

PROJECT INFORMATION

PROJECT SCOPE/DESCRIPTION:
 ALTERATION/REPAIR OF EXISTING RETAINING WALLS, CONSTRUCTION OF NEW RETAINING WALLS, CONSTRUCTION OF NEW ENTRY STAIRS, CONSTRUCTION OF CONCRETE DRIVEWAY, CONSTRUCTION OF DECK (PROVIDES COVERED PARKING FOR TWO PARKING SPACES), PAVING OF PARKING PAD FOR FOUR PARKING SPACES, INSTALLATION OF GUARD RAILINGS THROUGHOUT

PARCEL INFORMATION:	LOT COVERAGE:		
	EXISTING	PROPOSED	
Parcel Number:	003-082-04		
Parcel Jurisdiction:	Town of Fairfax		
ZONING:	Footprint SF for all structures:	1000 SF	1000 SF
	Living Space SF:	1564 SF	1564 SF
	First Floor	non-inhabitable	non-inhabitable
Front Yard Set Back	2nd Floor	1000 SF	1000 SF
	3rd Floor	564 SF	564 SF
Side Yard Setback - Accumulative	SF of Impervious Surfaces:	740 SF	950 SF
Rear Yard Set Back	Walkways	300 SF	450 SF
Maximum Main Structure Height	Impervious Deck	0 SF	500 SF
Allowable Lot Coverage	Concrete Pad	440 SF	0 SF
Lot Size:	TOTAL IMPERVIOUS SF:	1740 SF	1950 SF
	LOT COVERAGE PERCENTAGE:	27%	30%

SHEET INDEX

A1.01	PROPOSED SITE PLAN, VICINITY MAP, PROJECT MAP, SHEET INDEX, PROJECT INFORMATION
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A1.03	PROPOSED LANDSCAPE, DRAINAGE & GRADING PLAN
A2.01	EXISTING SITE PLAN - EASEMENT
S1.1	STRUCTURAL - PLAN
S1.2	STRUCTURAL - RETAINING WALL DETAILS
S1.3	DECK FOUNDATION & FRAMING PLAN & DETAILS

DEFERRED SUBMITTAL ITEMS

THE FOLLOWING ITEMS (IF REQUIRED) SHALL BE SUBMITTED FOR APPROVAL FOLLOWING THE START OF CONSTRUCTION:

- GUARDRAIL CONNECTION DETAIL PROVIDED BY MANUFACTURER

CODE COMPLIANCE

ALL WORK TO BE PERFORMED SHALL COMPLY WITH THE FOLLOWING CODES:
 CALIFORNIA TITLE 24 (2016)
 CALIFORNIA BUILDING CODE (CBC 2016)
 CALIFORNIA ELECTRICAL CODE (CEC 2016)
 CALIFORNIA MECHANICAL CODE (CMC 2016)
 CALIFORNIA PLUMBING CODE (2016 CPC)
 CALIFORNIA FIRE CODE (2016 CFC)
 CALIFORNIA RESIDENTIAL CODE (2016 CRC)
 CALIFORNIA GREEN BUILDING STANDARDS CODE (2016 CGBSC)
 THIS PROJECT IS LOCATED IN A WUI ZONE AND IS SUBJECT TO ALL THE REQUIREMENTS CRC R337.

Project North True North

ALL DIMENSIONS SHOWN ARE TO FACE OF STUD OR CENTERLINE OF STUD, WINDOW, DOOR, ETC. (TYPICAL U.O.N.) CONTRACTOR TO VERIFY AND CONFIRM DIMENSIONS PRIOR TO LAYOUT

APN
003-082-04

1 PROPOSED SITE PLAN - SETBACKS, FINISHES
 SCALE: 1/8" = 1'-0"

SEE SHEET A1.02 FOR
 CONTOURS, ELEVATIONS &
 SLOPES

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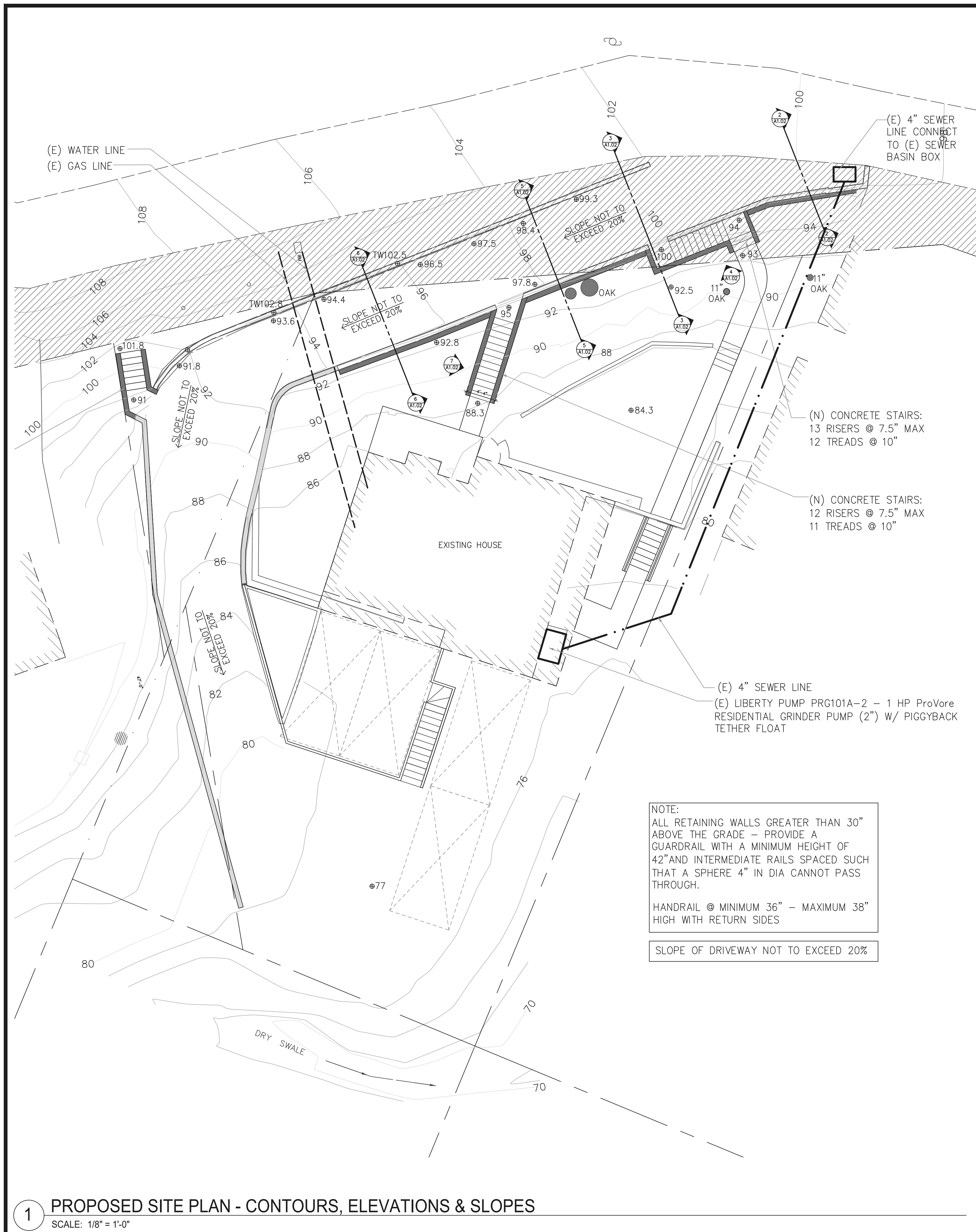
HORN RESIDENCE
74 WOODLAND ROAD
FAIRFAX, CALIFORNIA 94930
003-082-04

Sheet Name
PROPOSED SITE PLAN

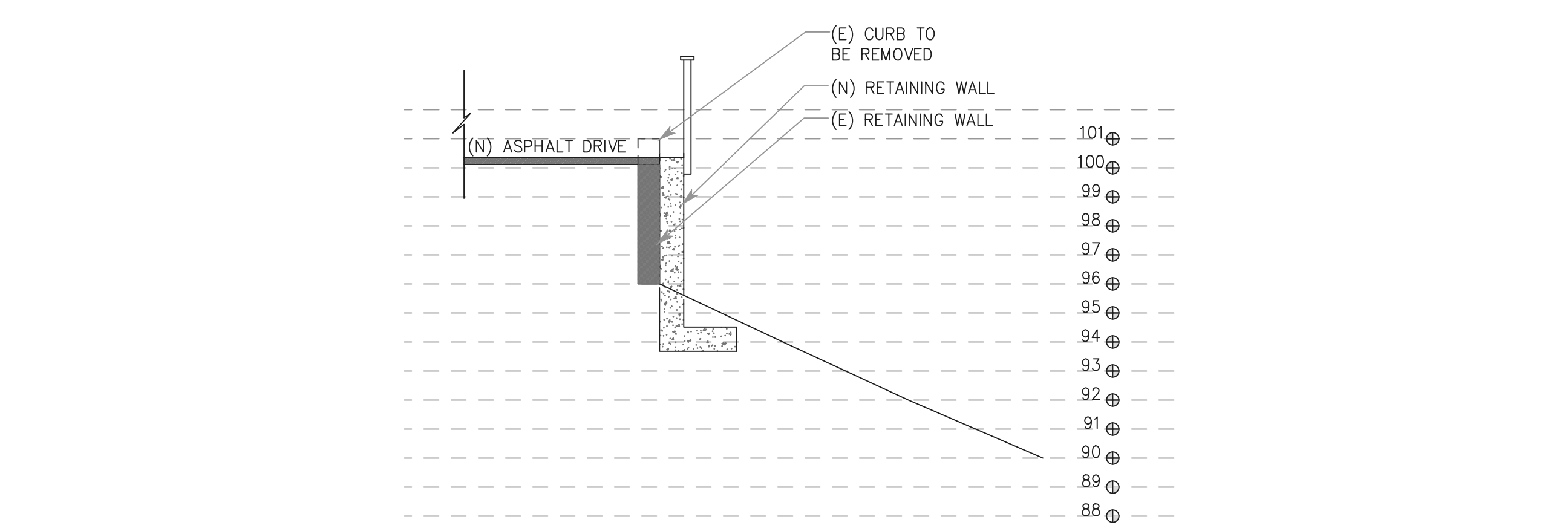
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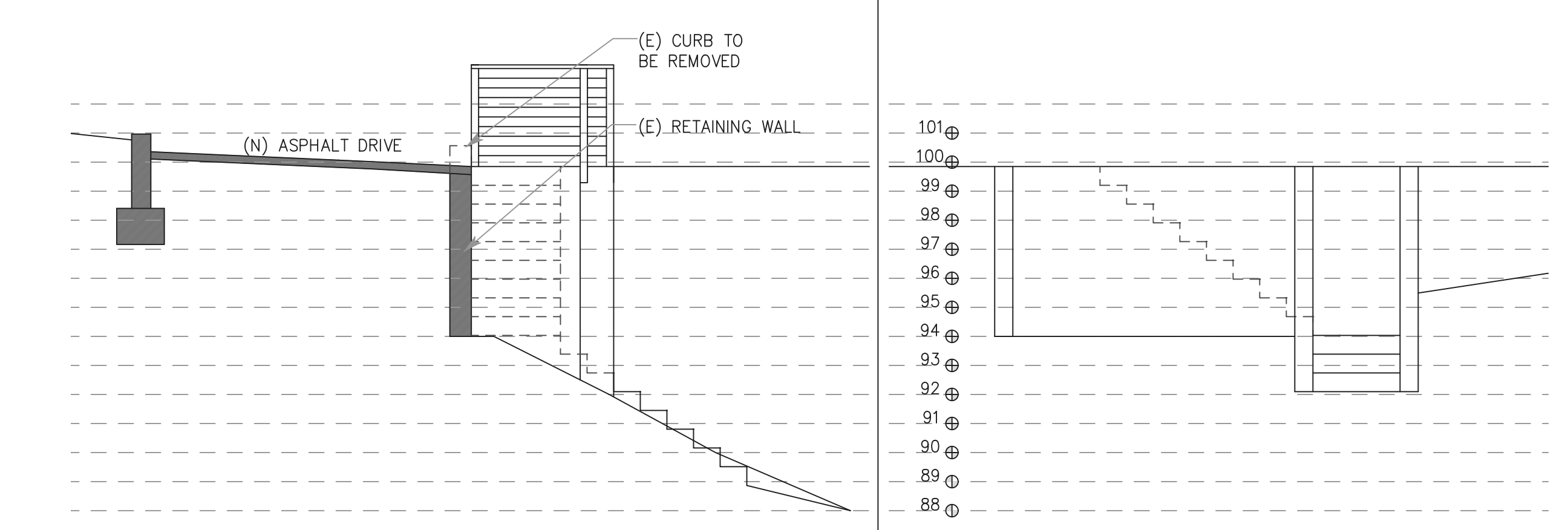
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A1.01



