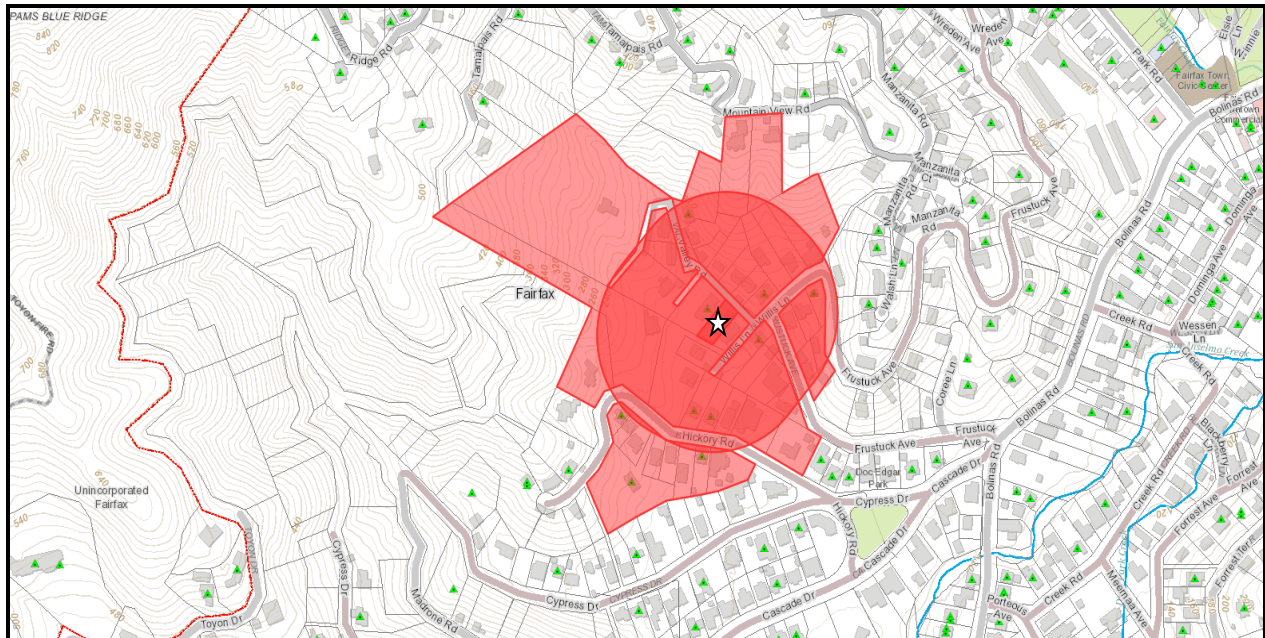


TOWN OF FAIRFAX STAFF REPORT

Department of Planning and Building Services

TO: Planning Commission
DATE: August 17, 2023
FROM: Linda Neal, Principal Planner
LOCATION: 7 Valley Road; APN # 003-191-30
ZONING: RS-6 Residential Single-family
PROJECT: Reconstruction/expansion of an existing carport to include a storage room, installation of a front walkway trellis, and legalization of conversion of an existing storage building into an office
ACTION: Conditional Use Permit and Combined Front/Rear Setback Variance Application # 23-23
APPLICANT: Brooks McDonald, Architect
OWNER: Kyle Miller & Jessie Curtner
CEQA STATUS: Categorically exempt, sections 15301(d), (e), and 15305(a)



7 VALLEY ROAD

PROJECT DESCRIPTION

The project encompasses the demolition of the existing 403 square-foot carport and 25 square-foot storage closet on the north side of the residence to construct a 438 square-foot carport and 104 square-foot storage room underneath the carport, construction of an approximately 127 square-foot (9.5 ft. by 6.5 ft) trellis over the residence front access walkway, and legalization of the conversion of a rear 122 square foot accessory structure (104 square-foot interior measurement) for use as office space. The front

walkway and the additional paved parking space at the front of the site west of the driveway/carport will be replaced with pervious surfaces as part of the project.

BACKGROUND

The site is 6,000 square-feet in size and 50-feet wide. The 1,448 square-foot, 2-story, 3-bedroom, 1 ½-bathroom, single-family residence was built in 1971 and there is no record of when the 122 square-foot accessory structure was built but the first reference to it in the property file was in a 2013 resale that identified it as an existing storage shed with electrical service. The structure has now been converted into an office.

DISCUSSION

The project complies with the requirements of the RS-6 Zone and floor area ratio (FAR), lot coverage and height regulations as follows:

	Front Setback	Rear Setback	Combined Front/rear Setback	Side Setbacks	Combined Side Setbacks	FAR	Coverage	Height
Required/ Permitted	6 ft.	6 ft.	25 ft.	5 ft. & 5 ft.	15 ft.	.40	.35	28.5 ft., 2 stories
Existing	8 ft.	2 ft. 2 in.	10 ft. 2 in.	6 ft. & 8 ft.	14 ft.	.23	.60	22 ft. 6 in., 2 stories
Proposed	6 ft.	No change	8 ft. 2 in.	No change	No change	.24	.58	No change

The house was built in 1971 when there were no required combined front/rear or combined side-yard setbacks and the minimum side yard setbacks were 5-feet. The location of the existing house limits the area where a parking structure can be built in the front yard.

The project requires the approval of the following discretionary permits by the Planning Commission:

1. A Conditional Use Permit (CUP) (Town Code Chapter 17.032)
2. A Combined Front/Rear Setback Variance (Town Code Chapter 17.028)

The legalization of the accessory structure as an office will increase the FAR of the site from 23% to 24% which is well below the allowable 35% (Town Code § 17.040.010).

Sixty percent of the site is currently covered with structures, parking, patios, and walkways (impervious improvements that count towards lot coverage per Town Code § 17.040.010 and § 17.008.020, definition of Lot Coverage). The project will decrease the existing lot coverage from 60% to 58% and will not require the approval of a lot coverage variance since the lot coverage limitation was amended to include impervious surfaces on September 6, 2002, after the backyard walkway/patio improvements were installed (Ordinance 696). Therefore, the existing lot coverage is legal non-conforming, and the project will decrease the non-conformity.

Conditional Use Permit

Town Code § 17.080.050 requires that a Conditional Use Permit (CUP) be obtained from the Planning Commission prior to any use, occupancy, or physical improvement of or on a building site failing to meet the minimum parcel size and width requirements based on its slope in the RS-6 Residential Single-family Zone. The minimum required lot size is 6,000 square-feet and the minimum required lot width is 60-feet [Town Code § 17.080.050(A)]. The project site is 6,000 square-feet in size but is only 50-feet wide. Therefore, any proposed new construction that does not maintain the same use and/or footprint as the structure it is replacing requires the approval of a CUP.

Town Code § 17.080.040 restricts the use of accessory structures in the RS-6 Zone to greenhouses, tool sheds, playhouses and similar improvements, private garages, private swimming pools and one accessory dwelling unit. Use of an accessory structure for a home office can be approved in accordance with Town Code 17.080.030(I) which gives the authority to the Planning Commission to grant CUPs to allow uses in accessory structures that are not listed as permitted in the RS-6 Zone.

Town Code § 17.032.010(A) indicates that, "the purpose of the conditional use permit is to allow the proper integration into Fairfax of uses which may be suitable only in certain locations in the town or in a zone or only if the uses are designed or laid out on the site in a particular manner."

Conditional Use Permit Findings Suggested Findings [Town Code §§ 17.032.060(A) through (D)]

The Planning Commission has approved similar residential uses in detached accessory structures throughout the Town so the approval of this CUP will not be a grant of special privilege.

The office is only used by the residents of 7 Valley Road between the hours of 7 AM and 7 PM and will therefore not create any light disturbance for the neighboring properties. Therefore, the development and use of property as approved under the CUP shall not cause excessive or unreasonable detriment to adjoining properties or premises.

Use of the accessory structure for an office by only the residents of 7 Valley Road will not increase traffic traveling to the site or the use of available public parking spaces within the immediate neighborhood. Therefore, the use of the accessory structure as daytime office space will not conflict with the surrounding residential uses and is not contrary to those objectives, goals or standards set forth in the 2010-2030 Fairfax General Plan or Title 17, the Zoning Ordinance.

Approval of the CUP will result in equal or better development of the premises than would otherwise be the case.

Combined Front/Rear Setback Variance

The minimum front setback required in the RS-6 Residential Single-family Zone on a site with a 10% slope is 6-feet and the required combined front/rear setback is 25-feet [Town Code § 17.080.070(A)(1)].

Front/rear Setback Variance Suggested Findings [Town Code 17.080.070(A)(1) through (4)]

The existing accessory office structure maintains a rear setback of 2-feet 2-inches and the new carport, built with a 6-foot front setback instead of the 8-foot setback maintained by the existing non-conforming carport, will maintain a combined front/rear setback of 6-feet 2-inches. Therefore, the project requires the approval of a minimum and combined front/rear setback variance.

The purpose of the Variance process is to allow variation from the setback requirements where there is some physical feature of a site that results in complying with the setback regulations involving practical difficulties or unnecessary hardship for an owner that is not in keeping with the spirit and purpose of the setback regulations (Town Code § 17.028.010).

1. The strict application of the 25-foot combined front/rear setback variance on this narrow lot would make it impossible for the owner to construct a covered parking area that meets the minimum parking depth requirement of 19-feet and provide necessary storage for the residence, a privilege enjoyed by other property owners in the immediate neighborhood (6 Valley Road, 18 Valley Road, 20 Valley).
2. The approval of the variance will not be a grant of special privilege as there are other properties in the neighborhood that do not comply with the combined front/rear setback variance having also been constructed prior to the adoption of the current Zoning Ordinance in 1973 (Ordinance 362).
3. The strict application of this title would result in excessive or unreasonable hardship because the owner would not be able to comply with the covered parking requirement set forth in Town Code 17.052.010(D).
4. The granting of the variance of adjustment will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated because the new carport will maintain the minimum and combined required side-yard setbacks from the nearest neighboring residences at 1 and 15 Valley Road.

Miscellaneous

The project does not constitute a 50% remodel [Town Code § 17.008.020 and 17.016.040(B)(2)] and therefore, does not require the approval of a Design Review Permit.

The site is not located within ¼ mile of any known Northern Spotted Owl Nesting Site.

Other Agency/Department Comments/Conditions

Fairfax Building Department

The conversion of the storage shed to an office requires the issuance of a building permit and will require demonstration to the Building Official that the construction complies with the Uniform Building Code and the Ross Valley Fire Code.

Staff verified with the Ross Valley Fire Department that sprinklers are only required for

accessory structures that have interior measurements totaling 120 square-feet or more. The existing accessory structure interior is only 104 square-feet and staff verified with Ross Valley Fire that it will not require installation of a sprinkler system.

Fairfax Police Department, Public Works Department, Ross Valley Fire Department, Marin Municipal Water District, Ross Valley Sanitary District

None of the other Town Departments or other agencies or districts commented on the project, but their standard conditions of project approval have been included and can be read in their entirety in attached Resolution No. 2023-20.

RECOMMENDATION

1. Conduct the public hearing.
2. Move to approve application # 23-23 by adopting Resolution No. 2023-21 setting forth the findings and conditions of the project approval.

ATTACHMENTS

A – Resolution No. 2023-20

B – Photos of the office

RESOLUTION NO. 2023-20

A Resolution of the Fairfax Planning Commission Approving Application # 23-23 for a Conditional Use Permit and Combined Front/Rear Setback Variance for the Reconstruction/Expansion of an Existing Carport and Construction of a Front Trellis and Legalization of the Conversion of an Accessory Structure into an Office at 7 Valley Road

WHEREAS, the Town of Fairfax has received an application from Kyle Miller and Jessie Curtner to demolish the existing 403 square-foot carport and 25 square-foot storage closet on the north side of their residence to construct a 438 square-foot carport and 104 square-foot storage room underneath the carport cover along the north side of the residence, to construct an approximately 127 square-foot trellis over the residence front access walkway, and to legalize the conversion of the rear 122 square foot accessory structure for use as office space; and

WHEREAS, the Planning Commission held a duly noticed Public Hearing on August 17, 2023, at which time the Planning Commission determined that the project does not conflict with any of the 2010-2030 Fairfax General Plan goals, objectives, and policies, complies with the Conditional Use Permit and Variance Chapters of the Zoning Ordinance and is categorically exempt from CEQA per § 15301(a) and § 15303(e); and

WHEREAS, based on the plans and other documentary evidence in the record the Planning Commission has determined that the applicant has met the burden of proof required to support the findings necessary to approve the Conditional Use Permit and the Variance; and

WHEREAS, The project is exempt from the California Environmental Quality Act per Categorical Exemption Sections 15301(d), (e), and 15305(a).

WHEREAS, the Planning Commission has made the following findings:

The project is consistent with the 2010-2030 Fairfax General Plan Policy LU-7.1.5: New and renewed residential development shall preserve and enhance the existing character of the Town's neighborhoods in diversity, architectural character, size, and mass.

Conditional Use Permit Findings [Town Code Sections 17.032.060(A) through (D)]

1. The Planning Commission has approved similar residential uses in detached accessory structures throughout the Town so the approval of this Conditional Use Permit will not be a grant of special privilege.
2. The development and use of property as approved under the Conditional Use Permit shall not cause excessive or unreasonable detriment to adjoining properties or premises. The office is only used by the residents of 7 Valley Road between the hours of 7 AM and 7 PM and will therefore not create any light disturbance for the neighboring properties.

3. Use of the accessory structure for an office by only the residents of 7 Valley Road as a home office and will not increase traffic traveling to the site or the use of available public parking spaces within the immediate neighborhood. Therefore, the use of the accessory structure as a daytime office space will not conflict with the surrounding residential uses and is not contrary to those objectives, goals or standards set forth in the 2010-2030 Fairfax General Plan or Title 17, the Zoning Ordinance.
4. Approval of the Conditional Use Permit will result in equal or better development of the premises than would otherwise be the case.

Combined Front/Rear Setback Variance [Town Code Section 17.028.070(A)(1) through (4)]

1. The strict application of the 25-foot combined front/rear setback variance on this narrow lot would make it impossible for the owner to construct a covered parking area that meets the minimum parking depth requirement of 19-feet and provide necessary storage for the residence, a privilege enjoyed by other property owners in the immediate neighborhood (6 Valley Road, 18 Valley Road, 20 Valley).
2. The approval of the variance will not be a grant of special privilege as there are other properties in the neighborhood that do not comply with the combined front/rear setback variance having also been constructed prior to the adoption of the current Zoning Ordinance in 1973 (Ordinance 362).
3. The strict application of this title would result in excessive or unreasonable hardship because the owner would not be able to comply with the covered parking requirement set forth in Town Code 17.052.010(D).
4. The granting of the variance or adjustment will not be detrimental to the public welfare or injurious to other property in the vicinity in which the property is situated because the new carport will maintain the minimum and combined required side-yard setbacks from the nearest neighboring residences at 1 and 15 Valley Road.

WHEREAS, the Planning Commission has approved the project subject to the applicant's compliance with the following conditions:

1. The project is approved per the plans prepared by Brooks McDonald received by the Town on August 1, 2023, as a home office for use by the residents of 7 Valley Road only.
2. During the construction process the following shall be required:
 - a. All construction-related vehicles including equipment delivery and contractor vehicles shall be situated off the travel lane of the adjacent public right-of-way at all times. Construction materials and tools shall be

stored on site. This condition may be waived by the Building Official on a case-by-case basis with prior notification from the project sponsor.

- b. Any proposed temporary closures of a public right-of-way shall require prior approval by the Fairfax Police Department and any necessary traffic control, signage or public notification shall be the responsibility of the applicant or his/her assigns. Any violation of this provision will result in a stop work order being placed on the property and issuance of a citation.
3. Any changes, modifications, additions, or alterations made to the approved set of plans will require a modification of Application # 23-23. Modifications that do not significantly change the project, the project design or the approved discretionary permits **may** be approved by the Planning Commission or the Planning Director. Any construction based on job plans that have been altered without the benefit of an approved modification of Application # 23-23 will result in the job being immediately stopped and red tagged.
4. Any damages to the public portions of Valley Road, Frustuck Avenue, or other public roadway used to access the site resulting from construction-related activities shall be the responsibility of the property owner.
5. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director, or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly notifying the applicant of any said claim, action, or proceeding.
6. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: The Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable

and Recyclable Food Packaging, Chapter 8.16, Garbage and Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32, and the Americans with Disabilities Act.

7. The conversion of the storage shed to an office requires the issuance of a building permit and will require demonstration to the Building Official that the construction complies with the Uniform Building Code and the Ross Valley Fire Code.

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby finds and determines as follows:

The approval of the Conditional Use Permit and Variance complies with the Fairfax Town Code and the Fairfax Zoning Ordinance, Town Code Title 17; and

Construction of the project can occur without causing significant impacts on neighboring residences and the environment.

