



# FAIRFAX TOWN COUNCIL MEETING STAFF REPORT

**MEETING DATE** December 6, 2023  
**PREPARED FOR** Mayor and Town Council  
**PREPARED BY** Loren Umbertis, Director of Public Works  
**SUBJECT** Adopt Resolution Authorizing Town Manager to Negotiate and Execute a Professional Services Agreement with Fairchild Broms Design for the Preparation of Construction Documents, Plans and Specifications for the Interior Remodel of Fire Station 21 in an Amount Not to Exceed \$47,000.

---

## **RECOMMENDATION**

Adopt a Resolution Authorizing the Town Manager to negotiate and execute a Professional Services Agreement with Fairchild Broms Design for the preparation of Construction documents and specifications for the interior remodel of Fire Station 21 in an amount not to exceed \$47,000.

## **BACKGROUND**

The Town of Fairfax owns and is responsible for the maintenance of Fire Station 21 located at 10 Park Road, Fairfax, used by the Ross Valley Fire Department (RVFD).

On January 1, 2022 the Town and Ross Valley Fire Department executed the Third Amendment to the Amended and Restated Joint Powers Agreement wherein the Town of Fairfax agreed to contribute funds to cover costs associated with the interior renovation of the Fairfax Fire Station (Station 21) to accommodate additional staffing as a result of the planned closure of the Ross Fire Station (Station 18). A cost of \$210,000 was estimated in the JPA agreement for Fairfax Fire Station 21 improvements. In the Town's FY 23/24 budget, the Town estimated the total project cost would be \$325,000.

## **DISCUSSION**

The Town of Fairfax engaged the services of CA Lentini Design on August 24, 2022 to provide conceptual design services for the remodel. These design services have been completed. Staff currently seeks Council approval to enter into an agreement with Fairchild Broms Design to prepare construction documents which include plans, specifications, and related documents sufficient to obtain a building permit and request bids for a fee not to exceed \$47,000. The businesses of CA Lentini and Fairchild Broms Design collaborate with one another on projects and the team associated with the conceptual drawings will continue their work under Fairchild Broms Design as the architect of record.

Upon execution of the professional services agreement, completion of the drawings is expected to take between four to six weeks. No exterior work is planned as part of the construction. Upon completion of the construction documents, Town staff will make recommendations to the Council as to the projected cost, any associated work necessary to ensure uninterrupted fire protection services for the Town and the schedule for construction.

## **Next Steps**

CA Lentini Design had professional construction estimators provide an estimate based on the initial conceptual design, which was over \$1 million. Staff continued to work with CA Lentini Design over several

iterations to value engineer the design and reached a construction cost estimate of approximately \$650,000. Taking this concept into the bid document phase comes with the expectation that the Town will increase its construction budget to the \$650,000 range.

The RVFD Board considered using reserve funds for improvements at Stations 19, 20 and 21, but ultimately decided not to use RVFD reserve funds for this purpose. To secure funding, the Town will need to consider accepting an offer of a low interest loan from Sleepy Hollow Fire District for a portion of the funds to spread out the payments over several years for this capital improvement at Fairfax Fire Station 21.

**FISCAL IMPACT**

The proposal from Fairchild Broms Design Fee for Services is not to exceed \$47,000. Funds are available in the Building Improvement Fund 05-905. Included in the Town’s Fiscal Year 2023/2024 (FY 23/24) Budget on page 60 (for Fund 05-905) was \$60,000 in this year’s budget, which will cover the bid document costs requested in this item.

**ATTACHMENTS**

- A. Proposed Resolution
- B. Proposal from Fairchild Broms Design dated May 8, 2023

**RESOLUTION 23-\_\_\_**

**A RESOLUTION OF THE TOWN COUNCIL OF THE TOWN OF FAIRFAX  
AUTHORIZING THE TOWN MANAGER TO NEGOTIATE AND EXECUTE A  
PROFESSIONAL SERVICES AGREEMENT WITH FAIRCHILD BROMS DESIGN FOR  
THE PREPARATION OF CONSTRUCTION DOCUMENTS, PLANS AND  
SPECIFICATIONS FOR THE INTERIOR REMODEL OF FIRE STATION 21 IN  
AN AMOUNT NOT TO EXCEED \$47,000**

**WHEREAS**, the Town of Fairfax owns and is responsible for the maintenance of Fire Station 21 located at 10 Park Road, which is rented to the Ross Valley Fire District (RVFD) for its use; and

**WHEREAS**, on January 1, 2022, the Town and Ross Valley Fire District executed the Third Amendment to the Amended and Restated Joint Powers Agreement wherein the Town of Fairfax agreed to contribute funds to cover costs of the interior renovation of the Station to accommodate additional staffing as a result of the planned closure of the Town of Ross Fire Station; and

