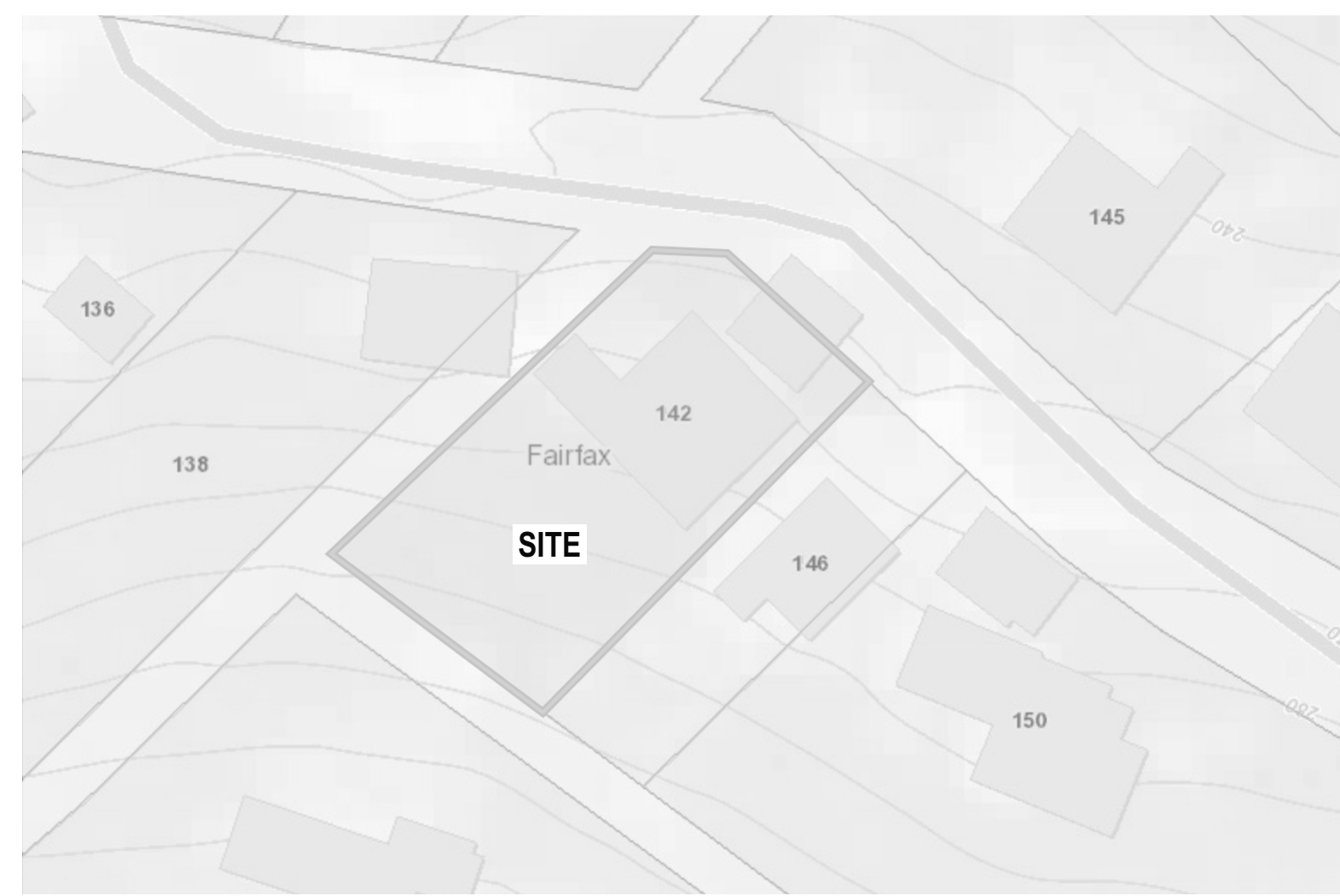


LOT AREA CALCULATIONS

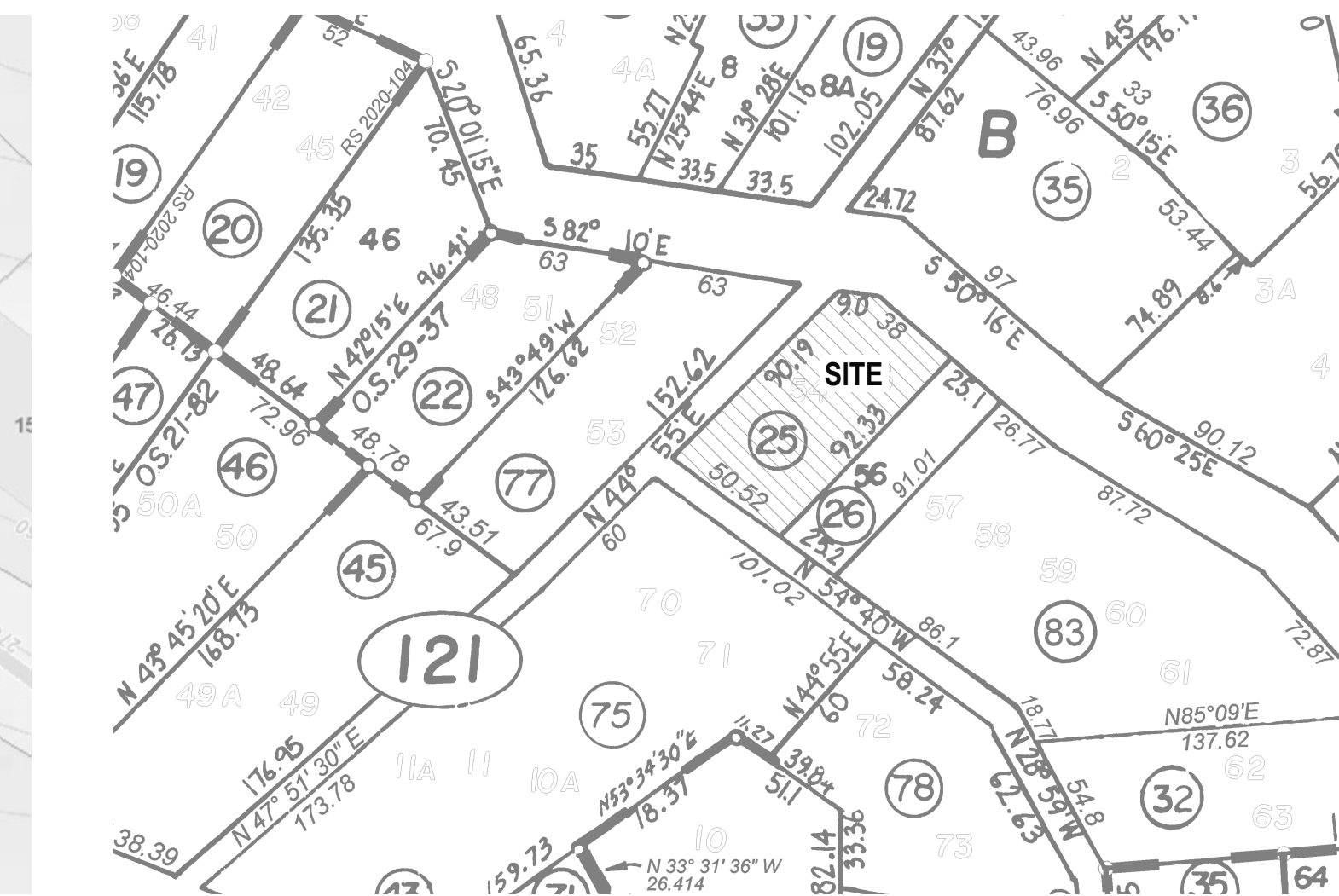
| | Existing | Allowable | Proposed |
|-----------------------------|----------|-----------|----------|
| Lot Area | 4643sf | | |
| Lot Coverage break details: | | | |
| (E) Residence | 935sf | | 935sf |
| (E) Garage | 157sf | | 157sf |
| (E) Front patio (Conc.) | 177sf | | 177sf |
| (E) Rear patio (Conc.) | 180sf | | 180sf |
| Lot Coverage (Square Feet) | 1449sf | 1625sf | 1449sf |
| Lot Coverage Percentage | 31% | 35% | 31% |

BUILDING INFO:

Occupancy: R-3
 Building Type: V-B
 Sprinkled: NO
 WUI: YES



1 MARIN MAP INFO
NOT TO SCALE



2 ASSESSOR'S PARCEL MAP
NOT TO SCALE

PROJECT INFO:

CLIENT / OWNER NAME:
JOHN NOLAN

ZONING:
RS-6 (SINGLE FAMILY - RESIDENTIAL)

W.U.I:
YES

STORIES: 1

UNITS: 1 UNIT

OCCUPANCY: R-3 (SINGLE FAMILY RESIDENTIAL)

CONSTRUCTION TYPE: V-B

BUILDING SETBACKS:
FRONT: 6'
SIDE: MIN. 5', MAX. 5'
REAR: MIN. 6'

BUILDING HEIGHTS:
MAX. ALLOWABLE: 28.5'

LOT COVERAGE
MAX. ALLOWABLE: 0.35

MAX. FAR: 0.40



ARROW DECK AND CONSTRUCTION

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CSL #604144 f (415) 254-9401
www.arrowdeck.com

Signature

Client Name and Project address
NOLAN RESIDENCE FRONT YARD DECK
 (Setback Variance & Conditional use permit Application)

PROJECT TEAM:

CONTRACTOR:
ARROW DECK AND CONSTRUCTION
147 OAK MANOR DRIVE
FAIFAX, CA 94903

PHONE: (415) 245-9401

STRUCTURAL ENGINEER:
GREGORY G. MILLER, S.E.#2238
433 CALLE DE LA MESA
NOVATO, CA 94949

PHONE: (415) 382-1109

PROJECT DESCRIPTION

(N) 213 SQ. FT. DECK THE NORTH-EAST SIDE RESIDENCE (SEE HEAVY DASHED LINE. FRAMING TO BE PTDF JOISTS. DECKING TO BE REDWOOD. (N) GUARD RAIL TO BE 42". JOIST AND BEAMS TO BE (N) PTDF.