1 PROPOSED SITE PLAN - CONTOURS, ELEVATIONS & SLOPES
SCALE: 1/8" = 1'-0"

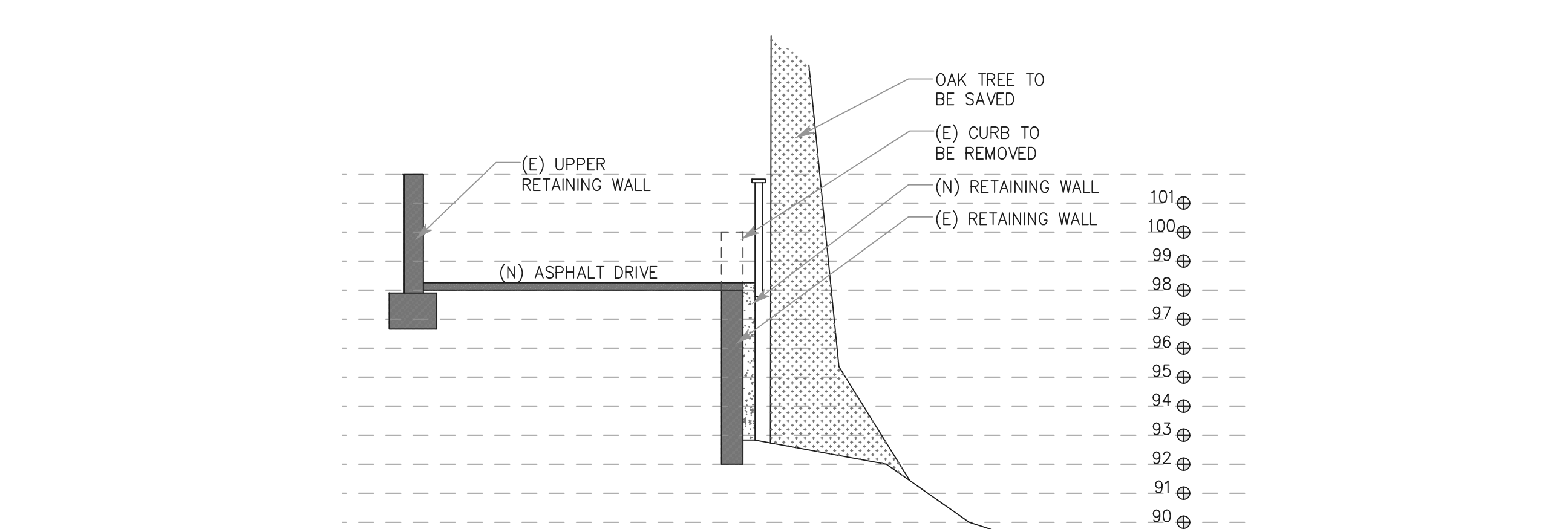


2 CONTOUR CROSS SECTION
SCALE: 1/4" = 1'-0"

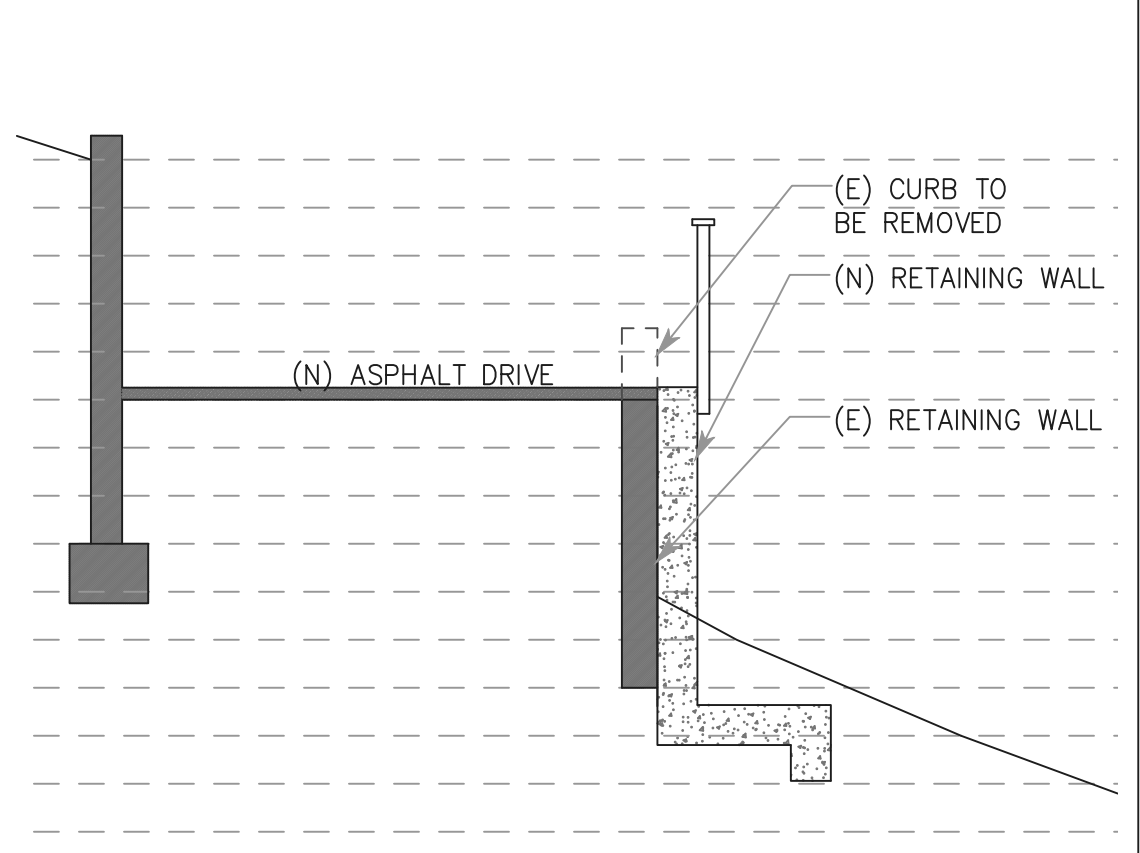


3 CONTOUR CROSS SECTION
SCALE: 1/4" = 1'-0"

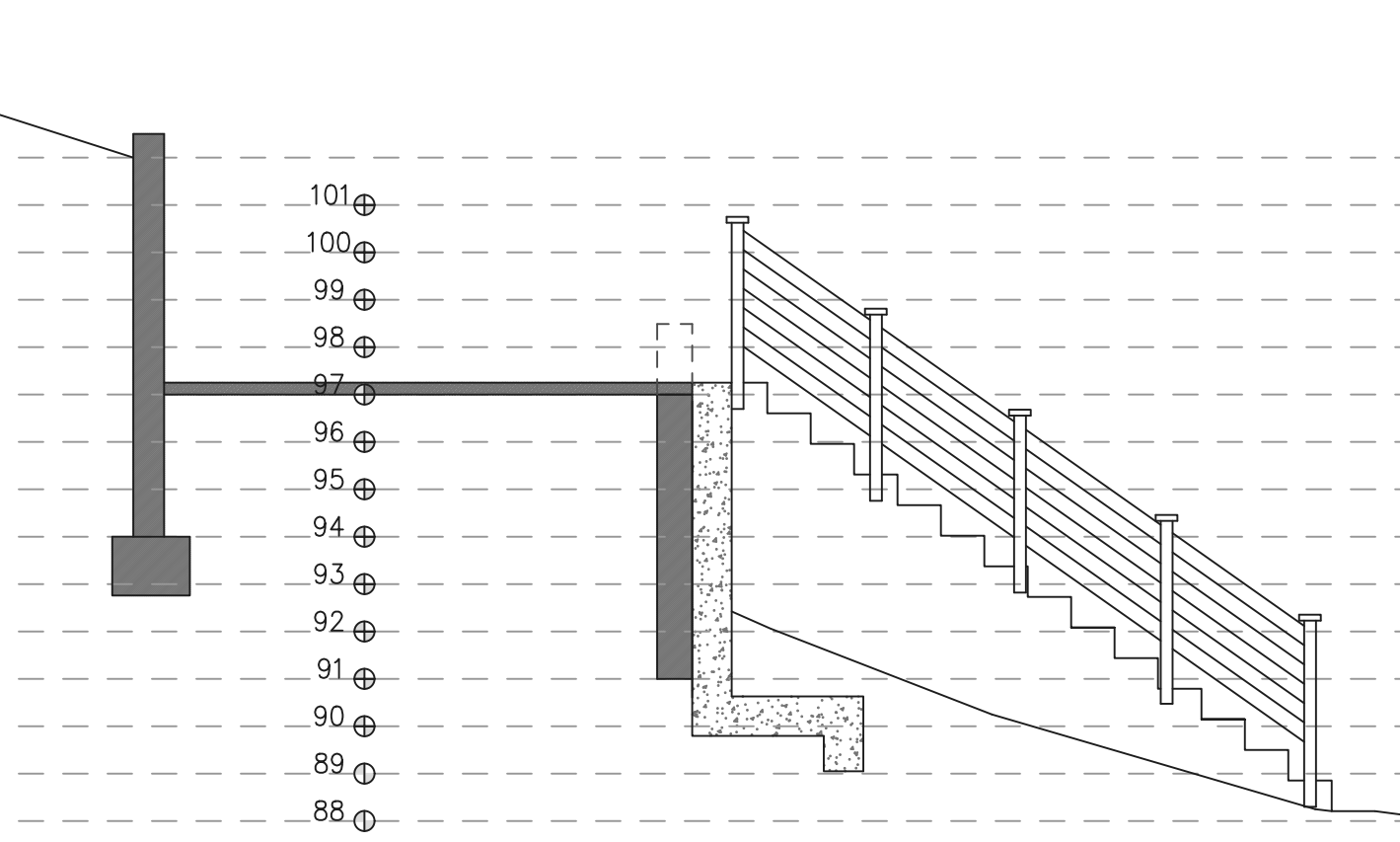
4 STAIR ELEVATION
SCALE: 1/4" = 1'-0"