The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 17th day of August 2023 by the following vote:

AYES:

NOES:

ABSENT:

Chair Cindy Swift

Attest:

Linda Neal, Principal Planner



ATTACHMENT B

7 VALLEY ROAD

FAIRFAX, CA 94930 APN# 003-191-30

REV 1: 06.29.2023

GENERAL NOTES

1. VERIFY ALL EXISTING DIMENSIONS & CONDITIONS AT THE SITE & NOTIFY ARCHITECT OF ANY VARIATIONS OR CONFLICTING OR MISSING DIMENSIONS OR DATA PRIOR TO BIDDING OR COMMENCING WORK. USE WRITTEN DIMENSIONS ONLY; DO NOT SCALE DRAWINGS FOR THE PURPOSE OF DETERMINING A DIMENSION DURING CONSTRUCTION.
2. CONDITIONS NOT SPECIFICALLY DETAILED SHALL BE BUILT TO CONFORM TO SIMILAR CONSTRUCTION, IN ACCORDANCE WITH THE BEST COMMON PRACTICE AND/OR MANUFACTURER'S SPECIFICATIONS FOR THE INSTALLATION OF THEIR MATERIALS OR ITEMS.
3. ALL MATERIALS, WORKMANSHIP & METHODS SHALL CONFORM TO CURRENTLY ADOPTED CALIFORNIA BUILDING CODE (CBC), CALIFORNIA PLUMBING CODE (CPC), CALIFORNIA MECHANICAL CODE (CMC), AND THE CALIFORNIA ELECTRICAL CODE (CEC) AND ANY OTHER APPLICABLE CODES & ORDINANCES OF THE LOCAL JURISDICTION.
4. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE LOCAL AND O.S.H.A. SAFETY REGULATIONS.
5. CONSTRUCTION BRACING & SHORING: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL BRACING AND SHORING REQUIRED DURING CONSTRUCTION UNTIL ALL CONSTRUCTION IS COMPLETE.
6. DO NOT STORE CONSTRUCTION MATERIALS OR OPERATE CONSTRUCTION EQUIPMENT IN SUCH A MANNER THAT DESIGN LIVE LOADS OF THE STRUCTURES ARE EXCEEDED. DO NOT STORE CONSTRUCTION MATERIALS ON OVERHANGING FRAMING.
7. TREES LOCATED CLOSE TO THE CONSTRUCTION SITE SHALL BE PROTECTED FROM INADVERTENT DAMAGE FROM CONSTRUCTION EQUIPMENT BY WRAPPING TRUNKS WITH PROTECTIVE MATERIALS, AVOIDING FILL OF ANY TYPE AGAINST THE BASE OF THE TRUNKS AND AVOIDING AN INCREASE IN SOIL DEPTH AT THE FEEDING ZONE OR DRIP LINE OF THE RETAINED TREES.
8. ([IF APPLICABLE]) SHOWERS AND TUB SHALL USE INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE. [CPC 420].
9. ([IF APPLICABLE]) GLAZING USED IN DOORS AND PANELS OF SHOWER AND TUB ENCLOSURES SHALL BE FULLY TEMPERED GLASS, LAMINATED SAFETY GLASS OR APPROVED PLASTIC OF A SHATTER-RESISTANT TYPE. [CBC 5406 (D) 5]
10. ([IF APPLICABLE]) SHOWER WALLS SHALL BE FINISHED WITH A NON-ABSORBENT SURFACE TO A HEIGHT OF 72" OR GREATER ABOVE DRAIN INLET.
11. INSTALL CERTIFIED INSULATION MATERIALS PER THE TITLE 24 MANDATORY MEASURES CHECKLIST MF-1R AND TITLE 24 ENERGY REPORT (ATTACHED ONLY IF APPLICABLE). INSULATION INSTALLED SHALL MEET FLAME SPREAD & SMOKE DENSITY REQUIREMENTS OF STATE OF CALIFORNIA TITLE 24, CALIFORNIA ELECTRICAL CODE, CALIFORNIA CODE OF REGULATIONS.

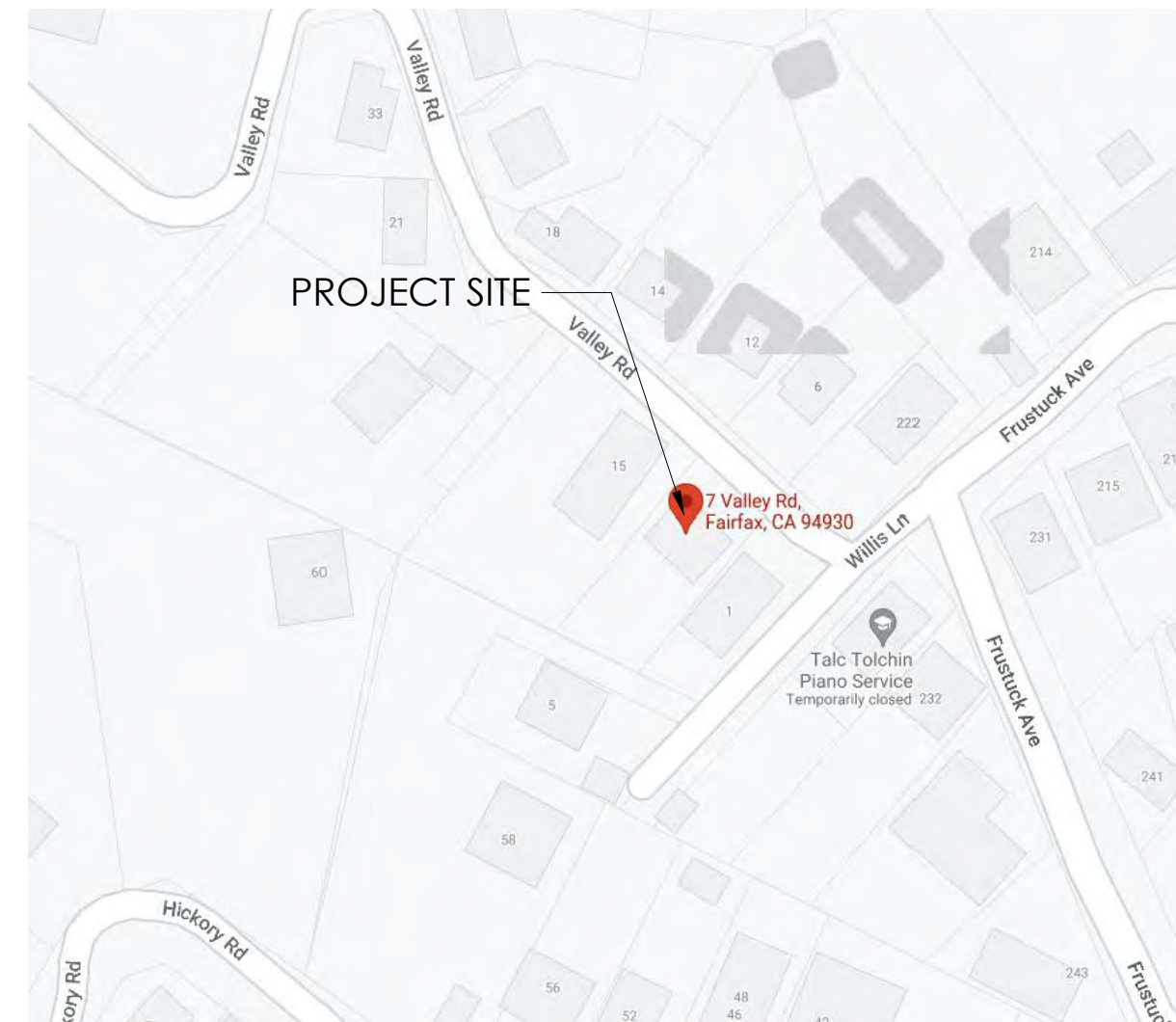
SYMBOL LEGEND

ROOM NAME	STUDIO A [117]	room name room number
WALL TYPE	[PWA]	
DOOR NUMBER	(101)	
WINDOW NUMBER	(1)	
RCP ELEVATION	[RCP 4']	
FINISH FLOOR ELEVATION	[X-XX]	
ELEVATION DATUM	FIRST FLR FFE EL. = X'-X" A.F.F.	datum location elevation
SECTION	[X/AXX] view direction	sheet number drawing number
DETAIL	[X/AXX] drawing number sheet number	
ELEVATION	[X/AXX] sheet number drawing number	
INTERIOR ELEVATION	[X/AXX] drawing number elevation designation sheet number	
COLUMN GRIDLINE	99	
ADDENDUM	[CLOUD]	
EXISTING WALLS TO REMAIN	[SOLID]	
EXISTING WALLS TO BE REMOVED	[DASHED]	
EXISTING ELEMENTS TO BE REMOVED	[DOTTED]	
NEW TYP. NON-RATED WALL	[X/AXX]	
1-HOUR RATED WALL: 1 LAYER TYPE X 1/2" GWB EACH SIDE	[X/AXX]	
CENTER LINE	[DASHED]	
LINE OF ITEM ABOVE	[DOTTED]	

FRONT FACADE



VICINITY MAP



LOT COVERAGE

LOT SIZE*: 6000	
EXISTING LOT COVERAGE (IMPERVIOUS, INCLUDING CARPORT)	PROPOSED LOT COVERAGE (IMPERVIOUS, INCLUDING CARPORT)
MAIN HOUSE: 740 SF	MAIN HOUSE: 828 SF
REAR HARDSCAPE: 1710 SF	REAR HARDSCAPE: 1710 SF
FRONT HARDSCAPE: 737 SF	FRONT HARDSCAPE: 507 SF
CARPORT: 403 SF	CARPORT: 438 SF
TOTAL: 3610 SF (60.17%)	TOTAL: 3483 SF (58.05%)
PERVIOUS: 2390 SF = 39.83%	PERVIOUS: 2517 SF = 41.95%

PROJECT DIRECTORY

OWNER: KYLE MILLER & JESSIE CURTNER 7 VALLEY ROAD FAIRFAX, CA 94930 KYLE.MACCLAREN@GMAIL.COM JCURTNER@GMAIL.COM	GENERAL CONTRACTOR: TBD
ARCHITECT: BROOKS MCDONALD ARCHITECTURE 1615 BRIDGEWAY SAUSALITO, CA 94965 415.350.8011 BROOKS@BROOKSMCDARCHITECTURE.COM	STRUCTURAL ENGINEER: SCOTT HENDERSON 183 BUTTERFIELD RD SAN ANSELMO, CA 415.521.0564 SCOTT@HENDERSON-STRUCTURAL.COM

PROJECT DESCRIPTION

NEW CARPORT, HARDSCAPE & LANDSCAPING AT FRONT OF PROPERTY, NEW STORAGE ROOM AT FIRST FLOOR, AND DEMO EXISTING CHIMNEY.

PROJECT DATA

PARCEL INFORMATION	
BLOCK / LOT:	003-191-30
PROPERTY ADDRESS:	7 VALLEY ROAD FAIRFAX, CA 94930 6000 SF
LOT AREA:	
ZONING INFORMATION	
ZONING DISTRICT:	RS-4 SINGLE FAMILY RESIDENTIAL, HIGH DENSITY
HEIGHT & BULK DISTRICT:	28.5' / 22.5' PROPOSED
FRONT & REAR SETBACKS:	6' FRONT & 19' REAR
SIDE SETBACK:	15' TWO SIDES COMBINED
F.A.R.:	40% (2400 SF ALLOWED, 1592 EXISTING, 1670 SF PROPOSED)
BUILDING INFORMATION	
OCCUPANCY:	R-3
NO. STORIES:	2 EXISTING / 2 PROPOSED
CONSTRUCTION TYPE:	V-B
GROSS FLOOR AREA:	1592 SF EXISTING / 1670 SF PROPOSED
WILDLAND-URBAN INTERFACE: YES. ALL CONSTRUCTION SHALL COMPLY WITH BUILDING STANDARDS IN 2022 CFC CHAPTER 7A AND 2022 CRC SECTION 337. ALL VEGETATION AND CONSTRUCTION MATERIALS ARE TO BE MAINTAINED AWAY FROM THE RESIDENCE DURING CONSTRUCTION (DEFENSIBLE SPACE). ALL NEW DECKING SHALL BE CON HEART REDWOOD 2X MINIMUM THICKNESS.	

AREA CALCS (SQUARE FEET)

FLOOR	EXISTING	PROPOSED	DELTA
1ST FLOOR	724	724	+0
2ND FLOOR	724	724	+0
REAR OFFICE	122	122	+0
FRONT STORAGE	25	104	+79
TOTAL GROSS	1595	1674	+79

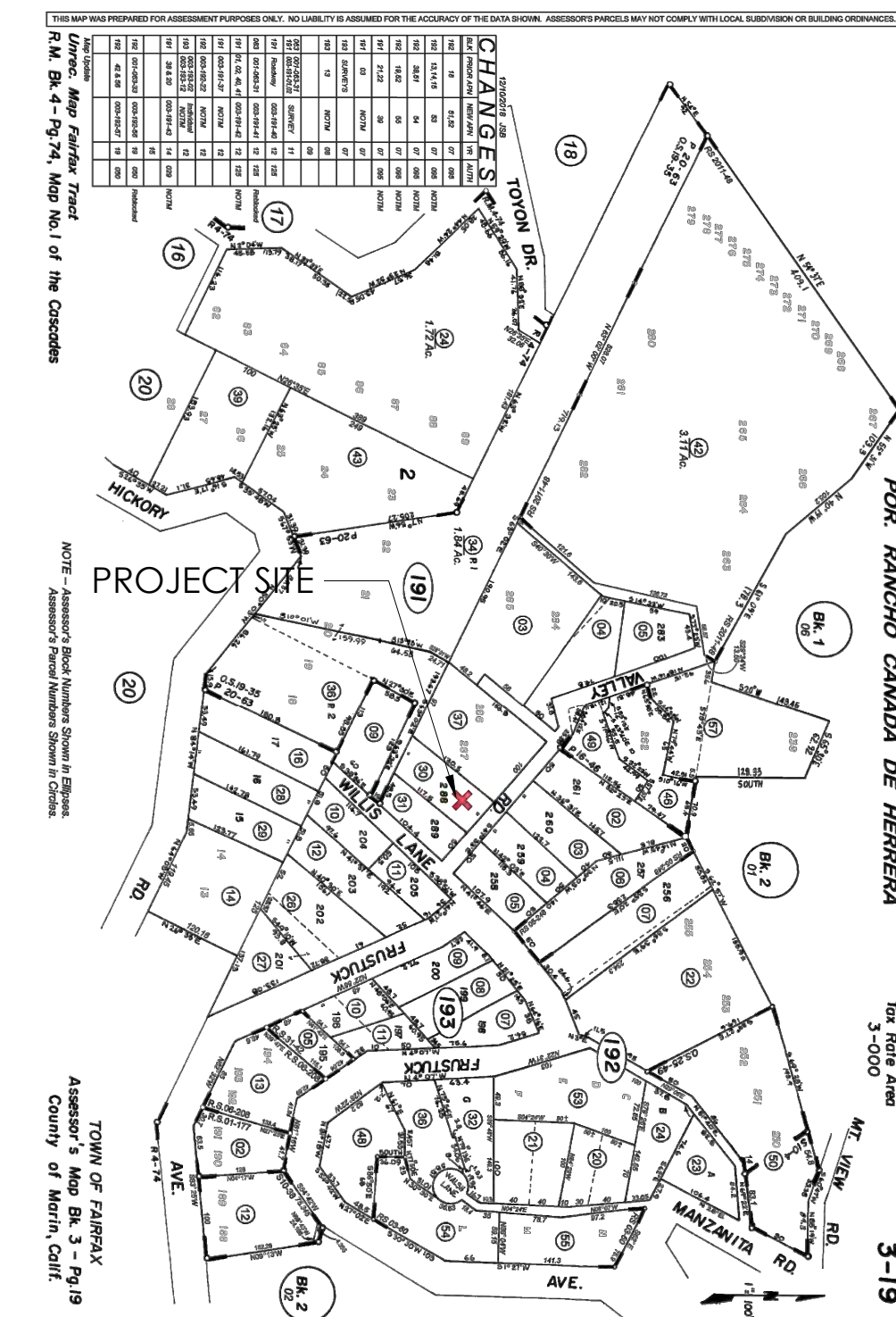
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CG1 CALGREEN CHECKLIST
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ABBREVIATIONS

A.D. AREA DRAIN	EA EACH	JT JOINT	REG REGISTER	TYP TYPICAL
A.S.F. ABOVE SUB FLOOR	EJ EXPANSION JOINT	LAM LAMINATED	REIN REINFORCED	UNF UNFINISHED
ADJ ADJUSTABLE	ELC ELECTRICAL	LAV LAVATORY	REQ'D REQUIRED	VAR VARIES
AFF ABOVE FINISH FLOOR	ELEV ELEVATION	LP LOW POINT	RET RETURN	VCT VINYL COMPOSITE TILE
ALUM ALUMINUM	EQ EQUAL	LT LIGHT	REV REVISED	RM ROOM
ARCH ARCHITECTURAL	(E) EXISTING	MECH MECHANICAL	R.O.W. RIGHT OF WAY	RWL RAIN WATER LEADER
ATTN ATTENTION	EXT EXTERIOR	MIN MINIMUM	S.A.D. SEE ARCHITECTURE DRAWINGS	SCHD SCHEDULE
BLKG BLOCKING	F.O.F. FACE OF FINISH	MIR MOISTURE RESISTANT	SCHED SCHEDULE	SHTG SHEATHING
BLDG BUILDING	F.O.S. FACE OF STRUCTURE	MIL METAL	S.M.D. SEE MECHANICAL DRAWINGS	SIM SIMILAR
BD BOARD	FAU FORCED AIR UNIT	(N) NEW	S.S.D. SEE STRUCTURAL DRAWINGS	SS STAINLESS STEEL
BTWN BETWEEN	FIN FINISH	N.I.C. NOT IN CONTRACT	SF SQUARE	STD STANDARD
B.O. BY OWNER	FLR FLOOR	NOM NOMINAL	S.M.D. SEE MECHANICAL DRAWINGS	STL STEEL
CAB CABINERY	F.R. FIRE RATED	NIS NOT TO SCALE	S.S.D. SEE STRUCTURAL DRAWINGS	STRUCT STRUCTURAL
CL CENTERLINE	GA GAUGE	ON CENTER	S.S.D. SEE STRUCTURAL DRAWINGS	SUSP SUSPENDED
CLO CLOSET	GALV GALVANIZED	OD OUTSIDE DIMENSION	S.S.D. SEE STRUCTURAL DRAWINGS	T TREAD
CLG CEILING	GFCI GROUND FAULT CIRCUIT INTERRUPTER	OH OVERHEAD	S.S.D. SEE STRUCTURAL DRAWINGS	TBD TO BE DETERMINED
CMU CONCRETE MASONRY UNIT	GFCI GROUND FAULT CIRCUIT INTERRUPTER	OPN'G OPENING	S.S.D. SEE STRUCTURAL DRAWINGS	TEMP TEMP
COL COLUMN	GND GROUND	OPP OPPOSITE	S.S.D. SEE STRUCTURAL DRAWINGS	T.I. TOP OF
CONC CONCRETE	GWB GYPSUM WALLBOARD (SHEETROCK)	OPP OPPOSITE	S.S.D. SEE STRUCTURAL DRAWINGS	T.O.P. TOP OF PLATE
CONT CONTINUOUS	H.B. HOSE BIB	PL PROPERTY LINE	S.S.D. SEE STRUCTURAL DRAWINGS	T.O.C. TOP OF CONCRETE
CP CENTER POINT	HDWR HARDWARE	PLAS PLASTER	S.S.D. SEE STRUCTURAL DRAWINGS	T.O.W. TOP OF WALL
C.T. CERAMIC TILE	HDR HEADER	PLYWD PLYWOOD	S.S.D. SEE STRUCTURAL DRAWINGS	THK THICK
DIA DIAMETER	HP HIGH POINT	PT POINT	S.S.D. SEE STRUCTURAL DRAWINGS	
DBL DOUBLE	HORIZ HORIZONTAL	PTD PAINTED	S.S.D. SEE STRUCTURAL DRAWINGS	
DET DETAIL	HT HEIGHT	QTY QUANTITY	S.S.D. SEE STRUCTURAL DRAWINGS	
DN DOWN	ID INSIDE DIMENSION	R RIB	S.S.D. SEE STRUCTURAL DRAWINGS	
DEPT DEPARTMENT	IN INCH	RAD RADIUS	S.S.D. SEE STRUCTURAL DRAWINGS	
DW DISHWASHER	INSUL INSULATION	RCP REFLECTED CEILING PLAN	S.S.D. SEE STRUCTURAL DRAWINGS	
DWG DRAWINGS	INT INTERIOR	RD ROOF DRAIN	S.S.D. SEE STRUCTURAL DRAWINGS	
DWR DRAWER	JB JUNCTION BOX	REF REFERENCE	S.S.D. SEE STRUCTURAL DRAWINGS	
		REFR REFRIGERATOR	S.S.D. SEE STRUCTURAL DRAWINGS	

