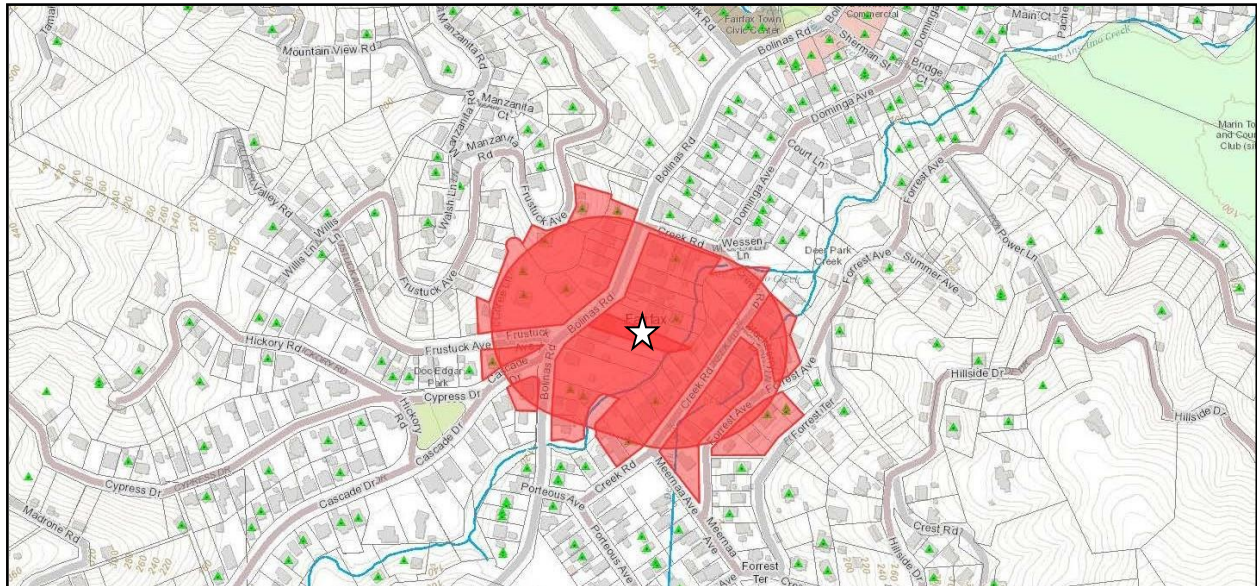


**TOWN OF FAIRFAX
STAFF REPORT**
Department of Planning and Building Services

TO: Fairfax Planning Commission
DATE: August 17, 2023
FROM: Kara Spencer, Assistant Planner
LOCATION: 299 Bolinas Road; APN: 002-033-01
ZONING: RD-5.5-7 Residential Zone
PROJECT: Construct an approximately 129 square-foot deck and access stairway on a detached Accessory Dwelling Unit (ADU)
ACTION: Conditional Use Permit (CUP); Application No. 23-21
APPLICANT: Cottage Technologies, Inc.
OWNER: John Boldrick
CEQA STATUS: Categorically exempt, § 15301(a).



299 BOLINAS ROAD

PROJECT DESCRIPTION

The project consists of the construction of an approximately 129 square foot deck onto the side of an existing approximately 595 square foot, single-story, one-bedroom, one-bathroom, detached Accessory Dwelling Unit (ADU). The deck and stairway would be constructed of wood with metal railings. The deck would be elevated approximately 1'-7" off the ground. It would provide access to and egress from the ADU bedroom.

BACKGROUND

The approximately 12,389 square foot property is relatively flat. It slopes down from Bolinas Road towards San Anselmo Creek at an average rate of approximately 17 percent. It is developed with an approximately 1,283 square foot house, the

approximately 595 square foot ADU, an approximately 306 square foot accessory building (shed), and various walkways, decks, and patios. Native and non-native vegetation is scattered throughout the site. The house was originally constructed in 1948. Records in the property file indicate that the accessory building(shed) has been on the property since at least 1983. The Planning Department approved the ADU in September 2022, which was still under construction as of the writing of this staff report. The project site is not within a quarter mile of a known Northern Spotted Owl (NSO) nesting site according Marin County Parks/Marin Audubon Society NSO surveys. The property is within a Wildland Urban Interface (WUI) Zone according to the Ross Valley Fire Department “Town of Fairfax Wildland-Urban Interface Zones” Map.

Table 1 below demonstrates the property’s compliance with the regulations of the RD-5.5-7 Residential Zone, High-Density District where the property is located. As indicated in Table 1, the existing property meets the front setback, the rear setback, the combined front and rear setback, the FAR, lot coverage, and building height requirements, but not the minimum or combined side-yard setback requirements.

Table 1: 299 Bolinas Road Compliance with RD 5.5-7 Regulations

	Front Setback	Rear Setback	Combined Front/Rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Lot Coverage	Height
Required/ Permitted	6 ft.	10 ft.	35 ft.	5 ft. & 5 ft.	20 ft.	.40	.35	28.5 ft., 2 stories
Existing	24 ft.	36 ft.	60 ft.	1'-6" & 3'-7"	5'-1"	.18	.23	20 ft., 2 stories
Proposed	No change	No change	No change	No change	No change	No change	No change	No change

DISCUSSION

Required Discretionary Approvals

Town Code § 17.084.050 specifies that any physical improvement on a property in the RD 5.5-7 zone that does not meet the minimum size and width requirements based on its slope requires approval of either a Conditional Use Permit (CUP) or a Hill Area Residential Development (HRD) Permit. Based on the approximate 17 percent slope of the project site, it would need to be 9,000 square feet in area and 71 feet wide to conform to the size and width requirements of § 17.084.050(C). At approximately 12,389 square feet in area the property meets the minimum size requirement. However, the property is approximately 53 feet wide along the street frontage and does not meet the minimum width required by the Code. The project does not require any excavation and would result in minimal site disturbance. Therefore, the HRD permit is not applicable and the proposed deck addition requires the approval of a CUP.

Conditional Use Permit (Town Code Chapter 17.032)

The proposed deck would elevate the existing outdoor living space approximately 1'-7" off the ground. It would comply with the minimum and combined side yard setback,

height, and lot coverage regulations of the RD 5.5-7 zone. The proposed location would be approximately 22 feet away from the closest neighboring residential structure at 287 Bolinas Road and approximately 50 feet from the other nearest neighboring structure, the ADU at 303 Bolinas Road. It would not be visible to passersby using Bolinas Road. It would not be expected to negatively impact surrounding development, given its compliance with the setback and height regulations and its distance from the nearest neighboring residential structures. There are similar sized decks in the immediate area so the project will not result in development out of character with the surrounding neighborhood.

OTHER DEPARTMENT/AGENCY COMMENTS/CONDITIONS OF APPROVAL

No comments or conditions were received from the Ross Valley Fire Department (RVFD) or the Town of Fairfax Police, Building, or Public Works Departments. Marin Municipal Water District (MMWD) and Ross Valley Sanitary District (RVSD) had conditions relating to the provision of water and sewer service to the ADU. Those conditions and the standard conditions of approval for all projects from the RVFD have been included in the attached Resolution No. 2023-12 and can be viewed in their entirety in that document.

RECOMMENDATION

Conduct the public hearing.

Move to approve application No. 23-21 by adopting the attached Resolution No. 2023-18 setting forth the findings and the conditions of project approval.