5 CONTOUR CROSS SECTION
SCALE: 1/4" = 1'-0"



6 CONTOUR CROSS SECTION
SCALE: 1/4" = 1'-0"



7 CONTOUR CROSS SECTION
SCALE: 1/4" = 1'-0"

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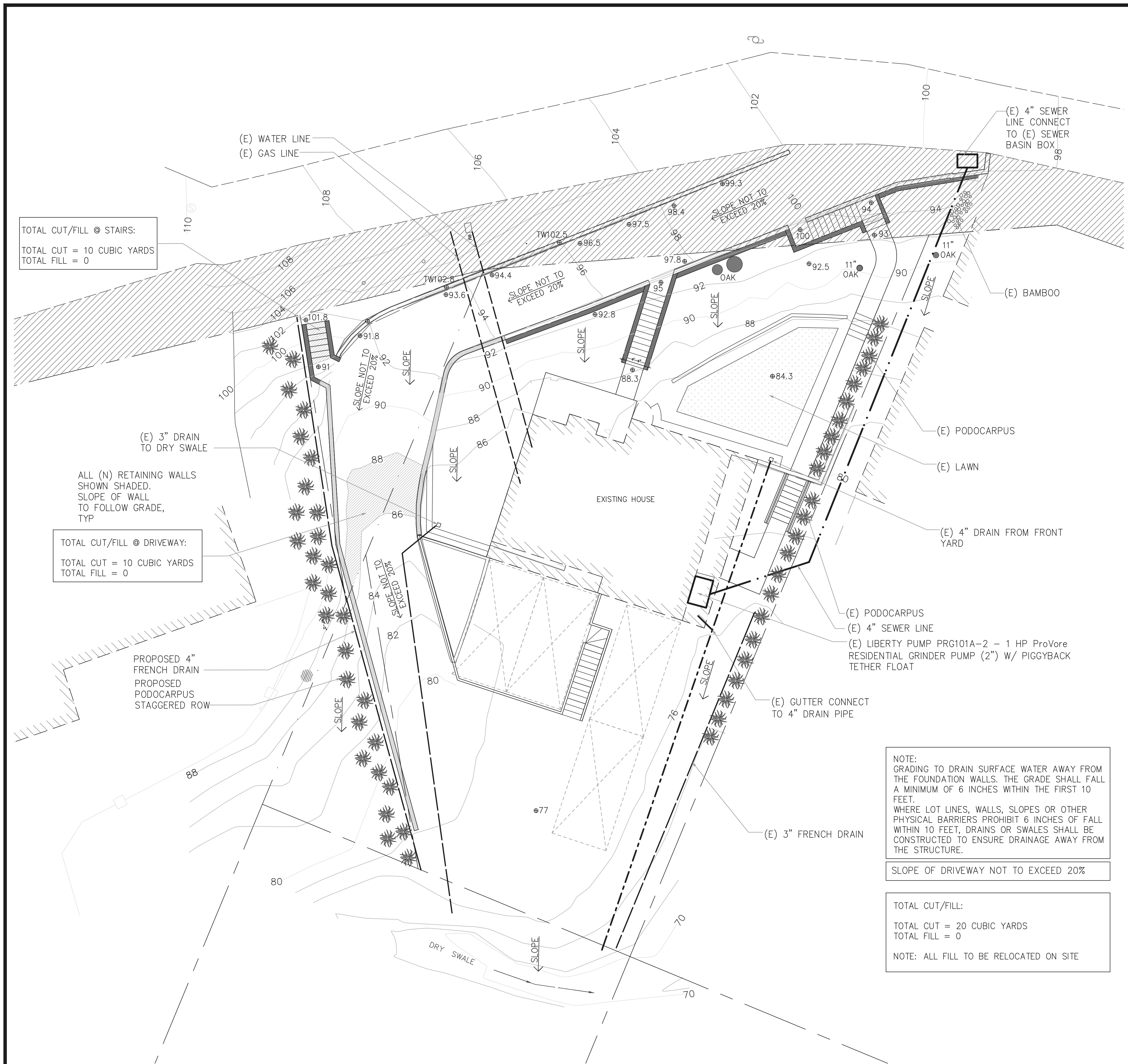
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PROPOSED
SITE PLAN -
ELEVATIONS,
CONTOURS &
SLOPES

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A1.02



TOTAL CUT/FILL @ STAIRS:
 TOTAL CUT = 10 CUBIC YARDS
 TOTAL FILL = 0

TOTAL CUT/FILL @ DRIVEWAY:
 TOTAL CUT = 10 CUBIC YARDS
 TOTAL FILL = 0

NOTE:
 GRADING TO DRAIN SURFACE WATER AWAY FROM THE FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
 WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE.

SLOPE OF DRIVEWAY NOT TO EXCEED 20%

TOTAL CUT/FILL:
 TOTAL CUT = 20 CUBIC YARDS
 TOTAL FILL = 0
 NOTE: ALL FILL TO BE RELOCATED ON SITE

VMP PLANT LIST				
PLANT COMMON NAME	PLANT LATIN NAME	FIRE RESISTANT	NUMBER	EXISTING/PROPOSED
Coast Live Oak	Quercus agrifolia	Yes	2	Existing
Bamboo	(Unknown)	No	1	Existing
Podocarpus	Podocarpus gracilior	Yes	20	Existing
Podocarpus	Podocarpus gracilior	Yes	30	Proposed

NARRATIVE

Existing Conditions

- Two mature coast live oaks located in the front yard (between the home and the driveway). The branches of these trees were recently cut back to prevent their reaching over the home. They overhang the roadway, but at a height exceeding 14'.
- There is a row of Podocarpus planted between 74 Woodland and 78 Woodland Rd. These are fire resistant plants used for view screening. They are, at closest, 10 feet from the home and are trimmed to maintain that distance.
- Hazardous plant: There is a small cluster of bamboo located approximately 40' from the home and at or near the property line. The neighbor has requested that it remain for view screening. This cluster was recently maintained (all dead material removed). It is my intent to remove this bamboo in the near future and to replace it with Podocarpus.
- All other vegetation on the property has recently been removed.

Proposed Scope
 The intent of this plan is to:

- Properly maintain the mature live oak trees with selective pruning and removal of all dead material per firewise standards.
- Maintain the line of Podocarpus located at the property line between 74 Woodland and 78 Woodland, to ensure that branches are not within 10 feet of the home.

Future Planting

- A row of 30 Podocarpus are to be planted between 74 Woodland and 68 Woodland. This is a fire-resistant species of plant that is regularly used for view screening. This row of trees will be 20' from the home and will be planted in staggered/clumped manner.
- Other than the above, there is no planting planned for the property. However, all future plantings throughout the site, if any, will include fire-resistant, irrigated shrubs, perennials, and ground covers as in the FIREsafe Marin planting lists located at www.firesafemarin.org/plants.

Long Term Maintenance Schedule and Safety Practices

- All fire prone fuels and dead material will be removed within 100' of the home.
- Remove branches beneath large trees for a 6-foot minimum clearance.
- Needles and leaves and other combustible debris and litter shall be removed from roofs and gutter at minimum twice yearly. Gutters have covers that prevent debris from building up.
- All weeds and grasses shall be cut regularly to a height of 4" or less.
- Vegetation shall be trimmed to within 10' horizontally of roadways, and trees shall be trimmed as not to overhang roadways and provide 14' of clearance vertically.
- All dead and dying vegetation shall be removed seasonally to reduce vegetation volume and ladder fuels.
- Coordinate with adjacent property owners to maintain tree canopies, vegetation and ladder fuels on an annual basis.
- No native grasses shall be planted within Home ignition zones 1 and 2.
- All planted areas inside Home ignition zones 1 and 2 shall be irrigated.
- All plantings shall be selected in coordination with the FIREsafe Marin planting list located at www.firesafemarin.org/plants.
- Other fire resistant plants can be utilized with prior approval of the Fire Code Official.
- Regardless of plant selection, shrubs shall be spaced so that no continuity exists between ground fuels and tree crowns, such that a ground fire will not extend into the tree canopy.

Immediate Zone (ZONE 0): 0'-5'
 The Immediate Zone extends 0-5' from your house. ZONE 0 is the area closest to your house, including the structure itself, decks, outdoor furniture, and the outside walls and coverings. This area is most vulnerable, and should be most aggressively maintained for fire resistance.

- Remove any combustible outdoor furniture.
- Replace jute or fiber door mats with fire resistant materials.
- Remove or relocate all combustible materials, including garbage and recycling containers, lumber, trash, and patio accessories.
- Clean all fallen leaves and needles regularly. Repeat often during fire season.
- No vegetation is recommended within 5' of structures.
- Remove tree limbs that extend into this zone. Fire-prone tree varieties should be removed if they extend within 5' of structures.
- Do not store firewood, lumber, or combustibles here, even (especially) under decks or overhangs. Move stored combustibles inside, or at least 30' away from structures.
- Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

Intermediate Zone (ZONE 1): 5'-30'
 The Intermediate Zone from 5' to 30' out from buildings, structures, decks, etc. Keep ZONE 1 "Lean, Clean, and Green" and employ careful landscaping to create breaks that can help influence and decrease fire behavior.

- Remove all dead plants, grass, and weeds (vegetation).
- Remove dead or dry leaves and pine needles from your yard, roof and rain gutters.
- Trim trees regularly to keep branches a minimum of 10 feet from other trees.
- Remove branches that hang over your roof and keep dead branches 10 feet away from your chimney.
- Remove vegetation and items that could catch fire from around and under decks.
- Remove fire-prone plants, and choose only fire-resistant varieties. Irrigate regularly.
- Remove limbs to a height of 10' above the ground (or 1/3 the height of the tree) to provide clearance and to eliminate a "fire ladder".
- Use only inorganic, non-combustible mulches such as stone or gravel. Composted mulch and large bark and chips (greater than 1/2" diameter) may be OK.

