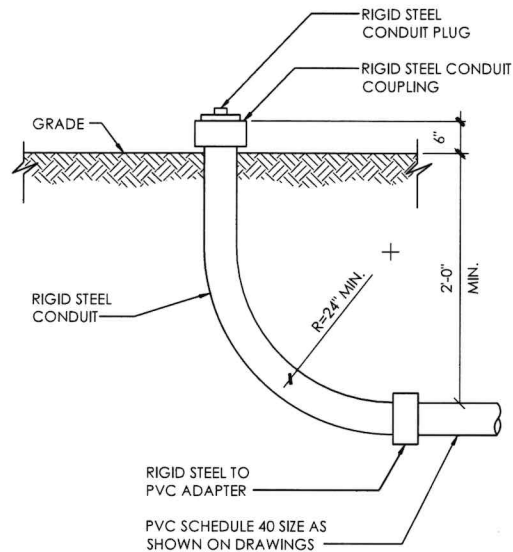
MANUFACTURER:	ALPHA
MODEL:	PN-4
HEIGHT:	52"
WIDTH:	26"
DEPTH:	24"
WEIGHT (EMPTY):	360 LBS.
WEIGHT (W/ BATTERIES):	2,970 LBS.

MATERIAL: ALUMINUM

BATTERY CONFIGURATION:
CABINET #1: (4) BATTERY STRINGS
CABINET #2: (2) BATTERY STRINGS



1 DUAL EQUIPMENT CABINET DETAIL
N.T.S.



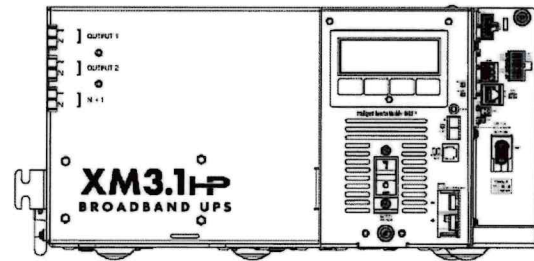
8 STUB-UP DETAIL
N.T.S.

NOTE:
1. USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.

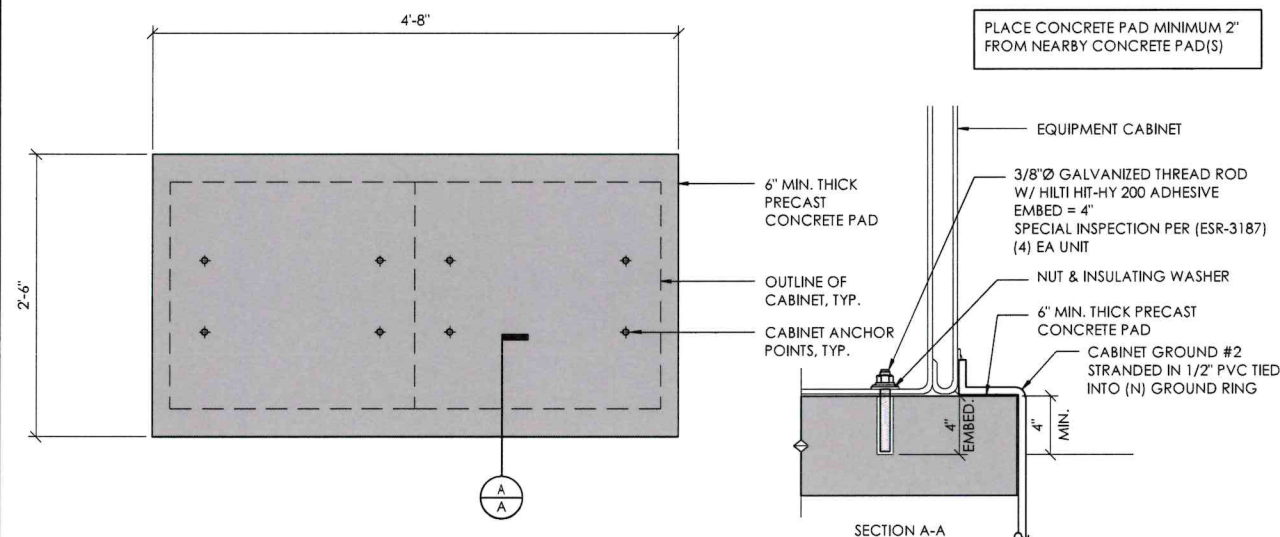
EQUIPMENT SPECIFICATIONS

MFG:	ALPHA
MODEL:	XM3.1-HP
HEIGHT:	7.76 IN
WIDTH:	16.43 IN
DEPTH:	10.57 IN
WEIGHT:	61 LBS

NOMINAL INPUT VOLTAGE: 120V AC
OUTPUT VOLTAGE: 63/89V AC

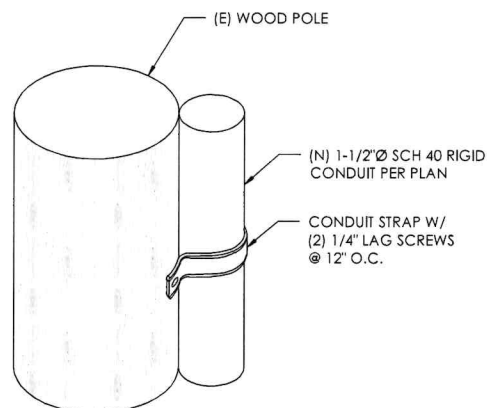


5 POWER SUPPLY DETAIL
N.T.S.



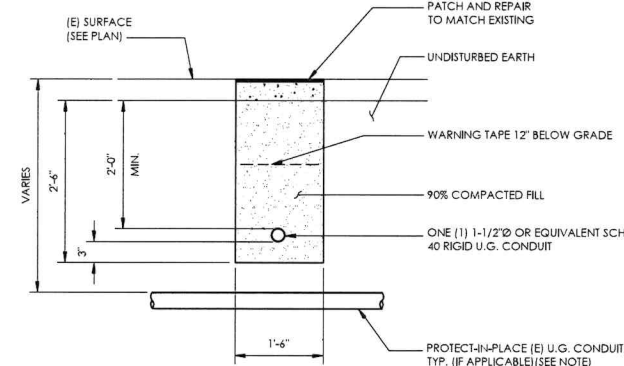
2 CONCRETE PAD & ANCHORAGE DETAIL
N.T.S.

NOTE:
1. CONTRACTOR TO VERIFY RISER MOUNTING REQUIREMENTS W/ POLE OWNER AND/OR POWER COMPANY



9 CONDUIT RISER ATTACHMENT DETAIL
N.T.S.

NOTE:
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, CONDUITS WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE.

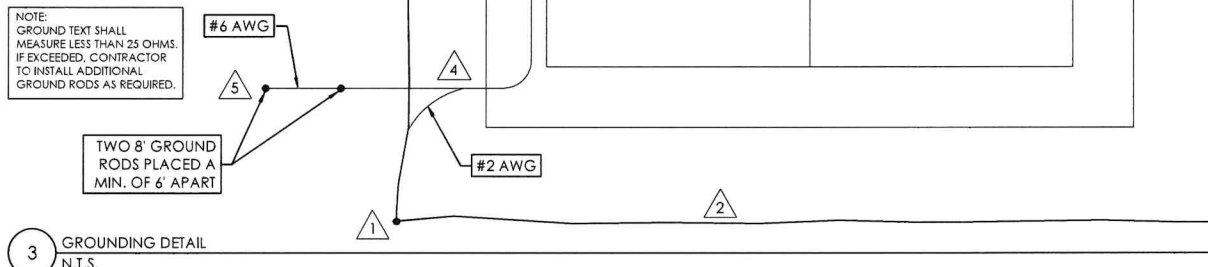


6 TRENCHING DETAIL
N.T.S.

LIGHTNING PROTECTION (OPTIONAL)
 ⚠️ 1/2" x 8" COPPER GROUND ROD, FOUR PLACES, DRIVEN ABOUT 2 FEET (TYP.) FROM THE CORNERS OF THE PAD.
 ⚠️ #2 BARE COPPER WIRE LOOP TERMINATED TO EACH GROUND ROD AND BURIED BELOW GRADE 18 INCHES. CORROSION-PROOF CONNECTIONS (25+ YEAR LIFE-SPAN) AND HARDWARE SUITABLE FOR DIRECT BURIAL MUST BE USED.
 ⚠️ #2 BARE COPPER WIRE FROM LOOP TO THE ENCLOSURE.
 ⚠️ WHEN THE ELECTRICAL SUPPLY IS A PRIMARY SERVICE (NOT A SECONDARY OR FEEDER SERVICE) A #2 BARE COPPER WIRE MUST BE BOND THE LIGHTNING PROTECTION LOOP TO THE GROUNDING ELECTRODE CONDUCTOR WHERE THEY ARE CLOSEST.

SERVICE GROUNDING (REQUIRED)
 ⚠️ #6 BARE COPPER WIRE FROM SERVICE NEUTRAL/GROUND BAR WITH 2 GROUND RODS LOCATED 6' APART.

NOTE:
GROUND TEXT SHALL MEASURE LESS THAN 25 OHMS. IF EXCEEDED, CONTRACTOR TO INSTALL ADDITIONAL GROUND RODS AS REQUIRED.



3 GROUNDING DETAIL
N.T.S.



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3767 ALPHA WAY
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IRVINE, CA 92618

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J5 PROJECT ID: P-061500

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SEAL



SITE INFORMATION

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23 WILLOW AVE,
FAIRFAX, CA 94930

SHEET TITLE:

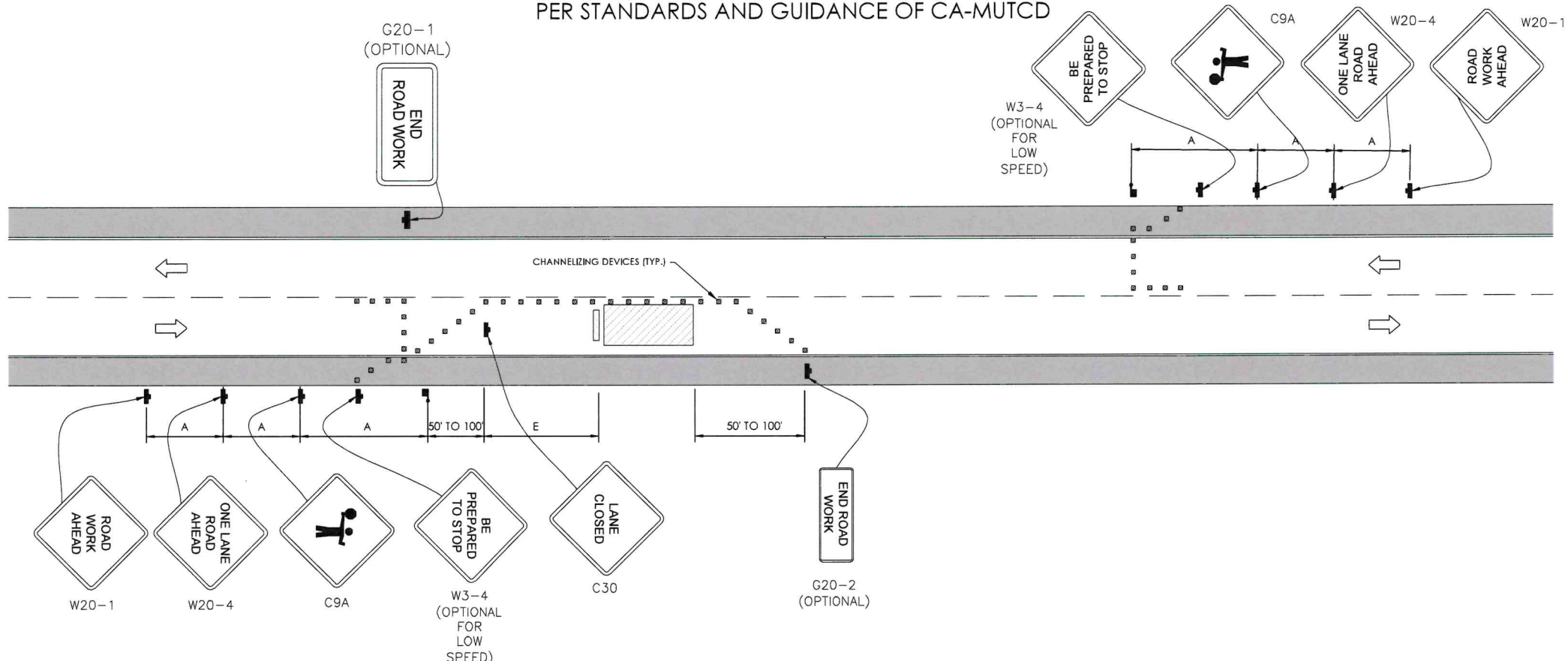
DETAILS

D1

TRAFFIC CONTROL FOR LANE CLOSURE ON TWO LANE ROAD USING FLAGGERS

WORK AREA TRAFFIC CONTROL HANDBOOK 2019 14TH EDITION

PER STANDARDS AND GUIDANCE OF CA-MUTCD



GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL COMPLY WITH THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2014 EDITION.
- ALL STRIPING AND MARKINGS SHALL CONFORM TO THE STATE OF CALIFORNIA 2010 STANDARD PLAN A20A.
- THE CONTRACTOR SHALL PROVIDE FOR ACCESS TO ALL ADJACENT PROPERTIES.
- FLASHING YELLOW BEACONS, TYPE "B", SHALL BE USED ON ALL W20-1 SIGNS AND ON ALL TYPE III BARRICADES GUARDING THE WORK OVERNIGHT.
- ALL SIGNS SHALL BE REFLECTORIZED AND STANDARD SIZE.
- ALL TUBULAR DELINEATORS AND CONES SHALL BE 28" MINIMUM HEIGHT, REFLECTORIZED AND MAINTAINED ERECT IN THE INDICATED POSITION AT ALL TIMES, AND SHALL BE REPAIRED, REPLACED, OR CLEANED AS NECESSARY TO PRESERVE THEIR APPEARANCE AND CONTINUITY, AND SHALL INCLUDE A 12" HIGH-INTENSITY REFLECTORIZED SLEEVE..
- THE CONTRACTOR SHALL MAINTAIN, ON A CONTINUOUS BASIS, ALL SIGNS, DELINEATORS, BARRICADES, ETC., TO ENSURE PROPER FLOW AND SAFETY OF TRAFFIC DURING CONSTRUCTION.
- THE CONTRACTOR SHALL HAVE SIGNS, DELINEATORS, BARRICADES, ETC., PROPERLY INSTALLED PRIOR TO COMMENCING CONSTRUCTION.
- CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN SUCH A MANNER AS TO CAUSE AS LITTLE INCONVENIENCE AS POSSIBLE TO ABUTTING PROPERTY OWNERS.
- ADDITIONAL TRAFFIC CONTROLS, TRAFFIC SIGNS OR BARRICADING MAY BE REQUIRED IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ANY ADDITIONAL DEVICES NECESSARY TO ASSURE THE SAFETY TO THE PUBLIC AT ALL TIMES DURING CONSTRUCTION.
- EXACT LOCATION AND TYPE OF CONSTRUCTION SIGNS SHALL BE DIRECTED BY THE ENGINEER BASED UPON CONSTRUCTION CONDITIONS.
- MOVE DELINEATORS AND/OR CONES TO SIDEWALK DURING NON-WORKING HOURS. REMOVE BARRICADES ETC., FROM TRAVEL LANE.
- REMOVE OR TURN OFF SIGNS DURING NON-WORKING HOURS.
- ALL CONFLICTING LINES, EXISTING CURB PAINT, AND MARKINGS SHALL BE REMOVED BY WET SANDBLASTING OR OTHER APPROVED METHOD PRIOR TO INSTALLATION OF NEW/TEMPORARY STRIPING. ALL CONFLICTING RAISED PAVEMENT MARKERS SHALL BE REMOVED. PAVEMENT THAT IS DAMAGED DUE TO REMOVAL OF MARKERS SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR STATE INSPECTOR.
- DIMENSIONS BASED ON GIS MAPPING DATA AND/OR RECORD DRAWINGS AND NOT A SURVEY.
- TIME OF LANE CLOSURE TO BE IN ACCORDANCE WITH REQUIREMENTS OF JURISDICTION.
- ADDITIONAL ADVANCED FLAGGERS MAY BE REQUIRED. FLAGGER SHOULD STAND IN A CONSPICUOUS PLACE, BE VISIBLE TO APPROACHING TRAFFIC. PLACE A MINIMUM OF FOUR CONES AT 40-FT INTERVAL IN ADVANCE OF FLAGGER STATION AS SHOWN.

SPEED MPH (2)	DIMENSION A/B/C ADVANCE WARNING SIGN SPACING (5)	DIMENSION L MERGIN TAPER LENGTH	DIMENSION L/2 SHIFTING TAPER LENGTH	DIMENSION L/3 MINIMUM SHOULDER TAPER	DIMENSION "E" BUFFER SPACE (4-A) AND FLAGGER STATION STOPPING SIGHT DISTANCE (4-B) (0%) (-3%) (-6%)	MAXIMUM CHANNELIZER TAPER SPACING (3)	MAXIMUM CHANNELIZER TANGENT SPACING (3)	MAXIMUM CHANNELIZER CONFLICT SPACING (6)
MPH	FT	ft	ft	ft	ft	ft	ft	ft
25	100	125	65	45	(155) (160) (135)	25	50	12
30	250	180	90	60	(200) (205) (215)	30	60	15
35	250	245	125	85	(250) (260) (275)	35	70	17
40	250	320	160	110	(305) (315) (335)	40	80	20
45	350	540	270	180	(360) (380) (400)	45	90	22
50	350	600	300	200	(425) (450) (475)	50	100	25
55	500	660	330	220	(495) (520) (555)	50	100	25
60	500	720	360	240	(570) (600) (640)	50	100	25
65	500	780	390	260	(645) (685) (730)	50	100	25
1	WORK ON FREEWAYS AND EXPRESSWAYS SHALL MEET THE CALTRANS STANDARD PLANS AND STANDARD SPECIFICATION REQUIREMENTS							
2	POSTED SPEED OR OBSERVED OPERATION SPEED (WHICHEVER IS GREATER)							
3	CHANNELIZER SPACING SHALL BE REDUCED BY HALF AT AREAS WHERE WORK IS TAKING PLACE ON CURVES OR AREAS OF HEAD-ON CONFLICT							
4-A	BUFFER SPACE MAY BE INSERTED IN LOW-SPEED URBAN AREAS AND SHOULD BE INSERTED IN HIGH-SPEED URBAN AND RURAL AREAS							
4-B	THE STOPPING SIGHT DISTANCE SHOULD ENABLE ROAD USERS TO SEE THE PRIMARY FLAGGER STATION AND SAFELY STOP							
5	SIGN SPACING IN RURAL AREAS SHOULD BE 500 FT							
6	** TABLE 6F-101 (CA)							



3011 COMCAST PLACE
LIVERMORE, CA 94551



3747 ALPHA WAY
BELLINGHAM, WA 98226



23 MAUCHLY, STE 110
IRVINE, CA 92618

J5 PROGRAM ID: ALP-CA-CPUC
J5 PROJECT ID: P-061500

ISSUE STATUS

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5	05/11/23	PCC # 5	MJC

SEAL



SITE INFORMATION

SITE ADDRESS:
23 WILLOW AVE.
FAIRFAX, CA 94930

SHEET TITLE:

DETAILS

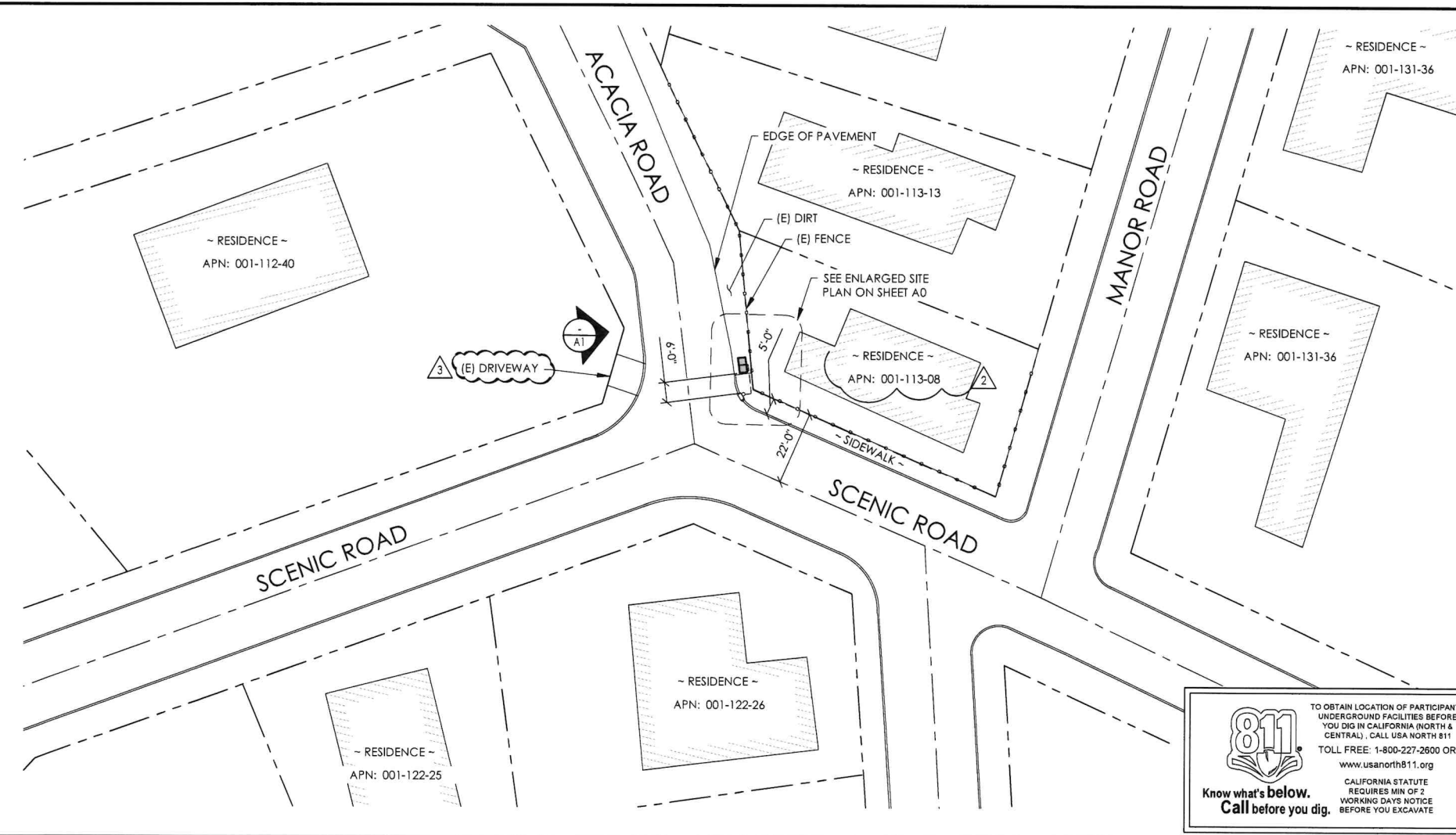
TC1



AE TA3 SCOPE OF WORK

THIS PROJECT MODIFICATION OF EXISTING CONSISTS OF:

- INSTALLATION OF (2) (N) ALPHA PN-4 POWERNODE SYSTEM ENCLOSURES
- INSTALLATION OF (18) (N) 12V ENERSYS SBS 190 BATTERIES
- INSTALLATION OF (1) (N) PRECAST CONCRETE PAD
- REMOVAL & REPLACEMENT OF (E) POWER SUPPLY
- ALL ASSOCIATED ELECTRIC WIRES AND CONDUITS TO CONNECT POWERNODE CABINET TO EXISTING ALPHA CABINET



SITE PLAN

COMCAST

SITE ADDRESS:
76 MANOR ROAD
FAIRFAX, CA 94930

SITE INFORMATION

SITE ADDRESS:	76 MANOR ROAD FAIRFAX, CA 94930
LATITUDE/LONGITUDE (NAD 83):	37.99073374, -122.596378
JURISDICTION:	TOWN OF FAIRFAX
POWER PROVIDER:	PG&E
AMP DRAW:	4.60

DRAWING INDEX

SHEET	DESCRIPTION
T1	TITLE SHEET AND SITE PLAN
LS1	LAND SURVEY
A0	ENLARGED SITE PLANS
A1	ELEVATIONS
D1	DETAILS
TC1	TRAFFIC CONTROL

PROJECT TEAM

OWNER: COMCAST CABLE
3011 COMCAST PLACE
LIVERMORE, CA 94551

ENGINEER/ARCHITECT: J5 INFRASTRUCTURE PARTNERS
JOSE M. MIRANDA
ARCHITECT/ENGINEER CONTACT
PH: (949) 247-7767
EMAIL: jmiranda@j5ip.com
23 MAUCHLY, SUITE 110
IRVINE, CALIFORNIA, 92618

APPLICANT: ALPHA TECHNOLOGIES, INC.
JOHN CLAY
SERVICE OPERATIONS MANAGER
ENERGY SYSTEMS AMERICAS
PH: (480) 220-1786
EMAIL: jclay@alpha.com

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. CALIFORNIA BUILDING STANDARDS CODE, 2019 TRIENNIAL EDITION OF TITLE 24, WITH AN EFFECTIVE DATE OF JANUARY 1, 2020.	PART 6 - CALIFORNIA HISTORICAL BUILDING CODE
PART 10 - CALIFORNIA ADMINISTRATIVE CODE	PART 9 - CALIFORNIA FIRE CODE, BASED ON THE 2018 INTERNATIONAL FIRE CODE
PART 2 - CALIFORNIA BUILDING CODE, BASED ON THE 2018 INTERNATIONAL BUILDING CODE	PART 10 - CALIFORNIA EXISTING BUILDING CODE, BASED ON THE 2016 INTERNATIONAL EXISTING BUILDING CODE
PART 2.5 - CALIFORNIA RESIDENTIAL CODE, BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE	PART 11 - CALIFORNIA GREEN BUILDING STANDARDS CODE (ALSO KNOWN AS CALGREEN)
PART 3 - CALIFORNIA ELECTRICAL CODE, BASED ON THE 2017 NATIONAL ELECTRICAL CODE	PART 12 - CALIFORNIA REFERENCED STANDARDS CODE
PART 4 - CALIFORNIA MECHANICAL CODE, BASED ON THE 2018 UNIFORM MECHANICAL CODE	2. ANSII/TIA-222 (REV H)
PART 5 - CALIFORNIA PLUMBING CODE, BASED ON THE 2018 UNIFORM PLUMBING CODE	3. 2018 NFPA 101, LIFE SAFETY CODE
PART 6 - CALIFORNIA ENERGY CODE	4. 2019 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE
PART 7 - VACANT	5. 2019 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS

GENERAL CONTRACTOR NOTES

DO NOT SCALE DRAWINGS IF NOT FULL SIZE (24 X 36)

CONTRACTOR SHALL VERIFY ALL PLANS AND EXISTING DIMENSIONS AND CONDITIONS ON THE JOB SITE AND SHALL IMMEDIATELY NOTIFY THE ARCHITECT/ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BEAR THE RESPONSIBILITY FOR THE SAME.

COMCAST

3011 COMCAST PLACE
LIVERMORE, CA 94551

alpha
AN ENERSYS COMPANY

3767 ALPHA WAY
BELLINGHAM, WA 98226

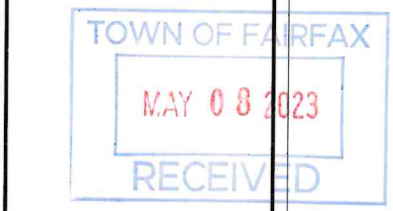
J5 INFRASTRUCTURE

23 MAUCHLY, STE 110
IRVINE, CA 92618

J5 PROGRAM ID: ALP-CA-CPUC
J5 PROJECT ID: P-062591

ISSUE STATUS

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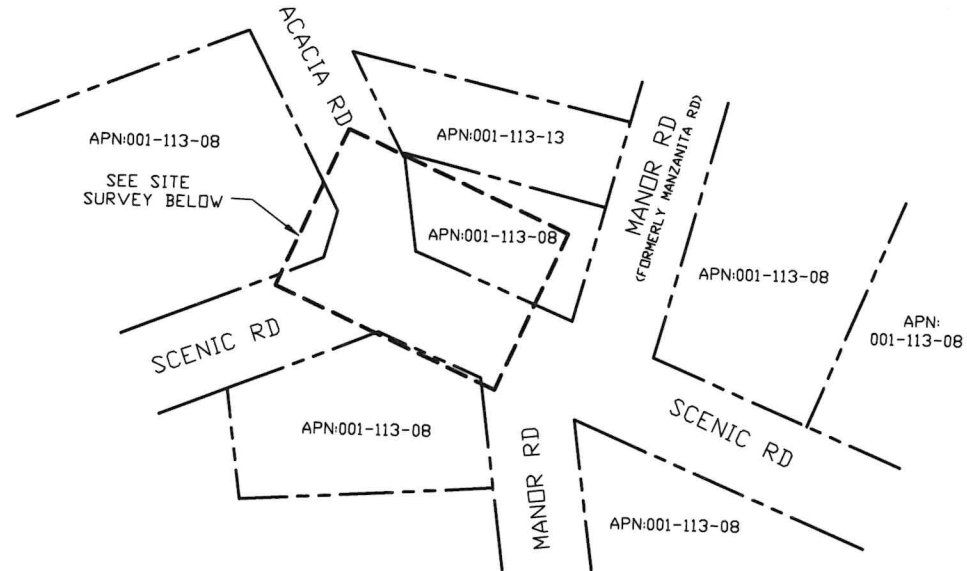
SITE ADDRESS:
76 MANOR ROAD,
FAIRFAX, CA 94930

SHEET TITLE:
T1

TITLE SHEET



VICINITY MAP
N.T.S.



OVERALL SITE
N.T.S.

SURVEY DATE
01/25/2023

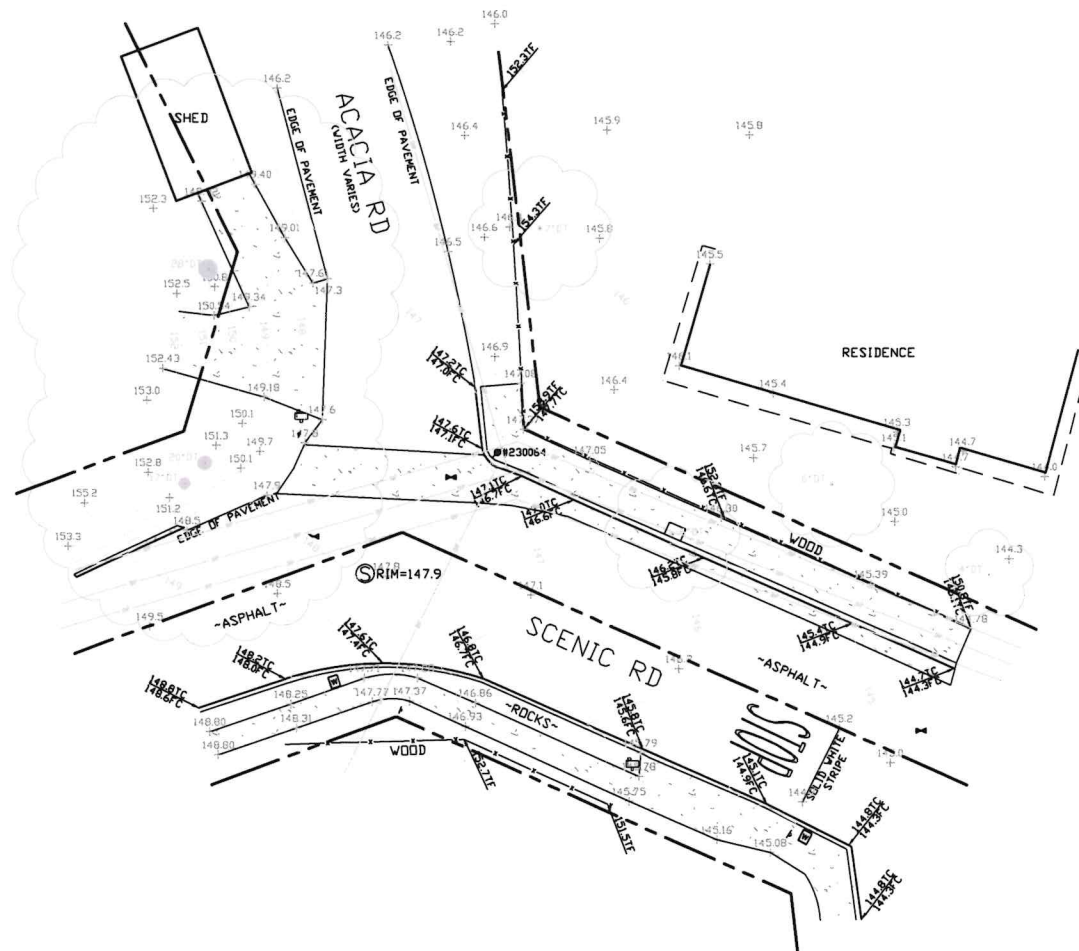
BASIS OF BEARING
BEARINGS SHOWN HEREON ARE BASED UPON U.S. STATE PLANE NAD83 COORDINATE SYSTEM CALIFORNIA STATE PLANE COORDINATE ZONE THREE, DETERMINED BY GPS OBSERVATIONS.

BENCHMARK
PROJECT ELEVATIONS ESTABLISHED FROM GPS DERIVED ORTHOMETRIC HEIGHTS BY APPLICATION OF NGS 'GEOID 18' MODELED SEPARATIONS TO ELLIPSOID HEIGHTS DETERMINED BY OBSERVATIONS OF THE 'CRTN' REAL TIME NETWORK. ALL ELEVATIONS SHOWN HEREON ARE REFERENCED TO NAVD88.

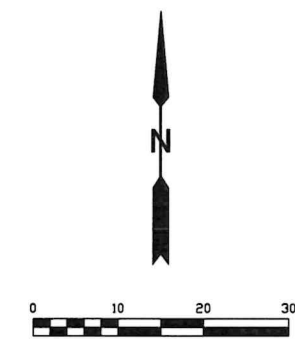
FLOOD ZONE
THIS PROJECT APPEARS TO BE LOCATED WITHIN FLOOD ZONE "X", ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP(S), MAP ID #06041C0451E, DATED 03/17/2014.

UTILITY NOTES
SURVEYOR DOES NOT GUARANTEE THAT ALL UTILITIES ARE SHOWN OR THEIR LOCATIONS ARE DEFINITE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND DEVELOPER TO CONTACT B11 AND ANY OTHER INVOLVED AGENCIES TO LOCATE ALL UTILITIES PRIOR TO CONSTRUCTION. REMOVAL, RELOCATION AND/OR REPLACEMENT IS THE RESPONSIBILITY OF THE CONTRACTOR.