**WHEREAS**, the Town of Fairfax engaged the services of CA Lentini Design on August 24, 2022 to provide conceptual design services for the remodel which has been completed; and

**WHEREAS**, the Town of Fairfax desires to enter into an agreement with Fairchild Broms Design to prepare construction documents which shall include plans, specifications and related documents sufficient to obtain a building permit and request bids for a fee not to exceed \$47,000; and

**WHEREAS**, CA Lentini and Fairchild Broms Design collaborate with one another on projects and the team associated with the conceptual drawings will continue their work under Fairchild Broms Design as the architect of record because continuity of the involved staff is important and necessary for a smooth transition; and

**WHEREAS**, completion of the construction documents is expected within four and six weeks after execution of an agreement; and

**WHEREAS**, no exterior work is planned as part of the construction;

**NOW, THEREFORE, BE IT HEREBY RESOLVED**, that the Town Council of the Town of Fairfax authorizes the Town Manager to negotiate and execute a Professional Services Agreement with Fairchild Broms Design for the preparation of construction documents including plans, specifications, and related documents for the remodel of Fire Station 21 in an amount not to exceed \$47,000.

The foregoing resolution was adopted at a regular meeting of the Town Council of the Town of Fairfax held in said Town on the \_\_\_ day of \_\_\_\_\_ 2023, by the following vote:

AYES:

NOES:

ABSENT:

---

Mayor

Attest:

---

Michele Gardner, Town Clerk



May 8, 2023

Mr. Dan Mahoney  
Interim Deputy Chief  
Ross Valley Fire Department  
777 San Anselmo Avenue  
San Anselmo, CA 94960

Dear Dan:

We are pleased to have the opportunity to work with the Fire Department on the second floor renovation of Station 21 in downtown Fairfax.

### **Project Scope**

The project scope includes the interior renovation of the second floor of the fire station to add sleeping quarters to accommodate two additional fire fighters, update the bathrooms and kitchen to provide adequate facilities for the firefighters housed at this station, and update the casework and finishes in the existing EOC room to convert it into a lounge and dining area.

This proposal is based on the approved revised Option I Conceptual Design Package (Exhibit A) dated 04/27/23. An outline of our scope of services is as follows.

### **Scope of Services**

#### **Construction Documents**

1. Based on approved Option I Conceptual Design, develop Construction Documents suitable for obtaining the necessary building permits and for bidding (approximately 80% complete)
2. Coordinate Structural, HVAC, plumbing, and electrical requirements
3. Attend up to two (2) coordination meetings during development of the documents
4. Specifications will be compiled into a separate booklet for the Town or will be included on the drawings as appropriate to each discipline (the Town will prepare Division I and handle the bid process)
5. Submit the Construction Documents to the building department for plan check and permit.

#### **Deliverables:**

##### *Construction Documents*

1. Electronic copies of the set of Bid / Permit Documents
2. Submittal package, including applications and required forms, for Building Permit
3. Meeting notes.

#### **Assumptions and Exclusions**

1. This Proposal/Agreement includes the services of the following consultants: structural engineering, mechanical, plumbing, & electrical systems engineering, and specifications preparation.
2. More than one meeting with agencies of the Town of Fairfax are not included but are available as an additional service.
3. The discovery of, design for, and documentation of unforeseen, hazardous and hidden conditions is excluded from this contract. We can provide additional design and detailing support for unforeseen or hidden conditions as an additional service.
4. The Architect will use reasonable professional efforts and judgment to interpret applicable ADA requirements as well as existing state and local regulations, codes, and ordinances as they apply to the Project. The Architect, however, cannot and does not guarantee or warrant the Project will comply with all interpretations of the ADA.
5. The project scope excludes exterior work, other than patching as required for roof or wall penetrations.
6. Fees due to Town or other agencies are excluded.
7. All deliverables are in electronic format (.PDF) unless otherwise noted. All printing and reproduction expenses required for submittal for agency approvals will be charged to the Owner.

**Schedule**

We understand that the Fire Department would like to continue with the work as soon as possible and we are prepared to begin the Construction Documents upon authorization to proceed. We anticipate the schedule for completion to be 4 – 6 weeks upon execution of an agreement and authorization to proceed.

