

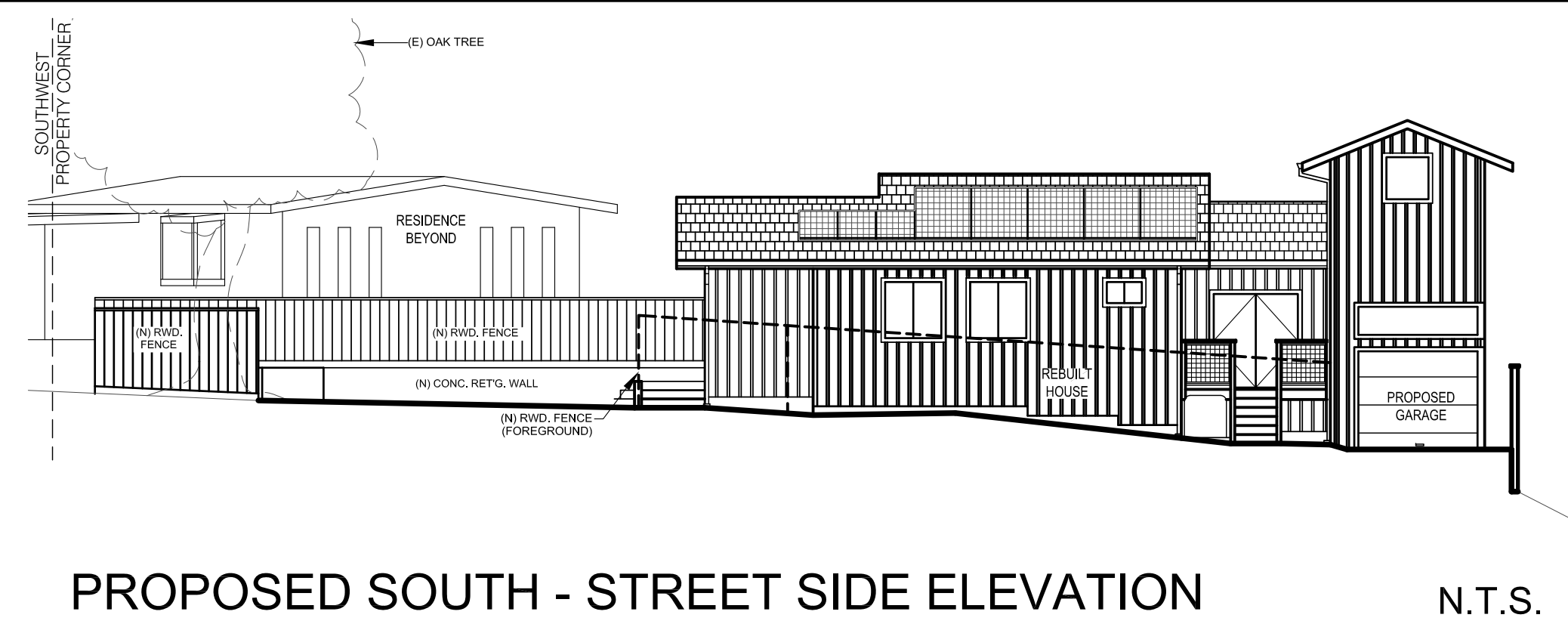
**COMMON ABBREVIATIONS**

ELV.	ELEVATION (ABOVE SEA LEVEL, APPROX.)
E.O.P.	EDGE OF PAVEMENT (APPROXIMATE)
M/F FLR.	MAIN FINISHED FLOOR (LEVEL)
CONC.	CONCRETE
ROW.	RIGHT-OF-WAY
(E)	EXISTING

**UTILITY-EQUIPMENT LEGEND**

(A)	WATER METER
(B)	WATER INLET
(C)	ELECTRICAL METER MAIN
(D)	GAS METER
(E)	SEWER CLEANOUT

**SITE PLAN**  
 THIS IS NOT A SURVEY. LOT BOUNDARY SHOWN AS DESCRIBED ON DEED NO. 09-024725, RECORDED IN MARIN COUNTY PUBLIC RECORDS ON JANUARY 1, 2021.



**PROPOSED SOUTH - STREET SIDE ELEVATION N.T.S.**

**SCOPE OF WORK**

- EXISTING RESIDENCE TO BE REBUILT.
- PROPOSED GARAGE AND MSTR. CLOSET ADDITION.
- EXISTING ENTRY PORCH TO BE REMOVED.
- PROPOSED SIDE RWD. LANDING, ATTACHED TO HOUSE.
- PROPOSED SIDE RWD. DECK AND STAIRS ATTACHED TO HOUSE.

NOTE: BUILDING AND ELECTRICAL DESIGN AND CONSTRUCTION MEETS THE TOWN OF FAIRFAX "ALL ELECTRIC ORDINANCE" (ENTIRE STRUCTURE IS ALL ELECTRIC)