SURVEYOR'S NOTE
THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE REPORT. THE LOCATION AND DIMENSIONS SHOWN WERE TAKEN FROM THE MAP(S) RECORDED IN BOOK(S) 2014 PAGE 4 OF RECORDS OF SURVEYS AND BOOK 5 PAGE 4 OF MAPS, MARIN COUNTY RECORDER AND DOES NOT CONSTITUTE A BOUNDARY SURVEY OF THE PROPERTIES.



SITE SURVEY



LEGEND

- These standard symbols may be found in the drawing.
- [Symbol] CONCRETE
 - [Symbol] PROPERTY LINE
 - [Symbol] CENTER LINE
 - [Symbol] OVERHEAD LINE
 - [Symbol] FENCE
 - [Symbol] ROOF
 - [Symbol] WALL
 - [Symbol] ROCK WALL
 - [Symbol] WATER METER
 - [Symbol] WATER VALVE
 - [Symbol] POWER POLE
 - [Symbol] ELEVATION GRADE
 - [Symbol] GUY WIRE
 - [Symbol] MAILBOX
 - [Symbol] WATER METER
 - [Symbol] SIGN NO STOPPING
 - [Symbol] MANHOLE TELE
 - [Symbol] MANHOLE UTILITY
 - [Symbol] RECTANGLE INLET
 - [Symbol] SHRUB
 - [Symbol] TRUNK
 - [Symbol] CT CONIFEROUS TREE
 - [Symbol] DC DECIDUOUS TREE
 - [Symbol] TC TOP OF CURB
 - [Symbol] FC FACE OF CURB
 - [Symbol] TF TOP OF FENCE
 - [Symbol] TW TOP OF WALL

COMCAST
3011 COMCAST PLACE
LIVERMORE, CA 94551

ALPHA
3767 ALPHA WAY
BELLINGHAM, WA 98226

Eaton Land Surveying, Inc.
15604 Magnolia Rd.
Grass Valley, CA. 95949
Ph. 530.830.0038

DRAWN BY: HE
CHECKED BY: SE

REVISIONS:		
REV	DATE	DESCRIPTION
0	02/06/23	SUBMITTAL

LICENSED LAND SURVEYOR
SHAWN M. EATON
#8644
STATE OF CALIFORNIA
EXP. 12/31/23

PROJECT INFORMATION:
P-062591
73 SCENIC RD.
FAIRFAX, CA. 94930
MARIN COUNTY

SHEET TITLE:
SITE SURVEY

SHEET NUMBER:
LS-1



3011 COMCAST PLACE
LIVERMORE, CA 94551



3767 ALPHA WAY
BELLINGHAM, WA 98226



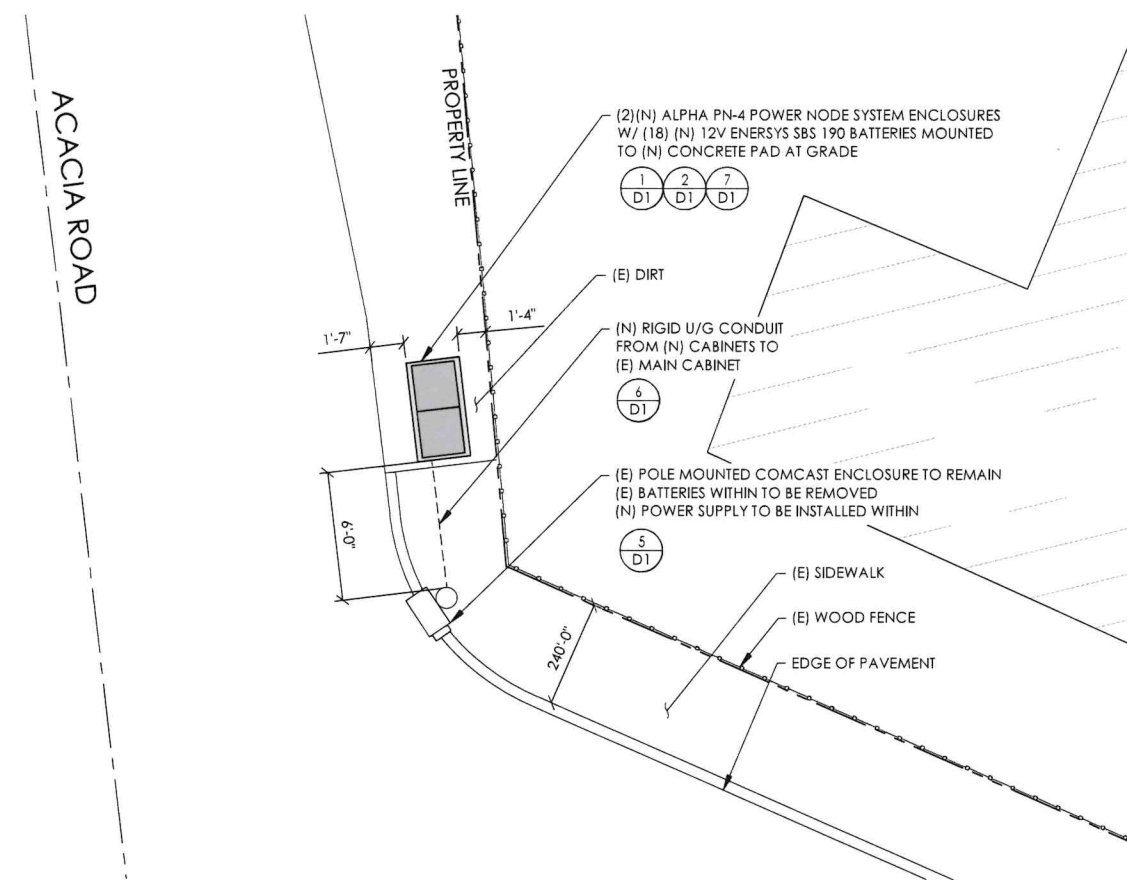
23 MAUCHLY, STE 110
IRVINE, CA 92618

J5 PROGRAM ID: ALP-CA-CPUC
J5 PROJECT ID: P-062591

ISSUE STATUS

REV	DATE	DESCRIPTION	BY
A	09/20/21	90% CD	FR
B	09/27/21	90% CD	JW
0	01/10/22	100% CD	CG
1	05/04/22	PCC#1	IK
2	03/16/23	PCC#2	MZ
3	05/08/23	PCC#3	MJC

PROPOSED ENLARGED SITE PLAN

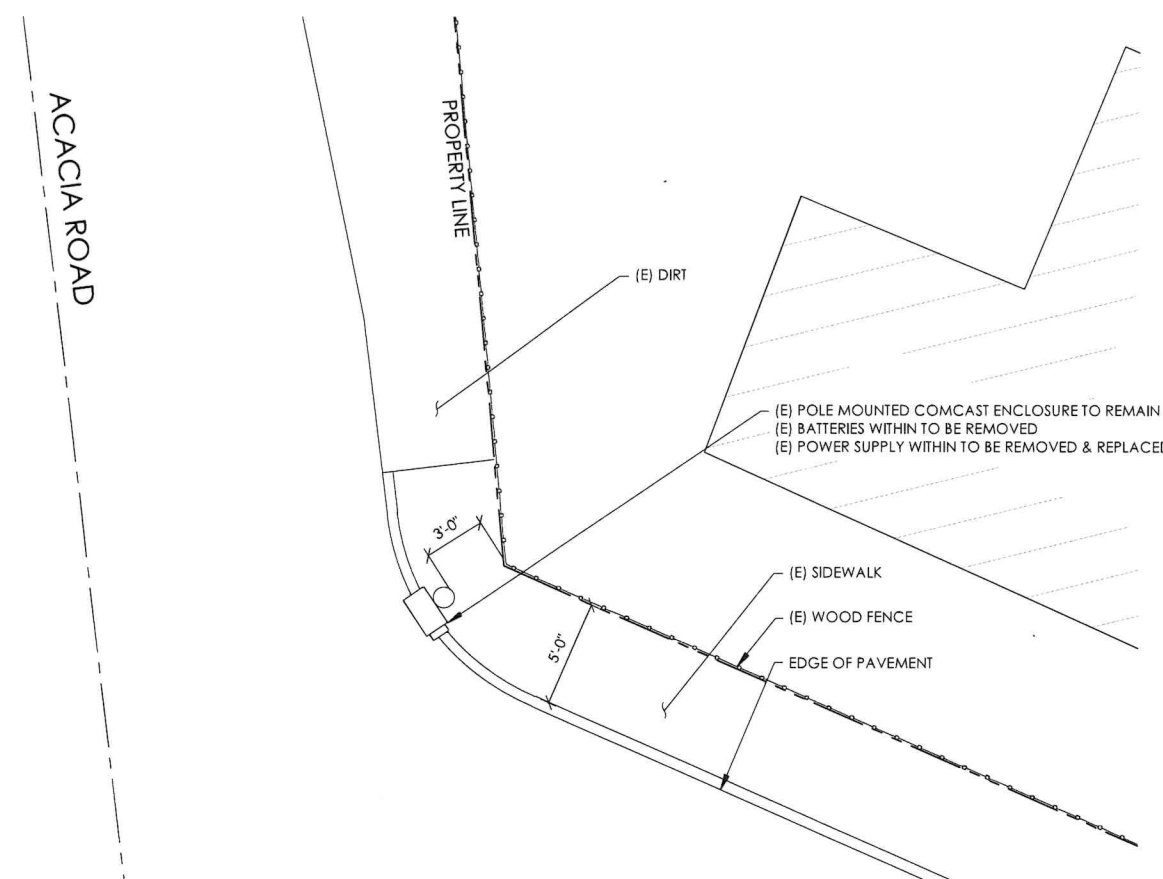


24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"

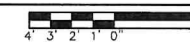


1

EXISTING ENLARGED SITE PLAN



24"x36" SCALE: 1/4" = 1'-0"
11"x17" SCALE: 1/8" = 1'-0"