**Compensation**

Compensation for the Scope of Services outlined above through the Construction Documents Phase shall be a fixed fee of \$47,000.00

**Additional Services**

The following services are excluded from the Scope of Services but are available upon request:

1. Cost Estimate: a cost estimate update is available as an additional service upon request for a Lump Sum of \$5,000.
2. Plan Check Comment Responses: the Scope of Services includes submitting the Construction Documents to the building department for plan check. Responses, revisions, or corrections required to address any plan check comments received are not included in the Scope of Services but are available as additional services on an hourly basis in accordance with the Billing Rate Table.
3. Bidding Assistance: assistance with the bid process, including responding to bidder questions, preparing addenda, etc. are not included in the Scope of Services, but are available as additional services on an hourly basis in accordance with the Billing Rate Table.
4. Construction Administration: Construction Administration services are not included in the Scope of Services, but are available upon request on an hourly basis in accordance with the Billing Rate Table.
5. Any other services not described in the Scope of Services are available upon written request on an hourly basis in accordance with the Billing Rate Table or by a Fixed Fee and Scope as agreed upon by all parties.

**Expenses**

Expenses incurred in connection with these projects are in addition to compensation for services and may include: copying and printing; long distance telephone calls; travel/mileage, parking, and bridge tolls; meals. Expenses will be billed to the Owner at a cost of 1.15 times the cost of the expense incurred by the Architect.

**Proposed Team**

**Jessica Fairchild**

Principal / Architect of Record  
Fairchild Broms Design

**Cheryl A. Lentini**

Project Manager  
C A Lentini Design

We look forward to continuing our relationship with you and assisting with the further development of the Fire Station 21 renovation project.

Sincerely,



Jessica Fairchild, AIA  
C26043

Attachments: Attachment A – Professional Services rates  
Exhibit A – Option I Conceptual Design Package

## **Fairchild Broms Design**

Schedule of Rates (January 1, 2023)

### *Schedule of Professional Services*

Principal / Architect of Record	\$225 / hour
Principal Cost Estimator	\$250 / hour
Senior Planner / Designer / Cost Planner	\$165 - 180 / hour
Designer / Drafter	\$110 / hour
Administrative	\$85 / hour

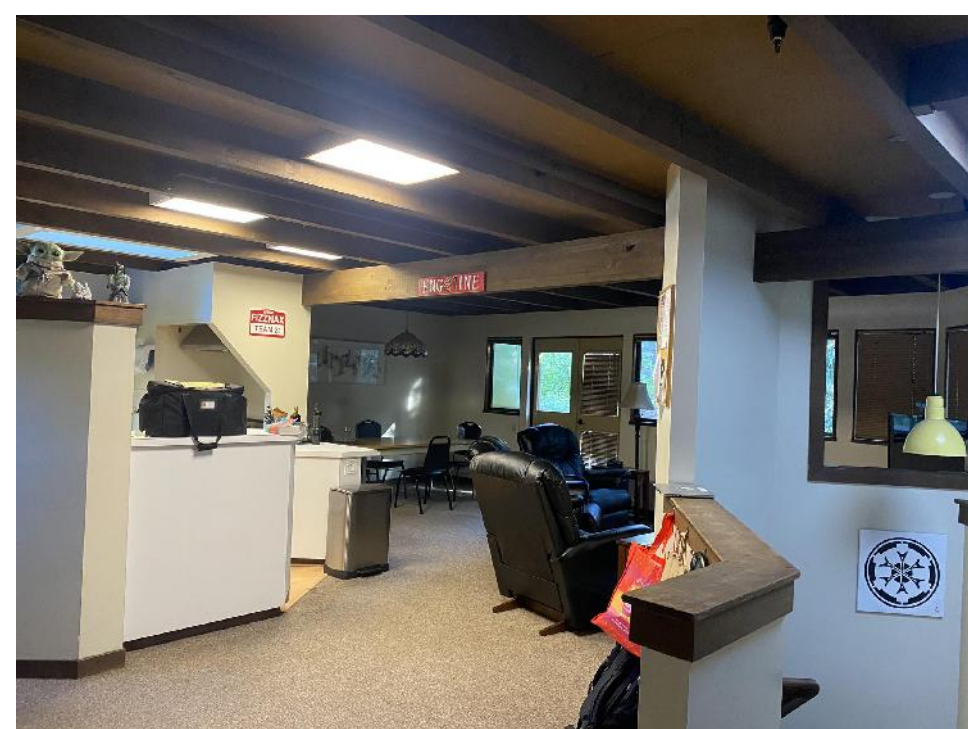
### *Schedule of Reimbursable Expenses*

Transportation:	\$0.54 / mile
Deliveries/Postage:	Cost plus 15%
Plots/reproductions	Cost plus 15%
In House Copies / plots	
BW 11x17	\$0.20/page/copy
BW 8.5x11	\$0.10/ page/copy
Color 11x17	\$3.00/ page/copy
Color 8.5x11	\$1.00/ page/copy



SITE PHOTO LEGEND - EXISTING SECOND FLOOR

1. KITCHEN / LIVING AREA
2. LIVING AREA
3. SLEEPING ROOM
4. KITCHEN
5. KITCHEN
6. DINING AREA
7. SLEEPING ROOM
8. BATHROOM
9. EOC / MULTI-PURPOSE ROOM
10. FIRE POLE



1.