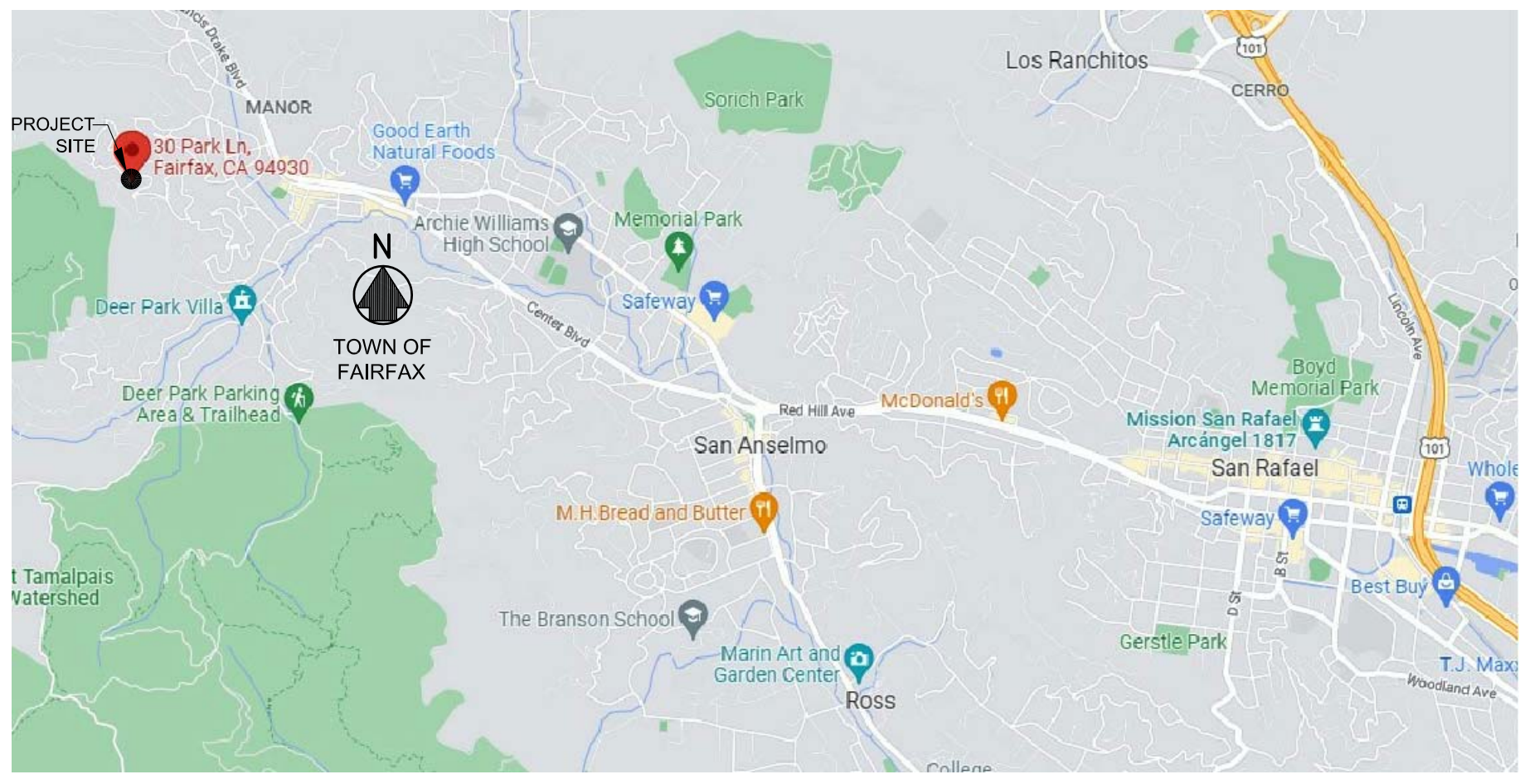
**DEFERRED SUBMITTAL LIST:**

- FIRE SPRINKLERS: AUTOMATIC FIRE SPRINKLER SYSTEM IS REQUIRED FOR THIS PROJECT. SUBMIT DRAWINGS & CALCULATIONS TO THE BUILDING & SAFETY DIVISION OF THE TOWN OF FAIRFAX WITHIN A MINIMUM THREE WEEKS BEFORE REQUESTING THE CLOSE-IN INSPECTION.
- PRE-MANUFACTURED ROOF TRUSSES.

NOTE: THESE ITEMS REQUIRE A SEPARATE PERMIT

**CONTACT DATA**

<b>OWNER/APPLICANT:</b>	DAVID MCNUTT 30 PARK LANE FAIRFAX, CALIFORNIA 94930 PHONE: (415) 250-0293	<b>GEOTECHNICAL ENGINEER:</b>	MILLER PACIFIC ENGINEERING GROUP 504 REDWOOD BLVD. #220 NOVATO, CALIFORNIA 94947 PHONE (415) 382-3444
<b>DRAFTSMAN/PLAN PREPARER:</b>	SCOTT TROWBRIDGE 15 SCHOOL TERRACE NOVATO, CALIFORNIA 94945 PHONE: (415) 897-0042	<b>CIVIL ENGINEER:</b>	OKERKAMPER & ASSOCIATES CIVIL ENGINEERS INC. 7200 REDWOOD BLVD. SUITE 308 NOVATO, CALIFORNIA 94945 PHONE (415) 897-2800
<b>STRUCTURAL ENGINEER:</b>	GREGORY G. MILLER, S.E.# 2238 433 CALLE DE LA MESA NOVATO, CALIFORNIA 94949 PHONE (415) 382-1109		



**VICINITY MAP, N.T.S.**

**INDEX TO DRAWINGS**

<b>ARCHITECTURAL DRAWINGS</b>	<b>STRUCTURAL DRAWINGS</b>	<b>CIVIL DRAWINGS</b>
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1B EXISTING SITE PLAN - AREA CALCS	S-1 HOUSE, GARAGE AND DECK FOUNDATION/ FLOOR FRAMING PLAN AND CEILING/ ROOF FRAMING PLAN	C1.0 EXISTING CONDITIONS PLAN
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SCALE 1/8"=1'-0"

**MCNUTT RESIDENCE - REBUILD & ADDITION**

30 PARK LANE  
FAIRFAX, CA 94930

APN.....	001-032-12
JURISDICTION.....	TOWN OF FAIRFAX
ZONE.....	RS-6
OCCUPANCY.....	R-3
CONSTRUCTION TYPE.....	V-B
SPRINKLERED.....	NO
STORIES.....	1
W.U.I.....	YES
FLOOD ZONE.....	X
BEDROOMS.....	1
BATHROOMS.....	2

**APPLICABLE CODES**  
ALL CONSTRUCTION SHALL COMPLY W/ THESE CODES

2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA T-24 ENERGY STANDARDS
2022 CALIFORNIA EXISTING BUILDING CODE
AND ANY OTHER APPLICABLE LOCAL AND STATE LAWS, REGULATIONS ADOPTED BY THE TOWN OF FAIRFAX

**PROJECT DATA**

GROSS LOT AREA	7,150 sq. ft.
(E) HOUSE FOOTPRINT (TO BE REBUILT)	951 sq. ft.
(E) ENTRY DECK & STAIRS (TO BE REMOVED)	55 sq. ft.
PROPOSED MSTR. W.I.C. ADDITION	80 sq. ft.
PROPOSED SIDE RWD. LANDING	42 sq. ft.
PROPOSED GARAGE (ATTACHED)	200 sq. ft.
PROPOSED SIDE DECK & STAIRS	84 sq. ft.

**PROPOSED FAR**

1,031 sq. ft. / 7,150 sq. ft. = 14.4% (40% ALLOWED)

**PROPOSED COVERAGE**

1,315 sq. ft. / 7,150 sq. ft. = 18.4% (35% ALLOWED)

**BUILDING SETBACKS**

FRONT - 6FT, SIDES - 5FT, REAR - 12FT  
 MAX. BUILD'G. HT. (MAIN) - 28.5FT  
 MAX. BUILD'G. HT. (ACCESSORY) - 15FT

ADDRESSES SHALL BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE 4 INCHES IN HEIGHT, 1/2" MIN. STROKE WIDTH AND OF CONTRASTING COLOR TO THEIR BACKGROUND. WHERE ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT OR POLE SHALL BE USED.

REVISION	BY

**DAVID MCNUTT, Owner - Builder**  
 PLAN PREPARER  
**DRAFTECH** (of Marin County), SCOTT R. TROWBRIDGE  
 15 SCHOOL TERRACE, NOVATO, CA 94945  
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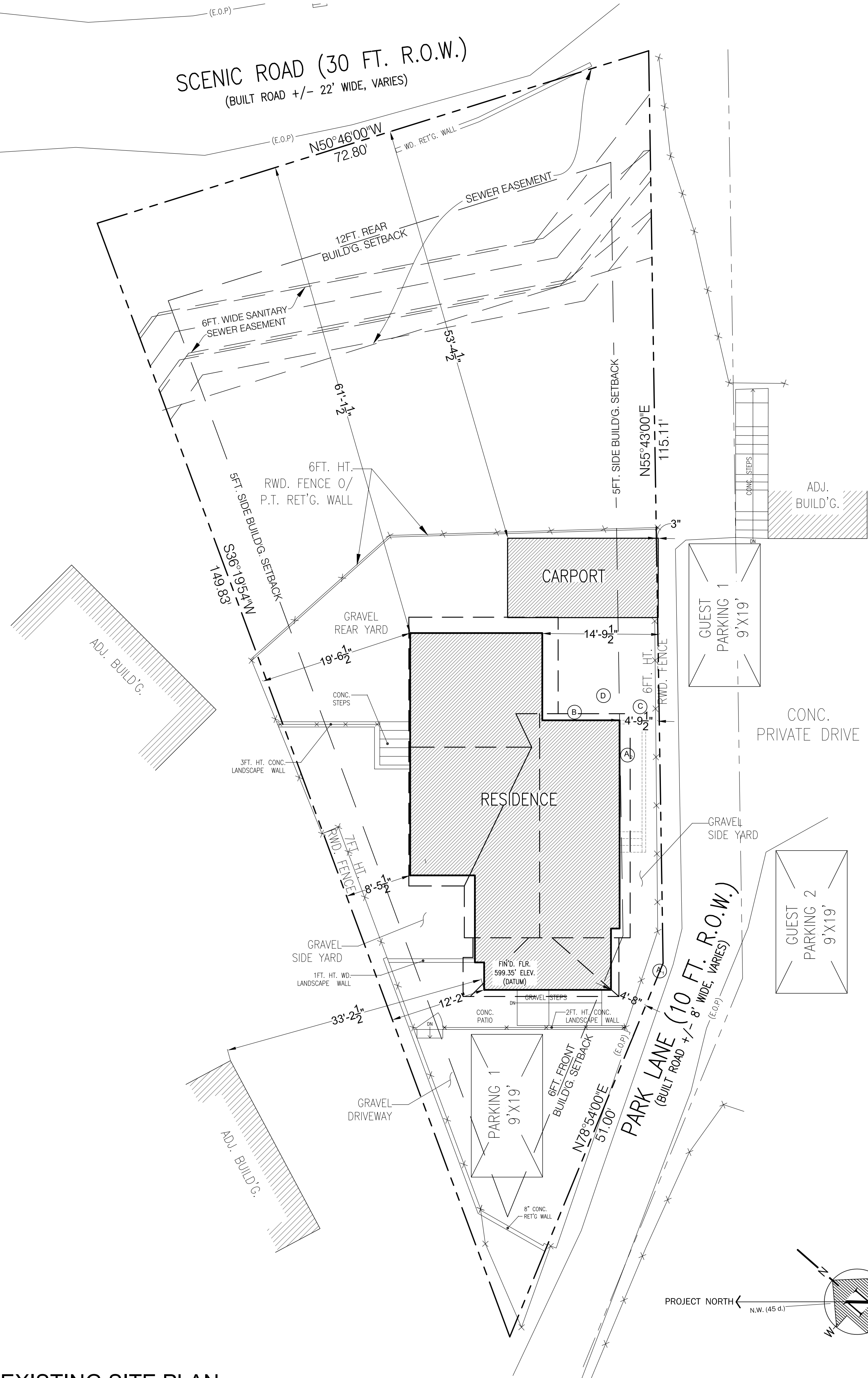
**PROPOSED SITE PLAN - COVER SHEET**  
 WITH PROJECT INFO AND AREA CALCULATIONS