ATTACHMENTS

Attachment A – Resolution No. 2023-18

RESOLUTION NO. 2023-18

A Resolution of the Fairfax Planning Commission Approving Application No. 23-21 for a Conditional Use Permit for a 129 Square-foot Deck Addition to a Detached Accessory Dwelling Unit at 299 Bolinas Road

WHEREAS, the Town of Fairfax received an application from John Boldrick for a 129 square-foot, deck addition to the detached Accessory Dwelling Unit (ADU) at 299 Bolinas Road; and

WHEREAS, the Planning Commission held a duly noticed Public Hearing on August 17, 2023, at which time the Planning Commission determined that the project complies with the Town Code and that findings can be made to grant the requested Conditional Use Permit; and

WHEREAS, based on the plans and other documentary evidence in the record the Planning Commission determined that the applicant met the burden of proof required to support the findings necessary to approve the discretionary Conditional Use Permit; and

WHEREAS, The project is exempt from the California Environmental Quality Act per Categorical Exemption Section 15301(a); and

WHEREAS, the Commission has made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan as follows:

Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing characteristics of the Town's neighborhoods in their diverse architectural style, size, and mass.

Policy LU-7.2.1: New and renewed development shall be compatible with the general design and scale of structures in the vicinity.

Policy LU-8.1.2: The Town of Fairfax shall permit construction of well-designed second units consistent with state law, zoning requirements, and building codes, parking requirements and street capacity.

Conditional Use Permit Findings (Town Code § 17.032.060)

1. The approval of the Conditional Use Permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment. The proposed deck addition complies with the RD 5.5-7 Residential Zone setback and height regulations and the deck does not affect the site floor area ratio which considers interior space square footage, or the lot coverage percentage which does not apply to the permeable deck.
2. The deck complies with the minimum and combined side yard setback regulations and would be approximately 22-feet away from the closest residential structure at

ATTACHMENT A

287 Bolinas Road and approximately 50-feet from the other nearest neighboring structure, the ADU at 303 Bolinas Road. The deck would also not be visible to passersby using Bolinas Road. Therefore, the development and use of the property, as approved under the Conditional Use Permit, shall not create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the Conditional Use Permit. The project would not increase the number of bedrooms in the structure. It would not impact neighboring properties visually or increase the use of public parking.

3. The project does not require the approval of any variances and does not change the residential use of the site. Therefore, approval of the Conditional Use Permit is not contrary to those objectives, goals, or standards pertinent to the particular case and contained within the RD 5.5-7 Residential Zone regulations; and
4. Approval of the Conditional Use Permit will result in equal or better development of the premises than would otherwise be the case, and that the approval is in the public interest and for the protection or enhancement of the community.

WHEREAS, the Commission has approved the project subject to the applicant's compliance with the following conditions:

1. The project is approved per the plans by Cottage Technologies, Inc. received by the Town on 7/27/23 subject to the plans submitted for the building permit application not containing any notation that the existing deck at the rear of the yard would be partially removed to meet combined setback requirements.
2. During the construction process the following shall be required:
 - a. All construction-related vehicles including equipment delivery, cement trucks and construction materials shall be situated off the travel lane of the adjacent public right(s)-of-way at all times. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.
 - b. Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
3. Prior to the final inspection approval and sign off, the Planning Department shall field check the completed project to verify that it has been constructed per the plans that were approved by the Planning Commission.

4. The roadways shall be kept free of dust, gravel, and other construction materials by sweeping them, daily, if necessary.
5. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 23-21. Modifications that do not significantly change the project, the project design or the approved discretionary permits **may** be approved by either the Planning Commission or the Planning Director. Any construction based on job plans that have been altered without the benefit of an approved modification of Application 23-21 will result in the job being immediately stopped and red tagged.
6. Any damage to the public portions of Bolinas Road or other public roadway used to access the site resulting from construction-related activities shall be the responsibility of the property owner.
7. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town of Fairfax, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director, or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.
8. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32, and the Americans with Disabilities Act.
9. In accordance with Town Code §8.20.060(C)(1) and (2), the operation of any tools or equipment used in construction or demolition work or in property

maintenance work between the hours of 6:00 PM and 8:00 AM Monday through Friday, or on weekends and holidays between 4:00 PM and 9:00 AM is prohibited.

10. Conditions placed upon the project by outside agencies may be eliminated or amended with that agency's written notification to the Planning Department prior to issuance of the building permit.

Ross Valley Fire Department (RVFD) Conditions

11. All smoke detectors in the residence shall be provided with AC power and be interconnected for simultaneous alarm. Detectors shall be located in each sleeping room, outside of each sleeping room in a central location in the corridor, and over the center of all stairways with a minimum of one detector on each story of the occupied portion of the residence.
12. Carbon monoxide alarms shall be provided in existing dwellings when a permit is required for alterations, repairs, or addition and the cost of the permit exceeds \$1,000.00. Carbon monoxide alarms shall be located outside of each sleeping area in the immediate vicinity of the bedrooms and on every level of the dwelling, including basements.
13. Address numbers at least 4" tall visible from the street and internally illuminated or illuminated by and adjacent light controlled by a photocell and switched off only by a breaker so it will remain illuminated all night shall be installed.
14. Alternative materials or methods may be proposed for any of the above conditions in accordance with Section 104.9 of the Fire Code.
15. All approved alternatives requests, and their supporting documentation, shall be included in the plan sets submitted for final approval by the Fire Department.

Marin Municipal Water District (MMWD) Conditions

16. Complete a High Pressure Water Service Application.
17. Submit a copy of the building permit.
18. Pay appropriate fees and charges.
19. Comply with the District's rules and regulations in effect at the time service is requested including the installation of a separate meter to serve the accessory dwelling unit.
20. Comply with all indoor and outdoor requirements of District Code Title 13 – Water Conservation. This may include verification of specific indoor fixture efficiency compliance.

21. Any landscaping project subject to review by the Fairfax Planning Department and/or subject to a Town permit shall be reviewed and approved by the district water conservation department.
22. Backflow prevention requirements must be met.
23. Comply with Ordinance No. 429, requiring the installation of gray water recycling systems when practicable for all projects required to install new water service.

Ross Valley Sanitary District (RVSD) Conditions

24. Apply for a sewer lateral permit and obtain a Certificate of Compliance for the ADU.
25. The sewer lateral serving the main residence is exempt as of 9/23/16, and this lateral will not require testing so long as there are no new sewer lateral additions/changes. Lateral exemption lasts for 20 years since the last passed lateral inspection date.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Conditional Use Permit is in conformance with the 2010 – 2030 Fairfax General Plan, the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 17th day of August 2023 by the following vote:

AYES:
NOES:
ABSTAIN:
ABSENT:

Chair Cindy Swift

Attest:

Linda Neal, Principal Planner



**BOLDRICK
RESIDENCE**

**299 BOLINAS RD. ,
FAIRFAX**

DETACHED ADU

PLANNING APPLICATION

REVISION:
Planning Application Rev. 1

ISSUE DATE:
04/17/2022

INITIAL SUBMISSION
01/12/2023

REVISIONS

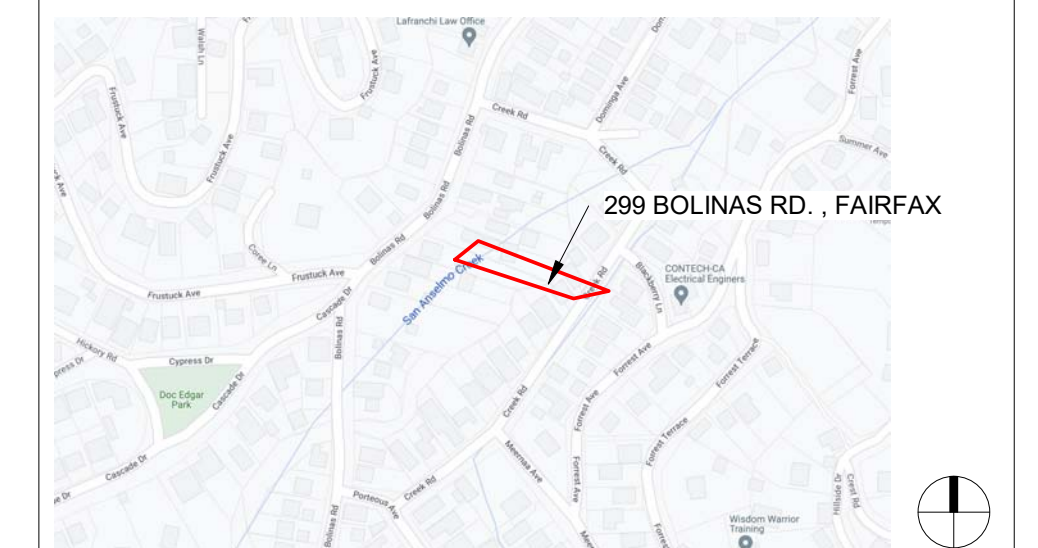
NO.	DATE	NOTE
3	04/17/2022	Planning Application Rev. 1

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PROJECT DATA TABLE

PROJECT ADDRESS	299 BOLINAS ROAD, FAIRFAX
ASSESSOR'S PARCEL NUMBER	002-033-01
ZONING DISTRICT	RD-5.5-7
LOT AREA:	12,389 SF
LOT COVERAGE:	
EXISTING	3,187 SF, 25.72%
ALLOWABLE	4,338 SF, 35%
PROPOSED	3,316 SF, 26.76%
SFHA	NO