Extended Zone (ZONE 2): 30'-100'
 The extended zone from 30' to 100' (or more, if required due to steep slopes, nearby vegetation conditions, and/or your local fire department). The goal here is not to eliminate fire but to interrupt fire's path and keep flames smaller and on the ground. This zone should include at a minimum:

- Cut or mow annual grass down to a maximum height of 4 inches.
- Create horizontal spacing between shrubs, trees and vertical spacing between grass, shrubs and trees.
- Remove fallen leaves, needles, twigs, bark, cones, and small branches. However, they may be permitted to a depth of 3 inches if erosion control is needed.

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APN
003-082-04

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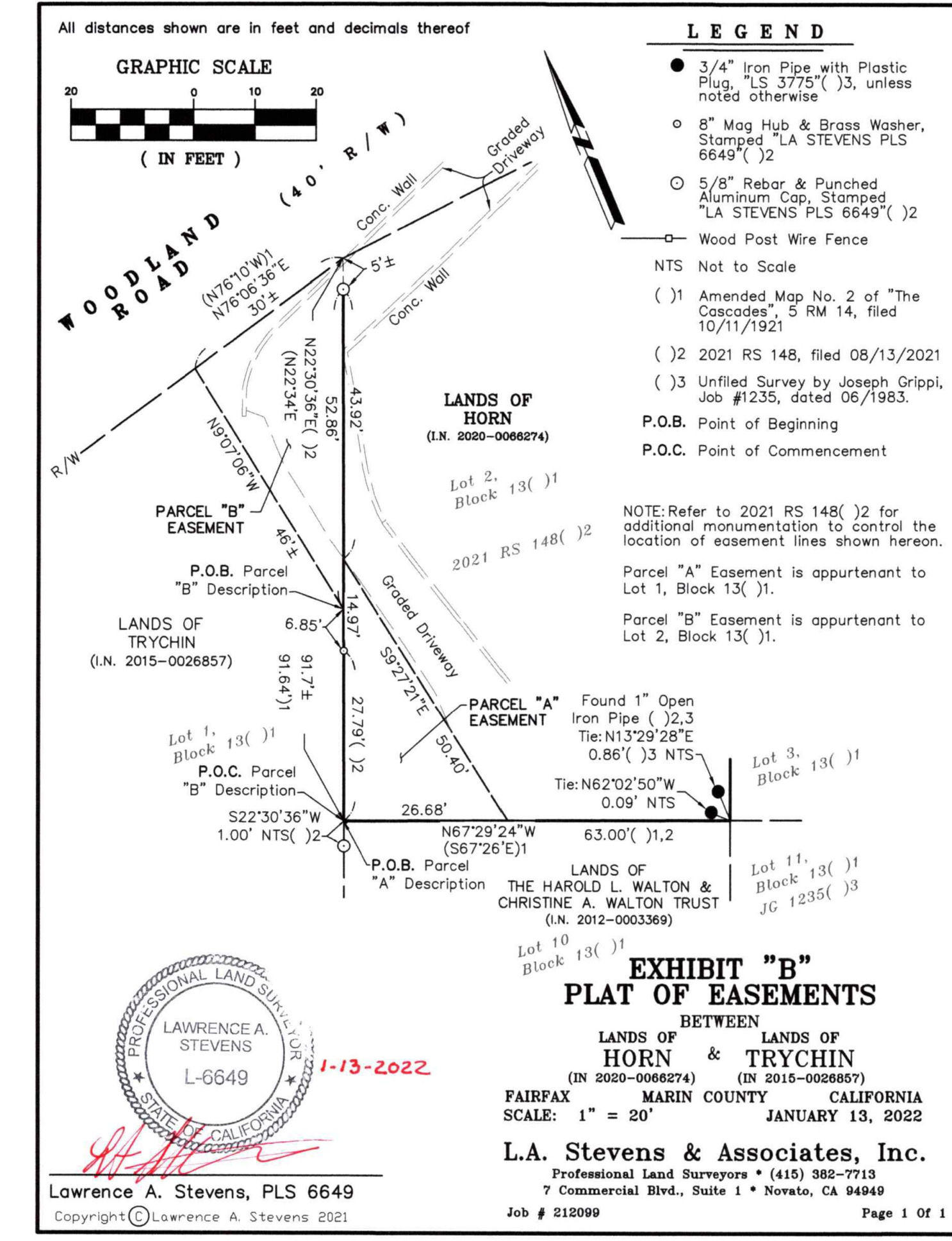
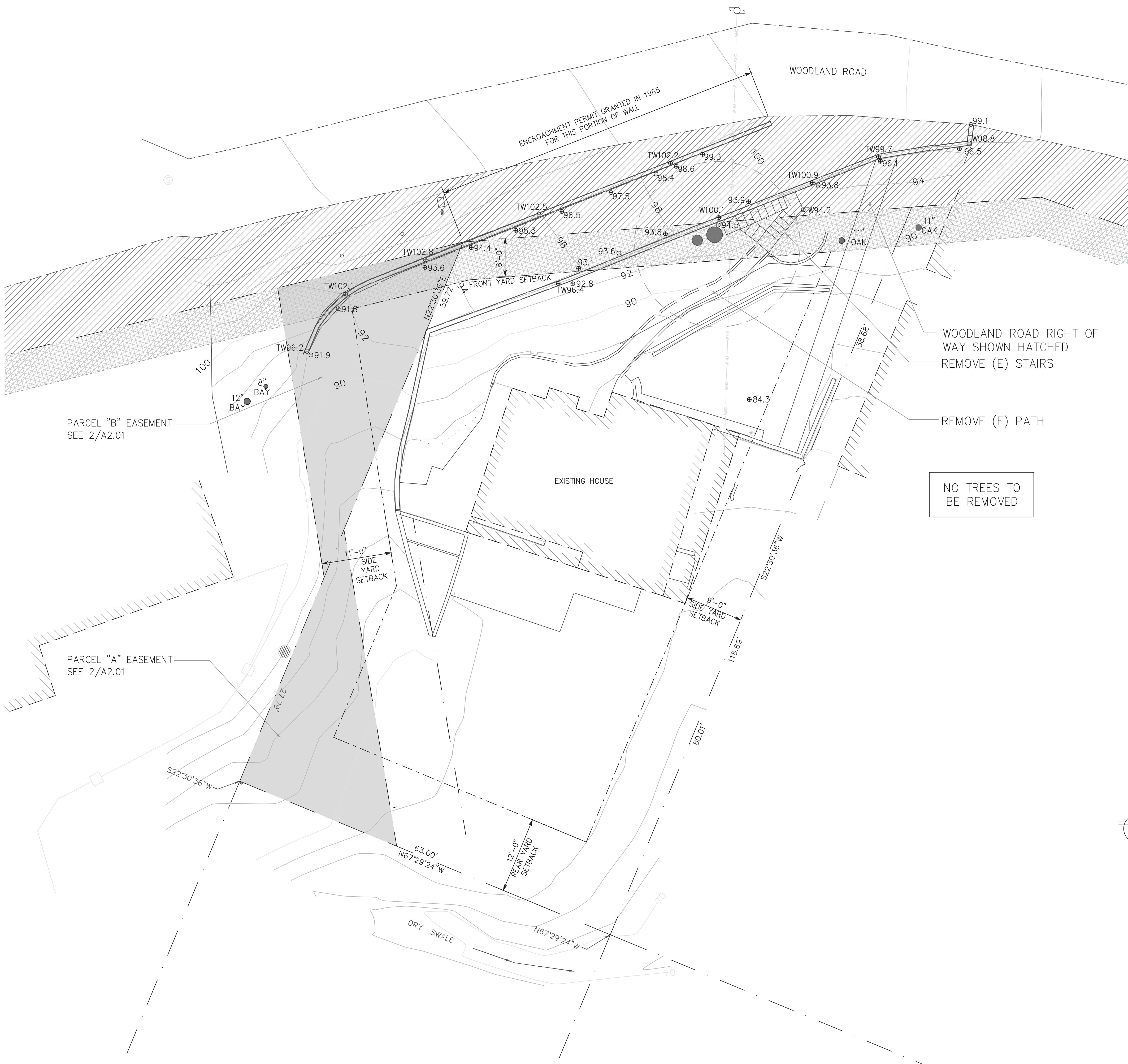
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Sheet Name
PROPOSED LANDSCAPE, DRAINAGE & GRADING PLAN

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2 EASEMENT
 SCALE: NTS

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1 EXISTING/DEMO SITE PLAN
 SCALE: 1/16" = 1'-0"

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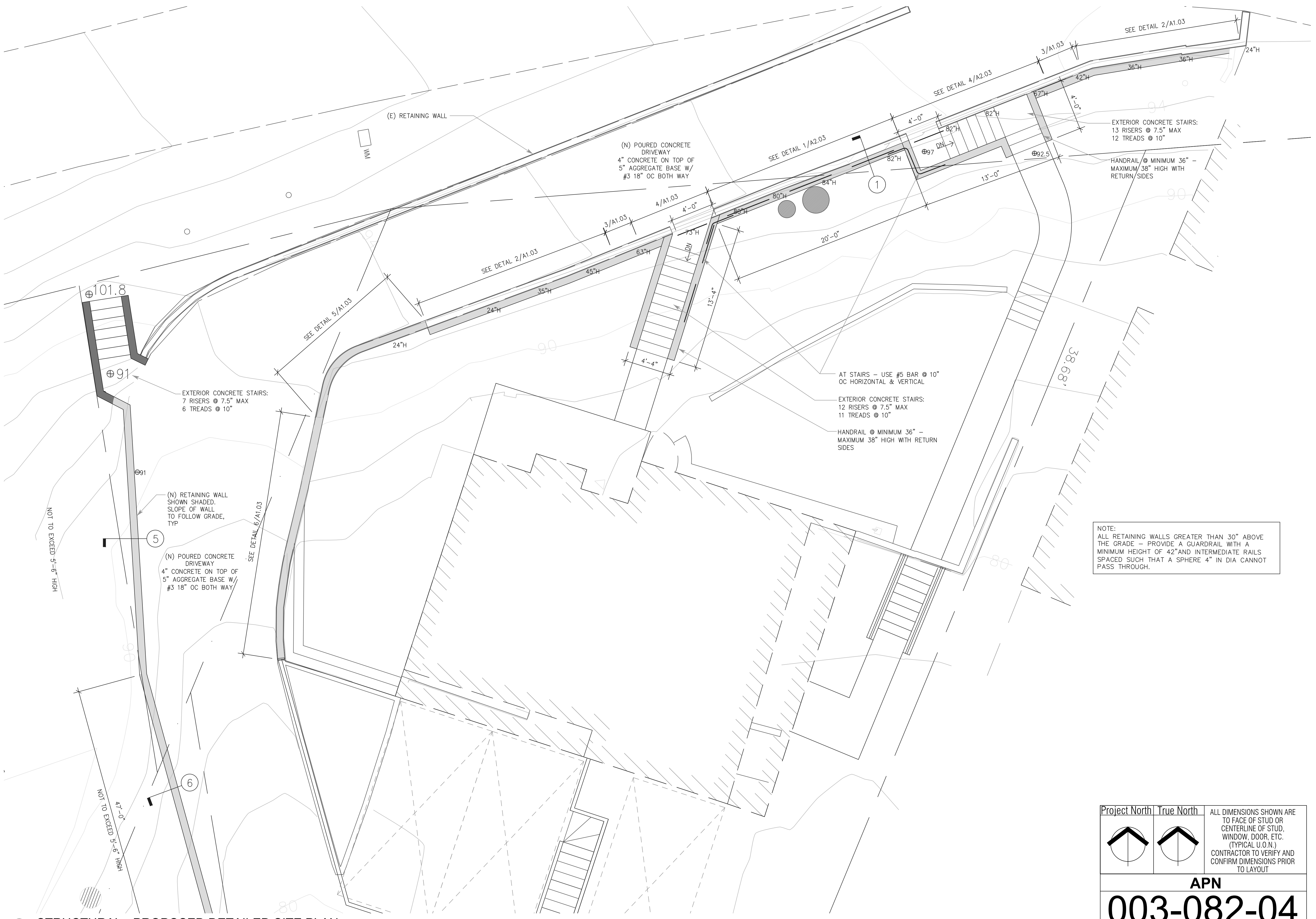
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Sheet Name
 EXISTING/DEMO
 SITE PLAN

