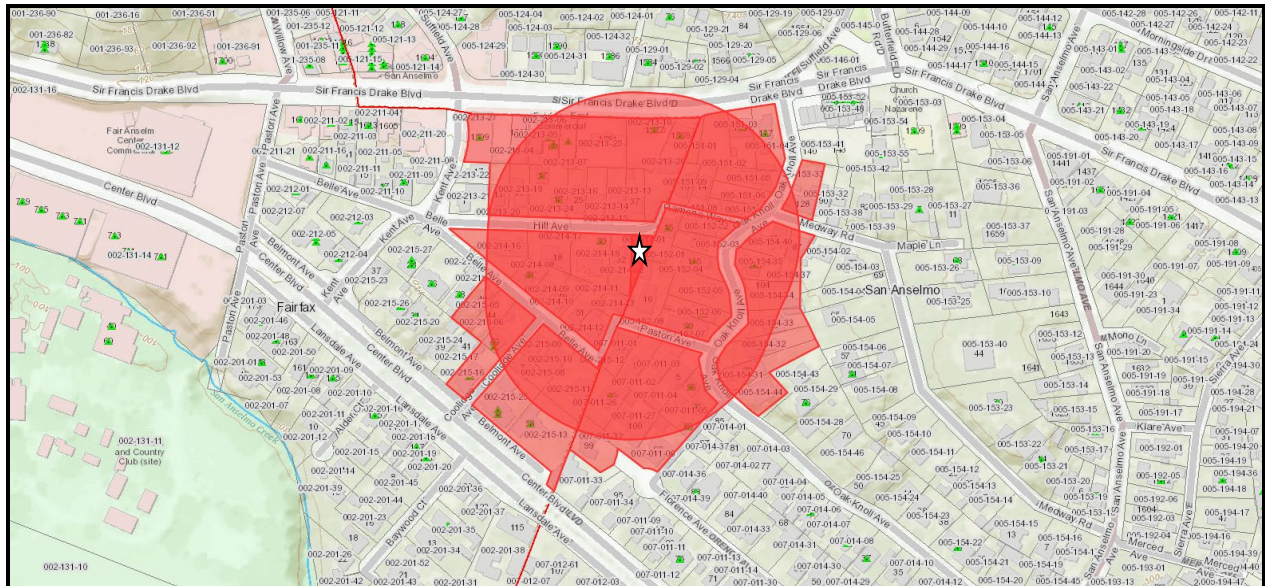


TOWN OF FAIRFAX STAFF REPORT

Department of Planning and Building Services

TO: Planning Commission
DATE: July 20, 2023
FROM: Linda Neal, Principal Planner
LOCATION: 34 Hill Avenue; Assessor's Parcel No. 002-2124-01
ZONING: RD 5.5-7 Zone
PROJECT: Construction of a new single-family residence
ACTION: Conditional Use Permit, Design Review Permit, Variances, Excavation Permit and Design Review Permit; Application # 23-18
APPLICANT: John Simenic
OWNER: Same as above
CEQA STATUS: Categorically exempt, sections 15303(a), 15304(a) and 15305(a).



34 HILL AVENUE ASSESSOR'S PARCEL NO. 002-2124-01

PROJECT DESCRIPTION

Construction of a 1,318 square-foot, 2-story, 3-bedroom, two ½-bathroom, single-family residence with an attached 340 square-foot, 1-car garage and two uncovered parking spaces located within the west side-yard area.

BACKGROUND

The 3,309 square-foot site is a trapezoid shape with the front property line measuring forty-seven feet and the rear property line measuring approximately 3-feet (see recorded boundary survey attached to the front of the project plan set and the topographic survey, the last page of the project plan set). The site has an average slope of approximately 8 percent. The property was created by the recordation of the Fairfax Tract Subdivision Map on April 9, 1908.

The site is not located in a Wildland Urban Interface Zone, so the project does not require the approval of a Vegetative Management Plan (VMP).

The site is not located within ¼ mile of any known Northern Spotted Owl Nesting Site.

The site is in Flood Zone X which does not require flood insurance and does not have any annual chance of flood hazard.

DISCUSSION

After the Town had deemed this project complete and had accepted the recorded boundary survey prepared by a licensed land surveyor, the owners of the neighboring property at 32 Hill Avenue presented the Town with a recorded boundary survey of their property showing the western side property line in a different location than the applicant's recorded boundary survey. Staff contacted the applicant and advised him that we were unwilling to take the project before the Commission now that we were in possession of two conflicting surveys that show the proposed project having a different project site square footage and different minimum and combined side yard setbacks. Our hope was that the two owners would meet and come to agreement on a final location for the western side property line avoiding the Planning Commission having to act on what might not end up being the final project minimum and combined side setbacks.

In June the owners posted the project with and sent out his own notice advising all the agencies with jurisdiction over the project, and the Town, that after 60-days, his project would be deemed complete in accordance with Government Code § 65956(b). Town legal Counsel advised staff to schedule the project for public hearing and to review the application based on the applicant's submitted boundary survey.

DISCUSSION

The project requires the approval of the following discretionary permits:

Conditional Use Permit (Town Code Chapter 17.032)

The site is in the RD 5.5-7 Residential Zone. Town Code § 17.084.050(A) requires the any project proposed on a site failing to meet the minimum 5,500 square-foot minimum size and 60-foot width requirement in the RD 5.5-7 requires the approval of a Conditional Use Permit (CUP) by the Planning Commission. The project site is 3,309 square-feet in size and 47-

feet wide at the street and 3-feet wide at the rear property line, so the proposed project requires a CUP permit.

The project complies with the regulations for the RD 5.5-7 Residential Zone as follows:

	Front Setback	Rear Setback	Combined Front/Rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Coverage	Height
Required/ Permitted	6 ft.	6 ft.	25 ft.	5 ft. & 10 ft.	15 ft.	.40	.35	28.5 ft., 2 stories
Proposed	6 ft.	65 ft.	71 ft.	10 ft. & 3 ft. 10 ½ in.	13 ft. 10 ½ in.	.40	32%	28.5 ft., 2 stories

The proposed two-story residential structure maintains a similar height to the residential structure located immediately west of the project site at 32 Hill Avenue and to the residential structure owned by the applicant to the east in San Anselmo at 15 Ramona Way. The proposed structure maintains the smallest 3-foot 10.5-inch, side yard setback from the east property line adjacent to his residence in San Anselmo, and the larger 10-foot setback (9-foot 1-inch from the neighboring house at 32 Hill Avenue per the application recorded boundary survey) from the west side property line. Based on the project recorded survey the house at 32 Hill Avenue maintains no setback, and projects over the project site west-side property line approximately one to two feet.

The development of the property as proposed and based on the project boundary survey complies with the required minimum and combined front/rear setback, maintains a 10-foot setback from the west side property line and a 13-foot 10 ½-inch setback from the east side property line for a combined side-yard setback of 13-feet 10½-inches instead of the required 15-feet which is reasonable on this very small and irregularly shaped legally created property. The proposed development complies with the height limit reaching the 28.5-foot maximum only at one portion of the roof peak with most of the structure below the maximum. The development complies with the floor area ratio (FAR) and the lot coverage limitations set forth in Town Code §§ 17.136.030(A) and 17.040.010.

The project size, massing and architecture is not contrary to the objectives of the 2015-2030 Fairfax General Plan objectives and goals and the variances being requested to maintain slightly smaller than required side-yard setbacks and to allow parking within the side-yard setback on this small lot are not in conflict with the intent of the Zoning Ordinance.

The architecture and design of the residential development will result in an equal or better development of the small irregularly shaped site than might otherwise be the case and will protect and/or enhance the community.

The project is similar in size to other residential structures on similar sized and level lots within the immediate neighborhood (see table below keeping in mind that this is the smallest parcel in the area).

Houses in the neighborhood range in size from 644 square-feet on a 3,159 square-foot side with an FAR of .20 to 2,171 square-feet on a 3,240 square-foot with an FAR of .67 (see table below).

34 Hill Avenue – COMPARABLE NEIGHBORHOOD HOUSE SIZES							
APN #	ADDRESS	LOT SIZE	HOUSE SIZE	# BEDROOMS	# BATHS	GARAGE	FAR
Similar sized properties							
002-212-01	4 Belle Ave.	3,159	644	2	1	220	.20
002-212-04	15 Belmont	3,120	1,128	2	1	323	.26
002-214-08	43 Belle Ave.	3,250	1,196	2	1.5	320	.37
002-214-09	47 Belle Ave.	3,240	2,171	4	2	240	.67
002-214-12	53 Belle Ave.	3,600	1,999	3	3	200	.56
002-214-13	59 Belle Ave.	2,548	708	2	1	194	.28
002-215-08	7 Coolidge	3,150	1,513	5	2	504	.48
002-215-09	10 Belle Ave.	3,375	945	2	2	240	.28
002-215-10	56 Belle Ave.	3,375	1,623	2	2	278	.48
002-215-23	57 Kent Ave.	3,550	1,508	2	2	0	.42
Immediately adjacent properties							
002-213-13	37 Hill Ave.	4,400	1,289	2	1	216	.29
002-213-14	33 Hill Ave.	4,320	888	2	1	160	.21
002-213-26	1569 SFD	10,400	1,551	3	2	713	.15
002-214-02	32 Hill Ave.	4,920	2001	4	3.05	0	.41
005-151-09	16 Ramona	3,420	1,764	3	2	626	.52
005-152-01	15 Ramona	4,680	900	2	1	0	.19
005-152-08	16 Pastori	9,500	1,498	3	2	320	.16
Project site							
002-214-01	34 Hill Ave.	3,309	1,318	3	2.5	340	.40

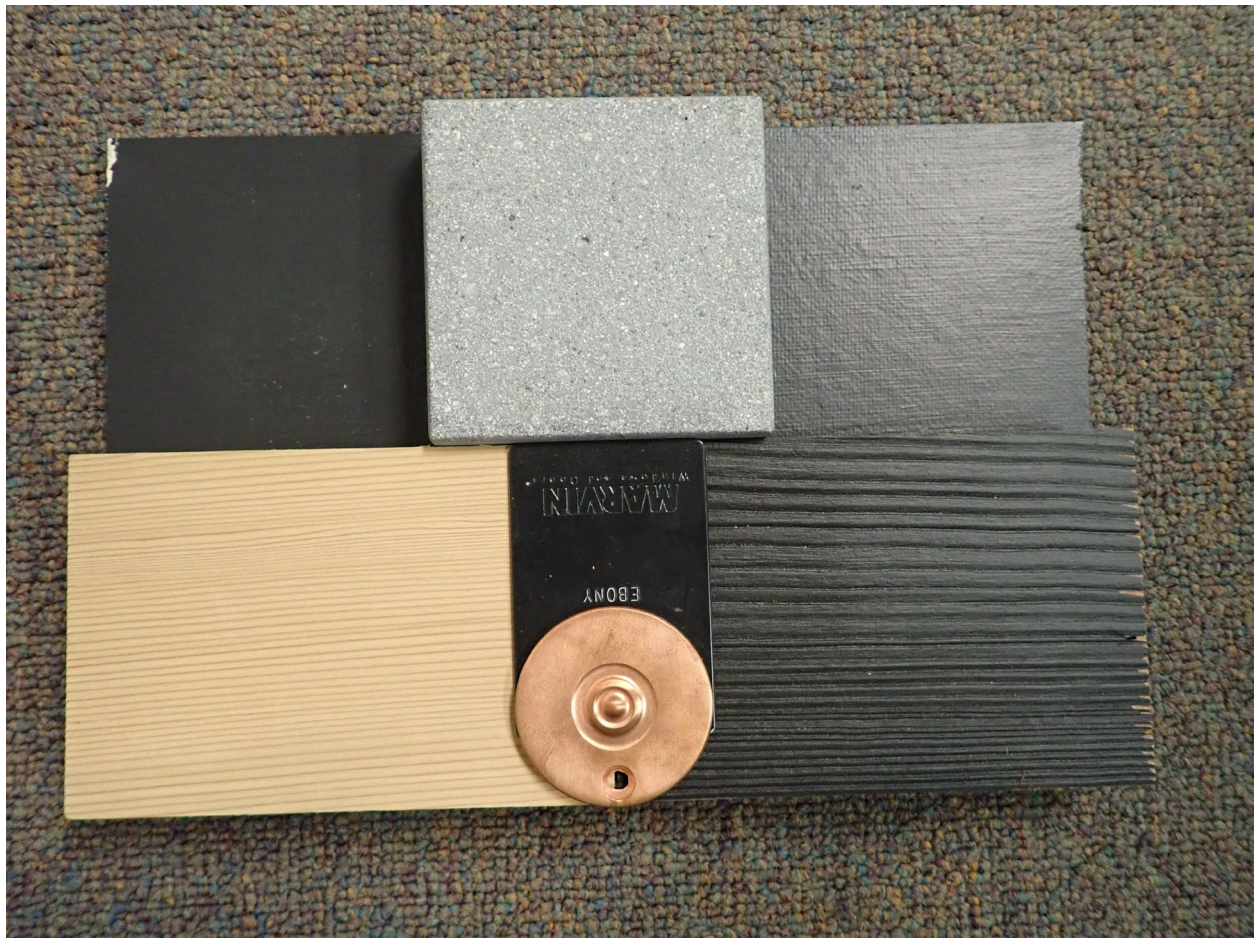
The project is similar in size to other residential structures on similar sized and level lots within the immediate Fairfax Tract Subdivision neighborhood.

Design Review Permit (Town Code Chapter 17.020)

The exterior of the structure is articulated with various pitched rooflines reaching different maximum elevations at their peaks, varied window sizes and shapes, a terrace off the rear of the second floor that steps down to a rear deck off the first floor, a stepped front wall with the east side of the structure, where the front door is proposed, set 3 feet further south than the rest of the façade. The roof peaks run north south so that the shorter portions of the building and the building eaves face the neighboring properties to minimize the structure impacts on the neighboring residential sites. The north side of the structure articulated with the design stepping the front wall back from the street and the east side stepping back from the side property line in three locations as the house follows the angled eastern side property line. The rear south side of the house is articulated with the inclusion of an uncovered terrace on the second floor, an open deck on the first floor and a metal awning

over the rear, living room door to the rear deck and living room windows. The articulation on the west side of the structure is not as pronounced although the four proposed windows, the copper gutters, and the stepped roofline and patio and deck do break up the massing of that side of the structure.

The horizontal exterior siding will be prefinished thermally treated Hemlock in black (Prefinished Mojave Thermal Hemlock with a smooth finish in the color “Delta Black”). The roofing material will be black composite shingles (color Moire Black), the window trim and garage door are black (Benjamin Moore Black Satin 2131-10), the window frames will be aluminum clad with a power coated black finish. A small area framing the front door and the fences on either side of the building running parallel to the front property line will be of Western Cedar with a clear smooth finish and the roof gutters and downspouts will be unfinished copper. The rear, first floor, deck will have vertical steel posts painted to match the house with stainless steel cables for the railings, a wood cap of natural wood to match the wood decking boards (similar to the color of the western red cedar used on a portion of the front of the house around the front door and the front fence). See the color board below.



The Commission should discuss the following before determining if the apparent mass of the west side of the building is appropriate or whether this side of the building needs modification to increase its articulation:

- Would the use of different colored window trim and framing minimize the apparent mass?
- Inclusion of a belly band (mid-section trim).
- Alternating siding direction of the first and second floors from horizontal to perpendicular?
- Using an alternative color for one of the stories on the west side of the building?

See Attachment B for the applicant's response to staff's questions of whether he had considered any design features to further minimize the apparent mass of the west side of the property.

The use of color in design is a subjective personal choice as are many of the design review criteria set forth in Town Code §.17.020.040(A) through (N), Design Review Criteria. The use of the color black for many features of the residence might not be visually appealing to all and the Commission should discuss whether the chosen color palette complies with the design review criteria and whether or not a palette using more contrasting colors would result in a structure that will relate harmoniously to other residences in the immediate area.

The landscaping plan includes planting English Laurels along the west side of the site, three immediately adjacent to the rear of the building to screen the second floor, terrace and first floor deck from the property to the west and along the rear portion of the west side property line for additional privacy screening. Lavender and African Boxwood will be planted at the front of the site and along the east side. Agave plants will be planted in pots along the rear of the second-floor terrace. All plant material will be irrigated with a low water use irrigation system that must comply with the Marin Municipal Water District landscaping water conservation requirements that can be found on-line at www.marinwater.org (this has been included as a condition of approval from MMWD in the resolution approving the proposed project.).

Three exterior lights are proposed on the front of the house on the east side of the front entry door and on either side of the garage and one exterior light is proposed at the rear of the house on the west side of the first floor door that accesses the rear deck.

The design and landscaping of the proposed project meets the design review criteria contained in Town Code § 17.020.040(A) through (N) and complies with the purpose of the Design Review Ordinance which is to, "foster a good design character through consideration of aesthetic and functional relationships to surrounding development and in order to further enhance the town's appearance and livability and usefulness of properties" [Town Code § 17.020.020(B)].

Tree Removal Permit (Town Code Chapter 8.36)

The project is not located within a Wildland Urban Interface area and does not require the approval of a Vegetative Management Plan. The applicant proposes removing seven trees to clean up the site, provide access for construction and to accommodate the project.

The trees to be removed are one Italian Cypress that is a fire hazard (Tree #1), three Pittosporum, one of which is in bad health (Tree #2) and two that are healthy (Tree #'s 2 and 4) with #2 impeding access to the site and #4 with the reason for removal not clear in the application, one Japanese Euonymus (Tree #3) in good health but blocking construction access to the site, one Plum tree (Tree #5) in good health, and two privets (Tree #'s 6 and 7) within the footprint of the proposed structure.

The Fairfax Tree Committee reviewed the tree removal application for the project at their April 25, 2022, meeting and recommends that the Planning Commission approve the tree removal requests with no special conditions recommended (Attachment C).

Excavation Permit and Site Drainage (Town Code § 12.20.080)

Although not required for relatively level properties when applying for a Conditional Use permit, the applicant provided the Town with a drainage report and drainage plans which is appropriate since shortly after the applicant's purchase of the vacant parcel, the Town received letters from two neighbors, one in Fairfax and one in San Anselmo, describing the drainage patterns in the area around the project site and expressing concerns that development of the site might exacerbate long standing drainage problems in the immediate neighborhoods in both Fairfax and San Anselmo (Attachment D).

The drainage issues in this area have been occurring for a long time and it is not the responsibility of one homeowner to address these issues alone. As indicated in the letter from Mr. Obrien contained in Attachment D, he cites the public works director in San Anselmo advising that the uphill drainage that has been directed into the Fairfax Tract Subdivision neighborhood has led to flooding in the immediate area and that addressing the problem would involve both the Town of San Anselmo and Fairfax and require large scale infrastructure improvements. Best Management drainage policies in California for new development request that a project not increase the speed, amount, or direction of existing water flows.

The Town Engineer has reviewed the drainage plan which will allow the existing water coming to the site from Hall Avenue to continue its current path onto the site where the driveway will be permeable surface with a drop inlet at the south end of the driveway area and another drop inlet on the northeast corner in front of the site within the public road easement. Two more drop inlets are proposed on the east side of the house midway and the back southeast corner, with another drop inlet at the southwest corner and one more beneath the first-floor rear deck. Water from the roof will be taken through downspouts located in various location along the sides of the roof from the front to the back of the building and be deposited into splash blocks to allow the water to infiltrate naturally back into the ground and/or to enter the infiltration trench at the rear corner that will run along an approximately 12-feet of the southeast side of the rear of the site to allow water to infiltrate into the ground.

Preparing the site for construction, constructing the foundation, installing the sewer and water lines and the drainage system will require the excavation/fill of approximately 163

cubic yards of material. In accordance with Town Code § 12.20.080, the project requires the approval of an excavation permit by the Planning Commission which requires the permit approval for any projects where the excavation when added to the fill will exceed one hundred cubic yards. The off haul for the project will be 139 cubic yards of material.

The proposed amount is the minimum necessary to allow development of the site without increasing drainage water flows or speeds to adjacent properties while also constructing a building code compliant foundation, grading the driveway, and installing the sewer and water lines.

The Town Engineer has reviewed the project plans by applicant/architect John Simenic and the engineering plans by DVC Group (received 4/7/22) and the drainage report by DVC Group (received 8/10/22) and has determined that the project has been designed in a manner that will; 1) protect the health, welfare and safety of the public; 2) adjacent properties are adequately protected by the project investigation and design from geologic hazards; 3) adjacent properties, including the public road are adequately protected by the project design from drainage and erosion problems; 4) the amount of excavation/fill is not more than is required to allow the property owner substantial use of their property (Attachment E – Town Engineer’s memorandum dated 6/2/22).

The site is relatively level so excavation can occur year round as this project is not subject the Hill Area Residential Development regulations that prohibit grading during the rainy season from October 1 through April 1 [Town Code § 17.072.090(C)(4)].

VariANCES (Town Code Chapter 17.028)

As discussed above, due to the small size and irregular shape of the site it is difficult to design a residential structure in compliance with all the minimum and combined side-yard setback requirements.

Town Code §17.084.070(A)(2) requires that developments in the RD 5.5-7 maintain a minimum side-yard setback of 5-feet between the structure and the side property lines but also maintain a combined side-yard setback of 15-feet so that when the side-yard setbacks are added together they total 15-feet. Town Code § 17.052.010(B) prohibits locating required parking spaces within a required side-yard setback. Town Code § 17.028.020(A) gives authority to the Planning Commission to grant exceptions to these regulations when conditions of the site warrant the approval of the exceptions and when the exceptions will not negatively impact neighboring properties in a manner exceeding that of a typical residential development and will not jeopardize the public health, safety and welfare.

There are other residences in the neighborhood that have parking and portions of their improvements within the required minimum and combined side yard setbacks because the houses were built prior to the 1973 adoption of the current setback regulation. Therefore, the granting of the requested variance to the side setback regulations is not a grant of special privilege and will not be detrimental to the public or injurious to other properties in the vicinity.

Other Agency/Department Conditions/Comments

Ross Valley Fire Department –

Ross Valley Fire Department had the following specific conditions for the project:

- A 20-foot-wide fire lane must be improved and be serviceable in compliance with Ross Valley Fire Standard #210 along the site frontage prior to delivery of combustibles to the site.
- A fire sprinkler system that complies with National Fire Protection Association standard 13-D and local standards must be installed and requires a separate permit from Ross Valley Fire.

For a complete list of the RVFD conditions including the standard fire conditions see the attached Resolution No. 2023-16 (Attachment A). Please note that the project already has an approved vegetative management plan (see project plan set, page A2.0.1).

Marin Municipal Water District

All plant material must be irrigated with a low water use irrigation system that must comply with the Marin Municipal Water District landscaping water conservation requirements that can be found on-line at www.marinwater.org.

The standard Marin Municipal Water District conditions can be read in their entirety in the attached Resolution No. 2023-16 for approval of the project (Attachment A).

Building Official/Public Works Manager

A code compliant sidewalk and gutter must be installed along the entire property frontage.

No Comments were received from the Fairfax Public Works Director, Police Chief and Ross Valley Sanitary District's standard conditions can be read in their entirety in attached Resolution No. 2023-16.

RECOMMENDATION

Conduct the public hearing.

Move to approve application # 23-18 based on the finding and subject to the conditions contained in the attached Resolution No. 2023-16 (Attachment A).

ATTACHMENTS

A – Resolution No. 2023-16

B – Applicant's response to staff's questions relating to massing

C – Letter of action from the 4/25/22 Fairfax Tree Committee meeting

D – Letters from neighbors regarding neighborhood drainage

E – Town Engineer's memorandum dated 6/2/22

F – DVC Engineering drainage report dated 5/31/22

RESOLUTION NO. 2023-16

A Resolution of The Fairfax Planning Commission Approving Application No. 23-18 for a Conditional Use Permit (CUP), Design Review Permit Excavation Permit, Tree Removal Permit and Minimum and Combined Side-yard Setback Variances for the Construction of a Single-family Residence with Attached Garage at 34 Hill Avenue

WHEREAS, the Town of Fairfax received an application from John Simenic to construct a 28 foot 6 inch tall, two-story structure with a 340 square-foot, one car garage, 604 square-foot, first story kitchen/living great room, ½ bathroom entry hall that also provides direct access to the garage from the house and the stairway to the second floor that includes three bedrooms and two bathrooms on April 7, 2022; and

WHEREAS, the Commission held a duly noticed public hearing on the proposed project on July 20, 2023; and

WHEREAS, after holding the public hearing the Planning Commission determined that the project complies with the Conditional Use Permit Ordinance and that findings can be made to grant the requested Design Review permit, Excavation permit, Tree Removal permit and Minimum and Combined Side-yard Setback Variances; and

WHEREAS, the Commission has made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-1.2.3: New and renewed development shall be designed and located to minimize the visual mass. The Town will require exterior materials and colors that blend the exterior appearance of structures with the surrounding natural landscape, allowing for architectural diversity.

Policy LU-4.1.4: New and renewed development shall be designed to minimize run-off in a manner that does not cause undue hardship on neighboring properties.

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

Policy LU-7.2.2: to the extent feasible natural features including the existing grade, mature trees and vegetation shall be preserved for new and renewed development.

Conditional Use Permit (Town Code § 17.032.060)

1. The approval of the use permit for a 28.5-foot tall, two-story, 1,318 square-foot, 3-bedroom, 2 ½-bathroom, single-family residence that complies with the floor area ratio, lot coverage and maintains a setback of 10 feet from the west side property line and a 3-foot 10 ½-inch side setback from the east side property

line for a combined side-yard setback of 13-feet 10 ½-inches on this small, 3,309 square-foot site that varies in width from 3-feet to 47-feet will not be a grant of special privilege.

2. The development and use of the property as described in finding 1 above and subject to compliance with the conditions contained in this resolution shall not create a public nuisance or cause unreasonable detriment or adverse physical or economic effects to neighboring properties.
3. Approval of the CUP is not contrary to the goals of the 2010-2030 Fairfax General Plan or Town Code Title 17, Zoning.
4. Approval of the CUP and development of the site as proposed will be a better use of the property than would otherwise be the case because the residence is in scale with the site and with other structures in the neighborhood.

Excavation Permit (Town Code § 12.20.080)

Based on the Town Engineer’s review and recommendation that the project can be safely constructed, the Planning Commission finds that:

1. The health safety and welfare of the public will not be adversely affected;
2. Adjacent properties will be adequately protected by project investigation and design from geologic hazards as a result of the work;
3. Adjacent properties are adequately protected by project design from drainage and erosion problems as a result of the work;
4. The amount of the excavation or fill proposed is not more than that required to allow the property owner substantial use of his or her property;
5. The visual and scenic enjoyment of the area by others will not be adversely affected by the project more than is necessary;
6. Natural landscaping will not be removed by the project more than is necessary; and
7. The time of year during which construction will take place is such that work will not result in excessive siltation from storm runoff nor prolonged exposure of unstable excavated slopes (Town Code § 17.072.090(c)(4) prohibits grading of hillside properties from October 1st through April 1st of each year).

Design Review (Town Code § 17.020.040)

1. The project depicted in the plans submitted to the Town on March 2, 2023, complies with the Design Review Criteria set forth in Town Code § 17.020.040. The exterior of the structure has been articulated, landscape screening is

proposed, and the setback have been maximized to minimize significant impacts on neighboring property and to allow the development to harmonize with the surrounding residential development.

Minimum and Combined Side-Yard Variance (Town Code § 17.028.070)

1. The small size and 3-foot to 47-foot width of the site are the features that warrant granting the requested Minimum and Combined Side-yard Setback Variances to construct the required parking spaces to support the new single-family residence within the side-yard setbacks and to allow a small portion of the house to project 1 ½-foot into the required side-yard setbacks. The strict enforcement of the required setback backs would deprive the applicant of the ability to improve the on-site parking required to allow for construction of a single-family residence on this RD 5.5-7 residentially zoned site and would make designing a complying structure difficult.
2. Most properties in town that are similarly small sites have some portion of their required parking spaces and/or parking structures and portions of the residence within one or more required setbacks. Therefore, allowing the uncovered parking spaces and a small portion of the house to encroach into the minimum and combined side-yard setbacks will not be a grant of special privilege.
3. The strict application of the setback regulations would render the site undevelopable in compliance with the Town parking regulations and/or would require a change in one of the exterior wall planes that would result in irregular room shapes in the interior of the structure.
4. The granting of the side-yard setback variance to allow the uncovered parking within the minimum side yard setback and to allow the house to maintain a combined side-yard setback of 13-feet 1 ½-inches will not be detrimental to the public health, welfare and safety or injurious to other property in the vicinity in which the property is situated.

Tree Removal

Three 7 trees proposed for removal within the structure footprint and throughout the site have been reviewed by the Tree Committee who has recommended that the Commission approve the requested removal permit. Therefore, the project is in compliance with all the considerations listed in Town Code 8.36.060(B)(1 through 7) of the Tree Ordinance, Town Code Chapter 8.36.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with the following conditions:

The project is approved based on the following plans and reports:

Project Plan Set including the architectural plan by John Simenic and the engineering plans by DVC Engineering Group and the Topographic Survey by

Leon Oberkamp submitted to the Town on April 7, 2022, and the Drainage Report by DVC Group dated 5/31/22 (received 8/10/22).

Note: if the Commission finds that the west side of the building needs to be more articulated, include the following language at the end of the sentence above: with the west side of the building modified in the building permit plan set to include increased articulation subject to the review and approval by the Planning Department prior to issuance of the building permit.

The project is subject to the following conditions of approval:

1. Prior to issuance of any of the building permits for the project the applicant or his assigns shall:
 - a) Submit an amended construction plan to the Public Works Department for their approval. The amended plan shall include, but is not limited to, the following:
 - I. Construction delivery routes approved by the Department of Public Works.
 - II. Construction schedule (deliveries, worker hours, etc.)
 - III. Notification to area residents
 - IV. Emergency access routes
 - V. Construction worker staging area
2. The applicant shall prepare, and file with the Public Works Director, a video of the roadway conditions on the public construction delivery routes (routes to be pre-approved by Public Works Director).
3. Submit a cash deposit, bond, or letter of credit to the Town in an amount that will cover the cost of grading, weatherization, and repair of possible damage to public roadways. The applicant shall submit contractor's estimates for any grading, site weatherization and improvement plan for approval by the Town Engineer. Upon approval of the contract costs, the applicant shall submit a cash deposit, bond or letter of credit equaling 100% of the estimated construction costs.
4. The grading, foundation and drainage elements shall be designed by a structural engineer certified as such in the state of California. Plans and calculations of the foundation and retaining elements shall be stamped and signed by the structural engineer and submitted to the satisfaction of the Town Engineer or the Building Official.
5. The grading, foundation, and drainage elements shall also be stamped and signed by the project civil engineer as conforming to the recommendations made by the DVC Engineering group in their drainage report dated 5/31/22 by the project Civil Engineer.

6. Prior to submittal of the building permit plans, the applicant shall secure written approval from the Ross Valley Fire Department, Marin Municipal Water District and the Ross Valley Sanitary District noting the development conformance with their recommendations and conditions.
7. Submit 3 copies of the recorded record of survey with the building permit plans.
8. The Tree permit must be kept on the job site while the trees are being removed and the owner must verify that the tree company performing the approved tree work has a current Fairfax Business License.
9. During the construction process the following shall be required:
 - a) Prior to the concrete form inspection by the building official, the structural engineer shall field check the forms of the foundations and provide written certification to the Town staff that the work to this point has been completed in conformance with their recommendations and the approved building plans.
 - b) The Building Official shall field check the concrete forms prior to the pour.
 - c) All construction-related vehicles including equipment delivery, cement trucks and construction materials shall always be situated off the travel lane of the adjacent public right(s)-of-way. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.
 - d) Any proposed temporary closure of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
 - e) In accordance with Town Code §8.20.060(C)(1) and (2), the operation of any tools or equipment used in construction or demolition work or in property maintenance work between the hours of 6:00 PM and 8:00 AM Monday through Friday, or on weekends and holidays between 4:00 PM and 9:00 AM is prohibited.
10. Prior to issuance of an occupancy permit the following shall be completed:
 - a) The civil engineer shall field check the completed project and submit written certification to the Town Staff that the foundation, grading and drainage elements have been installed in conformance with the approved building plans and the recommendations of the drainage report.

- b) The Planning Department and Building Official shall field check the completed project to verify that all Planning Commission conditions and required engineering improvements have been complied with including installation of landscaping and irrigation prior to issuance of the certificate of occupancy.
11. The roadways shall be kept free of dust, gravel, and other construction materials by sweeping them daily, if necessary.
12. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 23-18. Modifications that do not significantly change the project, the project design or the approved discretionary permits **may** be approved by the Planning Director or the Planning Commission. Any construction based on job plans that have been altered without the benefit of an approved modification of Application 23-18 will result in the job being immediately stopped and red tagged.
13. Any damage to the public portions of Hill Avenue, Kent Avenue, Sir Francis Drake Boulevard, or other public roadway used to access the site resulting from construction activities shall be the responsibility of the property owner.
14. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council or Planning Director or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.
15. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include,

but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act and Best Management Practices for Stormwater Pollution Prevention.

16. Conditions placed upon the project by outside agencies, Town department or by the Town Engineer may be eliminated or amended with those agencies, departments, or the Town Engineer's written notification to the Planning Department prior to issuance of the building permit.

Town Engineer

17. The building permit application plans, including the final drainage plan and associated report(s) shall be reviewed and approved by the Town Engineer and the San Anselmo Public Works Director and Town Engineer prior to issuance of the building permit.

Ross Valley Fire Department

18. A 20-foot-wide fire lane must be improved and be serviceable in compliance with Ross Valley Fire Standard #210 along the site frontage prior to delivery of combustibles to the site.
19. A fire sprinkler system that complies with National Fire Protection Association standard 13-D and local standards must be installed and requires a separate permit from Ross Valley Fire.
20. All smoke detectors in the residence shall be provided with AC power and be interconnected for simultaneous alarm. Detectors shall be located in each sleeping room, outside of each sleeping room in a central location in the corridor and over the center of all stairways with a minimum of 1 detector on each story of the occupied portion of the residence.
21. Carbon monoxide alarms shall be provided in existing dwellings when a permit is required for alterations, repairs, or addition and the cost of the permit exceeds \$1,000.00. Carbon monoxide alarms shall be located outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of the dwelling, including basements.
22. Address numbers at least 4-inches tall must be in place adjacent to the front door. If not clearly visible from the street, additional numbers must be placed in a location that is visible from the street. The numbers must be internally illuminated or illuminated by an adjacent light controlled by a photocell that can be switched off only by a breaker so it will remain illuminated all night.

23. Alternative materials or methods may be proposed for any of the above conditions in accordance with Section 104.9 of the Fire Code.
24. All approved alternatives requests, and their supporting documentation, shall be included in the plan sets submitted for final approval by the Fire Department.

Marin Municipal Water District (MMWD)

25. A copy of the building permit must be provided to the district along with the required applications and fees.
26. The foundation must be completed within 120 days of the date of application.
27. All indoor and outdoor requirements or District Code Title 13, Water Conservation must be complied with.
28. Any landscaping plans must be reviewed and approved by the District.
29. Backflow prevention requirements must be met.
30. Ordinance 420, requiring installation of a grey water recycling system when practicable, must be incorporated into the project building permit plans or an exemption letter from the District must be provided to the Town.
31. All the District's rules and regulations in effect at the time service is requested must be complied with.

Ross Valley Sanitary District (RVSD)

32. A sewer connection permit and a side sewer connection permit are required for all work outside the new building footprint.
33. Fees will include sewer capacity charges as well as permit fees.
34. Test the sewer lateral(s) from the outer face of the building to the connection at the existing sewer main, in accordance with RVSD Ordinance 100 and Standards.
35. Include a sewer cleanout and backwater protection device within 2-feet of the building foundation.
36. The Ross Valley Sanitary Standard Notes shall be shown on the submitted plans and are found in Subsection L of Section 3 of the Design and Construction Standards and demonstrate that all materials used in the construction of the sewer improvements are from the approved materials list.

37. A hold will be placed on the property when the building permit is issued and will not be released for occupancy until the District permit and sewer requirements have been fulfilled.
38. A Certificate of Compliance for the lateral must be obtained from the RVSD prior to the project final inspection by the Fairfax Building Department.

Fairfax Public Works Department

39. All large trucks with more than 2 axles accessing the site for construction will be limited daily to the hours between 9 AM to 3 PM.
40. Complete road closures will be limited to concrete pours and steel placement and will be coordinated with the Fairfax Police Department and Ross Valley Fire Department.
41. A detailed construction management plan must be submitted with the building permit application that includes construction delivery routes, construction schedule (deliveries, worker hours, etc.), notification to area residents, emergency access and egress routes and proposed employee parking locations during construction and be approved by the Department of Public Works.
42. The applicant shall prepare, and file with the Public Works Director, a video of the roadway conditions on the construction delivery routes.
43. A bond will be submitted prior to issuance of the building permit in an amount that will cover the cost of grading, weatherization, and repair of possible roadway damage in an amount equaling 100% of the estimated construction costs and pay for the Town Engineer's/Plan Checker's time to review and confirm the contractor's estimate.

Building Official

44. Prior to the start of construction, the surveyor shall mark the property lines in the field and shall meet the Building Official for a preconstruction inspection once the markings are in place.
45. After the foundation framing and prior to the foundation concrete pour, the contractor shall call for a second inspection by the Building Official to ensure that the proposed setbacks are being maintained.
46. A code compliant sidewalk shall be constructed along the entire property frontage.

Miscellaneous

47. A drainage system maintenance agreement including a system location plan and required maintenance schedule shall be approved by the Town Engineer and then be recorded at the Marin County Recorder's Office setting forth the

required maintenance schedule to ensure the drainage system continues to function as designed. A copy shall be provided to the Town prior to issuance of the building permit.

48. All the exterior fixtures must be dark sky compliant (fully shielded and emit no light above the horizontal plane with no sag or drop lenses, side light panels or uplight panels) as well as compliance with color temperature to minimize blue rich lighting. The lighting plan shall be submitted with the building permit application and be approved by the Planning Department prior to issuance of the project building permit. The lighting shall not emit direct offsite illumination and shall be the minimum necessary for safety.

49. The driveway access shall be limited to 20-feet in width within the public right-of-way in compliance with Town Code § 12.12.030.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Conditional Use Permit, Design Review Permit, Excavation Permit, Tree Removal Permit and Minimum and Combined Side-yard Setback Variance to Allow the Required Uncovered Parking in the Minimum and Combined Side-Yard Setback and to allow a 1-foot 1 ½-inch portion of the east side of the building to encroach into those same setbacks are approved and the findings have been made to grant the requested discretionary permits. Therefore, the project is in conformance with the 2010 – 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 20th day of March 2023 by the following vote:

AYES:

NOES:

ABSENT:

Chair Cindy Swift

Attest:

Linda Neal, Principal Planner

JOHN SIMENIC | ARCHITECT

Prior to having a design prepared for the parcel Aaron and Kelley submitted a letter to the planning department indicating a variety of concerns for development on the empty parcel. The list includes water and drainage, the property boundary, basement access, utilities, parking, cars being able to turn around at the end of the street, and neighborhood density. In response to this I've taken great care in designing the parcel with Aaron and Kelley in mind. Below is summary of how I've addressed each concern as I developed a design.

Water and Drainage – I've hired the civil engineer Dan Hughes of DVC Group who has decades of experience working on projects in Marin County and throughout the Bay Area. He and his team have developed a grading and drainage plan, erosion control plan, and drainage and flow calculations for the site. We've designed the grading and drainage to ensure the proposed design will not create any additional drainage burdens for the neighbors both uphill at 32 Hill Ave and downhill at 16 Pastori and 59 Belle Avenue. This includes strategically placed area drains along the west property line, lowering of the rear yard, minimizing the building footprint, utilizing permeable paving, and installation of a drywell in the rear yard.

Property Boundary – a topographic and record survey was produced by Oberkamper and Associates and recorded with Marin County on October 20, 2021. A survey cannot be recorded without complying with the standards and procedures set forth by Marin County.

Basement Access – the 32 Hill Ave basement opens directly onto my vacant parcel. Since purchasing the property I have granted access to my property for basement access. I am not developing anything that would prevent their basement access, and do not intend to prevent Aaron and Kelley from accessing their basement.

Utilities – An overhead powerline and cable line cross my parcel. During construction I will notify PG&E to have these moved as required. My neighbor claims there's a gas line running under the northwest corner of my parcel. I plan on having my driveway adjacent to their property and do not intend to build close to where underground utilities may or may not be currently located. Before any digging I'll have USA come to verify.

Parking – I am proposing the code required 3 spaces for this home.

Cars Turning around at the end of the street – There is a small gravel drive on the eastern side of my lot and cars sometimes use a very small portion of this drive to turn around. I have no intention of removing this.

Neighborhood Density – Under the new SB-9 regulations I have the right to split my parcel and construct up to 4 units on this land. I am foregoing this and only proposing a single unit. Additionally, this is a small single-family home in a neighborhood of single-family homes constructed largely on small nonconforming parcels. I am not trying to do anything out of the ordinary. I am simply the last person to try to develop land in this neighborhood.

In addition to the above I've made a few other considerations for Aaron and Kelley. I've positioned the building toward the front of the parcel to ensure my proposed design does not block the sun and their views of Bald Hill. I've doubled the west side setback from 5' to 10' along the west property line to allow for extra breathing room between our two parcels. With the hope of ensuring adequate privacy, I've also been careful in placing windows along the west façade so that windows do not look directly into their home and refrained from placing western windows in the kitchen and living room of the home.

JOHN SIMENIC | ARCHITECT

On March 26 we met on my parcel to discuss the project. To start, Aaron and Kelly were clear in that they do not want to see my site developed. After this we did have what I thought to be a productive conversation and talked through their concerns and how I have addressed them in the design. They noted wanting a reduced level 2 mass at the rear of the home to allow for greater light into their kitchen window in the morning. I have since reduced the level 2 terrace massing by a little over a foot; the previous terrace depth was 8-1-3/8" deep and is now only 7'-0" deep. At the end of the meeting I gave them a copy of the drawings to review. I am now working toward formalizing permission for them to access my property.