ASSESSOR'S PARCEL MAP



APPLICABLE CODES

2022 CALIFORNIA BUILDING CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA RESIDENTIAL CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA MECHANICAL CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA PLUMBING CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA ELECTRICAL CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA FIRE CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA ENERGY CODE WITH LOCAL AMENDMENTS
 2022 CALIFORNIA GREEN BUILDING CODE WITH LOCAL AMENDMENTS
 FAIRFAX MUNICIPAL CODE

ISSUED

REV 1:

6.29.2023

PERMIT:

3.18.2023

PROJECT INFO

A0.1

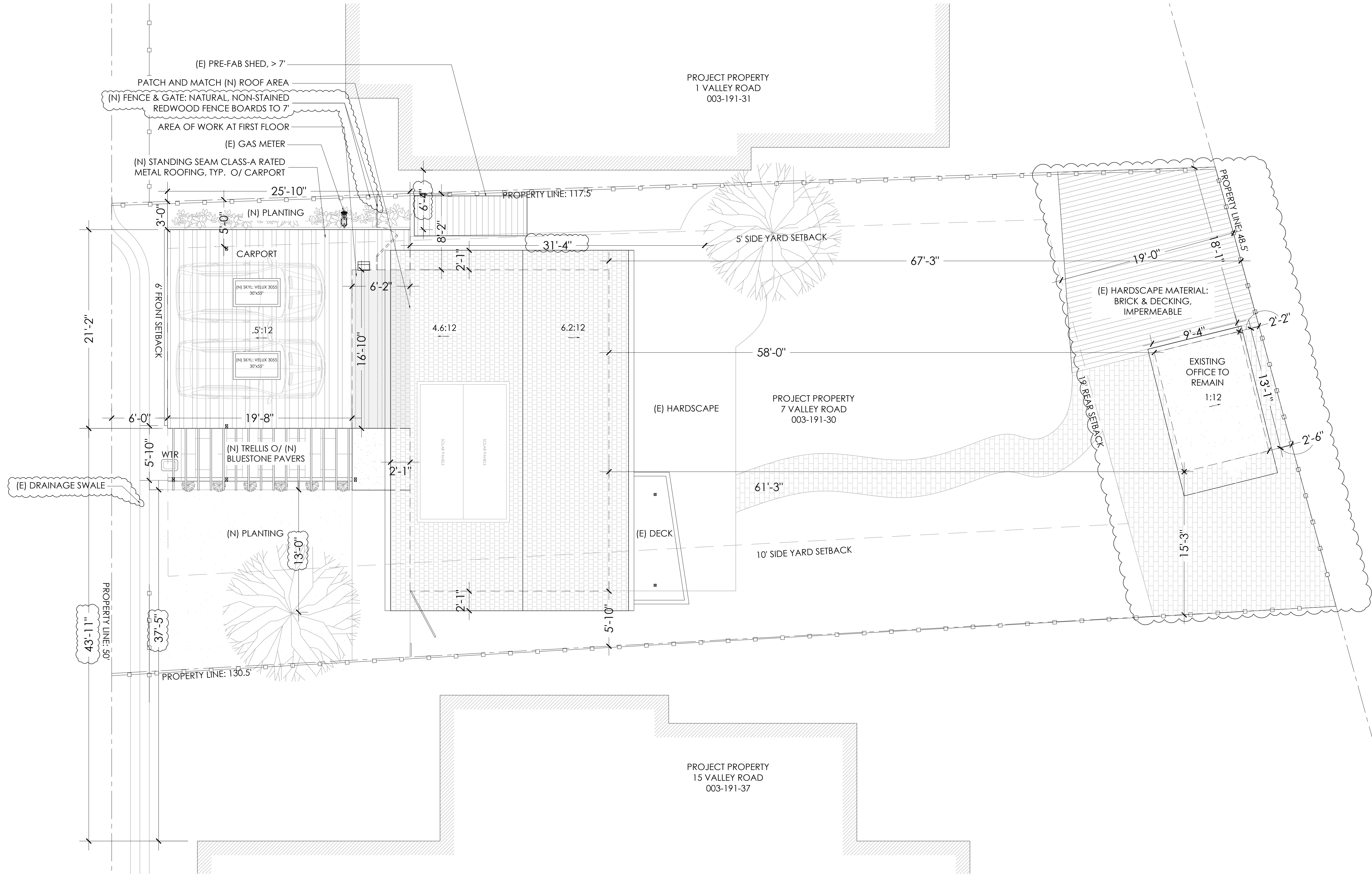
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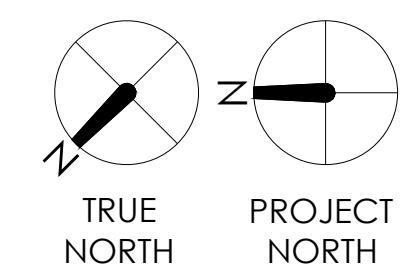
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 APN #003-191-30



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1 PROPOSED SITE PLAN & ROOF PLAN
3/16" = 1'-0"



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PROPOSED SITE PLAN

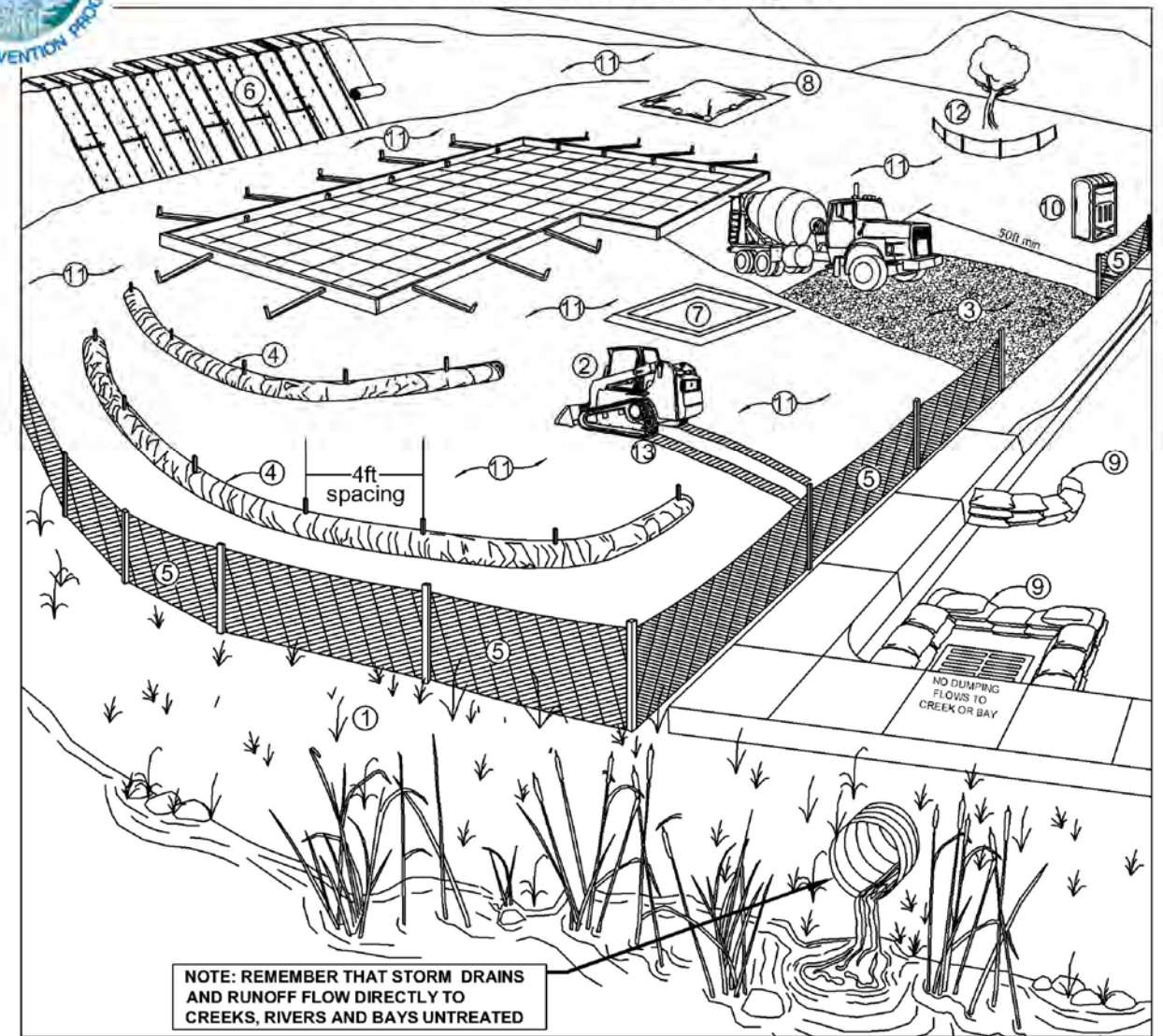
3/16" = 1'-0"

A1.1

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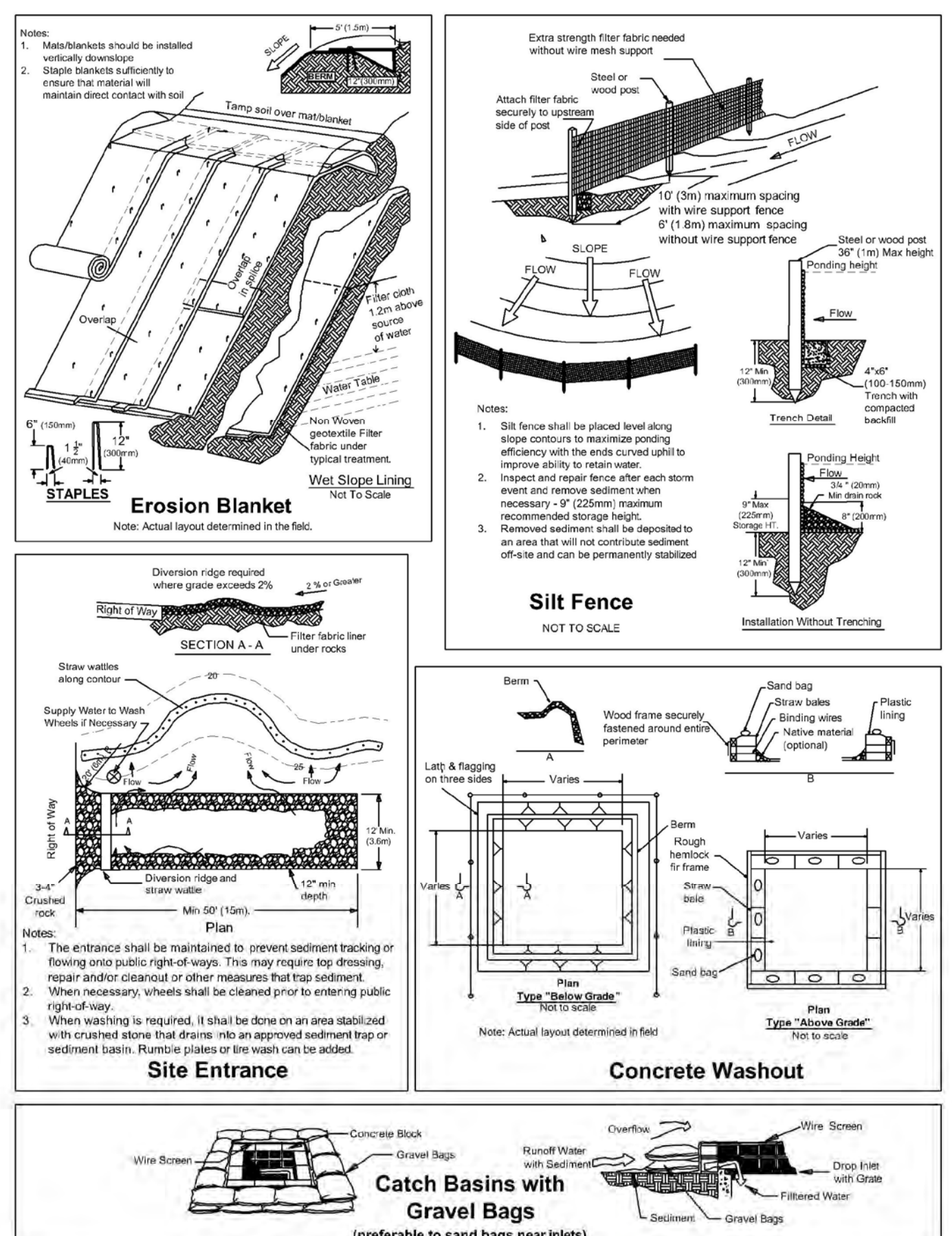
Marin County Stormwater Pollution Prevention Program
Minimum Erosion/Sediment Control Measures
For Small Construction Projects



NOTE: REMEMBER THAT STORM DRAINS AND RUNOFF FLOW DIRECTLY TO CREEKS, RIVERS AND BAYS UNTREATED

- Check with your local Planning and Public Works departments for creek setback requirements. Grading and/or building may be limited within creekside buffers.
- During grading phase, track-walk up and down slopes (not parallel to them).
- Stabilize site entrance and temporary driveway - use 3-4" crushed rock for a minimum of 50' (or as far as possible) to prevent tracking soil offsite. This can be used in conjunction with a tire wash or rumble plates.
- Use straw wattles along contours of short slopes or slopes 3:1 or flatter, keyed into ground at least 3" deep (typically 25' apart).
- Install silt fence along contours as secondary measure to keep sediment onsite and to minimize vehicle and foot traffic beyond limits of site disturbance. Silt fencing must be keyed in.
- Install erosion control blankets (or equivalent) on any disturbed site with 3:1 slopes or steeper, keyed into the ground at least 3".
- Construct a concrete washout site adjacent to stabilized entrance. Clean as needed and remove at end of project.
- Cover all stockpiles and landscape material and burn properly with straw wattles or sand bags. Keep behind silt fence, away from water bodies. Hazardous materials must be kept in closed containers that are covered and utilize secondary containment, not directly on soil.
- Use pea-gravel bags, (or similar product) around drain inlets located both onsite and in gutter as a last line of defense.
- Place port-a-potty near stabilized site entrance, behind the curb and away from gutters, storm drain inlets, and water bodies.
- Cover all exposed soil with straw mulch and tackifier (or equivalent).
- Existing vegetation should be preserved as much as possible. Areas of disturbed soil/vegetation should be revegetated as soon as practical.
- Prevent equipment fluid leaks onto ground by placing drip pans or plastic tarps under equipment.

Note: Schedule construction activities to reduce erosion potential. Sediment and erosion control shall be continually maintained throughout the rainy season (October 15th - April 15th) and must remain effective through the construction and landscape phases. Inspect and maintain Best Management Practices (BMPs) before and after rain events. *See reverse for detail drawings. Visit www.mctopp.org for more information on construction site management.



If you require materials in alternative formats, please contact:
 415-473-4381 voice/TTY or disabilityaccess@co.marin.ca.us

CMP NOTES:

HOURS OF OPERATION
 CONSTRUCTION HOURS ARE LIMITED PER THE MILL VALLEY MUNICIPAL CODE TO WEEKDAYS FROM 7:00 AM TO 6:00 PM. CONSTRUCTION NOISE IS NOT ALLOWED BEFORE 8 AM OR AFTER 5 PM.

PROJECT DELIVERIES AND OFF-HAUL (INCLUDING EQUIPMENT, MATERIALS, REMOVAL OF SOIL, REFUSE OR DEMOLITION DEBRIS) ARE LIMITED TO WEEKDAYS BETWEEN THE HOURS OF 9:00 AM AND 4:00PM. ALL DRIVERS SHALL BE ADVISED OF THE DESIGNATED PROJECT TRUCK ROUTE, INCLUDING APPROVED TURN AROUND LOCATIONS, PRIOR TO ANY DELIVERIES OR MATERIAL REMOVAL. ALL OPEN-BED TRUCKS SHALL BE TARPED.

JOB SITE RULES

- ALL DEBRIS FROM DAY'S ACTIVITIES WILL BE PICKED UP AND THE AREA BROOM SWEEPED, AND PROPERLY DISPOSED OF OR STOCKPILED.
- SMOKING IS PROHIBITED ON SITE AND WITHIN TWENTY-FIVE FEET OF ANY BUILDING.

MATERIAL STORAGE
 ALL CONSTRUCTION MATERIALS, DEBRIS, FACILITIES, AND EQUIPMENT SHALL BE STORED ON SITE, IF THAT IS NOT POSSIBLE, AN ENCROACHMENT PERMIT SHALL BE OBTAINED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO PLACING ANY CONSTRUCTION MATERIALS, PARKING, DEBRIS, OR UNLICENSED EQUIPMENT IN THE PUBLIC RIGHT-OF-WAY. THE FEE FOR USING THE PUBLIC RIGHT-OF-WAY FOR STORAGE OF CONSTRUCTION MATERIALS OR EQUIPMENT IS \$10.00 PER SPACE PER DAY IN RESIDENTIAL AREAS, AND \$20.00 PER DAY IN COMMERCIAL AREAS. A MINIMUM OF 11 FEET OF CLEARANCE SHALL BE MAINTAINED AT ALL TIMES ALONG THE ROADWAY. PORTABLE TOILETS AND JOB SHEDS SHALL NOT BE PERMITTED TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY WITHOUT PRIOR APPROVAL OF THE DEPARTMENT OF PUBLIC WORKS. PORTABLE TOILETS AND JOB SHEDS WILL NOT BE PERMITTED TO BE PLACED IN THE PUBLIC RIGHT-OF-WAY, OR WITHIN CREEK SETBACKS. PORTABLE TOILETS SHALL UTILIZE A SECONDARY CONTAINMENT SYSTEM. A VIOLATION OF THE CMP WITH RESPECTS TO PORTABLE TOILET SHALL RESULT IN A NOTICE VIOLATION, APPLICABLE FINES, AND A RESULT IN WORK ORDER.