2

SEAL



SITE INFORMATION

SITE ADDRESS:
76 MANOR ROAD,
FAIRFAX, CA 94930

SHEET TITLE:
**ENLARGED
SITE PLANS**

A0



3011 COMCAST PLACE
LIVERMORE, CA 94551



3747 ALPHA WAY
BELLINGHAM, WA 98226



23 MAUCHLY, STE 110
IRVINE, CA 92618

JS PROGRAM ID: ALP-CA-CPUC
JS PROJECT ID: P-062591

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SEAL



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FAIRFAX, CA 94930

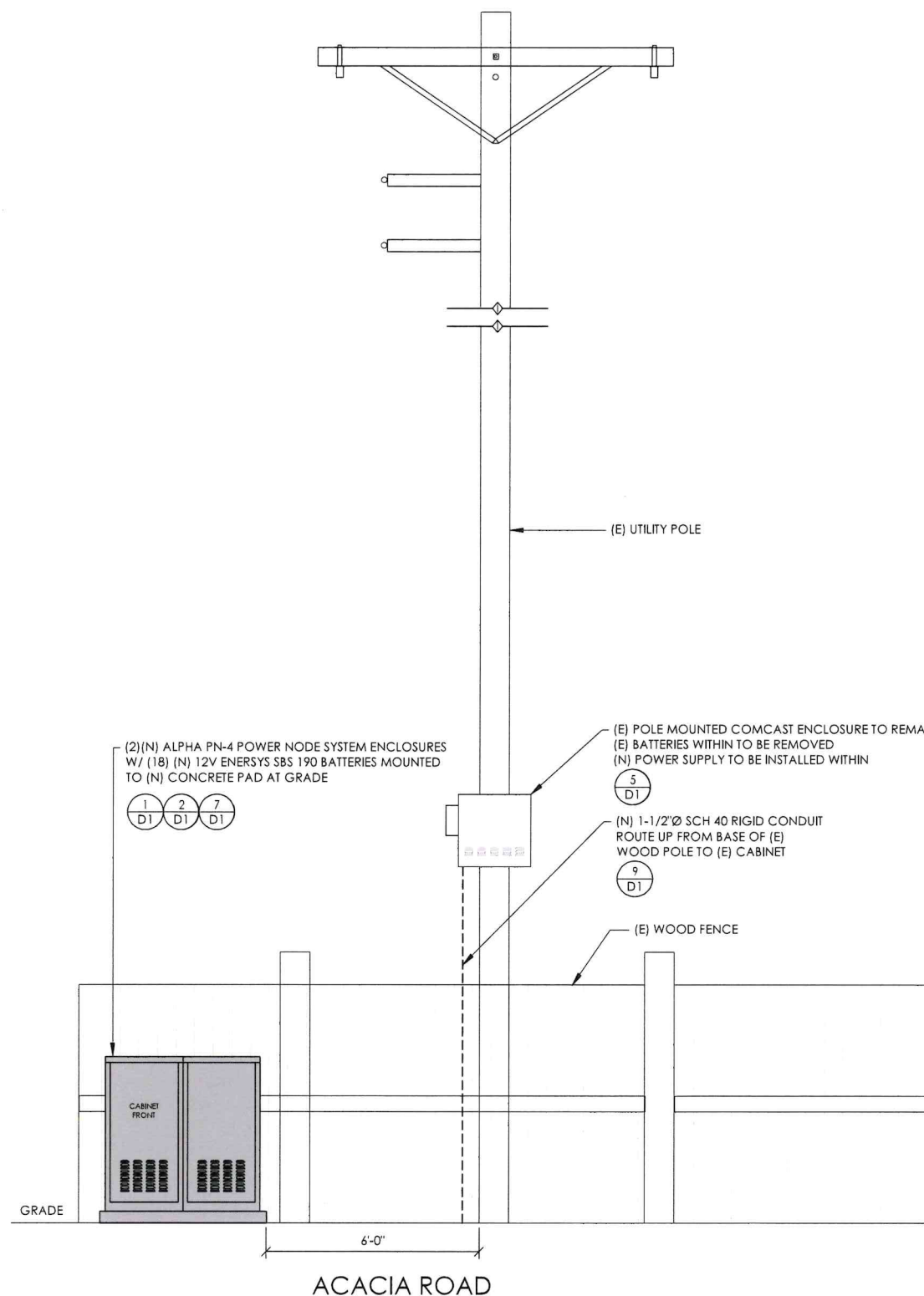
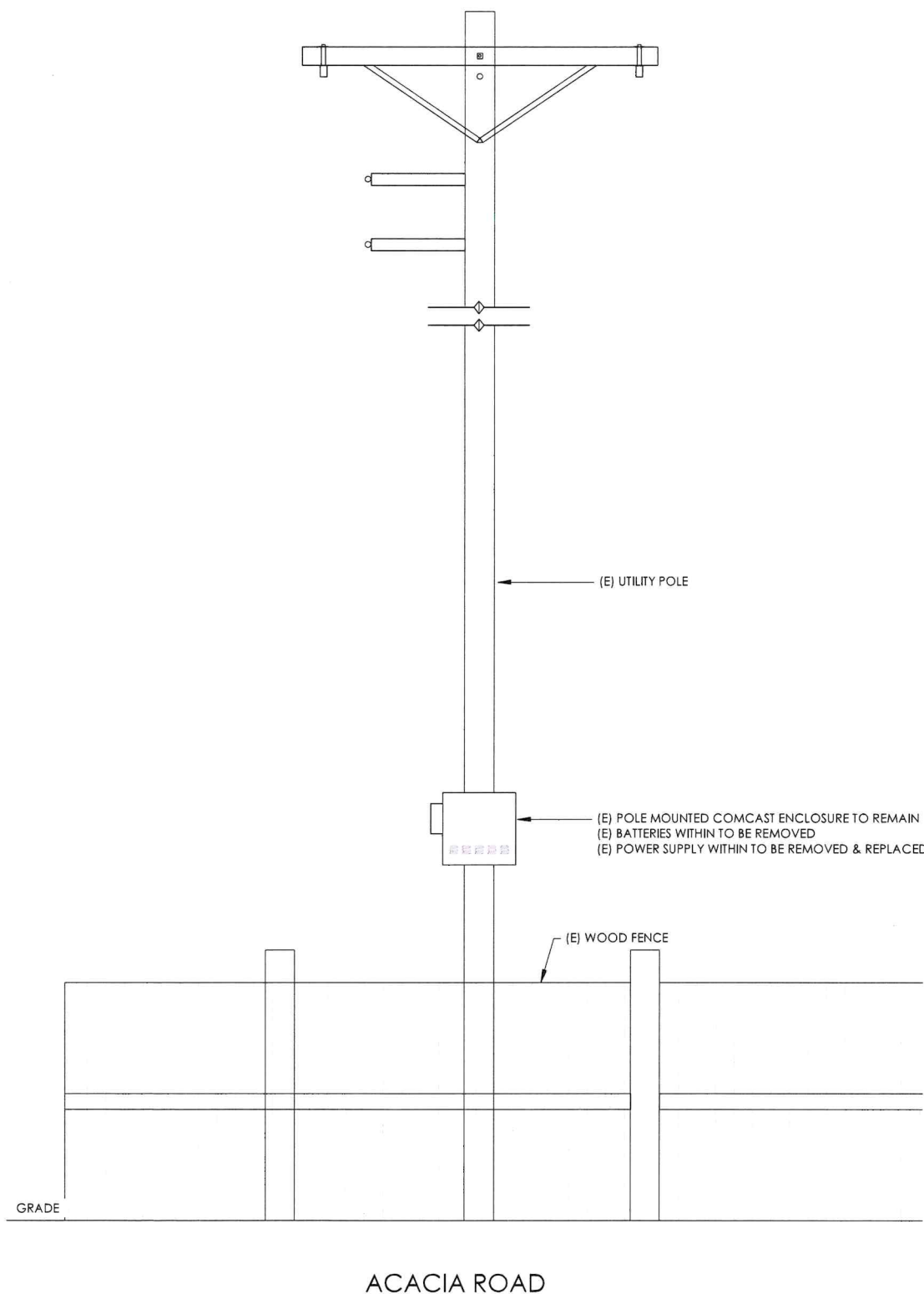
SHEET TITLE:

ELEVATIONS

A1

CONDUIT ROUTING NOTE:
 1. GC TO ROUTE (N) 1-1/2" RIGID U/G CONDUIT FROM (N) CABINETS TO (E) MAIN CABINET FOR (N) BATTERY & INTERFACE ASSOCIATED CABLING. SEE TRENCHING DETAIL ON SHEET D1.

NOTES:
 1. CONTRACTOR TO COMPLY WITH ALL APPLICABLE/REQUIRED INSPECTIONS PER LOCAL JX GUIDELINES.
 2. CONTRACTOR SHALL BE AWARE OF (E) PEDESTRIAN AND VEHICLE ACCESS. CONTRACTOR SHALL NOT BLOCK WALKWAYS, DRIVEWAYS AND/OR OTHER FORMS OF ACCESS. CONTRACTOR SHALL REACH OUT TO ENGINEER IF REVISIONS TO DESIGN HEREON ARE REQUIRED.



EXISTING ELEVATION

24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



2

PROPOSED ELEVATION

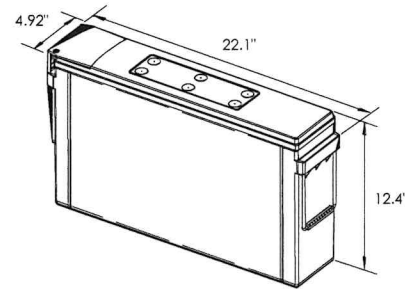
24"x36" SCALE: 1/2" = 1'-0"
11"x17" SCALE: 1/4" = 1'-0"



1



ENERSYS
SBS 190F BATTERY UNIT

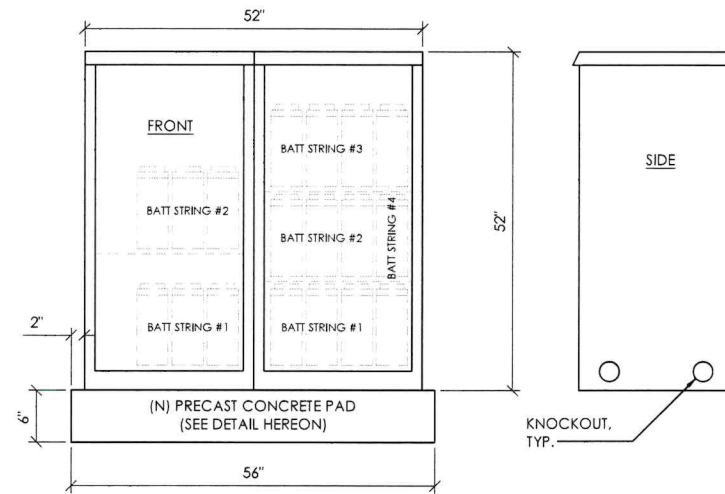


EQUIPMENT SPECIFICATIONS (1 UNIT)	
MFG:	ENERSYS
MODEL:	SBS 190 FT
HEIGHT:	12.4 IN
WIDTH:	4.92 IN
LENGTH:	22.1 IN
WEIGHT:	132 LBS

BATTERY INFORMATION (VRLA TYPE BATTERIES)

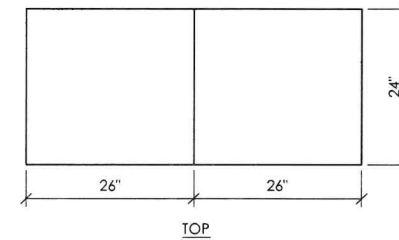
INSTALL STATUS	BATTERY MODEL	TOTAL # OF BATTERY UNITS INSTALLED	VOLTAGE (V)	AMP-HOURS (AH)	KWh, Kilowatt-hours = (V*AH)/1000	TOTAL BATTERY CAPACITY, KWh	STATIONARY BATTERY STORAGE SYSTEM THRESHOLD QUANTITY, PER CFC 2019 SECTION 1206	STATIONARY BATTERY STORAGE SYSTEM CODE CHECK	TOTAL ELECTROLYTE VOLUME (GALLONS) PER UNIT	TOTAL ELECTROLYTE BY VOLUME (GALLONS) =
PROPOSED	POWERSAFE SBS 190F	18	12	190	2.28	41.04			2.34	42.12
TOTAL		18				41.04	70	CFC 2019 SECTION 1206 DOES NOT APPLY		42.12

7 BATTERY SPECIFICATIONS
N.T.S.

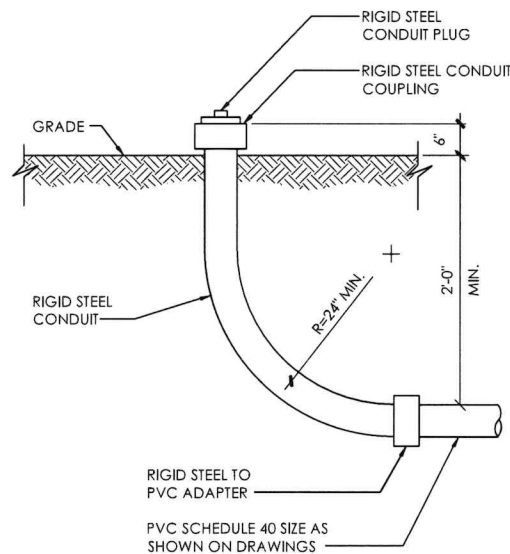


CABINET SPECIFICATIONS

MANUFACTURER:	ALPHA
MODEL:	PN-4
HEIGHT:	52"
WIDTH:	26"
DEPTH:	24"
WEIGHT (EMPTY):	360 LBS.
WEIGHT (W/ BATTERIES):	2,736 LBS.
MATERIAL:	ALUMINUM
BATTERY CONFIGURATION:	
CABINET #1:	(4) BATTERY STRINGS
CABINET #2:	(2) BATTERY STRINGS



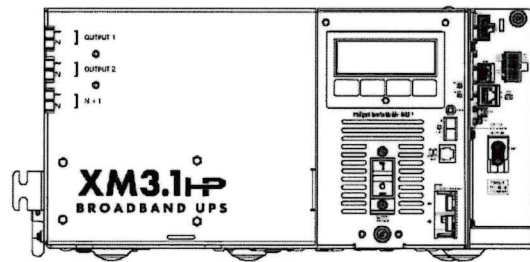
1 DUAL EQUIPMENT CABINET DETAIL
N.T.S.