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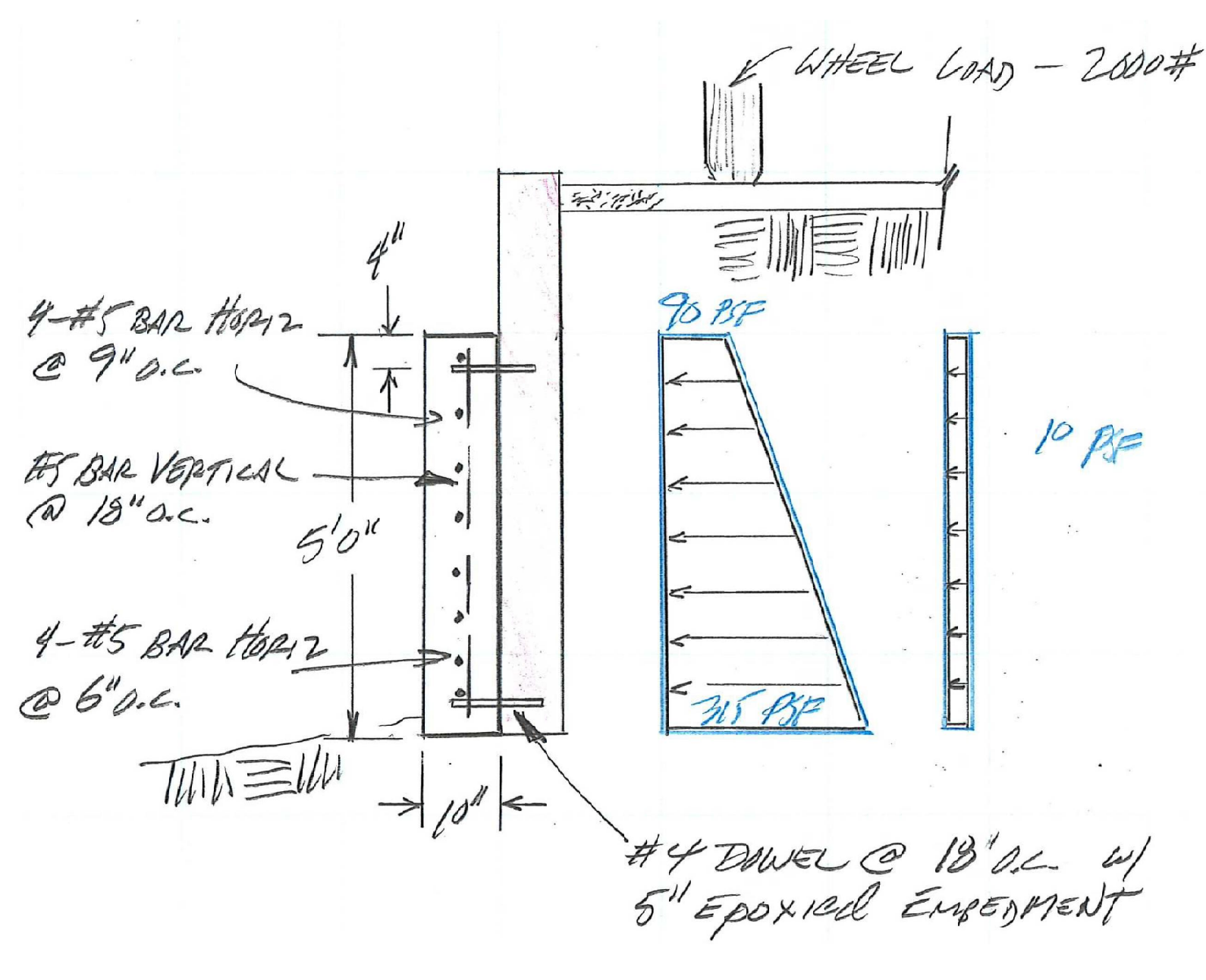
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**STRUCTURAL
 PLAN**

DATE: 1.19.2023
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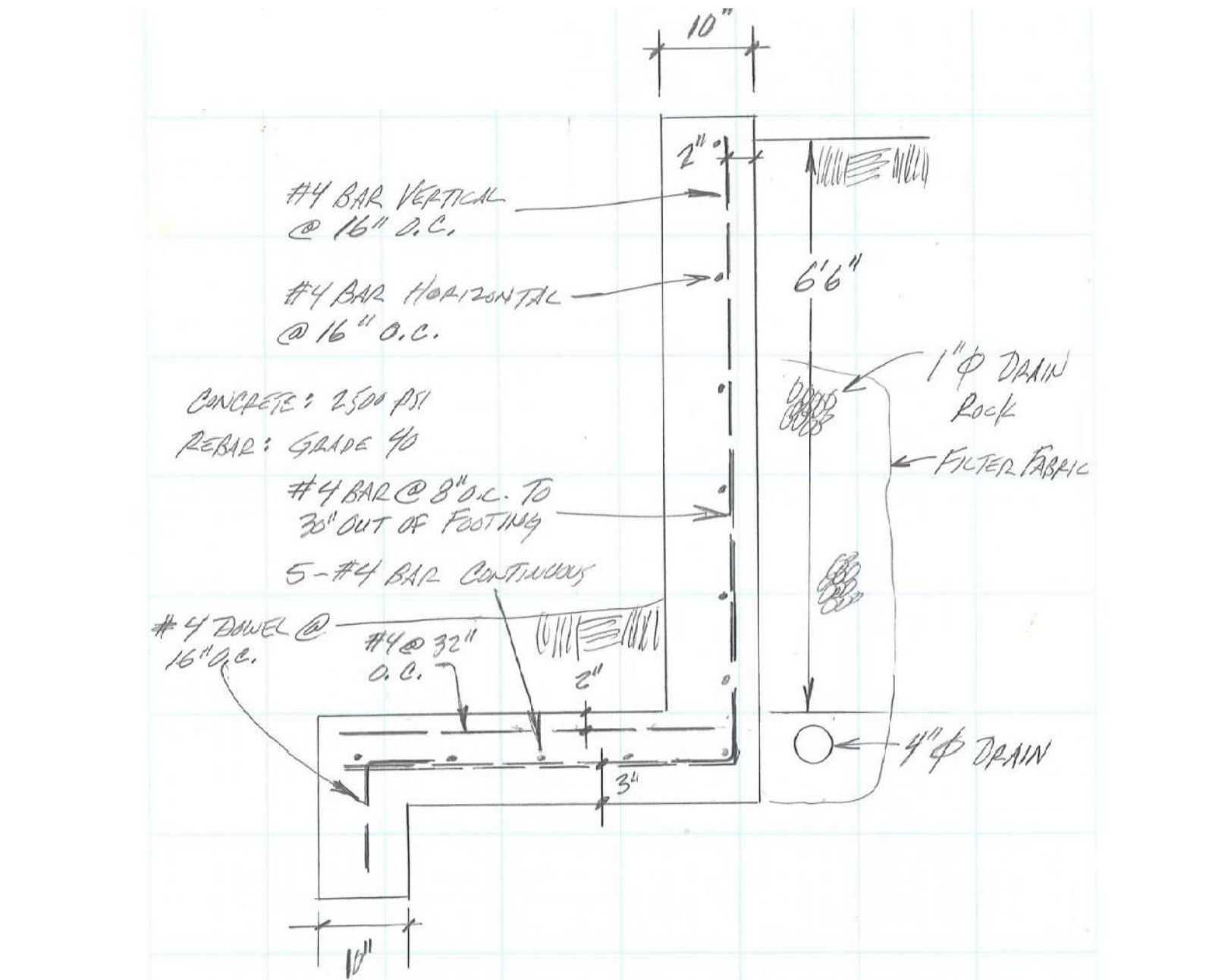
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S1.1