2.



3.



4.



5.



6.



7.



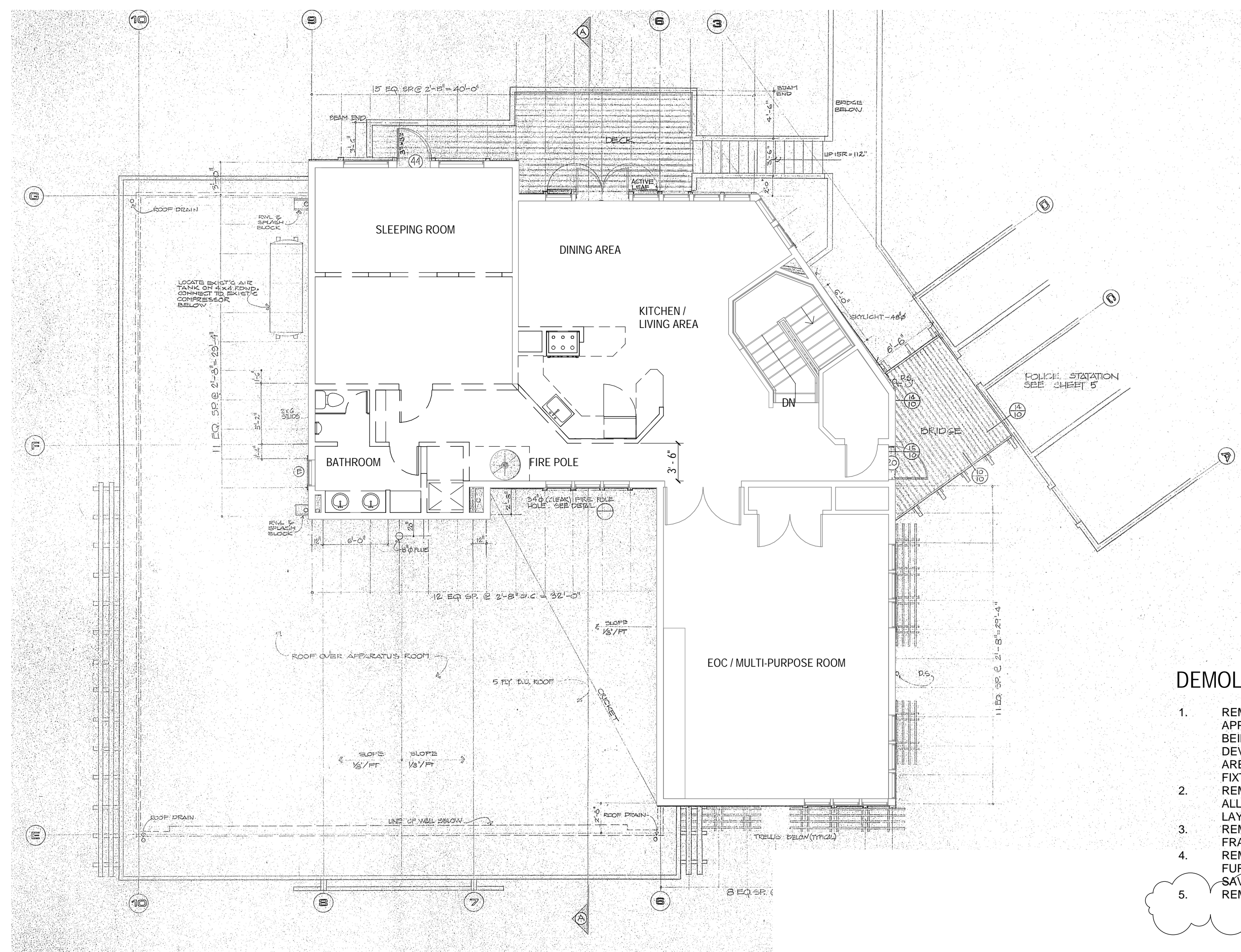
8.



9.



10.



DEMOLITION NOTES

1. REMOVE ALL INTERIOR PLUMBING FIXTURES, PIPING, APPLIANCES, MECHANICAL, & ELECTRICAL EQUIPMENT NOT BEING REUSED IN NEW DESIGN, INCLUDING: DUCTWORK, DEVICES, WIRING, ETC. VERIFY EQUIPMENT SERVING OTHER AREAS & COORDINATE IN THE FIELD. SAVE & PROTECT FIXTURES & DEVICES WHERE NOTED.
2. REMOVE INTERIOR WOOD FRAMED PARTITIONS, INCLUDING ALL FINISHES & TRIMS, AS REQUIRED FOR PROPOSED LAYOUT.
3. REMOVE ALL FLOOR FINISHES & CEILING FINISHES & SPPORT FRAMING AS REQUIRED FOR PROPOSED LAYOUT.
4. REMOVE AL INTERIOR CASEWORK, EQUIPMENT, & FURNISHINGS. VERIFY FURNITURE OR EQUIPMENT TO BE SAVED & REUSED WITH OWNER.
5. REMOVE (E) FIRE POLE, RAIL, & HARDWARE.