REBUILD & ADDITION DRAWINGS FOR THE:  
**MCNUTT RESIDENCE**  
 30 PARK LANE  
 FAIRFAX, CALIFORNIA 94930  
 (415) 250-0293 APN 001-032-12

Date	04/11/2023
Scale	AS SHOWN
Drawn by	SRT/VGT
Project	MCNUTT



SCENIC ROAD (30 FT. R.O.W.)  
(BUILT ROAD +/- 22' WIDE, VARIES)



**COMMON ABBREVIATIONS**

- ELV. ELEVATION (ABOVE SEA LEVEL, APPROX.)
- E.O.P. EDGE OF PAVEMENT (APPROXIMATE)
- M/FFLR. MAIN FINISHED FLOOR (LEVEL)
- CONC. CONCRETE
- ROW. RIGHT-OF-WAY
- (E) EXISTING

**UTILITY-EQUIPMENT LEGEND**

- (A) WATER METER
- (A) WATER INLET
- (B) ELECTRICAL METER MAIN
- (C) GAS METER
- (D) SEWER CLEANOUT

**MCNUTT RESIDENCE  
- REBUILD & ADDITION**

**PROJECT DATA**

GROSS LOT AREA	7,150 sq. ft.
HOUSE FOOTPRINT	951 sq. ft.
ENTRY DECK & STAIRS	55 sq. ft.
CARPORT (DETACHED)	190 sq. ft.

**FAR**  
951 sq. ft. / 7,150 sq. ft. = 13.3% (40% ALLOWED)

**COVERAGE**  
1,196 sq. ft. / 7,150 sq. ft. = 16.7% (35% ALLOWED)

REVISION	BY

**DAVID McNUTT, Owner - Builder**  
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**DRAFTECH** (of Marin County), SCOTT R. TROWBRIDGE  
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**EXISTING SITE PLAN  
WITH PROJECT INFO AND  
AREA CALCULATIONS**

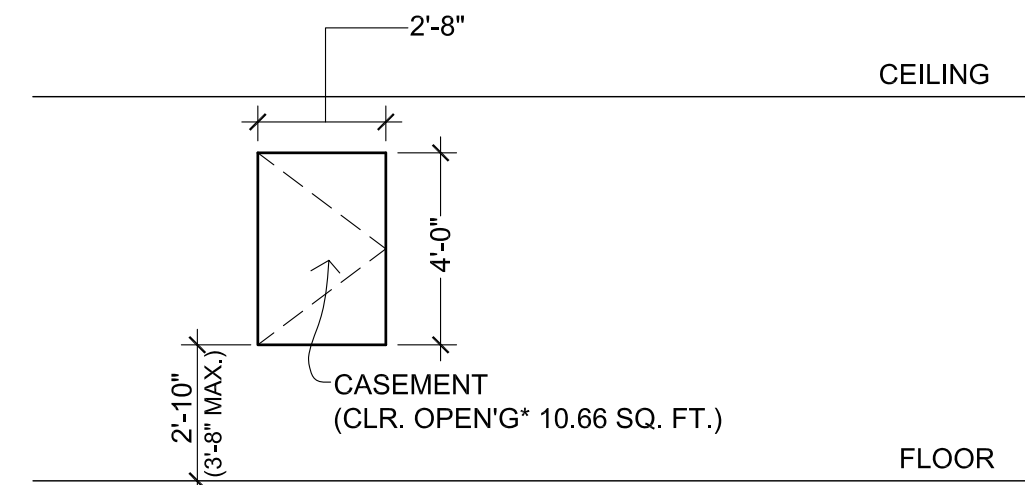
REBUILD & ADDITION DRAWINGS FOR THE:  
**McNUTT RESIDENCE**  
 30 PARK LANE  
 FAIRFAX, CALIFORNIA 94830  
 (415) 250-0293 APN 001-032-12

Date	04/11/2023
Scale	1/8"=1'-0"
Drawn by	SRT/VGT
Project	McNUTT

**EXISTING SITE PLAN**

THIS IS NOT A SURVEY. LOT BOUNDARY SHOWN AS DESCRIBED ON DEED NO. 09-024725, RECORDED IN MARIN COUNTY PUBLIC RECORDS ON JANUARY 1, 2021.

SCALE 1/8"=1'-0"