APN 002-213-26

Address: 1569 Sir Francis Drake Blvd

Date of Conversation: 3.20.22

I spoke with David Segale via phone and explained the project. Afterwards I emailed him a PDF copy of the plans. He expressed interest in me keeping a portion of the small gravel drive on the northeast corner of my lot so cars could continue to have ease in turning around. I am happy to do so.

APN: 005-152-01

Address: 15 Ramona Way

As owner of 15 Ramona Way and the subject parcel, I fully endorse this project.

APN: 005-152-08

Address: 16 Pastori Ave

Date of Conversation: 3.15.22

Prior to having produced a design Barbara wrote a letter to the Town of Fairfax indicating her concern for development due to water and drainage issues on her lot. During prolonged periods of rain large portions of her lot develop standing water. I met with Barbara and explained I've hired an experienced civil engineer to design the drainage for the lot to ensure the proposed development will not create additional drainage burden for her property. Overall, I believe the conversation went well in addressing Barbara's concern. She did not mention any other concerns for the project.

APN: 002-214-13

Address: 59 Belle Ave

Date of Conversation: 3.15.22

I met with Patricia and explained the overall design. Being at the lowest point on Belle Avenue she explained that sometimes standing water develops on her property, but in the 30 years she's lived there her home has never flooded. She did not raise any concerns in regards to the development of my property.

APN: 005-151-09

Address: 16 Ramona Way

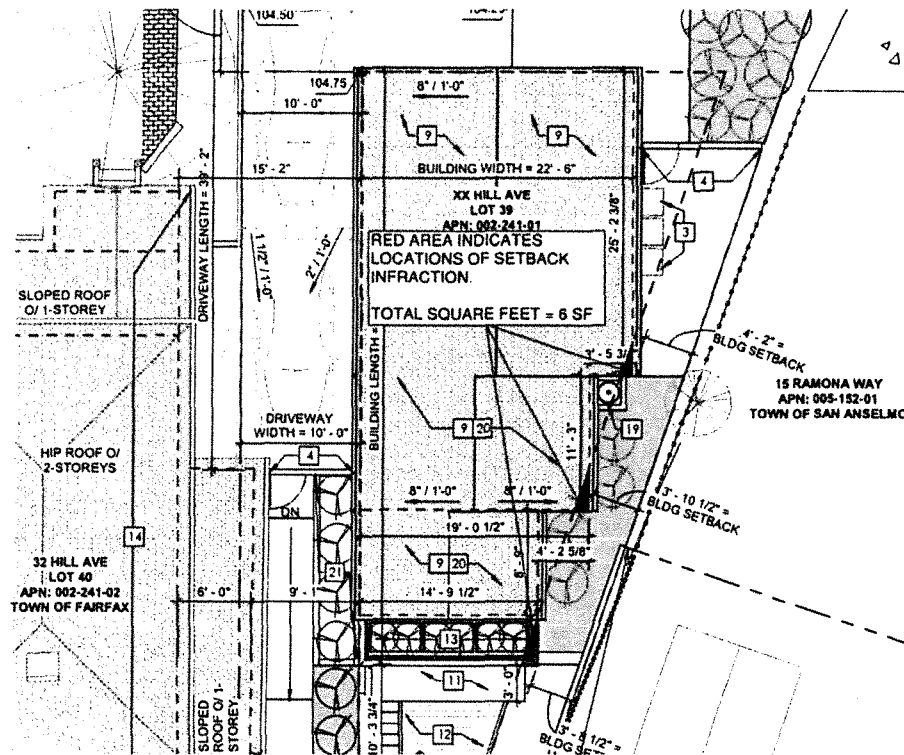
Date of Conversation: 3.20.22

Ailish and Jim did not express any concerns with the project.

TOWN OF FAIRFAX PLANNING APPLICATION
 VARIANCE STATEMENT – SETBACK

1. List below special circumstances applicable to the property, including size, shape, topography, location, or surroundings, to show why the variance should be granted; and why the granting of the variance will not be a granting of special privileges inconsistent with the limitations upon other properties in the vicinity and zone (you may attach a statement).

The proposed project resides in a neighborhood of mostly small, rectilinear parcels and homes. The subject parcel rests at the end of Hill Avenue on a triangular-shaped parcel making it a unique condition within the neighborhood. Fitting a rectilinear home similar to my neighbors on this triangular parcel creates some challenges for complying with the standard setback regulations. I've stepped the building back along the east property line to substantially comply with the zoning code but am asking for this minor exception for a few small corners of the building (see diagram) due to the shape of the lot to allow for a working floorplan.



Other homes within the neighborhood have far greater side setback infractions than this proposal. Two notable properties are my neighbor at 32 Hill Ave and my own home at 15 Ramona Way east of the lot. These homes are built on rectilinear lots and have side setback infractions which far exceed my proposal for this very unique lot. Given this, I am asking for an eastern side setback variance.

2. List below your reasons why the variance will not materially adversely affect the health or safety of persons residing or working in the neighborhood or be materially detrimental to the

JOHN SIMENIC | ARCHITECT

public welfare or injurious to property or improvements in the neighborhood (you may attach a statement).

Given the size and triangular shape of the lot, I've pushed the massing of the building as far east as possible to create a minimal impact on my neighbor at 32 Hill Avenue. The locations of the setback variance lie along the eastern property line adjacent my empty rear yard at 15 Ramona Way and the largely empty northeast portion of the rear yard of 16 Pastori Ave. This proposal does not block any access to light and air for my neighbors.

3. *Explain why complying with the Town Ordinance requirements will be a hardship for the owner.*

Complying with the town regulations will essentially make the current floorplan undesirable. A strict compliance on this unique, triangular-shaped parcel makes it quite difficult to create a nicely functioning floorplan. As can be seen with the current plan diagram I've worked in good faith to abide with the restrictions as much as possible. I am only asking for 6 square feet to cross the setback lines, and a majority of this is along my own property at 15 Ramona Way. As owner of 15 Ramona Way, I fully support this. Where the plan breaks the setback requirements at the southern end of the home I've ensured the building is only a 1-story rather 2 so as to further minimize any massing over the setback line.

4. *In order to approve your project, the Planning Commission must make findings of fact which state that 1) there is a special feature of the site (such as size, shape or slope) which justifies an exception; 2) that the variance is consistent with the treatment of other property in the neighborhood; 3) that strict enforcement of the ordinance would cause a hardship; and 4) that the project is in the general public interest. In the space below, please provide any information which you feel is relevant to these issues and which further explains your project.*

Below is summary to the 4 points:

1. Special Feature – The parcel is a unique, triangular shape.
2. Building closer than 5' to the property line is not unique in the neighborhood. Three of the adjacent neighbors are built closer than 5' to the side property lines – 32 Hill Ave, 59 Belle Ave, and 15 Ramona Way. These built conditions are much more egregious than my proposal which is on a uniquely shaped parcel.
3. As noted above, creating a working floorplan without this minor side setback variance would be a great hardship.
4. It's widely known that California is at a housing deficit. This single-family home project which is proposed in a neighborhood of similar-sized, single-family homes is a small step in helping to alleviate the issue. Given this, I believe the project to be in the general interest of the public.

TOWN OF FAIRFAX PLANNING APPLICATION
VARIANCE STATEMENT – PARKING

1. *List below special circumstances applicable to the property, including size, shape, topography, location, or surroundings, to show why the variance should be granted; and why the granting of the variance will not be a granting of special privileges inconsistent with the limitations upon other properties in the vicinity and zone (you may attach a statement).*

The proposed 3rd parking space is within the 10' west side property setback line. The triangle-shaped lot limits the building footprint location which limits the location for additional parking in front of the building. Given the vast presence of side setback parking for parcels on Hill Avenue I am asking for the same treatment that so many of my close neighbors enjoy.

2. *List below your reasons why the variance will not materially adversely affect the health or safety of persons residing or working in the neighborhood or be materially detrimental to the public welfare or injurious to property or improvements in the neighborhood (you may attach a statement).*

A parking space within the side setback will be adjacent to an empty side yard and not right up against a home. The additional parking space would also be helpful in keeping the street clear of additional cars thereby having a net positive effect on the neighborhood rather than a negative one.

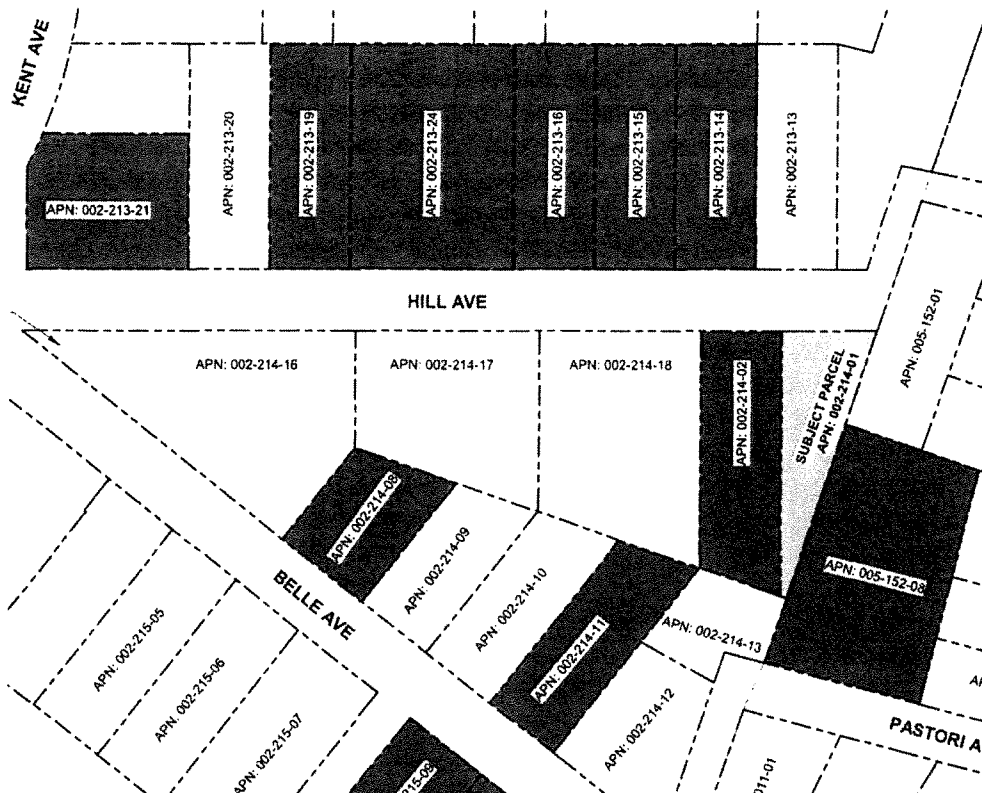
3. *Explain why complying with the Town Ordinance requirements will be a hardship for the owner.*

As I mentioned above, the triangle-shaped lot severely limits the building location and thus parking opportunities on the site. Not granting this variance would not allow for full enjoyment of substantial property rights because so many similar sized properties enjoy the right of a side yard parking space.

4. *In order to approve your project, the Planning Commission must make findings of fact which state that 1) there is a special feature of the site (such as size, shape or slope) which justifies an exception; 2) that the variance is consistent with the treatment of other property in the neighborhood; 3) that strict enforcement of the ordinance would cause a hardship; and 4) that the project is in the general public interest. In the space below, please provide any information which you feel is relevant to these issues and which further explains your project.*

1. Special feature - The parcel is a unique, triangular shape.
2. Many properties along hill Ave and throughout the neighborhood enjoy a side yard parking space.

DIAGRAM OF PARCELS WITH SIDE-YARD PARKING



Light grey is the subject parcel. Dark grey indicates parcels with side yard parking.

3. A strict conformance would not allow for a home with enough bedrooms for a family.
4. Granting this variance allows for a family-sized home in a neighborhood of other family-sized homes (many of which have side-yard parking). As previously mentioned, this single-family home project is a small step in the right direction to addressing California's housing crisis.

**TOWN OF FAIRFAX PLANNING APPLICATION
USE PERMIT STATEMENT**

In order to approve your project, the Planning Commission must make findings of fact which state that the project will not have a negative impact on the general public welfare, conforms with the policies of the Town, does not create excessive physical or economic impacts on adjacent property and provides for equal treatment with similar properties in Town.

The proposed single-family home project will be constructed in a neighborhood of other single-family homes which mostly rest upon nonconforming lots. I've hired all professionals necessary and provided documentation to show the project will not have a negative impact on my neighbors.

The final disposition of each use permit shall be in accordance with the facts of the particular case, and such facts must support the following determinations and findings before a use permit may be approved. Indicate how the findings below can be made:

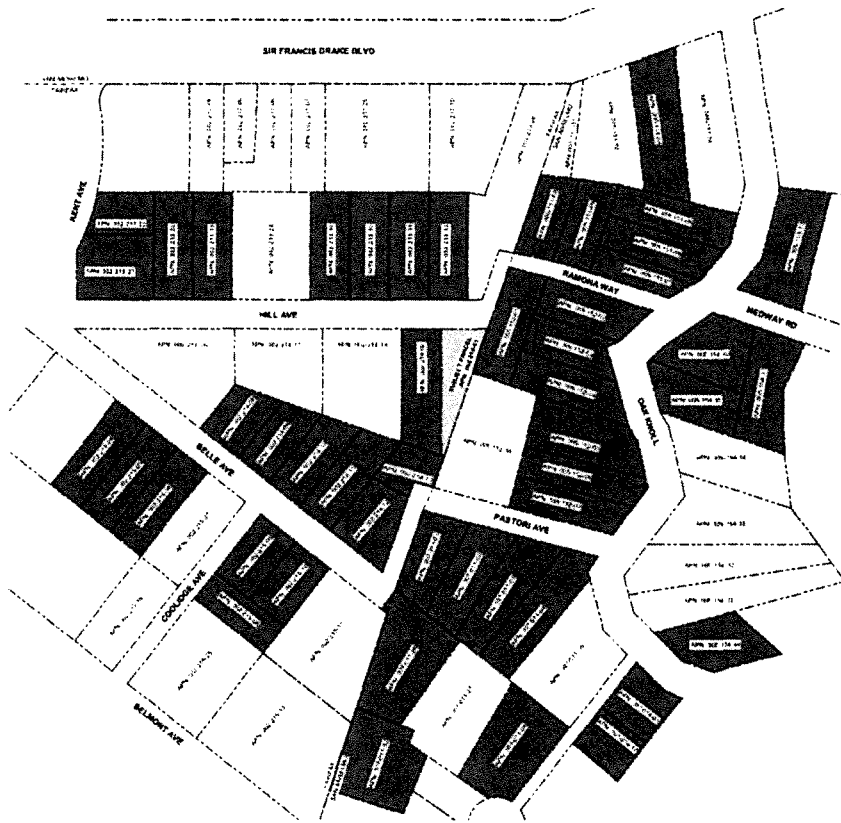
JOHN SIMENIC | ARCHITECT

1. *The approval of the use permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment.*

The neighborhood surrounding the project consists of single-family homes and duplexes built on nonconforming lots. Allowing for a new single-family home in a neighborhood of other like-kind homes surely would allow equal treatment and nothing beyond.

To further the point see charts below which show the number of surrounding homes on nonconforming lots and the number of homes on similarly-sized lots. This clearly helps to show that my home development proposal is a not an unusual circumstance.

DEVELOPED, NONCONFORMING PARCELS BASED ON LOT AREA



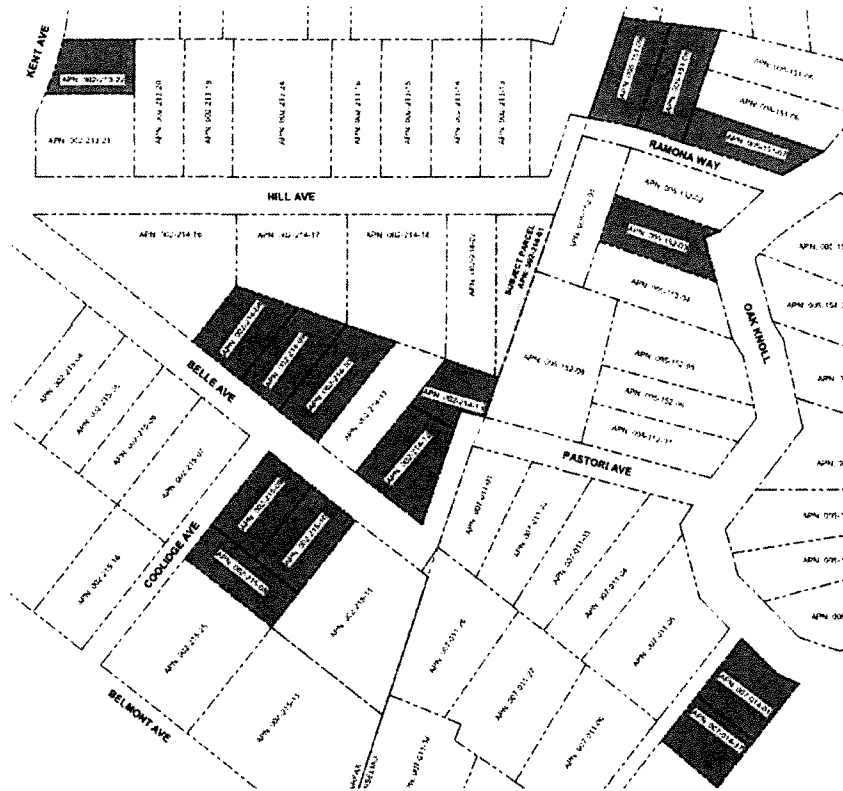
**Light grey is subject parcel. Dark grey indicates a nonconforming parcel*

** Parcels highlighted in San Anselmo are < 7,500 sf*

** Parcels highlighted in Fairfax are < 5,500 sf*

**Information gathered from Marin County Assessor and Marin Map Viewer*

SIMILAR-SIZED PARCELS MAP



*Light grey is subject parcel. Dark grey indicates a developed nonconforming, similar-sized parcel
 *Information gathered from Marin County Assessor and Marin Map Viewer

SIMILAR-SIZED PARCELS CHART

ADDRESS	PARCEL NUMBER	LOT AREA	LOT SLOPE	BUILT FLOOR AREA	BUILT FAR	STOREYS
59 PASTORI AVE	002-214-13	2,548	7.4	708	0.28	1
53 BELLE AVE	002-214-12	3,600	3.64	1,888	0.52	2
49 BELLE AVE	002-214-10	3,760	5.57	1,712	0.46	2
47 BELLE AVE	002-214-09	3,240	3.61	2,171	0.67	2
43 BELLE AVE	002-214-08	3,250	1.29	1,196	0.37	1
50 BELLE AVE	002-215-09	3,375	4.02	945	0.28	1
56 BELLE AVE	002-215-10	3,375	0.51	1,623	0.48	2
7 COOLIDGE AVE	002-215-08	3,150	2.29	1,513	0.48	2
17 KENT AVE	002-213-22	2,798	0.52	1568	0.56	2
85 OAK KNOLL	007-014-01	3,465	0	1,112	0.32	1
87 OAK KNOLL	007-014-37	2,880	3.7	686	0.24	1
121 OAK KNOLL	005-152-03	3,600	8.07	881	0.24	2
127 OAK KNOLL	005-151-07	3,300	6.72	931	0.28	1
14 RAMONA WAY	005-151-08	3,230	7.03	1,801	0.56	2
16 RAMONA WAY	005-151-09	3,420	6.47	1,764	0.52	2

Information gathered from Marin County Assessor and Marin Map Viewer

JOHN SIMENIC | ARCHITECT

- 2. The development and use of property, as approved under the use permit, shall not create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the use permit.*

As previously mentioned, this home will be in a neighborhood of other homes. This project is not at odds with the neighborhood. The project has been designed with the proper professionals to ensure there is no additional physical burden on the neighbors and as can be shown in the aforementioned charts, the project does not seek special privilege within the neighborhood. Ask most realtors, and I think they would agree that a brand new, custom-designed home does not create a negative economic burden, but rather a positive economic effect for all surrounding neighbors.

- 3. Approval of the use permit is not contrary to those objectives, goals or standards pertinent to the particular case and contained or set forth in any master plan, development plan or other plan or policy, officially adopted by the town.*

Anyone who reads the Town of Fairfax general plan is acutely aware of both the need for housing and the difficulty in finding space for developing housing. This is arguably one of the very few, flat, non-floodzone, non-WUI, infill sites left for development within the town limits, and it's in close proximity to the major transit lines which come into and out of the town (.2 mile walk from site to closest major bus stop). The proposed project is for a single-family home in a neighborhood of other single-family homes. Furthermore, it is proposed on a nonconforming parcel in a neighborhood of homes substantially built on nonconforming parcels. Allowing development of this house is not only appropriate but is also a small step forward in helping the town reach its housing goals.

John Simenic

From: John Simenic <john.simenic@gmail.com>
Sent: Thursday, March 03, 2022 4:13 PM
To: John Simenic
Subject: Fwd: [Prevention] J. Simenic - Hill Ave, Fairfax - New Home Project

----- Forwarded message -----

From: John Simenic <john.simenic@gmail.com>
Date: Tue, Jan 4, 2022 at 11:02 AM
Subject: Re: [Prevention] J. Simenic - Hill Ave, Fairfax - New Home Project
To: Robert Bastianon <rbastianon@rossvalleyfire.org>
Cc: <prevention@rossvalleyfire.org>

Thanks Rob!

On Tue, Jan 4, 2022 at 10:03 AM Robert Bastianon <rbastianon@rossvalleyfire.org> wrote:

If the property is not in a WUI zone then a VMP is not required.
No special requirements.

Rob Bastianon
Sr. Fire Inspector

Ross Valley Fire Department
777 San Anselmo Ave
San Anselmo CA, 94960
415-258-4673 ph
415-258-4689 fax

On Jan 3, 2022, at 11:52 AM, John Simenic <john.simenic@gmail.com> wrote:

Hi Rob,

I hope you had a nice holiday. I am the owner and architect of a vacant parcel on Hill Avenue in Fairfax (APN 002-214-01). I would like to propose a new single-family residence on the parcel.

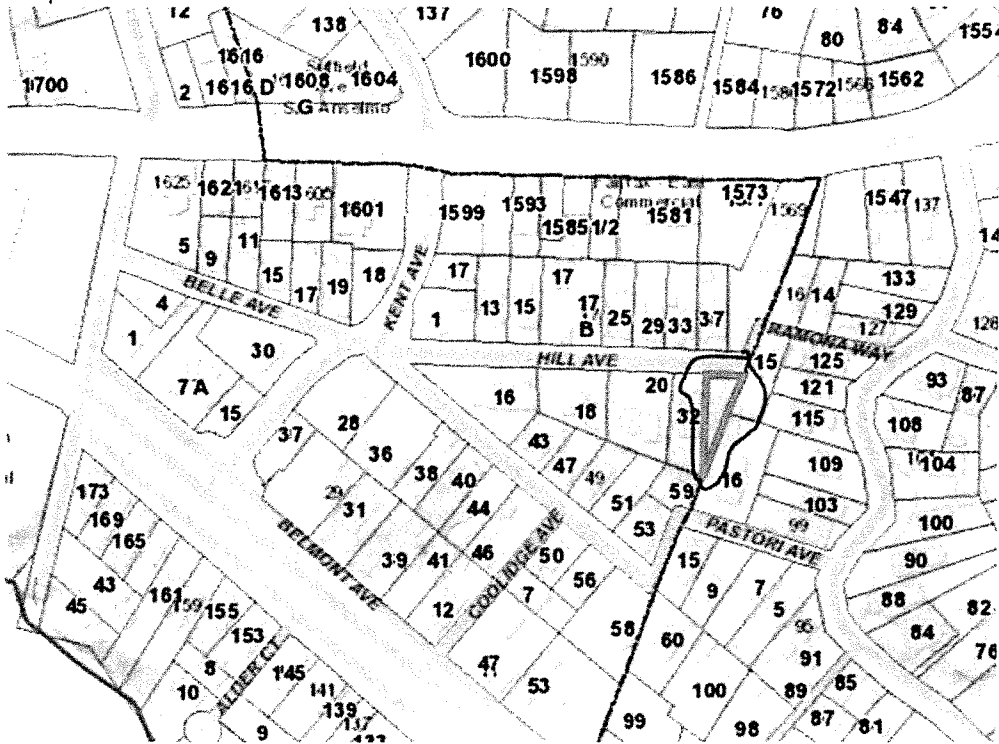
I have begun preparation of the Fairfax Planning Department submittal and have a few RVFD related questions:

1. The parcel is not in a WUI zone per Marin Map Viewer. Will a Vegetation Management Plan be required?
2. Are there any other special fire department requirements I should be aware of?

Thanks!

John Simenic
Architect
440.223.2620.
john.simenic@gmail.com

Map shown below for reference:



Linda Neal

From: John Simenic <john.simenic@gmail.com>
Sent: Tuesday, July 11, 2023 8:28 AM
To: Linda Neal
Subject: Re: First Floor decking color and materials

Hi Linda,

Thanks for reaching out. Answers below.

1. Is the rear deck railing and infill wiring going to be black as well as the top cap and the deck flooring?

The rear deck railing will be stainless steel cable. The vertical steel members will be painted steel (color to match home). The top cap will be a natural wood. The wood decking boards will be a natural wood color (similar color to the western red cedar as shown on A202).

2. Did you consider any design features to break up the massing of the west side of the residence – more varied window sizes, a belly band, changing the direction the siding runs, changing the color of the siding on the two floors?

The lot shape makes breaking up the massing of the western facade extremely difficult. In the world of facades though, this really is not that big - this is small building. Many 2-story facades in the neighborhood exhibit similar characteristics to the one shown here (west facade of 32 Hill Ave, west and north facades of 18 Hill Ave, east facade of 14 Ramona, west facade of 49 Belle Ave). Windows are kept to a minimum for my neighbors at 32 Hill. What I've tried to do is break up the facade from gridline B.5 to the rear of the home with a long line of tall shrubs - these can get to be roughly 10-12' tall. I kept these transparent on the drawings on purpose for clarity. I think the hedge will do 2 things 1) break up the facade in a big way when looking back from the street. The hedge itself will read as a mass when fully grown. 2) be nice for my neighbors at 32 Hill to view from their kitchen. I really believe the hedge accomplishes what you asking for here. I'd be happy to create a color rendering to prove the concept.

3. Did you consider and/or are you apposed to, including privacy screens on the deck and patio and if so, why?

Right now I have included 2 screenings 1) I have made the railing at the west side of the home solid instead of steel cables 2) I have added large shrubs/hedge which should grow taller than the railing to aid in privacy. I am open to further screening, but I was trying to keep the massing down where I could.

Thanks again!

John

On Tue, Jul 11, 2023 at 6:22 AM Linda Neal <lneal@townoffairfax.org> wrote:

Hi John,

I am just working on the report for your project and had some questions:

Is the rear deck railing and infill wiring going to be black as well as the top cap and the deck flooring?

Did you consider any design features to break up the massing of the west side of the residence – more varied window sizes, a belly band, changing the direction the siding runs, changing the color of the siding on the two floors? If so why did you decide against incorporating more features to break up the massing of this side of the building. The other sides seem more articulated.

Did you consider and/or are you apposed to, including privacy screens on the deck and patio and if so, why?

Thanks,

Linda Neal

Principal Planner

(415) 453-1584



TOWN OF FAIRFAX

142 BOLINAS ROAD, FAIRFAX, CALIFORNIA 94930
(415) 453-1584 / FAX (415) 453-1618

Date: April 28, 2022

Permit #22-T-27

NOTICE OF TREE COMMITTEE ACTION

This action may be appealed to the Fairfax Town Council within 10 days of the Tree Committee decision. This permit is not in effect until the 10 day appeal period is over.

Request for a tree permit to remove: (1) Italian Cypress
(2) Pittosporum
(1) Japanese Euonymus
(1) Plum
(2) Privet

Address of Tree(s) to be removed: APN 002-214-01 Hill Ave

Applicant's Phone: John Simenic (440) 223-2620

On April 25, 2022 the Fairfax Tree Committee took the following action on the above referenced tree permit application:

FOR RECOMMENDATION ONLY TO PLANNING COMMISSION

 X APPROVED - Remove 7 trees necessary to accommodate building permit, per arborists report. Motion made by Richardson Mack, 2nd by Pugh, all ayes, unanimous approval to Planning Commission.

REMINDER: PLEASE KEEP PERMIT NOTICE UP DURING THE 10 DAY WAITING PERIOD

 CONTINUED

 DENIED

CONDITIONS OF APPROVAL:

THIS APPROVED APPLICATION IS YOUR PERMIT-KEEP IT ON THE JOB SITE. FAILURE TO HAVE THE PERMIT ON THE SITE WHILE THE TREE WORK IS IN PROGRESS MAY RESULT IN THE WORK BEING HALTED UNTIL YOU SHOW PROOF OF APPROVAL.

Please verify that the tree company performing the work has a current Fairfax Business license and worker's compensation coverage.

THIS TREE PERMIT EXPIRES IN SIX MONTHS. If necessary, you may apply for an extension in writing prior to the expiration date.

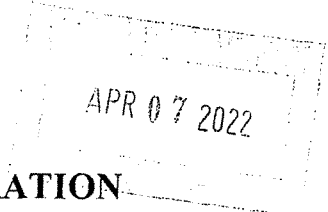
ATTACHMENT C

FOR RECOMMENDATIONS ONLY
TO PLANNING COMMISSION



TOWN OF FAIRFAX

142 BOLINAS ROAD, FAIRFAX, CA 94930
(415) 453-1584 / FAX (415) 453-1618



APPLICATION FOR TREE REMOVAL OR ALTERATION

A permit is required to remove or alter one or more trees on any parcel in the Town of Fairfax. All trees for which a permit is requested shall be tagged with an orange ribbon, a minimum of 10 days prior to the Tree Advisory Committee meeting date. Applicants must also post a notice of intent to alter or remove the marked Tree(s) in a prominent location visible along the frontage of the affected property.

APPLICANT INFORMATION

OWNER (APPLICATIONS MUST BE FILED BY PROPERTY OWNER): JOHN SIMENIC	DATE OF APPLICATION: 4.7.22
JOB ADDRESS/ASSESSOR'S PARCEL NO. IF SITE IS VACANT 002-214-01 - "34" HILL AVE	PHONE NUMBER: 440.223.2620.
EMAIL ADDRESS: john.simenic@gmail.com	FAX NUMBER:
PROPERTY OWNER'S ADDRESS IF DIFFERENT FROM ABOVE 15 RAMONA WAY, SAN ANSELMO, CA 94960	ALTERNATE PHONE NUMBER: 415.766.4088

mail

TREE INFORMATION

SPECIES AND DESIGNATION OF HERITAGE/SPECIMEN/UNDESIRABLE TREE: 7 Trees - See "Inventory" pg. 2 Arborist Report	CIRCUMFERENCE BREAST HEIGHT:
	REASON FOR REMOVAL/ALTERATION
SPECIES AND DESIGNATION OF HERITAGE/SPECIMEN/UNDESIRABLE TREE:	CIRCUMFERENCE BREAST HEIGHT:
	REASON FOR REMOVAL/ALTERATION
SPECIES AND DESIGNATION OF HERITAGE/SPECIMEN/UNDESIRABLE TREE:	CIRCUMFERENCE BREAST HEIGHT:
	REASON FOR REMOVAL/ALTERATION
SPECIES AND DESIGNATION OF HERITAGE/SPECIMEN/UNDESIRABLE TREE:	CIRCUMFERENCE BREAST HEIGHT:
	REASON FOR REMOVAL/ALTERATION

SEE ATTACHED ARBORIST REPORT

Please attached a site plan to this application showing the location and species of all trees with a diameter of 4 inches (circumference of 12 inches or more), measured 4.5 feet above grade at tree base, property boundaries and easements, location of structures, foundation lines of neighboring structures and paved areas including driveways, .

AGENDA ITEM # **4**

Any tree company used for the removal or alteration must have a current and valid Fairfax Business license. Please include the name, address, and phone number of the person or company doing the above listed work:

NAME: VACCARO'S TREE SERVICE	PHONE NUMBER: 415.457.7134
ADDRESS: 57 MANOR ROAD, FAIRFAX, CA 94930	CONTRACTOR BUSINESS LICENSE NUMBER #787460

Please note the Tree Advisory Committee may require applicants to submit their application to a Qualified Arborist for a report or recommendation at the expense of the applicant. A Qualified Arborist is defined as a Certified Arborist, A Certified Urban Forester, a Registered Consulting Arborist, or a Registered Professional Forester.

OWNER'S STATEMENT

I understand that in order to properly process and evaluate this application, it may be necessary for Town personnel to inspect the property, which is the subject of the application. I also understand that due to time constraints it may not always be possible for Town personnel to provide advanced notice of such inspections. Therefore, this application will be deemed to constitute my authorization to enter upon the property for the purpose of inspecting the same, provided that Town personnel shall not enter any building on the property except in my presence or the presence of any other rightful occupant of such building. I understand that my refusal to permit reasonable inspection of any portion of the property by town personnel may result in a denial of this application due to the lack of adequate information regarding the property.

John Limeric

Signature of Property Owner

4.1.22

Date

[AREA BELOW FOR STAFF USE ONLY]

Permit Number: 22-T-27	
Date Received: 4-7-22	Received by: <i>S. Dater</i>
Conditions of Approval:	
Tree Committee Action:	Date:

Tree Committee Actions can be appealed to the Town Council within 10 days of the Tree Committee Action. Contact Town Hall for more information.

Client: John Simenic

Arborist: Zach Vought

Project Address: Hill Avenue, Fairfax

Inspection Date: January 11, 2022



URBAN FORESTRY ASSOCIATES, INC.

SUMMARY

Seven (7) protected-size trees are slated for removal. None of the subject trees are heritage or specimen trees and are all non-native and/or invasive species.

ASSIGNMENT/ BACKGROUND

John Simenic hired me to document trees slated for removal as a part of a planned construction project on his property in Fairfax. I conducted a site visit on January 11, 2022, to evaluate the trees and gather data. This report is meant to be submitted to the Town with a tree removal permit application.

OBSERVATIONS

The subject parcel is relatively flat and is sparsely vegetated. Trees 1-4 appear to have been planted as ornamental trees/shrubs in the past. Trees 5-7 are likely volunteers that germinated onsite. There is a tree not included in this report that is shown on the survey as a "4" tree". However, the trunk measured less than four inches and was thus not included in the report.

Please see Page 2 for the full inventory. Each tree was identified with a foil tag with a number corresponding to the inventory.

Tree locations are indicated in Figure 1, Page 3, which is a portion of the site plan sheet A1.

Photographs of each tree can be seen on Pages 4&5.

CONCLUSIONS

All of the subject trees are located in the development footprint and are consequently slated for removal. Given the location and species of the trees I see no reasonable way to change the design to accommodate any of the trees.

Zachary Vought, Urban Forester
Registered Consulting Arborist #691
ISA Board Certified Master Arborist WE-9995B
ISA Qualified Tree Risk Assessor

SCOPE OF WORK AND LIMITATIONS

Urban Forestry Associates has no personal or monetary interest in the outcome of this investigation. All observations regarding trees in this report were made by UFA, independently, based on our education and experience. All determinations of health condition, structural condition, or hazard potential of a tree or trees at issue are based on our best professional judgment. The health and hazard assessments in this report are limited by the visual nature of the assessment. Defects may be obscured by soil, brush, vines, aerial foliage, branches, multiple trunks or other trees. Even structurally sound, healthy trees are wind thrown during severe storms or other weather events. Consequently, a conclusion that a tree does not require corrective surgery or removal is not a guarantee of no risk, hazard, or sound health.