1 Demo Floor Plan - Level 2  
1/8" = 1'-0"



NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS
1	04/27/23	REVISION 1

PROJECT TITLE:  
**FIRE STATION 21 REMODEL**  
10 PARK ROAD  
FAIRFAX, CA 94930

PROJECT NO. 2022-003  
DATE: 04/27/23  
SHEET TITLE:

**OPTION 1  
DEMOLITION PLAN &  
SITE PHOTOS**

SCALE: As indicated

All drawings and written material appearing herein constitute original and unpublished work of Cheryl A. Lentini Architect and may not be duplicated without the written consent of Cheryl A. Lentini.



NOT FOR CONSTRUCTION

NO.	DATE	REVISIONS
1	04/27/23	REVISION 1

PROJECT TITLE:

**FIRE STATION  
21 REMODEL**

10 PARK ROAD  
FAIRFAX, CA 94930

PROJECT NO. 2022-003

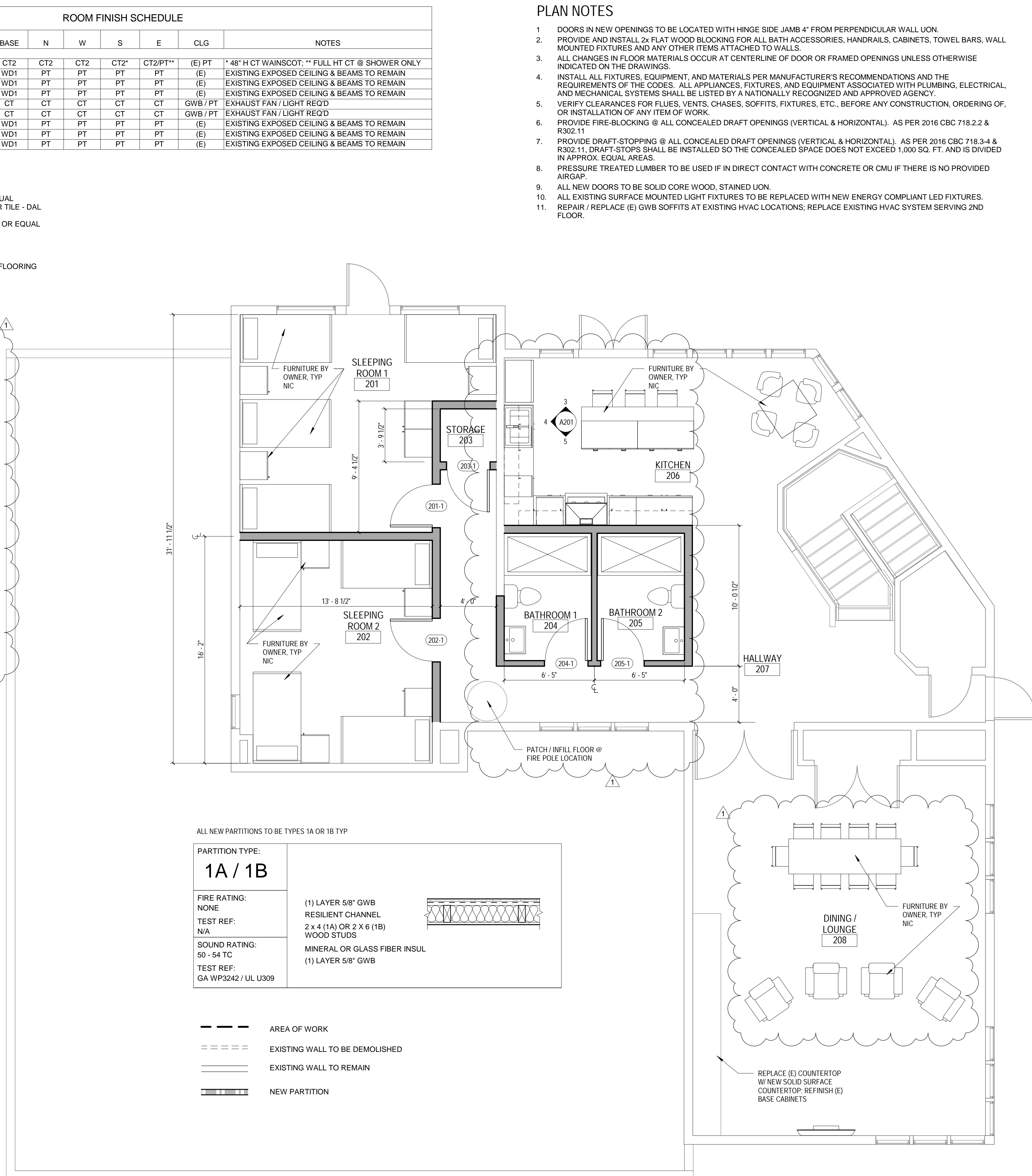
DATE: 04/27/23

SHEET TITLE:

**OPTION 1  
PLAN, SCHEDULE, &  
ELEVATIONS**

SCALE: As indicated

All drawings and written material appearing herein constitute original and unpublished work of Cheryl A. Lentini Architect and may not be duplicated without the written consent of Cheryl A. Lentini.