VICINITY MAP



SHEET LIST

SHEET NUMBER	SHEET NAME
A00	COVER
A01	EXISTING/PROPOSED SITE PLAN
A02	FLOOR PLAN & BUILDING ELEVATIONS
C01	SITE SURVEY

BOLDRICK RESIDENCE

299 BOLINAS RD.,
FAIRFAX

DETACHED ADU

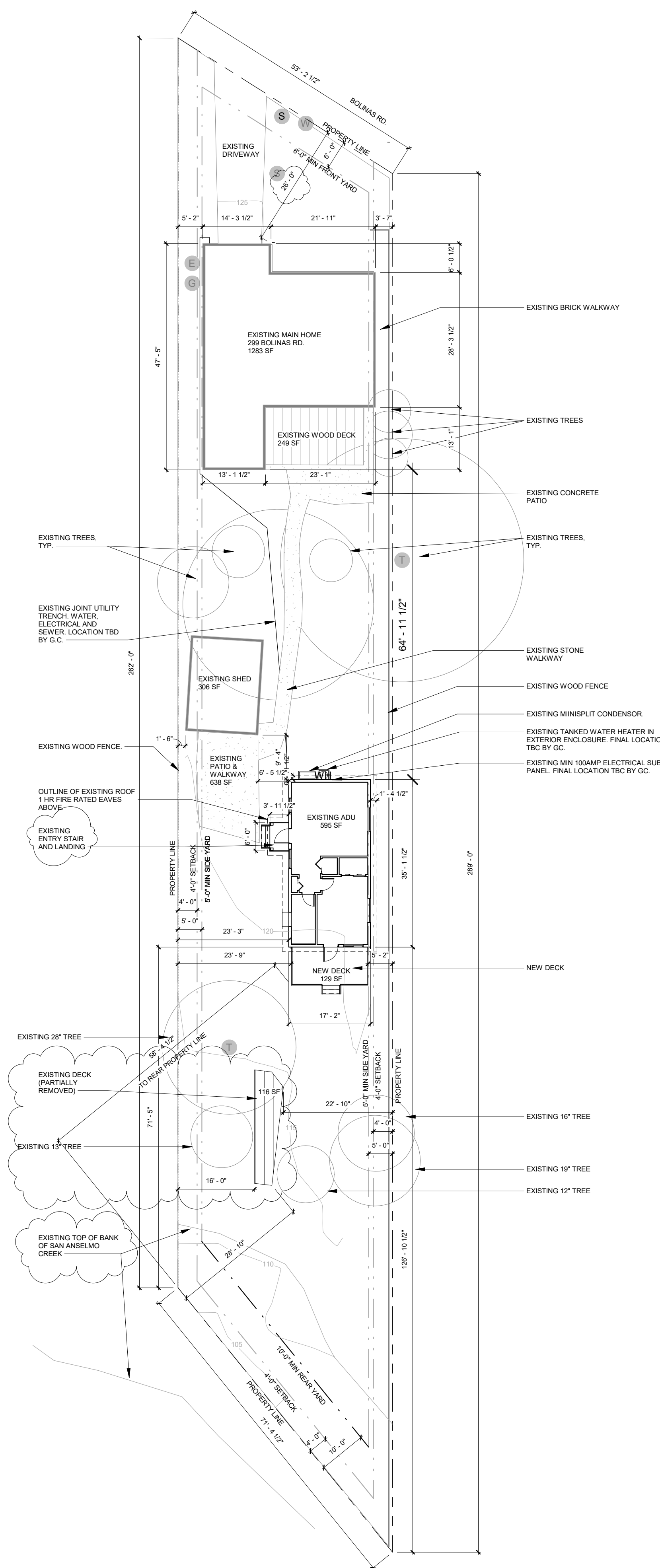
ASSESSOR'S PARCEL NUMBER 002-033-01

PHASES

- New Construction
- Existing
- To Be Demolished

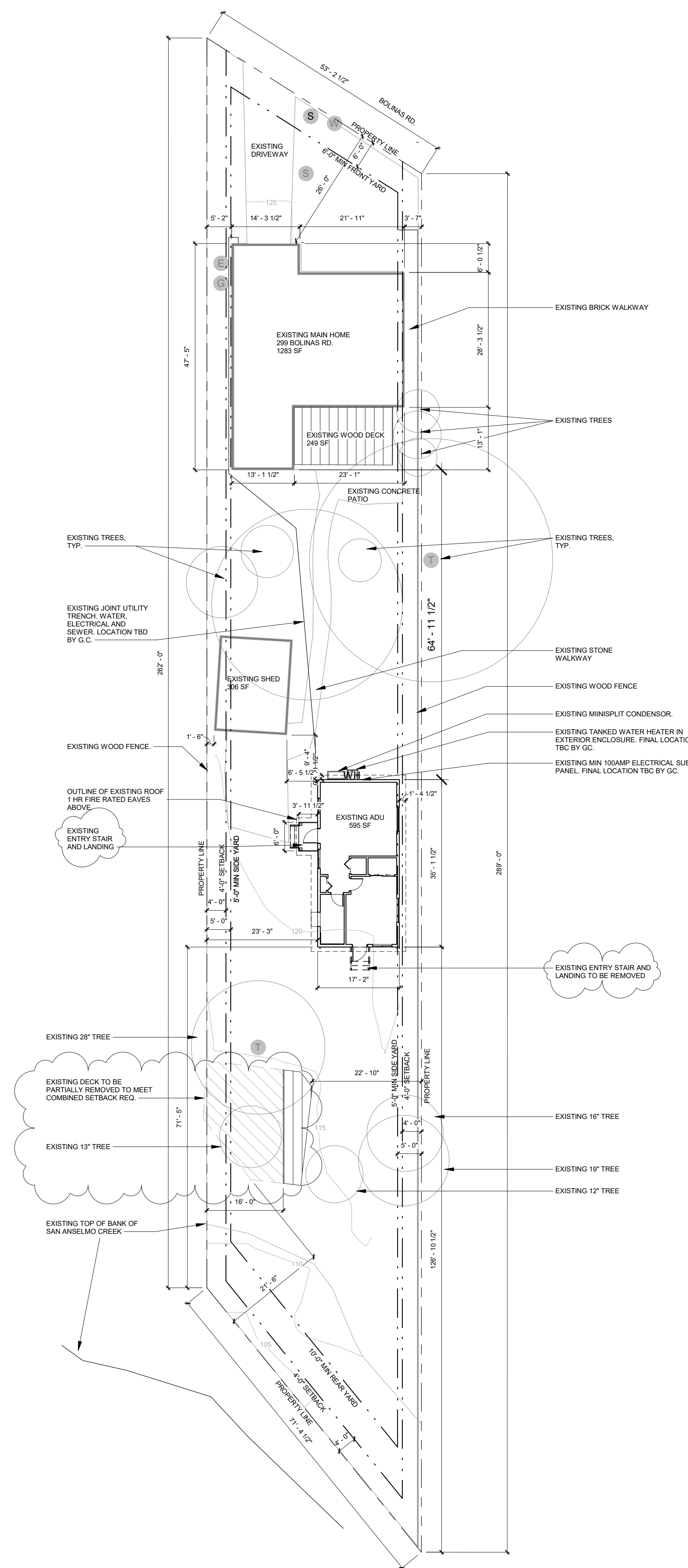
EXISTING UTILITIES SYMBOLS

- E Electrical Panel
- W Water Meter
- S Sewer / Septic
- C Crawl Space Access
- G Gas Meter
- T Protected Tree



LOT AREA: 12,389 SF
LOT COVERAGE: EXISTING: 3,197 SF, 25.72% ALLOWABLE: 4,336 SF, 35% PROPOSED: 3,316 SF, 26.78%
INDIVIDUAL AREAS OF LOT COVERAGE: EXISTING MAIN HOME: 1283 SF EXISTING DECK: 249 SF EXISTING PATIO/WALKWAY: 638 SF EXISTING SHED: 306 SF EXISTING ADU: 595 SF EXISTING DECK: 116 SF PROPOSED DECK: 129 SF TOTAL: 3316 SF
FAR: EXISTING: 2184 SF, 17% ALLOWABLE: 4566, 40% PROPOSED FLOOR AREA: 2184 SF, 17% EXISTING MAIN HOME: 1283 SF EXISTING SHED: 306 SF EXISTING ADU: 595 SF TOTAL: 2,184 SF
COMBINED SETBACKS: FRONT: 28'-0" REAR: 28'-10" COMBINED FRONT/REAR: 54'-10" WEST SIDE TO (TRIMMED) DECK: 16'-0" EAST SIDE TO PROPOSED DECK: 5'-2" COMBINED SIDE: 21'-0"

2 ADU & Deck Site Plan - Proposed
1/16" = 1'-0"



1 ADU & Deck Site Plan - Existing
1/16" = 1'-0"

PROJECT ORIENTATION

REVIEWED BY

ANAMIKA GOYAL
COTTAGE TECHNOLOGIES INC.
2525 16TH ST., SUITE 316
SAN FRANCISCO, CA
(415) 237-3715

PREPARED BY

SALLY SHADLUN
PROJECT DESIGNER

JUSTEN PEEK (ADVANCED ENGINEERING)

STRUCTURAL CONSULTANT

JASON BENNETT (ADVANCED ENGINEERING)

TITLE 24 COMPLIANCE CONSULTANT

REVISIONS

3 04/17/2022 Planning Application Rev. 1
NO. DATE NOTE

SHEET NAME

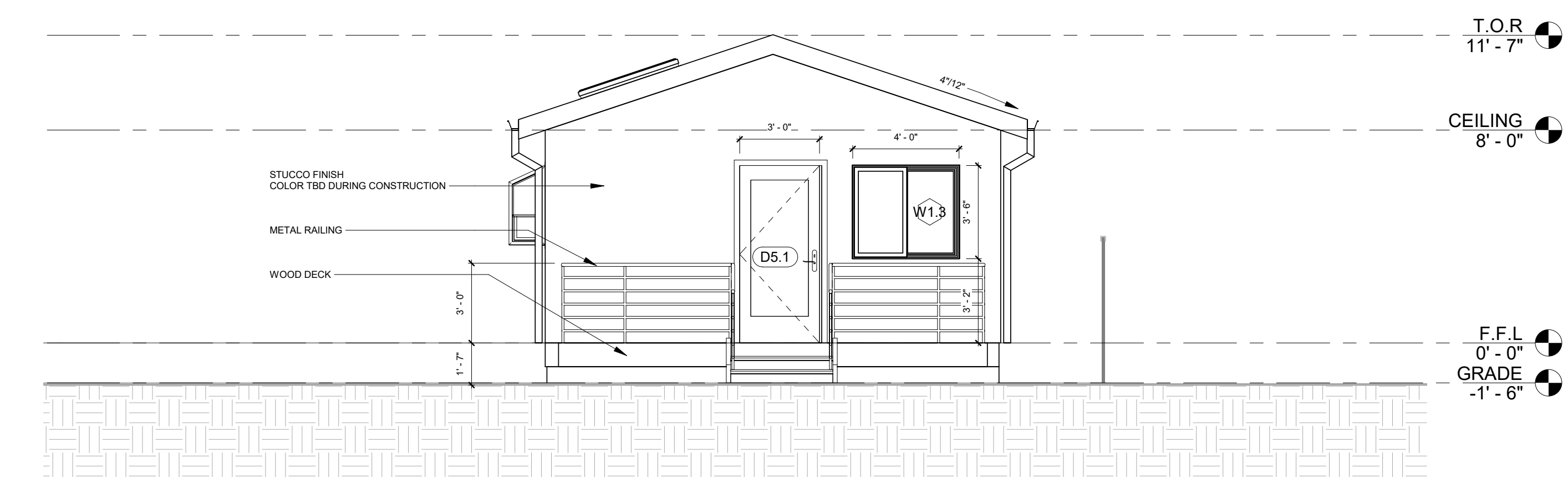
Existing/Proposed Site Plan
A01 SCALE: As indicated