PARKING
 PROJECT VEHICLES PARKED IN THE PUBLIC RIGHT-OF-WAY ON THE SITE STREET OR NEARBY SITE STREETS, REQUIRE A ROAD IMPACT PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS. A SEPARATE ROAD IMPACT PERMIT WILL BE GIVEN IF PROJECT DEMONSTRATES THAT NO ON-SITE PARKING IS FEASIBLE. CONTACT DPW AT (415)384-4800. VEHICLES PARKED IN THE PUBLIC RIGHT-OF-WAY WITHOUT A PERMIT DISPLAYED ON DASHBOARD WILL BE TOWED. ROAD IMPACT PERMITS FOR PARKING REQUIRE "NO PARKING" SIGNS TO BE POSTED A MINIMUM OF 72 HOURS IN ADVANCE. PROJECT VEHICLES SHALL PARK ON THE PROJECT SITE AND CARPOOL FROM AN ACCEPTABLE PUBLIC LOT SUCH AS THE MANZANITA PARK AND RIDE. ANY PROJECT-RELATED WORKERS, CONTRACTORS OR SUBCONTRACTORS UNABLE TO PARK ON-SITE WILL CARPOOL TO THE SITE. WORKER PARKING SHALL BE CONSISTENT WITH THE APPROVED PROJECT SCHEDULE. ANY UNPERMITTED ROAD IMPACT WILL RESULT IN A STOP WORK ORDER FOR VIOLATION OF THE CONSTRUCTION MANAGEMENT PLAN. WORK WILL NOT BE PERMITTED TO RESUME UNTIL THE PROJECT CONTRACTOR AND ANY INVOLVED SUBCONTRACTORS ATTEND A CONSTRUCTION MANAGEMENT REVIEW MEETING WITH CITY STAFF, INCLUDING, BUT NOT LIMITED TO THE DEPARTMENT OF PUBLIC WORKS, PLANNING DEPARTMENT AND BUILDING DEPARTMENT AND ALL APPLICABLE FEES HAVE BEEN PAID IN FULL.

ROAD IMPACTS (ROAD/LANE CLOSURES, LANE SHIFT, PARKING, TRAFFIC DELAY)
 ROAD IMPACTS SHALL ONLY BE PERMITTED WITH PRIOR AUTHORIZATION BY DPW. APPLICANT SHALL PROVIDE A MINIMUM OF 48 HOURS NOTICE IN ADVANCE OF THE PROPOSED DATE OF CLOSURE TO THE AFFECTED PROPERTY OWNERS AND POST THE ROAD CLOSURE 48 HOURS IN ADVANCE OF WORK. NOTICE SHALL INCLUDE DATE(S) AND DURATION OF PROPOSED CLOSURE, THE TRAFFIC CONTROL PLAN AS WELL AS ANY DETOURS THAT MAY BE AVAILABLE. EVIDENCE OF SUCH WRITTEN NOTIFICATION TO AFFECTED RESIDENTS AND PROPERTY OWNERS SHALL BE PROVIDED TO DPW.

CONTRACTOR MUST CONTACT THE DEPARTMENT OF PUBLIC WORKS TO OBTAIN A LANE CLOSURE, ROAD CLOSURE, AND/OR TRANSPORTATION PERMIT IF CONSTRUCTION VEHICLES ARE TOO LARGE. ALL DRIVERS SHALL BE ADVISED OF THE POTENTIAL FOR LIMITED ACCESS ALONG THE DESIGNATED TRUCK ROUTE AND THAT THE CITY, WITH 24-HOURS ADVANCED NOTICE, WILL PROVIDE TRAFFIC CONTROL AND ASSISTANCE IN REACHING THE JOB SITE SAFELY.

TRAFFIC/TRUCK ROUTE (USE CITY'S DESIGNATED TRUCK ROUTE)
 TRAFFIC SHALL BE DIRECTED TO THE SITE VIA CENTER BLVD/SIR FRANCIS DRAKE BLVD TO FRUSTUCK AVE TO DOMINGA AVE AND BACK UP TO CENTER BLVD. ROUTE MAY BE ADJUSTED TO ACCOMMODATE CONSTRUCTION VEHICLES AND EFFICIENCY OF CONSTRUCTION.

ENFORCEMENT
 THIS PLAN SHALL BE A BINDING DOCUMENT; FAILURE TO ADHERE TO THE PLAN MAY RESULT IN A "STOP WORK" ORDER. THE "STOP WORK" ORDER WILL BE LIFTED ONLY AFTER THE CITY HAS SUFFICIENT ASSURANCE THAT THE REPEATED VIOLATIONS WILL CEASE THROUGH THE REMAINDER OF THE PROJECT. THIS PLAN SHALL BE UPDATED AS PROJECT CONDITIONS CHANGE. UPDATES TO PLAN SHALL BE PROVIDED TO THE DEPARTMENT OF PUBLIC WORKS, POSTED ON THE JOB SITE, AND COMMUNICATED TO NEIGHBORING PROPERTY OWNERS.

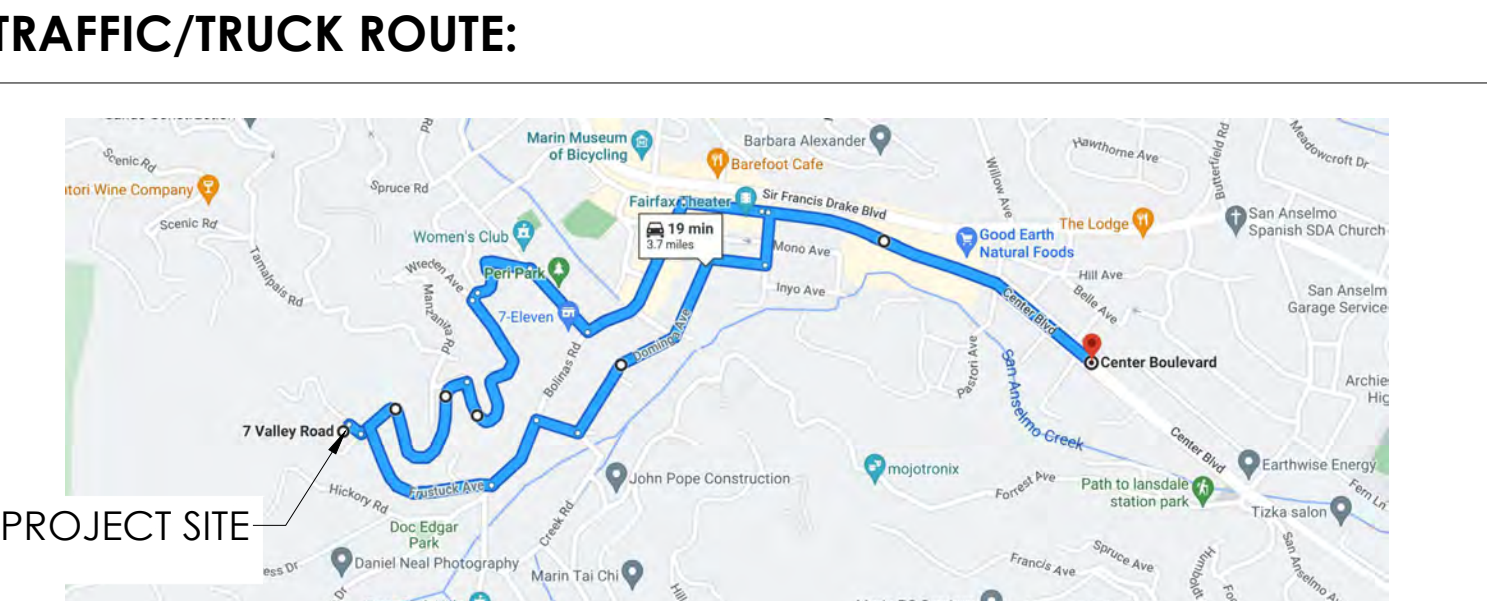
STORMWATER POLLUTION PREVENTION
 APPLICANT IS RESPONSIBLE FOR USING BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY ("GENERAL CONSTRUCTION AND SITE SUPERVISION" BROCHURE AVAILABLE AT DPW) TO PREVENT STORM WATER POLLUTION. APPLICANT IS RESPONSIBLE FOR ALL ENVIRONMENTAL DAMAGE RESULTING FROM THE CONSTRUCTION OF THE PROJECT.

WASTEWATER REQUIREMENTS

- ALL WORK RELATED TO SEWER REPLACEMENT OR REHABILITATION REQUIRES A PERMIT FROM THE CITY.
- ALL DEFICIENCIES IN THE LATERAL MUST BE REPAIRED PRIOR TO RECEIVING FINAL SIGNOFF FOR THIS PROJECT.

EROSION/SEDIMENT CONTROL MEASURES

- STABILIZE SITE ENTRANCE AND TEMPORARY DRIVEWAY. USE 3-4" CRUSHED ROCK FOR A MINIMUM OF 50' (OR AS FAR AS POSSIBLE) TO PREVENT TRACKING SOIL OFFSITE. THIS CAN BE USED IN CONJUNCTION WITH A TIRE WASH OR RUMBLE PLATES.
- USE STRAW WATTLES ALONG CONTOURS OF SHORT SLOPES OR SLOPES 3:1 OR FLATTER, KEYS INTO GROUND AT LEAST 3" DEEP (TYPICALLY 25' APART).
- CONSTRUCT A CONCRETE WASHOUT SITE ADJACENT TO STABLE ENTRANCE CLEAN AS NEEDED AND REMOVE AT END OF PROJECT.
- COVER ALL STOCKPILES & LANDSCAPE MATERIAL AND BERM PROPERLY WITH STRAW WATTLES OR SAND BAGS. HAZARDOUS MATERIAL MUST BE KEPT IN CLOSED CONTAINERS THAT ARE COVERED AND UTILIZE SECONDARY CONTAINMENT, NOT DIRECTLY ON SOIL.
- USE PEA-GRAVEL BAGS, (OR SIMILAR PRODUCT) AROUND DRAIN INLETS LOCATED BOTH ONSITE AND IN GUTTER AS A LAST LINE OF DEFENSE.
- COVER ALL EXPOSED SOIL WITH STRAW MULCH AND TACKIFIER (OR EQUIVALENT).
- EXISTING VEGETATION SHOULD BE PRESERVED AS MUCH AS POSSIBLE. AREAS OF DISTURBED SOIL/VEGETATION SHOULD BE RE-VEGETATED AS SOON AS PRACTICAL.



PROJECT SCHEDULE:

MOBILIZATION/START DATE.....	(TBD)
SITE SET-UP.....	1 WEEK
DEMOLITION.....	1 WEEK
FRAMING.....	10 WEEKS
EXTERIOR SHEATHING.....	2 WEEKS
MECHANICAL, ELECTRICAL ROUGH-IN.....	(TBD)
ROUGH-IN INSPECTION.....	(TBD)
BLDG PAPER, FLASHING, WATERPROOF MEMBRANE, ROOFING.....	2 WEEKS
INSTALL WINDOWS & DOORS.....	3 WEEKS
DRYWALL INSTALL.....	1 WEEK
DRYWALL INSPECTION.....	(TBD)
EXTERIOR TRIM & SIDING INSTALL.....	2 WEEKS
PAINTING INTERIOR AND EXTERIOR.....	1 WEEKS
LANDSCAPING & SITE WORK.....	2 WEEKS
FINAL INSPECTION.....	(TBD)
PROJECT FINALIZED.....	(TBD)

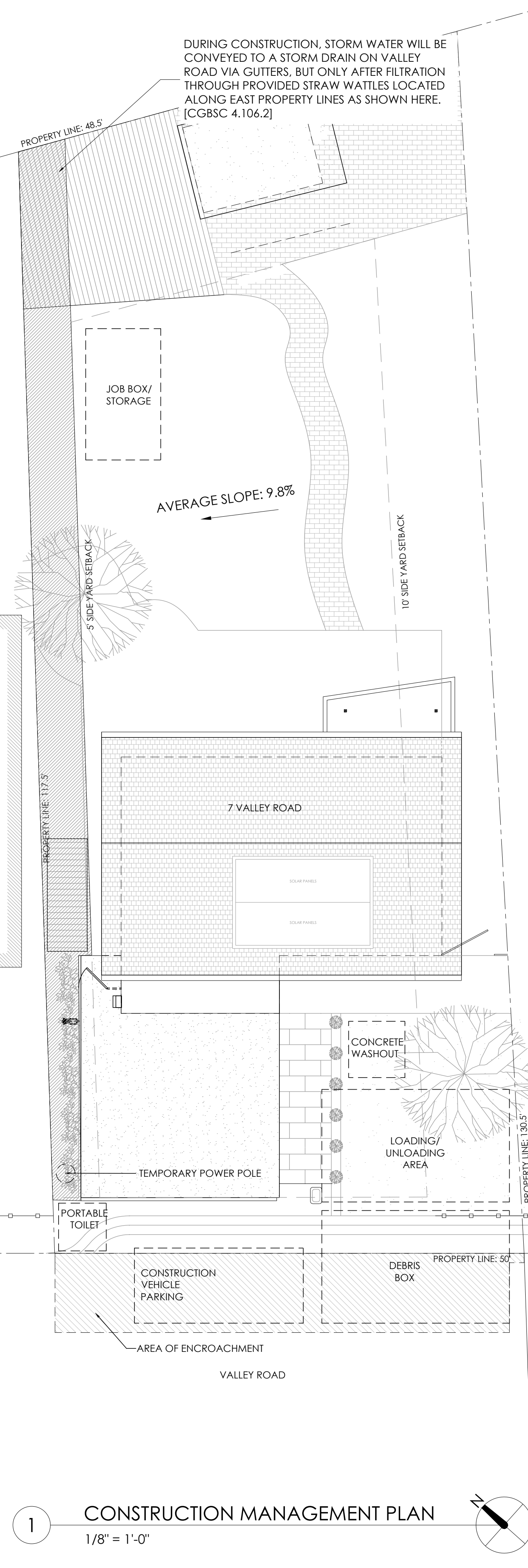
PROJECT CONTACTS:

GENERAL CONTRACTOR INFORMATION:
 NAME:
 E-MAIL ADDRESS:
 PHONE NUMBER:

PROJECT MANAGER INFORMATION:
 NAME:
 E-MAIL ADDRESS:
 PHONE NUMBER:

EMERGENCY CONTACT:
 NAME:
 PHONE NUMBER:

TOWN OF FAIRFAX ENFORCEMENT LINE (415)453-2263



1 CONSTRUCTION MANAGEMENT PLAN
 1/8" = 1'-0"

BROOKS MCDONALD ARCHITECTURE
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 415.350.8811
 CA LIC #C33087
 www.brooksmcdonaldarchitecture.com

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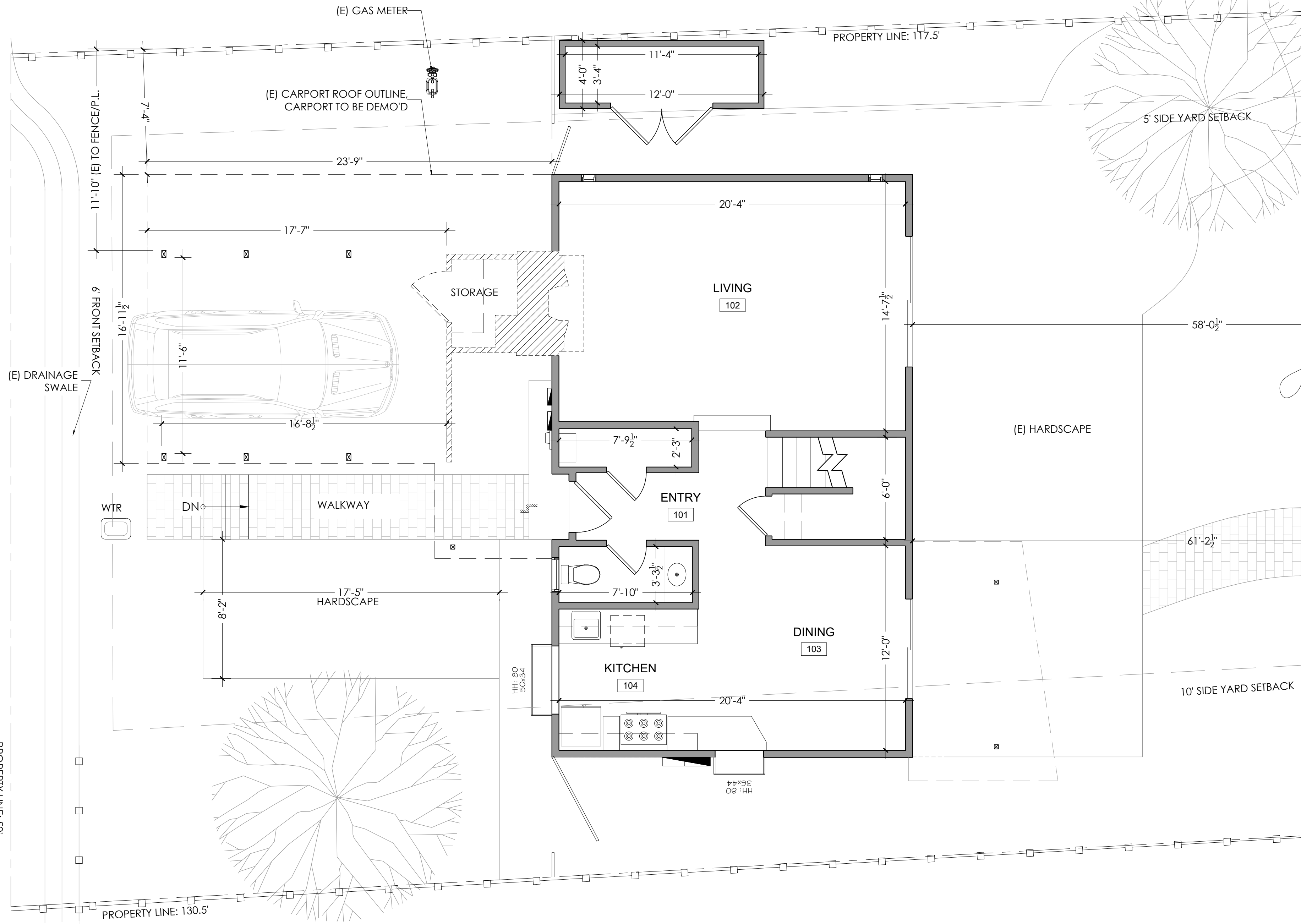
LICENSED ARCHITECT
 BROOKS MCDONALD
 C-33087
 2.28.2025
 STATE OF CALIFORNIA