INVENTORY

Tree	Common name	Botanical Name	Trunk Circumference (inches)	Condition	Undesirable Tree
1	Italian cypress	<i>Cupressus sempervirens</i>	15.5	Good health and structure.	Yes (fire promoting)
2	Pittosporum	<i>Pittosporum tenuifolium</i>	19, 19	Poor structure. Established decay in lower trunk.	N/A
3	Japanese Euonymus	<i>Euonymus japonicus</i>	12.5	Good health and structure.	N/A
4	Pittosporum	<i>Pittosporum tenuifolium</i>	15.5, 9	Good health and structure.	N/A
5	Plum	<i>Prunus sp.</i>	34.5	Good health and structure.	N/A
6	Privet	<i>Ligustrum lucidum</i>	19, 12.5, 12.5	Good health and structure. Five stems total.	Yes (invasive)
7	Privet	<i>Ligustrum lucidum</i>	22, 19	Good health and structure.	Yes (invasive)

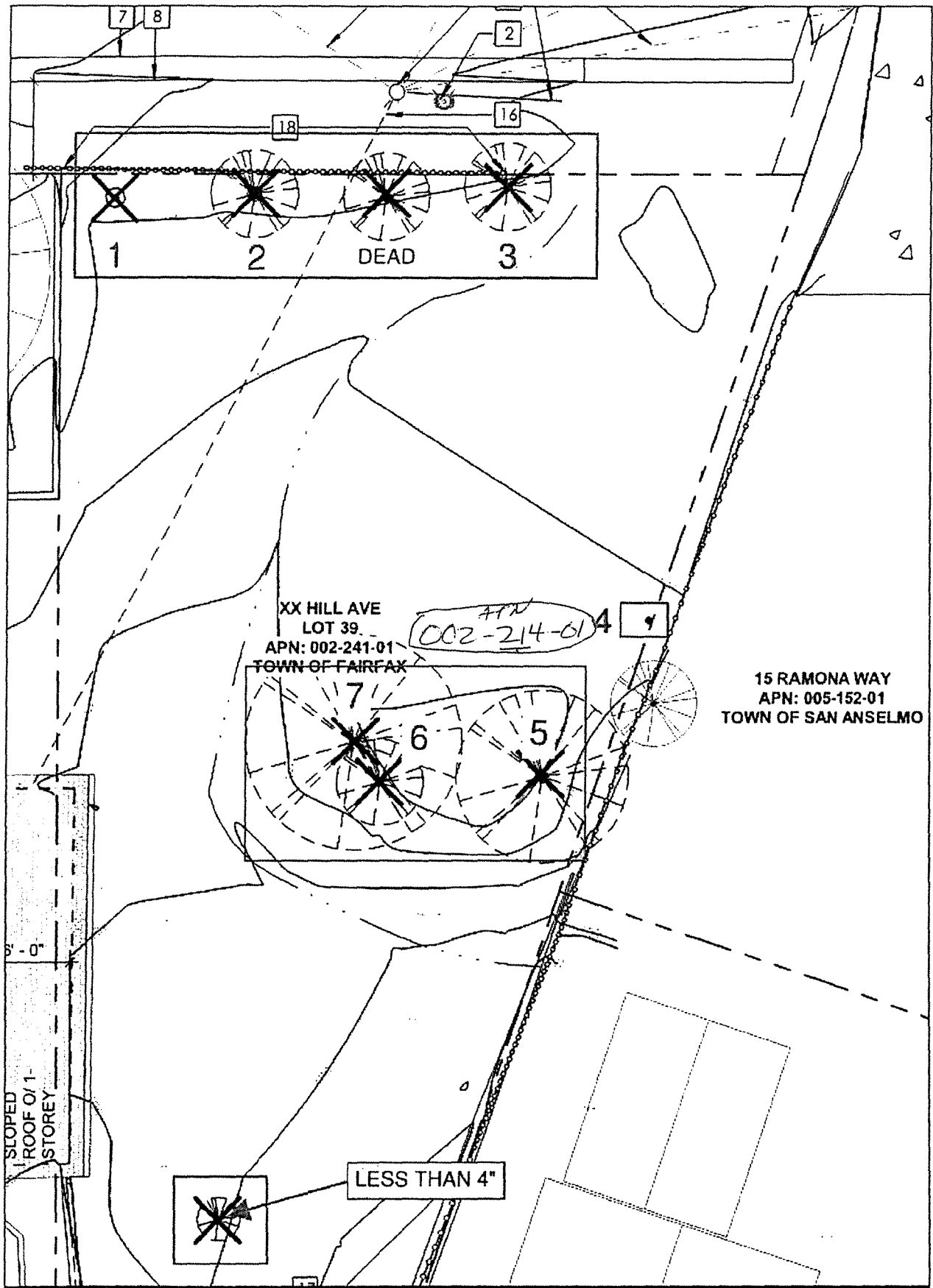
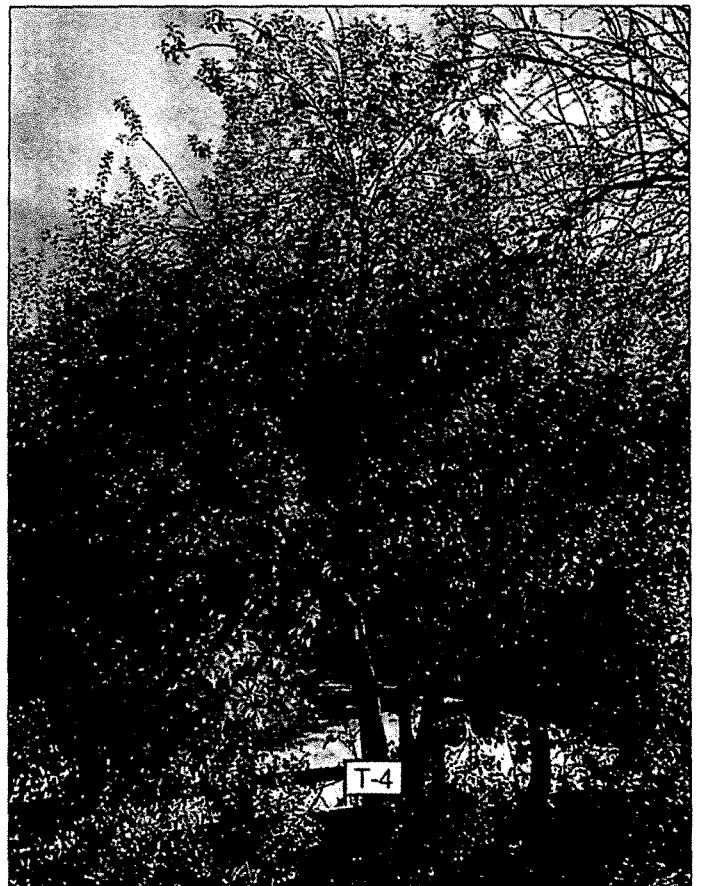
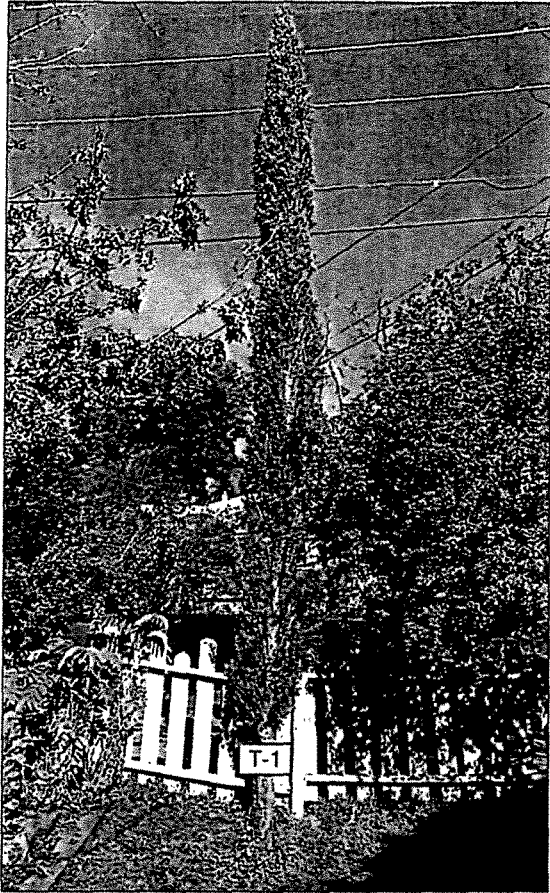
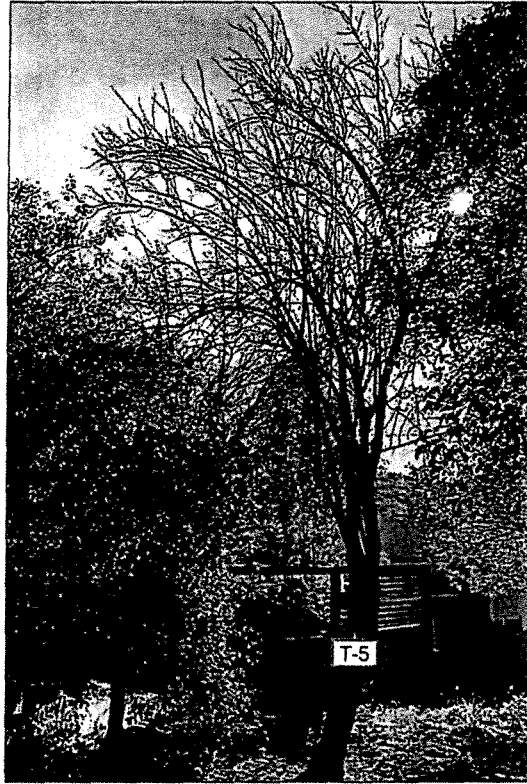


Figure 1. Tree location map

11 34" HILL AVE
VACANT PARCEL

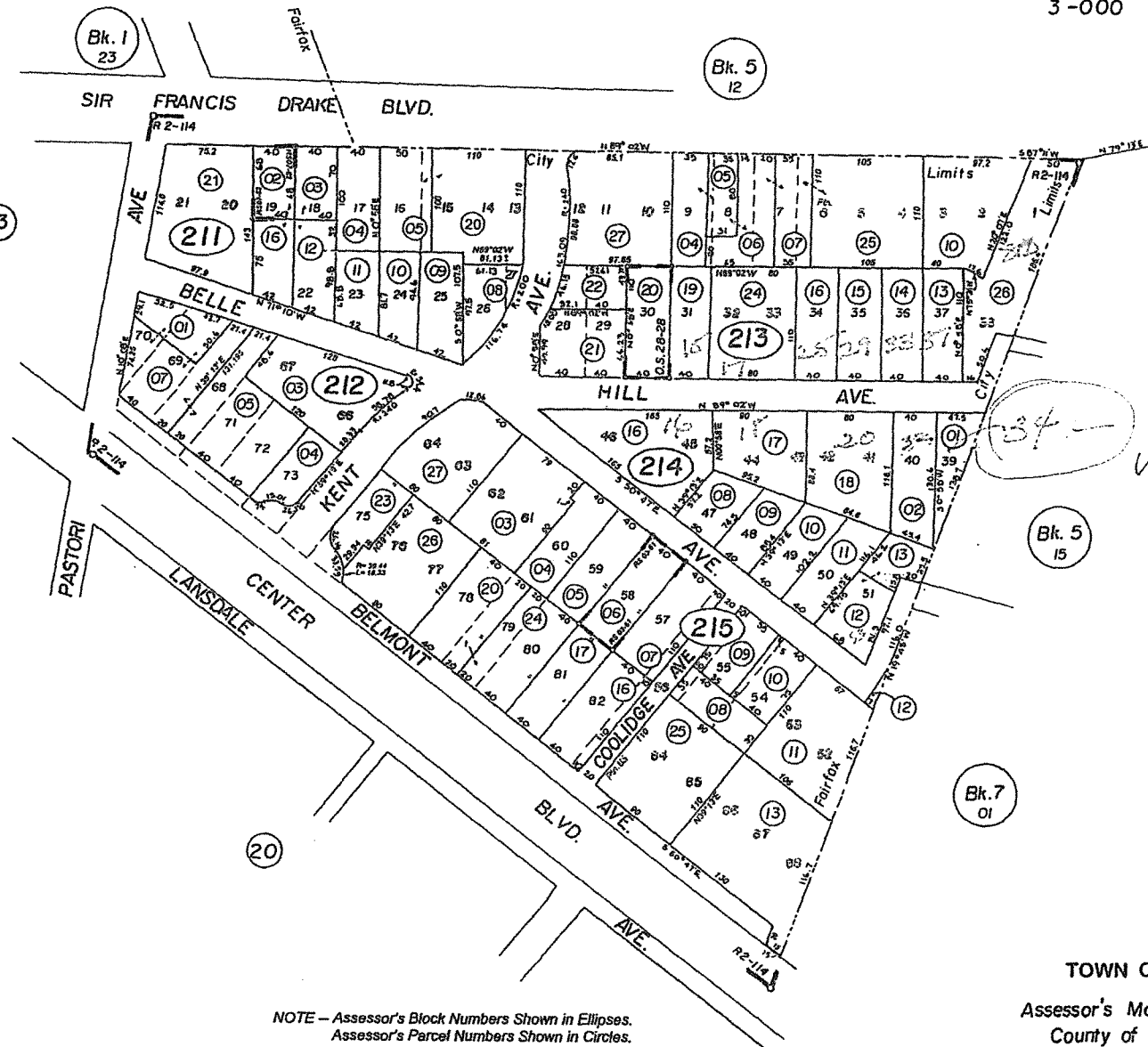




6/28/2012 LKD
CHANGES

BLK	PROR APN	NEW APN	YR	AUTH
210	SURVEYS		04	
211	002-211-10	NOTM	06	
211	02	Survey	07	
212	07		07	
			09	
211	06,07	20	11	120 NOTM
211	18,19	21	11	120 NOTM
213	08,09	23	11	120 NOTM
213	11,12	26	11	120 NOTM
213	002-213-24	NOTM	11	
214	03,04	18	11	120 NOTM
214	16	#NDY, NOTM	11	
214	17	NOTM	11	
215	21,22	28	11	120 NOTM
215	11	#NDY, NOTM	11	
			12	SBE TRA
			11-001	
215	002-215-03	NOTM	12	
213	03 & 23	002-213-27	12	240 NOTM
212	03	NOTM	13	
215	13	NOTM	13	
215	01,02	27	13	009 NOTM

MAP UPDATE

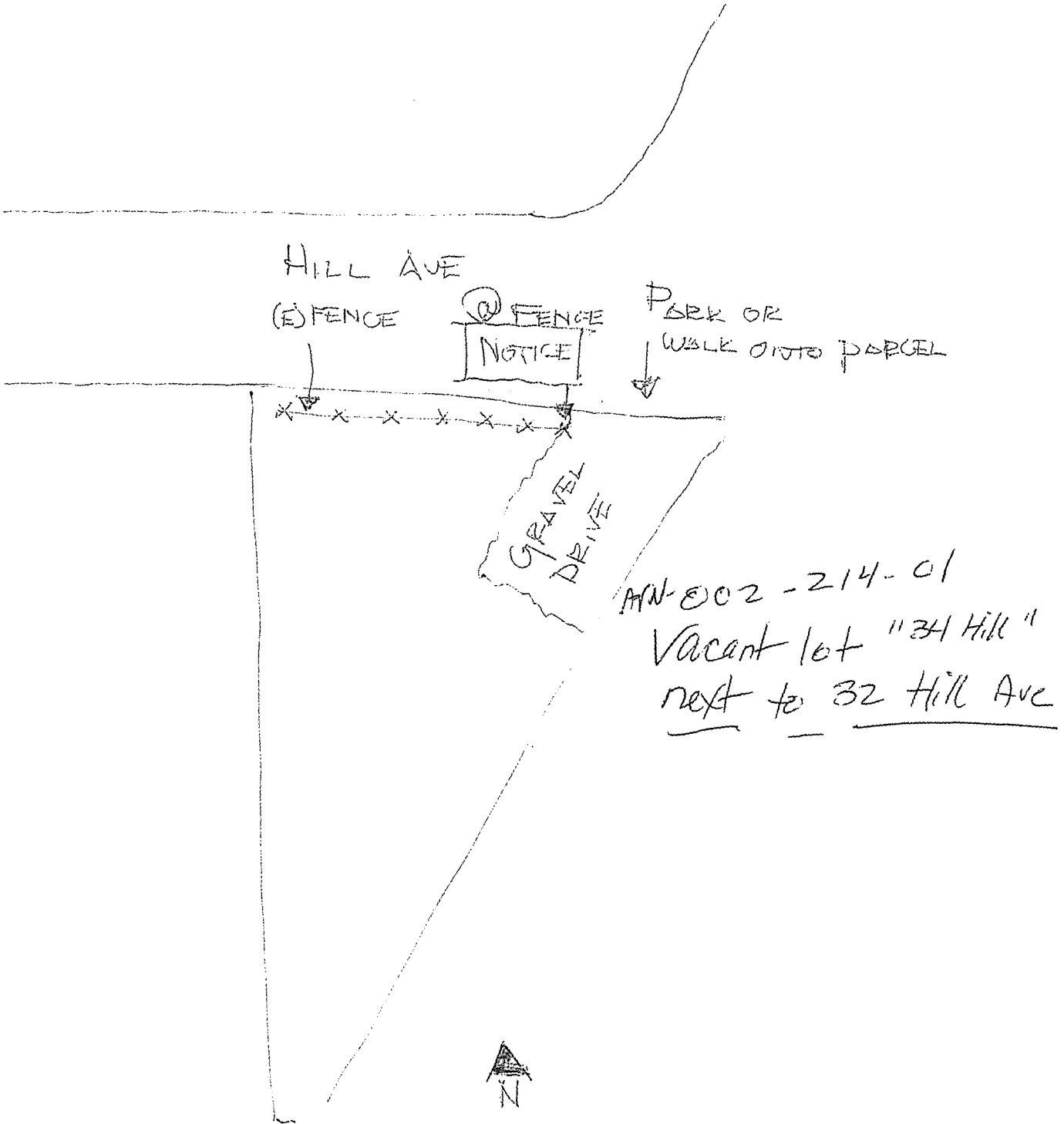


NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

TOWN OF FAIRFAX
Assessor's Map Bk. 2 - Pg. 21
County of Marin, Calif.

R.M. Bk. 2 - Pg. 114, Fairfax Tract

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSOR'S PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.



Linda Neal

From: Aaron OBrien <aaron@tamenv.com>
Sent: Friday, September 17, 2021 2:10 PM
To: Linda Neal
Cc: Sean Condry
Subject: Development of Lot at End of Hill Ave.
Attachments: LetterToFairfaxSep2021.pdf

Hi Linda,

We last spoke a year or so ago about a small lot for sale at the end of our street in Fairfax that was adjacent to a house in San Anselmo and owned by the same person. The lot and house sold to a new owner and they have begun conducting surveys and soil borings on the vacant lot to prepare for development. We've prepared and attached a letter outlining our concerns and wanted to document them with the Town of Fairfax before the planning process got further underway. I'm not sure of the timing of any potential submittals to the town, so I'm hoping that you'll just confirm receipt of our letter for now and review things in more detail as you evaluate any future proposals.

I've also cc'd Sean Condry with the Town of San Anselmo after we had a conversation about stormwater management in our area and he looked at some of our local challenges along the Fairfax/San Anselmo boundary in our neighborhood.

Let me know if you have any questions or need more information. We appreciate your time and willingness to review the details when concerns like this come up.

Thanks,

Aaron

September 17, 2021

Linda Neal
Town of Fairfax Planning Department
142 Bolinas Rd.
Fairfax, CA 94930

Regarding: Potential Development of Lot at end of Hill Ave. (APN # 002-214-01)

Dear Ms. Neal:

We have owned the house at 32 Hill Ave. in Fairfax since 1998 and wanted to share our concerns related to the potential development of the adjacent vacant lot at the end of the street. The lot is located on the south side of Hill Ave. at the very end of the street (APN # 002-214-01) and is adjacent to the Town of San Anselmo. This lot was purchased from the county in a tax sale in the 1970s by the neighbor in San Anselmo that lived at 15 Ramona Ave. following a tax payment error by the previous owner at 32 Hill Ave.

Both the 15 Ramona Way property in San Anselmo and the vacant lot on Hill Ave. in Fairfax were sold together in 2020 following the deaths of the previous owners. The new owner is conducting surveys and soil borings in order to develop the property and we wanted to make sure the Town of Fairfax was aware of the significant flooding and drainage issues that occur on the lot and our street and other concerns that we have about the potential development. These problems would be significantly exacerbated by any development on this property. The new owners were provided a summary of our concerns prior to purchasing the property as shown in the attached letter to the previous owner, which was disclosed prior to the sale. This information seemed to be reflected in the purchase price of the lot for \$5,000 in 2020.

There is no catch basin or drainage pathway for stormwater at the end of Hill Ave. to flow anywhere but onto the vacant lot. All stormwater from the end of Hill Ave., the paved connection between Hill Ave. and Ramona Way, and all or part of the drainage from the easternmost 7 parcels of land on Hill Ave. drain stormwater through this vacant lot. We had worked with the previous owners for years to maximize the infiltration of surface water onto the lot to minimize the flooding potential for our property as well as our neighbors at 16 Pastori Ave. in San Anselmo and 59 Belle Ave. in Fairfax. This has involved trenching, grading, and berming to direct the water flow to spread out and be absorbed by the vacant parcel in several areas to avoid inundating any of the connected properties. Any development of the vacant parcel could dramatically increase the stormwater flow onto our property and the other downhill lots in Fairfax and San Anselmo.

There are no good alternatives to divert the stormwater away from the vacant lot. Even if the Town of Fairfax were willing to upgrade storm drains in this area and provide a catch basin at the end of the street, the only possible connection further down on Hill Ave. is already overwhelmed and flooded during big rain events. We discussed this with the Town of San Anselmo Public Works director, who concurred that the upstream drainage into this area has led to significant flooding on Sir Francis Drake Blvd. and on the lower portion of Hill Ave. and

addressing the problem would need to be a large-scale infrastructure project involving both towns.

It is also important to note that the development of this parcel goes against the strategy that has been developed for the Ross Valley to maximize surface water infiltration to decrease the flooding potential not just on the properties in our neighborhood, but throughout the community as more water would be directed towards the local creek and into downtown San Anselmo.

We are also concerned about the property boundary. We have not surveyed our property, but we understand that the new owners have conducted a survey and soil borings in order to prepare a plan for development. One neighbor has indicated that there is a significant discrepancy between the survey benchmarks in Fairfax and San Anselmo. During the most recent survey, the surveyor verbally indicated to us that they were not using benchmarks, but just surrounding property lines. They also indicated that a corner of our house may be on the vacant lot. We haven't been provided a copy of the report to verify the type of survey conducted or property line locations compared to our house. We request that the Town of Fairfax require an evaluation using both Fairfax and San Anselmo benchmarks prior to allowing any development to ensure that the property lines are known accurately.

In addition to the increased potential for flooding on our property, there are several additional concerns that we have about the development of the property. These include access to our basement area that opens up directly onto the vacant lot and overhead and underground utilities that are located on the lot that serve our property. We've hired an attorney to review our options for various easement rights that would be appropriate to ascertain prior to any development. These utilities, basement access, and drainage were constructed when both lots were owned by the same person.

Hill Ave. is very narrow and only allows for parking on one side of the road in order to maintain emergency vehicle access. Residents and visitors usually occupy all of the available street parking on a daily basis. Because of the proximity to local businesses, we also get overflow parking from those customers on Hill Ave. In addition, the street is a dead-end that requires vehicles to make a difficult 3-point turn at the end of the road. Mail trucks, delivery trucks, as well as wayward motorists, and neighborhood visitors regularly back into the end of the vacant lot in order to turn around. Development of the parcel could add to the difficulty of turning around as well as exacerbate parking challenges.

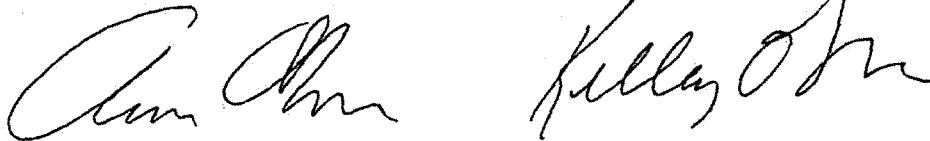
We understand that there is a lot of pressure to build more housing in Fairfax and the Ross Valley, but the development of this undersized lot of about 3,000 square feet will also significantly affect parking and the overall density of our neighborhood, which is tight. The triangular lot is shaped like a slice of pie and the parcel comes to a sharp point at the southeast corner. We have attached a copy of the assessor's parcel map with the vacant lot highlighted for reference.

In the event that the Town of Fairfax agrees to any potential development, we request that they require a full drainage plan that ensures neighboring properties not be adversely impacted by development. Clearly, the existing stormwater management for Hill Ave. already does not meet

minimum standards even without development. The owners and the Town of Fairfax need to avoid predictable and preventable damage caused by increased flooding to our properties.

We would be happy to meet with the Town of Fairfax to share our concerns at any point in the planning process. For now, we request that you confirm that you've received this letter and are aware of our concerns. We can be reached by phone at 415-302-4459 or by email at aaron@tamenv.com.

Sincerely,

Handwritten signatures of Aaron O'Brien and Kelley O'Brien. The signature on the left is 'Aaron O'Brien' and the signature on the right is 'Kelley O'Brien'.

Aaron O'Brien & Kelley O'Brien

Attachment 1: Letter to Patty Stragnola, prior to 2020 sale of properties

Attachment 2: Copy of Assessor's Parcel Map for Hill Ave.

cc: Sean Condry, Town of San Anselmo Public Works Director
Barbara Shindelus, owner of 16 Pastori Ave., San Anselmo
Patricia Silva, owner of 59 Belle Ave., Fairfax
John Simenic, owner of 15 Ramona Way in San Anselmo and vacant lot in Fairfax

August 4, 2020

Patty Stragnola
15 Ramona Way
San Anselmo, CA 94960

Dear Patty,

Kelley and I were sorry to hear about the passing of Lee and Adele as we had gotten to know them well since buying our house at 32 Hill Ave. in 1998. We have enjoyed maintaining the separate triangular parcel in Fairfax owned by Lee and Adele (parcel #002-214-01) that is adjacent to our house for several years. In addition to providing a great buffer between our houses, this parcel provides critical stormwater drainage for the area and access to our basement.

Stormwater on Hill Ave. is problematic. There is no catch basin at the end of Hill Ave. and all of the stormwater from the end of Hill Ave. and the neighboring properties (29 Hill Ave., 32 Hill Ave., 33 Hill Ave., and the lot between our houses) flows through this parcel. This area totals over half an acre and can generate very significant water flows during heavy rain. Rainfall of about $\frac{1}{2}$ " can generate a volume of water over 7,500 gallons over this area, which can all be directed toward your property like a river flowing at over 100 gallons per minute when the ground is saturated. Here are a couple of pictures:



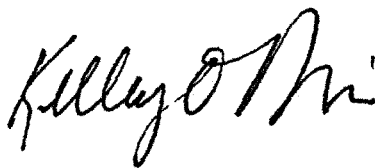
Over the years, we have worked with Lee and Adele to minimize the potential flooding for both of our properties by directing the flow away from the houses and towards multiple areas of the lot to maximize how much stormwater can be absorbed into the ground. Any modifications could significantly affect the potential for flooding in our basement and also worsen the flooding for the neighbors below us. The drainage from the street into the Fairfax lot also needs to be maintained to minimize the flooding potential into your basement at 15 Ramona Way in San Anselmo.

Due to the historic context of the Fairfax parcel having been previously combined with our parcel at 32 Hill Ave. in Fairfax prior to its' purchase in the tax sale in the 1970's, our house is near the property boundary and we have a basement door that opens onto your property. We would like to ensure that we can maintain access to our basement in perpetuity and maintain the property to minimize the potential for flooding.

We understand that you might want to move forward quickly with a sale of the properties to take advantage of the current real estate market. We would like to discuss any type of sale, partial sale, or easement for the lot between our homes. At a minimum, we would like to ensure that any buyers of the lot next to our house are aware of our concerns.

Please let us know if you would be willing to discuss any type of agreement that would be most suitable to you. We can be reached by phone at 415-302-4459 or by email at aaron@tamenv.com.

Sincerely,



Aaron O'Brien & Kelley O'Brien

THIS MAP WAS PREPARED FOR ASSESSMENT PURPOSES ONLY. NO LIABILITY IS ASSUMED FOR THE ACCURACY OF THE DATA SHOWN. ASSESSORS PARCELS MAY NOT COMPLY WITH LOCAL SUBDIVISION OR BUILDING ORDINANCES.

POR. RANCHO CAÑADA DE HERRERA

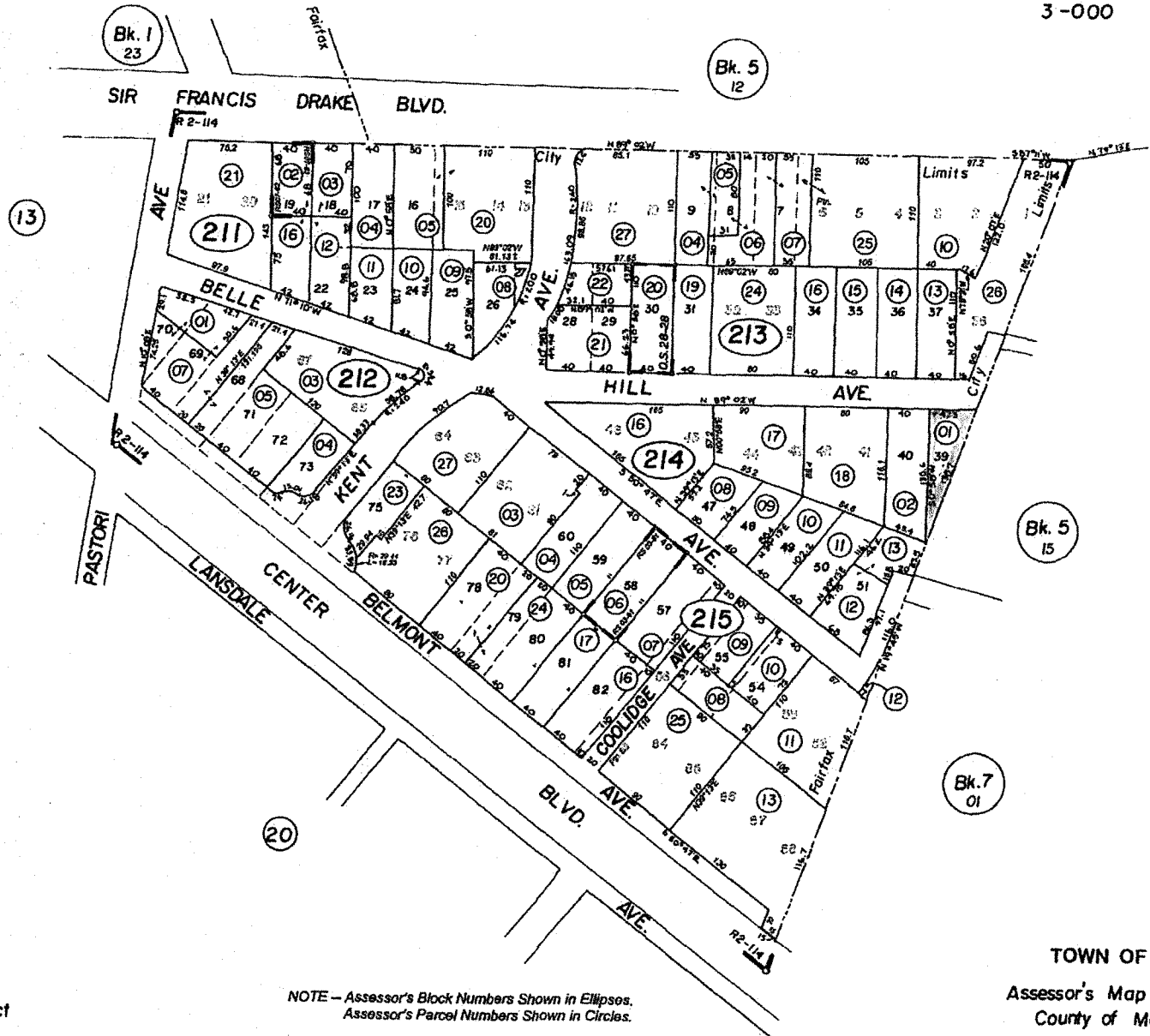
Tax Rate Area
3-000

2-21

02/28/2012 LXD

BLK	PROR APN	NEW APN	TR	AUTH
218	SURVEYS		04	
211	002-211-18	NOTM	08	
211	02	Survey	07	
212	07		07	
			09	
211	04.07	20	11	128 NOTM
211	14.18	21	11	128 NOTM
213	04.09	25	11	128 NOTM
213	14.12	25	11	128 NOTM
213	002-213-24	NOTM	11	
214	03.04	18	11	128 NOTM
214	16	INDY. NOTM	11	
214	17	NOTM	11	
215	21.22	29	11	128 NOTM
215	11	INDY. NOTM	11	
			12	ARE 11-001 TRA
215	002-215-03	NOTM	12	
213	03 & 23	002-213-27	12	240 NOTM
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215	01.02	27	13	009 NOTM

MAP UPDATE

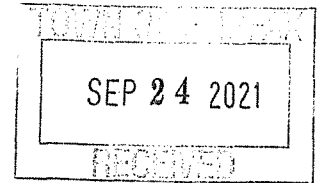


R.M. Bk.2 - Pg.114, Fairfax Tract

NOTE - Assessor's Block Numbers Shown in Ellipses.
Assessor's Parcel Numbers Shown in Circles.

TOWN OF FAIRFAX
Assessor's Map Bk. 2 - Pg.21
County of Marin, Calif.

September 16, 2021



Town of Fairfax Building, Public Works, and Planning Departments
142 Bolinas Rd.
Fairfax, Ca. 94930

Regarding: Potential development of Parcel at end of Hill Ave. (APN # 002-214-01)

To Linda Neal,

My now deceased husband and I purchased the house at 16 Pastori Ave. in San Anselmo the summer of 1976, It had been a rental for years so had no landscaping. We planted fruit trees and were so surprised when they all drowned in the first couple of wet winters. Our lot is a keyhole lot with seven properties surrounding us; some of which drain into us. One of our neighbors told us they used to boat on our property in the winter.

After a few wet years we decided to do a major improvement to the landscaping and put in a large berm with drainage through both sides of the property terminating in two 55 gallon tanks and pumps near the frontage street, Pastori. Unfortunately Pastori Ave. is also higher than our property, so even with both pumps as well as a sump pump under the house all working, the yard stays under water in a storm. In the process of this large landscaping job our contractor came across seven springs under the property. Much of the rain water and mud draining through our property comes from Hill Ave., the little dead end street behind us.

It has come to my attention that our new neighbors at 15 Ramona Way in San Anselmo who bought the small vacant lot adjacent to my property when they bought their home behind me plan to build on it. I'm very worried that any building on that piece of land will exacerbate my flooding problems. That pie-shaped vacant lot between 32 Hill Ave. and 15 Ramona Way has helped absorb some of the drainage from Hill Ave. in the past. We've had several dry winters so I'm hoping the town will wait until we've had a couple of typical wet winters before approving building plans to be sure downstream neighbors won't be adversely affected.

I can be reached by phone at 415-457-3863 or by email at tshindelus@comcast.net.

Sincerely,

Barbara Shindelus

Cc: Sean Condry, Town of San Anselmo Public Works Director

Aaron and Kelly O'Brien, owners of 32 Hill Ave. Fairfax

John Simenic, owner of 15 Ramona Way San Anselmo and vacant lot in Fairfax



June 2, 2022
File: 201.210cltr.doc

Town of Fairfax
Planning and Building Services Department
142 Bolinas Avenue
Fairfax, California 94930

Attn: Ms. Linda Neal, Principal Planner

Re: Third Geologic, Geotechnical, and Civil Engineering Review
New Single-Family Residence
34 Hill Avenue (APN 002-214-01)
Fairfax, California

Introduction

In response to your request and in accordance with our agreement dated March 20, 2018, we have reviewed the most recent plan submittal for the proposed new single-family residence at 34 Hill Avenue (APN 002-214-01) in Fairfax, California. The purpose of our services is to review the submitted documents, comment on the completeness and adequacy of the submittal in consideration of Town requirements, and to provide a recommendation to Town Planning and Building staff regarding project approval.

The scope of our services includes:

- A site reconnaissance to observe existing conditions and review proposed development features;
- Review of provided project documents; and
- Development of recommendations to Town staff as to whether the project may be safely constructed in consideration of any geologic, hydrologic, or geotechnical hazards.

It is understood that, by virtue of the site location, the Town's Hillside Residential Development ordinance does not apply. However, it is understood that the currently-vacant site has historically received drainage runoff from the roadway and adjoining parcels, and that our review is desired for the purpose of determining whether the site development may adversely impact neighboring parcels or Town facilities.

It should be noted that the scope of our review is limited solely to geologic, geotechnical, and civil portions of the project, and does not include review of structural, architectural, mechanical, or other items beyond the scope of our qualifications. We recommend that non-geotechnical aspects of the plans be reviewed by suitably qualified professionals.

Project Description

The project generally consists of constructing a new 1,318 square-foot, two-story single-family residence with attached 1-car garage on an approximately 3,300 square-foot, triangular parcel. Significant excavation is proposed to accommodate an unfinished crawl space beneath the two main living floors. Ancillary improvements will include new underground utilities, exterior flatwork and landscaping, new site drainage and stormwater infiltration systems, and other "typical" residential items.

Project Review

We performed a brief site reconnaissance on April 15, 2022 to observe existing conditions at the site. Additionally, we reviewed the following documents provided by the Town as part of our First Review, as documented in our letter dated April 27, 2022:

- DVC Group (2022), "Drainage Report for Hill Avenue, Fairfax, California", dated March 11, 2022.
- DVC Group (2022), "Hill Avenue, Fairfax, California" (Preliminary Civil Plans), Sheets C1 through C4, Job No. 121-21, dated April 1, 2022.
- John Simenic, Architect (2022), "XX Hill Ave, Fairfax, California 94930", Sheets A000 through A300", Design Review set dated April 1, 2022.
- Murray Engineers (2021), "Geotechnical Investigation, Simenic New Residence, APN 002214-01, Fairfax, California", Project No. 3439-1R1, dated November 8, 2021.
- Oberkamper and Associates (2021), "Topographic Survey, Lot 39 Fairfax Tract, Fairfax, Marin County, California", dated June 3, 2021.
- Oberkamper and Associates (2021), "Record of Survey, Lot 39 Fairfax Tract, Fairfax, Marin County, California", Job No. 20-131, Document Number 2021-0065804, recorded October 20, 2021.
- Urban Forestry Associates, Inc. (2022), "Hill Avenue Tree Removal Report, Hill Avenue, Fairfax", dated January 20, 2022.

More recently, we reviewed the following materials submitted in response to our First Review comments:

- DVC Group (2022), "Drainage Report for Hill Avenue, Fairfax, California", dated May 18, 2022.

- DVC Group (2022), "Hill Avenue, Fairfax, California" (Preliminary Civil Plans), Sheets C1 through C4, Job No. 121-21, dated May 18, 2022.

Town of Fairfax
Page 3

June 2, 2022

Following additional plan revisions in response to Plan Check comments from the neighboring City of San Anselmo, we reviewed the latest iteration of the following:

- DVC Group (2022), "Drainage Report for Hill Avenue, Fairfax, California", dated May 31, 2022.
- DVC Group (2022), "Hill Avenue, Fairfax, California" (Preliminary Civil Plans), Sheets C1 through C4, Job No. 121-21, dated May 31, 2022.

Conclusions

We note that, in addition to a larger infiltration trench and dry well/overflow shown in the previous submittal, the current plans further expand the infiltration capacity along the east side of the site. Calculations submitted with the updated drainage plan indicate that peak offsite flow rates will remain at or below current, pre-construction conditions, which we judge meets the intent of our comments.

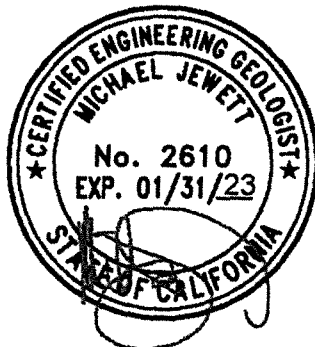
As noted in his report, the Geotechnical Engineer should review the final project civil and structural plans and provide a letter indicating they conform to the intent of his recommendations.

Recommendations

We recommend that project processing be continued at this time and judge that review of the Geotechnical Engineer's approval letter may be handled at the Building stage with minimal anticipated impact.

We trust that this letter contains the information you require at this time. If you have any questions, please call. We will directly discuss our comments with the applicant's consultants if they wish to do so.

Yours very truly,
MILLER PACIFIC ENGINEERING GROUP



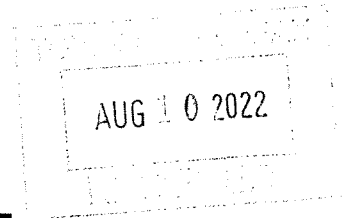
Mike Jewett



Scott Stephens



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 Civil Engineering
 Project Management
 Construction Management
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 Entitlements
 Concept Design
 Feasibility Studies



DRAINAGE REPORT

for

HILL AVENUE
FAIRFAX, CA
APN 002-214-01



DANIEL JOHN HUGHES
 RCE 60225 Exp. 6/30/22

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 www.dvcgroup.net

Prepared for:
 JOHN SIMENIC
 15 RAMONA WAY
 SAN ANSELMO, CA 94930

Prepared under the supervision of:
 Dan Hughes
 RCE #60225
 License Expires 6/30/24

Report Date: May 31, 2022

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ATTACHMENT F



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Entitlements
Concept Design
Feasibility Studies

Table of Contents:

1. Project Narrative
2. Design Parameters
 - a. Hydrology
 - b. Pre- vs. Post- Construction Analysis
 - c. Hydraulics
3. Conclusion

Exhibits:

- i. Stormwater Control Plan
- ii. Runoff Coefficient Calculations
- iii. Time of Concentration Calculations
- iv. 100-year Runoff Calculations
- v. Volume Retention Calculations
- vi. Capacity Calculations
- vii. Marin County Hydrology Manual Charts

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Project Narrative:

This drainage report details the methodology and calculations for the drainage improvements proposed for the single-family residence at Hill Avenue in Fairfax. This project includes construction of a new residence, deck, landscaping and associated necessary grading and drainage improvements. The 0.076-acre sub-tributary area has an average slope across the site of approximately 7%.

Existing site drainage consists of stormwater runoff flowing downhill toward the eastern property line or percolating down into the existing vegetated surfaces. The tributary proposed improvements will route the storm water from hardscape areas, and inlets through pipes to infiltration trenches and ultimately outfall at a dry well for volume capture. Excess runoff will overflow along the eastern property line, matching existing drainage patterns. The Town of Fairfax typically requires volume storage areas to be sized to detain the increase in runoff from the 100-year storm that would result from the new development. Storm drain pipe capacity was checked, refer to calculations for more details. As demonstrated in the volume retention calculations, the increase for this project will require 11.2 cf of storage. A total of 123.2 cf of storage will be provided via infiltration trenches and a dry well, which will be more than sufficient to offset the increased runoff resulting from proposed development during the 100-year design storm event.

Design Parameters

Hydrology

This drainage study was developed using the Drainage Design Criteria from the County of Marin Department of Public Works Hydrology Manual, "Revision 8/2/00". All flow calculations were performed using the Rational Method (Q=CIA). Detailed calculations are presented in the exhibits.

Review of the Hydrology Manual provides the following mathematical models and constant values used in the hydraulic analysis:

- Initial Time of Concentration $t_c = \frac{1.8(1.1-C)\sqrt{L}}{\sqrt[3]{S(100)}} + 5 \text{ min}$
- Zone from Map V Zone C2, 0.70/0.67
- I60 from Map I 1.4"/hr
- Runoff Coefficient C = 0.7 for vegetated areas
C = 0.9 for hardscape areas



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The initial time of concentration was calculated following county standards with a minimum of 5 minutes. A C(p) value of 0.9 was used for impervious (hardscape) area and a C(v) value of 0.7 was used for pervious (vegetated) area, to calculate the weighted runoff coefficients. The rainfall intensities are calculated based on Chart K, Zone C (sub-zone 2) of the Caltrans District 4 Hydrology Procedures included in the County of Marin Drainage Criteria Standards.

The project site falls within the region of 1.4-inches for the P(10) Isoleths according to the Design Rainfall Intensities – Map “I” included in the exhibits. The site falls into area “C2” (0.70/0.67) for the design rain fall variations – Map “V” included in the exhibits.

Refer to the following pages for 10- and 100-year hydrology calculations.

Pre- vs. Post-Construction Analysis:

Retention of post-construction runoff that exceeds pre-construction values is required as part of the project conditions of approval. Runoff retention is necessary to offset a calculated increase in flows between pre- and post-construction scenarios.

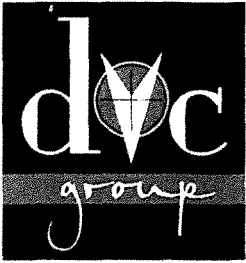
Pre-Construction Runoff: 100-Year = 0.170 cfs
Post-Construction Runoff: 100-Year = 0.186 cfs
Difference in Pre- and Post-: 100-Year = 0.016 cfs

Because post-construction runoff exceeds pre-construction runoff, runoff volume retention is required. Per the attached calculations, the proposed retention provided by the proposed infiltration trenches and dry well will be more than sufficient.

Hydraulics

Hydraulic analysis was used to determine the 100-year depth of flow for the worst-case scenario of the proposed system. The worst-case storm drain is pipe with the largest contributing flow relative to other collection pipes, and the shallowest slope. In this case, this is a 6” storm drain pipe at the flattest proposed pipe slope (1.5% assumed minimum).

Hydraflow Express Extension within AutoCAD Civil 3D was used to perform capacity calculations for the worst-case storm drain using the channel calculator. Refer to the attached capacity analyses for input and output of these calculations. The calculations show that the proposed worst-case storm drain have sufficient capacity for even 100-year flows. Because all other drainage features convey less flow and/or at a steeper slope, it follows



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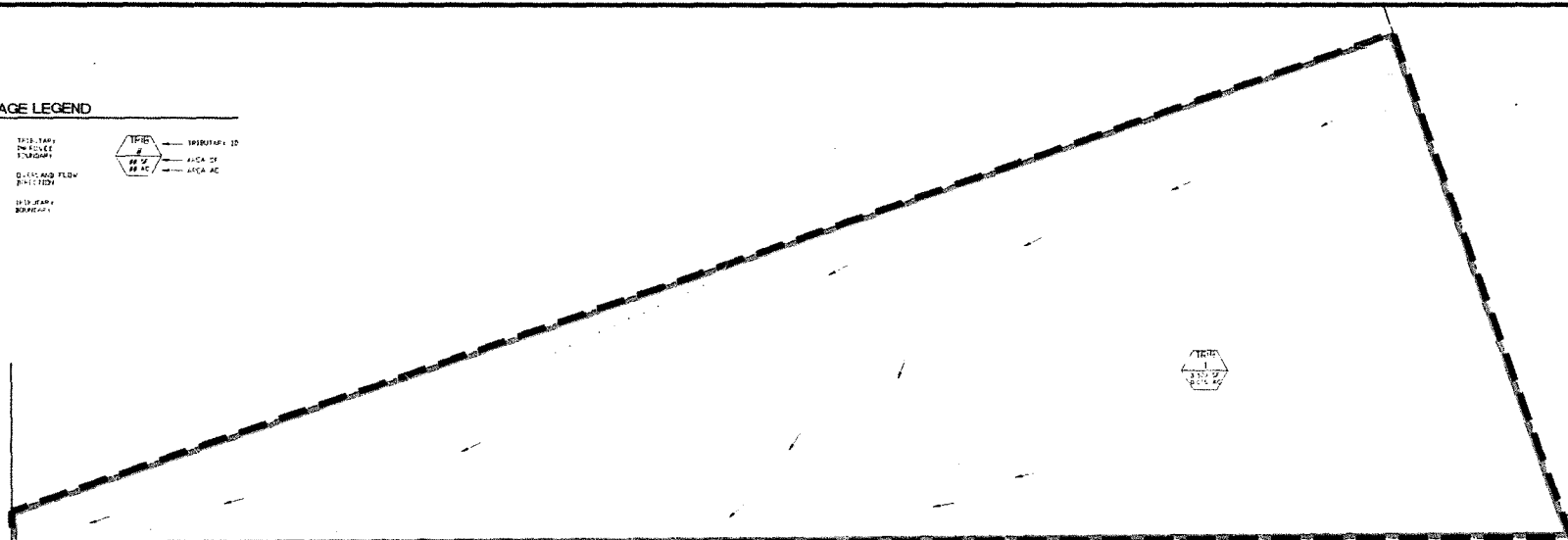
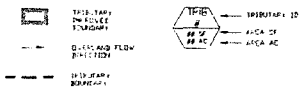
that the entire proposed drainage system is adequately sized for the 100-year design storm event.