BOLDRICK RESIDENCE

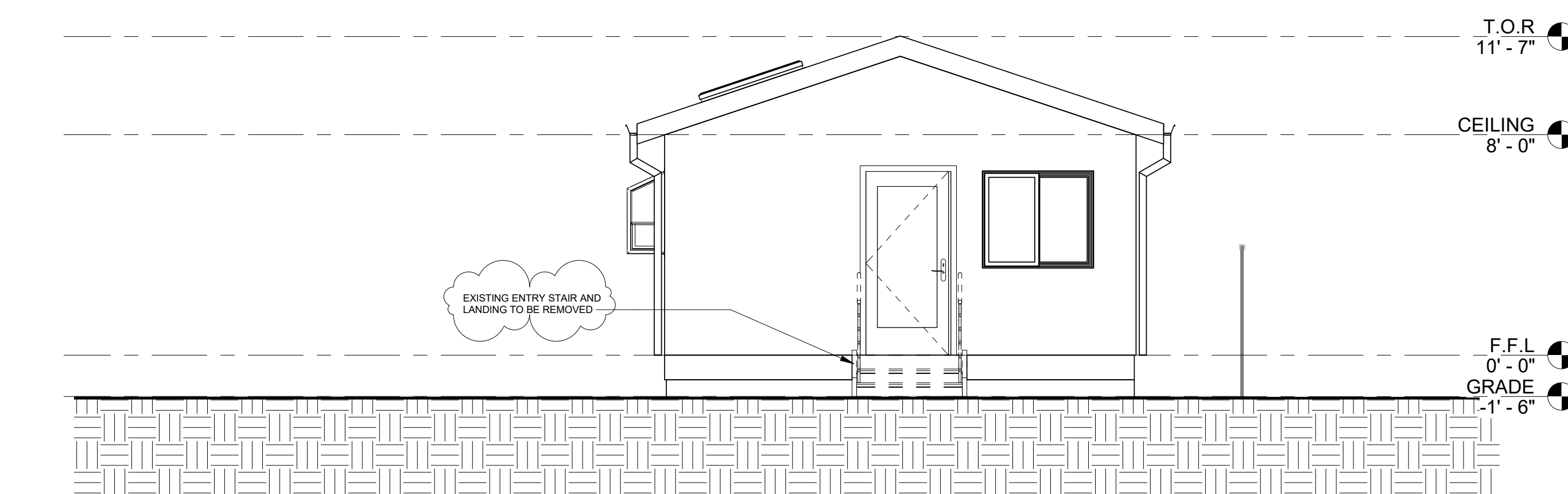
299 BOLINAS RD., FAIRFAX

DETACHED ADU

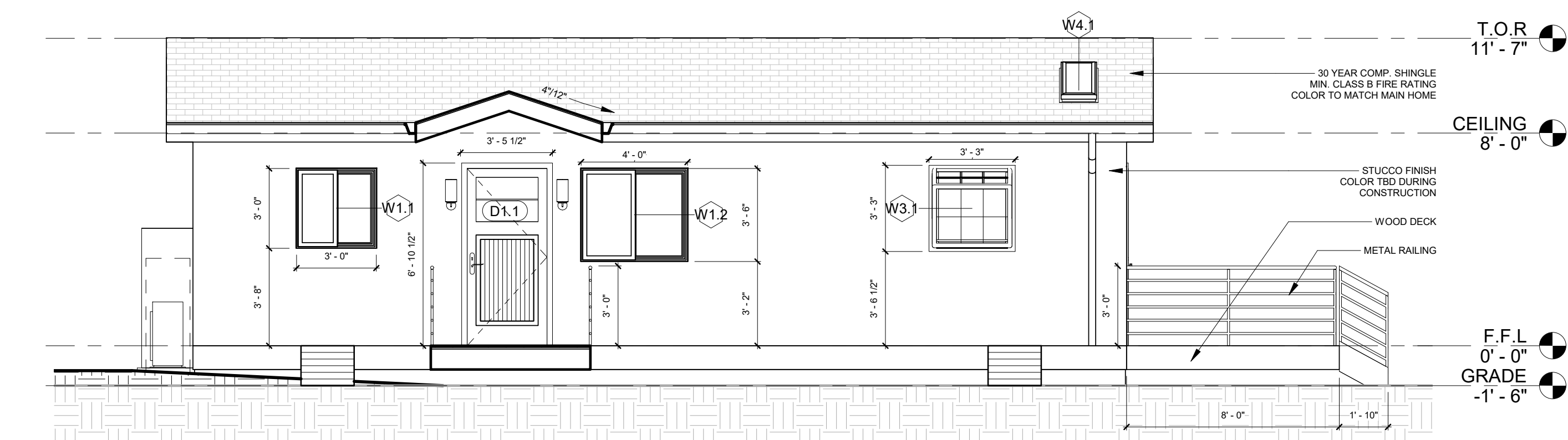
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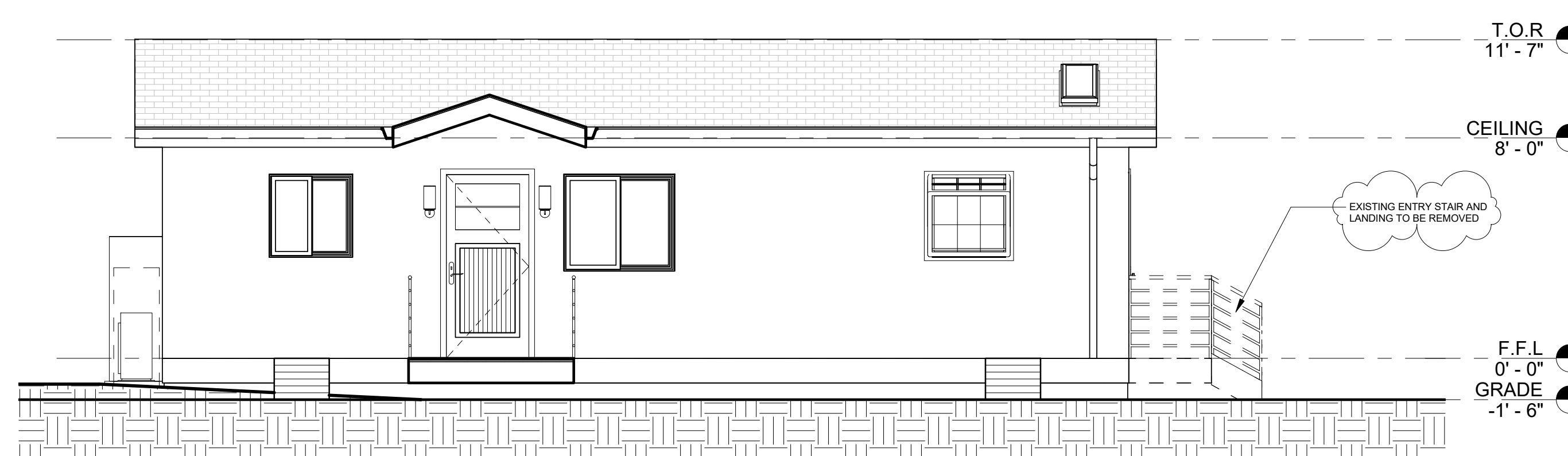
8 Deck South Elevation - Proposed
1/4" = 1'-0"



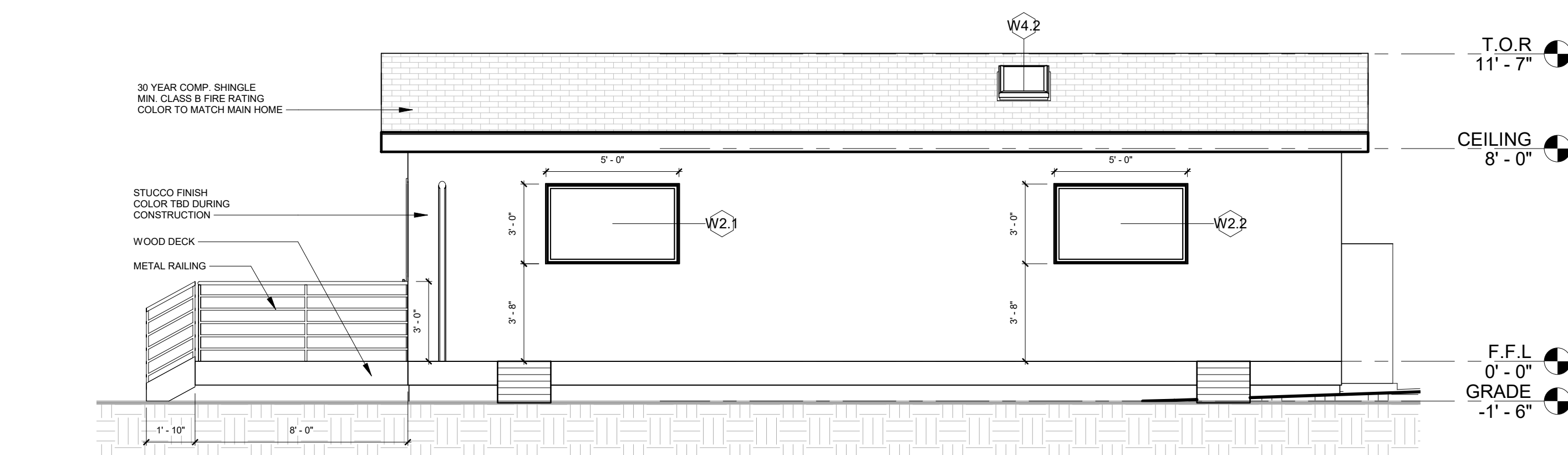
4 Deck South Elevation - Existing
1/4" = 1'-0"