1 SECOND FLOOR PLAN  
1/4" = 1'-0"

ROOM FINISH SCHEDULE										
ROOM NO	ROOM NAME	FLOOR	BASE	N	W	S	E	CLG	NOTES	
101	BATHROOM 3	CT1	CT2	CT2	CT2	CT2*	CT2/PT**	(E) PT	* 48" H CT WAINSCOT; ** FULL HT CT @ SHOWER ONLY	
201	SLEEPING ROOM 1	CPT	WD1	PT	PT	PT	PT	(E)	EXISTING EXPOSED CEILING & BEAMS TO REMAIN	
202	SLEEPING ROOM 2	CPT	WD1	PT	PT	PT	PT	(E)	EXISTING EXPOSED CEILING & BEAMS TO REMAIN	
203	STORAGE	CPT	WD1	PT	PT	PT	PT	(E)	EXISTING EXPOSED CEILING & BEAMS TO REMAIN	
204	BATHROOM 1	CT	CT	CT	CT	CT	CT	GWB / PT	EXHAUST FAN / LIGHT REQD	
205	BATHROOM 2	CT	CT	CT	CT	CT	CT	GWB / PT	EXHAUST FAN / LIGHT REQD	
206	KITCHEN	WD2	WD1	PT	PT	PT	PT	(E)	EXISTING EXPOSED CEILING & BEAMS TO REMAIN	
207	HALLWAY	WD2	WD1	PT	PT	PT	PT	(E)	EXISTING EXPOSED CEILING & BEAMS TO REMAIN	
208	DINING / LOUNGE	CPT	WD1	PT	PT	PT	PT	(E)	EXISTING EXPOSED CEILING & BEAMS TO REMAIN	