- THERE ARE NO CHANGES TO THE EXISTING SINGLE FAMILY DWELLING
- THERE IS NO CHANGE TO THE BUILDING ENVELOPE / FOOTPRINT
- THERE IS NO GRADING OR LANDSCAPING

JURISDICTION

TOWN OF FAIRFAX
142 Bolinas Road, Fairfax, CA 94930

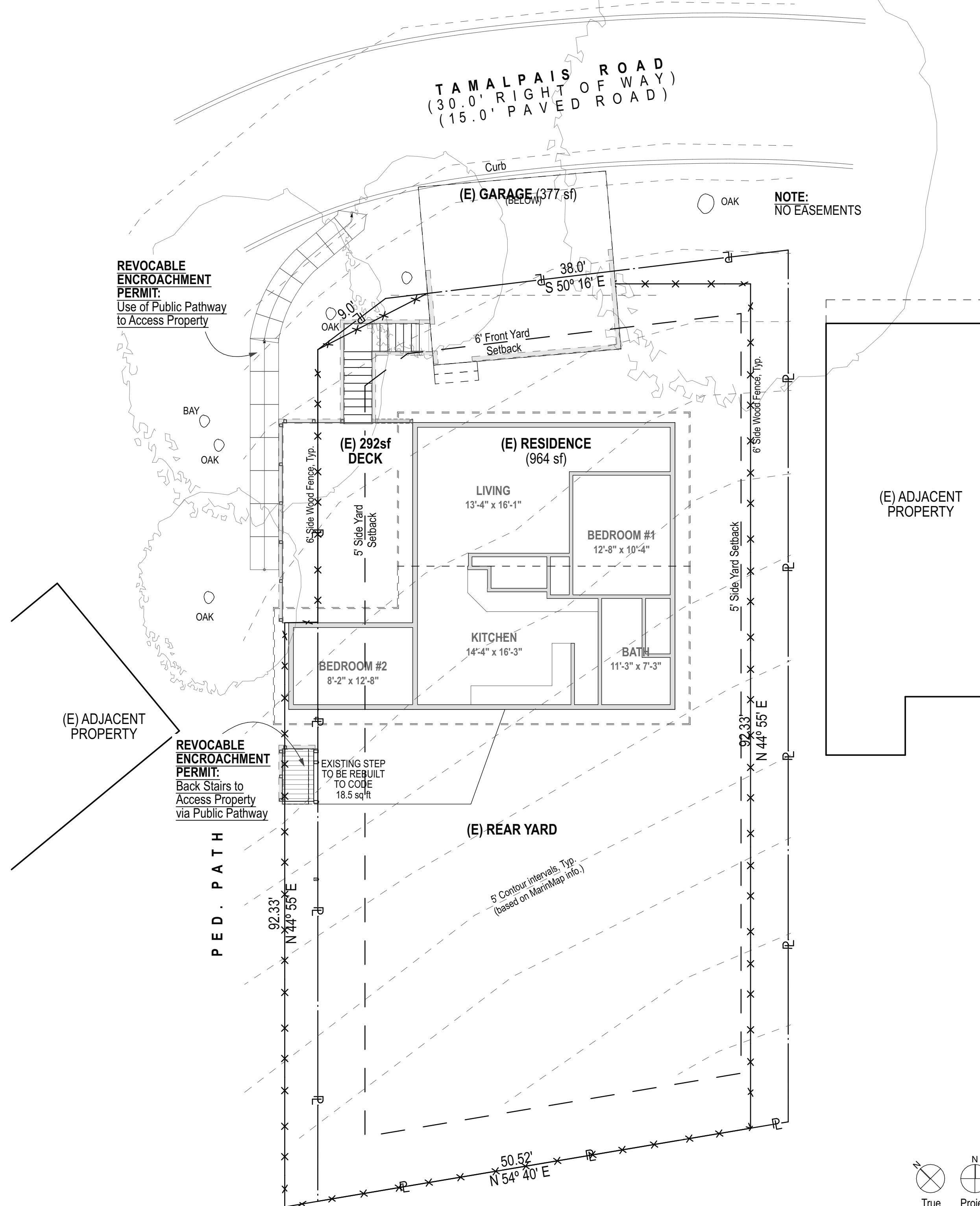
PLANNING DEPT.
(415) 453-1584

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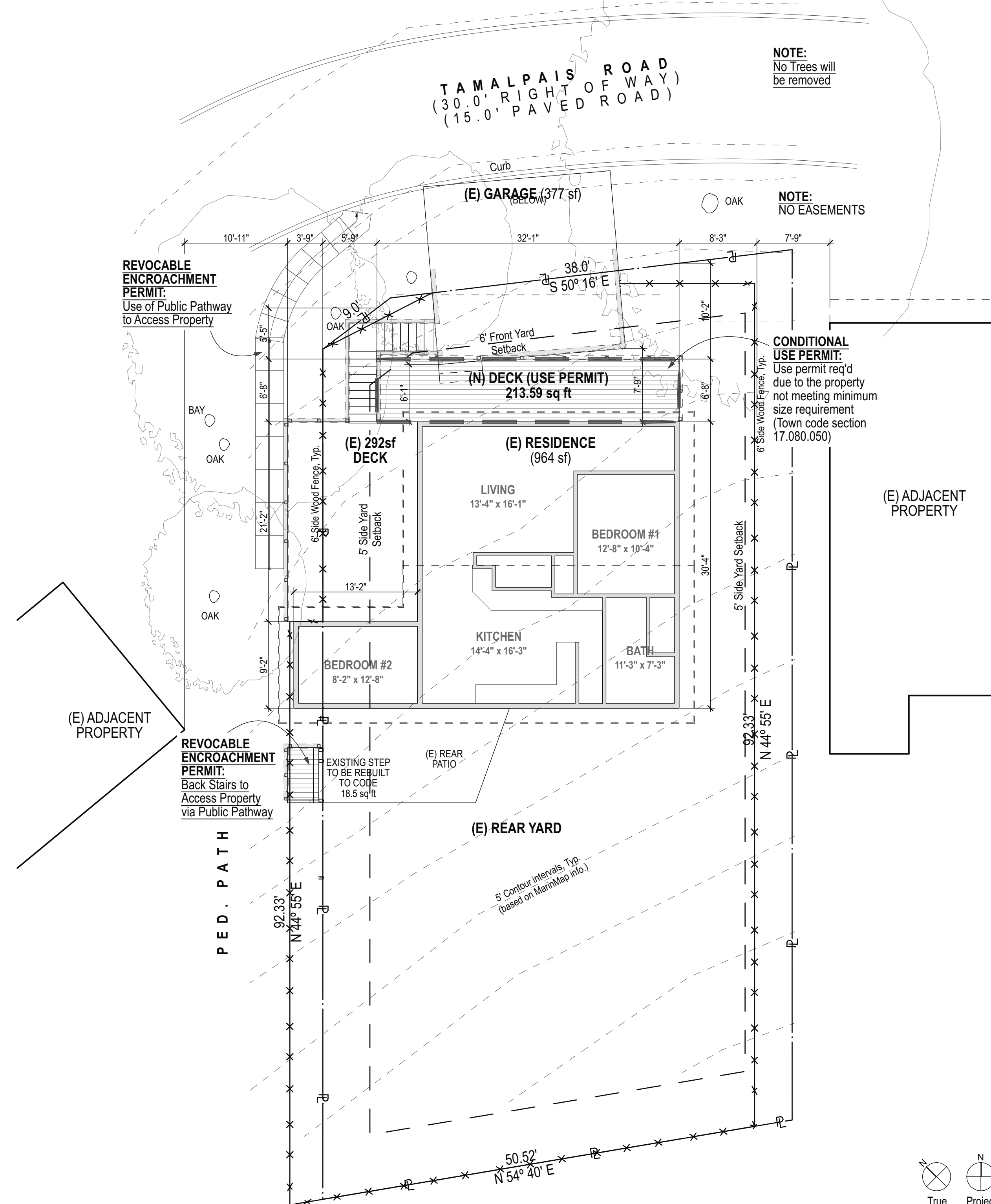
INDEX TO DRAWINGS