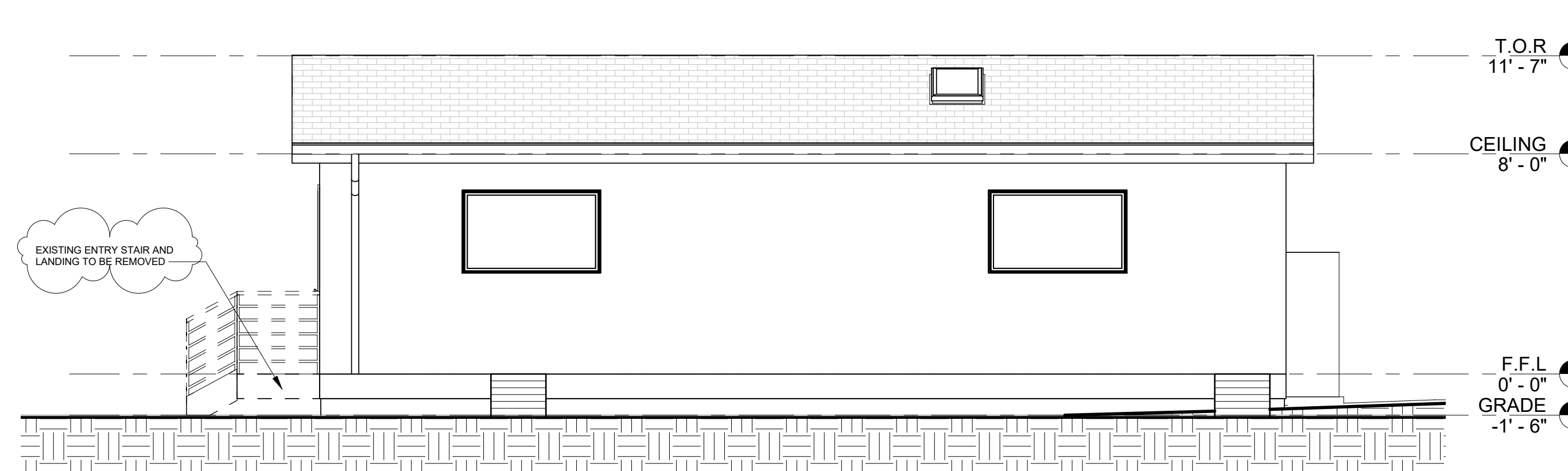
7 Deck West Elevation - Proposed
1/4" = 1'-0"



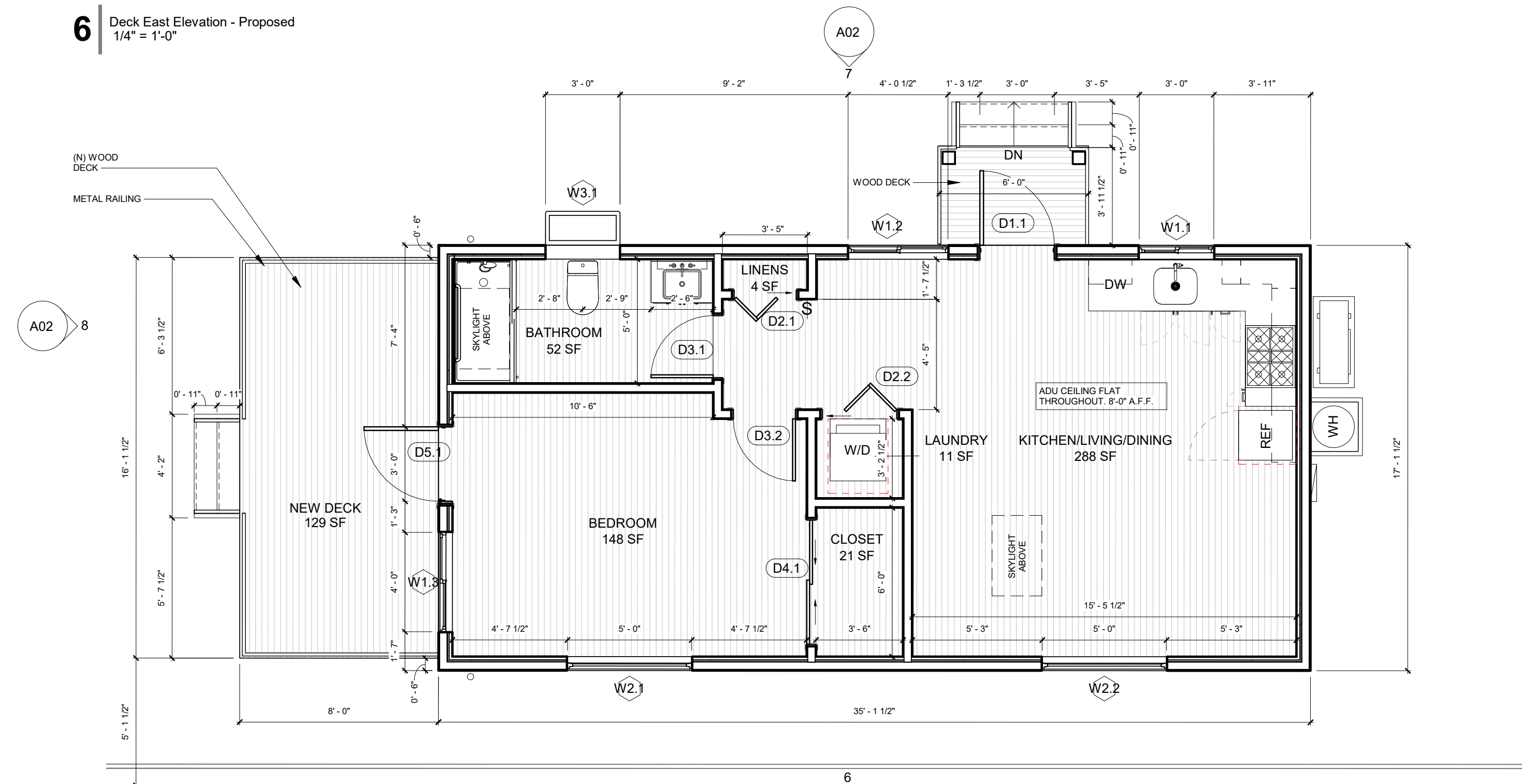
3 Deck West Elevation - Existing
1/4" = 1'-0"