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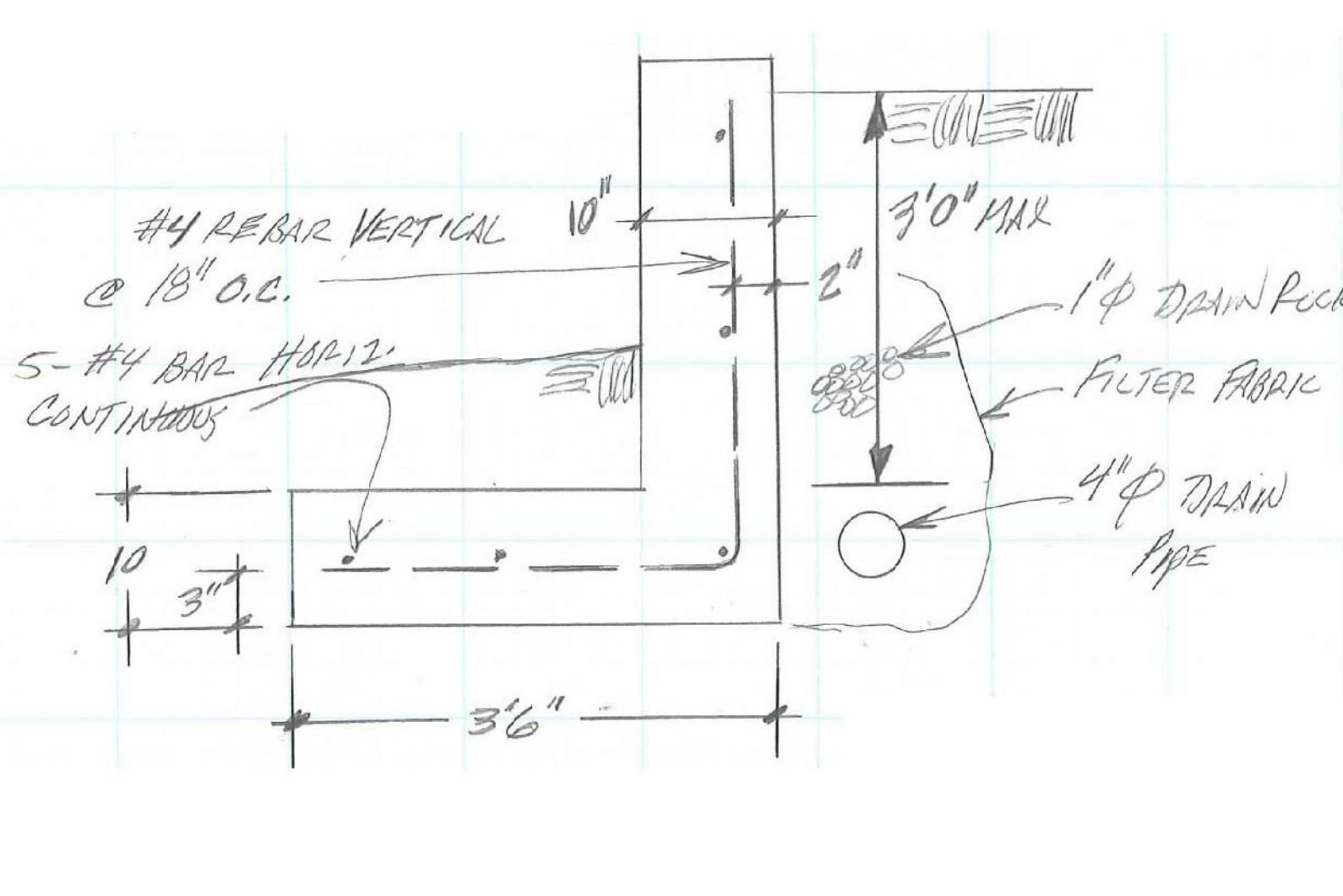
1 STRUCTURAL - PROPOSED DETAILED SITE PLAN
 SCALE: 1/4" = 1'-0"



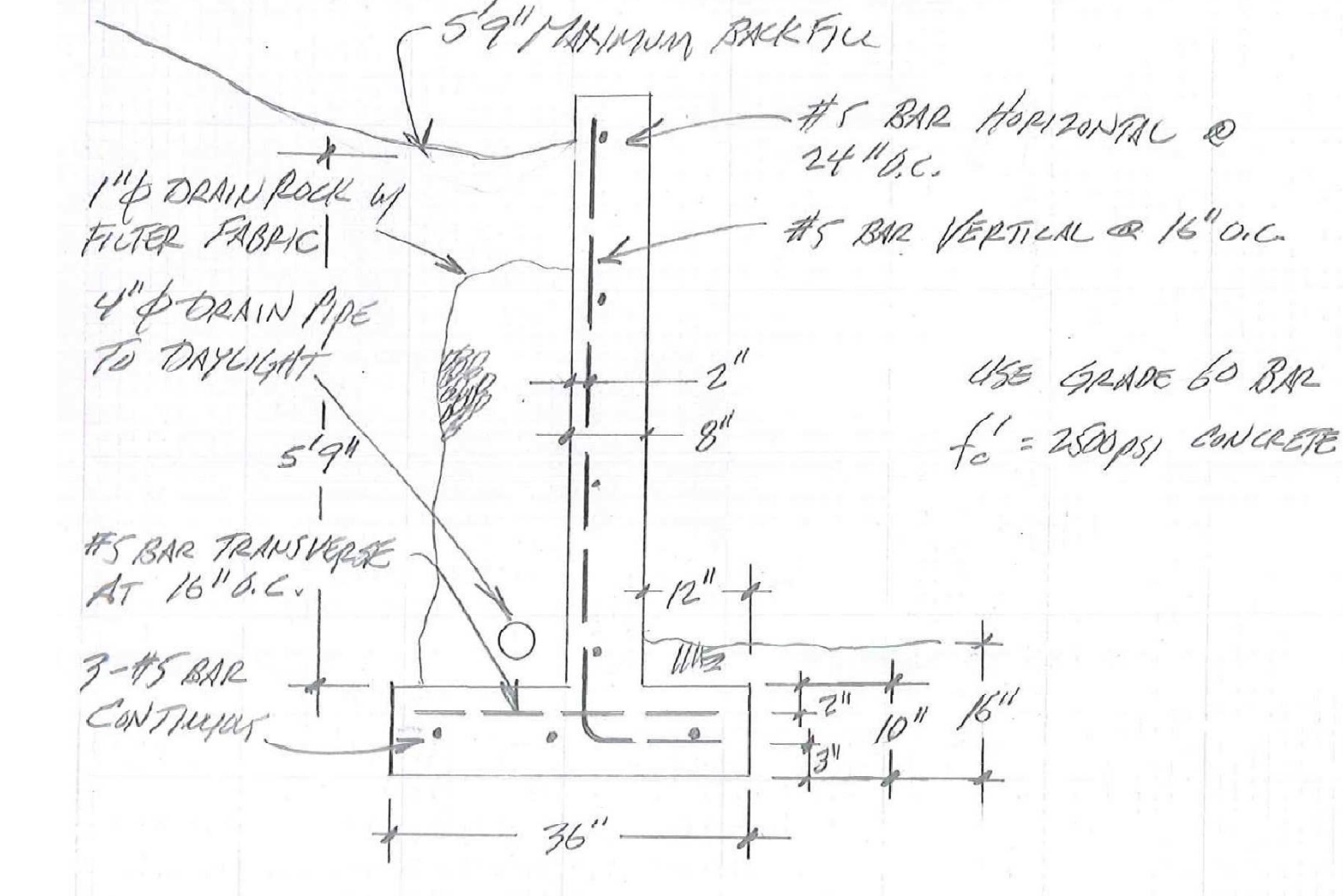
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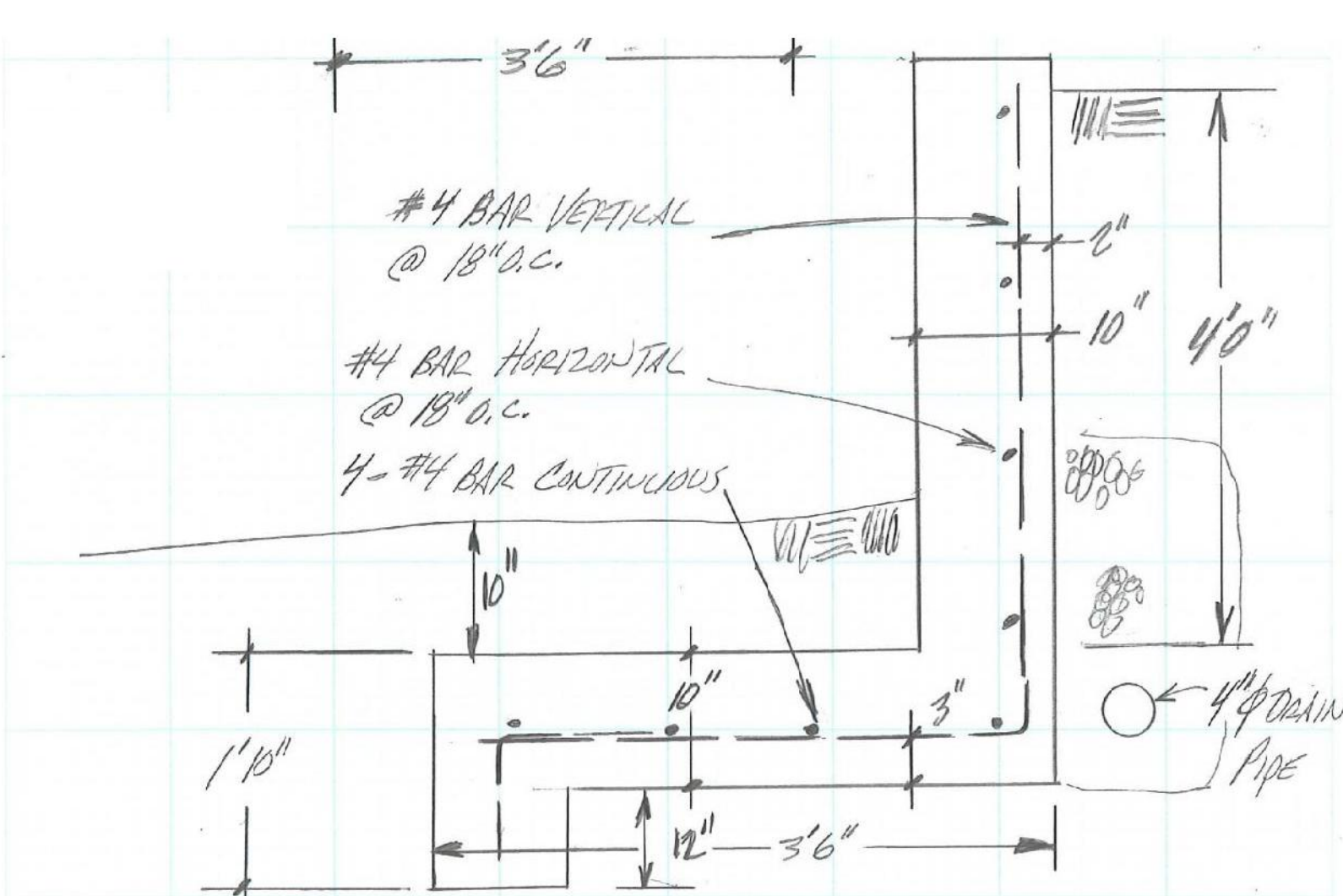
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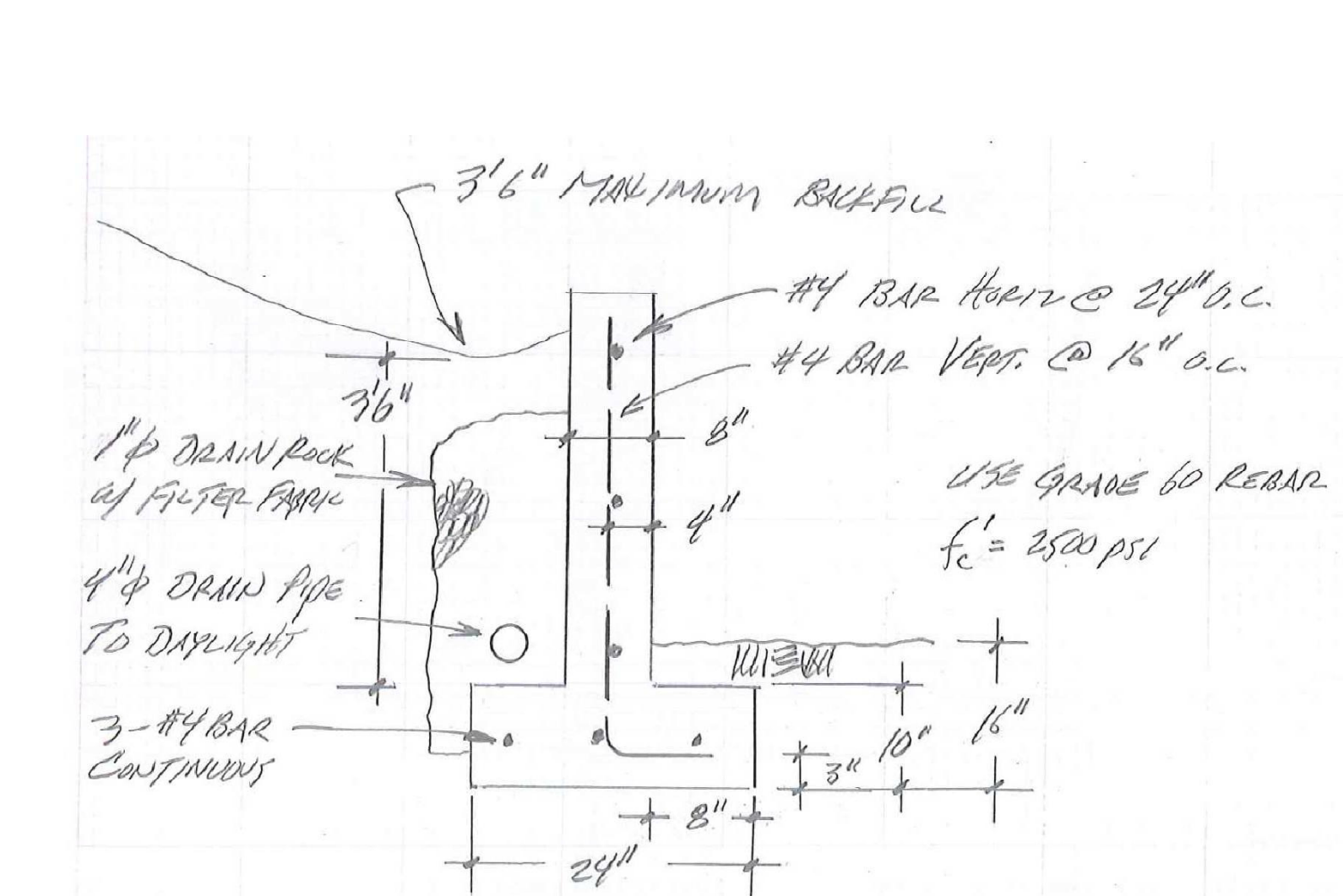
2 STRUCTURAL DETAIL 2
SCALE: NTS