A-1 COVER SHEET & SITE PLAN
 A-2 UPPER FLOOR PLANS
 A-3 LOWER FLOOR PLANS
 A-4 ELEVATIONS
 A-5 ELEVATIONS & SECTION

A-1



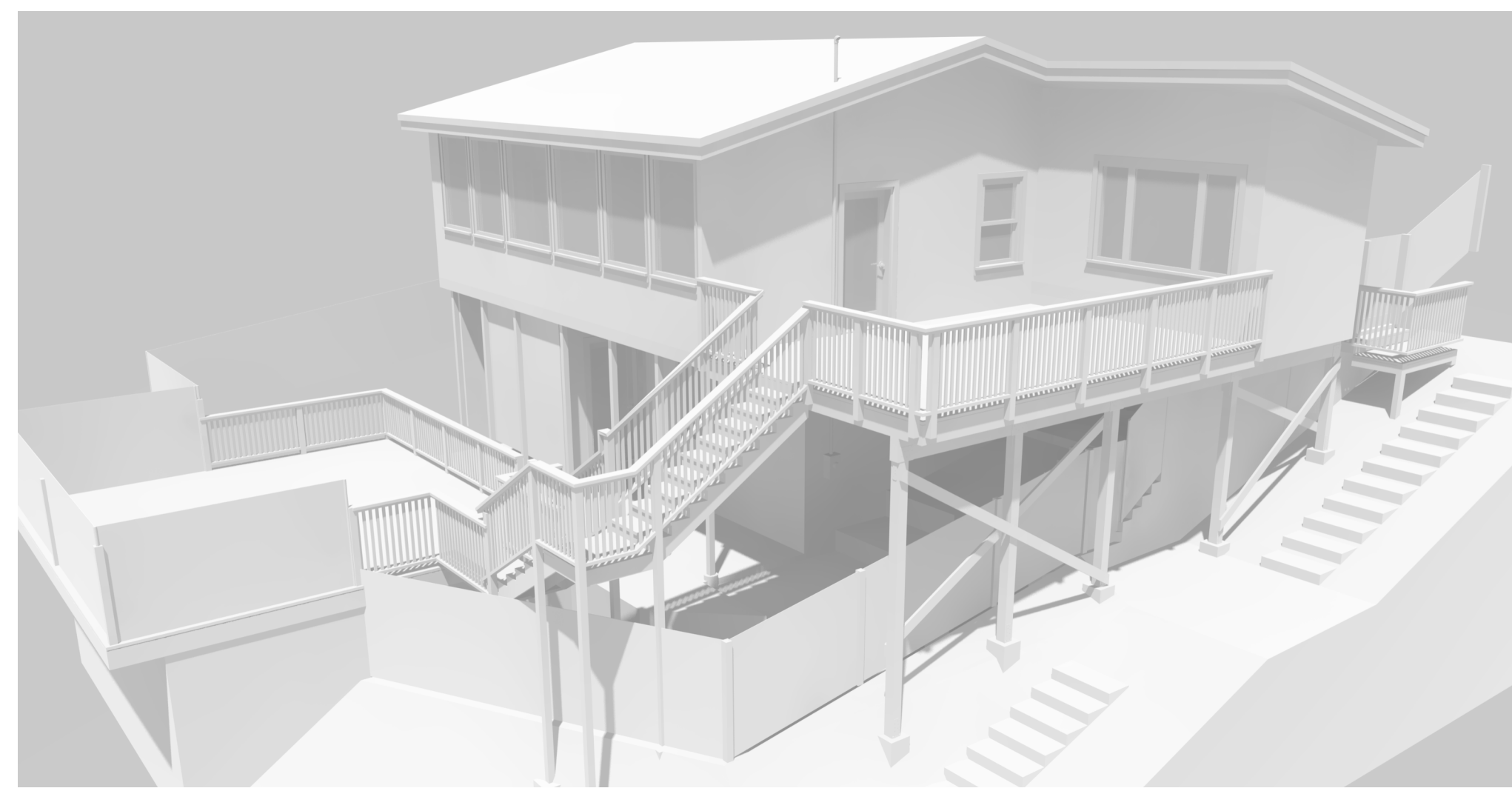
5 (E) Site Plan
SCALE: 1/8" = 1'-0"



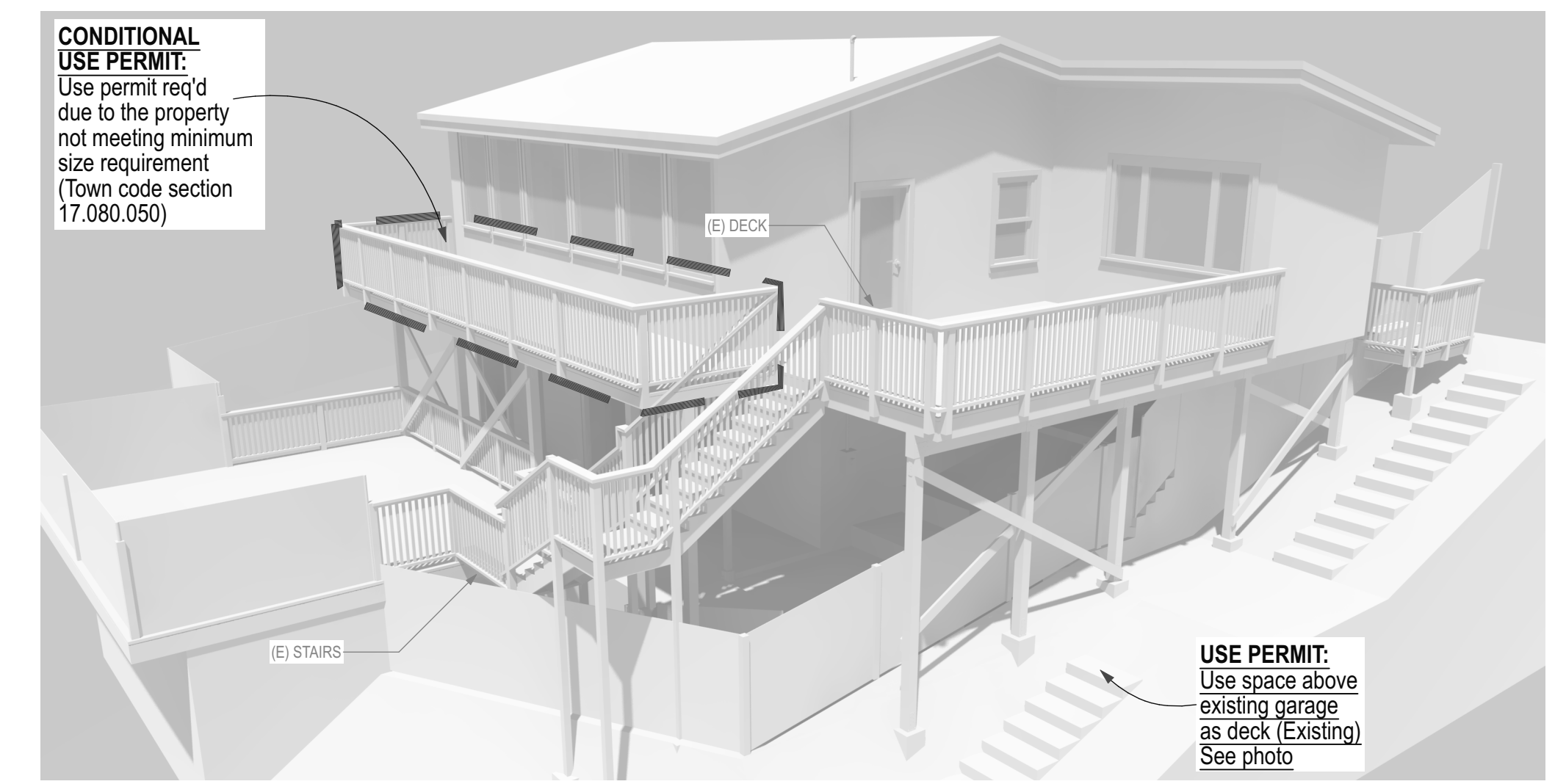
6 (N) Site Plan
SCALE: 1/8" = 1'-0"

ABBREVIATIONS:

| | | | |
|---------|--------------------------------------|---------|------------------------|
| AB. | ANCHOR BOLT | I.D. | INSIDE DIAMETER |
| A.F.F. | ABOVE FINISHED FLOOR | INSUL. | INSULATION |
| AGGR. | AGGREGATE | INT. | INTERIOR |
| ALUM. | ALUMINUM | JAN. | JANITOR |
| ALT. | ALTERNATE | JH | JOIST HANGER |
| ANOD. | ANODIZED | JNT. | JOINT |
| APPROX. | APPROXIMATE | JST. | JOIST |
| ARCH. | ARCHITECTURAL | KIT. | KITCHEN CAB |
| | | LAB. | LABORATORY |
| BD. | BOARD | LAM. | LAMINATE |
| BLDG. | BUILDING | LAV. | LAVATORY |
| BLK. | BLOCK | LT. | LIGHT |
| BLK'G | BLOCKING | | |
| BM. | BEAM | | |
| BOT. | BOTTOM | MAX. | MAXIMUM |
| BTWN. | BETWEEN | MECH. | MECHANICAL |
| B.U.R. | BUILT UP ROOFING | MEMB. | MEMBRANE |
| B.W. | BOTH WAYS | MFR. | MANUFACTURER |
| | | MIN. | MINIMUM |
| C.J. | CONTROL JOINT | MISC. | MISCELLANEOUS |
| CLG. | CEILING | M.O. | MASONRY OPENING |
| CLKG. | CAULKING | MTL. | METAL |
| CLR. | CLEAR | MUL. | MULLION |
| C.M.U. | CONC. MASONRY UNIT | N | NORTH |
| COL. | COLUMN | (N) | NEW |
| CONC. | CONCRETE | N.I.C. | NOT IN CONTRACT |
| CONN. | CONNECTION | NO. | NUMBER |
| CONSTR. | CONSTRUCTION | NOM. | NOMINAL |
| CONT. | CONTINUOUS | N.T.S. | NOT TO SCALE |
| C.T. | CERAMIC TILE | O.C. | ON CENTER |
| | | O.D. | OUTSIDE DIAMETER |
| DEG. | DEGREE | OH. | OVERHEAD |
| DET/DTL | DETAIL | OPG. | OPENING |
| D.F. | DRINKING FOUNTAIN | OPP. | OPPOSITE |
| DIAG | DIAGONAL | | |
| DIA. | DIAMETER | PCT. | PRE-CAST |
| DN. | DOWN | P.L. | PROPERTY LINE |
| DS. | DOWNSPOUT | P. LAM. | PLASTIC LAMINATE |
| DWG. | DRAWING | PLAS. | PLASTER |
| | | PLYWD. | PLYWOOD |
| E | EAST | PR. | PAIR |
| (E) | EXISTING | Q.T. | QUARRY TILE |
| EA | EACH | | |
| E.J. | EXPANSION JOINT | R. | RISER |
| EL. | ELEVATION | (R) | REMODELED |
| ELEC. | ELECTRICAL | R.D. | ROOF DRAIN |
| ELEV. | ELEVATOR | RE: | REFER TO |
| EMER. | EMERGENCY | REFR. | REFRIGERATOR |
| ENCL. | ENCLOSURE | REINF. | REINFORCED |
| EQ | EQUAL | REQ'D. | REQUIRED |
| EQUIP. | EQUIPMENT | RM | ROOM |
| EXT. | EXTERIOR | R.O. | ROUGH OPENING |
| | | RWL | RAINWATER LEADER |
| F.A. | FIRE ALARM | S | SOUTH |
| F.D. | FLOOR DRAIN | S.C. | SOLID CORE |
| FDN/FND | FOUNDATION | SCHED | SCHEDULE |
| F.E. | FIRE EXTINGUISHER | SECT. | SECTION |
| | | S.F. | SQUARE FOOT |
| FF | FINISH FLOOR | SHT. | SHEET |
| FFE | FINISH FLOOR EL. | SIM. | SIMILAR |
| F.H.C. | FIRE HOSE CABINET | SPEC. | SPECIFICATION |
| FIN. | FINISH | SQ. | SQUARE |
| FL | FLOW LINE | S.S. | STAINLESS STEEL |
| FLR. | FLOOR | STAGG. | STAGGERED |
| FLUOR. | FLUORESCENT | STD. | STANDARD |
| F.O.B. | FACE OF BRICK | STL. | STEEL |
| F.O.C. | FACE OF CONCRETE | STRUC. | STRUCTURAL |
| F.S. | FULL SIZE | SUSP | SUSPENDED |
| FT. | FOOT OR FEET | | |
| FTG. | FOOTING | TR | TREAD |
| FURR. | FURRING | T&B | TOP AND BOTTOM |
| | | TER. | TERRAZO |
| GA. | GAUGE | T&G | TONGUE AND GROOVE |
| GALV. | GALVANIZED | THK. | THICK |
| G.C. | GENERAL CONTRACTOR | T/ | TOP OF |
| GL. | GLASS | TYP. | TYPICAL |
| GLB | GLUE LAM BEAM | | |
| GR. | GRADE | UON | UNLESS OTHERWISE NOTED |
| GYP. | GYPSUM | | |
| GYP BD. | GYPSUM BOARD | VCT | VINYL COMP. TILE |
| GSM | GALV. SHEET METAL | VER | VERIFY |
| HB | HOSE BIB | V.I.F. | VERIFY IN FIELD |
| H.C. | HOLLOW CORE | VERT. | VERTICAL |
| H/C | HANDICAPPED | | |
| HDWD | HARDWOOD | W | WEST |
| HDWE. | HARDWARE | W/ | WITH |
| H.M. | HOLLOW METAL | W.C. | WATER CLOSET |
| HR. | HOUR | WD. | WOOD |
| HT. | HEIGHT | W/O | WITHOUT |
| HVAC | HEATING VENTILATION AIR CONDITIONING | | |
| HW | HOT WATER | & | AND |
| | | L | ANGLE |
| | | @ | AT |



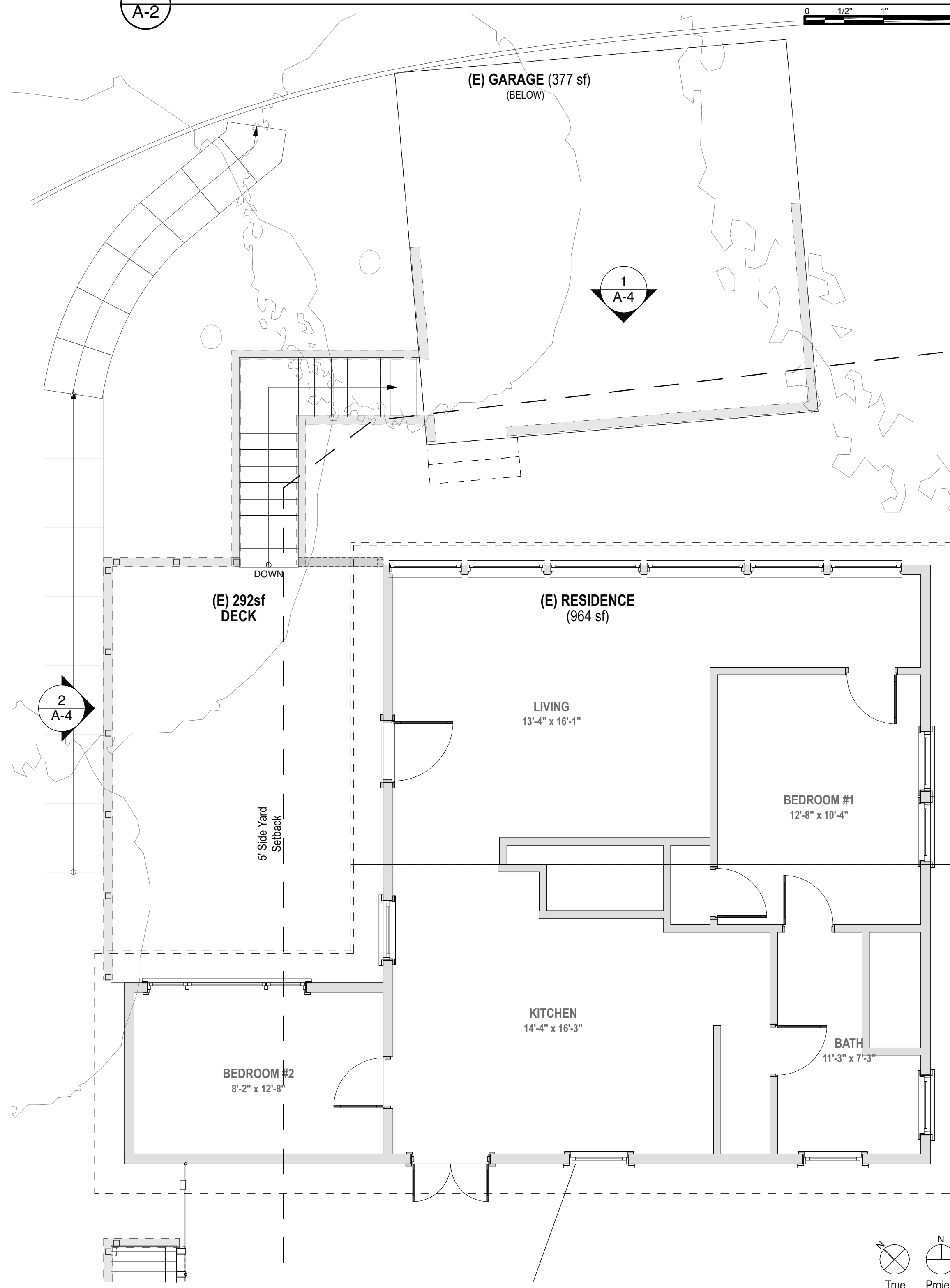
2 EXISTING RENDERING



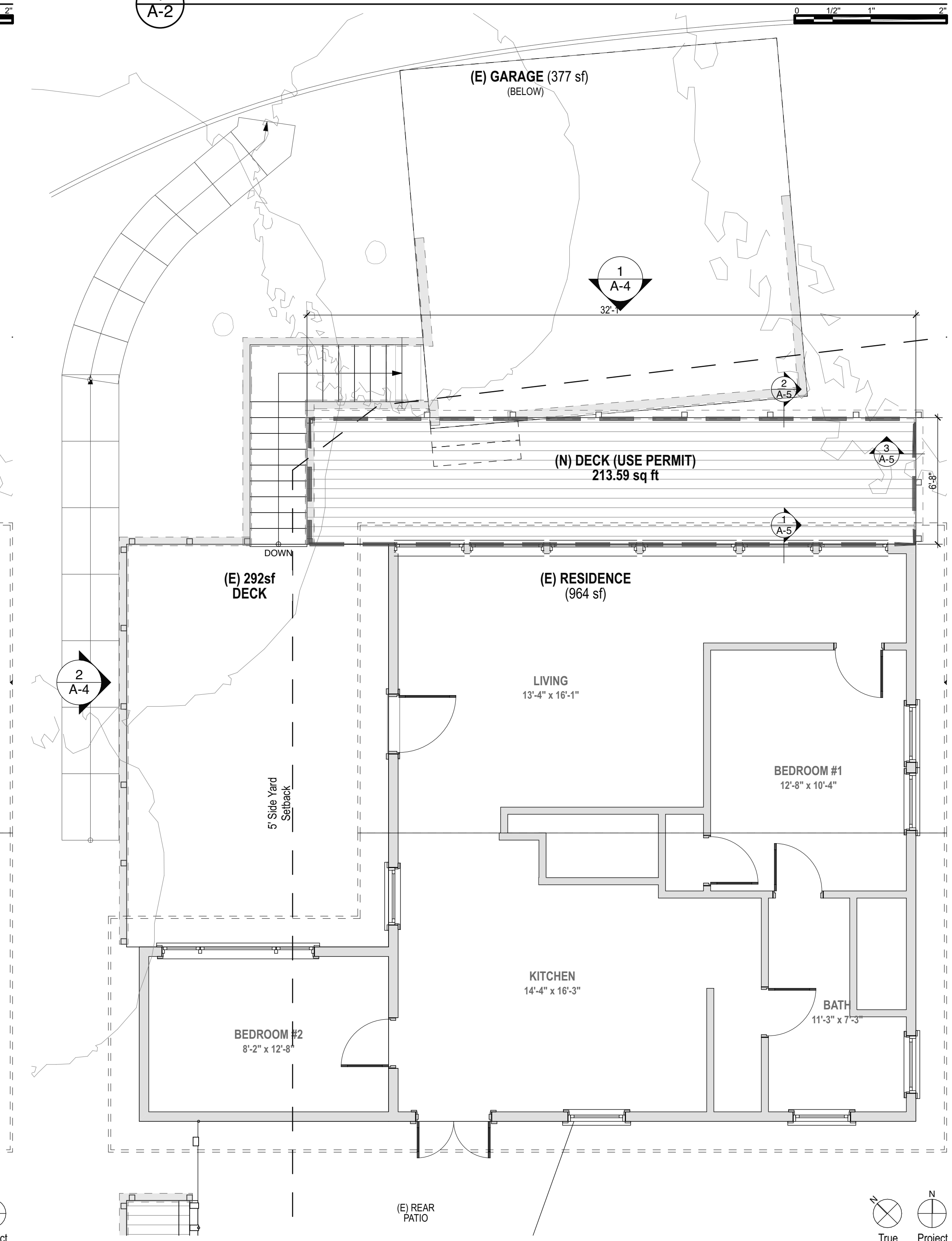
1 PROPOSED RENDERING

CONDITIONAL USE PERMIT:
Use permit req'd due to the property not meeting minimum size requirement (Town code section 17.080.050)