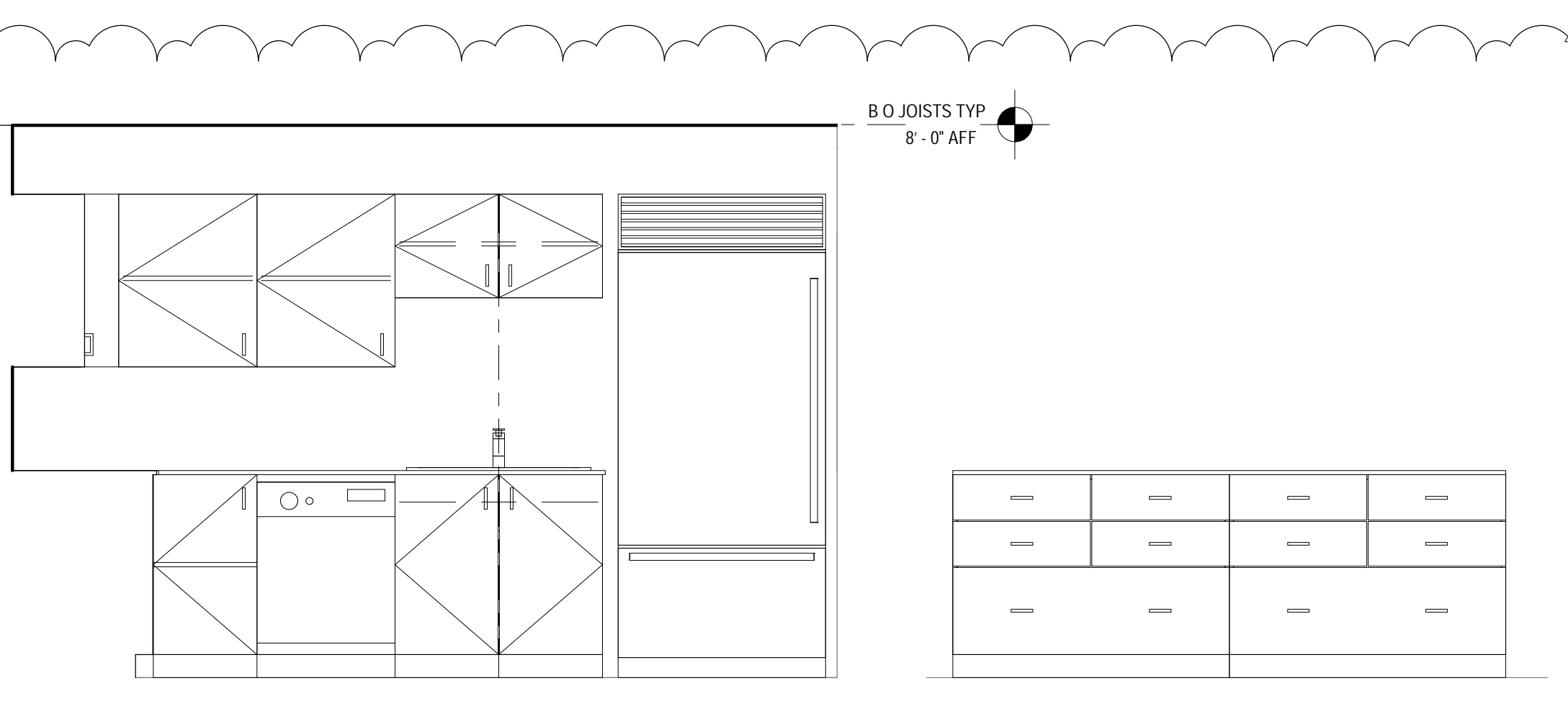
**ROOM FINISH MATERIALS LEGEND**

CPT	CARPET - MOWHAWK GROUP OR EQUAL
CT1	CERAMIC TILE - LARGE SCALE FLOOR TILE - DAL TILE OR EQUAL
CT2	CERAMIC TILE - WALL TILE - DAL TILE OR EQUAL
(E) / PT	EXPOSED TO STRUCTURE, PAINT
GWB / PT	GWB, PAINT, COLOR -
PT	PAINT, BENJAMIN MOORE OR EQUAL
WD	WOOD (6" BASE)
WD1	ENGINEERED / PREFINISHED WOOD FLOORING

PLAN NOTES

- DOORS IN NEW OPENINGS TO BE LOCATED WITH HINGE SIDE JAMB 4" FROM PERPENDICULAR WALL UON.
- PROVIDE AND INSTALL 2x FLAT WOOD BLOCKING FOR ALL BATH ACCESSORIES, HANDRAILS, CABINETS, TOWEL BARS, WALL MOUNTED FIXTURES AND ANY OTHER ITEMS ATTACHED TO WALLS.
- ALL CHANGES IN FLOOR MATERIALS OCCUR AT CENTERLINE OF DOOR OR FRAMED OPENINGS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- INSTALL ALL FIXTURES, EQUIPMENT, AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS AND THE REQUIREMENTS OF THE CODES. ALL APPLIANCES, FIXTURES, AND EQUIPMENT ASSOCIATED WITH PLUMBING, ELECTRICAL, AND MECHANICAL SYSTEMS SHALL BE LISTED BY A NATIONALLY RECOGNIZED AND APPROVED AGENCY.
- VERIFY CLEARANCES FOR FLUES, VENTS, CHASES, SOFFITS, FIXTURES, ETC., BEFORE ANY CONSTRUCTION, ORDERING OF, OR INSTALLATION OF ANY ITEM OF WORK.
- PROVIDE FIRE-BLOCKING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2016 CBC 718.2.2 & R302.11
- PROVIDE DRAFT STOPPING @ ALL CONCEALED DRAFT OPENINGS (VERTICAL & HORIZONTAL). AS PER 2016 CBC 718.3-4 & R302.11. DRAFT STOPS SHALL BE INSTALLED SO THE CONCEALED SPACE DOES NOT EXCEED 1,000 SQ. FT. AND IS DIVIDED IN APPROX. EQUAL AREAS.
- PRESSURE TREATED LUMBER TO BE USED IF IN DIRECT CONTACT WITH CONCRETE OR CMU IF THERE IS NO PROVIDED AIRGAP.
- ALL NEW DOORS TO BE SOLID CORE WOOD, STAINED UON.
- ALL EXISTING SURFACE MOUNTED LIGHT FIXTURES TO BE REPLACED WITH NEW ENERGY COMPLIANT LED FIXTURES.
- REPAIR / REPLACE (E) GWB SOFFITS AT EXISTING HVAC LOCATIONS; REPLACE EXISTING HVAC SYSTEM SERVING 2ND FLOOR.