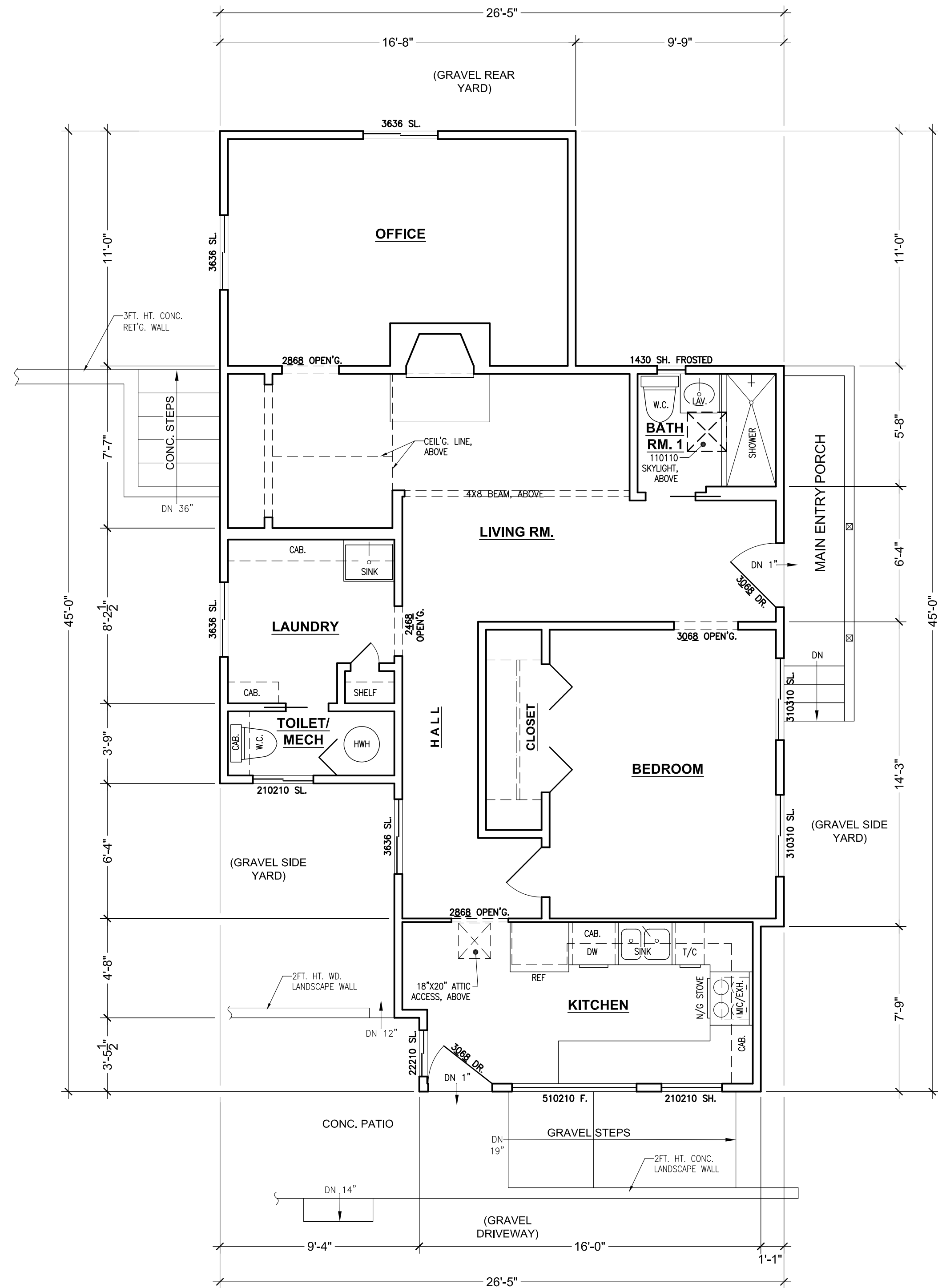
**WINDOW/ DR LEGEND**

- 3068 DR. 3'-0" WIDE X 6'-8" HIGH DOOR
- 2616 SL. 2'-6" W. X 1'-6" H. SL. (SLIDER WINDOW)
- SH. (SINGLE HUNG WINDOW),
- F. (FIXED WINDOW)

NOTE: ALL EXTERIOR GLAZING IS TEMPERED.

**1 EGRESS WINDOW @ OFFICE**

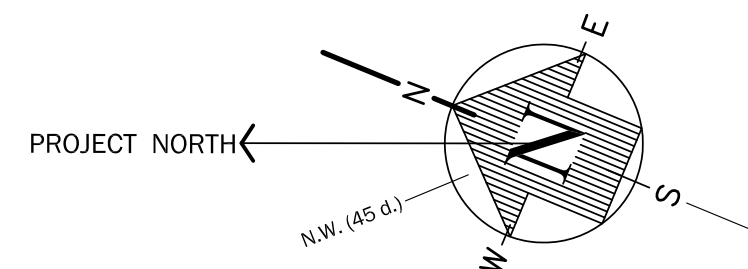
1/4" = 1'-0"



**EXISTING MAIN FLOOR PLAN**

951 S.F. HEATED FLOOR AREA

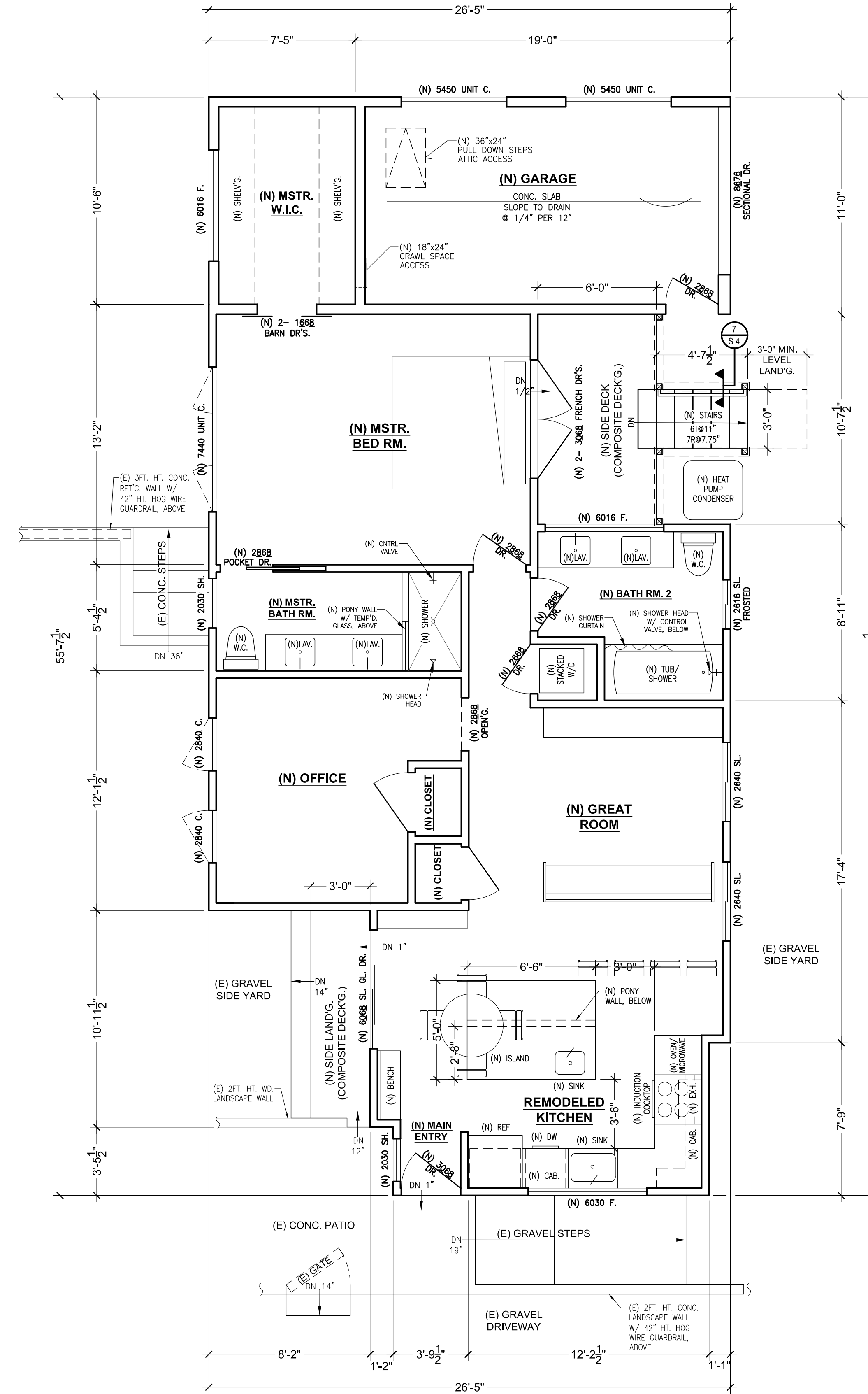
SCALE : 1/4"=1'-0"



**PROPOSED UPPER STORAGE FLOOR PLAN**

SCALE : 1/4"=1'-0"

NO HEATED FLOOR AREA (UNFINISHED STORAGE ONLY)



**PROPOSED MAIN FLOOR PLAN**

SCALE : 1/4"=1'-0"