Conclusion:

In conclusion, the proposed project will:

- Provide adequate flow capacity for all proposed on-site drainage conveyances for the 100-year design storm event
- Provide sufficient volume capture to offset any increase in post-project runoff resulting from construction for the 100-year design storm event
- Not significantly alter the site hydrology, because no additional runoff will cross property lines, and runoff leaving the site will continue to outlet along the eastern property line

DRAINAGE LEGEND



PERMEABILITY CALCULATIONS

PRE- AND POST-CONSTRUCTION PERVIOUS/IMPERVIOUS AREAS (WITHIN LOT LIMITS)			
DATE	TOTAL PARCEL AREA - EXISTING (SQ FT)	PERVIOUS AREA (SQ FT)	IMPERVIOUS AREA (SQ FT)
PRE-CONSTRUCTION	10,000	2,500	7,500
POST-CONSTRUCTION	10,000	2,250	7,750
NET CONSTRUCTION OF PERVIOUS AREA		-250	

PROJECT BASMAA

TOTAL NEW AND REPLACED IMPERVIOUS AREA (SQ FT)	7,750
--	-------

STORM WATER TREATMENT (BASMAA) NOTES:

- FOR COUNTY OF MARIETTA REQUIREMENTS, THE PROJECT IS REQUIRED TO COMPLETE WITH THE BASMAA POST-CONSTRUCTION MAINTENANCE. THE MAINTENANCE DOES NOT SECURE ANY SPECIAL MEASURES FOR THE INSTALLATION OF ANY STORM WATER TREATMENT FACILITIES EXCEPT AS REQUIRED BY THE COUNTY. TOTAL PERVIOUS/IMPERVIOUS AREAS IS UNDER THE MINIMUM THREE (3) TIMES (3X) OF 2,500 SQ FT.
- ALTHOUGH NOT SPECIFICALLY REQUIRED BY BASMAA, THE PROJECT DESIGN DOES PROVIDE THE FOLLOWING BASMAA MEASURES:
 - MINIMIZE IMPERVIOUS SURFACES (PERVIOUS LIME-STATE MATERIALS INSTEAD OF IMPERVIOUS HARD SURFACES)
 - REDUCE IMPACT (DRY WELLS)
 - CONTINUE NATURAL AREAS ON THE SITE (PRESERVE EXISTING TREES)
 - PROTECT SLOPES AGAINST EROSION (EROSION CONTROL AND DRY WELLS)

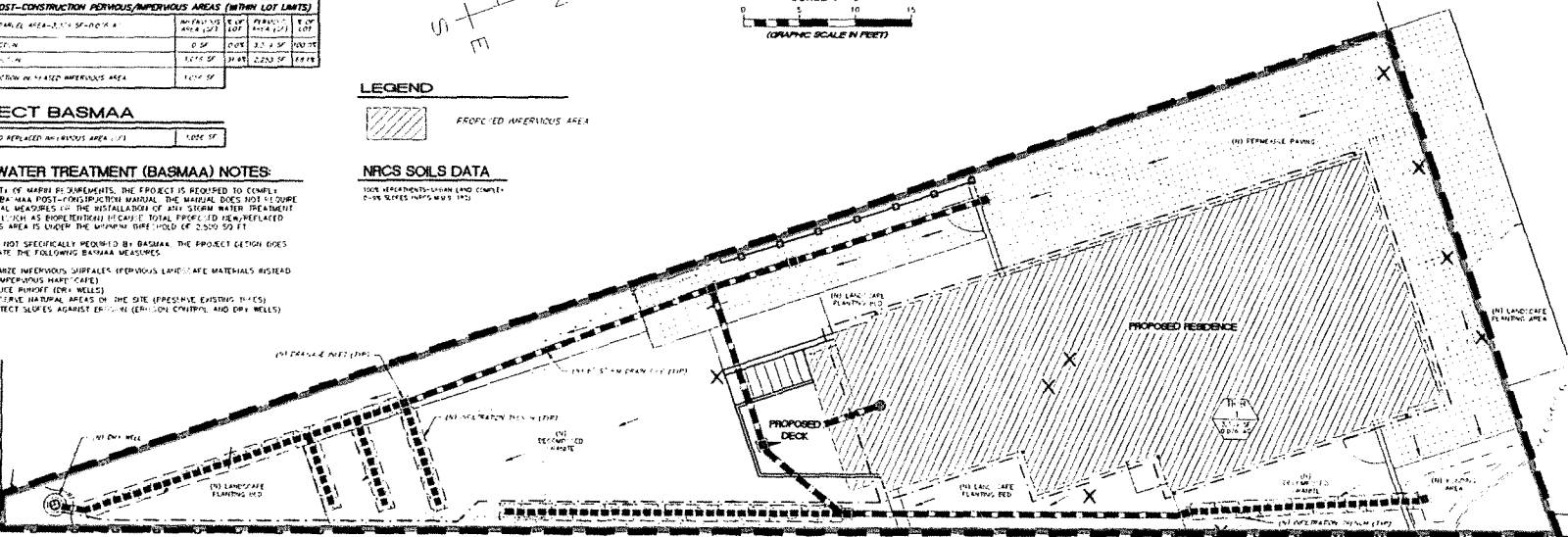
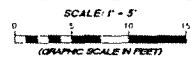
LEGEND



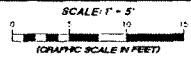
NRCS SOILS DATA

100% PERVIOUS/IMPERVIOUS LAND COVER
 0-1% SLOPES (NRCS 2003 102)

PRE-CONSTRUCTION HYDROLOGY MAP



POST-CONSTRUCTION HYDROLOGY MAP



REVISED	DESCRIPTION	BY	DATE

DVC GROUP INC.
 PLANNING & ENGINEERING - C.M.
 910 CENTER STREET
 HILL AVENUE
 FARMERSVILLE, CA 95448
 (707) 382-0908

dvc
 DESIGNATED PROFESSIONAL ENGINEER
 STATE OF CALIFORNIA
 LICENSE NO. 49152

DATE: 05/21/2020
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO: 2019-0008

HILL AVENUE
 PRE- AND POST CONSTRUCTION HYDROLOGY MAP

JOB NO: 2019-0008
 SHEET NO: 1
 OF 1 SHEETS

Runoff Coefficient Calculations

Hill Avenue

Fairfax, CA

5/31/2022

PRE-CONSTRUCTION						
Tributary	Area (sf)	Pervious Area (sf)	Pervious C	Impervious Area (sf)	Impervious C	Composite C
1	3309	3309	0.7	0	0.9	0.70
TOTAL	3309	3309	0.7	0	0.9	0.70

POST-CONSTRUCTION						
Tributary	Area (sf)	Pervious Area (sf)	Pervious C	Impervious Area (sf)	Impervious C	Composite C
1	3309	2253	0.7	1056	0.9	0.76
TOTAL	3309	2253	0.7	1056	0.9	0.76

Composite Runoff Coefficient Equation:

$$C_T = C_V \frac{A_V}{A_T} + C_P \frac{A_P}{A_T}$$

Time of Concentration Calculations

Hill Avenue

Fairfax, CA

5/31/2022

PRE-CONSTRUCTION - LONGEST PATH					
Tributary	Inlet/DS	Length (ft)	Slope (ft/ft)	C	Tc (min)
1	None	131	0.07	0.70	9.31

POST-CONSTRUCTION - LONGEST PATH					
Tributary	Inlet/DS	Length (ft)	Slope (ft/ft)	C	Tc (min)
1	Overland/ Stormdrain	131	0.07	0.76	8.62

Peak Flow Calculations
Hill Avenue
Fairfax, CA
5/31/2022

PRE-CONSTRUCTION									
Tributary	Inlet/DS	Area	C	Tc	i 100-year	Q10/Q100 Ratio	Q 10-year	Q 100-year	Description
		(acres)		(min)			(ft ³ /s)	(ft ³ /s)	
1	Overland	0.076	0.70	9.31	3.20	0.718	0.122	0.170	Overland Flow

Total	0.076
-------	-------

0.122	0.170	Total Pre- Runoff
-------	-------	-------------------

POST-CONSTRUCTION									
Tributary	Inlet/DS	Area	C	Tc	i 100-year	Q10/Q100 Ratio	Q 10-year	Q 100-year	Description
		(acres)		(min)			(ft ³ /s)	(ft ³ /s)	
1	Inlet	0.076	0.76	8.62	3.20	0.718	0.133	0.186	Worst-case 6" SD

Total	0.076
-------	-------

0.133	0.186	Total Post- Runoff
-------	-------	--------------------

Worst-case Drainage Feature ID	Tributary Areas	Q 100-year (ft ³ /s)	Description
Worst-case 6" SD Pipe	1	0.186	6" HDPE SD S=0.015 Min.

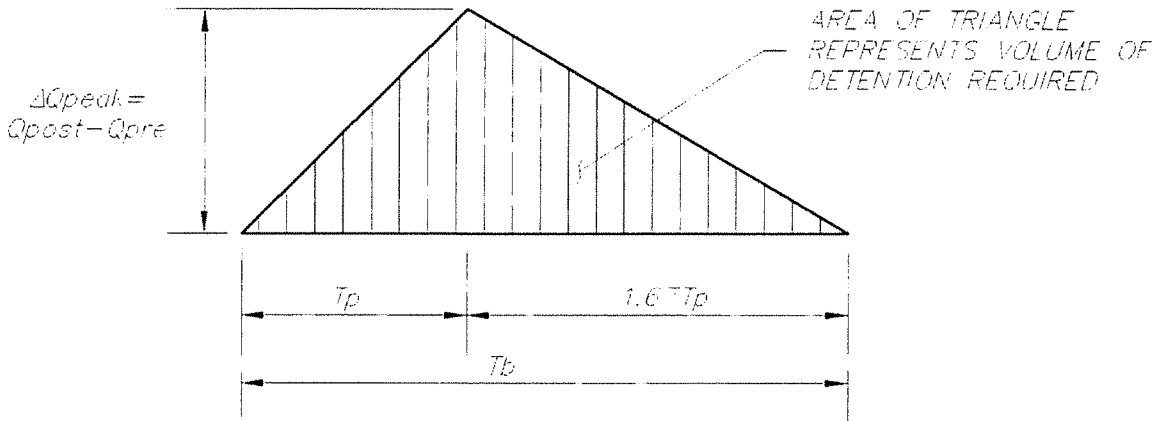
Volume Retention Calculations

Hill Avenue
 Fairfax, CA
 5/31/2022

$$\begin{array}{r}
 Q_{pre} = \quad 0.170 \text{ cfs} \\
 Q_{post} = \quad 0.186 \text{ cfs} \\
 \hline
 \Delta Q = \quad 0.016 \text{ cfs}
 \end{array}$$

Triangular Hydrograph Method*:

to Debo and Rees (1995) this method produces results that are sufficiently accurate for most stormwater management facility designs. In this model, the base of the hydrograph is 2.67 times the time of concentration (Tp).



$$\begin{array}{l}
 T_c = T_p = \quad 9.00 \text{ minutes} \\
 T_p = \quad 540.0 \text{ seconds} \\
 T_b = 2.67 * T_p = \quad 1441.8 \text{ seconds} \\
 V = 0.5 * \Delta Q * T_b = \quad 11.2 \text{ cubic ft.}
 \end{array}$$

Infiltration Trench Volume Calculations							
Retention ID	Pipe Diameter	Pipe Length	Pipe Volume	Rock Area	Rock Depth	Rock Volume (0.3 porosity)	Storage Volume
Infiltration Trench	(ft)	(ft)	(cf)	(sf)	(ft)	(cf)	(cf)
1	0.50	30.0	5.9	44.0	2.0	24.6	30.5
2	0.50	21.0	4.1	30.0	2.0	16.8	20.9
3	0.50	9.0	1.8	14.0	2.0	7.9	9.6
4	0.50	8.0	1.6	11.0	2.0	6.1	7.7
5	0.50	7.0	1.4	9.0	2.0	5.0	6.4
6	0.50	30.0	5.9	44.0	2.0	24.6	30.5

Infiltration Trench Volume (cf): 105.6

Volume Retention Calculations Continued
Hill Avenue
Fairfax, CA
5/31/2022

Dry Well Volume Calculations							
Retention ID	Pipe Diameter	Pipe Length	Pipe Volume	Rock Area	Rock Depth	Rock Volume (0.4 porosity)	Total Storage Volume
Dry Well	(ft)	(ft)	(cf)	(sf)	(ft)	(cf)	(cf)
1	0.50	2.0	0.4	2.9	3.0	3.5	3.9
Dry Well Volume (cf):							3.9

Pond Volume Calculations						
Retention ID	Top Area	Bottom Area	Avg. Area	Depth	Side Slope	Total Storage Volume
Pond	(sf)	(sf)	(sf)	(ft)		(cf)
1	40.40	14.4	27.4	0.5	2:1	13.7
Pond Volume (cf):						13.7

Total Volume Calculations	
Total Infiltration Trenches Volume (cf)	105.6
Total Dry Well Volume (cf)	3.9
Total Pond Volume (cf)	13.7
Total Volume (cf)	123.2

Channel Report

Worst-case 100yr SD Pipe Capacity

Circular

Diameter (ft) = 0.50

Invert Elev (ft) = 1.00

Slope (%) = 1.50

N-Value = 0.012

Calculations

Compute by: Known Q

Known Q (cfs) = 0.19

Highlighted

Depth (ft) = 0.17

Q (cfs) = 0.186

Area (sqft) = 0.06

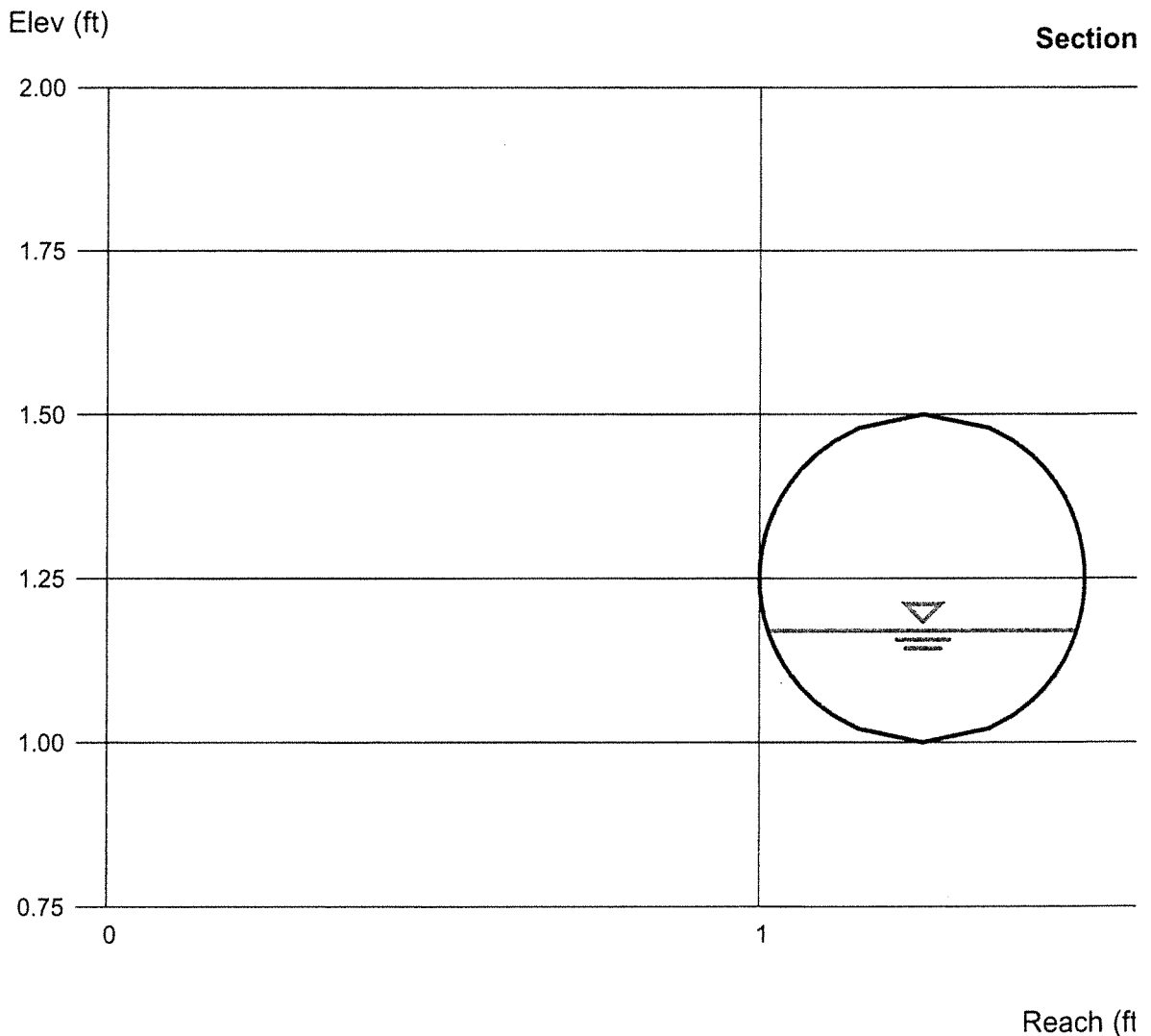
Velocity (ft/s) = 3.13

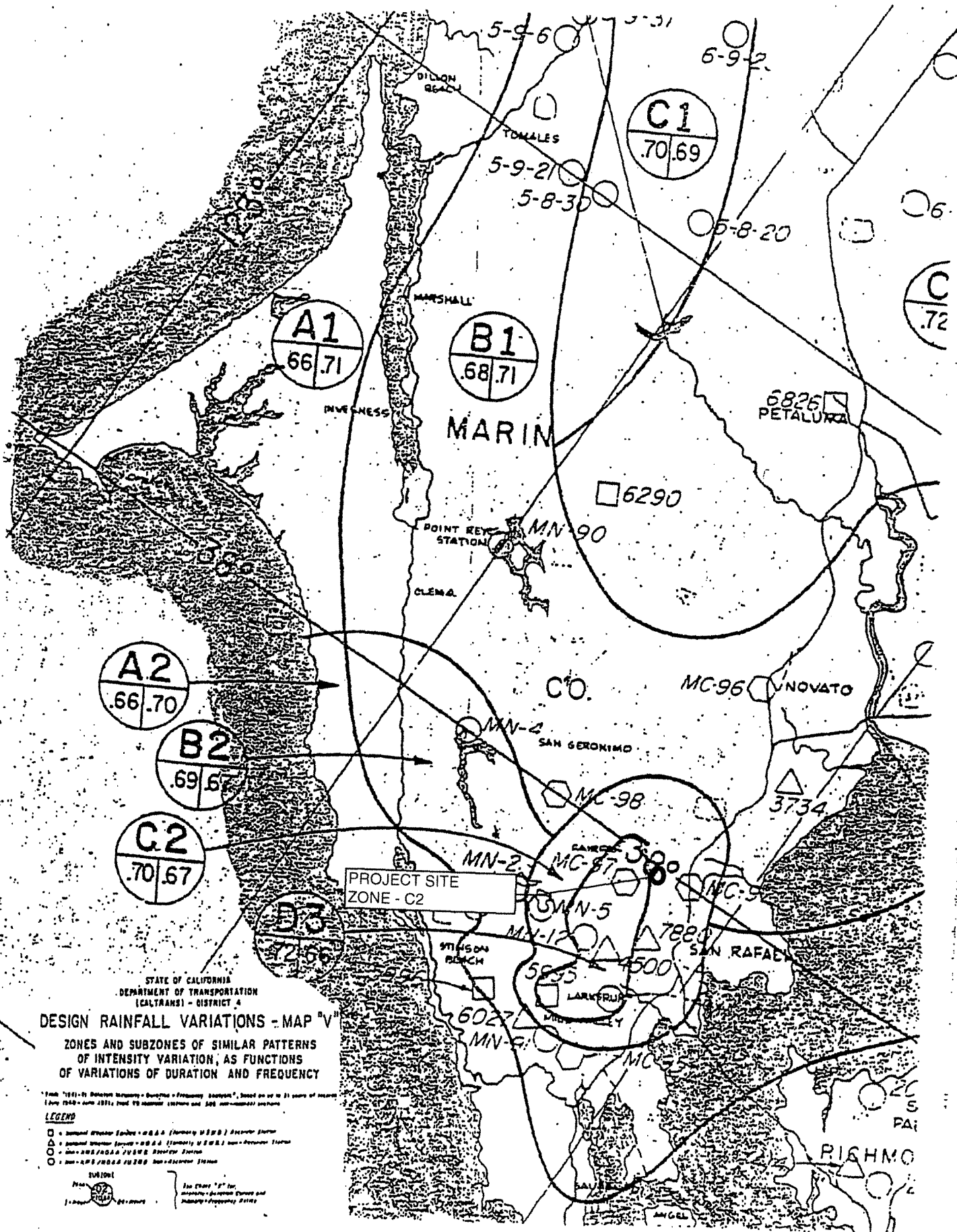
Wetted Perim (ft) = 0.62

Crit Depth, Y_c (ft) = 0.22

Top Width (ft) = 0.47

EGL (ft) = 0.32





STATE OF CALIFORNIA
 DEPARTMENT OF TRANSPORTATION
 (CALTRANS) - DISTRICT 4

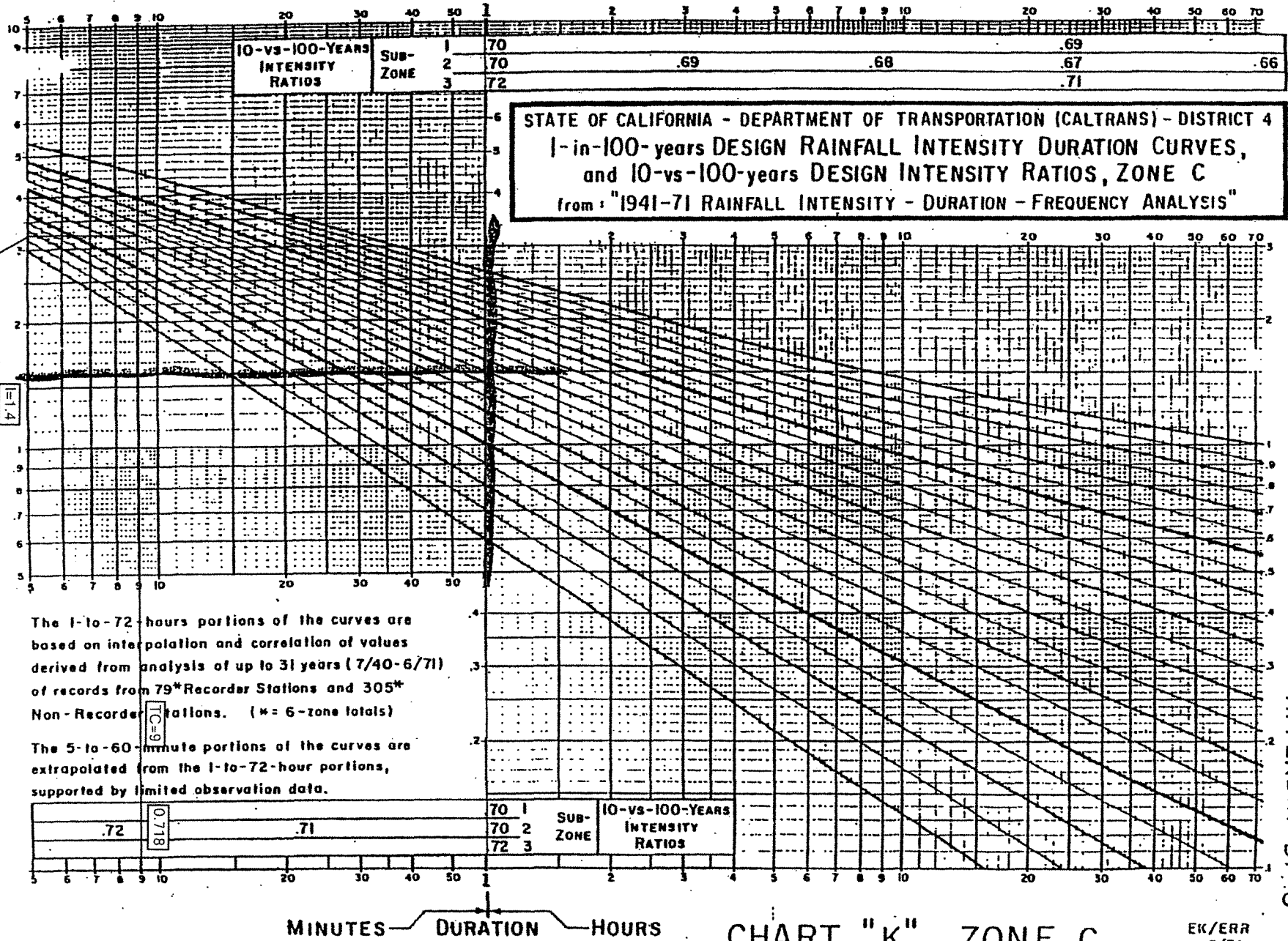
DESIGN RAINFALL VARIATIONS - MAP "V"

ZONES AND SUBZONES OF SIMILAR PATTERNS
 OF INTENSITY VARIATION, AS FUNCTIONS
 OF VARIATIONS OF DURATION AND FREQUENCY

*From "1981-91 Station Inventory - Duration & Frequency Analysis", based on up to 31 years of records
 (July 1960 - June 1991); read 75 minutes duration and 500 return-period return.

- LEGEND**
- - General Station Location - NOAA (formerly USWB) Precip. Station
 - △ - General Station Location - NOAA (formerly USWB) Non-Precip. Station
 - - Non-AMS/NOAA USWB Precip. Station
 - - Non-AMS/NOAA USWB Non-Precip. Station
- NOTES**
1. See Chart "P" for
 symbols, duration return and
 intensity frequency ratios

$\phi = CIA$

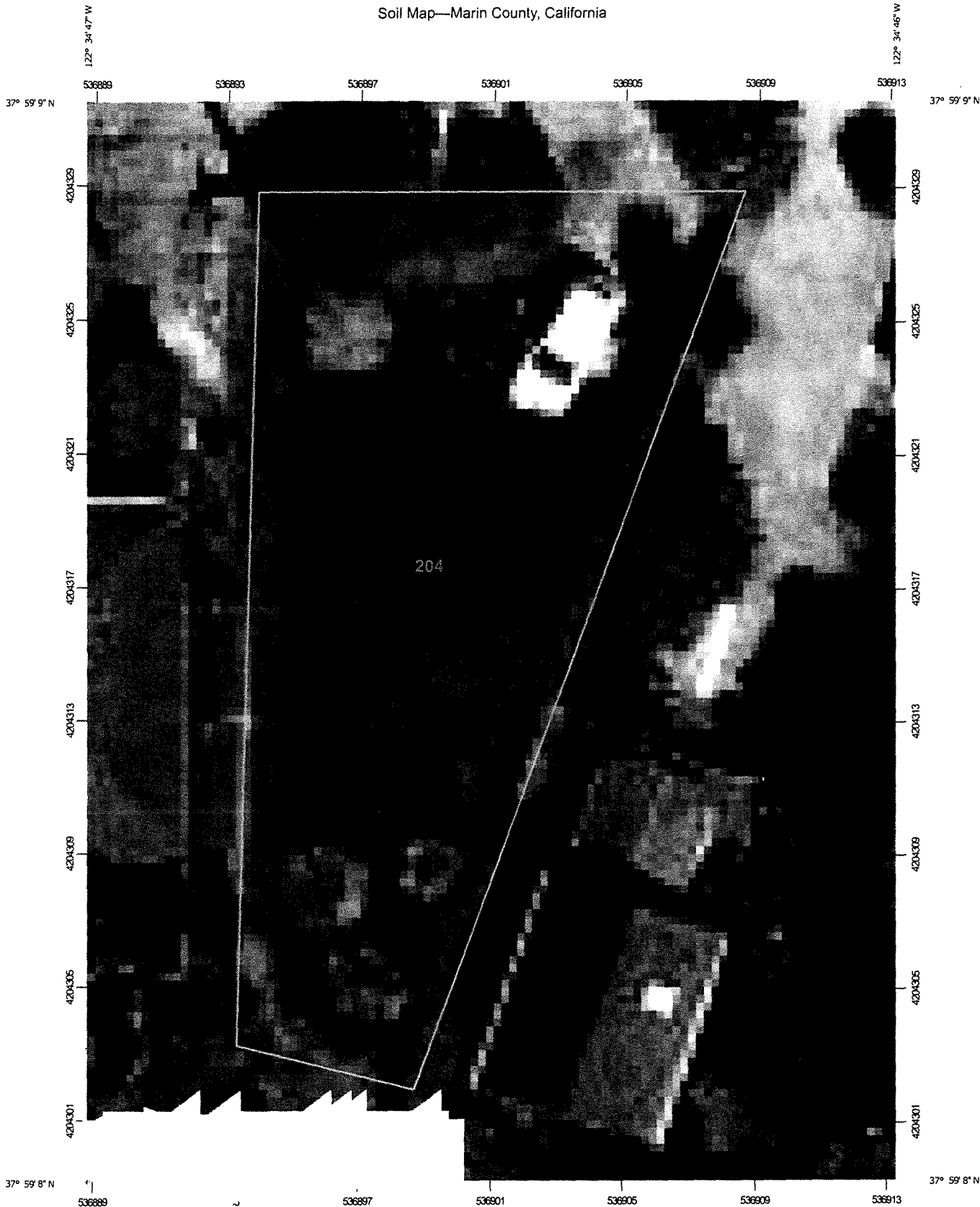


The 1-to-72-hour portions of the curves are based on interpolation and correlation of values derived from analysis of up to 31 years (7/40-6/71) of records from 79* Recorder Stations and 305* Non-Recorder Stations. (* = 6-zone totals)

The 5-to-60-minute portions of the curves are extrapolated from the 1-to-72-hour portions, supported by limited observation data.

APPENDIX D-5-C

Soil Map—Marin County, California







































Map Scale: 1:158 if printed on A portrait (8.5" x 11") sheet.

0 2 4 8 12 Meters

0 5 10 20 30 Feet

Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 10N WGS84

MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 -  Soil Map Unit Polygons
 -  Soil Map Unit Lines
 -  Soil Map Unit Points
- Special Point Features**
 -  Blowout
 -  Borrow Pit
 -  Clay Spot
 -  Closed Depression
 -  Gravel Pit
 -  Gravelly Spot
 -  Landfill
 -  Lava Flow
 -  Marsh or swamp
 -  Mine or Quarry
 -  Miscellaneous Water
 -  Perennial Water
 -  Rock Outcrop
 -  Saline Spot
 -  Sandy Spot
 -  Severely Eroded Spot
 -  Sinkhole
 -  Slide or Slip
 -  Sodic Spot
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
- Other**
 -  Spoil Area
 -  Stony Spot
 -  Very Stony Spot
 -  Wet Spot
 -  Other
 -  Special Line Features

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Marin County, California
 Survey Area Data: Version 15, Sep 9, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Mar 7, 2021—Mar 31, 2021

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
204	Xerorthents-Urban land complex, 0 to 9 percent slopes	0.1	100.0%
Totals for Area of Interest		0.1	100.0%



June 2, 2022
File: 201.210cltr.doc

Town of Fairfax
Planning and Building Services Department
142 Bolinas Avenue
Fairfax, California 94930

Attn: Ms. Linda Neal, Principal Planner

Re: Third Geologic, Geotechnical, and Civil Engineering Review
New Single-Family Residence
34 Hill Avenue (APN 002-214-01)
Fairfax, California

Introduction

In response to your request and in accordance with our agreement dated March 20, 2018, we have reviewed the most recent plan submittal for the proposed new single-family residence at 34 Hill Avenue (APN 002-214-01) in Fairfax, California. The purpose of our services is to review the submitted documents, comment on the completeness and adequacy of the submittal in consideration of Town requirements, and to provide a recommendation to Town Planning and Building staff regarding project approval.

The scope of our services includes:

- A site reconnaissance to observe existing conditions and review proposed development features;
- Review of provided project documents; and
- Development of recommendations to Town staff as to whether the project may be safely constructed in consideration of any geologic, hydrologic, or geotechnical hazards.

It is understood that, by virtue of the site location, the Town's Hillside Residential Development ordinance does not apply. However, it is understood that the currently-vacant site has historically received drainage runoff from the roadway and adjoining parcels, and that our review is desired for the purpose of determining whether the site development may adversely impact neighboring parcels or Town facilities.

It should be noted that the scope of our review is limited solely to geologic, geotechnical, and civil portions of the project, and does not include review of structural, architectural, mechanical, or other items beyond the scope of our qualifications. We recommend that non-geotechnical aspects of the plans be reviewed by suitably qualified professionals.

Project Description

The project generally consists of constructing a new 1,318 square-foot, two-story single-family residence with attached 1-car garage on an approximately 3,300 square-foot, triangular parcel. Significant excavation is proposed to accommodate an unfinished crawl space beneath the two main living floors. Ancillary improvements will include new underground utilities, exterior flatwork and landscaping, new site drainage and stormwater infiltration systems, and other "typical" residential items.

Project Review

We performed a brief site reconnaissance on April 15, 2022 to observe existing conditions at the site. Additionally, we reviewed the following documents provided by the Town as part of our First Review, as documented in our letter dated April 27, 2022:

- DVC Group (2022), "Drainage Report for Hill Avenue, Fairfax, California", dated March 11, 2022.
- DVC Group (2022), "Hill Avenue, Fairfax, California" (Preliminary Civil Plans), Sheets C1 through C4, Job No. 121-21, dated April 1, 2022.
- John Simenic, Architect (2022), "XX Hill Ave, Fairfax, California 94930", Sheets A000 through A300", Design Review set dated April 1, 2022.
- Murray Engineers (2021), "Geotechnical Investigation, Simenic New Residence, APN 002-214-01, Fairfax, California", Project No. 3439-1R1, dated November 8, 2021.
- Oberkamper and Associates (2021), "Topographic Survey, Lot 39 Fairfax Tract, Fairfax, Marin County, California", dated June 3, 2021.
- Oberkamper and Associates (2021), "Record of Survey, Lot 39 Fairfax Tract, Fairfax, Marin County, California", Job No. 20-131, Document Number 2021-0065804, recorded October 20, 2021.
- Urban Forestry Associates, Inc. (2022), "Hill Avenue Tree Removal Report, Hill Avenue, Fairfax", dated January 20, 2022.

More recently, we reviewed the following materials submitted in response to our First Review comments:

- DVC Group (2022), "Drainage Report for Hill Avenue, Fairfax, California", dated May 18, 2022.
- DVC Group (2022), "Hill Avenue, Fairfax, California" (Preliminary Civil Plans), Sheets C1 through C4, Job No. 121-21, dated May 18, 2022.

June 2, 2022

Following additional plan revisions in response to Plan Check comments from the neighboring City of San Anselmo, we reviewed the latest iteration of the following:

- DVC Group (2022), "Drainage Report for Hill Avenue, Fairfax, California", dated May 31, 2022.
- DVC Group (2022), "Hill Avenue, Fairfax, California" (Preliminary Civil Plans), Sheets C1 through C4, Job No. 121-21, dated May 31, 2022.

Conclusions

We note that, in addition to a larger infiltration trench and dry well/overflow shown in the previous submittal, the current plans further expand the infiltration capacity along the east side of the site. Calculations submitted with the updated drainage plan indicate that peak offsite flow rates will remain at or below current, pre-construction conditions, which we judge meets the intent of our comments.

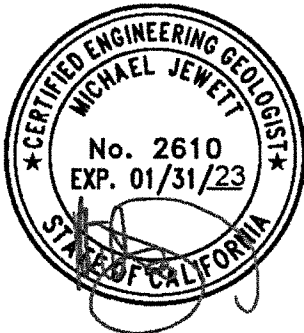
As noted in his report, the Geotechnical Engineer should review the final project civil and structural plans and provide a letter indicating they conform to the intent of his recommendations.

Recommendations

We recommend that project processing be continued at this time and judge that review of the Geotechnical Engineer's approval letter may be handled at the Building stage with minimal anticipated impact.

We trust that this letter contains the information you require at this time. If you have any questions, please call. We will directly discuss our comments with the applicant's consultants if they wish to do so.

Yours very truly,
MILLER PACIFIC ENGINEERING GROUP

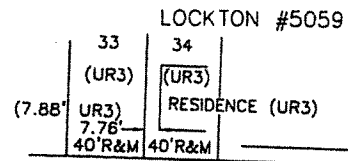


Mike Jewett
Town of Fairfax Contract Geologist
Engineering Geologist No. 2610
(Expires 1/31/23)

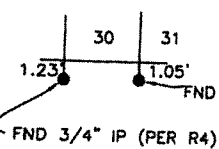


Scott Stephens
Town of Fairfax Contract Engineer
Geotechnical Engineer No. 2398
(Expires 6/30/23)

DETAIL "B"
NTS



DETAIL A
NTS



BASIS OF BEARINGS:

THE BASIS OF BEARINGS FOR THIS SURVEY IS THE FACE OF THE COPING WALL ALONG THE SOUTH SIDE OF HILL AVE. FORMERLY OAK AVE (N89°02'W).



COUNTY SURVEYOR'S STATEMENT:

THIS MAP HAS BEEN EXAMINED IN ACCORDANCE WITH SECTION 8766 OF THE PROFESSIONAL LAND SURVEYORS' ACT THIS 20th DAY OF OCTOBER 2021.



TRACY W. PARK, PLS 8176 - COUNTY SURVEYOR

David O. Knell
DAVID O. KNELL, PLS 5301 - DEPUTY COUNTY SURVEYOR

RECORDER'S STATEMENT:

FILED THIS 29th DAY OF OCTOBER 2021 AT 2:15A.M. IN BOOK 2021 OF MAPS AT PAGE 191, AT THE REQUEST OF THE MARIN COUNTY DEPARTMENT OF PUBLIC WORKS.

Shirley Scott P.N. 2021-0065804
COUNTY RECORDER

BY DEPUTY *W.D.* Fee: \$84-

GENERAL NOTES:

- ALL DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THIS RECORD OF SURVEY IS BEING FILED IN COMPLIANCE WITH SECTION 8762, PARAGRAPHS a, b.1, b.2, b.3, b.4, & b.5 OF THE PROFESSIONAL LAND SURVEYORS' ACT (8764 PLSA).
- DATE OF FIELD SURVEY: AUGUST 20, 2020

SURVEYOR'S STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION IN CONFORMANCE WITH THE REQUIREMENTS OF THE PROFESSIONAL LAND SURVEYORS' ACT AT THE REQUEST OF STEVE STRAGNOLA IN JUNE 2020.

Shane W. Rauch
SHANE W. RAUCH
PLS 9471
DATE



RECORD REFERENCES:

- (R1) FAIRFAX TRACT 2 RECORD MAPS 114
- (R2) AMENDED MAP NO.2 OF THE BUSH TRACT 2 RECORD MAPS 91
- (R3) RECORD OF SURVEY 27 OS 68
- (R4) RECORD OF SURVEY 28 OS 28
- (R5) RECORD OF SURVEY 32 OS 72
- (R6) RECORD OF SURVEY 2003 MAPS 61
- (R7) RECORD OF SURVEY 2005 MAPS 189
- (R8) RECORD OF SURVEY 2016 MAPS 61
- (UR1) E. LOCKTON, PLS 2535, SURVEY #5036, DATED SEPT. 1968 (COPIES IN OUR OFFICE)
- (UR2) J.C. OGLESBY, PLS 1135, SURVEY #13033, DATED MAY 1953, MARIN COUNTY FREE LIBRARY
- (UR3) E. LOCKTON, PLS 2523, SURVEY #5059, DATED NOV. 1968, (COPIES IN OUR OFFICE)

RECORD OF SURVEY

LOT 39, FAIRFAX TRACT 2 RM 114
CITY OF FAIRFAX, COUNTY OF MARIN, STATE OF CALIFORNIA
APRIL 2021

ENGINEER'S COPY

LEGEND:

- FOUND MONUMENT AS NOTED
- SET MONUMENT AS NOTED, TAGGED PLS 9471
- () MAP DATA PER RECORD REFERENCE, AS SHOWN.
- APN ASSESSOR'S PARCEL NO.
- B.O.B. BASIS OF BEARING
- CALC CALCULATED
- CONC CONCRETE
- COR COL CORNER COLUMN
- DN DOCUMENT NUMBER
- ESTB. ESTABLISHED
- FND FOUND
- I.P. IRON PIPE
- (NR) NO REFERENCE
- NTS NOT TO SCALE
- O.S. OFFICIAL SURVEY
- POS. POSITION
- (R#) MAP REFERENCE DOCUMENTS
- R&M RECORD AND MEASURED PER (R1)
- R/W RIGHT OF WAY
- SFNF SEARCHED FOR (MONUMENT), NONE FOUND, PER RECORD ANGLE AND DISTANCE AS NOTED.
- (T) TOTAL

LINETYPE LEGEND

- ADJACENT PROPERTY LINE
- - - 2' RESERVATION PER (R1)
- BOUNDARY LINE THIS SURVEY
- - - CITY LIMITS



**OBERKAMPER & ASSOCIATES
CIVIL ENGINEERS INC.**

7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945
PHONE: (415) 897-2800

SURVEYORS NOTE:

THE MAP OF RECORD, FAIRFAX TRACT 2 RECORD MAPS 114 OMITTS THE 3.1 DISTANCE ALONG THE SOUTHERN PROPERTY LINE OF LOT 39. LOT 40 IS 40' WIDE AND PARALLEL TO LOTS 41-44 (S00°58'W) WHICH LEAVES A DISTANCE OF 42.3' ALONG THE SOUTHERN BOUNDARY OF THE LOTS. LOT 51 ADJOINING THE SOUTHERN BOUNDARIES OF LOTS 40 & 39 SHOWS A DISTANCE OF 45.4 TOTAL, LEAVING 3.1' ALONG LOT 39.