5 STRUCTURAL DETAIL 5
SCALE: NTS



3 STRUCTURAL DETAIL 3
SCALE: NTS



6 STRUCTURAL DETAIL 6
SCALE: NTS

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**STRUCTURAL
RETAINING WALL
DETAILS**

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S1.2



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Sheet Name
 STRUCTURAL
 DECK PLAN

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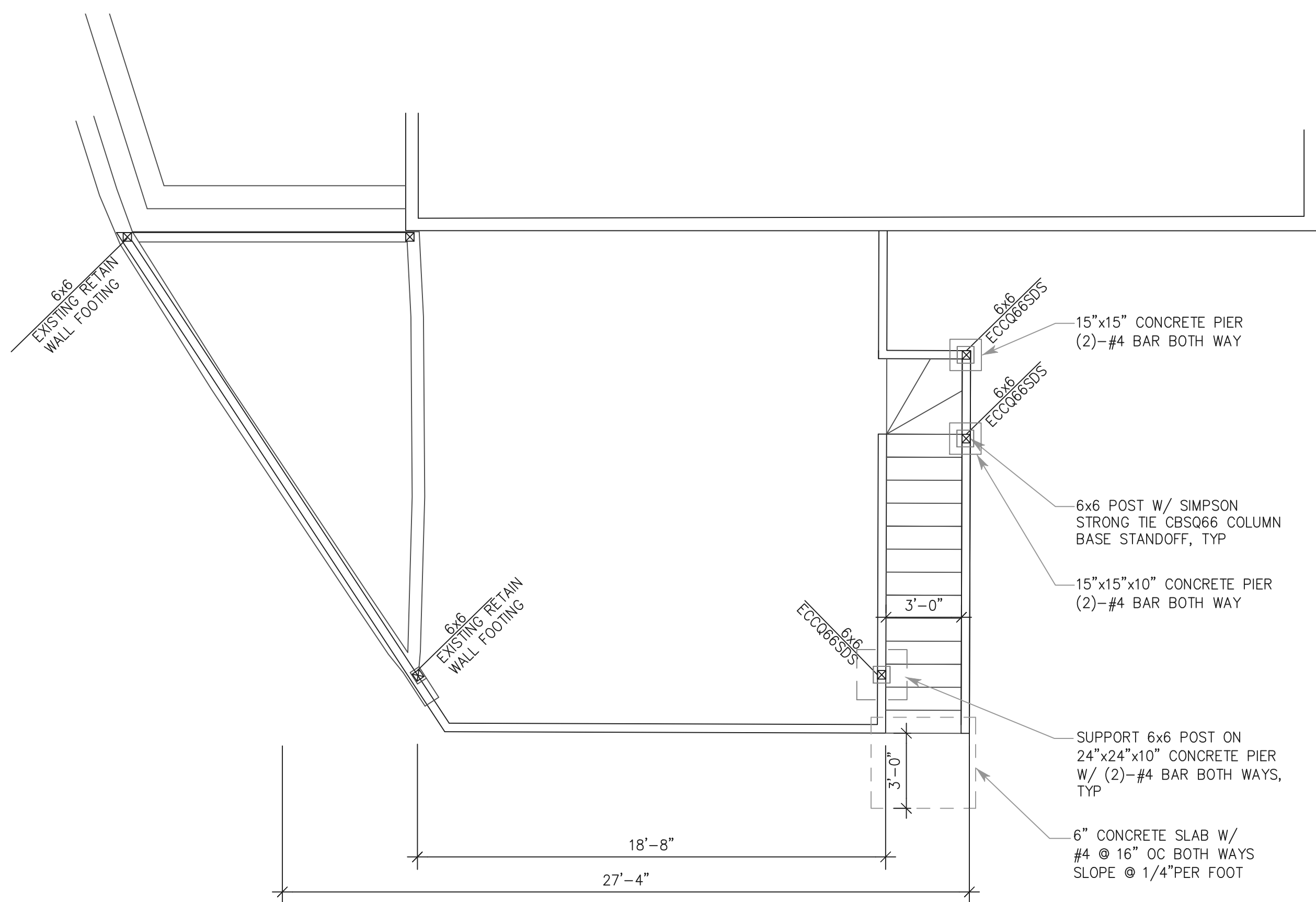
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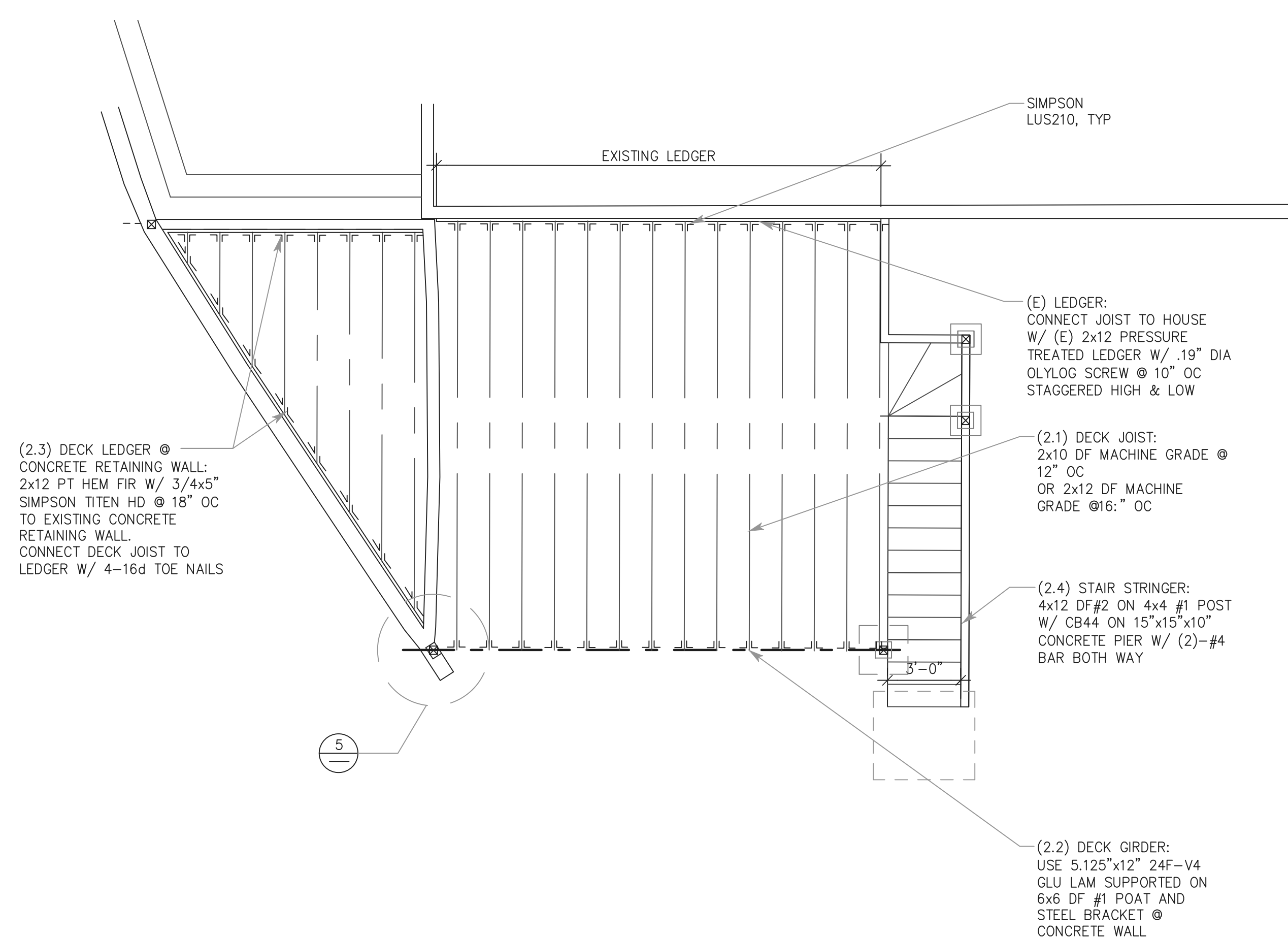
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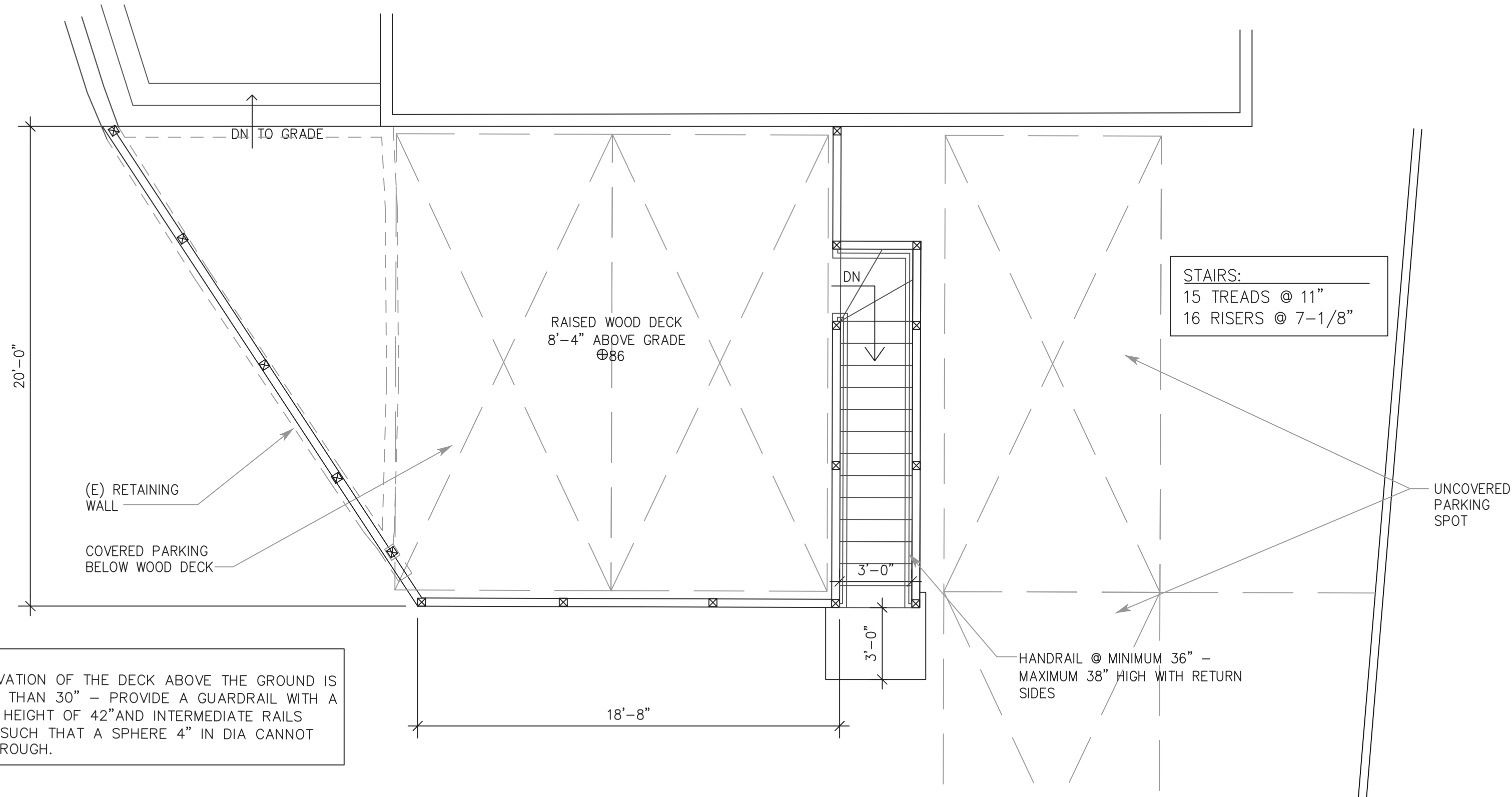
S1.3