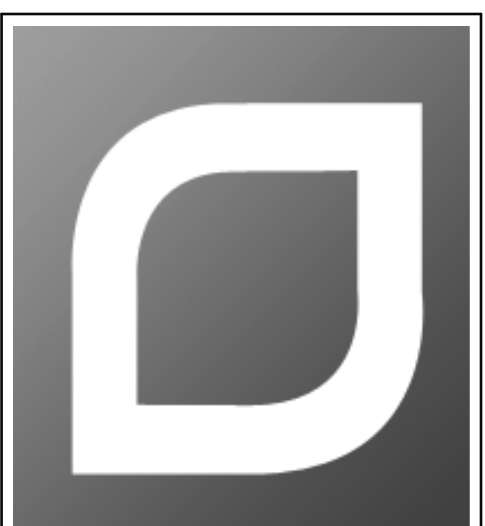
USE PERMIT:
Use space above existing garage as deck (Existing) See photo



3 EXISTING / DEMO DECK PLAN (UPPER LEVEL)



4 DECK PLAN (UPPER LEVEL)



ARROW DECK AND CONSTRUCTION

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FAIRFAX, CA. 94930
CSL #604144 f (415) 254-9401
www.arrowdeck.com

Signature

Client Name and Project address

NOLAN RESIDENCE FRONT YARD DECK
(Setback Variance & Conditional use permit Application)

Parcel 001-121-25
Address: 142 TAMALPAIS RD
Jurisdiction: Fairfax
Zoning : RS-6 -RS-6 Single Family Residential
Land Use: 11 -Single-Resid. - Imprc
Units: 1

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Sheet

UPPER FLOOR PLANS

A-2

NOTES:

TYPICAL CONSTRUCTION NOTES:

TYPICAL CONSTRUCTION NOTES:

1. CARBON MONOXIDE ALARMS COMBINED WITH SMOKE ALARMS SHALL COMPLY WITH SECTION R315. ALL APPLICABLE STANDARDS AND REQUIREMENTS FOR LISTING AND APPROVAL BY THE OFFICE OF THE STATE FIRE MARSHAL FOR SMOKE ALARM.

2. FC' = 2,500 PSI

3. FY = 60 KSI

4. NAILING SCHEDULE PER CBC 2019

5. ALL FASTENER SHALL BE HDG OR ZMAX

6. ALL GROUND CONTACT LUMBER SHALL BE PRESSURE TREATED DOUGLAS FIR LUMBER (PTDF)

7. EPOXY TO BE SIMPSON SET-XP28

SCHEDULE OF MATERIALS

FINISH:

DECK: 2x6 S4S CON HEART HAND SELECT DECKING

GUARDRAIL POSTS: REDWOOD GUARDRAIL POST SHALL HAVE A 4x4 PROFILE

GUARDRAIL: 2x2 and 2x4 REDWOOD HORIZONTAL MEMBERS, S.S. CABLE OR HOG WIRE. SEE DETAILS

CONTRACTOR SUPPLIED

FRAMING:

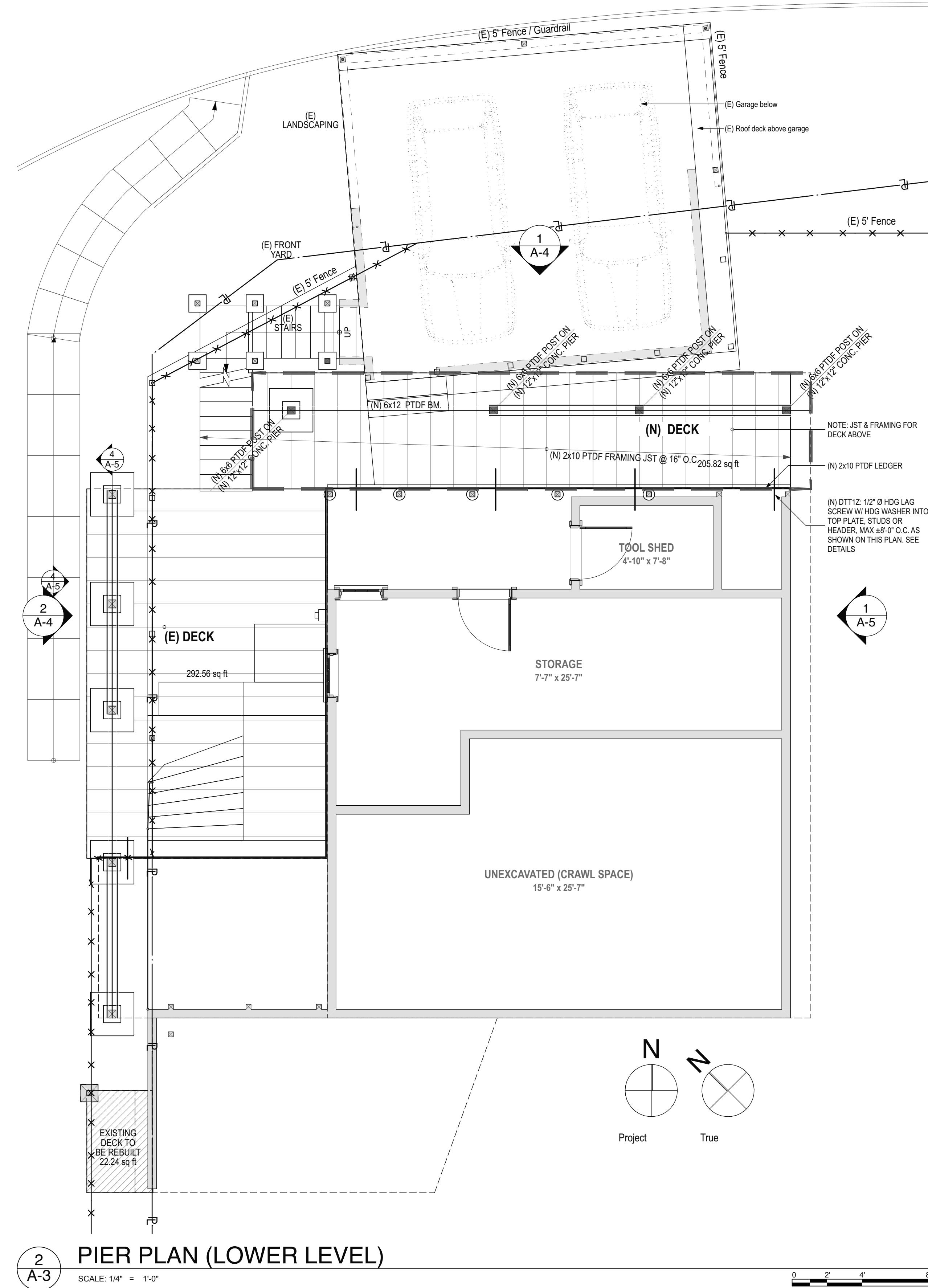
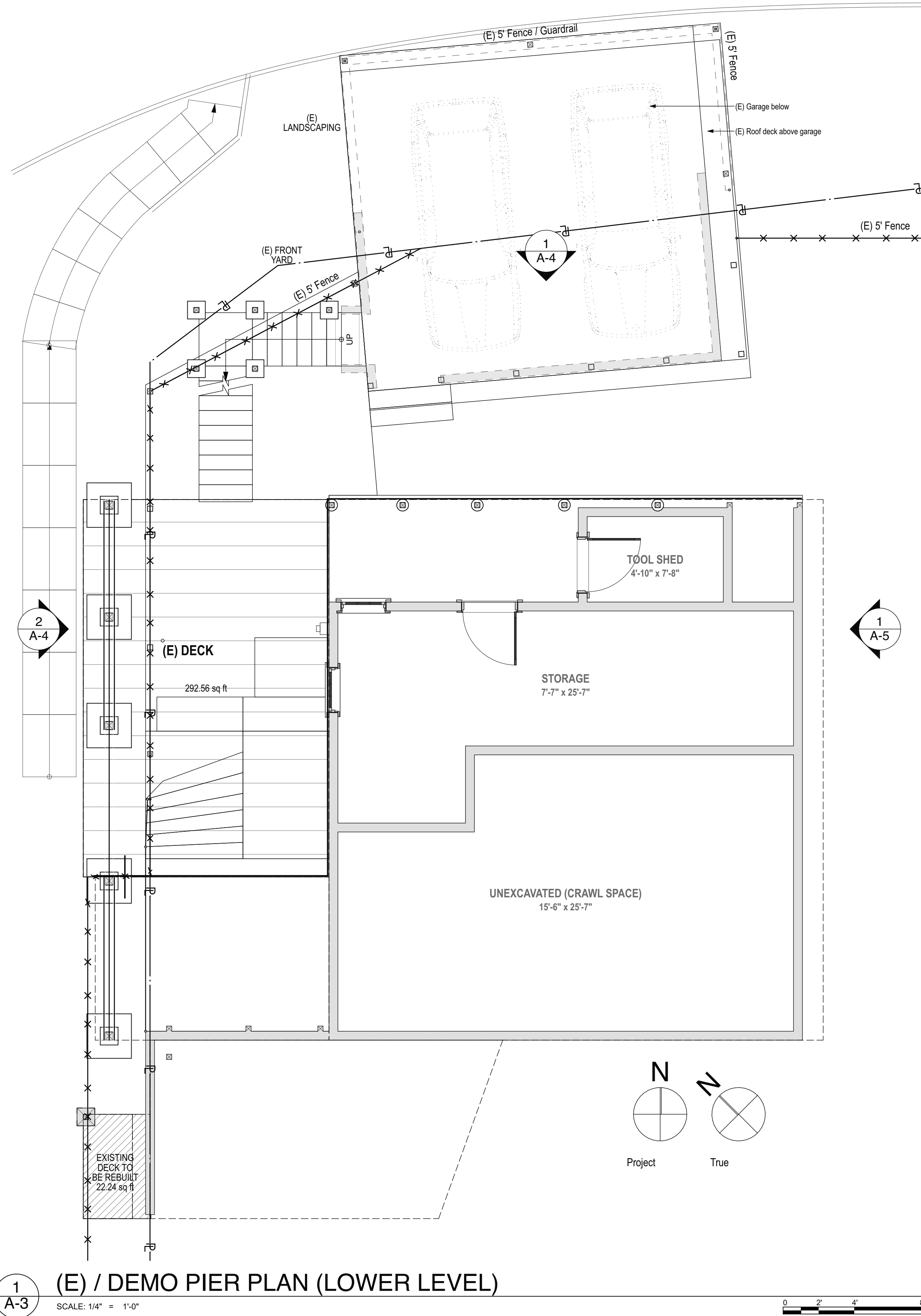
PRESSURE TREATED DOUGLAS FIR (PTDF) LEDGERS, JOISTS, BEAMS, AND BEAM SUPPORT POSTS, U.O.N.