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 PERMIT:
 3.18.2023

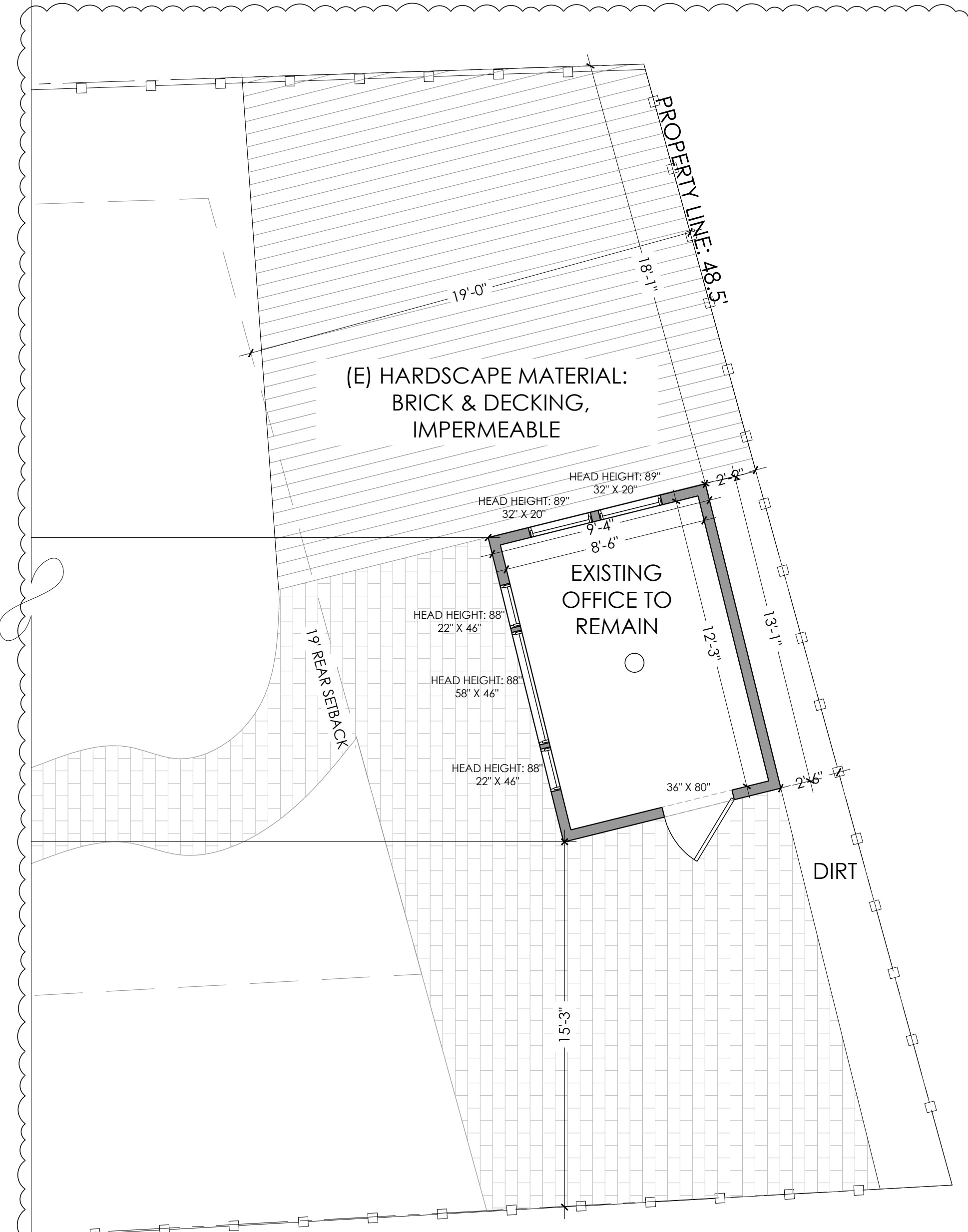
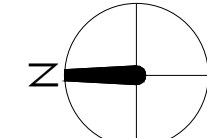
CONSTRUCTION MANAGEMENT PLAN

A1.2

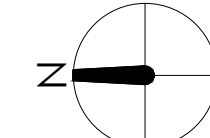
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1 FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



2 FIRST FLOOR EXISTING OFFICE PLAN - NO CHANGES
1/4" = 1'-0"



WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW TYP. NON-RATED WALL
- 1-HOUR RATED WALL:
1 LAYER TYPE X 5/8" GWB EACH SIDE

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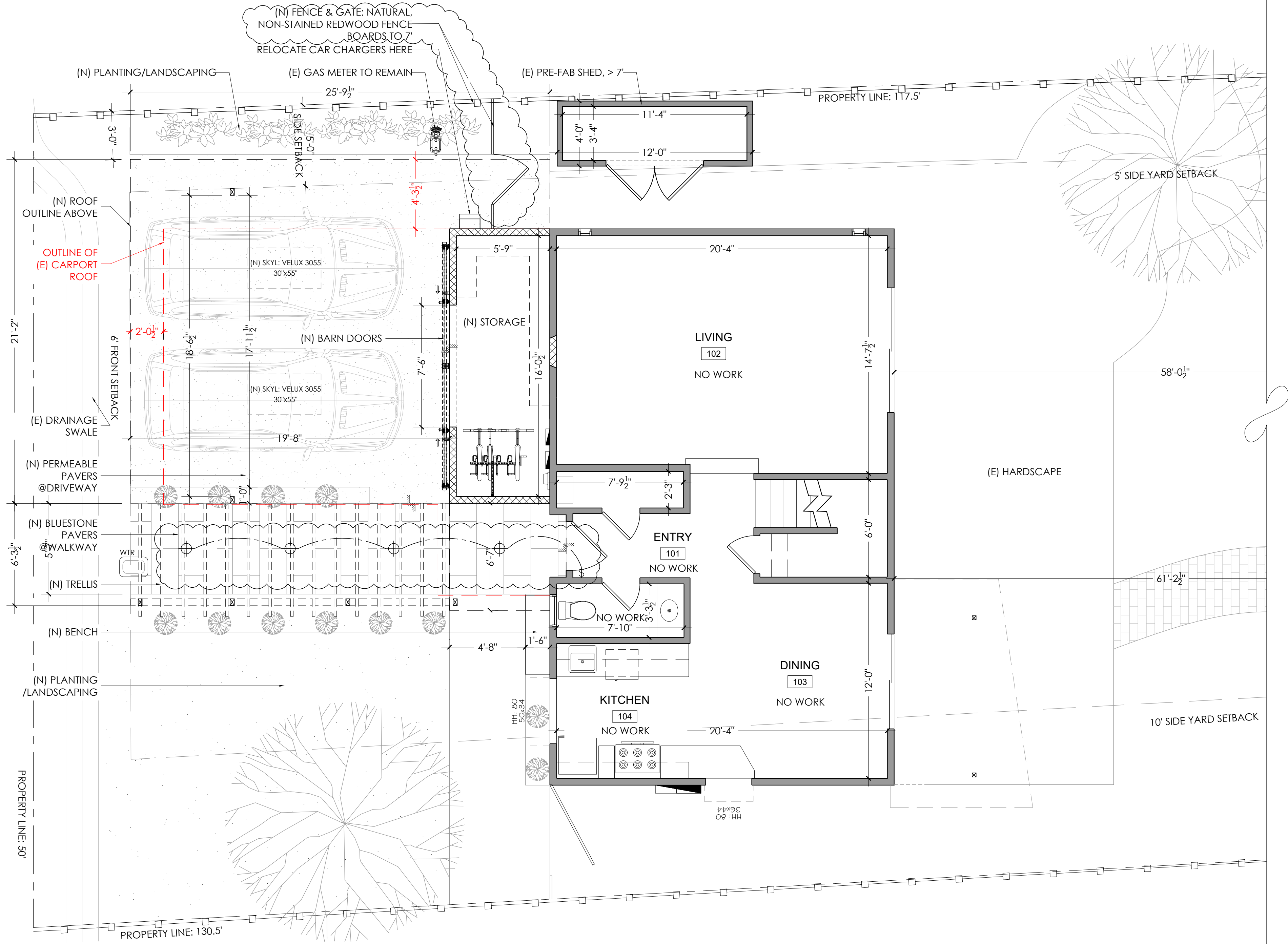
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DEMO FIRST FLOOR
PLAN & EXISTING FIRST
FLOOR OFFICE PLAN

1/4" = 1'-0"

A2.0

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WALL LEGEND:

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW TYP. NON-RATED WALL
- 1-HOUR RATED WALL:
1 LAYER TYPE X 5/8" GWB EACH SIDE

1 FIRST FLOOR PROPOSED PLAN
1/4" = 1'-0"

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FIRST FLOOR
PROPOSED PLAN

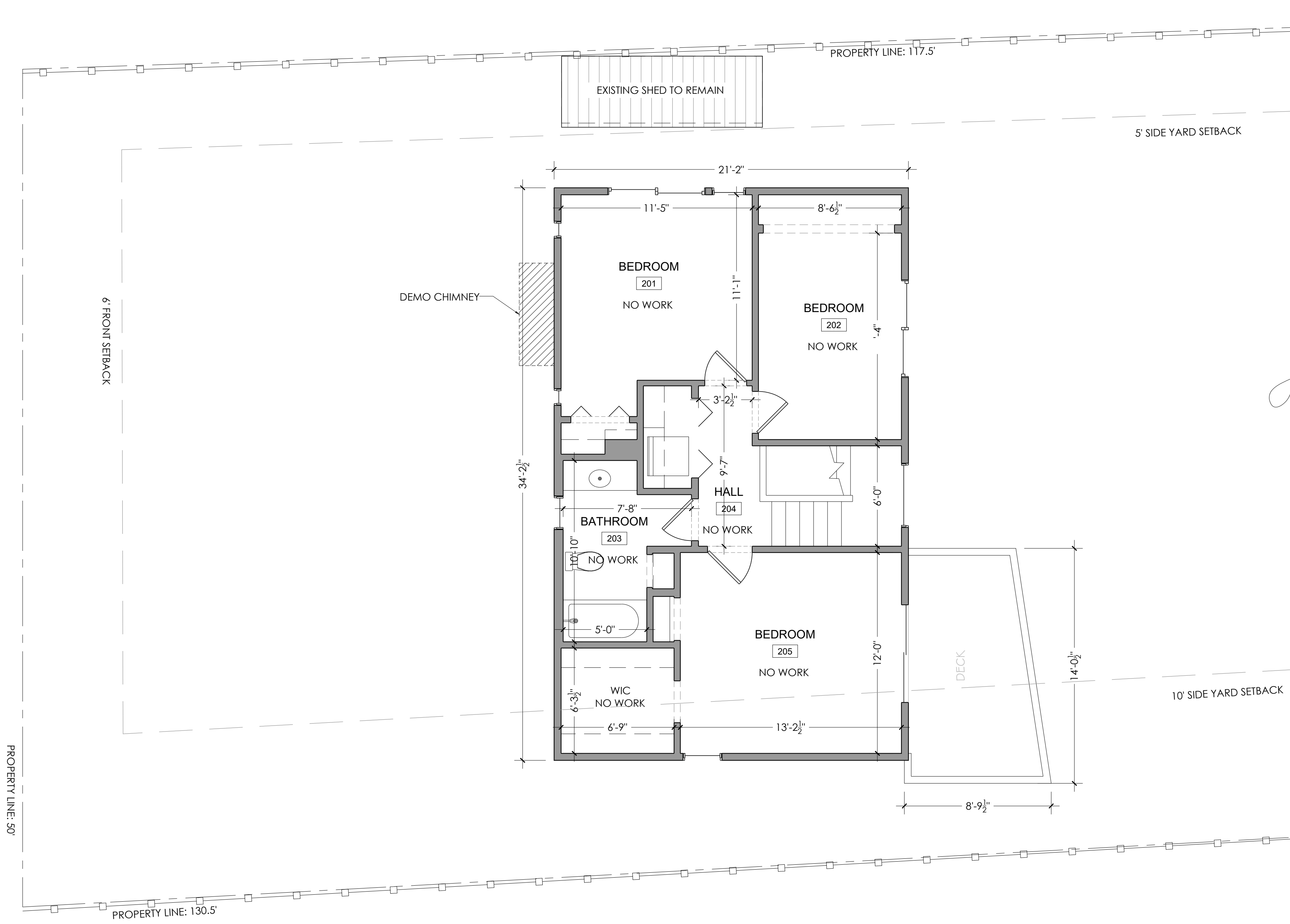
1/4" = 1'-0"

A2.1

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WALL LEGEND:

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- EXISTING WALLS TO BE REMOVED
- EXISTING ELEMENTS TO BE REMOVED
- NEW TYP. NON-RATED WALL
- 1-HOUR RATED WALL:
1 LAYER TYPE X 5/8" GWB EACH SIDE



1 SECOND FLOOR EXISTING PLAN
1/4" = 1'-0"

2 EXISTING OFFICE ROOF PLAN
1/4" = 1'-0"

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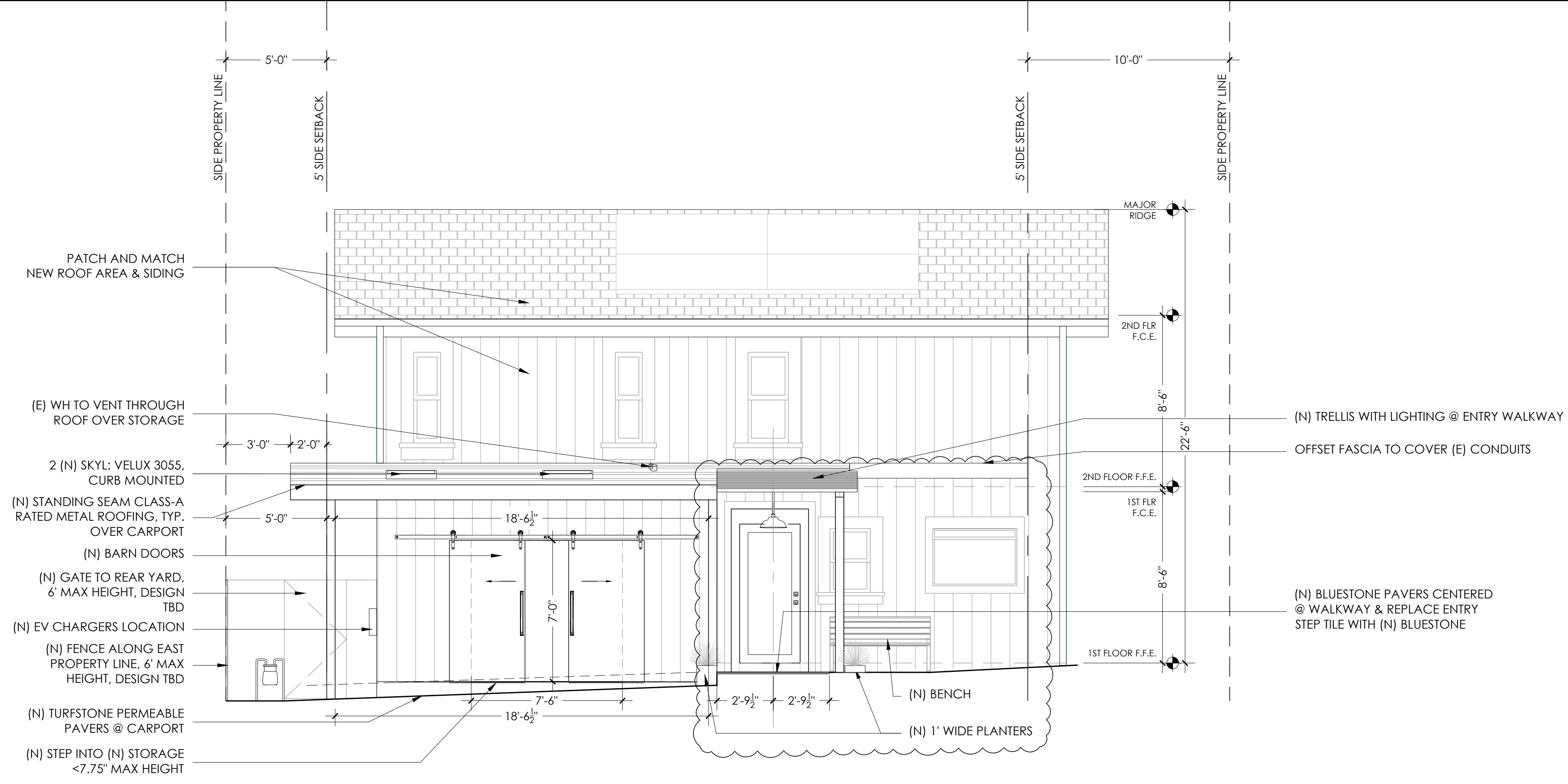
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SECOND FLOOR EXISTING PLAN

1/4" = 1'-0"

A2.2

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2 PROPOSED NORTH (FRONT) ELEVATION
1/4" = 1'-0"