1,031 S.F. HEATED FLOOR AREA



REVISION	BY

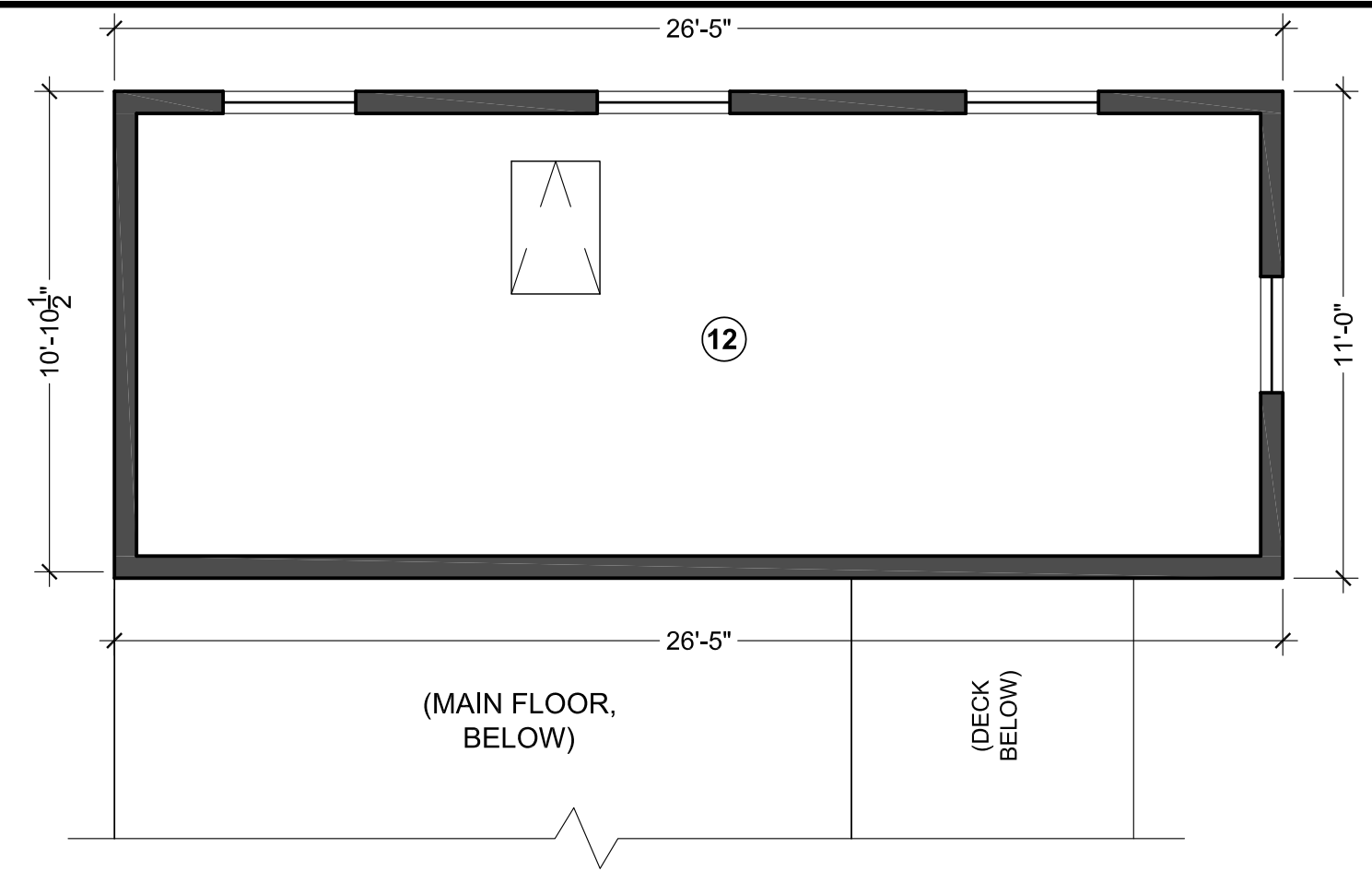
**DAVID McNUTT, Owner - Builder**  
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**EXISTING AND PROPOSED MAIN AND UPPER STORAGE FLOOR PLANS**

REBUILD & ADDITION DRAWINGS FOR THE:  
**McNUTT RESIDENCE**  
 30 PARK LANE  
 FAIRFAX, CALIFORNIA 94930  
 (415) 250-0293 APN 001-032-12

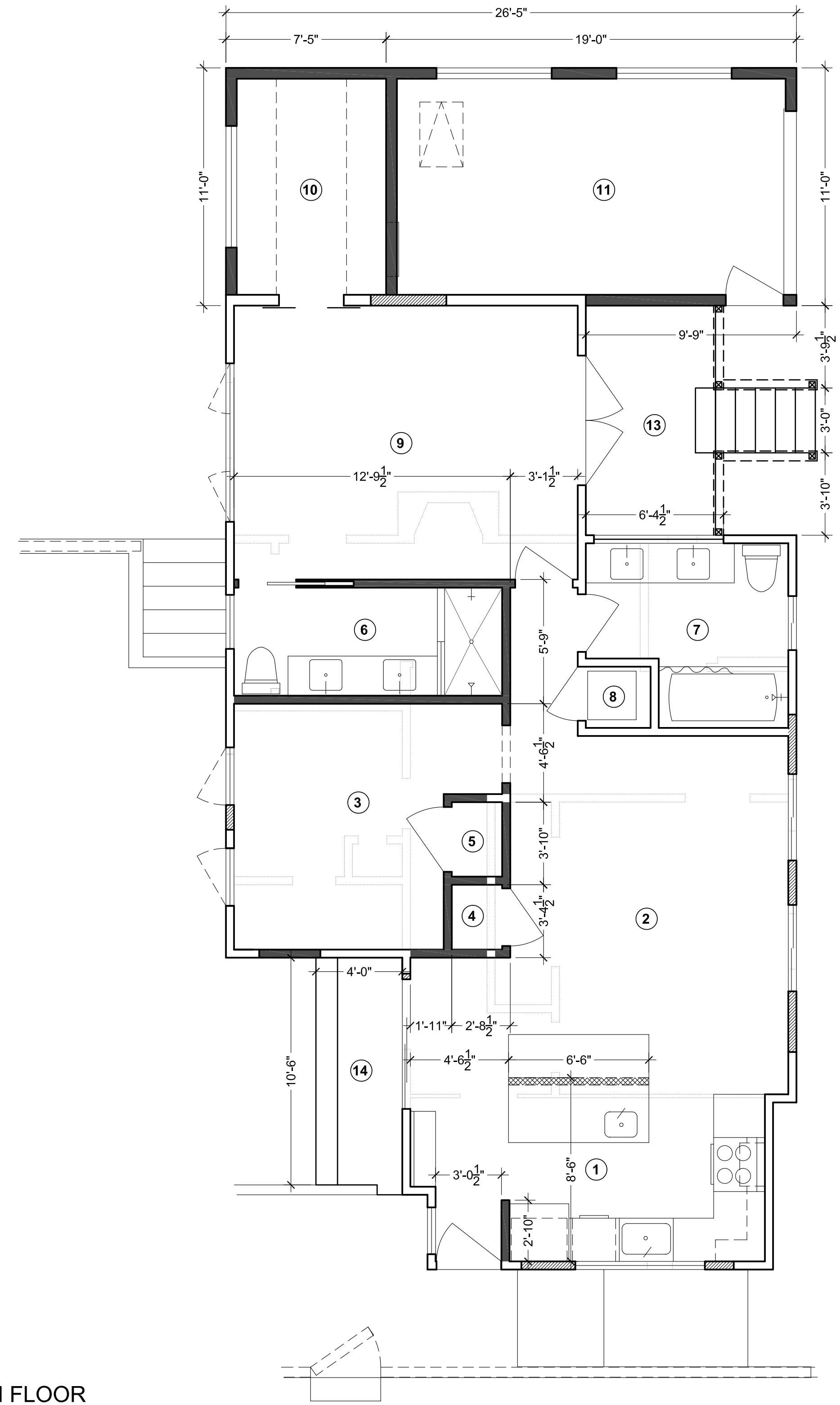
Date 04/11/2023  
 Scale 1/4"=1'-0"  
 Drawn by SRT/VGT  
 Project McNUTT