CONTRACTOR SUPPLIED

FRAMING HARDWARE:

ALL NAILS, BOLTS, SDS SCREWS, CLIPS, HANGERS OR OTHER FRAMING CONNECTORS SPECIFIED ON SHEET A-3 SHALL BE HOT-DIP GALVANIZED, Z-MAX COATED OR STAINLESS STEEL.

CONTRACTOR SUPPLIED



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Signature

Client Name and Project address

**NOLAN RESIDENCE
FRONT YARD
DECK**
(Setback Variance & Conditional use permit Application)

Parcel 001-121-25
Address: 142 TAMALPAIS RD
Jurisdiction: Fairfax
Zoning: RS-6 -RS-6 Single Family Residential
Land Use: 11 -Single-Resid. - Imprc Units: 1

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LOWER FLOOR PLANS

A-3



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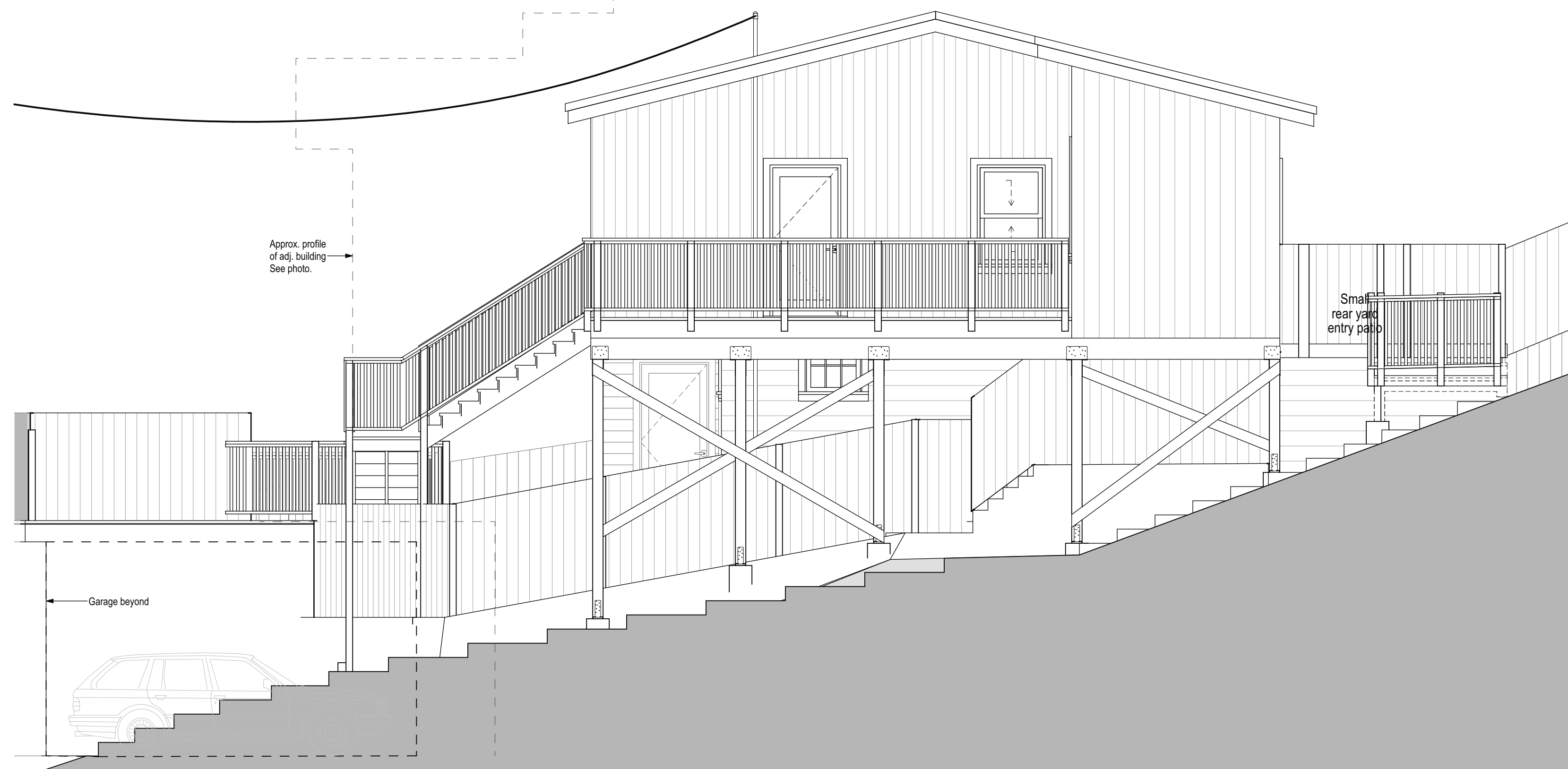
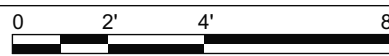
Client Name and Project address

**NOLAN RESIDENCE
FRONT YARD
DECK**
(Setback Variance &
Conditional use permit
Application)

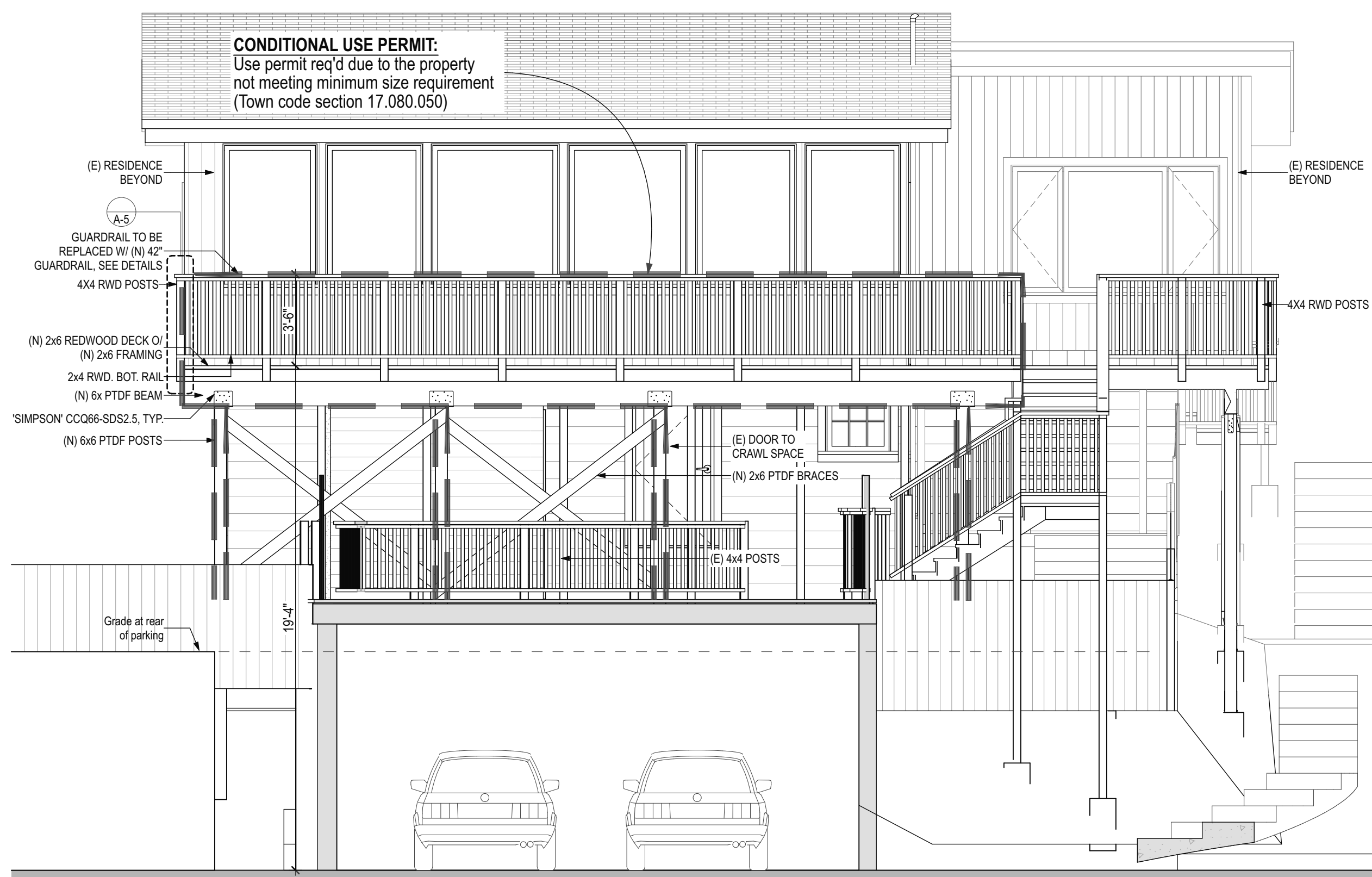
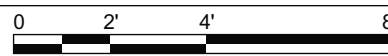
Parcel 001-121-25
Address: 142 TAMALPAIS RD
Jurisdiction: Fairfax
Zoning : RS-6 -RS-6 Single Family
Residential
Land Use: 11 -Single-Resid. - Imprc
Units: 1