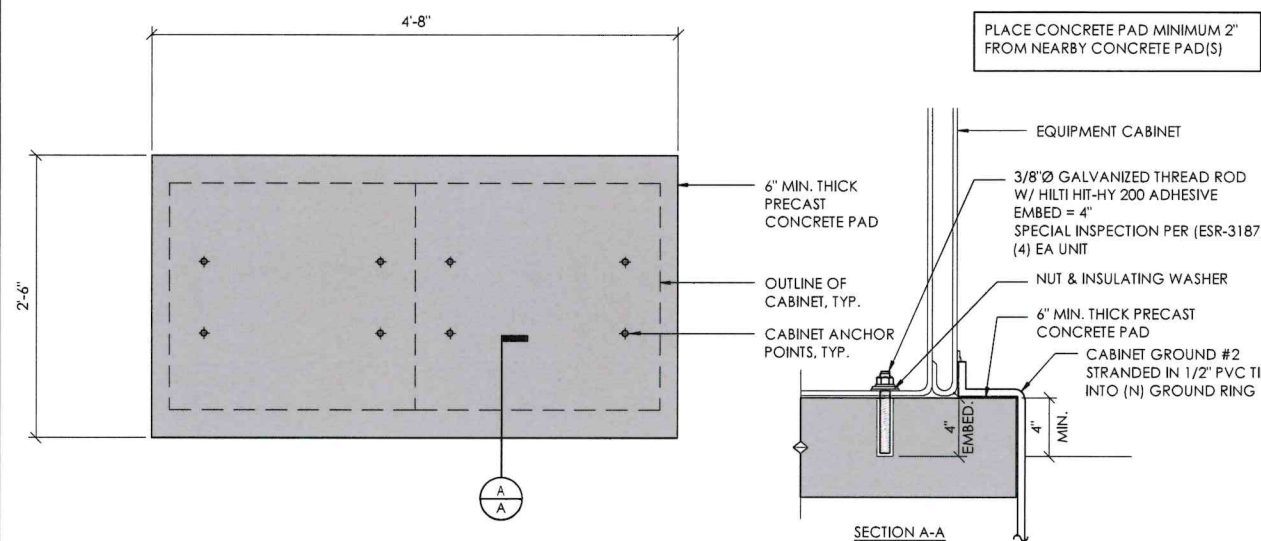
NOTE:
1. USE MANUFACTURER SUPPLIED MOUNTING HARDWARE.

NOMINAL INPUT VOLTAGE: 120V AC
OUTPUT VOLTAGE: 63/89V AC

EQUIPMENT SPECIFICATIONS	
MFG:	ALPHA
MODEL:	XM3.1-HP
HEIGHT:	7.76 IN
WIDTH:	16.43 IN
DEPTH:	10.57 IN
WEIGHT:	61 LBS



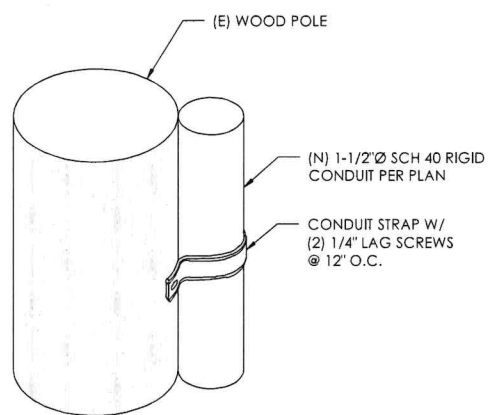
8 STUB-UP DETAIL
N.T.S.



PLACE CONCRETE PAD MINIMUM 2" FROM NEARBY CONCRETE PAD(S)

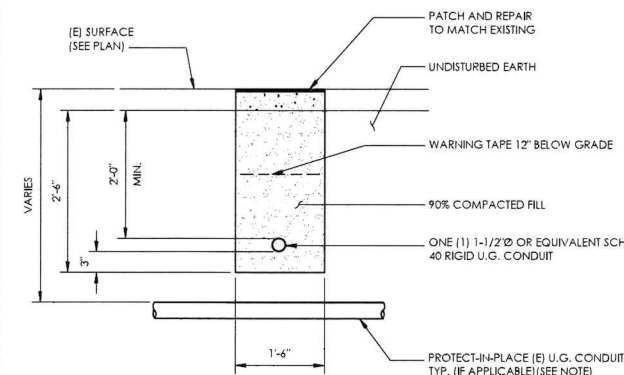
2 CONCRETE PAD & ANCHORAGE DETAIL
N.T.S.

NOTE:
1. CONTRACTOR TO VERIFY RISER MOUNTING REQUIREMENTS W/ POLE OWNER AND/OR POWER COMPANY



9 CONDUIT RISER ATTACHMENT DETAIL
N.T.S.

NOTE:
1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR HAS THE RESPONSIBILITY TO LOCATE ALL EXISTING UTILITIES, CONDUITS WHETHER OR NOT SHOWN ON THE PLANS, AND TO PROTECT THEM FROM DAMAGE.



6 TRENCHING DETAIL
N.T.S.

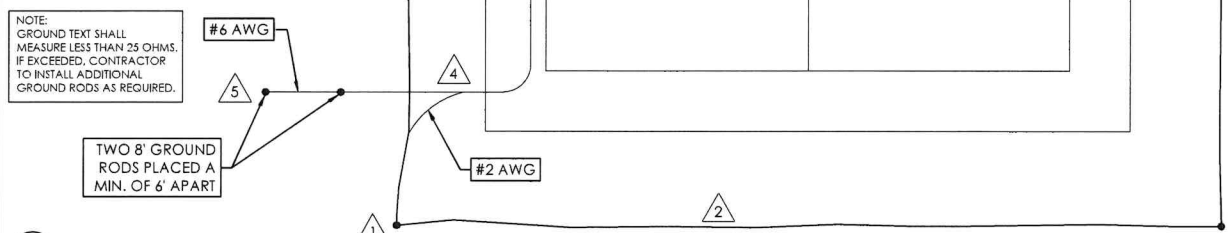
LIGHTNING PROTECTION (OPTIONAL)

- △ 1/2"x8" COPPER GROUND ROD, FOUR PLACES, DRIVEN ABOUT 2 FEET (TYP.) FROM THE CORNERS OF THE PAD.
- △ #2 BARE COPPER WIRE LOOP TERMINATED TO EACH GROUND ROD AND BURIED BELOW GRADE 18 INCHES. CORROSION-PROOF CONNECTIONS (25+ YEAR LIFE-SPAN) AND HARDWARE SUITABLE FOR DIRECT BURIAL MUST BE USED.
- △ #2 BARE COPPER WIRE FROM LOOP TO THE ENCLOSURE.
- △ WHEN THE ELECTRICAL SUPPLY IS A PRIMARY SERVICE (NOT A SECONDARY OR FEEDER SERVICE) A #2 BARE COPPER WIRE MUST BE BOND THE LIGHTNING PROTECTION LOOP TO THE GROUNDING ELECTRODE CONDUCTOR WHERE THEY ARE CLOSEST.

SERVICE GROUNDING (REQUIRED)

- △ #6 BARE COPPER WIRE FROM SERVICE NEUTRAL/GROUND BAR WITH 2 GROUND RODS LOCATED 6' APART.

NOTE:
GROUND TEXT SHALL MEASURE LESS THAN 25 OHMS. IF EXCEEDED, CONTRACTOR TO INSTALL ADDITIONAL GROUND RODS AS REQUIRED.



3 GROUNDING DETAIL
N.T.S.

3011 COMCAST PLACE
LIVERMORE, CA 94551

3767 ALPHA WAY
BELLINGHAM, WA 98226

23 MAUCHLY, STE 110
IRVINE, CA 92618

JS PROGRAM ID: ALP-CA-CPUC
JS PROJECT ID: P-062591

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1	05/04/22	PCC#1	IK
2	03/16/23	PCC#2	MZ
3	05/08/23	PCC#3	MJC

SEAL

SITE INFORMATION

SITE ADDRESS:
76 MANOR ROAD,
FAIRFAX, CA 94930

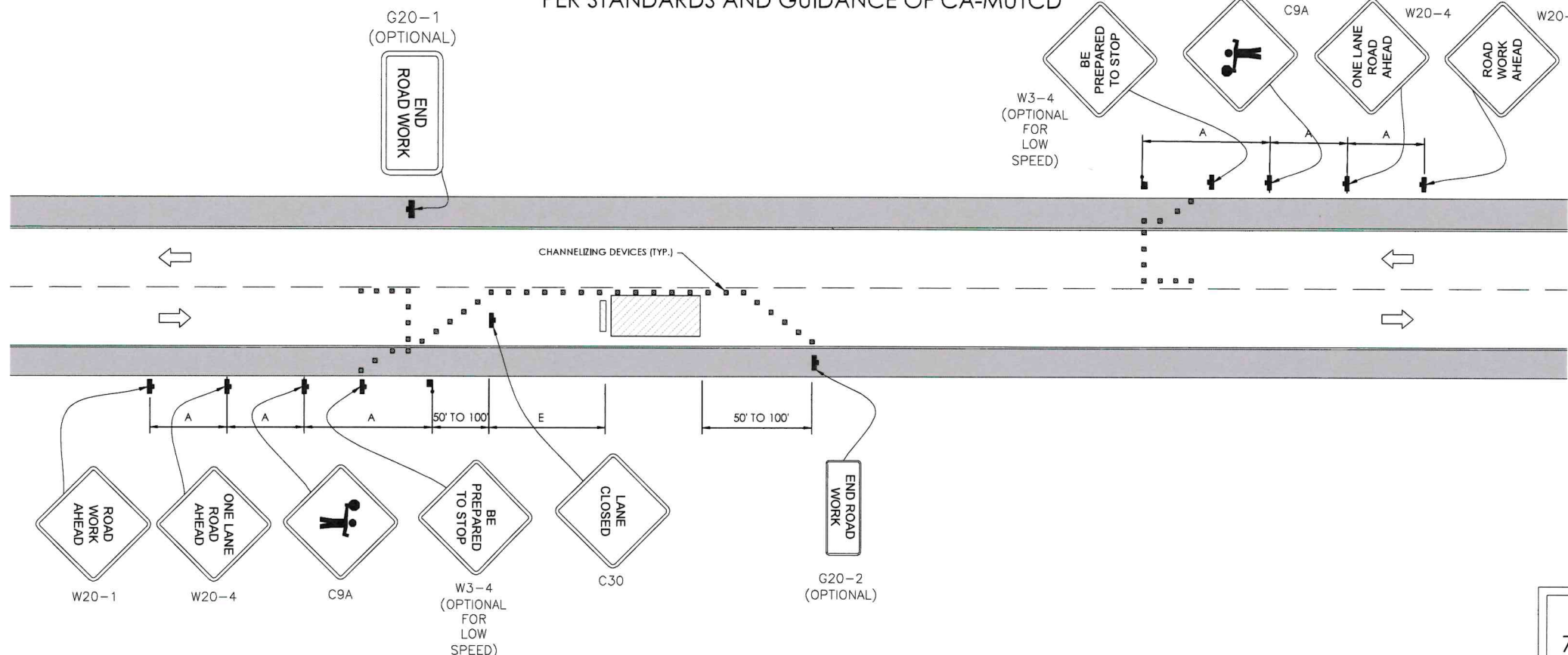
SHEET TITLE:
DETAILS

D1

TRAFFIC CONTROL FOR LANE CLOSURE ON TWO LANE ROAD USING FLAGGERS

WORK AREA TRAFFIC CONTROL HANDBOOK 2019 14TH EDITION

PER STANDARDS AND GUIDANCE OF CA-MUTCD



GENERAL NOTES:

1. ALL WORK AND MATERIALS SHALL COMPLY WITH THE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2019, 14TH EDITION.
2. ALL STRIPING AND MARKINGS SHALL CONFORM TO THE STATE OF CALIFORNIA 2010 STANDARD PLAN A20A.
3. THE CONTRACTOR SHALL PROVIDE FOR ACCESS TO ALL ADJACENT PROPERTIES.
4. FLASHING YELLOW BEACONS, TYPE "B", SHALL BE USED ON ALL W20-1 SIGNS AND ON ALL TYPE III BARRICADES GUARDING THE WORK OVERNIGHT.
5. ALL SIGNS SHALL BE REFLECTORIZED AND STANDARD SIZE.
6. ALL TUBULAR DELINEATORS AND CONES SHALL BE 28" MINIMUM HEIGHT, REFLECTORIZED AND MAINTAINED ERECT IN THE INDICATED POSITION AT ALL TIMES, AND SHALL BE REPAIRED, REPLACED, OR CLEANED AS NECESSARY TO PRESERVE THEIR APPEARANCE AND CONTINUITY, AND SHALL INCLUDE A 12" HIGH-INTENSITY REFLECTORIZED SLEEVE..
7. THE CONTRACTOR SHALL MAINTAIN, ON A CONTINUOUS BASIS, ALL SIGNS, DELINEATORS, BARRICADES, ETC., TO ENSURE PROPER FLOW AND SAFETY OF TRAFFIC DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL HAVE SIGNS, DELINEATORS, BARRICADES, ETC., PROPERLY INSTALLED PRIOR TO COMMENCING CONSTRUCTION.
9. CONSTRUCTION OPERATIONS SHALL BE CONDUCTED IN SUCH A MANNER AS TO CAUSE AS LITTLE INCONVENIENCE AS POSSIBLE TO ABUTTING PROPERTY OWNERS.
10. ADDITIONAL TRAFFIC CONTROLS, TRAFFIC SIGNS OR BARRICADING MAY BE REQUIRED IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PLACEMENT OF ANY ADDITIONAL DEVICES NECESSARY TO ASSURE THE SAFETY TO THE PUBLIC AT ALL TIMES DURING CONSTRUCTION.
11. EXACT LOCATION AND TYPE OF CONSTRUCTION SIGNS SHALL BE DIRECTED BY THE ENGINEER BASED UPON CONSTRUCTION CONDITIONS.
12. MOVE DELINEATORS AND/OR CONES TO SIDEWALK DURING NON-WORKING HOURS. REMOVE BARRICADES ETC., FROM TRAVEL LANE.
13. REMOVE OR TURN OFF SIGNS DURING NON-WORKING HOURS.
14. ALL CONFLICTING LINES, EXISTING CURB PAINT, AND MARKINGS SHALL BE REMOVED BY WET SANDBLASTING OR OTHER APPROVED METHOD PRIOR TO INSTALLATION OF NEW/TEMPORARY STRIPING. ALL CONFLICTING RAISED PAVEMENT MARKERS SHALL BE REMOVED. PAVEMENT THAT IS DAMAGED DUE TO REMOVAL OF MARKERS SHALL BE REPAIRED TO THE SATISFACTION OF THE CITY ENGINEER AND/OR STATE INSPECTOR.
15. DIMENSIONS BASED ON GIS MAPPING DATA AND/OR RECORD DRAWINGS AND NOT A SURVEY.
16. TIME OF LANE CLOSURE TO BE IN ACCORDANCE WITH REQUIREMENTS OF JURISDICTION.
17. ADDITIONAL ADVANCED FLAGGERS MAY BE REQUIRED. FLAGGER SHOULD STAND IN A CONSPICUOUS PLACE, BE VISIBLE TO APPROACHING TRAFFIC. PLACE A MINIMUM OF FOUR CONES AT 40-FT INTERVAL IN ADVANCE OF FLAGGER STATION AS SHOWN.

SPEED MPH (2)	DIMENSION A/B/C ADVANCE WARNING SIGN SPACING (5)	DIMENSION L MERGIN TAPER LENGTH	DIMENSION L/2 SHIFTING TAPER LENGTH	DIMENSION L/3 MINIMUM SHOULDER TAPER	DIMENSION "E" BUFFER SPACE (4-A) AND FLAGGER STATION STOPPING SIGHT DISTANCE (4-B) (0%) (-3%) (-6%)	MAXIMUM CHANNELIZER TAPER SPACING (3)	MAXIMUM CHANNELIZER TANGENT SPACING (3)	MAXIMUM CHANNELIZER CONFLICT SPACING (6)
MPH	FT	ft	ft	ft	ft	ft	ft	ft
25	100	125	65	45	(155) (160) (135)	25	50	12
30	250	180	90	60	(200) (205) (215)	30	60	15
35	250	245	125	85	(250) (260) (275)	35	70	17
40	250	320	160	110	(305) (315) (335)	40	80	20
45	350	540	270	180	(360) (380) (400)	45	90	22
50	350	600	300	200	(425) (450) (475)	50	100	25
55	500	660	330	220	(495) (520) (555)	50	100	25
60	500	720	360	240	(570) (600) (640)	50	100	25
65	500	780	390	260	(645) (685) (730)	50	100	25
1	WORK ON FREEWAYS AND EXPRESSWAYS SHALL MEET THE CALTRANS STANDARD PLANS AND STANDARD SPECIFICATION REQUIREMENTS							
2	POSTED SPEED OR OBSERVED OPERATION SPEED (WHICHEVER IS GREATER)							
3	CHANNELIZER SPACING SHALL BE REDUCED BY HALF AT AREAS WHERE WORK IS TAKING PLACE ON CURVES OR AREAS OF HEAD-ON CONFLICT							
4-A	BUFFER SPACE MAY BE INSERTED IN LOW-SPEED URBAN AREAS AND SHOULD BE INSERTED IN HIGH-SPEED URBAN AND RURAL AREAS							
4-B	THE STOPPING SIGHT DISTANCE SHOULD ENABLE ROAD USERS TO SEE THE PRIMARY FLAGGER STATION AND SAFELY STOP							
5	SIGN SPACING IN RURAL AREAS SHOULD BE 500 FT							
6	** TABLE 6F-101 (CA)							



3011 COMCAST PLACE
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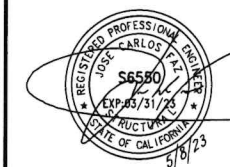
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SEAL



SITE INFORMATION

SITE ADDRESS:
76 MANOR ROAD,
FAIRFAX, CA 94930

SHEET TITLE:

TRAFFIC CONTROL

TC1

Myself and or Alvaro from our BP company who performing our installations for this project will be your contacts.

I spoke to Alvaro earlier today, he will be reviewing his calendar for next week to set up some time with you to review our options at this location.

Please be advised an underground vault option is not possible, however we are willing to discuss any other options that are available to consider.

Do you have a preference phone number as well we can call?

Please let us know.

Billy

From: bobmellin@aol.com <bobmellin@aol.com>

Sent: Tuesday, May 2, 2023 8:36 AM

To: Glisson, Billy <billy_glisson2@comcast.com>

Cc: mlockaby@townoffairfax.org; ourcityourmayor@gmail.com; stevefranks36@gmail.com; mononi.gary@gmail.com; ineal@townoffairfax.org

Subject: [EXTERNAL] Underground Vault Decision Maker 's name

Mr. Glisson,

We communicated last week regarding the Battery installation at 23 Willow Avenue in Fairfax.

Can you give me contact information for the Comcast person or team that will recommend the location of the Battery installation -- Underground at 23 Willow, or on the sidewalk in front of my house at 20 Willow, or at a different location.

Please respond by this Thursday, May, 4th.

Thank you,

Robert Mellin

Linda Neal

From: Glisson, Billy <billy_glisson2@comcast.com>
Sent: Wednesday, May 3, 2023 9:19 AM
To: bobmellin@aol.com
Cc: Gandara Astray, Alvaro (Energys.Com - Guest); Linda Neal
Subject: RE: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 (East Coast Time -- 3 hours ahead of you)

Good morning Mr. Mellin,

We have been requested to meet with you at the site to discuss options per the planning commission, based on your response below you will be unavailable to do so please confirm.

Regarding the underground request, based on the design of the cabinet and its operational specifications to support the 72hr timeframe an underground is not an option.

We did discuss this in length at the planning commission meeting with the commissioners.

Regards,

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From: bobmellin@aol.com <bobmellin@aol.com>
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Subject: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 (East Coast Time -- 3 hours ahead of you)

Mr. Glisson,

Thank you for responding promptly.

We would like to know WHY an underground vault is not possible.

I look forward to your call. I will be in New York next week on Eastern Time (3 hours ahead of CA).

Robert Mellin
20 Willow Avenue
Fairfax, CA
518.407.9200

-----Original Message-----

From: Glisson, Billy <billy_glisson2@comcast.com>
To: bobmellin@aol.com <bobmellin@aol.com>; Gandara Astray, Alvaro (Energys.Com - Guest) <alvaro.gandara@energys.com>
Cc: mlockaby@townoffairfax.org <mlockaby@townoffairfax.org>; ourcityourmayor@gmail.com <ourcityourmayor@gmail.com>; stevefranks36@gmail.com <stevefranks36@gmail.com>; mononi.gary@gmail.com <mononi.gary@gmail.com>; lneal@townoffairfax.org <lneal@townoffairfax.org>
Sent: Tue, May 2, 2023 7:39 pm
Subject: RE: [EXTERNAL] Underground Vault Decision Maker 's name

Good afternoon Mr. Mellin,

Myself and or Alvaro from our BP company who performing our installations for this project will be your contacts.

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Please respond by this Thursday, May, 4th.

Thank you,

Robert Mellin

415-458-2370

From: Glisson, Billy <billy_glisson2@comcast.com>
Sent: Tuesday, May 2, 2023 4:39 PM
To: bobmellin@aol.com; Gandara Astray, Alvaro (Enersys.Com - Guest) <alvaro.gandara@enersys.com>
Cc: Mark Lockaby <mlockaby@townoffairfax.org>; ourcityyourmayor@gmail.com; stevefranks36@gmail.com; mononi.gary@gmail.com; Linda Neal <lneal@townoffairfax.org>
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Please respond by this Thursday, May, 4th.

Thank you,

Robert Mellin

I know the proposed cabinet is inappropriate for underground installation -- I am suggesting a standard waterproof vault.

I am communicating with architect Jeff Kroot of San Anselmo for further insight into options and will be prepared to discuss his input as well.

Robert Mellin
518.407.9200

-----Original Message-----

From: Glisson, Billy <billy_glisson2@comcast.com>

To: bobmellin@aol.com <bobmellin@aol.com>

Cc: Gandara Astray, Alvaro (Enersys.Com - Guest) <alvaro.gandara@enersys.com>; Linda Neal <lneal@townoffairfax.org>

Sent: Wed, May 3, 2023 12:19 pm

Subject: RE: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 (East Coast Time -- 3 hours ahead of you)

Good morning Mr. Mellin,

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Robert Mellin
20 Willow Avenue
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518.407.9200

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From: Glisson, Billy <billy_glisson2@comcast.com>

To: bobmellin@aol.com <bobmellin@aol.com>; Gandara Astray, Alvaro (Enersys.Com - Guest) <alvaro.gandara@enersys.com>

Cc: mlockaby@townoffairfax.org <mlockaby@townoffairfax.org>; ourcityourmayor@gmail.com <ourcityourmayor@gmail.com>; stevefranks36@gmail.com <stevefranks36@gmail.com>; mononi.gary@gmail.com <mononi.gary@gmail.com>; lneal@townoffairfax.org <lneal@townoffairfax.org>

Sent: Tue, May 2, 2023 7:39 pm

Subject: RE: [EXTERNAL] Underground Vault Decision Maker 's name

Good afternoon Mr. Mellin,

Linda Neal

From: bobmellin@aol.com
Sent: Monday, May 8, 2023 7:06 PM
To: Billy_Glisson2@comcast.com
Cc: alvaro.gandara@enersys.com; Linda Neal
Subject: Re: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 11 a.m. PT Monday, May 8th

Mr. Glisson,

Correct. We continue to oppose installation of the cabinet at 20 Willow.