CL PILLAR HELD (R3,R5)
27 OS 68

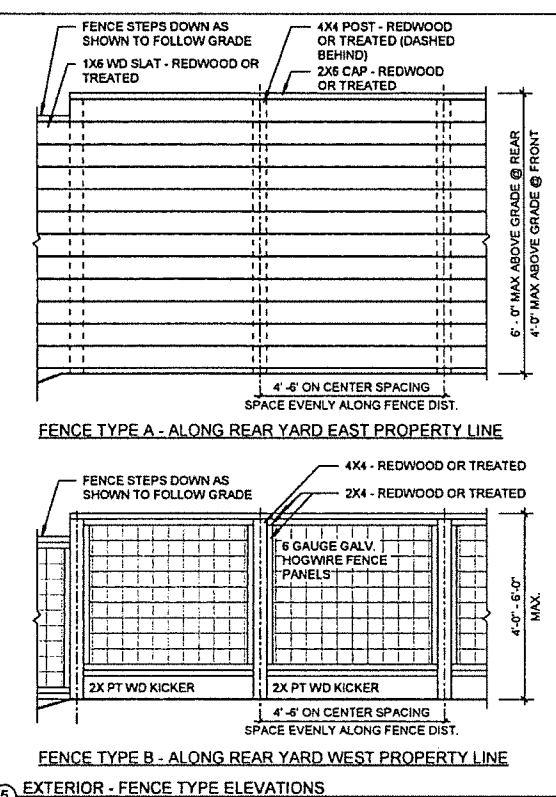
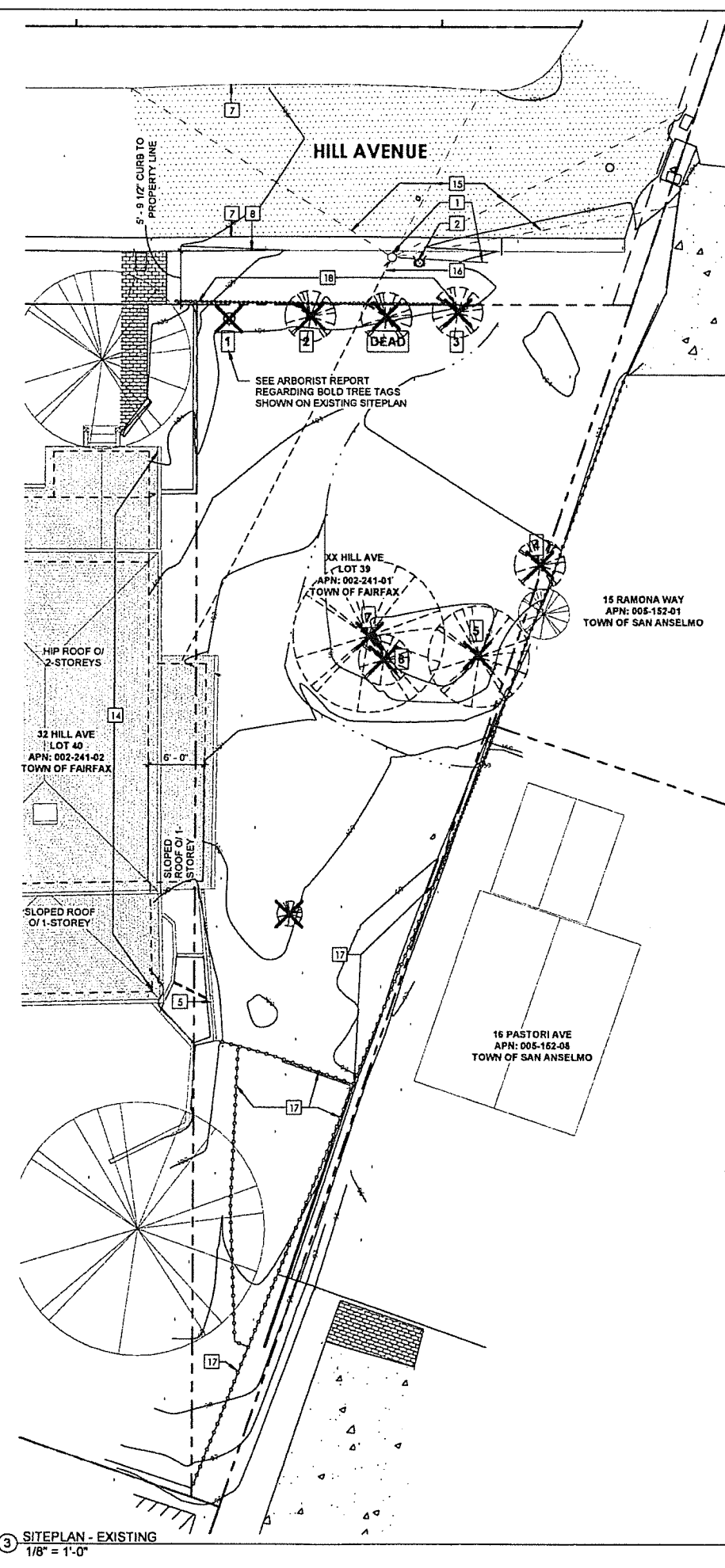
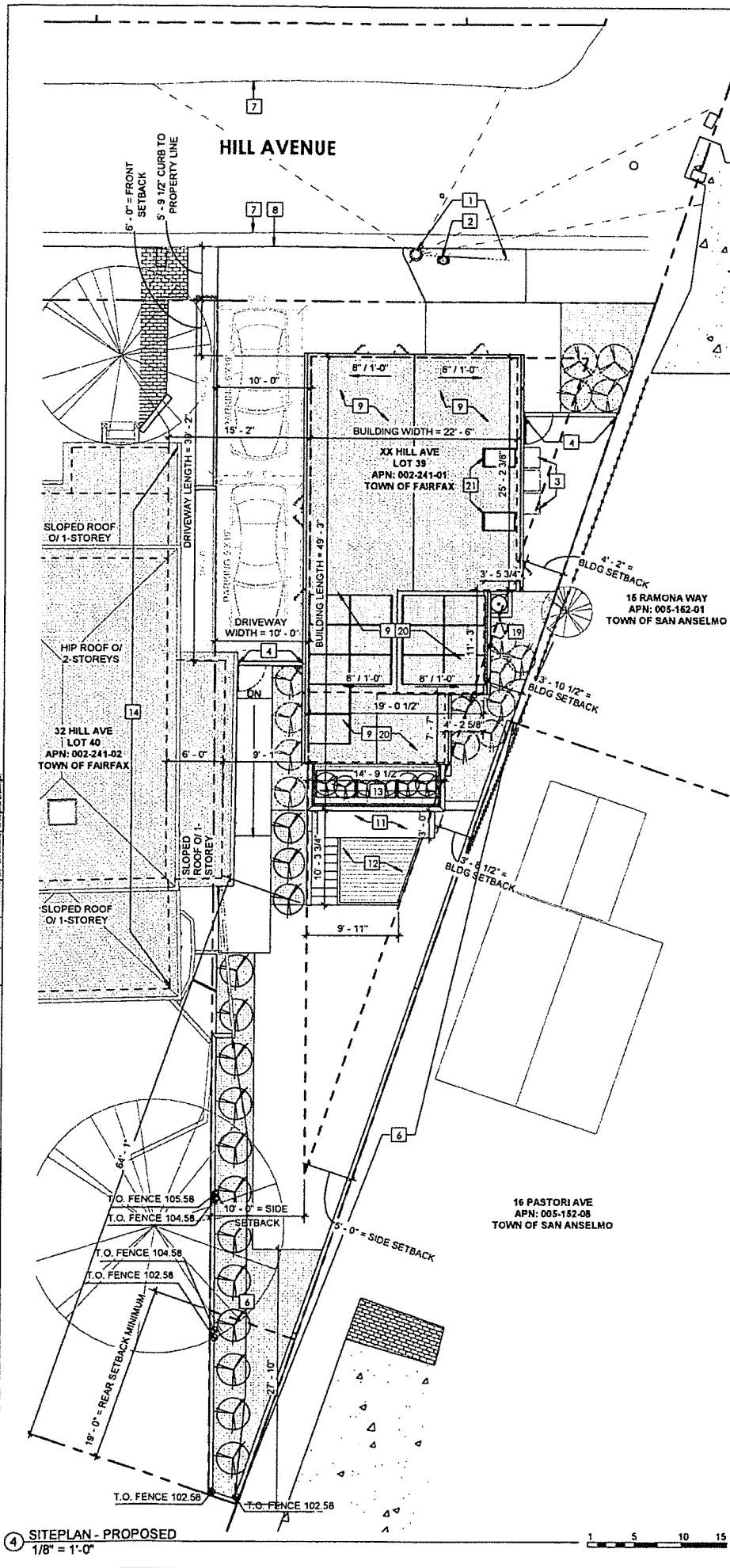
32 OS 72

ARCHITECTURAL ABBREVIATIONS		GENERAL NOTES	
A	AND	ID	INSIDE DIAMETER
L	ANGLE	INSUL	INSULATION
@	AT CENTERLINE	INT	INTERIOR
O	DIAMETER	JAN	JANITOR
C	PERPENDICULAR	JJC	JANITOR'S CLOSET
#	CHANNEL	JT	JOINT
	FOUND OR NUMBER		
A/C	AIR CONDITIONING	KIT	KITCHEN
ALT	ALTER OR	LAB	LABORATORY
AS	ANCHOR BOLT	LAM	LAMINATE
AC	ACCESSIBLE	LAV	LAVATORY
AND	ANODIZED	LKR	LOCKER
ASPH	ASPHALT	LT	LIGHT
ACOUS	ACOUSTICAL	MAX	MAXIMUM
AD	AREA DRAIN	MC	MEDICINE CABINET
ADJ	ADJUSTABLE	MD	MEDIUM DENSITY
AFF	ABOVE FINISH	MDF	MEDIUM DENSITY FIBERBOARD
FLOOR		MECH	MECHANICAL
AGGR	AGGREGATE	MEMB	MEMBRANE
AL	ALUMINUM	MTL	METAL
APPROX	APPROXIMATE	MFR	MANUFACTURER
ARCH	ARCHITECTURAL	MIN	MINIMUM
ASB	ASBESTOS	MIR	MIRROR
ASR	AUTOMATIC	MISC	MISCELLANEOUS
	SPRINKLER RISE	MPOE	MAIN POINT OF ENTRY
BSMT	BASEMENT	MTD	MOUNTED
BET	BETWEEN	MUL	MULLION
BD	BOARD		
BITUM	BITUMINOUS		
BLDG	BUILDING	(N)	NEW
BLK	BLOCK	NIC	NOT IN CONTRACT
BLKG	BLOCKING	NIS	NOT IN SCOPE
BM	BEAM	NUM	NUMBER
BOT	BOTTOM	NOM	NOMINAL
BP	BACK PAINTED	NTS	NOT TO SCALE
CB	CATCH BASIN	OFD	OVERFLOW DRAIN
CBB	CHEMISTIOUS	OFS	OVERFLOW SCUPPER
	BACKER BOARD	OA	OVERALL
CT	CERAMIC TILE	OBS	OBSCURE
COMP	COMPARTMENT	OC	ON CENTER
CMU	CONCRETE	OD	OUTSIDE
	MASONRY UNIT	ODI	OUTSIDE DIAMETER (DIM.)
CJ	CONTROL JOINT	OFF	OFFICE
COOR	COORDINATE	OPNG	OPENING
CAB	CABINET	OPP	OPPOSITE
CEM	CEMENT	PRCST	PRECAST
CER	CERAMIC	PL	PLATE
CI	CAST IRON	PLAM	PLASTIC LAMINATE
CLG	CEILING	PLAS	PLASTER
CLO	CLOSET	PLYWD	PLYWOOD
CLR	CLEAR	PR	PAIR
COL	COLUMN	PT	POINT
CONC	CONCRETE	PTD	PAPER TOWEL DISPENSER
CONST	CONSTRUCTION	PTDR	COMBINATION PAPER TOWEL DISPENSER & RECEPTACLE
CONT	CONTINUOUS		
CORR	CORRIDOR	QT	QUARRY TILE
CTSK	COUNTERSUNK		
CNTR	COUNTER		
CTR	CENTER	R	RELOCATE
DIAG	DIAGONAL	RAD	RADIUS
DBL	DOUBLE	RD	ROOF DRAIN
DEPT	DEPARTMENT	REF	REFERENCE
DF	DRINKING FOUNTAIN	REFR	REFRIGERATOR
DET	DETAIL	REG	REGISTER
DIA	DIAMETER	REINF	REINFORCED
DIM	DIMENSION	REQD	REQUIRED
DISP	DISPENSER	RESIL	RESILIENT
DL	DAYLIGHT	RM	ROOM
DN	DOWN	RO	ROUGH OPENING
DO	DOOR OPENING	RWL	RAIN WATER LEADER
DOM	DOMESTIC WATER		
DR	DOOR	SLNT	SEALANT
DWR	DRAWER	S	SOUTH
DS	DOWNSPOUT	SC	SOLID CORE
DSP	DRY SANDPIPE	SC DISP	SEAT COVER DISPENSER
DWS	DRY SINK	SEE CIVL	SEE CIVIL DRAWINGS
DW	DISH WASHER	SCHED	SCHEDULE
		SD	SOAP DISPENSER
EOS	EDGE OF SLAB	SEE ELECTRICAL	SEE ELECTRICAL DRAWINGS
EMER	EMERGENCY	SECT	SECTION
EGCB	EXTERIOR GYPSUM BOARD	SECT	SECTION
E	EXISTING	SHR	SHOWER
EA	EACH	SHT	SHEET
EJ	EXPANSION JOINT	SIM	SIMILAR
EL	ELEVATION	SLD	SEE LANDSCAPE DRAWINGS
ELEC	ELECTRICAL	SMD	SEE MECHANICAL DRAWINGS
ENCL	ENCLOSURE	SND	SANITARY NAPKIN DISPENSER
EP	ELECTRICAL PANEL	SNR	SANITARY NAPKIN RECEPTACLE
EQ	EQUAL	SNT	SEALANT
EQPT	EQUIPMENT	SPD	SEE PLUMBING DRAWINGS
EWC	ELECTRIC WATER	SPEC	SPECIFICATION
COOLER		SQ	SQUARE
(E)	EXISTING	SS	STAINLESS STEEL
EXP	EXPANSION	SSO	SEE STRUCTURAL DRAWINGS
EXT	EXTERIOR	SSK	SERVICE SINK
		STD	STANDARD
FA	FIRE ALARM	STL	STEEL
FD	FLOOR DRAIN	STOR	STORAGE
FE	FIRE EXTINGUISHER	STR	STRUCTURAL
FEC	FIRE EXTINGUISHER CABINET	SUSP	SUSPENDED
FHC	FIRE HOSE CABINET	SYM	SYMMETRICAL
FIN	FINISH	TRD	TREAD
FL	FLOOR	TB	TOWEL BAR
FLASH	FLASHING	TC	TOP OF CURB
FLOOR	FLUORESCENT	TEL	TELEPHONE
FO...	FACE OF (ABBREVIATION)	TERAZO	TERAZZO
FIXT	FIXTURE	T&G	TONGUE AND GROOVE
FND	FOUNDATION	THK	THICK
FT	FOOT OR FEET	TP	TOP OF PAVEMENT
FURR	FURRING	TP...	TOP OF... (ABBREVIATION)
FUT	FUTURE	TRD	TRENCH DRAIN
GA	GAUGE	UDN	UNLESS OTHERWISE NOTED
GALV	GALVANIZED	UR	URINAL
GB	GRAB BAR		
GC	GENERAL CONTRACTOR	VCT	VINYL COMPOSITION TILE
GL	GLASS/ GLAZING	VERT	VERTICLE
GND	GROUND	VEST	VESTIBULE
GR	GRADE	VIF	VERIFY IN FIELD
GYP BD	GYPSUM BOARD	W	WEST
		W/	WITH
HC	HANDICAPPED	WC	WATER CLOSET
HDWD	HARDWOOD	WD	WOOD
HDWE	HARDWARE	WO	WITHOUT
HM	HOLLOW METAL	WP	WATERPROOF
HORIZ	HORIZONTAL	WSCT	WAINGCOT
HUR	HOUR	WT	WEIGHT
HGT	HEIGHT		

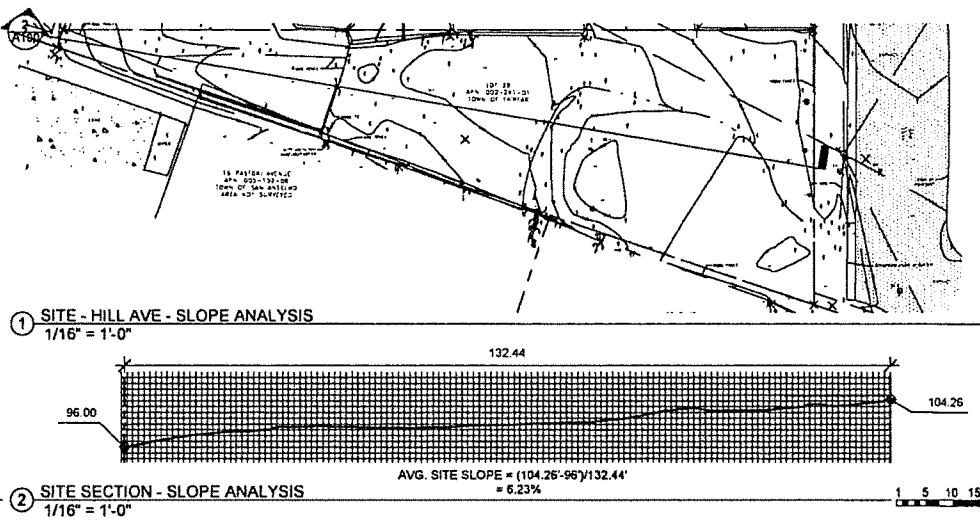
GENERAL NOTES		GENERAL NOTES CONTINUED	
1.1.0	THE CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERING A COMPLETE AND USABLE FACILITY, WHICH WILL FUNCTION PER THE DESIGN INTENT OF THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND COORDINATE THE SCOPE OF WORK WITH ALL EXISTING CONDITIONS, THOROUGHLY EXAMINE THE JOB SITE, AND BASE PRICE ON EXISTING CONDITIONS.	1.3.1	DIMENSIONS ARE FINISHED FACE TO FINISHED FACE, U.O.N. CONTRACTOR SHALL USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN A TIMELY MANNER SO AS TO PREVENT ANY DELAYS IN THE PROJECT SCHEDULE.
1.1.1	WORK SHALL BE PERFORMED CONSISTENT WITH THE LOCAL MUNICIPALITY ORDINANCES, THE CALIFORNIA BUILDING CODE CURRENT EDITION, CONTRACTOR TO STRICTLY ADHERE TO ALL CODES, ORDINANCES, AND REGULATIONS THAT GOVERN CONSTRUCTION WHETHER LISTED HEREIN OR NOT.	1.3.2	HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR, U.O.N.
1.1.2	REFERENCE AND INCORPORATE PROJECT MANUAL AND ALL CONSULTANT AND ARCHITECT SPECIFICATIONS, SURVEYS, AND TESTING REPORTS AS A PART OF THE COMPLETE CONSTRUCTION DOCUMENT SET.	1.3.3	ALL WORK SHALL BE PLUMB, SQUARE, LEVEL, IN PROPER ALIGNMENT, AND SECURELY FASTENED.
1.1.3	CONSTRUCTION OPERATIONAL PROCEDURES AND METHODS ARE THE RESPONSIBILITY OF THE CONTRACTOR INsofar AS THEY DO NOT PRESENT HAZARDS TO PERSONNEL OR PROPERTY OR INFRINGE ON WORK SCHEDULES FOR NORMAL SITE ACTIVITIES, OTHER CONTRACTORS, VENDORS AND THE BUILDING'S STANDARDS FOR CONSTRUCTION ACTIVITIES.	1.3.4	DIMENSIONS SHALL BE EXACT WITHIN 1/8" IN 10'-0" ALONG FULL HEIGHT AND LENGTH OF PARTITIONS. CONTRACTOR SHALL NOT ADJUST DIMENSIONS MARKED "GLASS" OR "GLZ" WITHOUT APPROVAL FROM THE ARCHITECT.
1.1.4	THE CONTRACTOR SHALL APPLY FOR AND OBTAIN, AT HIS/HER EXPENSE, ALL PERMITS REQUIRED BY REGULATORY AGENCIES INCLUDING BUT NOT LIMITED TO BUILDING, MECHANICAL, ELECTRICAL, PLUMBING, AND ENERGY COMPLIANCE PERMITS PRIOR TO AND DURING CONSTRUCTION.	1.3.5	NEW PARTITIONS TO BE LOCATED ON CENTERLINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, U.O.N.
1.1.5	THE CONTRACTOR'S COSTS SHALL INCLUDE THE COST OF PROPER INSURANCE AS REQUIRED BY STATE AND LOCAL LAWS, NATIONAL BUILDING REGULATIONS OR CODES TO ADEQUATELY PROTECT PERSONS AND PROPERTY. A COPY OF SUCH INSURANCE COVERAGE SHALL BE FURNISHED TO THE OWNER/MANAGER AND/OR TENANT PRIOR TO COMMENCEMENT OF ANY WORK.	1.3.6	ALL FURNITURE SHOWN IS FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED.
1.1.6	THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS.	1.4.1	SUBMIT A MINIMUM OF (3) COPIES OF REQUIRED SAMPLES, SHOP DRAWINGS, & PRODUCT DATA TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION, INSTALLATION, AND/OR APPLICATION. ALLOW ARCHITECT 15 DAYS TO REVIEW AND COMMENT. ARCHITECT'S REVIEW WILL BE FOR CONFORMANCE WITH DESIGN CONCEPT ONLY. CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMITTING THEM FOR ARCHITECT'S REVIEW. APPROVAL OF SHOP DRAWINGS SHALL NOT RELEASE CONTRACTOR FROM RESPONSIBILITY FOR THE WORK AS SPECIFIED.
1.1.7	SEE STRUCTURAL DRAWINGS FOR ASSOCIATED FRAMING AND EXCAVATION. CONTRACTOR TO PROVIDE SHORING AS NECESSARY, UNLESS OTHERWISE NOTED. CONTRACTOR SHALL FURNISH ALL NECESSARY SHORING, BRACING, ETC. AS REQUIRED TO SAFELY EXECUTE ALL WORK, AND SHALL BE FULLY RESPONSIBLE FOR THE SAME, INCLUDING ANY REQUIRED PERMITS.	REQUIRED SUBMITTALS: A. ALL FINISH ITEMS B. DOORS AND HARDWARE C. GLAZING SYSTEMS AND ASSEMBLIES D. LIGHT FIXTURES, ELECTRICAL AND LOWVOLTAGE DEVICES E. ARCHITECTURAL SPECIALTIES AND ACCESSORIES F. MECHANICAL, ELECTRICAL, PLUMBING, FIRE AND LIFE SAFETY, LAYOUT AND PRODUCT INFORMATION G. ALL DESIGN/BUILD DOCUMENTS	
1.1.8	THE GENERAL CONTRACTOR SHALL PREPARE AND SUBMIT TO PROJECT TEAM, BEFORE STARTING WORK, COMPLETE AND ACCURATE RECORD DRAWINGS REQUIRED CONSTRUCTION TIME FOR EACH TRADE'S WORK AND UPDATE THROUGHOUT CONSTRUCTION PROCESS.	1.4.2	WHERE PRODUCTS ARE SPECIFIED BY MANUFACTURER AND MODEL IT IS TO ESTABLISH A QUALITY STANDARD. USE MATERIAL SPECIFIED OR APPROVED SUBSTITUTION. PRODUCTS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARD SPECIFICATIONS, U.O.N.
1.1.9	ALL CONTRACTORS/SUB-CONTRACTOR'S MUST PROVIDE THE OWNER/MANAGER WITH A CERTIFICATE OF INSURANCE PRIOR TO THE COMMENCEMENT OF WORK.	1.4.3	TRANSPORT, DELIVER, HANDLE AND STORE MATERIALS AND EQUIPMENT AT THE JOBSITE IN SUCH A MANNER AS TO PREVENT DAMAGE, INCLUDING DAMAGE WHICH MIGHT RESULT FROM INTRUSIONS OF FOREIGN MATTER OR MOISTURE FROM ANY SOURCE. COMPLY WITH MATERIAL AND EQUIPMENT MANUFACTURERS' INSTRUCTIONS REGARDING TEMPERATURE LIMITATIONS AND OTHER ENVIRONMENTAL CONDITIONS, WHICH ARE REQUIRED TO MAINTAIN THE ORIGINAL QUALITY OF MATERIALS AND EQUIPMENT.
1.1.10	ALL WORK SHALL BE PERFORMED IN CONFORMANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY ORDINANCES, BUILDING CODES, AND REQUIREMENTS ESTABLISHED BY STATE AND LOCAL FIRE MARSHALS, AND MANUFACTURERS' RECOMMENDATIONS AND TRADE AND REFERENCE STANDARDS. IN CASE OF CONFLICT, MOST STRINGENT REQUIREMENTS SHALL APPLY.	1.4.4	CONTRACTOR SHALL SUBMIT TO THE ARCHITECT, IMMEDIATELY FOLLOWING DIRECTIVE TO PROCEED WITH WORK, CONFIRMATION WITH DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT AND ANY LONG LEAD TIME ITEMS.
1.1.11	REFER TO BUILDING AND SITE DATA AND PROJECT STATISTICS FOR CODE COMPLIANCE INFORMATION.	1.4.5	ALL CONTRACTORS WILL PROVIDE THE BUILDING OWNER/MANAGER WITH A MSDS LIST OF ANY CHEMICALS, COMPOUNDS OR MATERIALS TO BE USED DURING CONSTRUCTION.
1.1.12	THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING ADEQUATE PRECAUTIONS TO PROTECT BUILDING OCCUPANTS, MATERIALS, & EXISTING FINISHES THROUGHOUT ALL PHASES OF CONSTRUCTION. NOISE, SECURITY, AND DUST BARRIERS BETWEEN CONSTRUCTION AREAS AND OCCUPIED AND PUBLIC AREAS SHALL BE MAINTAINED BY CONTRACTOR.	1.4.6	DAMAGE: CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF ANY ACCIDENTAL DAMAGE HE/SHE INFLECTS UPON THE EXISTING WORK WHICH WILL REMAIN. IF FOR ANY REASON DAMAGE TO EXISTING WORK OR UTILITIES IS CONSIDERED TO BE UNAVOIDABLE, SUBMIT WRITTEN NOTIFICATION OF THIS BEFORE SIGNING THE CONTRACT. IN THE EVENT SUCH NOTIFICATION, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DAMAGE AND THE COSTS OF SATISFACTORILY REPAIRING OR REPLACING DAMAGED WORK.
1.2.0	THE ARCHITECT OF RECORD SHALL BE THE LEAD POINT OF CONTACT FOR ALL QUESTIONS, CLARIFICATIONS, AND REQUESTS FOR INFORMATION PERTAINING TO THE CONTRACT DOCUMENTS.	1.4.7	WARRANTY SHALL BE EXTENDED FOR ALL CONSTRUCTION COMPONENTS, EQUIPMENT AND INSTALLATIONS INCLUDED IN THIS CONTRACT FOR A MINIMUM OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
1.2.1	CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS FOR ACCURACY AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT BEFORE PROCEEDING WITH WORK IN QUESTION.	1.4.8	GC SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS/DETAILS AS SHOWN AND ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP WHICH APPEAR WITHIN A PERIOD OF ONE (1) YEAR.
1.2.2	THE INTENT OF THE CONTRACT DOCUMENTS IS TO EXCLUDE ALL MATERIALS WHICH CONTAIN KNOWN HAZARDOUS SUBSTANCES. THESE INCLUDE MATERIALS CONTAINING ASBESTOS, POLYCHLORINATED BIPHENYL (PCB), OR ANY OTHER KNOWN SUBSTANCES DETERMINED TO BE A HEALTH HAZARD BY THE UNITED STATES ENVIRONMENTAL PROTECTION AGENCY (EPA) AND OTHER RECOGNIZED AGENCIES. IN STUDYING THE CONTRACT DOCUMENTS, AND AT ANY TIME DURING EXECUTION OF THE WORK, THE CONTRACTOR SHALL AT ONCE REPORT TO THE ARCHITECT ANY MATERIALS CONTAINING HAZARDOUS SUBSTANCES THAT HE/SHE MAY DISCOVER. DO NOT PROCEED WITH INSTALLATION OF HAZARDOUS MATERIALS.	1.5.1	THE CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF THE CONTRACT DRAWINGS FOR RECORD MARK-UP PURPOSES THROUGHOUT THE CONTRACT TIME. MARK UP THESE DRAWINGS DURING THE COURSE OF WORK TO SHOW BOTH CHANGES AND ACTUAL INSTALLATION IN SUFFICIENT FORM TO COMPRISE A COMPLETE RECORD FOR THE OWNER/MANAGER'S PURPOSES. GIVE PARTICULAR ATTENTION TO WORK WHICH WILL BE CONCEALED AND DIFFICULT TO MEASURE AND RECORD AT A LATER DATE, AND TO WORK WHICH MAY REQUIRE SERVICING OR REPLACEMENT DURING THE LIFE OF THE PROJECT. BIND PRINTS INTO MANAGEABLE SETS WITH DURABLE PAPER COVERS LABELED "AS-BUILT DRAWINGS", AND TRANSMIT TO OWNER/MANAGER.
1.2.3	CONTRACTOR SHALL VERIFY PRESENCE OF HAZARDOUS MATERIALS WITH OWNER, ARCHITECT AND ITS CONSULTANTS SHALL HAVE NO RESPONSIBILITY FOR THE DISCOVERY, PRESENCE, HANDLING, REMOVAL, OR DISPOSAL OF OR EXPOSURE OF PERSONS TO HAZARDOUS MATERIALS IN ANY FORM AT THE PROJECT SITE, INCLUDING BUT NOT LIMITED TO, ASBESTOS, POLYCHLORINATED BIPHENYL (PCB) OR OTHER TOXIC SUBSTANCES.	1.5.2	UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL SUBMIT TO THE OWNER/MANAGER COMPLETE OPERATING INSTRUCTIONS, MAINTENANCE INSTRUCTIONS, PARTS LISTS AND ALL FURTHER BULLETINS AND BROCHURES PERTINENT TO THE OPERATION AND MAINTENANCE OF THE EQUIPMENT (MECHANICAL, ELECTRICAL, PLUMBING, FIRE ALARM) AND FINISHES & FIXTURES FURNISHED AND INSTALLED TOGETHER WITH RECORD DRAWINGS.
1.2.4	ALL CHANGES TO THE CONTRACT DOCUMENTS AND RESULTING CHANGES TO THE CONTRACT SUM (IF ANY) IN THE PROJECT DURATION (IF ANY) WILL BE ISSUED BY THE ARCHITECT AND MUST BE SIGNED BY THE OWNER/MANAGER AND CONTRACTOR PRIOR TO PROCEEDING.	1.5.3	SUBSTANTIAL COMPLETION IS DEFINED AS THE FOLLOWING: "THE DATE THAT ALL WORK HAS BEEN PERFORMED, OTHER THAN ANY DETAILS OF CONSTRUCTION, MECHANICAL ADJUSTMENT OR ANY OTHER SIMILAR MATTER, THE NON-COMPLETION OF WHICH DOES NOT MATERIALLY INTERFERE WITH INTENDED USE OF THE PREMISES AND IT IS LEGALLY PERMITTED TO OCCUPY THE PREMISES."
1.2.5	ARCHITECTURAL DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE MEASUREMENTS FROM DRAWINGS.	NOT CONTINGENT FOR SUBSTANTIAL COMPLETION, BUT REQUIRED FOR COMPLETION OF GENERAL CONTRACTOR'S CONTRACT AND FINAL PAYMENT ARE THE FOLLOWING: A. FINAL CLEANING OF SURFACES BY A PROFESSIONAL SERVICE. B. REPRODUCIBLE DRAWINGS WITH AS-BUILT CONDITIONS NOTED. C. A BINDER WITH OPERATION AND MAINTENANCE DATA AND WARRANTIES. D. SPECIFIED QUANTITIES OF MAINTENANCE MATERIALS. E. HVAC BALANCE REPORT. F. APPROVED OCCUPANCY PERMIT (FULL OR TEMPORARY) G. ALL LIEN RELEASES	
1.2.6	THE CONTRACTOR SHALL PROMPTLY NOTIFY THE ARCHITECT OF ANY AMBIGUITIES OR DISCREPANCIES BETWEEN THE DRAWINGS WITH EXISTING CONDITIONS OR WITH GOVERNING REQUIREMENTS. NOTIFY ARCHITECT OF ANY CONFLICTS BETWEEN FIELD CONDITIONS AND DRAWINGS BEFORE PROCEEDING WITH WORK. ALLOW SUFFICIENT TIME FOR RESOLUTION WITHOUT DELAYING THE WORK.		
1.2.7	LARGE SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL SCALE DRAWINGS; DETAILS TAKE PRECEDENCE OVER ALL OTHER DRAWINGS. NOTIFY OWNER OF DISCREPANCIES.		
1.2.8	IN CASE OF CONFLICT BETWEEN OR WITHIN THE VARIOUS CONTRACT DOCUMENTS, THE MORE STRINGENT REQUIREMENTS (AS DETERMINED BY ARCHITECT) SHALL GOVERN, AND THE GREATER QUANTITY AND THE HIGHER QUALITY (AS DETERMINED BY ARCHITECT) SHALL BE FURNISHED. THIS RULE DOES NOT APPLY WHERE ONE REQUIREMENT IS SPECIFICALLY MODIFIED OR SUPERSEDED BY ANOTHER AND WHERE ADDITIONS TO, DELETIONS FROM, AND OTHER CHANGES ARE SPECIFICALLY MADE, AS IN ADDENDA, CONSTRUCTION CHANGE DIRECTIVES, MODIFICATIONS, CHANGE ORDERS, AND THE LIKE.		
1.2.9	ARCHITECT AND OWNER TO REVIEW FRAMING, PLUMBING, AND ELECTRICAL PRIOR TO DRYWALL. CHARGES TO REFRAME UNREVIEWED PARTITIONS WILL NOT BE ACCEPTED.		

GENERAL NOTES CONTINUED		PROJECT DIRECTORY	
1.3.1	DIMENSIONS ARE FINISHED FACE TO FINISHED FACE, U.O.N. CONTRACTOR SHALL USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE DRAWINGS. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. REPORT ANY DISCREPANCIES TO THE ARCHITECT IN A TIMELY MANNER SO AS TO PREVENT ANY DELAYS IN THE PROJECT SCHEDULE.	OWNER:	JOHN SIMENIC 15 RAMONA WAY SAN ANSELMO, CA 94960
1.3.2	HEIGHTS ARE DIMENSIONED FROM TOP OF FINISHED FLOOR, U.O.N.	CONTACT:	JOHN.SIMENIC@GMAIL.COM 440.223.2620.
1.3.3	ALL WORK SHALL BE PLUMB, SQUARE, LEVEL, IN PROPER ALIGNMENT, AND SECURELY FASTENED.	ARCHITECT:	JOHN SIMENIC 15 RAMONA WAY SAN ANSELMO, CA 94960
1.3.4	DIMENSIONS SHALL BE EXACT WITHIN 1/8" IN 10'-0" ALONG FULL HEIGHT AND LENGTH OF PARTITIONS. CONTRACTOR SHALL NOT ADJUST DIMENSIONS MARKED "GLASS" OR "GLZ" WITHOUT APPROVAL FROM THE ARCHITECT.	CONTACT:	JOHN.SIMENIC@GMAIL.COM 440.223.2620.
1.3.5	NEW PARTITIONS TO BE LOCATED ON CENTERLINE OF MULLION OR ALIGNED WITH COLUMN OR WALL, U.O.N.	STRUCTURAL	TBD
1.3.6	ALL FURNITURE SHOWN IS FOR REFERENCE ONLY, UNLESS OTHERWISE NOTED.	ENGINEER:	X
1.4.1	SUBMIT A MINIMUM OF (3) COPIES OF REQUIRED SAMPLES, SHOP DRAWINGS, & PRODUCT DATA TO ARCHITECT FOR REVIEW PRIOR TO FABRICATION, INSTALLATION, AND/OR APPLICATION. ALLOW ARCHITECT 15 DAYS TO REVIEW AND COMMENT. ARCHITECT'S REVIEW WILL BE FOR CONFORMANCE WITH DESIGN CONCEPT ONLY. CONTRACTOR SHALL REVIEW ALL SUBMITTALS FOR CONFORMANCE WITH CONTRACT DOCUMENTS PRIOR TO SUBMITTING THEM FOR ARCHITECT'S REVIEW. APPROVAL OF SHOP DRAWINGS SHALL NOT RELEASE CONTRACTOR FROM RESPONSIBILITY FOR THE WORK AS SPECIFIED.	GEOTECHNICAL	MURRAY ENGINEERS 408 4TH ST. SAN RAFAEL, CA 94901
1.4.2	WHERE PRODUCTS ARE SPECIFIED BY MANUFACTURER AND MODEL IT IS TO ESTABLISH A QUALITY STANDARD. USE MATERIAL SPECIFIED OR APPROVED SUBSTITUTION. PRODUCTS SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S STANDARD SPECIFICATIONS, U.O.N.	CONTACT:	ANDREW SCAVULLO ASCAVULLO@MURRAYENGINEERS.COM 415.888.8952.
1.4.3	TRANSPORT, DELIVER, HANDLE AND STORE MATERIALS AND EQUIPMENT AT THE JOBSITE IN SUCH A MANNER AS TO PREVENT DAMAGE, INCLUDING DAMAGE WHICH MIGHT RESULT FROM INTRUSIONS OF FOREIGN MATTER OR MOISTURE FROM ANY SOURCE. COMPLY WITH MATERIAL AND EQUIPMENT MANUFACTURERS' INSTRUCTIONS REGARDING TEMPERATURE LIMITATIONS AND OTHER ENVIRONMENTAL CONDITIONS, WHICH ARE REQUIRED TO MAINTAIN THE ORIGINAL QUALITY OF MATERIALS AND EQUIPMENT.	CIVIL	DVC GROUP, INC. (DVC) 513 CENTER ST HEALDSBURG, CA 95448
1.4.4	CONTRACTOR SHALL SUBMIT TO THE ARCHITECT, IMMEDIATELY FOLLOWING DIRECTIVE TO PROCEED WITH WORK, CONFIRMATION WITH DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT AND ANY LONG LEAD TIME ITEMS.	CONTACT:	DAN HUGHES, P.E. DAN@DVCGROUP.NET 707.775.8986
1.4.5	ALL CONTRACTORS WILL PROVIDE THE BUILDING OWNER/MANAGER WITH A MSDS LIST OF ANY CHEMICALS, COMPOUNDS OR MATERIALS TO BE USED DURING CONSTRUCTION.	GENERAL	TBD
1.4.6	DAMAGE: CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIRS OF ANY ACCIDENTAL DAMAGE HE/SHE INFLECTS UPON THE EXISTING WORK WHICH WILL REMAIN. IF FOR ANY REASON DAMAGE TO EXISTING WORK OR UTILITIES IS CONSIDERED TO BE UNAVOIDABLE, SUBMIT WRITTEN NOTIFICATION OF THIS BEFORE SIGNING THE CONTRACT. IN THE EVENT SUCH NOTIFICATION, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR DAMAGE AND THE COSTS OF SATISFACTORILY REPAIRING OR REPLACING DAMAGED WORK.	CONTRACTOR:	X
1.4.7	WARRANTY SHALL BE EXTENDED FOR ALL CONSTRUCTION COMPONENTS, EQUIPMENT AND INSTALLATIONS INCLUDED IN THIS CONTRACT FOR A MINIMUM OF 1 YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.		
1.4.8	GC SHALL RE-EXECUTE ANY WORK THAT FAILS TO CONFORM TO THE DRAWINGS/DETAILS AS SHOWN AND ANY DEFECTS DUE TO FAULTY MATERIALS OR WORKMANSHIP WHICH APPEAR WITHIN A PERIOD OF ONE (1) YEAR.		
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NOT CONTINGENT FOR SUBSTANTIAL COMPLETION, BUT REQUIRED FOR COMPLETION OF GENERAL CONTRACTOR'S CONTRACT AND FINAL PAYMENT ARE THE FOLLOWING: A. FINAL CLEANING OF SURFACES BY A PROFESSIONAL SERVICE. B. REPRODUCIBLE DRAWINGS WITH AS-BUILT CONDITIONS NOTED. C. A BINDER WITH OPERATION AND MAINTENANCE DATA AND WARRANTIES. D. SPECIFIED QUANTITIES OF MAINTENANCE MATERIALS. E. HVAC BALANCE REPORT. F. APPROVED OCCUPANCY PERMIT (FULL OR TEMPORARY) G. ALL LIEN RELEASES			

PROJECT DIRECTORY		PROJECT DESCRIPTION	
OWNER:	JOHN SIMENIC 15 RAMONA WAY SAN ANSELMO, CA 94960	CONTACT:	JOHN.SIMENIC@GMAIL.COM 440.223.2620.
ARCHITECT:	JOHN SIMENIC 15 RAMONA WAY SAN ANSELMO, CA 94960	CONTACT:	JOHN.SIMENIC@GMAIL.COM 440.223.2620.
STRUCTURAL	TBD	CONTACT:	TBD
ENGINEER:	X		
GEOTECHNICAL	MURRAY ENGINEERS 408 4TH ST. SAN RAFAEL, CA 94901	CONTACT:	ANDREW SCAVULLO ASCAVULLO@MURRAYENGINEERS.COM 415.888.8952.
CIVIL	DVC GROUP, INC. (DVC) 513 CENTER ST HEALDSBURG, CA 95448	CONTACT:	DAN HUGHES, P.E. DAN@DVCGROUP.NET 707.775.8986
GENERAL	TBD	CONTACT:	TBD
CONTRACTOR:	X		
PROJECT DESCRIPTION			
CONSTRUCTION OF A NEW, 3 BED/2.5 BATH SINGLE-FAMILY HOME AT THE END OF HILL AVENUE IN FAIRFAX, CA			
PROJECT INFORMATION AND CALCULATIONS			
PROJECT NAME:	SIMENIC RESIDENCE		
PROJECT TYPE:	RESIDENTIAL NEW CONSTRUCTION		
PARCEL NUMBER:	002-214-01		
PROJECT ADDRESS:	TO BE DETERMINED		
TYPE OF CONSTRUCTION:	TYPE V		
SPRINKLER PROTECTION:	FULLY SPRINKLERED, DEFERRED SUBMITTAL		
OCCUPANCY TYPE / USE:	R-3 SINGLE FAMILY RESIDENCE		
ASSESSOR'S PARCEL NUMBERS:	002-214-01		
ZONING DISTRICT:	RS-5.7		
NO. OCCUPIED FLOORS:	2		
NO. OF STORIES:	2		
NO. OF BASEMENTS:	0		
AVG. LOT SLOPE:	6.23% SEE A100		
W/LOLAND URBAN INTERFACE:	NO		
MAX. ALLOWABLE HEIGHT:	28'-6" PROPOSED BLDG HEIGHT: 28'-5/8"		
LOT AREA:	3,309SF		
FLOOR AREAS:	EXISTING	PROPOSED	
BASEMENT	0	0	
GARAGE	0	340	
LEVEL 1	0	604	
LEVEL 2	0	714	
SUBTOTAL (MAIN HABITABLE)	0	1,318	
PROJECT TOTAL	0	1,318SF + 334SF GAR	
FLOOR AREA RATIOS:			
ALLOWED = .4 + 500SF GAR.	0	1,318SF HOUSE + 340SF GAR.	
3,309SF X .4 = 1,323 SF		FAR= 398	
LOT COVERAGE RATIOS:			
MAX ALLOWED = 35%	0	1,092 SF	
3,309SF X .35 = 1,158 SF		.33	



5 EXTERIOR - FENCE TYPE ELEVATIONS
1/2" = 1'-0"



GENERAL NOTES

- SEE PROPOSED ELEVATIONS AND SECTIONS FOR EXISTING AND PROPOSED GRADE MARKERS WHICH HIGHLIGHTS PROPOSED HEIGHT OF BUILDINGS.
- SEE WEST ELEVATION FOR NEIGHBOR WINDOW LOCATIONS AND SIZES.