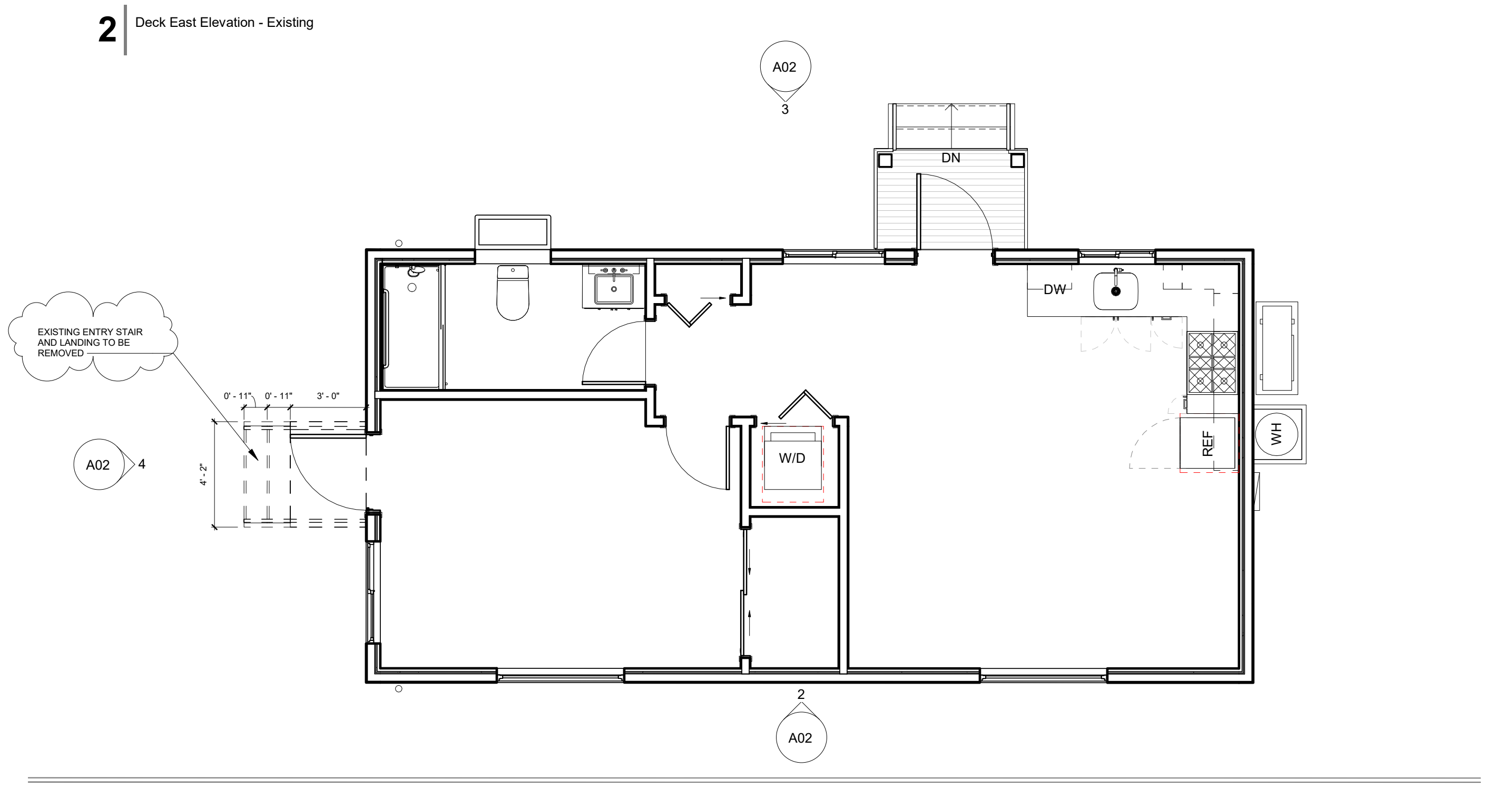
6 Deck East Elevation - Proposed
1/4" = 1'-0"



2 Deck East Elevation - Existing
1/4" = 1'-0"



5 ADU & Deck Floor Plan - Proposed
1/4" = 1'-0" ADU: 595 SF DECK: 129 SF



1 ADU & Deck Floor Plan - Existing
1/4" = 1'-0"

PROJECT ORIENTATION

REVIEWED BY
ANAMIKA GOYAL
COTTAGE TECHNOLOGIES INC.
2525 16TH ST., SUITE 316
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(415) 237-3715 *AAG*

PREPARED BY
SALLY SHADLUN
PROJECT DESIGNER

JUSTEN PEEK (ADVANCED ENGINEERING)
STRUCTURAL CONSULTANT

JASON BENNETT (ADVANCED ENGINEERING)
TITLE 24 COMPLIANCE CONSULTANT

REVISIONS

NO.	DATE	NOTE
3	04/17/2022	Planning Application Rev. 1

SHEET NAME
Deck Floor Plan, Building Elevations
A02 SCALE: 1/4" = 1'-0"

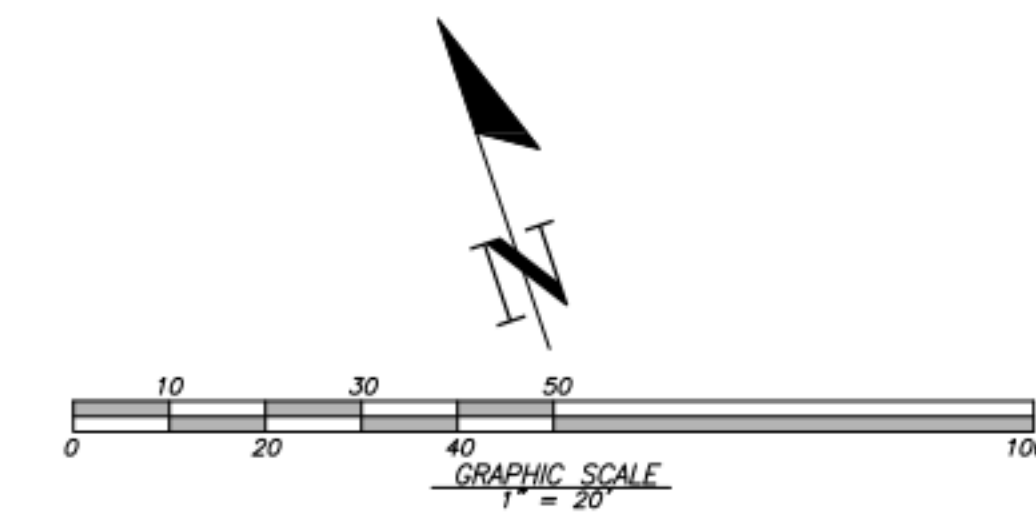
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BOLDRICK RESIDENCE

299 BOLINAS RD.,
FAIRFAX
DETACHED ADU

LEGEND

---200---	EXISTING CONTOUR LINE
---200---	NATURAL GRADE CONTOUR LINE
⊙	FOUND CITY MONUMENT BOX, OR AS NOTED
---	BOUNDARY OF PROPERTY SURVEYED
()	RECORD INFORMATION
---	CENTERLINE
△	CURB INLET
---	CURB LINE
---	DRIVEWAY APRON
○	ELECTROUER
-x-x-x-	FENCE
⋈	FIRE HYDRANT
⊠	FLAT GRATE INLET
---	O.H. PWR OVERHEAD POWER LINE
---	O.H. TEL OVERHEAD TELEPHONE LINE
---	SS SANITARY SEWER LINE
○	SANITARY SEWER MANHOLE
⊙	SANITARY SEWER CLEANOUT
---	SIGN
---	SD STORM DRAIN LINE
⊙	SD STORM DRAIN MANHOLE
□	UTILITY BOX
○	UTILITY POLE
---	WATER LINE
⊗	WATER METER
⊕	WATER VALVE
⊞	ELECTRIC METER
⊞	WATER HEATER
⊞	GAS



BASIS OF BEARINGS
THE BEARING NORTH 49°59'00" EAST OF THE CENTER LINE OF BOLINAS RD. FORMERLY COUNTY ROAD, AS SHOWN ON THAT MAP OF MAP NO.2-PACHECO TRACT FILED FOR RECORD IN BOOK 4 OF MAPS PAGE 72, MARIN COUNTY RECORDS, AND BY SPLITTING THE CURBS, WAS TAKEN AS THE BASIS OF BEARING FOR THIS SURVEY.