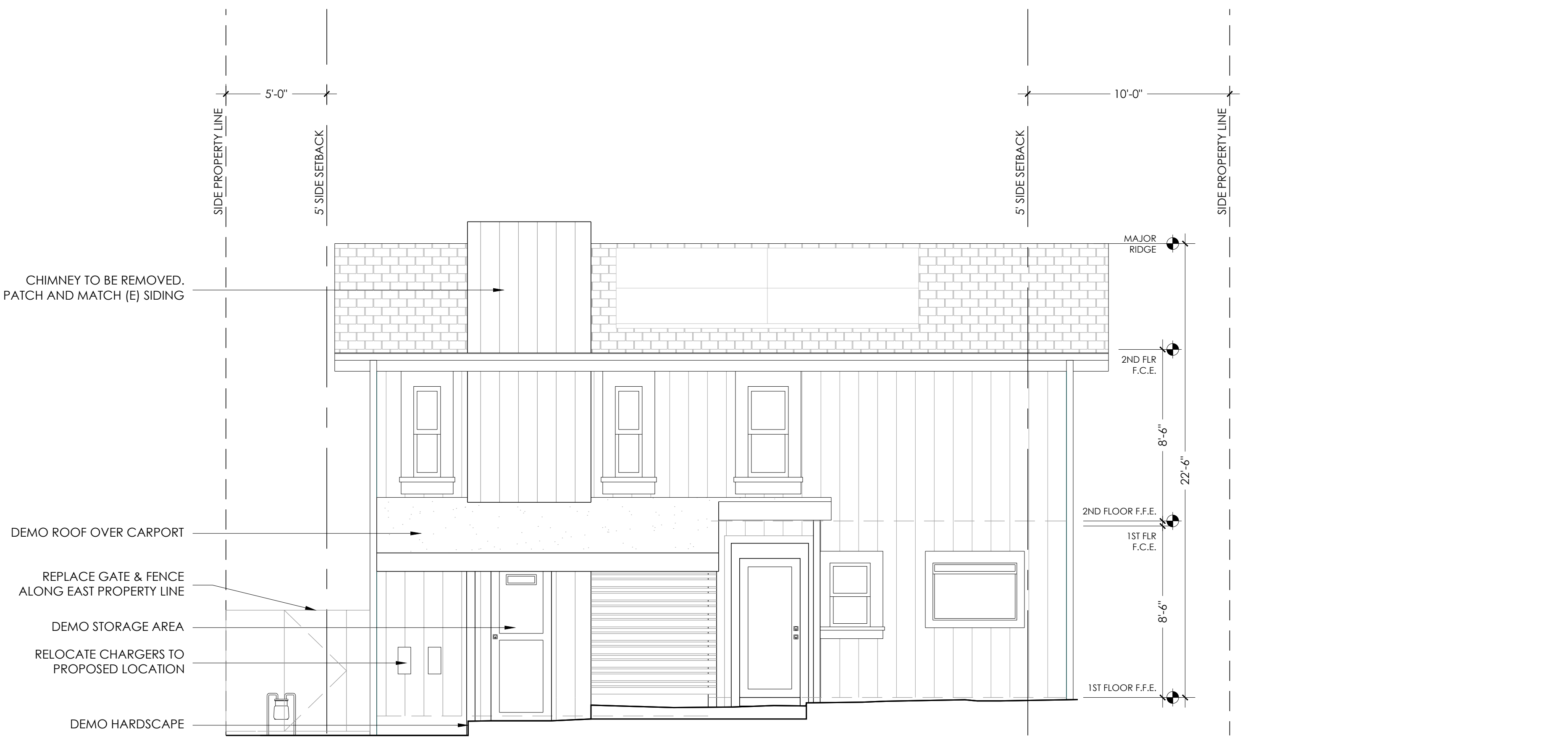
STANDING SEAM METAL ROOFING & BLUESTONE PAVERS



TURFSTONE PERMEABLE PAVERS AT CARPORT AREA



TRELLIS DESIGN TO MATCH (E) TRELLIS @ REAR YARD



1 EXISTING NORTH (FRONT) ELEVATION
1/4" = 1'-0"

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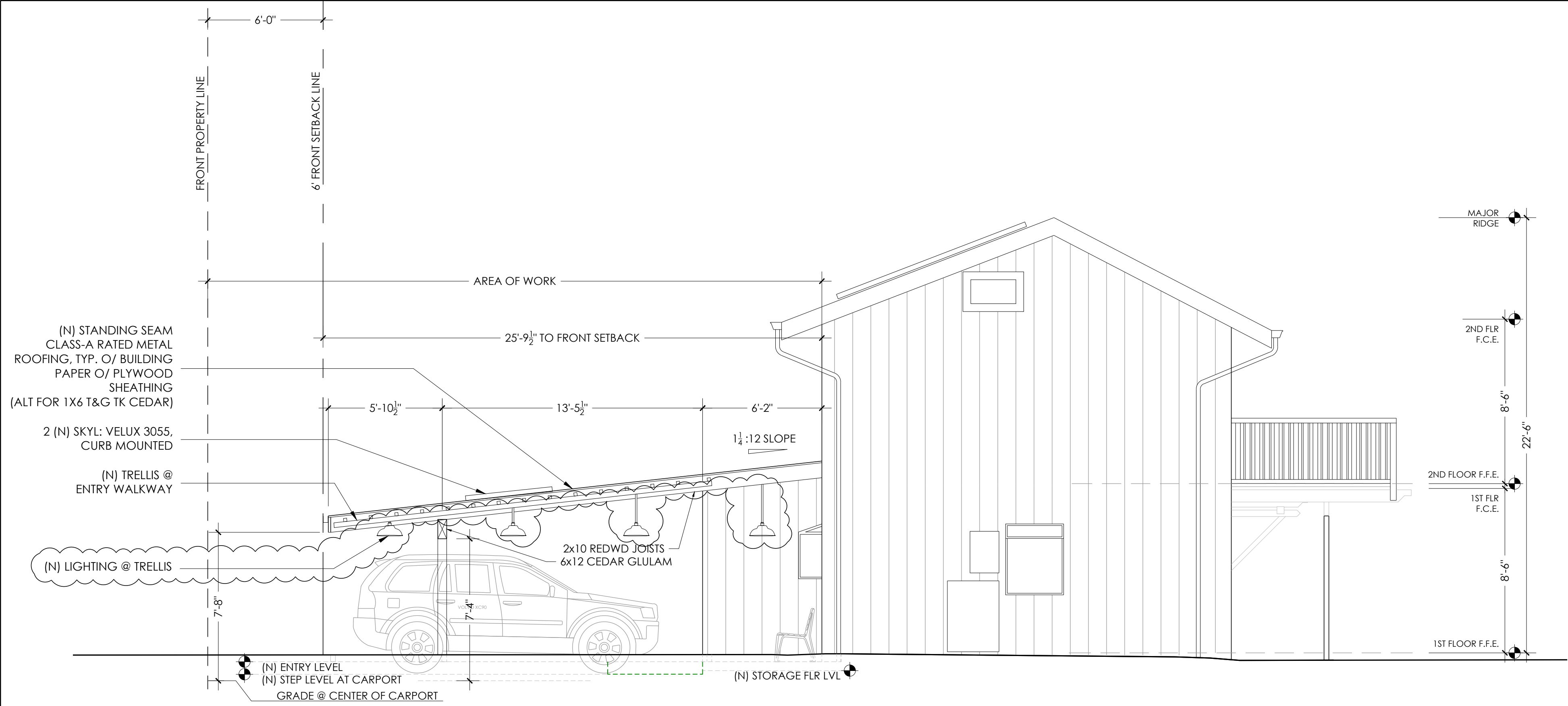
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EXTERIOR ELEVATIONS

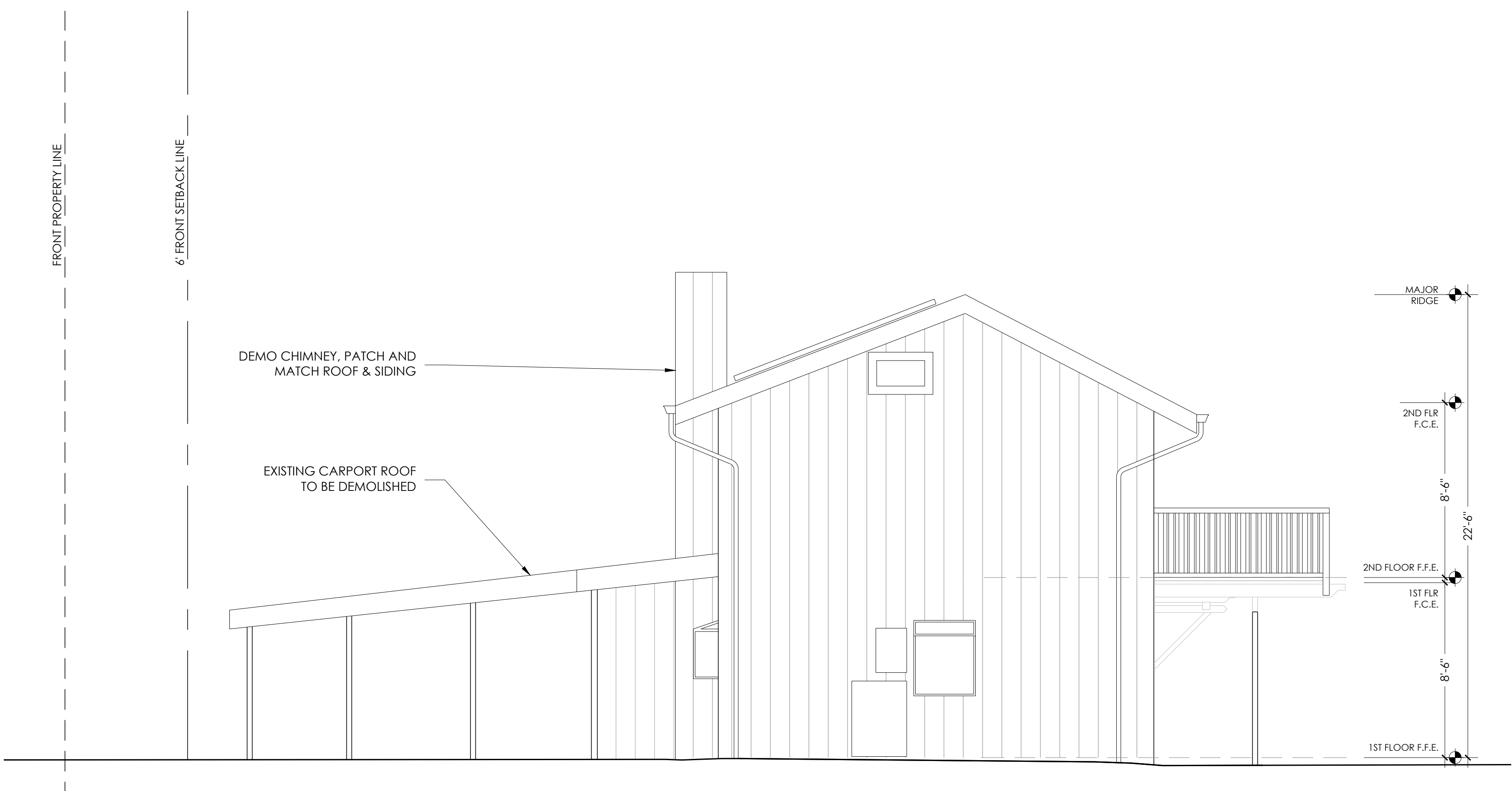
1/4" = 1'-0"

A4.0

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2 PROPOSED EAST (SIDE) ELEVATION
1/4" = 1'-0"



1 EXISTING EAST (SIDE) ELEVATION
1/4" = 1'-0"



FOUNDRY CLASSIC
10483TK
PENDANT BARN LIGHT

Decidedly industrial, Foundry is reinventing purposeful lighting. Focused and direct, the sturdy aluminum shade features knurled brass details to offset the Gloss White, Museum Bronze or Textured Black finish while casting a uniform light. The simple, understated form plants a vintage aesthetic for both inside and outside spaces while offering mix and match options that customize the look.

DETAILS	
FINISH:	Textured Black
MATERIAL:	Aluminum
SHADE:	Metal
SLOPE DEGREE:	90
DIMMABLE:	No

DIMENSIONS	
WIDTH:	16"
HEIGHT:	7.5"
WEIGHT:	5lb

LIGHT SOURCE	
LIGHT SOURCE:	Socketed
WATTAGE:	1-14w Med. LED, 100w Equiv.
VOLTAGE:	120v

MOUNTING	
CANOPY:	6" Dia.
LEAD WIRE:	1 X 72"
MAX HEIGHT:	41.5

SHIPPING	
CARTON LENGTH:	33
CARTON WIDTH:	20
CARTON HEIGHT:	11
CARTON WEIGHT:	8

- PRODUCT DETAILS:**
- This item may be hung on a sloped ceiling
 - This fixture includes multiple down stems in various lengths to customize the installation height of the fixture, including one 6" stem and two 12" stems
 - Suitable for use in damp locations as defined by NEC and CEC. Meets: United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards.
 - Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky
 - 2-year finish warranty
 - Classic lines and heritage details complement traditional architecture



HINKLEY

HINKLEY
33000 Pin Oak Parkway
Avon Lake, OH 44012
PHONE: (440) 653-5500
Toll Free: 1 (800) 446-5539
hinkley.com

3 TRELLIS LIGHTING SPEC

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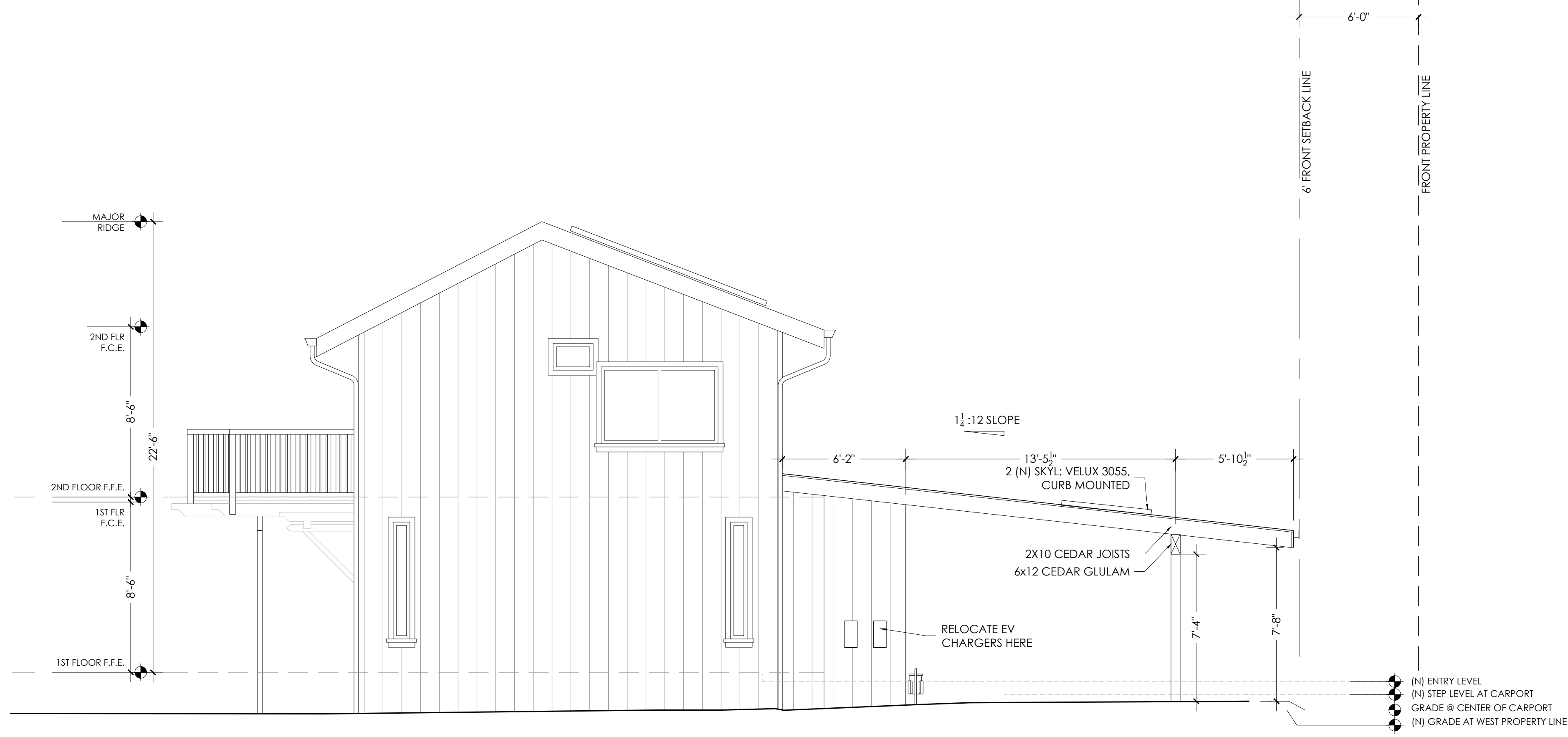
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EXTERIOR ELEVATIONS

1/4" = 1'-0"

A4.1

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2 PROPOSED WEST (SIDE) ELEVATION
 1/4" = 1'-0"



1 EXISTING WEST (SIDE) ELEVATION
 1/4" = 1'-0"

BROOKS MCDONALD
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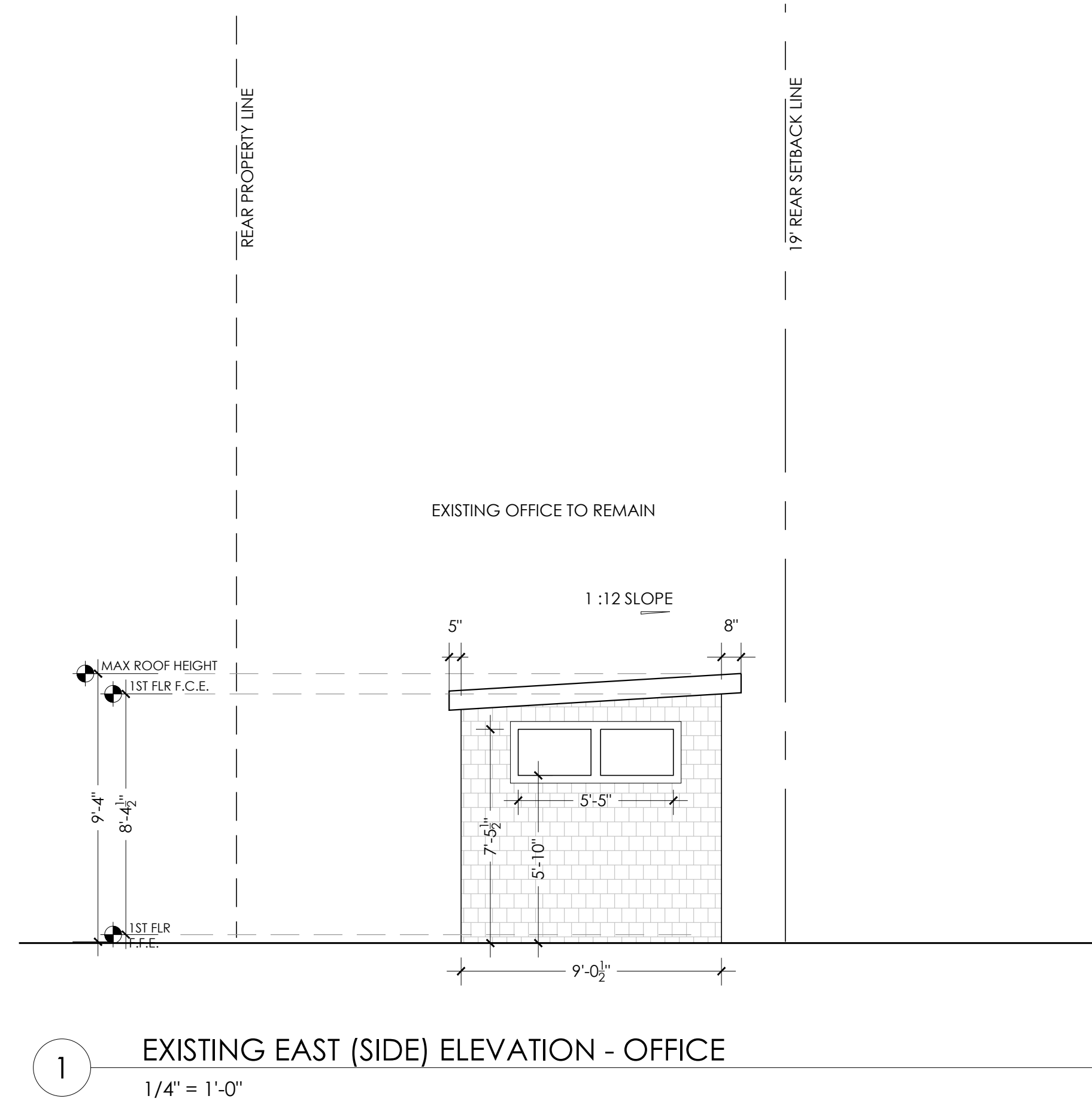
ISSUED
 REV 1:
 6.29.2023
 PERMIT:
 3.18.2023