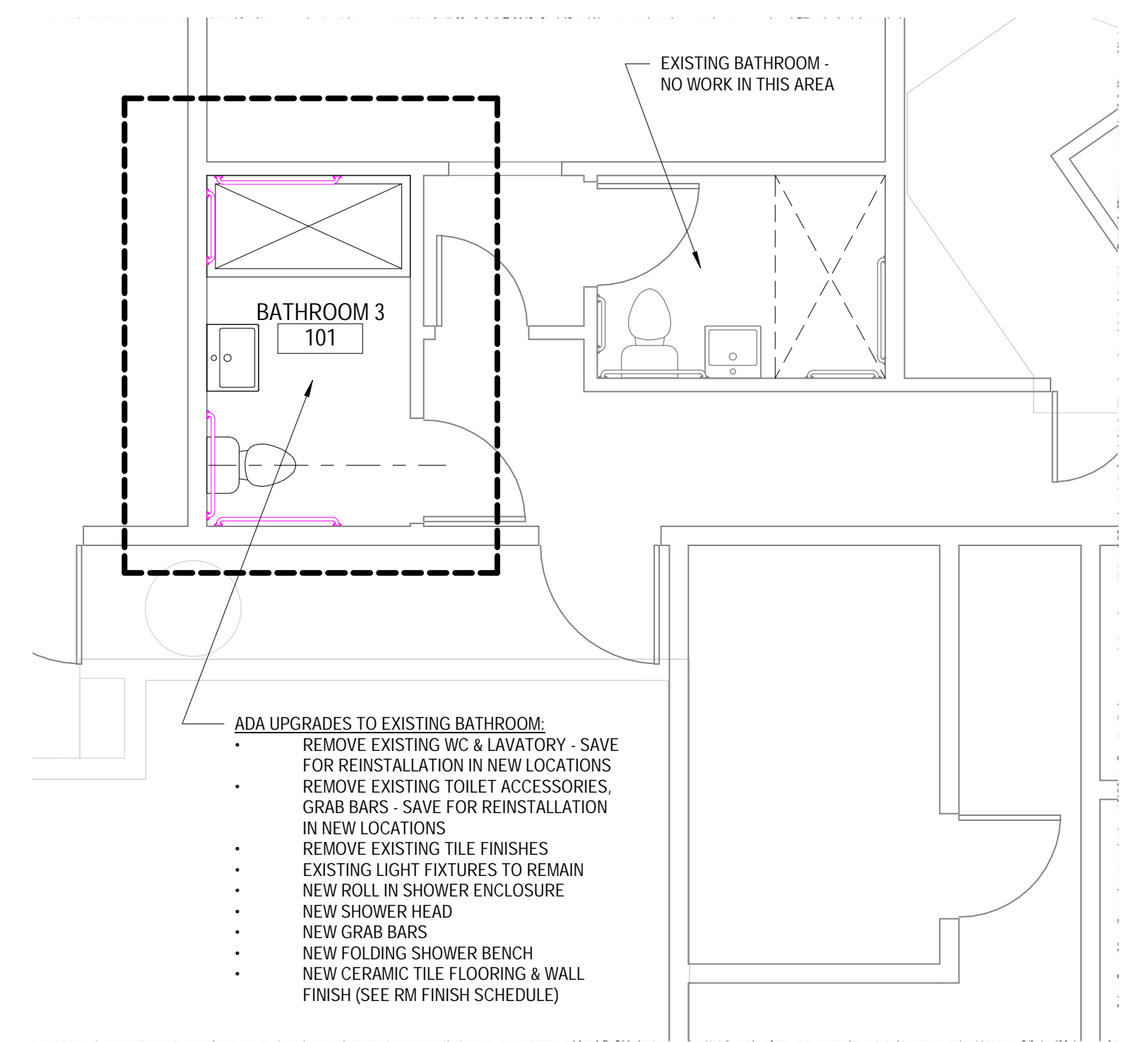
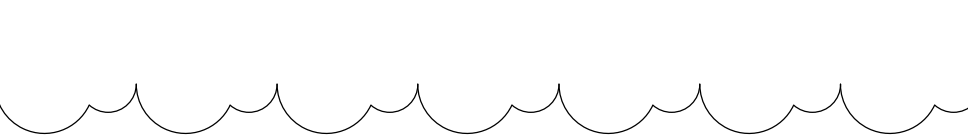
5 ROOM 206 KITCHEN - SOUTH ELEV  
1/2" = 1'-0"



4 RM 206 KITCHEN - WEST ELEV  
1/2" = 1'-0"



3 KITCHEN ISLAND ELEV  
1/2" = 1'-0"



2 FIRST FLOOR PLAN  
1/4" = 1'-0"

4/27/2023 3:33:00 PM