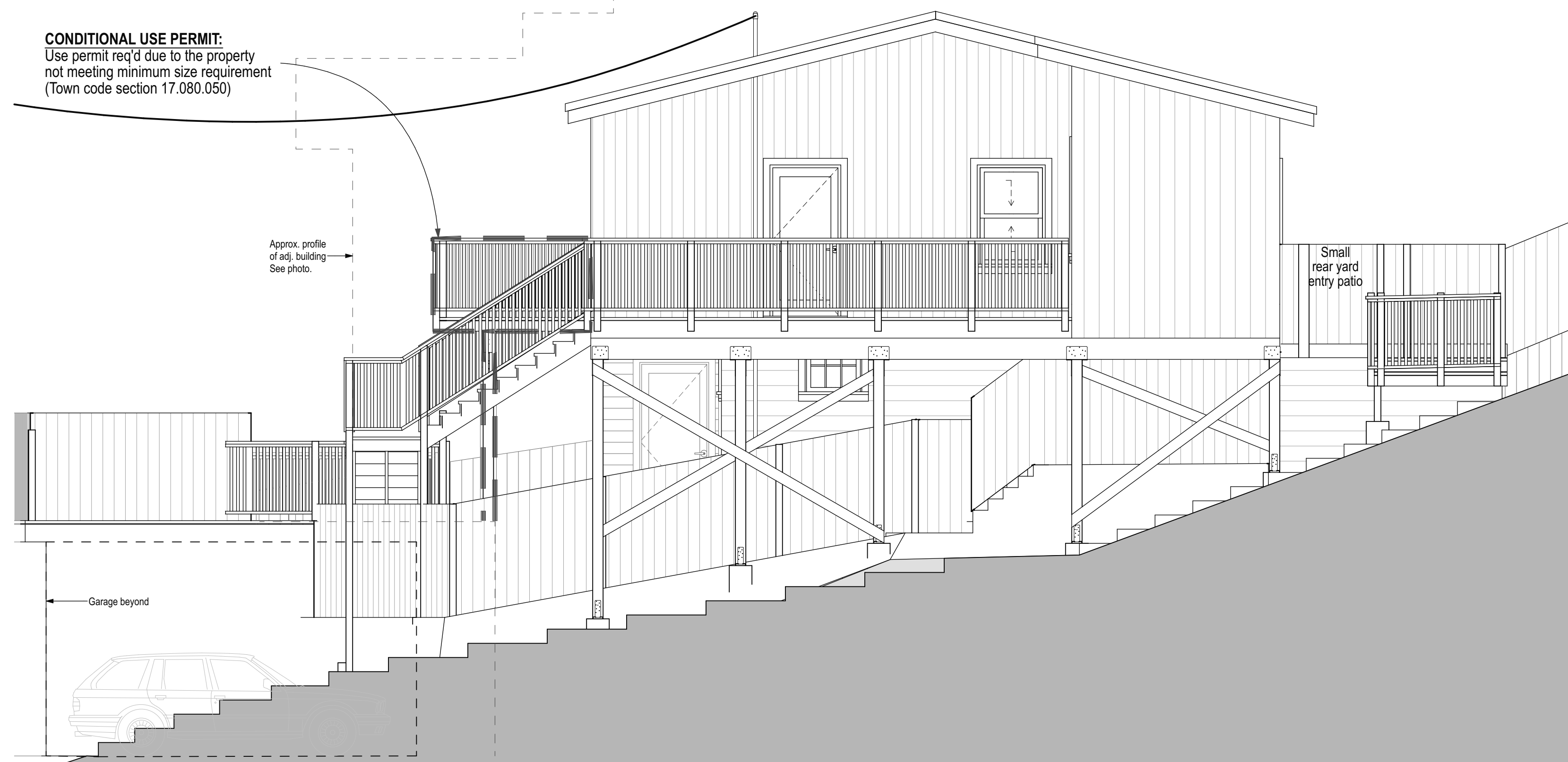
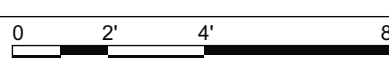
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A-4 **EXISTING / DEMO NORTH ELEVATION**
SCALE: 1/4" = 1'-0"



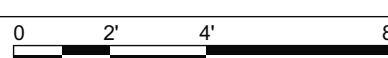
2
A-4 **EXISTING / DEMO WEST ELEVATION**
SCALE: 1/4" = 1'-0"



3
A-4 **NORTH ELEVATION**
SCALE: 1/4" = 1'-0"



4
A-4 **WEST ELEVATION**
SCALE: 1/4" = 1'-0"



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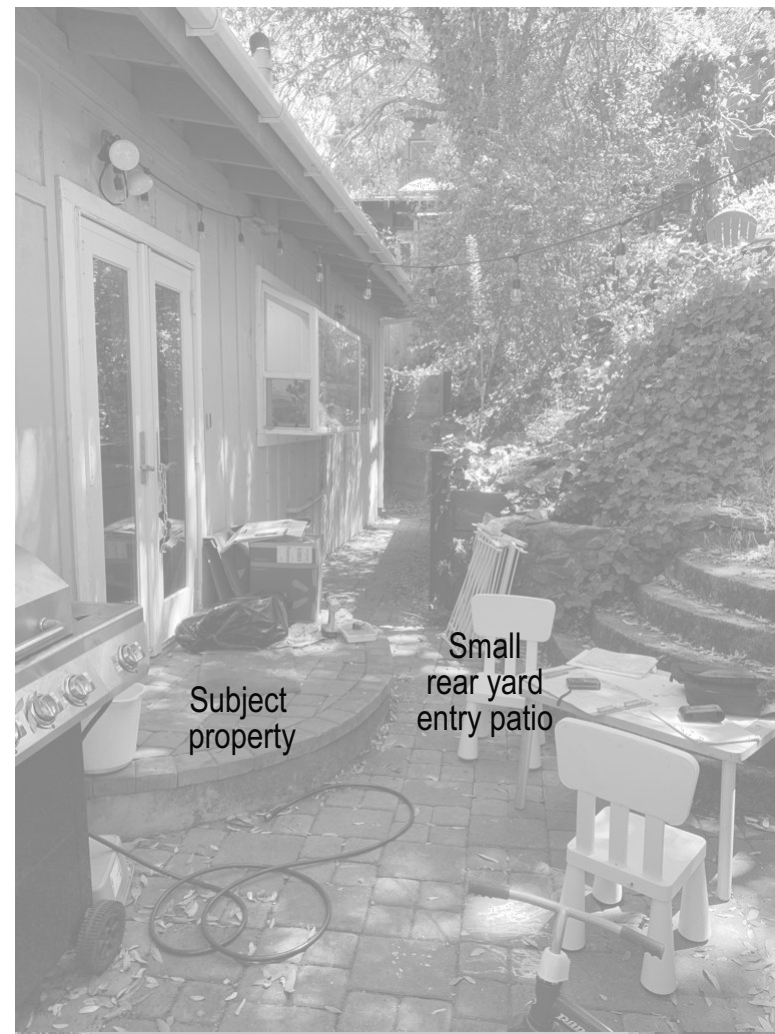
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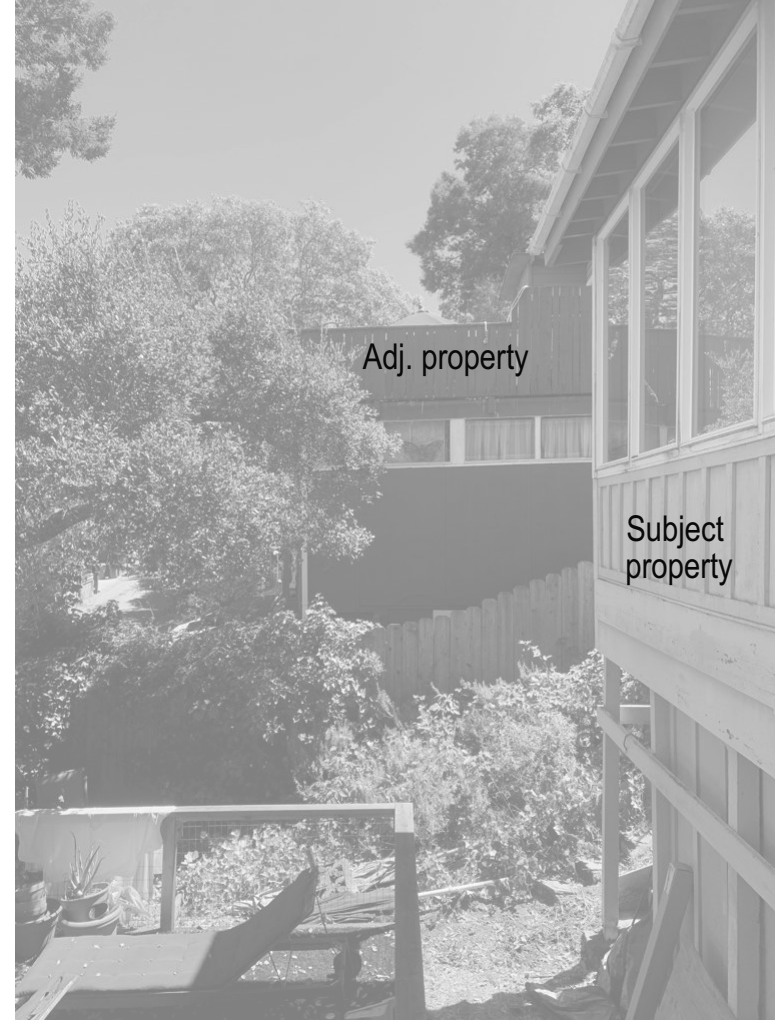
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ELEVATIONS