SITEPLAN LEGEND

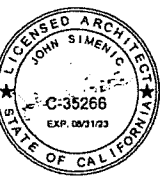
---	PROPERTY LINE	N	N
- - -	SETBACK LINE	PROJECT	TRUE
- - -	BLDG EXTENTS		
X XX	ELEVATION MARKER		
[Symbol]	PLANTED AREA	TREE - TO BE REMOVED	
[Symbol]	PLANTING BED	TREE PROPOSED - BLACK	EXISTING - GREY
[Symbol]	COMPACTED, DECOMPOSED GRANITE O/ GEOGRID	SHRUB AND/OR HEDGE	
[Symbol]	CONCRETE	(E) WD FENCE	
[Symbol]	PERMEABLE PAVING	(E) WD AND WIRE FENCE	
[Symbol]		(E) WIRE FENCE	

SITEPLAN KEYNOTES

NO.	NOTE
1	(E) POWER POLE AND GUY-WIRE SUPPORT
2	(E) FIRE HYDRANT
3	TRASH, RECYCLING, AND COMPOST BINS
4	4' MAX WOOD FENCE AND GATE, SEE FENCE TYPE "A" DETAIL THIS PAGE.
5	(E) NEIGHBOR FENCE TO REMAIN.
6	FENCE TYPE A ALONG EAST PROPERTY LINE AND TYPE B ALONG WEST PROPERTY LINE TO MATCH NEIGHBOR EXISTING FENCE. SEE DETAILS THIS PAGE.
7	EDGE OF PAVEMENT
8	EDGE OF CONCRETE CURB AND GUTTER
9	SLOPED ROOF O/ 2-STOREYS
11	FLAT AWNING ROOF O/ 1-STOREY
12	WOOD DECK @ LEVEL 1 FINISH FLOOR
13	PREFAB METAL PLANTERS HIDDEN BEHIND PARAPET, CONNECTED INTO IRRIGATION SYSTEM.
14	FOR LOCATION OF NEIGHBOR WINDOWS SEE PROPOSED WEST ELEVATION WITH NEIGHBOR WINDOWS SUPERIMPOSED OVER THE ELEVATION.
15	(E) OVERHEAD LINES
16	(E) OVERHEAD LINES TO BE MOVED WEST
17	(E) WIRE FENCING TO BE REMOVED
18	(E) WOOD PICKET FENCE TO BE REMOVED UP TO WEST PROPERTY LINE
19	A/C CONDENSER ON CONCRETE PAD
20	FUTURE SOLAR PANEL LOCATION
21	SKYLIGHT, VELUX OR EQ.

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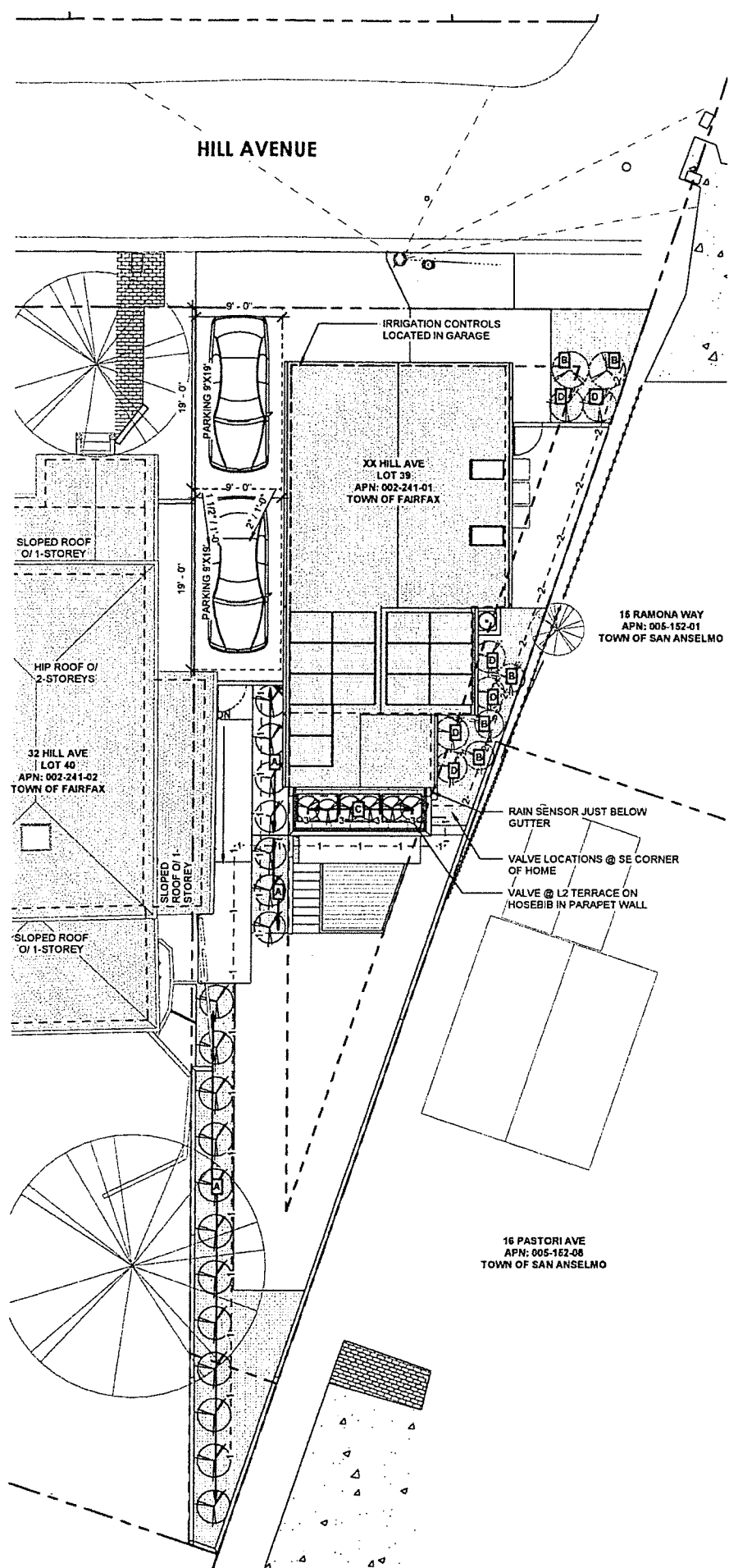
SIMENIC RESIDENCE
XX HILL AVE, FAIRFAX, CA 94930
APN: 002-214-01



DATE	DESIGN REVIEW	REVISIONS	REMARKS

DRAWING TITLE
SITEPLAN AND SITE SLOPE

SHEET
A100



TAG	ZONE	IRRIGATION *	SCIENTIFIC NAME	COMMON NAME	WUCOLS ^B	MATURE HEIGHT ^C
A	1	DRIP	PRUNUS LAUROCEASUS	ENGLISH LAUREL	MODERATE	
B	2	DRIP	LAVANDULA SPP. & CVS	LAVENDER	LOW	
C	3	DRIP	AGAVE AMERICANA	AGAVE	LOW	
D	2	DRIP	MYRSINE AFRICANA	AFRICAN BOXWOOD	LOW	

A - SPRAY, ROTOR, MICROSPRAY, MP ROTORS, BUBBLER, DRIP
 B - THIS CLASSIFICATION IS EITHER HIGH, MODERATE, OR LOW WATER USE ACCORDING TO WUCOLS.
 C - IN INCHES; NOT NECESSARY IF THE ENTIRE ZONE IS IRRIGATION WITH DRIP OR BUBBLERS

GENERAL NOTES

- SEE PROPOSED SITEPLAN ON A100 FOR PROPOSED FENCES
- SEE EXISTING SITEPLAN ON A100 FOR TREES TO BE REMOVED
- THIS IS A "HOME OWNER PROVIDED PROJECT" AND COMPLIES WITH PAGE 16 OF THE "MARIN WATER LANDSCAPE REVIEW PACKET"
- PROPERTY IS NOT IN A WUI ZONE, AS SUCH, A VEGETATION MANAGEMENT PLAN IS NOT REQUIRED.

SITEPLAN LEGEND

- PROPERTY LINE
- SETBACK LINE
- BLDG EXTENTS
- IRRIGATION LINE AND ZONE
- PLANTED AREA
- PLANTING BED
- COMPACTED, DECOMPOSED GRANITE O/ GEOGRID
- CONCRETE
- PERMEABLE PAVING
- N PROJECT
- N TRUE
- TREE PROPOSED - BLACK EXISTING - GREY
- SHRUB AND/OR HEDGE
- (E) WD FENCE
- (E) WD AND WIRE FENCE
- (E) WIRE FENCE

VALVE	ZONE	IRRIGATION METHOD	GALLONS/MINUTE	AREA (SQ./FT)
1	MODERATE	DRIP	1.67	320
2	LOW	DRIP	33	215
3	LOW	DRIP	2	30

HYDROZONE	AREA (SQ. FT)	PERCENTAGE
HIGH WATER USE	0	0
MODERATE WATER USE	320	56.6
LOW WATER USE	245	43.4
TOTAL	565	100

HOMEOWNER STATEMENT

THE IRRIGATION SYSTEM WILL BE INSTALLED AS DESCRIBED IN THIS STATEMENT AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE DISTRICT.

SYSTEM:

WATER METER - TBD

REDUCED PRESSURE BACKFLOW PREVENTION DEVICE - TBD

PRESSURE REDUCER - TBD

CONTROLLER - RAINBIRD ST1-8.0 (WIFI ENABLED FOR REMOTE MONITORING) PLACED IN THE GARAGE. CONTROLLER HAS BATTERY BACK-UP.

RAIN SENSOR - A RAIN BIRD RSD8EX - RAIN SENSOR WITH BRACKET WILL BE INSTALLED ON THE SOUTHEAST CORNER OF THE HOME JUST BELOW THE GUTTER. THIS WILL LINK INTO THE CONTROL SYSTEM IN THE GARAGE. THIS LOCATION WILL RECEIVE AS MUCH RAIN AS THE PLANTING LOCATIONS ON THE PROPERTY.

ZONE 1 AND 2 VALVES WILL BE LOCATED AT THE SOUTHEAST CORNER OF THE HOME. THE VALVES WILL BE RAINBIRD 075ASVF - 3/4" IN. PLASTIC RESIDENTIAL ANTI-SIPHON IRRIGATION VALVES WITH FLOW CONTROL - 3/4" FPT THREADS. A 3/4" SUPPLY WILL BE FED FROM THE MAIN HOUSE TO A BALL VALVE WHICH EXITS THE HOUSE FOR EXTERIOR CONNECTION. THE VALVES WILL BE INSTALLED PER MMWD REGULATIONS. SOLID EMITTER TUBING WILL RUN THROUGH THE PLANT BEDS AND EMITTERS WILL BE PLACED AT PLANT LOCATIONS. EMITTERS WILL BE SIZED FOR THE PLANTS. 5-1 GPH EMITTERS FOR THE SMALL PLANTS AND 2-5GPH EMITTERS FOR THE LARGER SHRUBS.

ZONE 3 VALVE WILL BE LOCATED AT THE SOUTHEAST CORNER OF THE INSIDE OF THE PARAPET ADJACENT THE PLANTER BOXES. THE VALVE WILL BE A RAINBIRD 075ASVF - 3/4" IN. PLASTIC RESIDENTIAL ANTI-SIPHON IRRIGATION VALVE WITH FLOW CONTROL - 3/4" FPT THREADS. A 3/4" SUPPLY WILL BE FED FROM THE MAIN HOUSE TO A BALL VALVE WHICH EXITS THE HOUSE FOR EXTERIOR CONNECTION. THE VALVES WILL BE INSTALLED PER MMWD REGULATIONS. SOLID EMITTER TUBING WILL RUN THROUGH EACH PLANTER AND 2GPH EMITTERS WILL BE PLACED BELOW EACH SMALL SHRUB.

Maximum Applied Water Allowance

Enter Zip Code: 94930 42 03 Residential Yes

Project Name: SIMENIC RESIDENCE
 Address: APN 002-241-01
 Meter Assembly: NEW BUILD, NO METER YET
 Location/Sheet No: A102
 Date: 1/20/2022

Category	Value	Units
Conditioned Area	565	sqft
Unconditioned Area	0	sqft
MAWA	10	units

Category	Value	Units
Low water use plant	245	sqft
Moderate water use plant	320	sqft
High water use plant		sqft

Efficiency Factor: 0.85

Category	Value	Units
ETWU	10	units

ETWU: 10 units

ETWU	Gallons	Water Use Table	Units	AS	0.02
Baseline Period	Jan/Feb	Mar/Apr	May/Jun	Jul/Aug	Sep/Oct
Baseline Units	0	0	2	3	2

1 unit of ETWU (unconditioned cubic feet) = 7.48 gallons. 1 AS = 3.155 units.
 For more information please contact 415-945-1822 or visit our website at MarinWater.org

JOHN SIMENIC | ARCHITECT
 JOHN.SIMENIC@GMAIL.COM
 440.223.2620

SIMENIC RESIDENCE
 XX HILL AVE, FAIRFAX, CA 94930

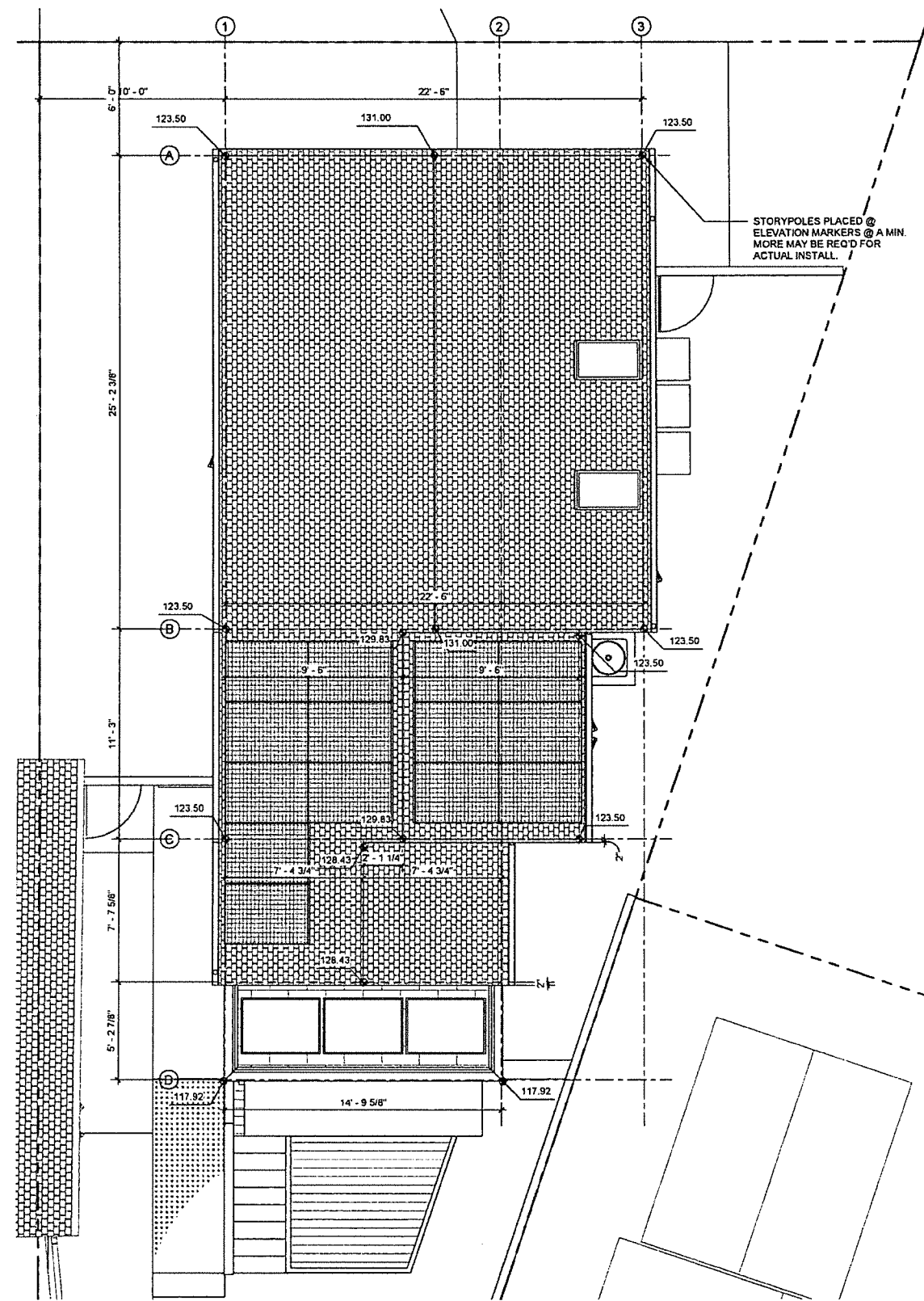
LICENSED ARCHITECT
 JOHN SIMENIC
 C-35266
 EXP. 06/31/23
 STATE OF CALIFORNIA

DATE	REVISIONS
4/01/22	DESIGN REVIEW

DRAWING TITLE: LANDSCAPE PLAN

SHEET: A102

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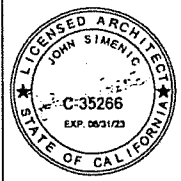


① STORYPOLE PLAN
1/4" = 1'-0"

WALL LEGEND	
	PROPERTY LINE
	BLDG EXTENTS
	ELEVATION MARKER

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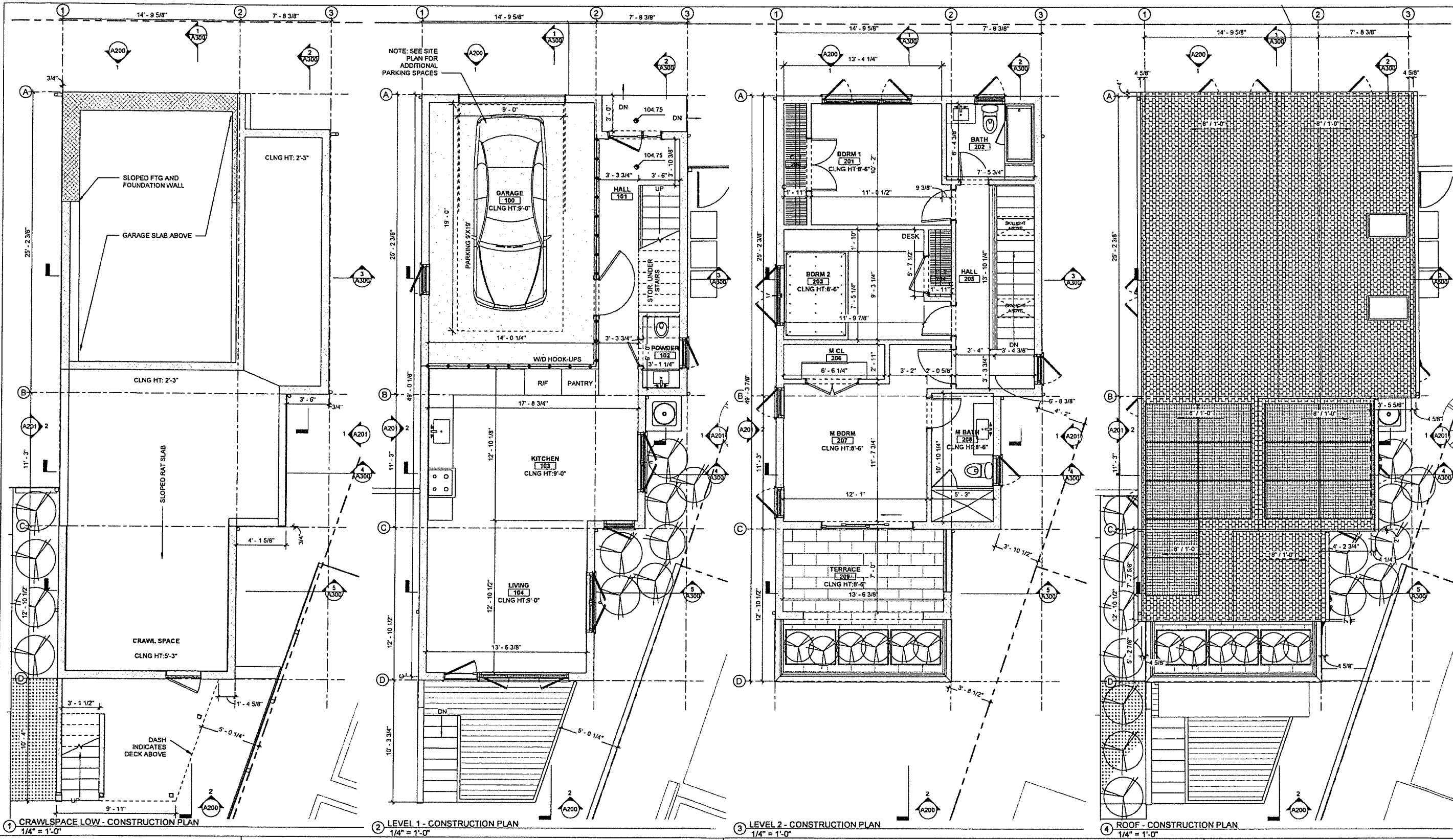
SIMENIC RESIDENCE
XX HILL AVE, FAIRFAX, CA 94930



DATE	REVISIONS
11/22	DESIGN REVIEW

DRAWING TITLE
STORYPOLE PLAN

SHEET
A103



GENERAL PLAN NOTES FOR PLANNING DEPARTMENT

- FOR ADDITIONAL PARKING SPACES AT DRIVEWAY SEE SITEPLAN. ONLY GARAGE PARKING SHOWN IN THESE PLANS.
- THE LEVEL 2 TERRACE HAS BEEN OMITTED PER DEFINITION OF "FLOOR AREA" IN THE ZONING CODE.

AREAS PER FLOOR:	TOTALS:		
LEVEL 1 HABITABLE:	6045F	HABITABLE:	1,3185F
LEVEL 1 GARAGE:	3345F	GARAGE:	3345F
LEVEL 2 HABITABLE:	7145F		

CONSTRUCTION PLAN GENERAL NOTES

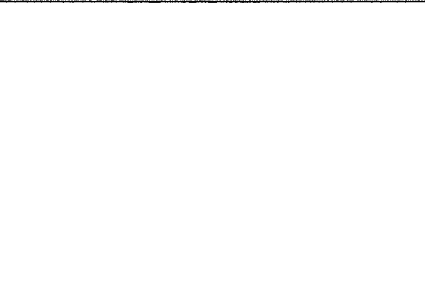
- BATT INSULATION AT ALL OPEN EXTERIOR WALLS PER TITLE 24 REQUIREMENTS.
- ACOUSTIC INSULATION AT ALL (N) INTERIOR WALLS AND FLOORS JOISTS WHERE ALL EXPOSED WALL AREAS, TYP.
- NEW GLASS LOCATED IN HAZARDOUS LOCATIONS SHALL BE TEMPERED (T) OR SAFETY GLASS PER U.B.C. SECTION 2406.4 INCLUDING GLAZING IN DOORS, GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SWINGING DOORS OTHER THAN WARDROBE DOORS, AND GLAZING IN ALL UNFRAMED SWINGING DOORS. ADDITIONALLY WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE.

PLUMBING NOTES:

- DISHWASHERS SHALL BE INSTALLED WITH AN APPROVED AIR GAP PER MANUFACTURER'S INSTRUCTIONS ON THE DISCHARGE SIDE OF THE MACHINE.
 - ALL HOSE BIBS SHALL BE PROTECTED WITH A LISTED NON-REMOVABLE BACKFLOW PREVENTER OR ATMOSPHERIC VACUUM BREAKER INSTALLED 6" MIN ABOVE THE HIGHEST POINT OF USAGE.
 - IF A RECIRCULATING DOMESTIC HOT WATER SYSTEM IS INSTALLED, THE RECIRCULATING SECTIONS SHALL BE INSULATED FOR THEIR ENTIRE LENGTH (R4 MIN UP TO 1 1/2" AND R6 MIN FOR 2" OR GREATER DIAMETER.)
- HVAC NOTES:**
- APPLY DUCT MASTIC ON ALL HVAC DUCT JOINTS AND SEAMS.
 - VENTILATE BATHROOMS PER CMC. TYP. FANS TO BE ENERGY STAR PER HWI STANDARDS WITH HUMIDITY/MOISTURE SENSOR (SEE SPEC.) AIR FLOW TO BE VERIFIED.
 - RANGE HOOD FAN TO BE 100 CFM MIN.
 - HVAC TO MEET ASHRAE 62.2-2010 VENTILATION RESIDENTIAL STANDARDS
 - HVAC FILTER TO BE HIGH EFFICIENCY (MERV 8+)
 - HOT WATER HEATER TO PROVIDE 80 GALLONS MINIMUM AT FIRST HOUR RECOVERY RATE

CONSTRUCTION KEYNOTES

WALL LEGEND



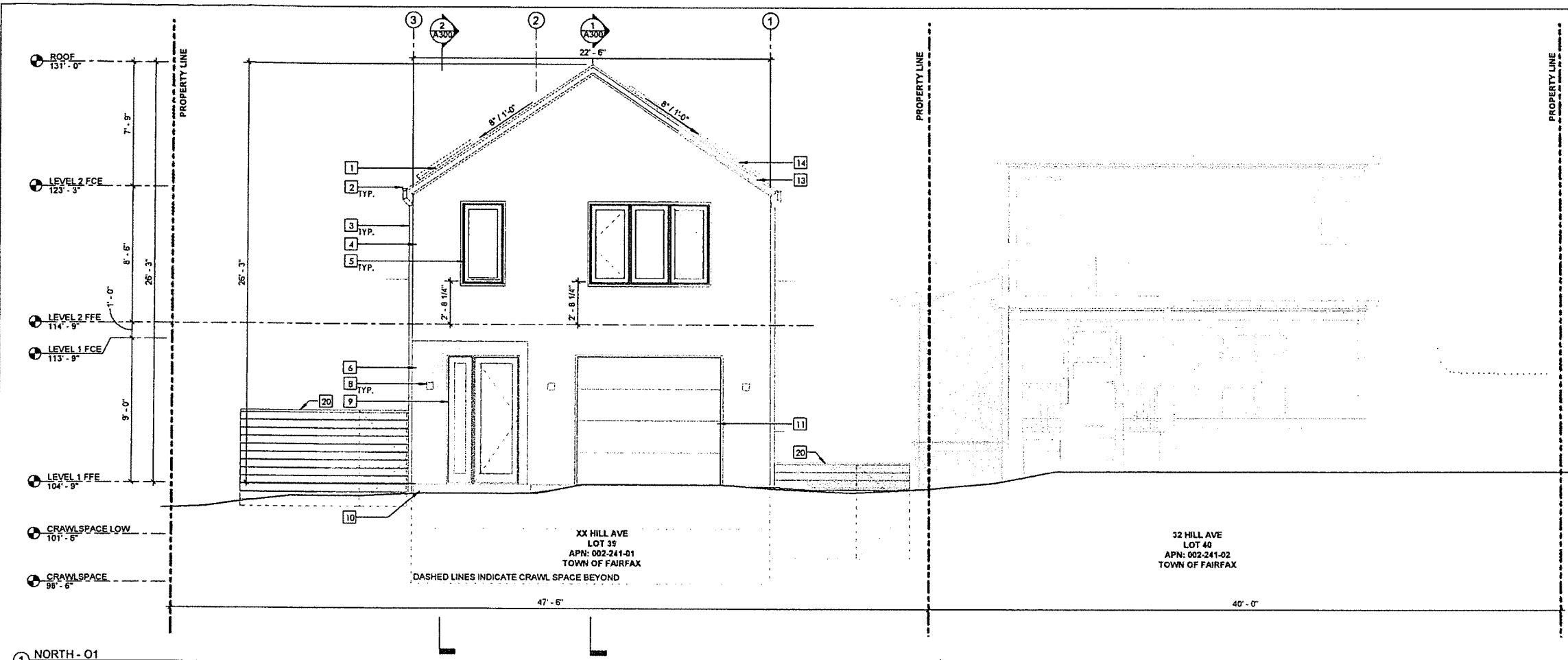
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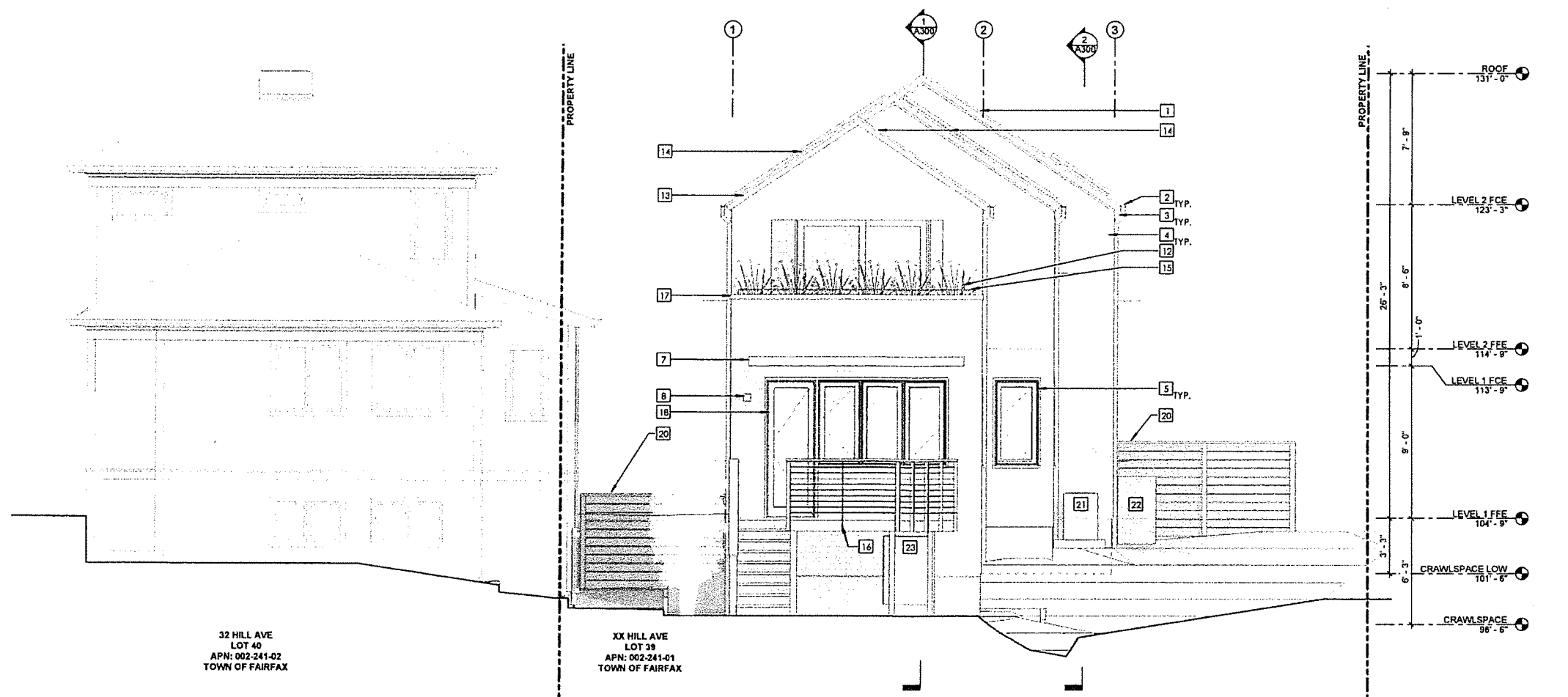


4/01/22 DESIGN REVIEW
 DATE REMARKS
 REVISIONS
 DRAWING TITLE
FLOORPLANS

SHEET
A110



1 NORTH - 01
1/4" = 1'-0"



2 SOUTH
1/4" = 1'-0"

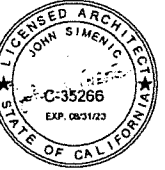
ELEVATION GENERAL NOTES
- TO SEE HOW BUILDING COMPLIES WITH THE 28'-6" HEIGHT LIMIT PLEASE SEE BUILDING SECTIONS.

ELEVATION KEYNOTES

NO.	NOTE
1	COMPOSITION SHINGLE ROOF - CERTANTEED LANDMARK PRO, MOIRE BLACK
2	HALF-ROUND COPPER GUTTER. SIZE AS REQ'D FOR PROPER ROOF DRAINAGE.
3	CIRCULAR PROFILE DOWNSPOUT, SIZED AS REQ'D, FULLY-WELDED COPPER
4	4" HORIZONTAL SHIPLAP WD OR HARDIE PLANK SIDING
5	ALUM. CLAD, WOOD WINDOW.
6	VERTICAL T&G WD SIDING @ ENTRY PORCH.
7	METAL FASCIA @ FRONT OF AWNING TO MATCH ALUM. CLAD WINDOWS. UNDERSIDE OF AWNING TO BE T&G, CLEAR GRADE, WESTERN RED CEDAR.
8	EXTERIOR SCONCE WHICH ONLY CASTS LIGHT DOWNWARD SO AS TO PREVENT LIGHT POLLUTION. SPEC: TECH LIGHTING, PITCH SINGLE WALL SCONCE
9	SINGLE-PANEL, PAINTED WOOD FRONT DOOR AND GLASS SIDELITE
10	ACID-WASHED CONCRETE ENTRY PORCH, SLOPED TO DRAIN.
11	FLAT-PANEL, PAINTED WOOD GARAGE DOOR.
12	PREFAB. METAL PLANTER BOXES CONCEALED BEHIND STUCCO PARAPET HOOKED INTO IRRIGATION SYSTEM. SEE PLANS.
13	PAINTED WOOD FASCIA
14	SOLAR PANELS. SEE ROOF PLAN. FINAL PLACEMENT TBD BY SOLAR COMPANY.
15	PNT METAL RAILING
16	STEEL RAILING BALUSTERS W/ STAINED WD TOP CAP AND STEEL WIRE INFILL.
17	PAINTED WD PARAPET CAP
18	ALUM. CLAD WOOD DOOR
19	PLANTING - TALL SHRUBS. SEE LANDSCAPE PLAN.
20	HORIZONTAL-CLAD WOOD FENCE. SEE SITE-PLAN.
21	A/C CONDENSER
22	WASTE BINS
23	CRAWL SPACE ACCESS HATCH
24	SKYLIGHTS, VELUX OR EQ.