1 PROPOSED DECK FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



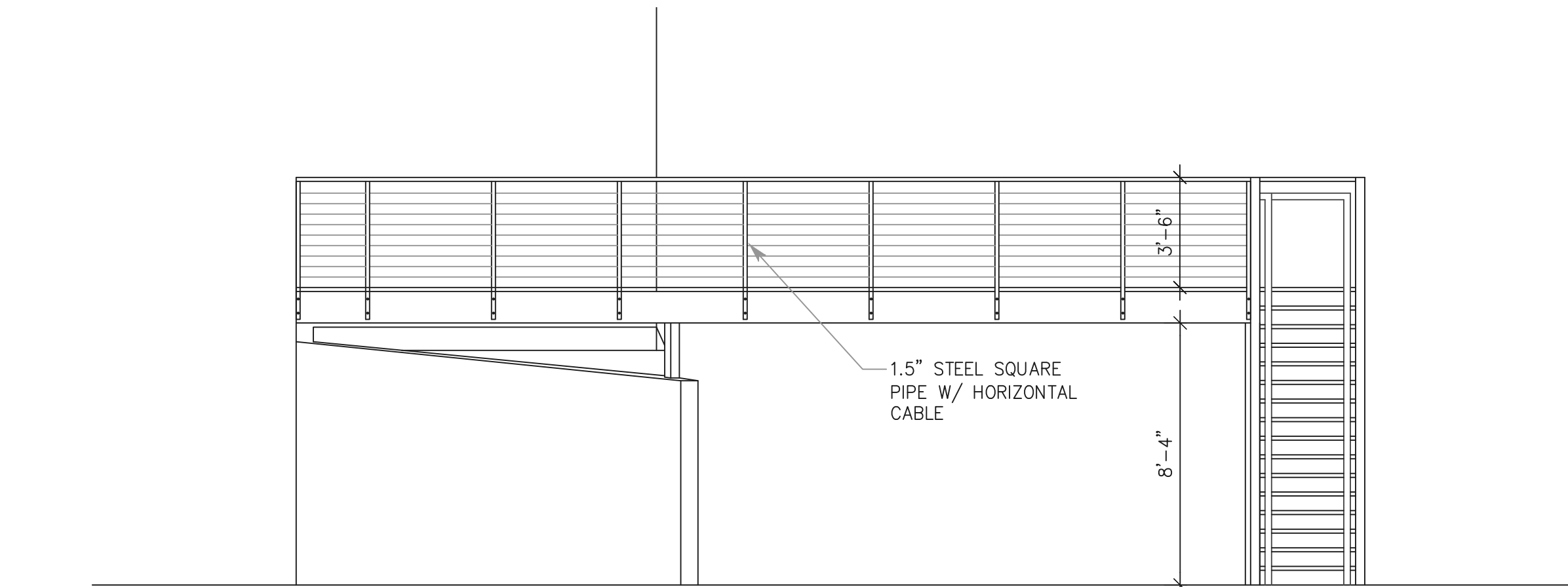
2 PROPOSED DECK FRAMING PLAN
 SCALE: 1/4" = 1'-0"



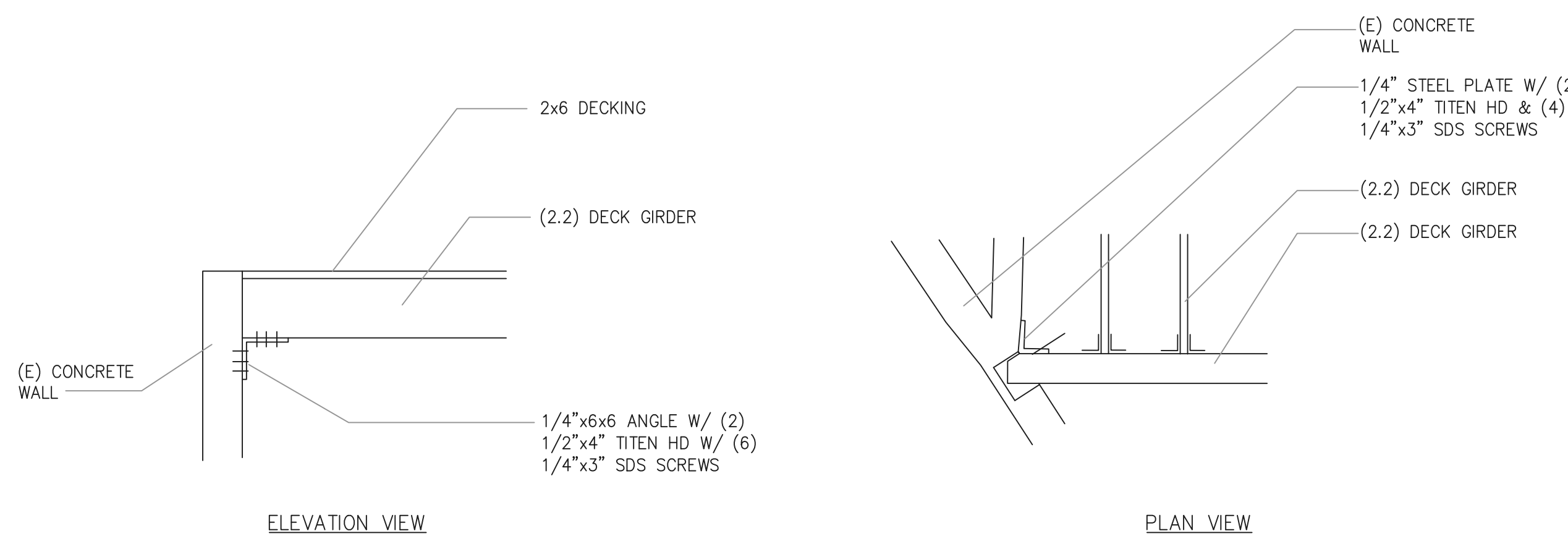
NOTE: THE ELEVATION OF THE DECK ABOVE THE GROUND IS GREATER THAN 30" - PROVIDE A GUARDRAIL WITH A MINIMUM HEIGHT OF 42" AND INTERMEDIATE RAILS SPACED SUCH THAT A SPHERE 4" IN DIA CANNOT PASS THROUGH.

3 PROPOSED DECK PLAN
 SCALE: 1/4" = 1'-0"

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4 PROPOSED DECK ELEVATION
 SCALE: 1/4" = 1'-0"



5 DETAIL- GIRDER @ (E) CONCRETE WALL
 SCALE: 1/2" = 1'-0"