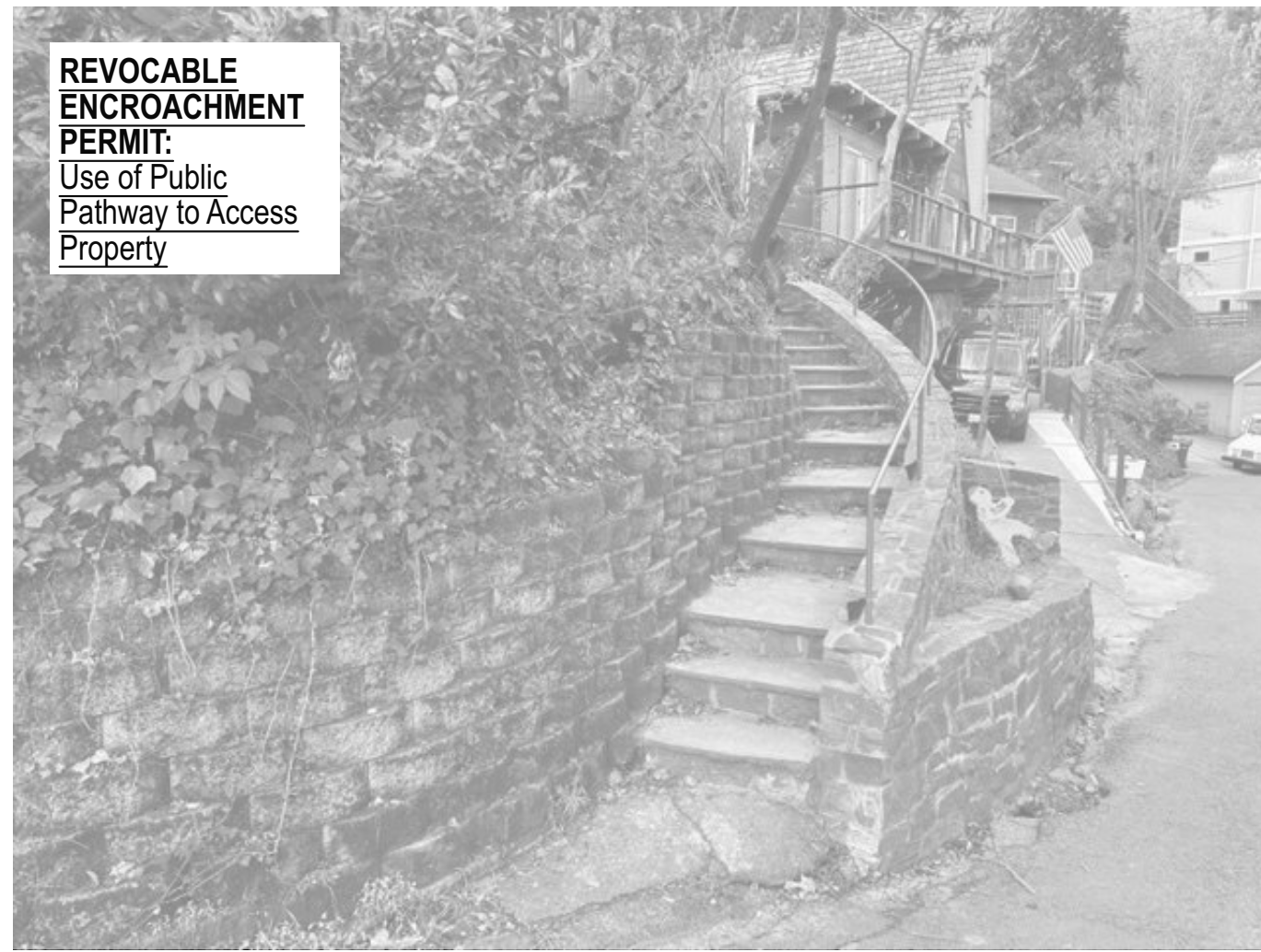
A-4



Subject property
Small rear yard entry patio



Adj. property
Subject property



REVOCABLE ENCROACHMENT PERMIT:
Use of Public Pathway to Access Property

3 EXISTING SITE PHOTO - 1



REVOCABLE ENCROACHMENT PERMIT:
Use of Public Pathway to Access Property

4 EXISTING SITE PHOTO - 2



REVOCABLE ENCROACHMENT PERMIT:
Back Stairs to Access Property via Public Pathway

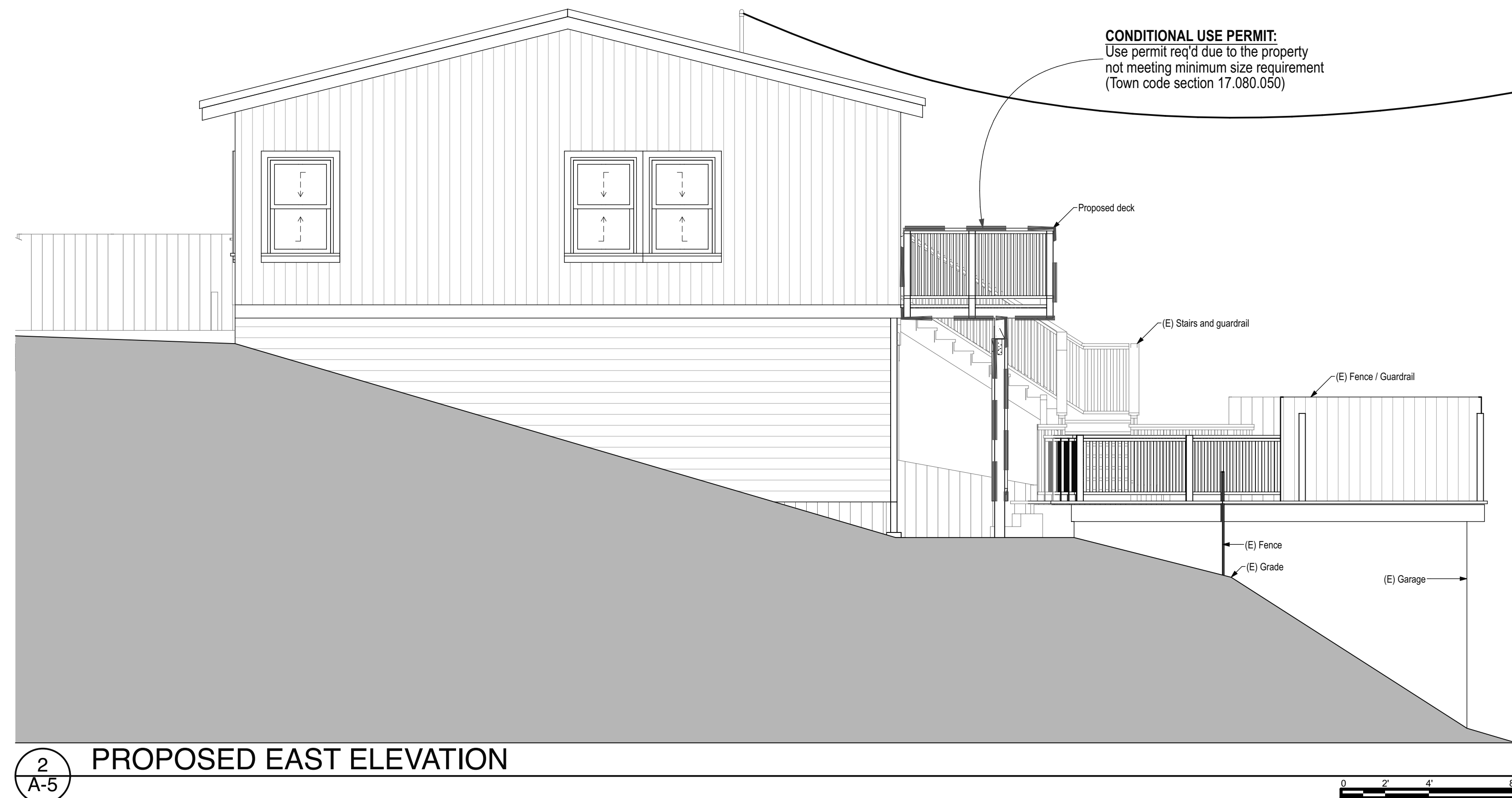
5 EXISTING SITE PHOTO - 3



6 EXISTING SITE PHOTO - 4



1 EXISTING / DEMO EAST ELEVATION



2 PROPOSED EAST ELEVATION



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ELEVATIONS AND SECTION

A-5