EXTERIOR ELEVATIONS

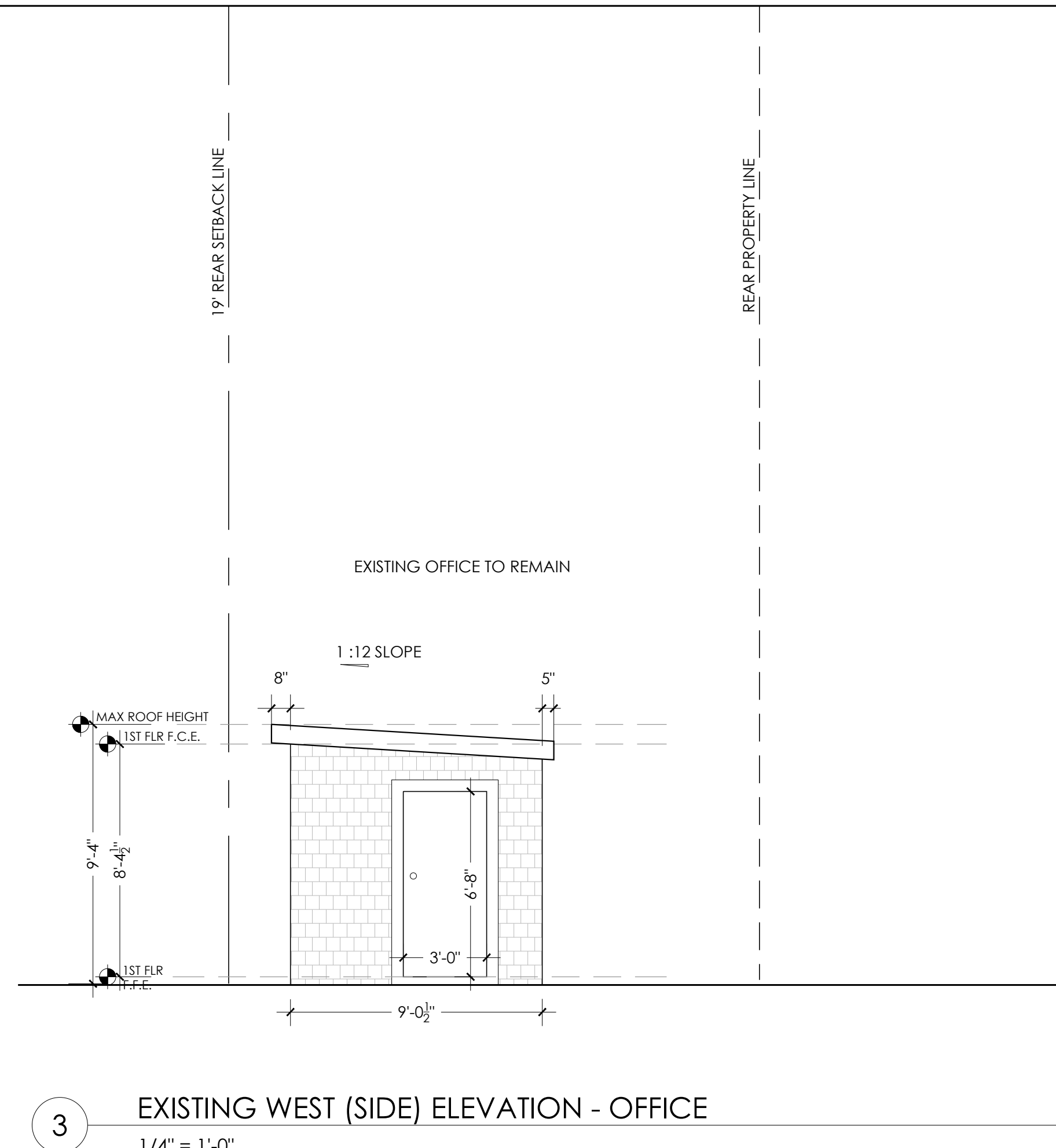
1/4" = 1'-0"

A4.2

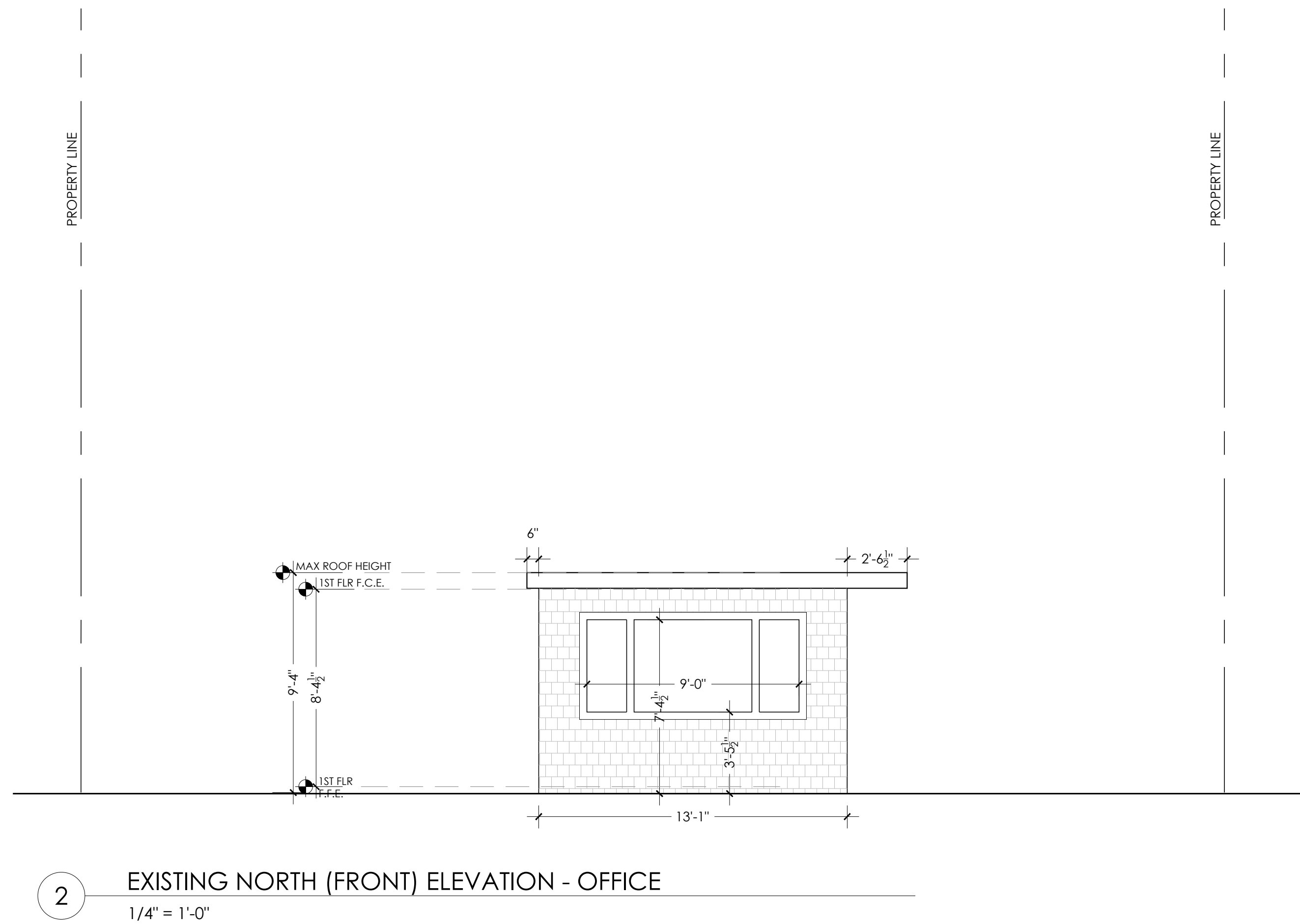
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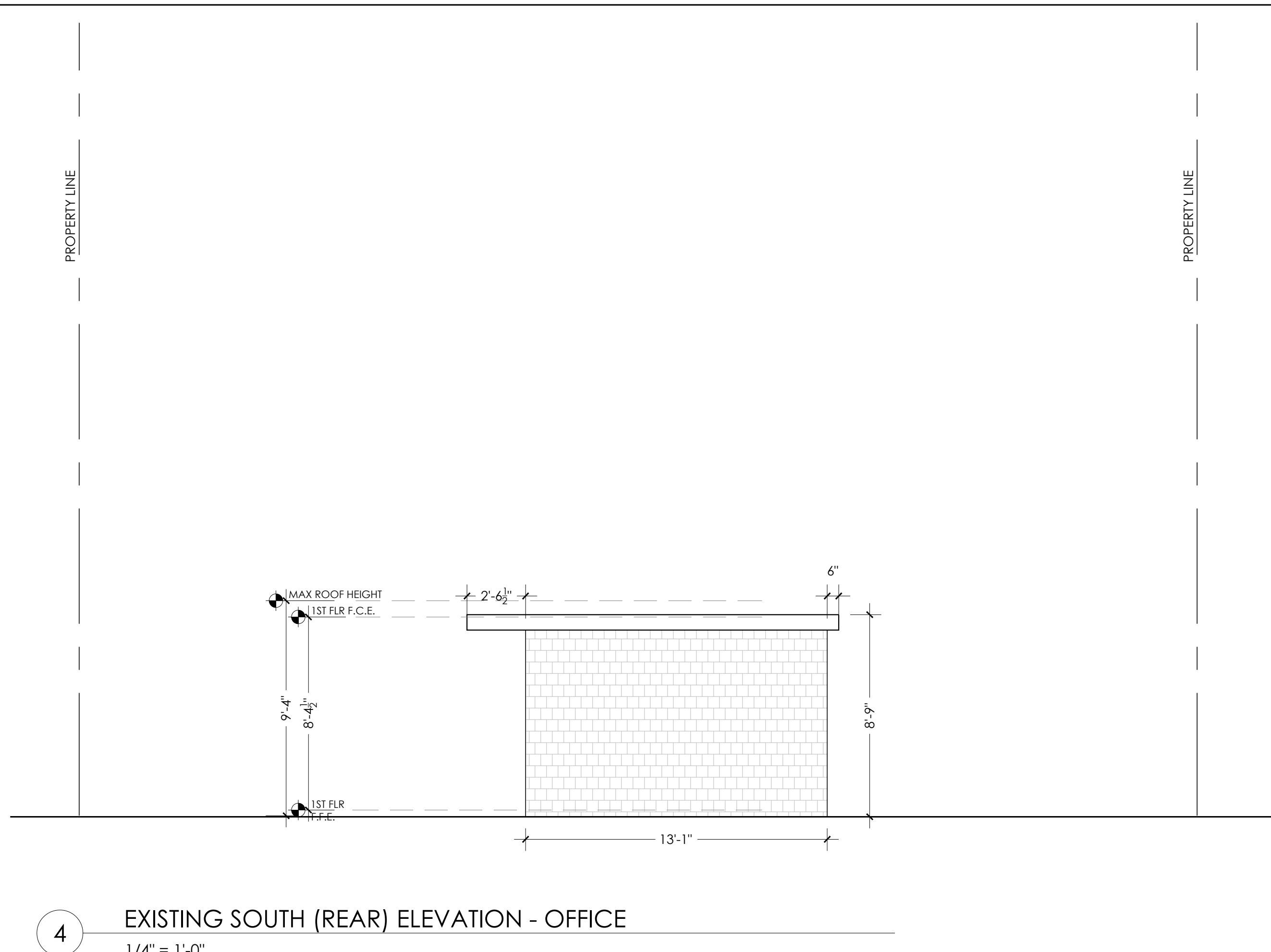
1 EXISTING EAST (SIDE) ELEVATION - OFFICE
1/4" = 1'-0"



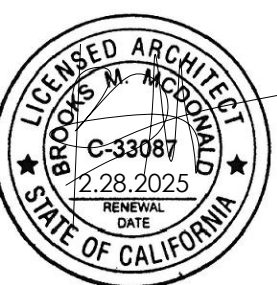
3 EXISTING WEST (SIDE) ELEVATION - OFFICE
1/4" = 1'-0"



2 EXISTING NORTH (FRONT) ELEVATION - OFFICE
1/4" = 1'-0"



4 EXISTING SOUTH (REAR) ELEVATION - OFFICE
1/4" = 1'-0"



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1/4" = 1'-0"

A4.3

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FCM



ENGLISH: FCM Curb Mounted Skylight Installation Instructions
ESPAÑOL: Instrucciones de instalación para trapeado FCM montado en borde
FRANÇAIS: Instructions d'installation du puits de lumière FCM monté sur cadre

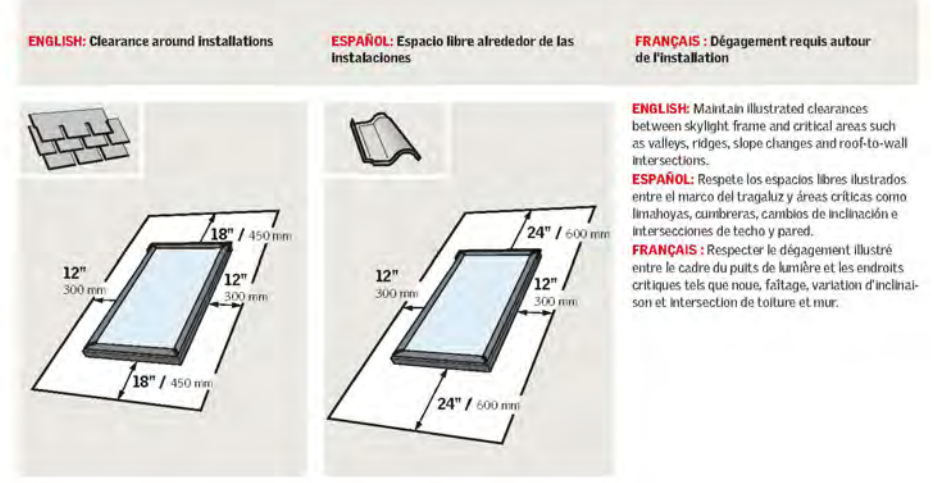
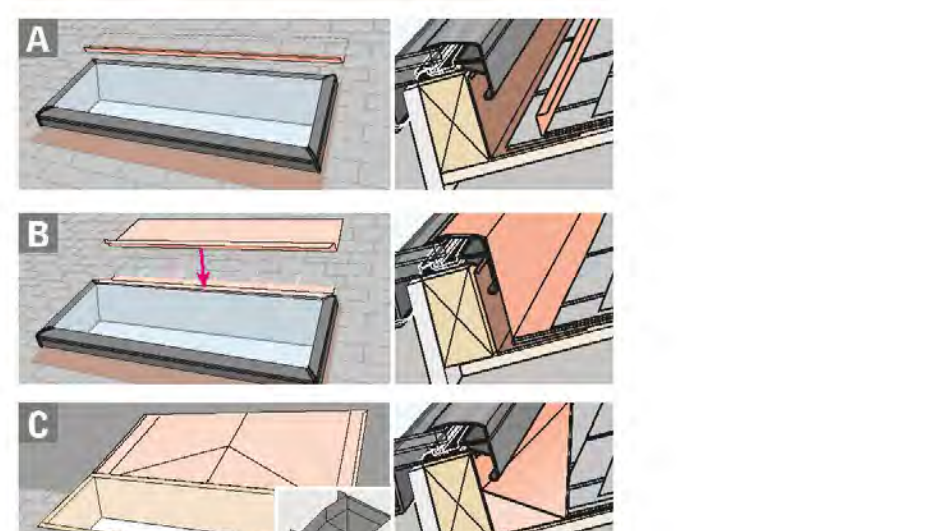
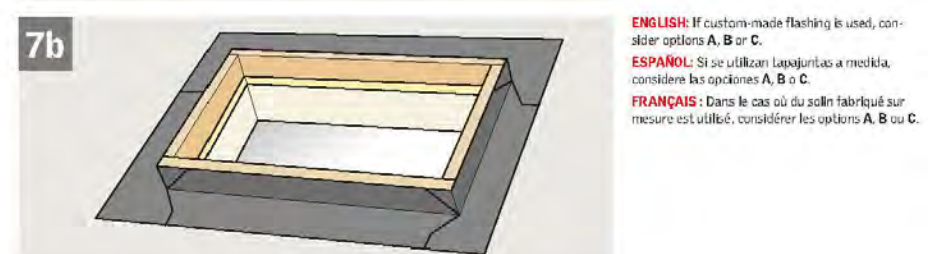
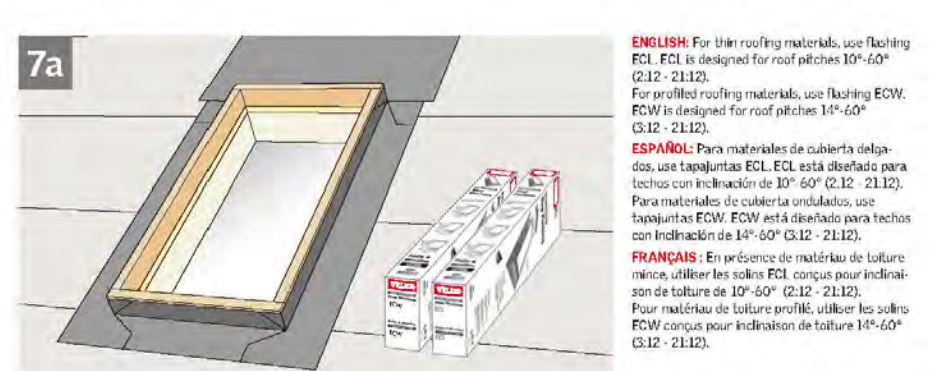
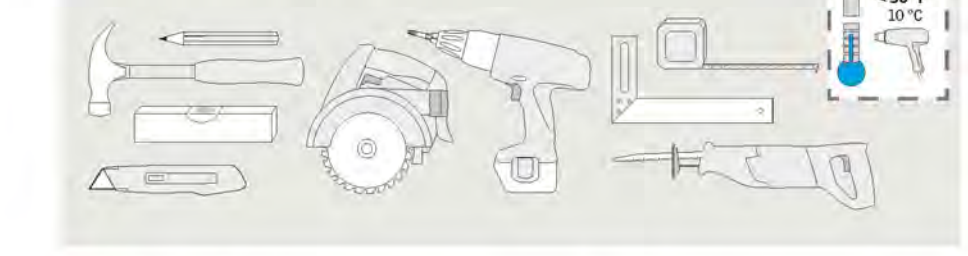


Table with 3 columns: English, Spanish, and French descriptions of skylight sizes and types. Includes a list of skylight sizes and their dimensions.