I again thank you for explaining the position Comcast is taking, but we don't agree with it and will do what we can to stop the installation in front of 20 Willow Avenue.

Robert Mellin

-----Original Message-----

From: Glisson, Billy <Billy_Glisson2@comcast.com>
To: bobmellin@aol.com <bobmellin@aol.com>
Cc: Gandara Astray, Alvaro (Enersys.Com - Guest) <alvaro.gandara@enersys.com>; Linda Neal <lneal@townoffairfax.org>
Sent: Mon, May 8, 2023 7:59 pm
Subject: RE: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 11 a.m. PT Monday, May 8th

Mr. Mellin,

Thank you for taking my call earlier today, please let me know if you have any further questions/concerns regarding this item.

Per our conversation, I understand you as well as others per your statement are still opposing the cabinet location at this location.

Regards,

Billy

From: bobmellin@aol.com <bobmellin@aol.com>
Sent: Friday, May 5, 2023 6:19 PM
To: Glisson, Billy <Billy_Glisson2@comcast.com>
Subject: Re: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 11 a.m. PT Monday, May 8th

Mr. Glisson,

I will be available Monday at 11 your time. No need to send me an invitation. Call when you can.

Robert Mellin

-----Original Message-----

From: Glisson, Billy <[Billy_Glisson2@comcast.com](mailto: Billy_Glisson2@comcast.com)>
To: [bobmellin@aol.com](mailto: bobmellin@aol.com) <[bobmellin@aol.com](mailto: bobmellin@aol.com)>
Cc: Gandara Astray, Alvaro (Enersys.Com - Guest) <[alvaro.gandara@enersys.com](mailto: alvaro.gandara@enersys.com)>
Sent: Fri, May 5, 2023 6:42 pm
Subject: RE: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 11 a.m. PT Monday, May 8th

Perfect, I confirmed with your daughter she is not available then,

Would it be best to send your meeting invite?

From: bobmellin@aol.com <bobmellin@aol.com>

Sent: Thursday, May 4, 2023 7:44 PM

To: Glisson, Billy <billy_glisson2@comcast.com>

Subject: Re: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 11 a.m. PT Monday, May 8th

Mr. Glisson,

Yes, Monday at 11 a.m. your time works for me.

I believe my daughter will not be available then due to travel or work but I don't know for sure.

Sincerely,

Robert Mellin

-----Original Message-----

From: Glisson, Billy <billy_glisson2@comcast.com>

To: bobmellin@aol.com <bobmellin@aol.com>

Cc: Gandara Astray, Alvaro (Enersys.Com - Guest) <alvaro.gandara@enersys.com>; lneal@townoffairfax.org <lneal@townoffairfax.org>; jkarch2@comcast.net <jkarch2@comcast.net>; ourcityyourmayor@gmail.com <ourcityyourmayor@gmail.com>; mlockaby@townoffairfax.org <mlockaby@townoffairfax.org>

Sent: Thu, May 4, 2023 2:20 pm

Subject: RE: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 (East Coast Time) re Battery Cabinet at 23 Willow Avenue

Mr. Mellin,

Would Monday @11am PST/2pm EST be acceptable to you?

Also, I have been contacted by your daughter who would like to discuss the situation as well. I have requested with her if a joint conversation would be possible to streamline the conversation and process for this site?

I'm waiting for her response to both requests.

Please let me know your thought for these requests.

Billy

From: bobmellin@aol.com <bobmellin@aol.com>

Sent: Thursday, May 4, 2023 10:17 AM

To: Glisson, Billy <billy_glisson2@comcast.com>

Cc: Gandara Astray, Alvaro (Enersys.Com - Guest) <alvaro.gandara@enersys.com>; lneal@townoffairfax.org; jkarch2@comcast.net; ourcityyourmayor@gmail.com; mlockaby@townoffairfax.org

Subject: [EXTERNAL] Call # for Robert Mellin: 518.407.9200 (East Coast Time) re Battery Cabinet at 23 Willow Avenue

Mr. Glisson,

Thank you for your response.

I am in New York next week and I have a standing meeting on Wednesdays from noon to 4 pm your time when I am unavailable.

Other than that, please call me at 518.407.9200 at your convenience so we can discuss options.

The Town of Fairfax planning commission has requested we attempt to meet you and any others in the neighborhood to discuss the available options of installing the cabinet prior the next May meeting on the 18th.

Please let me know and what is the best time/phone number to connect, I have CC our PM for the project as well Linda Neal from the Town of Fairfax for awareness of your outreach.

Looking forward in speaking with you further.

Regards,

Billy

From: Haley Mellin <haley.mellin@gmail.com>
Sent: Wednesday, May 3, 2023 6:18 PM
To: Glisson, Billy <billy_glisson2@comcast.com>
Subject: [EXTERNAL] [20 Willow Avenue, Fairfax, CA](#)

Dear Billy,

I have resided at [20 Willow Avenue, Fairfax, CA](#) for the past 6 years. I understand you are in communications with my father, Robert.

I registered a complaint as to the location of the proposed Comcast Box. It will lower the property value, block my visibility to the street when leaving the driveway, and cause road closures and other issues. In addition, when I inquired about the EMF's I was told those studies didn't exist.

How do I proceed with my concerns and a review that you have looked for other locations. There is plenty of room for the box across the street, for instance, and you wouldn't have to close the street for the construction. This sort of box is best in a commercial zone.

Best,

Dr. Haley Mellin

Linda Neal

From: Haley Mellin <haley.mellin@gmail.com>
Sent: Thursday, May 4, 2023 5:18 PM
To: Glisson, Billy
Cc: Gandara Astray, Alvaro (Enersys.Com - Guest); Linda Neal
Subject: Re: [EXTERNAL] 20 Willow Avenue, Fairfax, CA

Hi Billy,

Thanks for writing. I am on the road on Monday and so I am not able to do your suggested time of 11 am.

I can do Tuesday at 12:30, 3 pm or 3:30 pm via phone. I prefer a one on one conversation, as we have different concerns.

Thank you,
Haley

On Thu, May 4, 2023 at 2:17 PM Glisson, Billy <billy_glisson2@comcast.com> wrote:

Haley,

Would Monday @11am work for you? Also I would like to propose your father to join us to streamline the process and conversation pieces.... Would you oppose this proposal?

He has emailed me on a separate email thread requesting a similar phone conversation, I'm going to propose the same to him with the goal this will be acceptable to both of you.

Please let me know.

Billy

From: Haley Mellin <haley.mellin@gmail.com>
Sent: Thursday, May 4, 2023 9:01 AM
To: Glisson, Billy <billy_glisson2@comcast.com>
Cc: Gandara Astray, Alvaro (Enersys.Com - Guest) <alvaro.gandara@enersys.com>; Linda Neal <lneal@townoffairfax.org>
Subject: Re: [EXTERNAL] 20 Willow Avenue, Fairfax, CA

Hi Billy,

You can continue to communicate with us both as we are individuals. I welcome setting up a phone call with you to discuss the options for installment. My number is 415-497-6902. Please suggest a time you'd like to do that, I begin by suggesting Monday.

Thanks,

Haley

On Thu, May 4, 2023 at 11:45 AM Glisson, Billy <billy_glisson2@comcast.com> wrote:

Good morning Ms. Haley,

We have been communicating with your father, we were not aware you were the residence of the home or had been the person who filed the response to the city regarding the deployment of the cabinet in your neighborhood.

From the planning commission meeting that occurred last month on April 20th, we were requested to set up a meeting with your father to discuss the placement of the cabinet and answer any other questions/concerns.

Reading below of your questions, all of those were addressed with the commissioners during the meeting however we can certainly discuss further with you.

Your father had stated he would be in New York next week, I had inquired if that would hinder his ability to meet in person or would there be someone else available to meet with us. I have not rec'd a reply yet.

As you stated you have lived in the residence the past 6yrs, should we communicate with your moving forward?

Linda Neal

From: Haley Mellin <haley.mellin@gmail.com>
Sent: Tuesday, May 9, 2023 3:03 PM
To: Glisson, Billy
Cc: Gandara Astray, Alvaro (Energys.Com - Guest); Linda Neal
Subject: Re: [EXTERNAL] 20 Willow Avenue, Fairfax, CA

Hi Billy,

I am here and ready to talk: 415-497-6902

If I don't hear from you shortly, I'll assume you are busy.

Best,
Haley

On Tue, May 9, 2023 at 1:20 PM Glisson, Billy <billy_glisson2@comcast.com> wrote:

Thank you for confirming, I will call you around 3pm PST today.

From: Haley Mellin <haley.mellin@gmail.com>
Sent: Tuesday, May 9, 2023 8:10 AM
To: Glisson, Billy <billy_glisson2@comcast.com>
Cc: Gandara Astray, Alvaro (Energys.Com - Guest) <alvaro.gandara@energys.com>; Linda Neal <lneal@townoffairfax.org>
Subject: Re: [EXTERNAL] [20 Willow Avenue, Fairfax, CA](#)

Sounds good, Billy. If you'd like to call today at 3 pm PST, I'll be available at 415-497-6902.

Best,
Haley

Linda Neal

From: Glisson, Billy <billy_glisson2@comcast.com>
Sent: Tuesday, May 9, 2023 3:51 PM
To: Haley Mellin
Cc: Gandara Astray, Alvaro (Energys.Com - Guest); Linda Neal
Subject: RE: [EXTERNAL] 20 Willow Avenue, Fairfax, CA

Haley,

Thank you for taking my call, please confirm our 2 takeaways:

1. Preference is not on your side of the street, to have the Town and Comcast consider another location on the pole side of Willow Ave.
2. If 1 is not an option, we would want to ensure line if site, landscaping, and other options to ensure the aesthetic of the location that is agreeable to all involved parties.

Regards,

Billy

From: Haley Mellin <haley.mellin@gmail.com>
Sent: Tuesday, May 9, 2023 3:03 PM
To: Glisson, Billy <billy_glisson2@comcast.com>
Cc: Gandara Astray, Alvaro (Energys.Com - Guest) <alvaro.gandara@energys.com>; Linda Neal <lneal@townoffairfax.org>
Subject: Re: [EXTERNAL] 20 Willow Avenue, Fairfax, CA

Hi Billy,

I am here and ready to talk: 415-497-6902

If I don't hear from you shortly, I'll assume you are busy.

Best,

Haley

On Tue, May 9, 2023 at 1:20 PM Glisson, Billy <billy_glisson2@comcast.com> wrote:

Thank you for confirming, I will call you around 3pm PST today.

From: Haley Mellin <haley.mellin@gmail.com>
Sent: Tuesday, May 9, 2023 8:10 AM
To: Glisson, Billy <billy_glisson2@comcast.com>
Cc: Gandara Astray, Alvaro (Energys.Com - Guest) <alvaro.gandara@energys.com>; Linda Neal <lneal@townoffairfax.org>
Subject: Re: [EXTERNAL] [20 Willow Avenue, Fairfax, CA](#)

Sounds good, Billy. If you'd like to call today at 3 pm PST, I'll be available at 415-497-6902.

Best,

Haley