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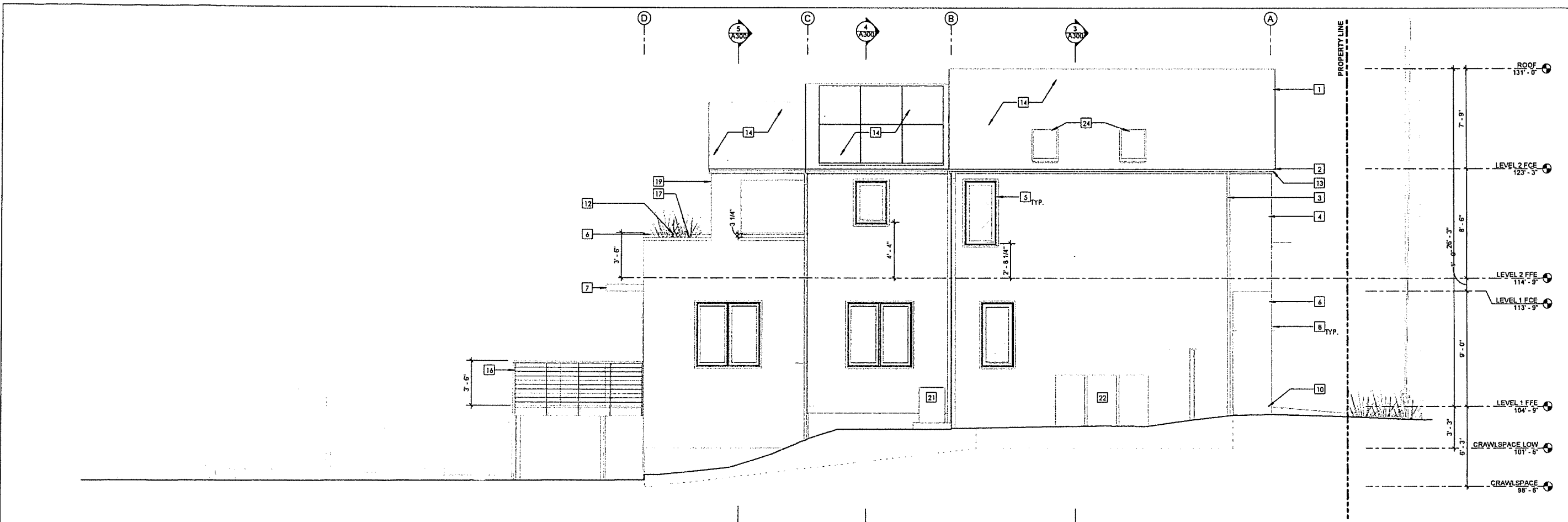
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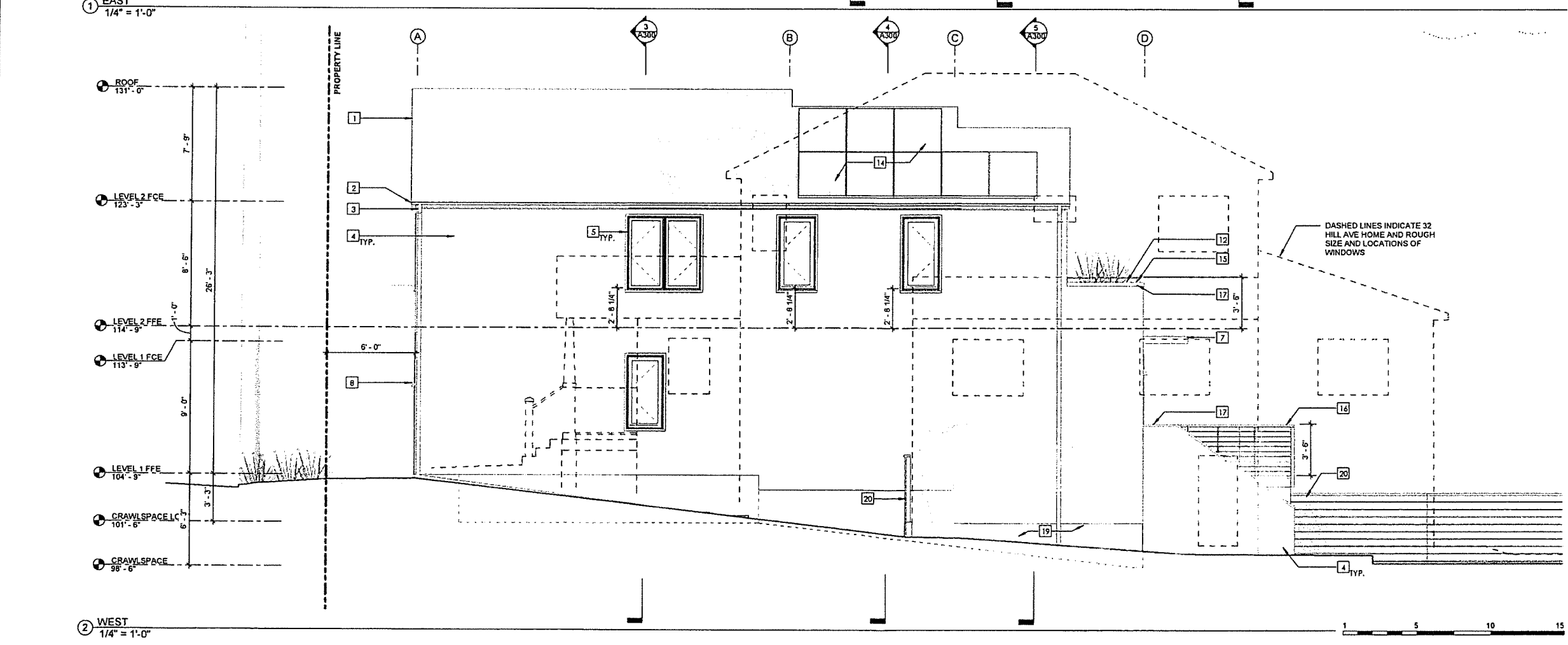
DATE	REVISIONS	REMARKS
4/01/22	DESIGN REVIEW	

DRAWING TITLE
ELEVATIONS - NORTH AND SOUTH

SHEET
A200



1 EAST
1/4" = 1'-0"



2 WEST
1/4" = 1'-0"

ELEVATION GENERAL NOTES

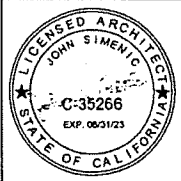
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ELEVATION KEYNOTES

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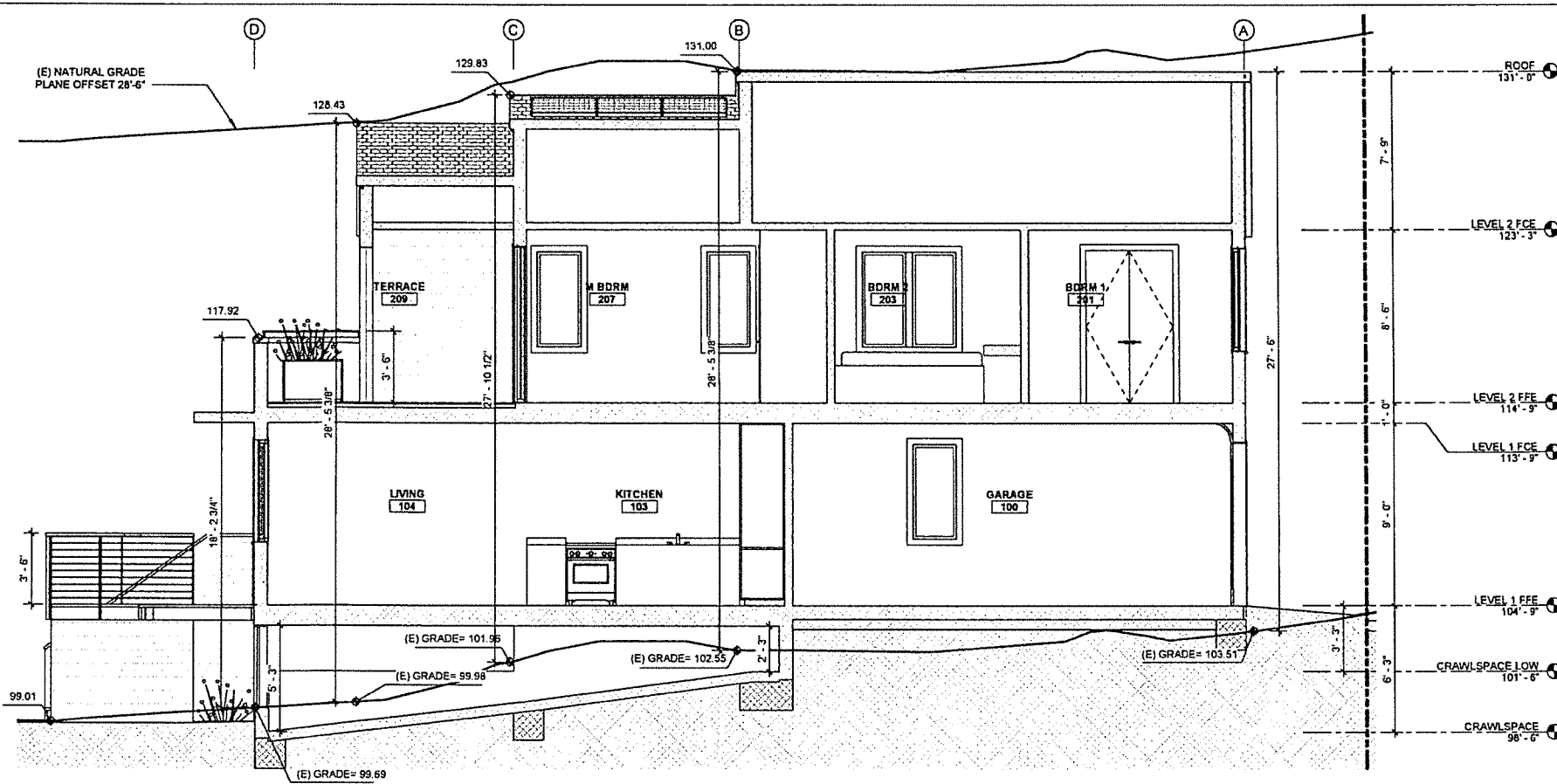
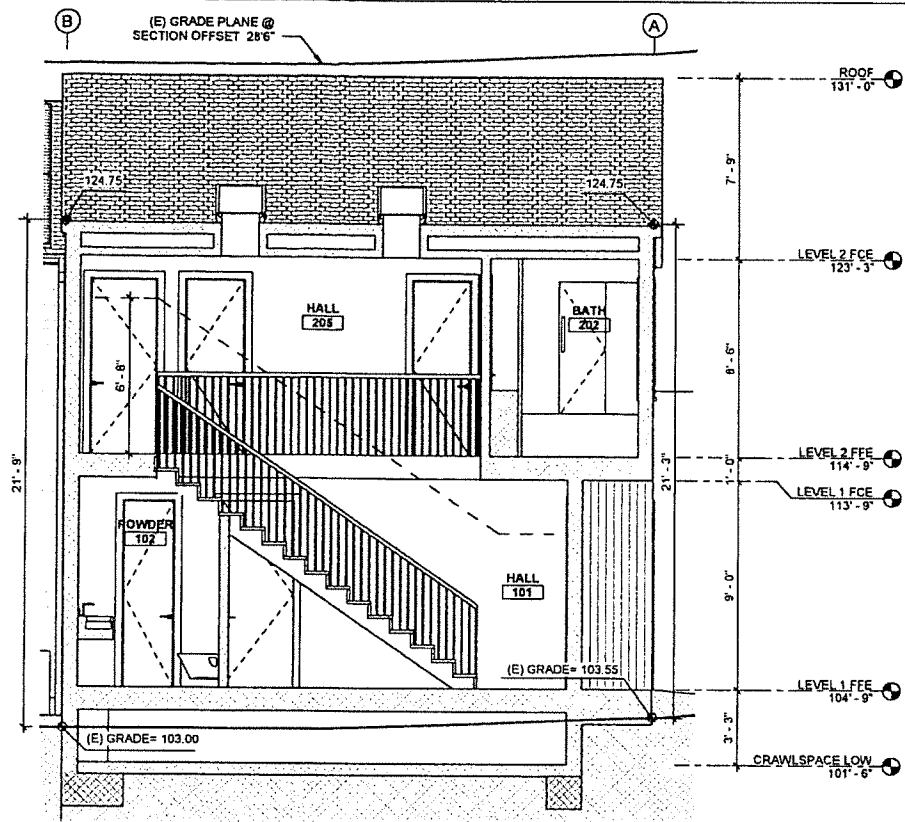
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DATE	REVISIONS	REMARKS
01/22	DESIGN REVIEW	

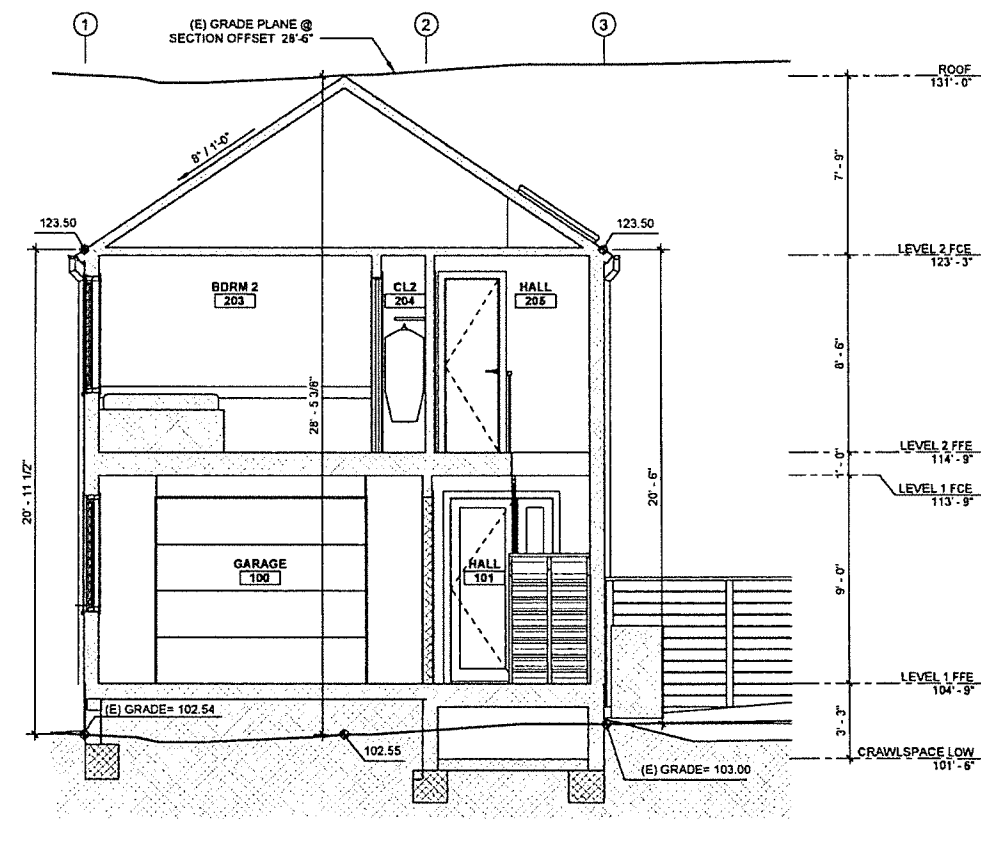
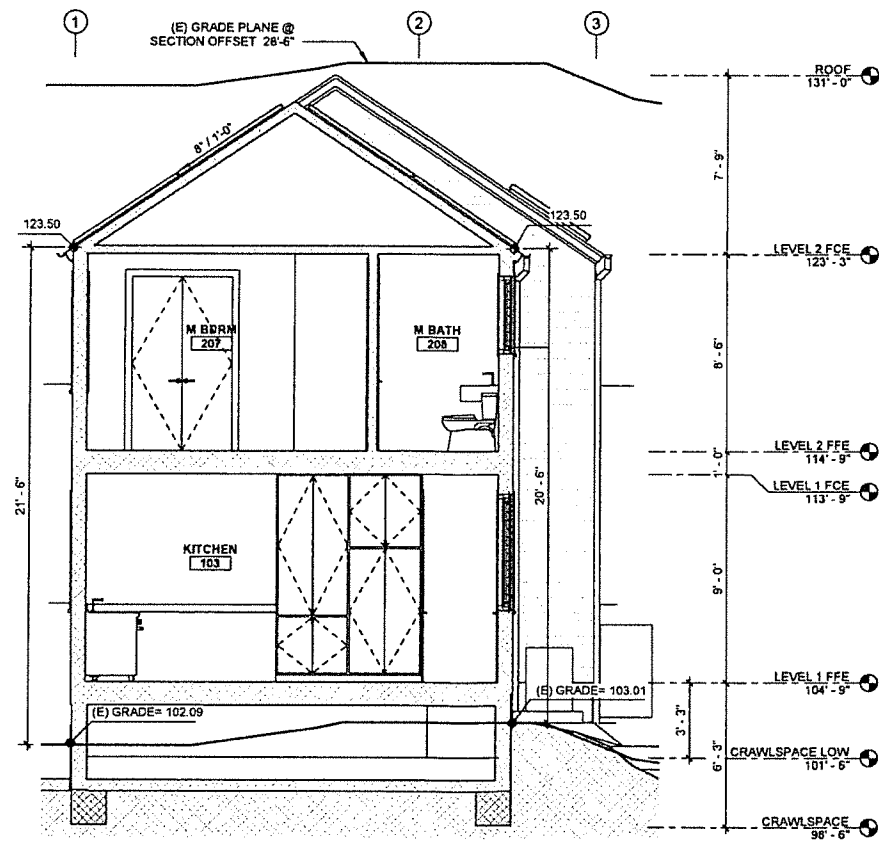
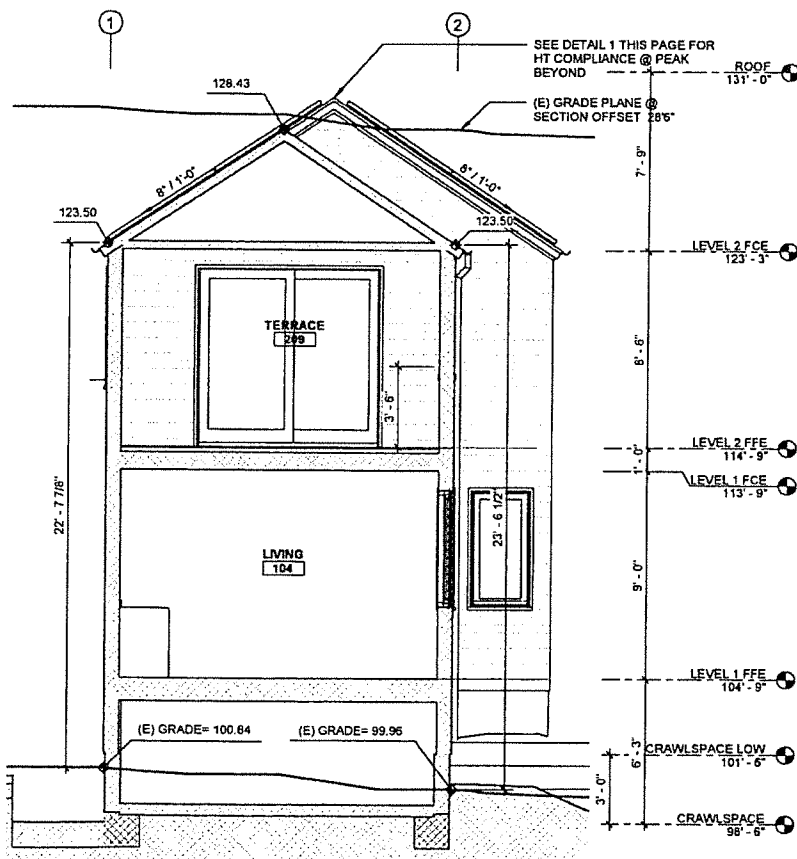
CRAWLING TITLE
ELEVATIONS - EAST AND WEST

SHEET
A201



2 LONGITUDINAL 2
1/4" = 1'-0"

1 LONGITUDINAL 1
1/4" = 1'-0"



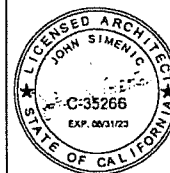
5 CROSS SECTION 3
1/4" = 1'-0"

4 CROSS SECTION 2
1/4" = 1'-0"

3 CROSS SECTION 1
1/4" = 1'-0"

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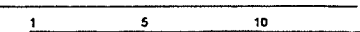
DATE	REVISIONS	REMARKS
01.22	DESIGN REVIEW	

DRAWING TITLE

SECTIONS

SHEET

A300



GRADING AND DRAINAGE NOTES

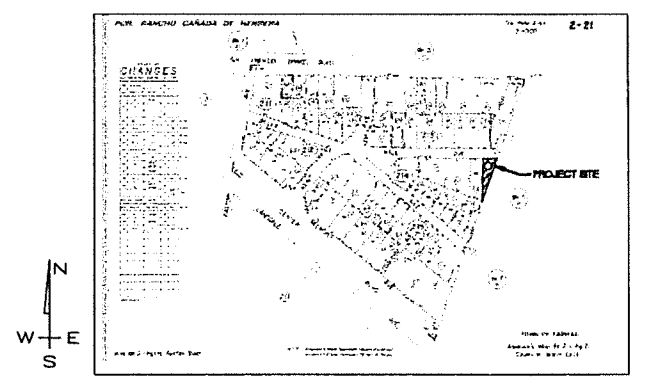
- PERFORM GRADING AND DRAINAGE IMPROVEMENTS IN ACCORDANCE WITH CURRENT EDITION OF THE CALIFORNIA BUILDING CODE (CBC), APPENDIX J, APPLICABLE TOWN OF FAIRFAX CODE AND REGULATIONS AND, IF APPLICABLE, TO THE RECOMMENDATIONS OF THE SOILS REPORT PREPARED BY MURRAY ENGINEERS, INC. DATED NOVEMBER 2021.
- ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE APPROVED PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF RECORD UPON DISCOVERING DISCREPANCIES, ERRORS, OR OMISSIONS IN THE PLANS. PRIOR TO PROCEEDING, THE OWNER SHALL HAVE THE PLANS REVISED TO CLARIFY IDENTIFIED DISCREPANCIES, ERRORS, OR OMISSIONS. THE APPROVED PLANS AND SPECIFICATIONS SHALL NOT BE CHANGED WITHOUT THE WRITTEN APPROVAL OF THE TOWN OF FAIRFAX BUILDING DEPARTMENT. PROPOSED MODIFICATIONS TO THE APPROVED PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE PERMIT AUTHORITY IN WRITING, TOGETHER WITH ALL NECESSARY TECHNICAL INFORMATION AND DESIGN DETAILS.
- THE GRADING/DRAINAGE PERMIT AND AN APPROVED COPY OF THE GRADING/DRAINAGE PLANS SHALL BE MAINTAINED ON THE PROJECT SITE THROUGHOUT THE DURATION OF CONSTRUCTION ACTIVITIES.
- TOWN OF FAIRFAX BUILDING DEPARTMENT MAY ORDER THAT ANY WORK STOP IMMEDIATELY IF IT IS PERFORMED CONTRARY TO CBC APPENDIX J, TOWN OF FAIRFAX CODE AND REGULATIONS, THE APPROVED PLANS AND SPECIFICATIONS, PERMIT CONDITIONS, OR ANY WORK THAT HAS BECOME HAZARDOUS TO PROPERTY OR THE PUBLIC.
- ISSUANCE OF A GRADING/DRAINAGE PERMIT BY TOWN OF FAIRFAX DOES NOT ELIMINATE THE RESPONSIBILITY OF THE OWNER TO SECURE PERMITS FROM OTHER AGENCIES WITH REGULATORY RESPONSIBILITIES FOR THE CONSTRUCTION ACTIVITIES ASSOCIATED WITH THE WORK ON THESE PLANS. FAILURE TO OBTAIN ALL REQUIRED PERMITS MAY RESULT IN FINES FROM THE RESPECTIVE AGENCY.
- EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE AND LOCATED THROUGHOUT THIS SITE SHALL REMAIN OPEN AND CLEAR OF DEBRIS TO PROPERLY CONVEY STORM WATER. IF EXISTING DRAINAGE COURSES RECEIVING WATERS FROM THIS SITE ARE LOCATED IN CITY RIGHT-OF-WAY AND NEED MAINTENANCE CONTACT TOWN OF FAIRFAX PUBLIC WORKS AT (415) 453-1584 FOR FURTHER ASSISTANCE. IN ANY EVENT, THE OWNER AND/OR CONTRACTOR SHALL BE HELD LIABLE FOR ANY DAMAGE DUE TO OBSTRUCTING NATURAL DRAINAGE PATTERNS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING UNDERGROUND SERVICE ALERT (U.S.A.), TOLL FREE AT 1-800-642-2444, AT LEAST TWO WORKING DAYS BUT NOT MORE THAN 14 CALENDAR DAYS PRIOR TO EXCAVATION. THE CONTRACTOR SHALL UNCOVER RELEVANT UTILITIES TO VERIFY THEIR LOCATION AND ELEVATION. IF UNEXPECTED OR CONFLICTING UTILITIES ARE ENCOUNTERED DURING EXCAVATION, NOTIFY U.S.A., THE UTILITY OWNER, AND/OR THE ENGINEER OF RECORD IMMEDIATELY. UTILITIES INCLUDE BUT ARE NOT LIMITED TO WATER, SEWER, ELECTRICAL, GAS, TELEPHONE, AND CABLE/TV. IF PRACTICAL, THE EXCAVATOR SHALL DELINEATE WITH WHITE PAINT OR OTHER SUITABLE MARKINGS THE AREA TO BE EXCAVATED.
- IN THE EVENT CULTURAL RESOURCES (I.E. HISTORICAL, ARCHAEOLOGICAL, AND PALEONTOLOGICAL RESOURCES, AND HUMAN REMAINS) ARE DISCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL IMMEDIATELY BE HALTED WITHIN THE VICINITY OF THE FIND. THE NORTHWEST INFORMATION CENTER SHALL BE NOTIFIED AT (707) 664-0880. A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE TOWN OF FAIRFAX PER THE ARCHAEOLOGIST'S RECOMMENDATIONS. IF HUMAN BURIALS OR HUMAN REMAINS ARE ENCOUNTERED, THE CONTRACTOR SHALL ALSO NOTIFY THE COUNTY CORNER AT (415) 499-6043.
- SHOULD GRADING OPERATIONS ENCOUNTER HAZARDOUS MATERIALS, OR WHAT APPEAR TO BE HAZARDOUS MATERIALS, STOP WORK IMMEDIATELY IN THE AFFECTED AREA AND CONTACT 911 OR THE APPROPRIATE AGENCY FOR FURTHER INSTRUCTION.
- RETAINING WALLS, UNLESS EXEMPTED, ARE NOT APPROVED UNDER A GRADING PERMIT. A SEPARATE BUILDING PERMIT IS REQUIRED.
- EQUIPMENT SHALL NOT CROSS OR DISTURB CHANNELS OF ACTIVELY FLOWING STREAMS WITHOUT MARIN COUNTY APPROVED PERMIT AND BEST MANAGEMENT PRACTICES.
- GRADING AND DRAINAGE IMPROVEMENTS SHALL BE SET BACK FROM STREAMS, LAKES, PONDS, AND WETLANDS IN COMPLIANCE WITH CITY REQUIREMENTS. EXISTING VEGETATION RETAINED IN STREAM SETBACK AREAS TO FILTER SOIL AND OTHER POLLUTANTS CARRIED IN STORMWATER.
- EXCESS SOIL SHALL BE REMOVED FROM THE SITE UNLESS DEPICTED TO REMAIN ON SITE PER THE APPROVED PLAN. THE SITE RECEIVING SOIL MAY REQUIRE A GRADING PERMIT UNLESS EXEMPTED.
- CONTOURS, ELEVATIONS, AND SHAPES OF FINISHED SURFACES SHALL BE BLENDED WITH ADJACENT NATURAL TERRAIN TO ACHIEVE A CONSISTENT GRADE AND NATURAL APPEARANCE. THE TOP OF CUT SLOPES SHALL BE ROUNDED OFF TO BLEND WITH THE NATURAL TERRAIN. BORDERS OF CUT SLOPES AND FILLS SHALL BE ROUNDED OFF TO A MINIMUM RADIUS OF 5-FEET TO BLEND WITH THE NATURAL TERRAIN.
- FILL MATERIAL SHALL NOT INCLUDE ORGANIC, FROZEN, OR OTHER DELETERIOUS MATERIALS. NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL GREATER THAN 6 INCHES IN ANY DIMENSION SHALL BE INCLUDED IN FILLS EXCEPT WHERE APPROVED BY THE SOILS ENGINEER. FILLS SHALL BE CONSTRUCTED IN LIFTS NOT EXCEEDING 8 INCHES IN DEPTH. COMPLETED FILLS SHALL BE STABLE, WELL-INTEGRATED, AND BONDED TO ADJACENT MATERIALS AND THE MATERIALS ON WHICH THEY REST. FILLS SHALL BE COMPACTED TO SUPPORT ANTICIPATED LOADS AND BE STABLE AT THE DESIGN SLOPES SHOWN ON THE APPROVED PLANS AND SPECIFICATIONS OR AS DIRECTED BY THE SOILS ENGINEER.
- GROUND SURFACES SHALL BE PREPARED TO RECEIVE FILL BY REMOVING VEGETATION, TOPSOIL, AND OTHER UNSUITABLE MATERIALS, AND SCARIFYING THE GROUND TO PROVIDE A BOND WITH THE FILL MATERIAL.
- FILL SHALL NOT BE PLACED ON NATURAL SLOPES STEEPER THAN 2H:1(SO2).
- FILLS INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D 1557, MODIFIED PROCTOR. HIGHER COMPACTION PERCENTAGE MAY BE REQUIRED BY THE SOILS ENGINEER.
- FILLS NOT INTENDED TO SUPPORT STRUCTURES OR SURCHARGES SHALL BE COMPACTED AS FOLLOWS: (1) FILL GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY SPECIFIED BY THE SOILS ENGINEER. (2) FILLS NO GREATER THAN 3 FEET IN DEPTH SHALL BE COMPACTED TO THE DENSITY NECESSARY FOR THE INTENDED USE OR AS DIRECTED BY THE SOILS ENGINEER.
- ANY DISCREPANCY DISCOVERED BY CONTRACTOR IN THESE PLANS OR ANY FIELD CONDITIONS DISCOVERED BY CONTRACTOR THAT MAY DELAY OR OBSTRUCT THE PROPER COMPLETION OF THE WORK PER THESE PLANS SHALL BE BROUGHT TO THE ATTENTION OF THE CIVIL ENGINEER AND OWNER IMMEDIATELY UPON DISCOVERY. NOTIFICATION SHALL BE IN WRITING.

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

- PERFORM EROSION PREVENTION AND SEDIMENT CONTROL IN ACCORDANCE WITH THE TOWN OF FAIRFAX REGULATIONS, WHICH FOLLOWS BEST MANAGEMENT PRACTICES (BMPs) AS SPECIFIED IN THE CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) MANUAL.
 - EROSION/SEDIMENT CONTROL MEASURES MUST BE INSTALLED AS THE FIRST ORDER OF WORK.
 - THE APPROVED PLANS SHALL CONFORM WITH TOWN OF FAIRFAX EROSION CONTROL REQUIREMENTS.
 - THE OWNER IS RESPONSIBLE FOR PREVENTING STORM WATER POLLUTION GENERATED FROM THE CONSTRUCTION SITE YEAR ROUND. WORK SITES WITH INADEQUATE EROSION AND SEDIMENT CONTROL MAY BE SUBJECT TO A STOP WORK ORDER.
 - IF DISCREPANCIES OCCUR BETWEEN THESE NOTES, MATERIAL REFERENCED HEREIN OR MANUFACTURER'S RECOMMENDATIONS, THEN THE MOST PROTECTIVE SHALL APPLY.
- RAINY SEASON OPERATIONS**
- THE OWNER MUST IMPLEMENT AN EFFECTIVE COMBINATION OF EROSION PREVENTION AND SEDIMENT CONTROL ON ALL DISTURBED AREAS DURING THE RAINY SEASON (OCTOBER 15 - APRIL 15). CONSTRUCTION GRADING AND DRAINAGE IMPROVEMENT SHALL BE PERMITTED DURING THE RAINY SEASON ONLY WHEN ON-SITE SOIL CONDITIONS PERMIT THE WORK TO BE PERFORMED IN COMPLIANCE WITH TOWN OF FAIRFAX STANDARD SPECIFICATIONS. STORM WATER BMPs REFERENCED OR DETAILED IN THE PERMIT AUTHORITY'S BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED AND FUNCTIONAL ON THE SITE AT ALL TIMES.
 - THE AREA OF ERODIBLE LAND EXPOSED AT ANY ONE TIME DURING THE WORK SHALL NOT EXCEED 1 ACRE OR 20% OF THE PERMITTED WORK AREA, WHICHEVER IS GREATER, AND THE TIME OF EXPOSURE SHALL BE MINIMIZED TO THE MAXIMUM EXTENT PRACTICABLE.
- YEAR ROUND REQUIREMENTS**
- DURING THE NON-RAINY SEASON, ON ANY DAY WHEN THE NATIONAL WEATHER SERVICE FORECAST IS A CHANCE OF RAIN OF 30% OR GREATER WITHIN THE NEXT 24 HOURS, STORM WATER BMPs REFERENCED OR DETAILED IN BASMAA MANUAL OR WITHIN PLANS BEST MANAGEMENT PRACTICES GUIDE SHALL BE IMPLEMENTED, INSTALLED, AND FUNCTIONAL ON THE SITE TO PREVENT SOIL AND OTHER POLLUTANT DISCHARGES. AT ALL OTHER TIMES, BMPs SHOULD BE STORED ON SITE IN PREPARATION FOR INSTALLATION PRIOR TO RAIN EVENTS.
 - EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED BY THE OWNER BEFORE FORECASTED STORM EVENTS AND AFTER STORM EVENTS TO ENSURE MEASURES ARE FUNCTIONING AS INTENDED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT HAVE FAILED OR ARE NO LONGER EFFECTIVE SHALL BE PROMPTLY REPLACED. EROSION PREVENTION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED.
 - THE LIMITS OF GRADING SHALL BE DEFINED AND MARKED ON SITE TO PREVENT DAMAGE TO SURROUNDING VEGETATION. PRESERVATION OF EXISTING VEGETATION SHALL OCCUR TO THE MAXIMUM EXTENT PRACTICABLE. ANY EXISTING VEGETATION WITHIN THE LIMITS OF GRADING THAT IS TO REMAIN UNDISTURBED BY THE WORK SHALL BE IDENTIFIED AND PROTECTED FROM DAMAGE BY MARKING, FENCING, OR OTHER MEASURES.
 - CHANGES TO THE EROSION PREVENTION AND SEDIMENT CONTROL PLAN MAY BE MADE TO RESPOND TO FIELD CONDITIONS AND SHALL BE NOTED ON THE PLAN.
 - DISCHARGES OF POTENTIAL POLLUTANTS FROM CONSTRUCTION SITES SHALL BE PREVENTED USING SOURCE CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO SEDIMENT, TRASH, NUTRIENTS, PATHOGENS, PETROLEUM HYDROCARBONS, METALS, CONCRETE, CEMENT, ASPHALT, LIME, PAINT, STAINS, GLUES, WOOD PRODUCTS, PESTICIDES, HERBICIDES, CHEMICALS, HAZARDOUS WASTE, SANITARY WASTE, VEHICLE OR EQUIPMENT WASH WATER, AND CHLORINATED WATER.
 - ENTRANCES TO THE CONSTRUCTION SITE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF POTENTIAL POLLUTANTS OFFSITE. POTENTIAL POLLUTANTS DEPOSITED ON PAVED AREAS WITHIN THE COUNTY RIGHT-OF-WAY, SUCH AS ROADWAYS AND SIDEWALKS, SHALL BE PROPERLY DISPOSED OF AT THE END OF EACH WORKING DAY OR MORE FREQUENTLY AS NECESSARY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING CONSTRUCTION VEHICLES LEAVING THE SITE ON A DAILY BASIS TO PREVENT DUST, SILT, AND FILM FROM BEING RELEASED OR TRACKED OFFSITE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AT THE END OF EACH WORKING DAY OR MORE OFTEN AS NECESSARY.
 - ALL DISTURBED AREAS SHALL BE PROTECTED BY USING EROSION PREVENTION MEASURES TO THE MAXIMUM EXTENT PRACTICABLE. SUCH AS ESTABLISHING VEGETATION COVERAGE, HYDROSEEDING, STRAW MULCH, GEOTEXTILES, PLASTIC COVERS, BLANKETS OR MATS. TEMPORARY OR PERMANENT REVEGETATION SHALL BE INSTALLED AS SOON AS PRACTICAL AFTER VEGETATION REMOVAL BUT IN ALL CASES PRIOR TO OCTOBER 15. PRIOR TO FINAL INSPECTION, ALL DISTURBED AREAS SHALL BE REVEGETATED OR LANDSCAPING SHALL BE INSTALLED.
 - WHENEVER IT IS NOT POSSIBLE TO USE EROSION PREVENTION MEASURES ON EXPOSED SLOPES, SEDIMENT DEVICES SUCH AS FIBER ROLLS AND SILT FENCES SHALL BE INSTALLED TO PREVENT SEDIMENT MIGRATION. FIBER ROLLS AND SILT FENCES SHALL BE TRENCHED AND KEYED INTO THE SOIL AND INSTALLED ON CONTOUR. SILT FENCES SHALL BE INSTALLED APPROXIMATELY 2 TO 5 FEET FROM TOE OF SLOPE.
 - HYDROSEEDING SHALL BE CONDUCTED IN A THREE STEP PROCESS. FIRST, EVENLY APPLY SEED MIX AND FERTILIZER TO THE EXPOSED SLOPE. SECOND, EVENLY APPLY MULCH OVER THE SEED AND FERTILIZER. THIRD, STABILIZE THE MULCH IN PLACE, AN EQUIVALENT SINGLE STEP PROCESS, WITH SEED, FERTILIZER, WATER, AND BONDED FIBERS IS ACCEPTABLE.
- APPLICATIONS SHALL BE BROADCAST MECHANICALLY OR MANUALLY AT THE RATES SPECIFIED BELOW. SEED MIX AND FERTILIZER SHALL BE WORKED INTO THE SOIL BY ROLLING OR TAMPING. IF STRAW IS USED AS MULCH, STRAW SHALL BE DERIVED FROM WHEAT, RICE, OR BARLEY AND BE APPROXIMATELY 6 TO 8 INCHES IN LENGTH. STABILIZATION OF MULCH SHALL BE DONE HYDRAULICALLY BY APPLYING GELATION OR MECHANICALLY BY CRIMPING OR PUNCHING THE MULCH INTO THE SOIL. EQUIVALENT METHODS AND MATERIALS MAY BE USED ONLY IF THEY ADEQUATELY PROMOTE VEGETATION GROWTH AND PROTECT EXPOSED SLOPES.
- | MATERIALS | APPLICATION RATE (POUNDS PER ACRE) |
|---|------------------------------------|
| SEED MIX | |
| <i>Bromus nollis</i> (BLANDO BROD) | 40 |
| <i>Trifolium hybridum</i> (HYKON ROSE CLOVER) | 20 |
| FERTILIZER | |
| 16-20-0 & 15% SULPHUR | 500 |
| MULCH | |
| STRAW | 4000 |
| HYDRAULIC STABILIZER | |
| H-BINDER OR SENTINEL | 75-100 |
| EQUIVALENT MATERIAL | PER MANUFACTURER |
| NON-ASPHALTIC, DERIVED FROM PLANTS | |
- DUST CONTROL SHALL BE PROVIDED BY CONTRACTOR DURING ALL PHASES OF CONSTRUCTION.
 - STORM DRAIN INLETS SHALL BE PROTECTED FROM POTENTIAL POLLUTANTS UNTIL DRAINAGE CONVEYANCE SYSTEMS ARE FUNCTIONAL AND CONSTRUCTION HAS BEEN COMPLETED.
 - ENERGY DISSIPATORS SHALL BE INSTALLED AT STORM DRAIN OUTLETS WHICH MAY CONVEY EROSION STORM WATER FLOW.
 - SOIL, MATERIAL STOCKPILES, AND FERTILIZING MATERIAL SHALL BE PROPERLY PROTECTED TO MINIMIZE SEDIMENT AND POLLUTANT TRANSPORT FROM THE CONSTRUCTION SITE.
 - SOLID WASTE, SUCH AS TRASH, DISCARDED BUILDING MATERIALS AND DEBRIS, SHALL BE PLACED IN DESIGNATED COLLECTION AREAS OR CONTAINERS. THE CONSTRUCTION SITE SHALL BE CLEANED OF SOLID WASTE DAILY OR AS NECESSARY. REGULAR REMOVAL AND PROPER DISPOSAL SHALL BE COORDINATED BY THE CONTRACTOR.
 - A CONCRETE WASHOUT AREA, SUCH AS A TEMPORARY PIT, SHALL BE DESIGNATED TO CLEAN CONCRETE TRUCKS AND TOOLS. AT NO TIME SHALL CONCRETE PRODUCTS AND WASTE BE ALLOWED TO ENTER COUNTY WATERWAYS SUCH AS CREEKS OR STORM DRAINS. NO WASHOUT OF CONCRETE, MORTAR MIXERS, OR TRUCKS SHALL BE ALLOWED ON SOIL.
 - PROPER APPLICATION, CLEANING, AND STORAGE OF POTENTIALLY HAZARDOUS MATERIALS, SUCH AS PAINTS AND CHEMICALS, SHALL BE CONDUCTED TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - TEMPORARY RESTROOMS AND SANITARY FACILITIES SHALL BE LOCATED AND MAINTAINED DURING CONSTRUCTION ACTIVITIES TO PREVENT THE DISCHARGE OF POLLUTANTS.
 - APPROPRIATE VEHICLE STORAGE, FUELING, MAINTENANCE, AND CLEANING AREAS SHALL BE DESIGNATED AND MAINTAINED TO PREVENT DISCHARGE OF POLLUTANTS.

GRADING AND DRAINAGE PLAN

FOR
HILL AVENUE
FAIRFAX, CA
APN 002-214-01



AP MAP

OWNER
JOHN SIMENIC
15 RAMONA WAY
SAN ANSELMO, CA 94930
(415)-766-4088

CONTACT
DVC GROUP, INC.
510 CENTER STREET
HEALDSBURG, CA 95448
(707)-395-0969

PROJECT DESCRIPTION

CONSTRUCTION OF A NEW SINGLE FAMILY RESIDENCE, DECK, LANDSCAPING, AND ASSOCIATED GRADING AND DRAINAGE IMPROVEMENTS.

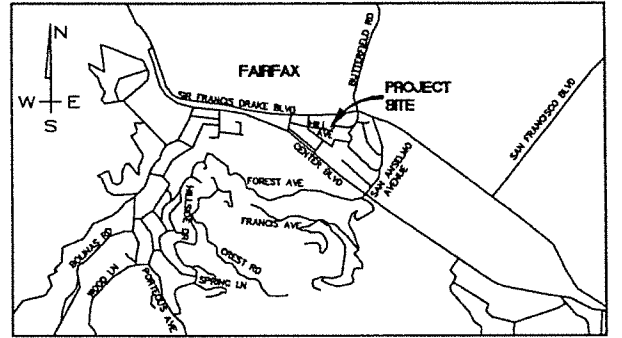
SURVEY NOTES

TOPOGRAPHIC INFORMATION SHOWN HEREIN IS FROM A TOPOGRAPHICAL SURVEY BY OBERKAMPER & ASSOCIATES CIVIL ENGINEERS, INC. DATED JUNE 3, 2021.

- THE LOCATION OF UNDERGROUND STRUCTURES AND UTILITIES SHOWN HEREIN HAS BEEN DETERMINED FROM SURFACE EVIDENCE OF THEIR EXISTENCE AND/OR FROM INFORMATION OBTAINED FROM PUBLIC AND/OR UTILITY AGENCIES. THE SURVEYOR ACCEPTS NO LIABILITY FOR THE LOCATION, EXISTENCE OR NON-EXISTENCE OF THOSE UNDERGROUND STRUCTURES, UTILITIES LINES AND RELATED APPURTENANCES, ANY INDIVIDUAL, COMPANY OR AGENCY USING THIS MAP MUST CONFIRM THE LOCATION OF ALL UNDERGROUND LINES OR STRUCTURES PRIOR TO COMMENCING ANY EXCAVATION.
- THE CONTENT OF THIS MAP WAS DEFINED BY CONTRACT AT THE SPECIFIC REQUEST OF THE CLIENT(S) AND/OR THEIR CONSULTANT(S). THE SURVEYOR ACCEPTS NO LIABILITY FOR USE OF THIS MAP BY ANY ONE OTHER THAN THE CLIENT(S) AND/OR CONSULTANTS FOR WHOM IT WAS PREPARED.
- BOUNDARY INFORMATION SHOWN HEREON IS BASED ON A RECORD OF SURVEY PERFORMED BY OBERKAMPER & ASSOCIATES CIVIL ENGINEERS, INC.
- BENCHMARK: THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83) VIA RTK CONNECTED TO CRIN.
- BOUNDARY NOTE: THE BOUNDARY SHOWN ON THIS MAP IS AS SHOWN ON THE "RECORD OF SURVEY MAP, LOT 39, FAIRFAX TRACT, RECORDED MAP 2 AT PAGE 114" SUBMITTED TO THE COUNTY SURVEYOR AND RECORDED ON OCTOBER 29, 2021.
- ALL TREES SHOWN HEREON REFLECT THEIR HORIZONTAL GROUND LOCATIONS. DIAMETERS WERE MEASURED AT BREAST HEIGHT.