REFERENCES:
R1 MAP NO.2-PACHECO TRACT 04-M-72

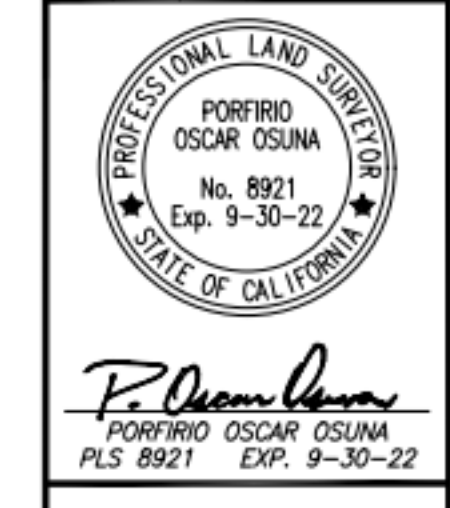
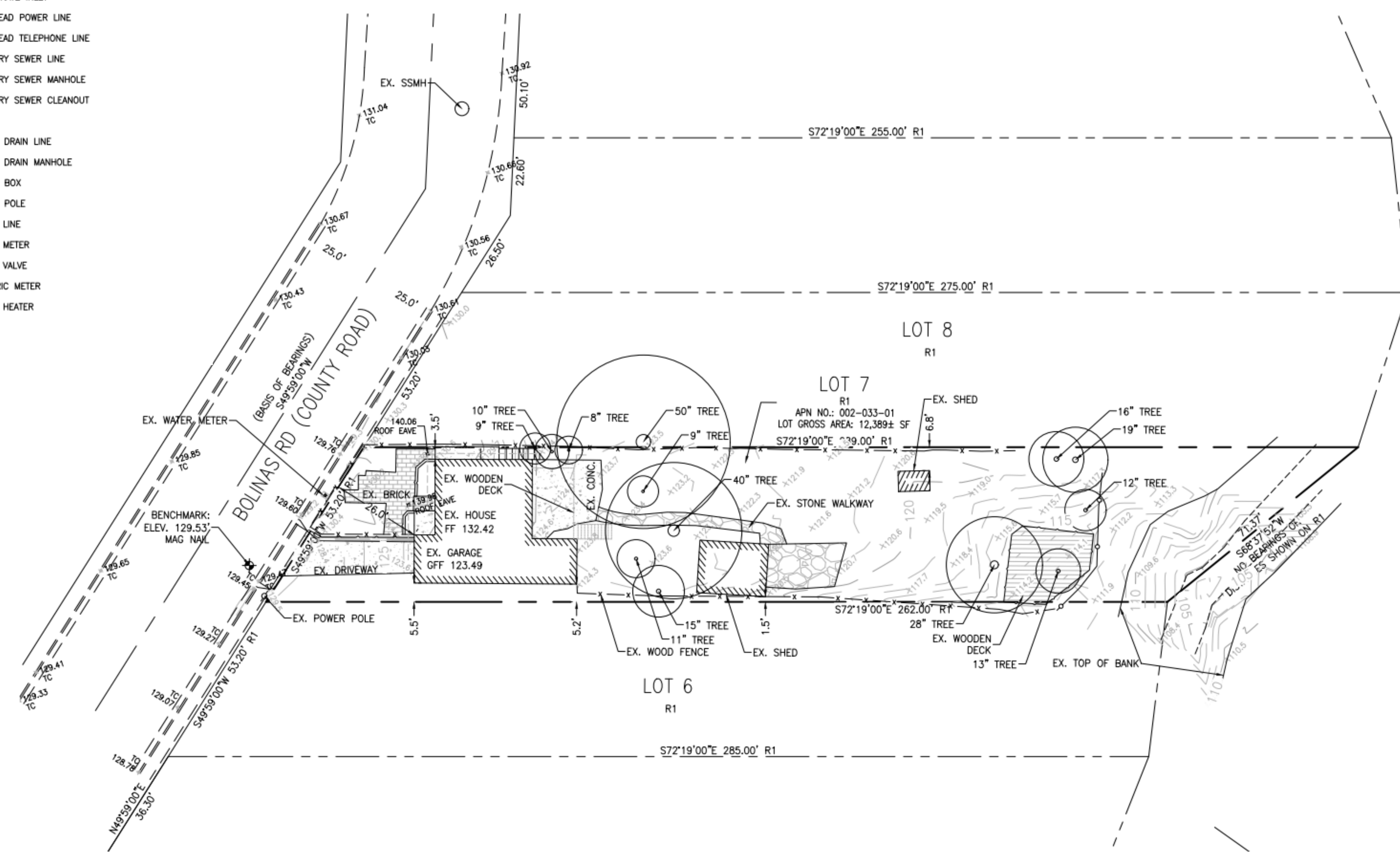
BENCH MARK
DESCRIPTION: ASSUMED BENCHMARK, MAG NAIL ON STREET, NEAR THE WESTERLY CORNER OF LOT AS SHOWN:
PROJECT BENCHMARK 129.53' (NAVD88 DATUM)

ABBREVIATIONS

APN	ASSESSOR'S PARCEL NUMBER
BM	BENCH MARK
CATV	CABLE TELEVISION OVERHEAD
D	CURVE DELTA
DRWY	DRIVEWAY
DS	DOWNSPOUT
FF	FINISH FLOOR
FL	FLOW LINE ELEVATION
GFF	GARAGE FINISH FLOOR
IP	IRON PIPE
L	CURVE LENGTH
R#	REFERENCE DOCUMENT
M-M	MONUMENT TO MONUMENT
O.H. PWR	OVERHEAD POWER LINE
O.H. TEL	OVERHEAD TELEPHONE LINE
PCL	PARCEL
P.M.	PARCEL MAP
PTN	PORTION
R	RADIUS
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB ELEVATION
TEMP.	TEMPORARY
PUE	PUBLIC UTILITY EASEMENT
WLE	WATER LINE EASEMENT

NOTES:

- DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.
- THE DISTINCTIVE BORDER LINE DENOTES THE BOUNDARY.
- TREES SPECIES NAMES ARE APPROXIMATE, AND LABELED BY THEIR COMMON NAME TO THE BEST OF OUR KNOWLEDGE. IT IS NOT BASED ON AN ARBORIST REPORT.
- TOPOGRAPHY SHOWN ON THIS MAP REPRESENTS THE SURFACE FEATURES ONLY.
- UNLESS SPECIFIED ON THIS MAP, LOCATIONS OF THE UNDERGROUND AND OVERHEAD UTILITIES ARE NEITHER INTENDED NOR IMPLIED. FOR THE LOCATIONS OF UNDERGROUND UTILITIES CALL "USA" (1-800-642-2440).
- BUILDING FOOTPRINTS ARE SHOWN AT GROUND LEVEL.
- FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
- A TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY OSUNA ENGINEERING, INC. OTHER EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.



P. Osuna
PORFIRIO OSCAR OSUNA
PLS 8921 EXP. 9-30-22

OSUNA ENGINEERING INC.
Planning | Surveying | Civil Engineering
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS
6920 SANTA TERESA BLVD., 206
SAN JOSE, CA 95119
TEL: (408) 772-4381
info@osunaeengineering.com

PRELIMINARY BOUNDARY & TOPOGRAPHIC SURVEY
299 BOLINAS RD
APN: 002-033-01

SHEET
BT2
OF 2 SHEETS

NO.	DATE	NOTE