McNUTT-2-FLOOR PLAN.DWG



UPPER STORAGE, ABOVE GARAGE  
CONSTRUCTION LAYOUT PLAN

SCALE : 1/4"=1'-0"



MAIN FLOOR  
DEMOLITION AND CONSTRUCTION LAYOUT PLAN

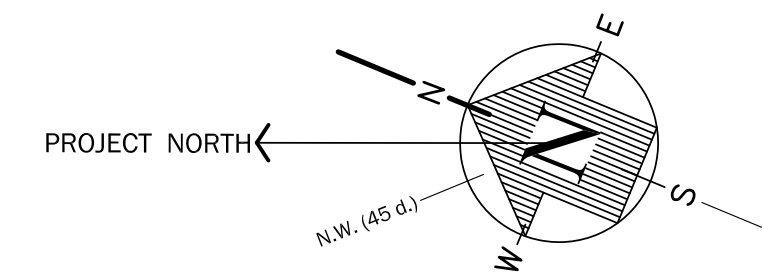
SCALE : 1/4"=1'-0"

**WALL LEGEND**

- EXISTING WALL
- REMOVE WALL
- WALL IN-FILL
- NEW WALL
- NEW PONY WALL

**ROOM LEGEND**

- ① (E) KITCHEN (TO BE REMODELED)
- ② (E) BED RM. TO BECOME NEW GREAT RM.
- ③ (E) LAUNDRY, TOILET/ MECH AND HALL AREA TO BECOME NEW OFFICE
- ④ (E) HALL AREA TO BECOME NEW CLOSET
- ⑤ (E) HALL AREA TO BECOME NEW CLOSET
- ⑥ (E) LIVING RM. AREA TO BECOME NEW MSTR. BATH RM.
- ⑦ (E) BATH RM. 1 AND LIVING RM. AREA TO BECOME NEW BATH RM. 2
- ⑧ (E) LIVING RM. AREA TO BECOME NEW LAUNDRY CLOSET
- ⑨ (E) OFFICE TO BECOME NEW MSTR. BED RM.
- ⑩ NEW MSTR. WALK IN CLOSET
- ⑪ NEW GARAGE
- ⑫ NEW STORAGE
- ⑬ NEW SIDE DECK AND STAIRS
- ⑭ NEW SIDE LANDING



**DAVID McNUTT, Owner - Builder**  
 PLAN PREPARER  
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*Scott Trowbridge*  
 REGISTERED PROFESSIONAL ENGINEER

**DEMOLITION AND CONSTRUCTION  
LAYOUT PLANS**

REBUILD & ADDITION DRAWINGS FOR THE:  
**McNUTT RESIDENCE**  
 30 PARK LANE  
 FAIRFAX, CALIFORNIA 94930  
 (415) 250-0293 APN 001-032-12

Date 04/11/2023  
 Scale 1/4"=1'-0"  
 Drawn by SRT/VGT  
 Project McNUTT

McNUTT-3-DEMOLITION PLAN.DWG



## ELECTRICAL - MECHANICAL LEGEND

	RECESSED LIGHT (LED)		220VAC RECEPTACLE, DRYER AND STOVE
	OUTDOOR WALL MOUNTED LIGHT, MOTION DETECTOR AND WEATHER PROOF (LED)		110VAC RECEPTACLE, (GFCI) GROUND FAULT CIRCUIT INTERRUPTER AND WEATHER PROOF
	WALL MOUNTED LIGHT - INTERIOR (LED)		FLOOR HEAT SUPPLY
	SINGLE SWITCH, 3-WAY SWITCH, VACANCY SENSOR SWITCH, DISPOSAL SWITCH		EXHAUST FAN/LIGHT (100 CFM, KITCHEN) (50 CFM, BATHROOM)
	SWITCHES FOR EXHAUST FAN/LIGHT UNIT E = EXHAUST SWITCH, L = LIGHT SWITCH		THERMOSTAT FOR FURNACE
	110VAC RECEPTACLE, (GFCI) GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE, (AFCI) ARC FAULT CIRCUIT INTERRUPTER		SMOKE DETECTOR, CEILING MOUNT
	110VAC RECEPTACLE (APPLIANCE SPECIFIC), GARBAGE DISPOSAL, KITCHEN EXHAUST HOOD, REFRIGERATOR, DISHWASHER, WASHING MACHINE TRASH / COMPACTOR, MICROWAVE		CARBON MONOXIDE DETECTOR, CEILING MOUNT
	COLD AND HOT WATER BIBS		LED TUBE LIGHTING
	NATURAL GAS OUTLET		HEAT LAMP

**SMOKE ALARMS:**  
**PROVIDE SMOKE ALARMS:**  
**A. ON THE CEILING OR WALL OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.**  
**B. IN EACH ROOM USED FOR SLEEPING PURPOSES.**  
**C. IN EACH STORY WITHIN A DWELLING UNIT, INCLUDING BASEMENTS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS. IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVEL, A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.**  
**D. POWER SOURCE - SMOKE ALARMS MUST RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (SMOKE ALARMS MAY BE BATTERY OPERATED ONLY WHERE THERE IS NO REMOVAL OF WALL OR CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE).**  
**E. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS, (INTERCONNECTION IS NOT REQUIRED WHERE THERE IS NO REMOVAL OF WALL OR CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE).**

**CARBON MONOXIDE ALARMS:**  
**PROVIDE CARBON MONOXIDE ALARMS:**  
**A. OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS.**  
**B. ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS.**  
**C. POWER SOURCE - CARBON MONOXIDE ALARMS MUST RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH A BATTERY BACKUP. (SMOKE ALARMS MAY BE BATTERY OPERATED ONLY WHERE THERE IS NO REMOVAL OF WALL OR CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE).**  
**D. SMOKE ALARMS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS, (INTERCONNECTION IS NOT REQUIRED WHERE THERE IS NO REMOVAL OF WALL OR CEILING FINISHES OR THERE IS NO ACCESS BY MEANS OF ATTIC, BASEMENT OR CRAWLSPACE).**