ABBREVIATIONS/LEGEND

AB	AGGREGATE BASE	PDE	PRIVATE STORM DRAIN EASEMENT	---	PROPERTY LINE
AC	ASPHALT CONCRETE	PV	POST INDICATOR VALVE	---	NEIGHBORING PROPERTY LINE
ANG	ANGLE	POC	POINT OF CONNECTION	---	CENTERLINE
BC	BEGIN CURVE	PSE	PRIVATE SEWER EASEMENT	---	BUILDING LINE
BD	BLOW-OFF	PT	POINT OF TANGENCY	---	GRAVEL DRIVEWAY
BSL	BUILDING SETBACK LINE	PUE	PUBLIC UTILITY EASEMENT	---	EDGE OF PAVING
BSV	BACK OF SIDEWALK	PVC	POLY(VINYL)CHLORIDE PIPE	---	CONCRETE CURB & GUTTER
BVC	BEGIN VERTICAL CURVE	PVT	PRIVATE	---	STRAW WATTLE
BV	BOTTOM OF RETAINING WALL	R	RADIUS	---	SANITARY SEWER LINE & SIZE
CB	CATCH BASIN	R/W	RIGHT OF WAY	---	EXISTING OVER HEAD WIRES
CNC	CONCRETE	REP	REINFORCED CONCRETE PIPE	---	EXISTING FENCE LINE (TYPE VARIES)
CPP	CORRUGATED PLASTIC PIPE	RET	RETAINING WALL	---	BRUSH LINE OF TREE OR
CR	CURB RETURN	RFP	REDUCED PRESSURE BACK FLOW PREVENTER	---	BRUSH LINE
DI	DROP INLET	S&D	SEE ARCHITECTURAL DESIGN	---	SURFACE FLOW DIRECTION
DIP	DUCTILE IRON PIPE	SD	STORM DRAIN	---	PROPOSED STORM DRAIN
DVW	DRIVEWAY	SDC	STORM DRAIN CLEANOUT	---	PROPOSED ROOF DRAIN
EC	END CURVE	SDI	STORM DRAIN DROP INLET	---	
EG	EXISTING GROUND	SDE	PUBLIC STORM DRAIN EASEMENT	---	
ELEV	ELEVATION	SE	SEWER	---	
EP	EDGE OF PAVEMENT	SLD	SEE LANDSCAPE DESIGN	---	
ESMT	EASEMENT	S&S	SEE STRUCTURAL DESIGN	---	
EVC	END VERTICAL CURVE	SS	SANITARY SEWER	---	
(E)EX	EXISTING	SSA	SANITARY SEWER CLEANOUT	---	
FC	FACE OF CURB	SSM	SANITARY SEWER MANHOLE	---	
FG	FINISH GRADE	ST	STATION	---	
FS	FINISH SURFACE	STD	STANDARD	---	
GB	GRADE BREAK	SV	SIDEWALK	---	
HDPE	HIGH DENSITY POLYETHYLENE	SW	SIDEWALK EASEMENT	---	
HT	HEIGHT	TC	TOP OF CURB	---	
HM	HARIN CO. SEWER DISTRICT	TG	TOP OF GRATE	---	
MWD	MARIN MUNICIPAL WATER DISTRICT	TV	TOP OF RETAINING WALL	---	
PAE	STANDARD CITY MONUMENT PRIVATE ACCESS	TV	TYPICAL	---	
PC	PORTLAND CEMENT CONCRETE	UNO	UNLESS NOTED OTHERWISE	---	
PCC	PORTLAND CEMENT CONCRETE	UNO	UNLESS NOTED OTHERWISE	---	
		V	VERTICAL CURVE	---	



LOCATION MAP

PROJECT SPECIFIC NOTES

- ALL IMPROVEMENTS WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE UNIFORM CONSTRUCTION STANDARDS OF ALL CITIES AND COUNTY OF MARIN UNLESS NOTED OTHERWISE.
- ALL CRACKED, BROKEN OR LIFTED SIDEWALK AND/OR CURB/GUTTER FRONTING THE PROPERTY SHALL BE REPLACED APPLICANT SHALL COORDINATE WITH THE DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF THE PROJECT IMPROVEMENTS TO IDENTIFY THE EXTENTS AND LIMITS OF SIDEWALK REPLACEMENT. CONTACT DPV AT (415) 453-1584 FOR FURTHER INFORMATION.
- SHOULD CURB/GUTTER REQUIRE REPLACEMENT, CURB/GUTTER SHALL BE REPLACED WITH NEW CONCRETE CURB, GUTTER AND/OR DRIVEWAY APRON TO ENSURE PROPER DRAINAGE IS MAINTAINED. NEW CONCRETE GUTTER TO MATCH EXISTING CONCRETE GUTTER AND MAY REQUIRE ADDITIONAL ASPHALT TO MATCH EXISTING FLOW LINE. DRIVEWAY, CURB AND GUTTER ARE TO BE COORDINATED WITH DEPARTMENT OF PUBLIC WORKS PRIOR TO START OF CONSTRUCTION. CONTACT DPV AT (415) 453-1584.
- AN ENCROACHMENT PERMIT (REVOCABLE) IS REQUIRED FROM THE PUBLIC WORKS DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY. SHALL A REVOCABLE ENCROACHMENT PERMIT BE REQUIRED, IT SHALL BE RECORDED AT THE TOWN OF FAIRFAX RECORDER'S OFFICE PRIOR TO ANY CONSTRUCTION IN THE RIGHT-OF-WAY.
- AN ENCROACHMENT SECURITY IN THE FORM OF A CERTIFICATE OF DEPOSIT (CD) OR CASH IN THE AMOUNT OF WORK TO BE CONSTRUCTED IN THE RIGHT-OF-WAY SHALL BE SUBMITTED TO THE PUBLIC WORKS DEPARTMENT WITH THE ENCROACHMENT PERMIT.
- APPLICANT IS RESPONSIBLE FOR USING BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY (GENERAL CONSTRUCTION AND SITE SUPERVISION) BROCHURE AVAILABLE AT THE DEPARTMENT OF PUBLIC WORKS TO PREVENT STORM WATER POLLUTION. APPLICANT SHALL BE RESPONSIBLE FOR ALL ENVIRONMENTAL DAMAGE RESULTING FROM THE CONSTRUCTION OF THIS PROJECT.
- ALL CONSTRUCTION MATERIAL, DEBRIS AND EQUIPMENT SHALL BE STORED ON SITE. IF THAT IS NOT PHYSICALLY POSSIBLE, AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO PLACING ANY CONSTRUCTION MATERIALS, DEBRIS, DEBRIS BOXES OR UNLICENSED EQUIPMENT IN THE RIGHT-OF-WAY. THE FEE FOR USING THE RIGHT-OF-WAY FOR STORAGE OF CONSTRUCTION MATERIALS OR EQUIPMENT IS \$1000 PER DAY IN RESIDENTIAL AREAS, AND \$2000 PER DAY IN COMMERCIAL AREAS. A MINIMUM OF 12' PASSABLE AUTO TRAFFIC CLEARANCE (PAVED TRAVEL WAY) SHALL BE MAINTAINED AT ALL TIMES ALONG THE ROADWAY. THE PLACING OF PORTABLE REST ROOM FACILITIES IN THE CITY RIGHT-OF-WAY WILL NOT BE PERMITTED.
- ALL SITE DRAINAGE SHALL BE DISSIPATED IN A MANNER THAT PREVENTS EROSION AND CONFORMS TO CURRENT STORM WATER PRACTICES IN TOWN OF FAIRFAX. THE APPLICANT IS RESPONSIBLE FOR ENSURING STORM WATER RUNOFF IS MAINTAINED IN ITS NATURAL PATH.

EARTHWORK:

AREA	CUT	FILL	NET
HOUSE & GARAGE	70 CY	11 CY	59 CY CUT
SITE GRADING	81 CY	1 CY	80 CY CUT
TOTAL	151 CY	12 CY	139 CY CUT (OFFHAUL)

- NOTES:
- THE QUANTITIES LISTED ARE THE ENGINEER'S ESTIMATE OF SURFACE GRADING ONLY. ADDITIONAL SUBSURFACE GRADING WILL BE REQUIRED FOR BENCHING, KEYWAYS, ETC.
 - CONTRACTOR IS RESPONSIBLE FOR THEIR OWN EARTHWORK QUANTITIES.
 - NO EXPANSION/CONTRACTION FACTORS HAVE BEEN APPLIED. EXPANSION AND/OR CONTRACTION MAY BE EXPERIENCED DUE TO ACTUAL FIELD CONDITIONS.
 - ANY EXCESS MATERIAL SHALL BE DISPOSED OF ONSITE UNDER THE DIRECTION OF THE PROJECT SOILS ENGINEER AND COORDINATED WITH THE PROJECT CIVIL ENGINEER.
 - APPROX. DISTURBED AREA OF SITE 0.08_A6 (3444 SF)

INDEX OF DRAWINGS

C1	COVER SHEET
C2	GRADING AND DRAINAGE PLAN
C3	EROSION CONTROL PLAN AND DETAILS
C4	DETAILS

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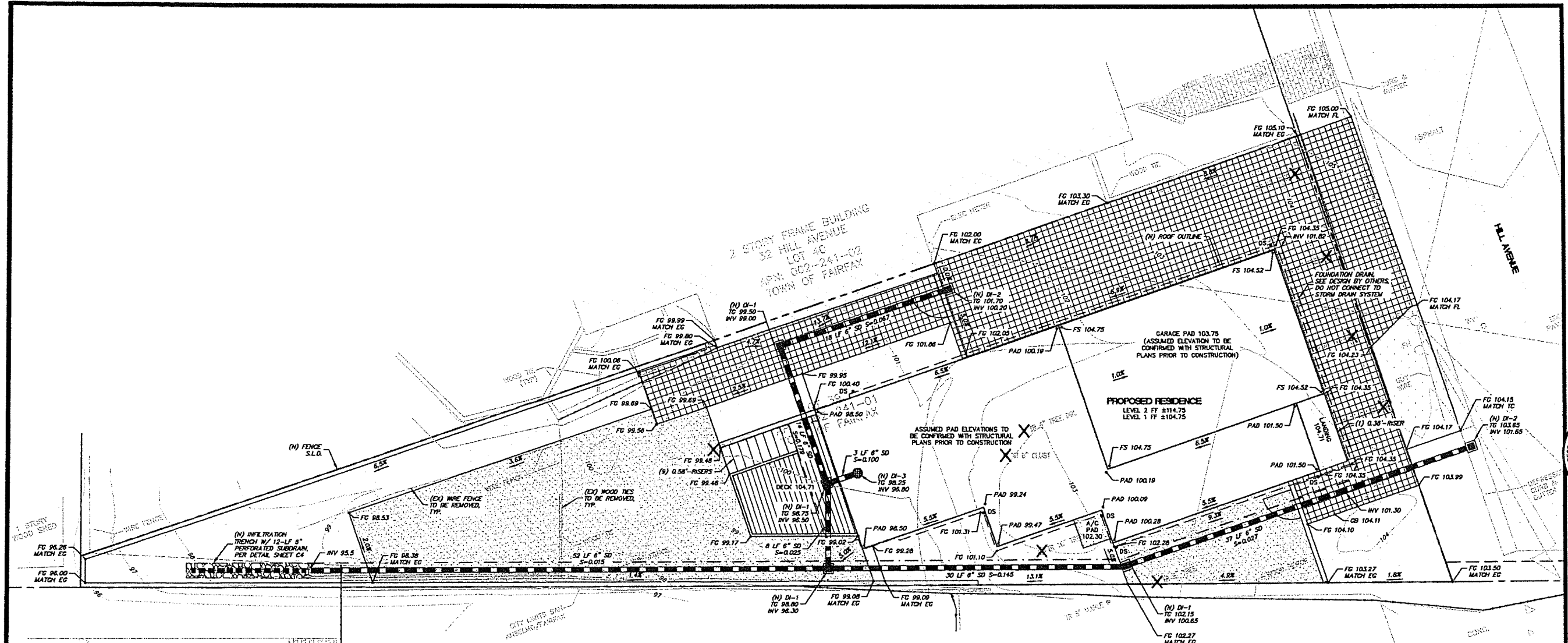
REVISION	DESCRIPTION	BY	DATE

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815 CENTER STREET
HEALDSBURG, CA 95448
(707) 395-0969

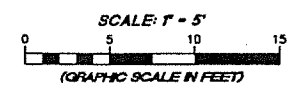
dvc
REGISTERED PROFESSIONAL ENGINEER - CIVIL
No. 00233
DATE 04/09/22
DANIEL JOHN HODGES
P.E. 60285

HILL AVENUE
COVER SHEET
APN 002-214-01
HILL AVENUE
FAIRFAX, CA

APRIL 1, 2022
JOB NO. 121-21
SHEET NO. **C1**
OF 4 SHEETS



GRADING AND DRAINAGE PLAN



16 PASTOR AVENUE
APN: 005-152-08
TOWN OF SAN ANSELMO
AREA NOT SURVEYED

15 RAMONA WAY
APN: 005-152-01
TOWN OF SAN ANSELMO
AREA NOT SURVEYED

GRADING AND DRAINAGE NOTES

- REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR STRUCTURAL SECTION OF CONCRETE SLABS, RETAINING WALLS, AND OTHER HARD SCAPE SECTIONS.
- PAD ELEVATIONS BASED ON INFORMATION PROVIDED TO THE ENGINEER AT THE TIME OF GRADING PLAN DEVELOPMENT. PRIOR TO THE COMMENCEMENT OF GRADING OPERATIONS, CONTRACTOR SHALL CONFIRM THAT FINISH FLOOR AND PAD ELEVATIONS CORRESPOND WITH CURRENT ARCHITECTURAL AND STRUCTURAL PLANS.
- DOWNSPOUT LOCATIONS SHOWN ARE APPROXIMATE ONLY AND SHALL BE VERIFIED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. DOWNSPOUTS TO BE CONNECTED TO SITE STORM DRAIN SYSTEM OR OUTLETTED TO SPLASH BLOCKS AND DIRECTED TO SWALES AND/OR LANDSCAPE AREAS WITH POSITIVE DRAINAGE AWAY FROM STRUCTURES PER GEOTECHNICAL REPORT AND CURRENT BUILDING CODE.
- NOT SHOWN, CONSULT WITH GEOTECH FOR LOCATION:
(1) GEOTECH RECOMMENDATIONS FOR FILL PLACEMENT
(2) BACKDRAINS AND SUBDRAINS PER GEOTECH REPORT
(3) OVEREXCAVATION IN VICINITY OF PROPOSED FOUNDATIONS AND PAVEMENTS
- INSTALL RETAINING WALL AND FOUNDATION BACKDRAINS AS SHOWN ON THE ARCHITECTURAL AND STRUCTURAL PLANS AND AS REQUIRED BY THE GEOTECHNICAL ENGINEER. DO NOT CONNECT BACKDRAINS TO THE STORM DRAIN OR ROOF LEADER DRAINAGE SYSTEMS. BACKDRAINS SHALL DRAIN THROUGH 3" WEEP HOLES AT 5' O.C. MIN.
- DRAINAGE STRUCTURES, CLEANOUTS OR "Y" CONNECTIONS SHALL BE USED AS APPROPRIATE AT STORM DRAIN ALIGNMENT DEFLECTIONS OR JUNCTIONS OF INTERSECTING DRAIN LINES TO FACILITATE MAINTENANCE.
- ALL PAVED AND UNPAVED FINISHED SURFACES SHALL HAVE POSITIVE DRAINAGE.
- ALL WORK SHALL COMPLY WITH BEST MANAGEMENT PRACTICES TO PREVENT STORM WATER CONTAMINATION.

PERMEABILITY CALCULATIONS

PRE-AND POST-CONSTRUCTION PERVIOUS/IMPERVIOUS AREAS (WITHIN LOT LIMITS)			
NOTE: TOTAL PARCEL AREA=3,309 SF=0.076 AC			
	IMPERVIOUS AREA (SF)	% OF LOT	PERVIOUS AREA (SF)
PRE-CONSTRUCTION	0 SF	0.0%	3,309 SF
POST CONSTRUCTION	1,056 SF	31.9%	2,253 SF
POST CONSTRUCTION INCREASED IMPERVIOUS AREA			1,056 SF

PROJECT BASMAA

TOTAL NEW AND REPLACED IMPERVIOUS AREA (SF)	1,056 SF
---	----------

STORM WATER TREATMENT (BASMAA) NOTES:

- PER COUNTY OF MARIN REQUIREMENTS, THE PROJECT IS REQUIRED TO COMPLY WITH THE BASMAA POST-CONSTRUCTION MANUAL. THE MANUAL DOES NOT REQUIRE ANY SPECIAL MEASURES OR THE INSTALLATION OF ANY STORM WATER TREATMENT FACILITIES (SUCH AS BIOTENTION) BECAUSE TOTAL PROPOSED NEW/REPLACED IMPERVIOUS AREA IS UNDER THE MINIMUM THRESHOLD OF 2,500 SQ FT.
- ALTHOUGH NOT SPECIFICALLY REQUIRED BY BASMAA, THE PROJECT DESIGN DOES INCORPORATE THE FOLLOWING BASMAA MEASURES:
 - MINIMIZE IMPERVIOUS SURFACES (PERVIOUS LANDSCAPE MATERIALS INSTEAD OF IMPERVIOUS HARDSCAPE)
 - REDUCE RUNOFF (DRY WELLS)
 - CONSERVE NATURAL AREAS OF THE SITE (PRESERVE EXISTING TREES)
 - PROTECT SLOPES AGAINST EROSION (EROSION CONTROL AND DRY WELLS)

DRAINAGE SCHEDULE

- DI-1 DECORATIVE 6" AREA DRAIN WITH PEDESTRIAN RATED GRATE, OR APPROVED EQUAL
 - DI-2 12"x12" OLDCASTLE PRECAST CONCRETE INLET, DI BOX/FRAME/GRATE TO BE H20 TRAFFIC RATED, OR APPROVED EQUAL
 - DI-3 6" ROUND ATRIUM GRATE, OR APPROVED EQUAL
- ALL 6" STORM DRAIN PIPE TO BE HDPE DUAL WALL W/MIN. SLOPE OF 1.5%
ALL 4" STORM DRAIN, SUBRAIN, AND ROOF LEADER DRAIN PIPE TO BE PVC SCHEDULE 40 W/MIN. SLOPE OF 1.5%

LEGEND

- CONCRETE
SEE LANDSCAPE PLAN
- PERMEABLE PAVING
SEE LANDSCAPE PLAN
- COMPACTED, DECOMPOSED GRANITE O/ GEOGRID
SEE LANDSCAPE PLAN
- PLANTING BED
SEE LANDSCAPE PLAN
- PLANTING AREA
SEE LANDSCAPE PLAN
- TREE TO BE REMOVED

REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
PLANNING • ENGINEERING • CMA
815 CENTER STREET
HEALDSBURG, CA 94548
(707) 395-0868



REGISTERED PROFESSIONAL ENGINEER • VINCENT CA
DANIEL JOHN HUGHES
No. 80233
DATE: 04/01/22
PROJECT NO: 2021-01

16 PASTOR AVENUE
APN: 005-152-08
TOWN OF SAN ANSELMO
AREA NOT SURVEYED

**HILL AVENUE
GRADING AND DRAINAGE PLAN**
APN: 005-24-01
HILL AVENUE
FAIRFAX, CA

APRIL 1, 2022
JOB NO.
121-21

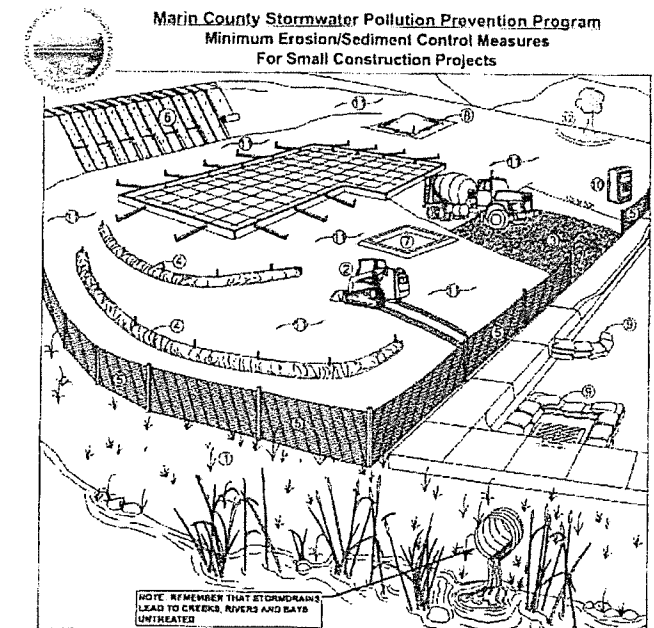
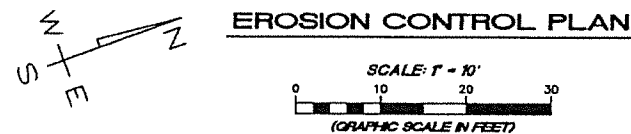
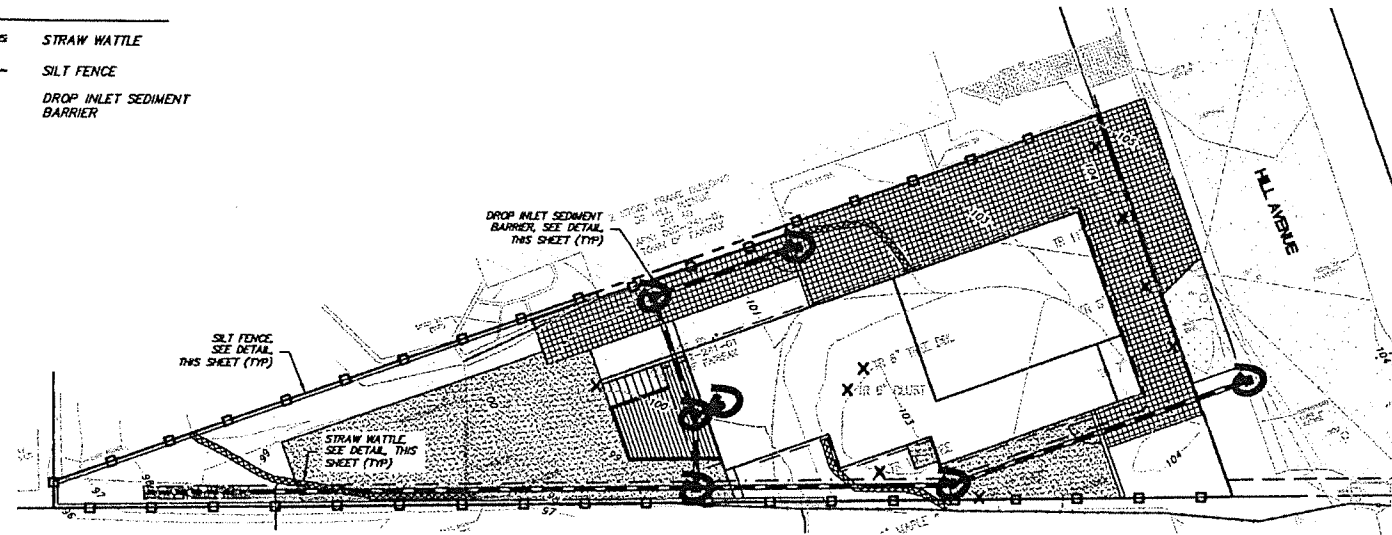
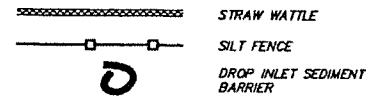
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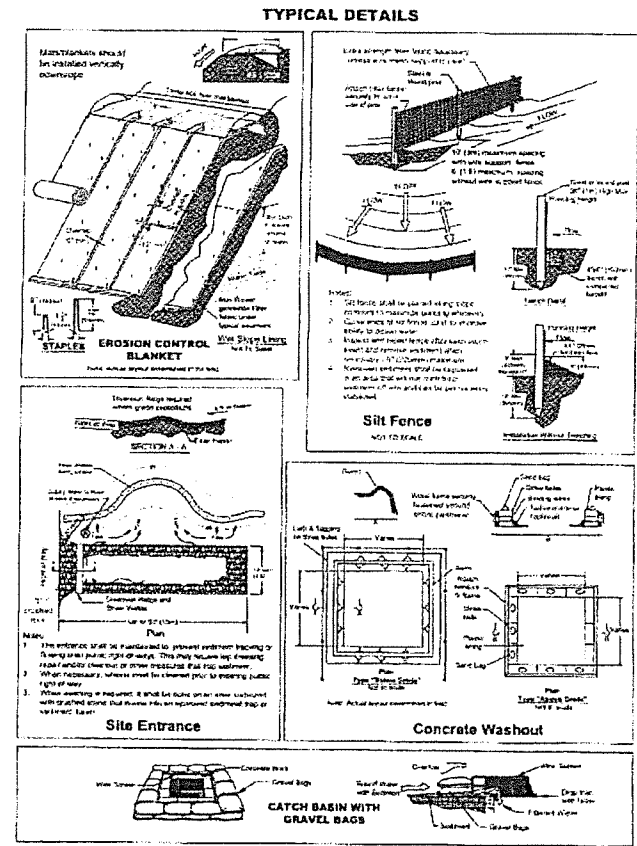
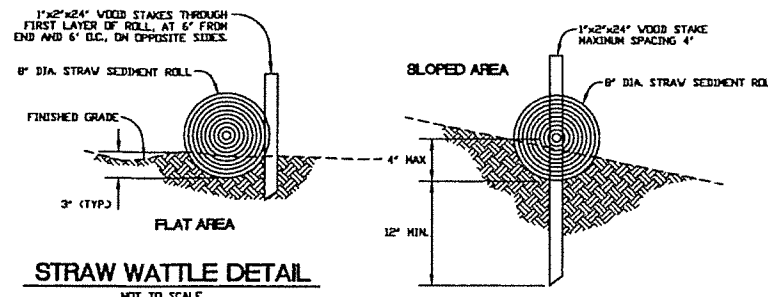
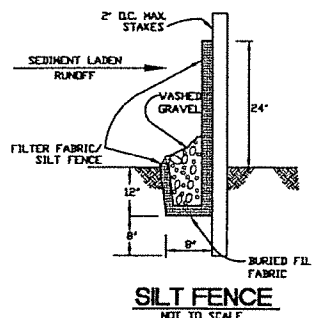
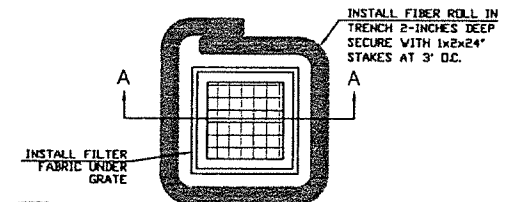
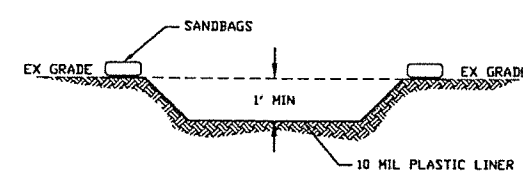
NOTES:

1. THE GEOTECHNICAL ENGINEER MUST MONITOR EROSION AND SEDIMENT CONTROL MEASURES ON A MONTHLY BASIS, AS WELL AS BEFORE AND AFTER A RAIN EVENT. MONTHLY MONITORING REPORTS FROM THE GEOTECHNICAL ENGINEER SHALL BE MAINTAINED AT THE JOB SITE AT ALL TIMES.
2. EROSION AND SEDIMENT CONTROL MEASURES MUST BE PLACED ON EXPOSED AREAS WHEN RAIN IS WITHIN A 5 DAY FORECAST.

LEGEND



- (1) Check with your local Planning and Public Works departments for drain setback requirements. Grading and/or building may be limited or prohibited within creek/de drain.
 - (2) During grading phase, track walk up and down slopes (not parallel to them).
 - (3) "Stitch" site, stabilize and temporary driveway - use 3" crushed rock up to 50' (or as far as possible) in permanent tracking and off-site.
 - (4) "Stitch" straw wattles along contours with 2:1 slopes or steeper, keyed into ground at least 3" deep (typically 75 to 90' apart).
 - (5) "Stitch" silt fence along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond limits of site disturbance.
 - (6) "Install erosion control blankets (or strawwatts) on any disturbed site with 2:1 slopes or greater.
 - (7) "Construct a concrete washout area adjacent to stabilized entrance. Clean as needed and remove at end of project.
 - (8) Cover all stockpiles and landscape material and berm properly with straw wattles or sand bags. Keep behind silt fence, away from water bodies.
 - (9) "Use and green space (or similar products) around (0.05-0.010) located both onsite and in gutter as a last line of defense.
 - (10) Place post-rainy near stabilized site entrance, behind the curb and away from storm drain inlets and water bodies.
 - (11) Cover all exposed soil with straw mat and mulch (or strawwatts).
 - (12) Existing vegetation should be preserved as much as possible. Revegetate areas of disturbed soil/vegetation as soon as practical.
- Note: Schedule construction activities to reduce erosion potential. Sediment and erosion control shall be continuously maintained throughout the rainy season (October 1st - April 30th) and must remain effective through the construction and landscape phases (inspect and maintain BMPs before and after rain events). See reverse for detail drawings. Visit www.mctpp.org for more information on construction site management.



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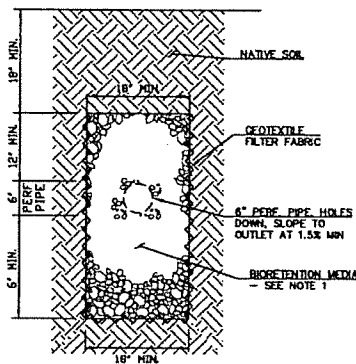
REVISION	DESCRIPTION	BY	DATE

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(707) 988-0888

dvc
REGISTERED PROFESSIONAL ENGINEER - CIVIL
No. 00233
DATE OF REG. 04/01/98
DANIEL JOHN HUGHES
P.E. 80888

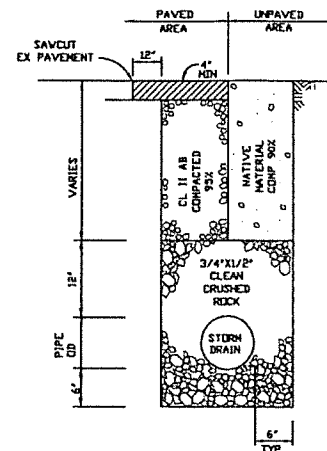
HILL AVENUE
EROSION CONTROL PLAN
APN 002-24-01
HILL AVENUE
PARKFAX, CA

APRIL 1, 2022
JOB NO. 121-21
SHEET NO. C3
OF 4 SHEETS

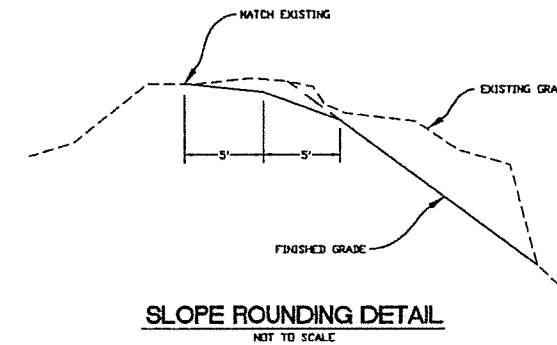


NOTES:
 1. BIORETENTION MEDIA SHALL CONSIST OF APPROXIMATELY 1 TO 3 INCH WASHED RIVER ROCK OR CLASS II PERMEABLE MATERIAL.
 2. BOTTOM OF BIORETENTION SHALL BE OPEN TO ALLOW INFILTRATION OF RUNOFF.
 3. PERFORATED PIPE SHALL BE PLACED IN TRENCH WITH PERFORATIONS FACING DOWN.

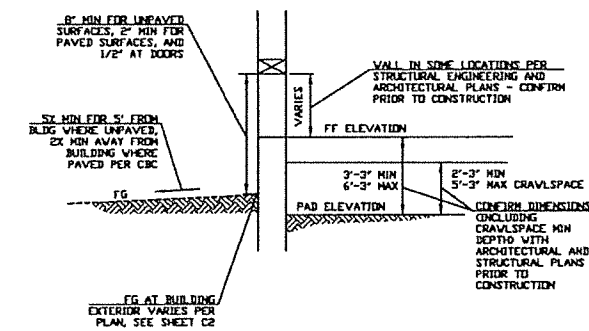
INFILTRATION TRENCH DETAIL
 NOT TO SCALE



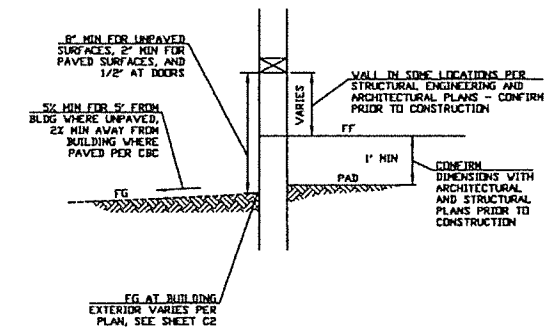
STORM DRAIN TRENCH
 NOT TO SCALE



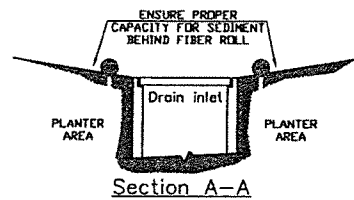
SLOPE ROUNDING DETAIL
 NOT TO SCALE



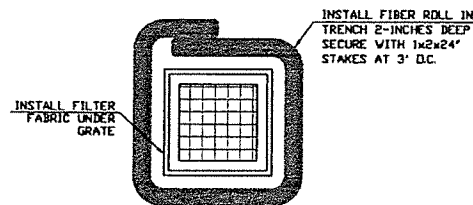
TYPICAL GRADING AT BUILDING (CRAWLSPACE)
 NOT TO SCALE



TYPICAL GRADING AT BUILDING (S.O.G.)
 NOT TO SCALE

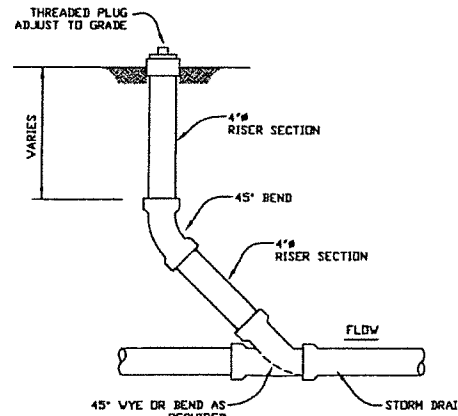


Section A-A



NOTES:
 1. INSPECT INLET PROTECTION DEVICE BEFORE AND AFTER RAIN EVENTS, AND WEEKLY THROUGH THE RAINY SEASON. DURING EXTENDED RAIN EVENTS, INSPECT AT LEAST ONCE EVERY 24 HOURS.
 2. REMOVE AND PROPERLY DISPOSE OF ACCUMULATED SILT AND DEBRIS TO ALLOW FOR PROPER FUNCTION OF DEVICE.

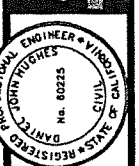
DROP INLET SEDIMENT BARRIER
 NOT TO SCALE



STORM DRAIN CLEANOUT
 NOT TO SCALE

REVISION	DESCRIPTION	BY	DATE

DVC GROUP INC.
 PLANNING • ENGINEERING • C.M.
 253 CENTER STREET
 HEALDSBURG, CA 94448
 (707) 385-0888



Daniel John Hughes
 DANIEL JOHN HUGHES
 PCE# 80223

HILL AVENUE
 DETAIL
 APR 002-24-01
 HILL AVENUE
 FAIRFAX, CA

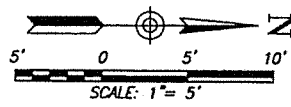
APRIL 1, 2022
 JOB NO.
 121-21
 SHEET NO.

C4
 OF 4 SHEETS

P:\DVC\0021\121-21 HILL AVE (DVC)\DWG\121-21 DR PLNG 4/1/2022 1:37 PM GE

LEGEND:

APN	ASSESSOR'S PARCEL NUMBER	---	PROPERTY LINE
CONC	CONCRETE (ALSO CNC)	---	CITY LIMITS LINE
CLUST	TREE CLUSTER	---	ADJACENT LOT LINE
CRTN	CALIFORNIA REAL TIME NETWORK	---	MINOR CONTOUR LINE (1')
D	DIAMETER	101	MAJOR CONTOUR LINE (5')
DBL	DOUBLE	---	WOOD FENCE
E	ELECTRICAL	---	WIRE FENCE
FF	FINISHED FLOOR ELEVATION	---	OVERHEAD UTILITY
FH	FIRE HYDRANT	OH	SWALE
FS	FINISHED SURFACE ELEVATION	---	AC PAVEMENT
GS	GROUND SHOT ELEVATION	---	BRICK
MMWD	MARIN MUNICIPAL WATER DISTRICT	---	CONCRETE
OH	OVERHEAD UTILITIES	---	
NO.	NUMBER	---	
PP	POWER POLE	---	
RM	RECORD MAP	---	
RTK	REAL TIME KINEMATIC	---	
SCO	SEWER CLEANOUT	---	
STR	STRUCTURE	---	
TR	TREE	---	
WV	WATER VALVE	---	
WM	WATER METER	---	
.	DEGREES	---	
'	FEET/MINUTES	---	
"	INCHES/SECONDS	---	



DATE OF FIELD SURVEY:

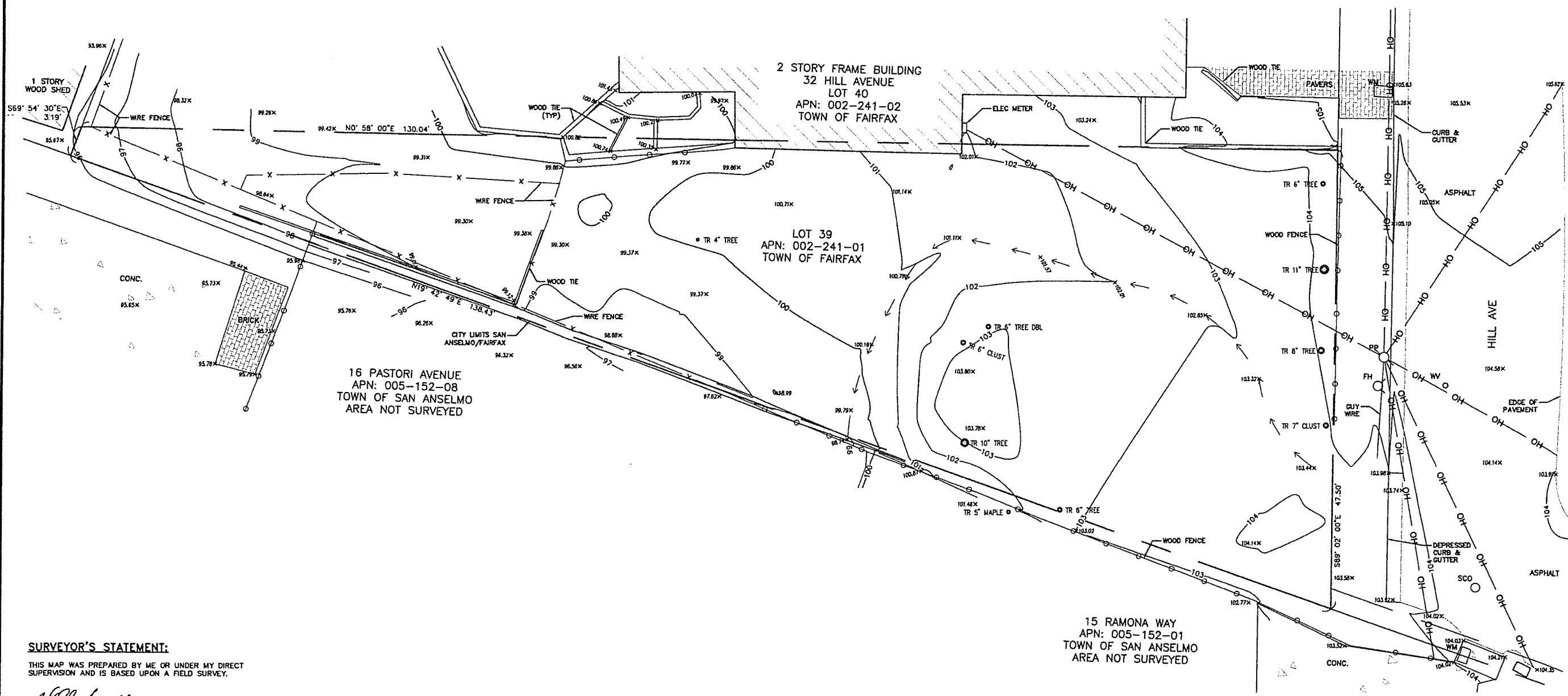
MAY 17, 2021.

SURVEYOR'S NOTES:

1. THE BOUNDARY SHOWN ON THIS MAP IS AS SHOWN ON THE 'RECORD OF SURVEY MAP, LOT 39, FAIRFAX TRACT, RECORDED MAP 2 AT PAGE 114' SUBMITTED TO THE COUNTY SURVEYOR AND NOT YET RECORDED.
2. ALL TREES SHOWN HEREON REFLECT THEIR HORIZONTAL GROUND LOCATIONS. DIAMETERS WERE MEASURED AT BREST HEIGHT.

BENCHMARK NOTE:

THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) VIA RTK CONNECTED TO CRTN.



SURVEYOR'S STATEMENT:

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND IS BASED UPON A FIELD SURVEY.

Leon Oberkammer
 LEON OBERKAMPER
 PROFESSIONAL ENGINEER #12094
 JUNE 3, 2021
 DATE

1	2	3	4	5
OBERKAMPER & ASSOCIATES CIVIL ENGINEERS INC., CA 94945 7200 REDWOOD BLVD SUITE 308 NOVATO, CA 94945 PHONE: (415) 897-2800 WWW.OBERKAMPER.COM				
TOPOGRAPHIC SURVEY LOT 39 FAIRFAX TRACT (A.P.N. 002-214-01) MARIN COUNTY CALIFORNIA				
Scale: 1" = 5'	Drawn by: HW/TW	Field Crew: TW/ALS	Checked by: LEU	Date: JUNE 3, 2021
SHEET				
1				
OF 1				
21-115				

W:\P\02\002-241-01\115 Hill Avenue Lot - Survey for Job - 02-241-01\115 MASTER.dwg, 6/4/2021 1:51:57 PM