**GENERAL PLAN NOTES:**

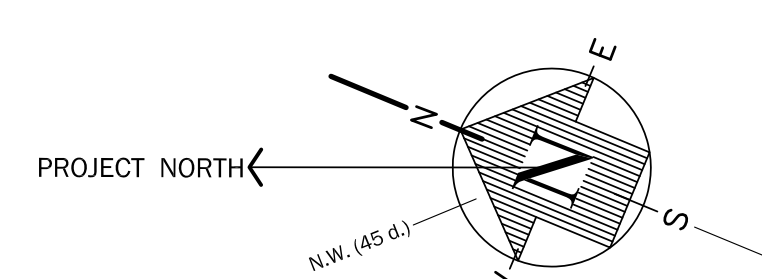
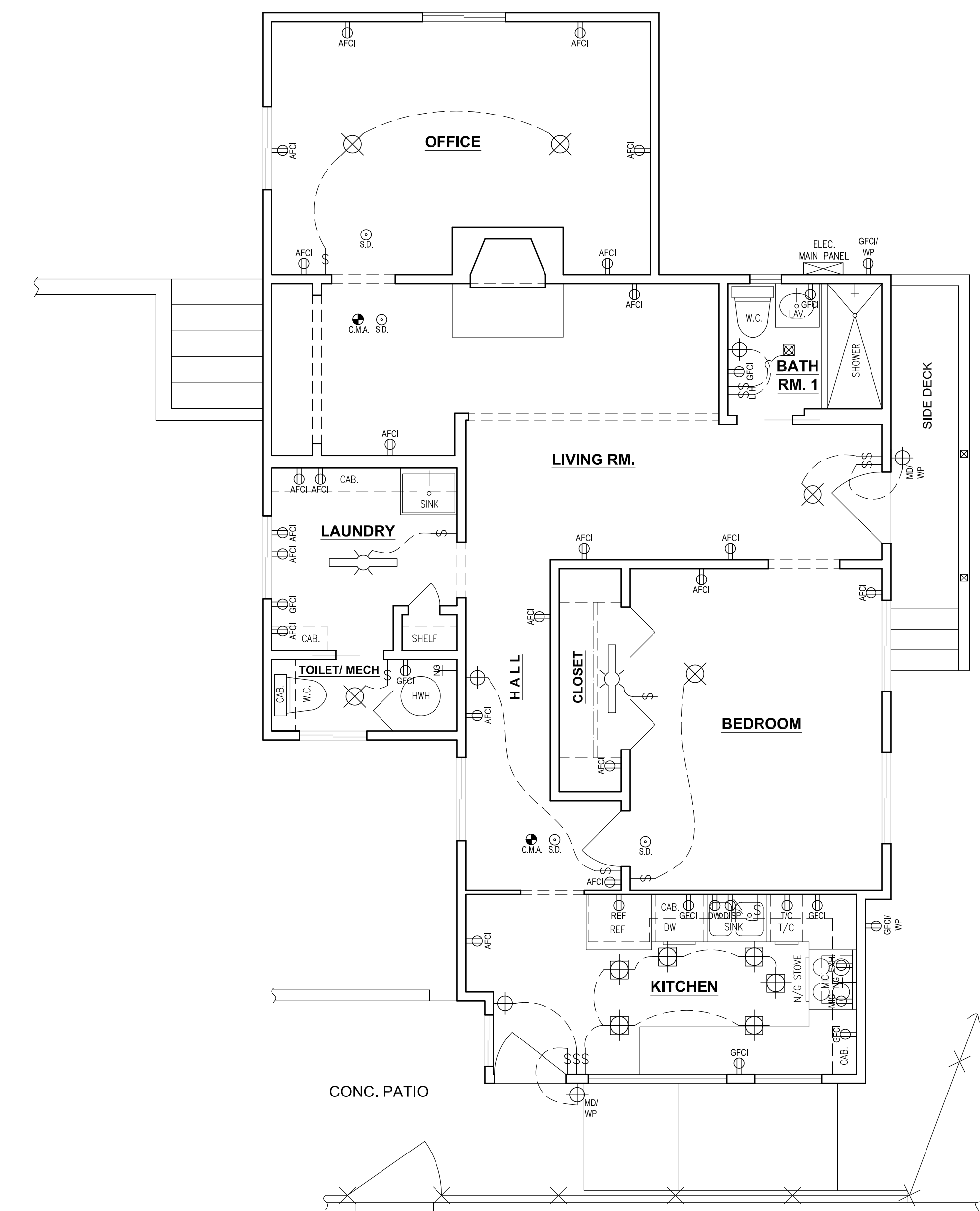
- NEW WATER CONSERVING FIXTURES TO BE INSTALLED SHALL BE RATED AS FOLLOWS (PER CPC SECTION 403 AND 408):  
 WATER CLOSETS.....1.28 GALS. PER FLUSH (MAX.)  
 LAVATORIES.....1.2 GPM (MAX.)  
 KITCHEN FAUCETS.....1.2 GPM (MAX.)  
 SHOWER HEADS.....1.8 GPM (MAX.)
- SHOWER SHALL BE PROVIDED WITH PRESSURE-BALANCE, THERMOSTATIC, OR COMBINATION PRESSURE BALANCE/ THERMOSTATIC MIXING VALVE CONTROLS. (CPC Sec.408.3)
- SHOWER WALLS SHALL BE PROVIDED WITH A NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6FT. ABOVE THE FLOOR. (CRC Sec.R.307.2)
- ALL HOT WATER PIPING SIZED 3/4" OR LARGER IS REQUIRED TO BE INSULATED AS FOLLOWS: 1" PIPE SIZE OR LESS: 1" THK. INSULATION; LARGER PIPE SIZES REQUIRED 1 1/2" THK. INSULATION. NOTE: IN ADDITION, THE 1/2" SIZE HOT WATER PIPE TO THE KITCHEN SINK IS REQUIRED TO BE INSULATED. PER ES 150.0(j)
- PROVIDE SEISMIC ANCHORAGE FOR WATER HEATER TANKS PER CPC 507.2. ADD STRAPS WITHIN UPPER AND LOWER ONE-THIRD OF UNIT, WITH LOWER STRAP AT LEAST 4" ABOVE CONTROLS.

**ELECTRICAL NOTES:**

- PROVIDE (2) DEDICATED 20 AMP GFCI SMALL APPLIANCE BRANCH CIRCUITS FOR CONVENIENCE IN THE KITCHEN, AND IN ANY BREAKFAST AND DINING ROOMS, OR SIMILAR AREAS.
- PROVIDE (1) DEDICATED 20 AMP GFCI CIRCUIT TO SUPPLY ALL BATHROOM RECEPTACLES, WITH NO OTHER OUTLETS ON THE CIRCUIT.
- INSTALL GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLES IN THE KITCHEN AS SHOWN, AND ARC FAULT CIRCUIT INTERRUPTER RECEPTACLES AT ALL OTHER 15 AND 20 AMP CONVENIENCE OUTLETS, AS SHOWN IN THE LIVING ROOM, BEDROOM, AND HALLWAY AREAS.
- RECEPTACLE OUTLETS AS REQUIRED BY CEC 210.52, AT EACH COUNTER SPACE WIDER THAN 12" SUCH THAT NO POINT ALONG COUNTER WALL IS MORE THAN 24" FROM AN OUTLET. COUNTERTOP RECEPTACLES SHALL NOT BE CONSIDERED AS RECEPTACLES REQUIRED BY 210.52 A.
- IN ALL AREAS SPECIFIED IN CEC 210.52, ALL 125 VOLT, 15 AND 20 AMP RECEPTACLES SHALL BE LISTED AS TAMPER-RESISTANT.
- PROVIDE AT LEAST ONE SEPARATE 20 AMP CIRCUIT TO LAUNDRY APPLIANCES WITH NO OTHER OUTLETS ON THE CIRCUIT. 210.11(C)(2).
- CLOTHES CLOSET LIGHT FIXTURE CLEARANCES SHALL CONFORM TO 410.16. INCANDESCENT FIXTURES WITH OPEN OR PARTIALLY ENCLOSED LAMPS AND PENDANT FIXTURES OR LAMP HOLDERS ARE NOT ALLOWED IN CLOSETS.
- LIGHT FIXTURES WITHIN THE OUTSIDE DIMENSION OF TUB OR SHOWER ENCLOSURES OR LESS THAN 8" VERTICALLY FROM THE TOP OF THE BATHTUB RIM OR SHOWER THRESHOLD, OR IN OTHER WET/DAMP LOCATIONS SHALL BE LABELED "SUITABLE FOR DAMP LOCATIONS" (OR "SUITABLE FOR WET LOCATIONS" IF SUBJECT TO SHOWER SPRAY OR RAIN. 410.10(A) AND (D)  
 NOTE: ALL LIGHT FIXTURES ARE LED.
- THE FOLLOWING SECTIONS OF MANDATORY MEASURES SHALL BE FOLLOWED TO MAINTAIN COMPLIANCE WITH THE 2013 CALIFORNIA ENERGY CODE WHEN INSTALLING LIGHT AND SWITCH FIXTURES AS INDICATED HERE...  
 KITCHENS.....SEC. 150(K)1,7,8  
 BATHROOMS.....SEC. 150(K)10  
 OUTDOORS.....SEC. 150(K)13
- IN THE KITCHEN, AT LEAST ONE-HALF OF THE WATTAGE RATING OF THE FIXTURES MUST BE HIGH EFFICACY.
- IN BATHROOMS, AT LEAST ONE FIXTURE SHALL BE HIGH EFFICACY AND ALL REMAINING FIXTURES SHALL BE HIGH EFFICACY OR BE CONTROLLED BY A VACANCY SENSOR.
- LIGHTING INSTALLED IN LAUNDRY ROOMS, AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND BE CONTROLLED BY VACANCY SENSORS.
- OUTDOOR LIGHTING FIXTURES THAT ARE ATTACHED TO A BUILDING ARE REQUIRED TO BE HIGH EFFICACY AND BE CONTROLLED BY A COMBINATION PHOTO-CONTROL/ MOTION SENSOR.
- HIGH EFFICACY FIXTURES ARE REQUIRED FOR ALL OTHER AREAS (NOT DESCRIBED ABOVE) OR LOW EFFICACY FIXTURES ARE ALLOWED IF CONTROLLED BY A DIMMER OR A VACANCY SENSOR.

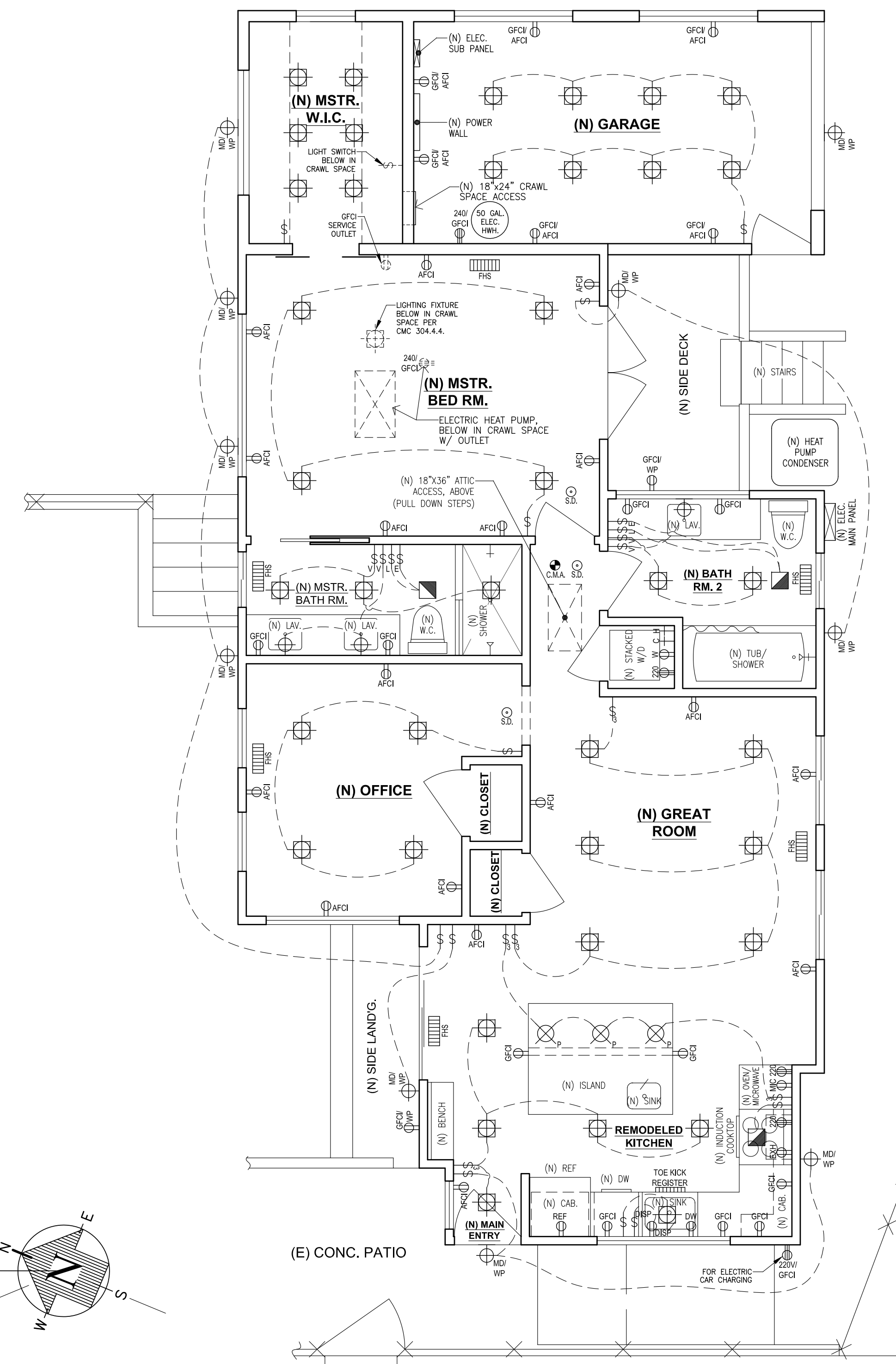
**RESIDENTIAL VENTILATION NOTES:**

- KITCHENS REQUIRE EXHAUST FANS WITH A MINIMUM 100 CFM DUCTED TO THE EXTERIOR. DETAIL COMPLIANCE BY INCLUDING A COMPLYING EXHAUST FAN OR A DUCTED RANGE HOOD TO EXTERIOR.
- BATHROOMS REQUIRE EXHAUST FANS (MINIMUM 50 CFM) TO BE DUCTED TO THE EXTERIOR.
- RESIDENTIAL BATHROOM EXHAUST FANS SHALL BE ENERGY STAR RATED AND SHALL BE CONTROLLED BY A HUMIDISTAT CAPABLE OF AN ADJUSTMENT BETWEEN 50 AND 80% HUMIDITY. CalGreen 4.506.1 EXCEPTION: CONTROL BY A HUMIDISTAT IS NOT REQUIRED IF THE BATHROOM EXHAUST FAN IS ALSO THE DWELLING WHOLE HOUSE VENTILATION.
- ALL FANS INSTALLED TO MEET ALL OF THE PRECEDING REQUIREMENTS MUST BE SPECIFIED AT A NOISE RATING OF A MAXIMUM 1 "SONE" (FOR THE CONTINUOUS USE CALCULATION) OR 3 "SONE" (FOR THE INTERMITTENT USE CALCULATION).



**EXISTING ELECTRICAL PLAN**

SCALE : 1/4"=1'-0"



**PROPOSED ELECTRICAL PLAN**

SCALE : 1/4"=1'-0"

<b>REVISION</b>	<b>BY</b>
<div style="display: flex; justify-content: space-between;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg);"> <b>DAVID McNUTT, Owner - Builder</b>                      PLAN PREPARER  <b>DRAFTECH</b> (of Marin County), SCOTT R. TROWBRIDGE                      15 SCHOOL TERRACE, NOVATO, CA 94945                      draftech@yahoo.com ph: (415) 897-0042                 </div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">                     SIGNED                        S. TROWBRIDGE                 </div> </div>	
<b>EXISTING AND PROPOSED ELECTRICAL PLANS AND NOTES</b>	
REBUILD & ADDITION DRAWINGS FOR THE: <b>McNUTT RESIDENCE</b> 30 PARK LANE FAIRFAX, CALIFORNIA 94930 (415) 250-0293      APN 001-032-12	
Date: 04/11/2023 Scale: 1/4"=1'-0" Drawn by: SRT/VGT Project: McNUTT	
4	

McNUTT-4-ELECTRICAL PLAN.DWG