ENGLISH: Index
ESPAÑOL: Índice
FRANÇAIS: Index

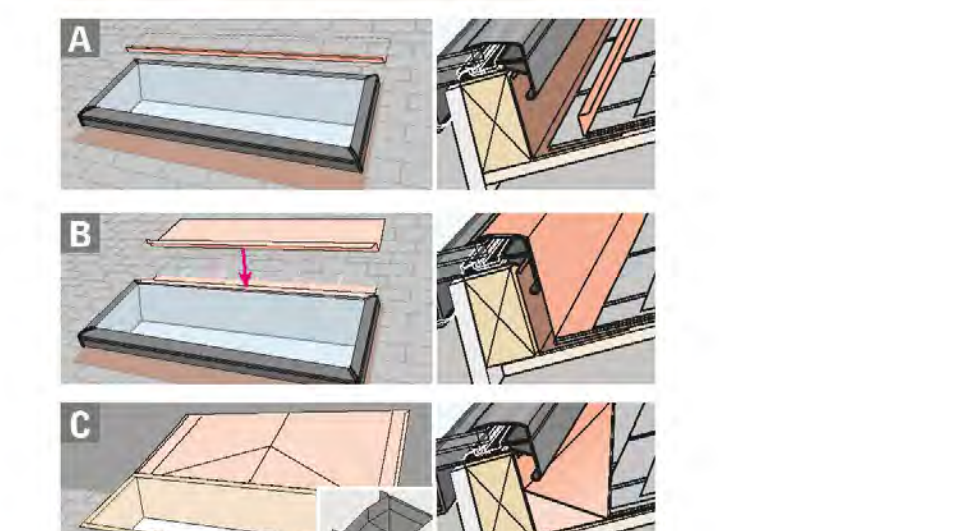
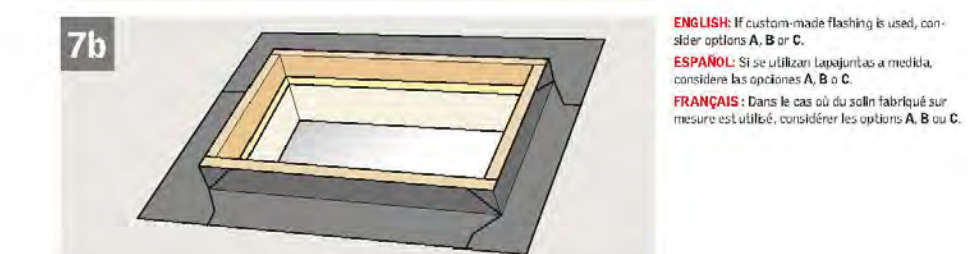
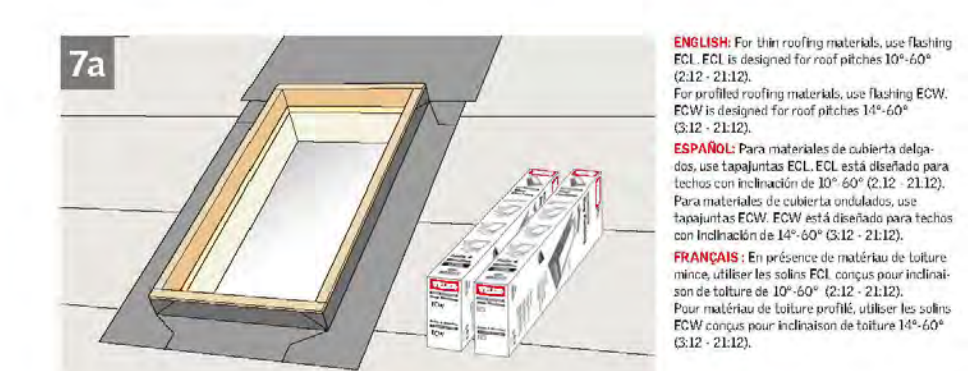
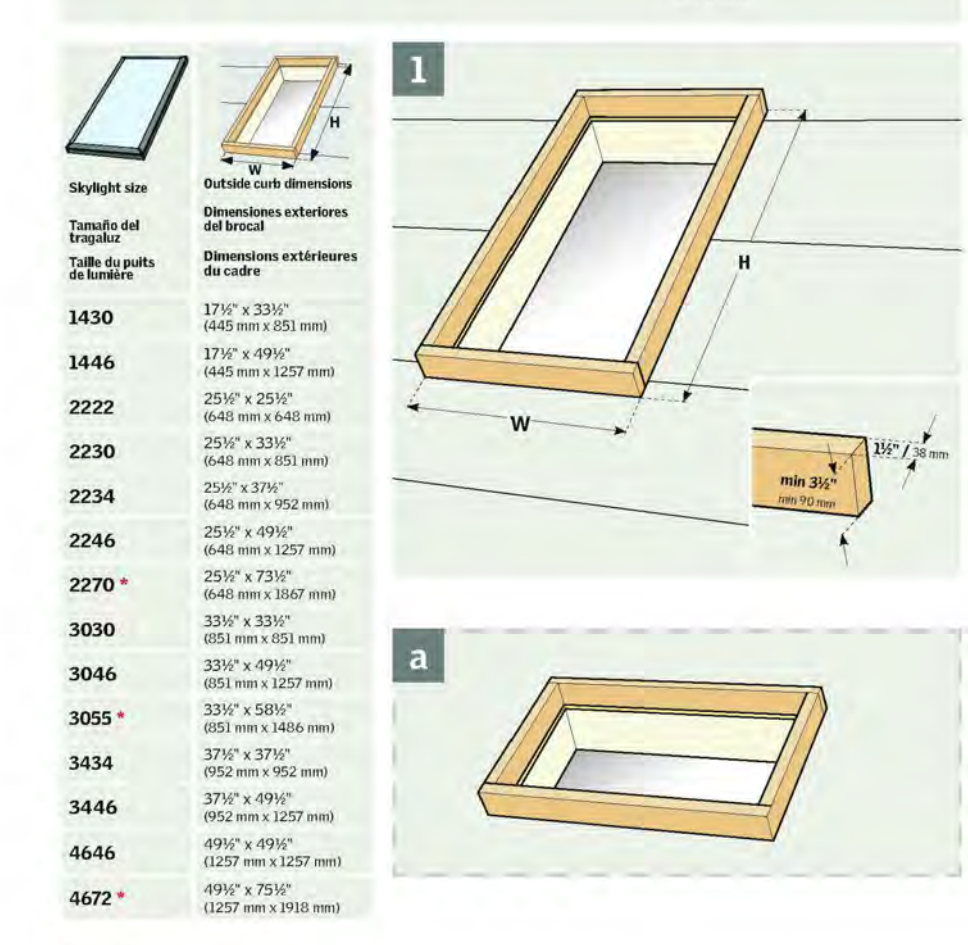
TOOLS - HERRAMIENTAS - OUTILS



ENGLISH: Installation check list
ESPAÑOL: Lista de verificación de instalación
FRANÇAIS: Liste de vérification d'installation

ENGLISH: Keyed connection for skylight...
ESPAÑOL: Conexión encaje para el clarificador...
FRANÇAIS: Connexion à clé pour le clarificateur...

ENGLISH: Skylight size...
ESPAÑOL: Dimensiones exteriores del clarificador...
FRANÇAIS: Dimensions extérieures du cadre...



ENGLISH: NOTICE
ESPAÑOL: Advertencia
FRANÇAIS: Attention

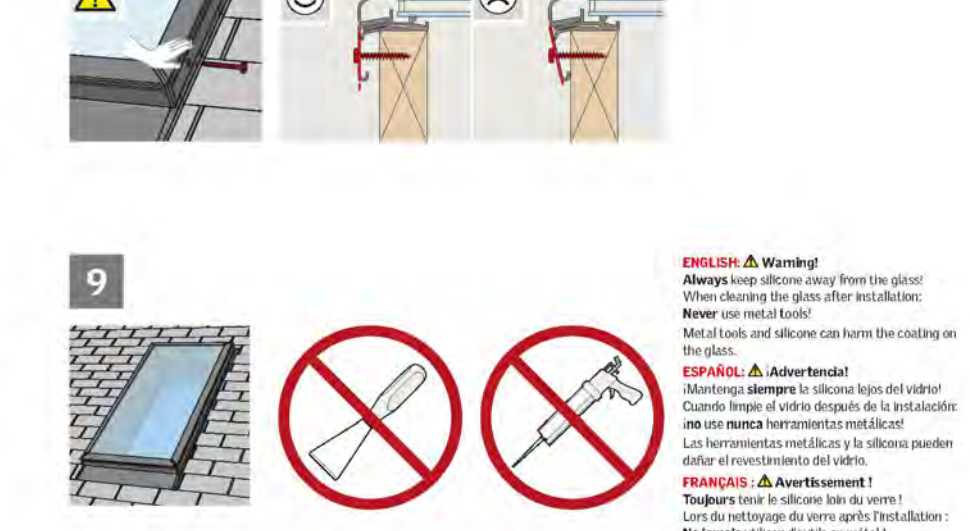
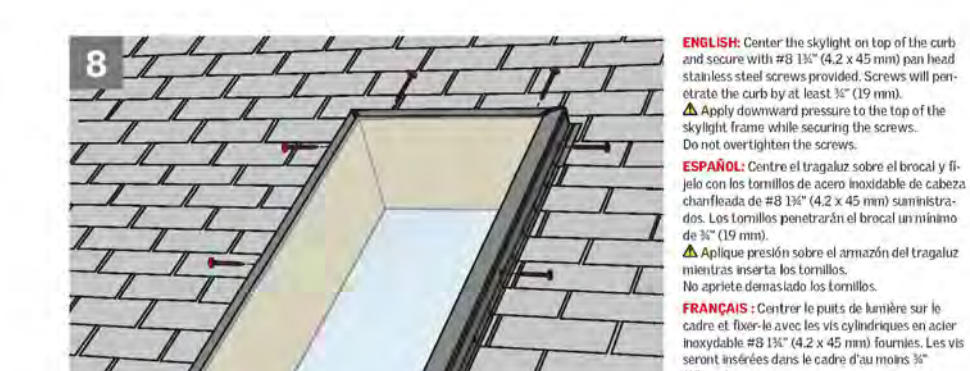
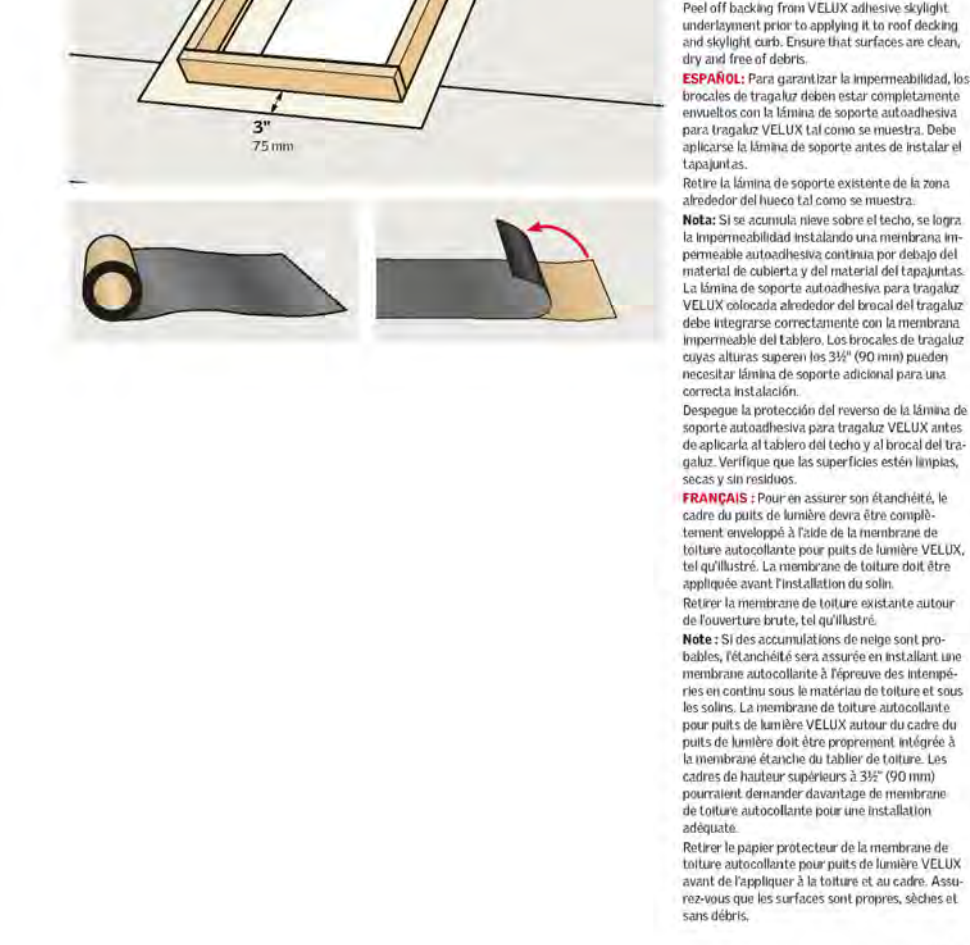
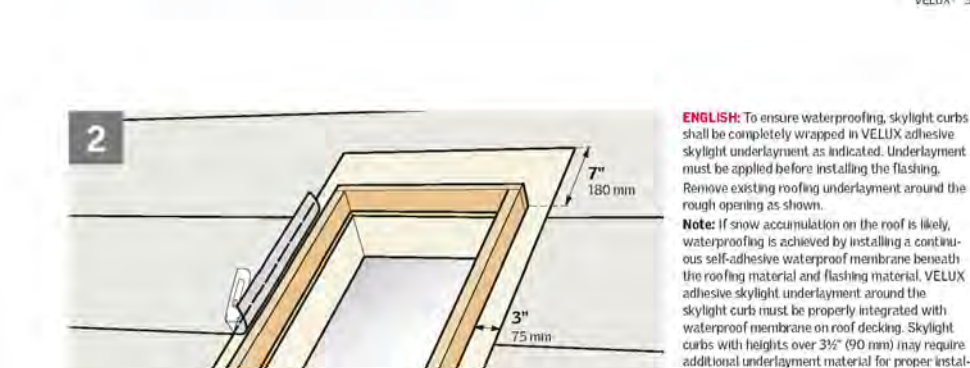
Consult the regulations about building material standards in reference to the glass type for your intended glass type in your jurisdiction.

ENGLISH: CAUTION: Use of ventilation...
ESPAÑOL: Advertencia: Uso de ventilación...
FRANÇAIS: Attention: Utilisation de ventilation...

ENGLISH: Reproduction of the skylight...
ESPAÑOL: Reproducción del clarificador...
FRANÇAIS: Réimpression du clarificateur...

ENGLISH: Importation of the skylight...
ESPAÑOL: Importación del clarificador...
FRANÇAIS: Importation du clarificateur...

ENGLISH: Importation of the skylight...
ESPAÑOL: Importación del clarificador...
FRANÇAIS: Importation du clarificateur...



ENGLISH: ATTENTION
ESPAÑOL: Atención
FRANÇAIS: Attention

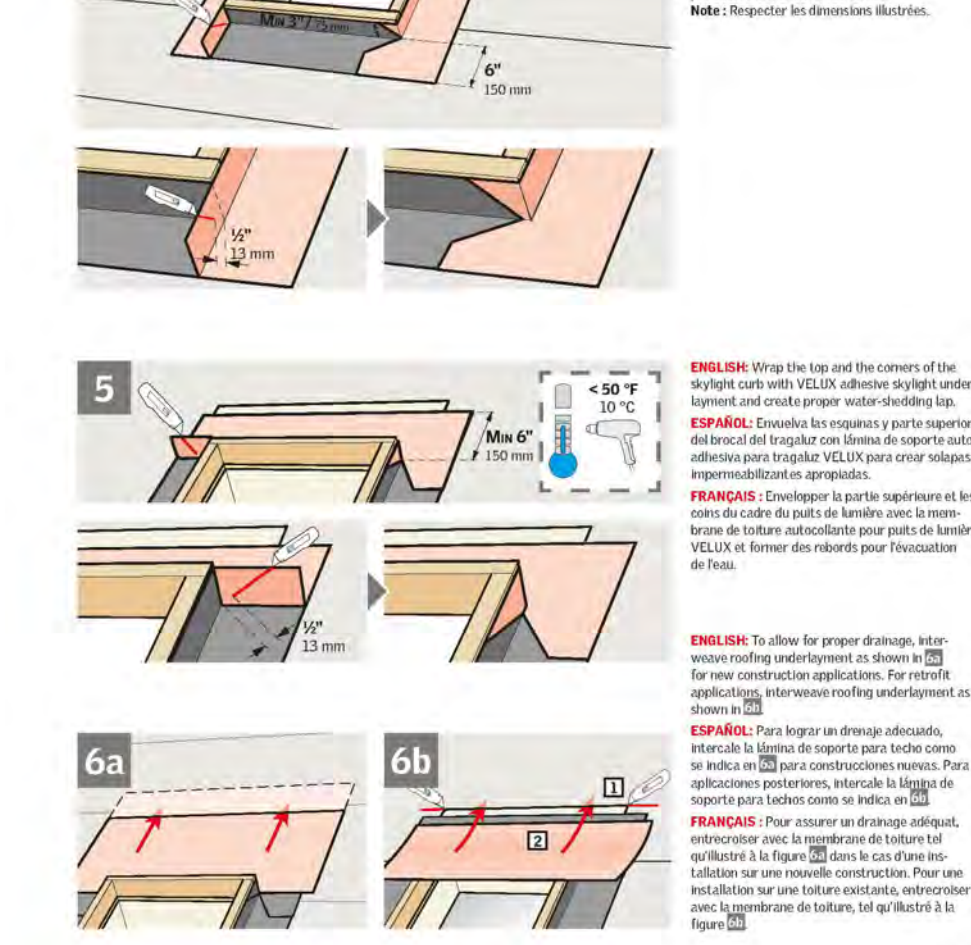
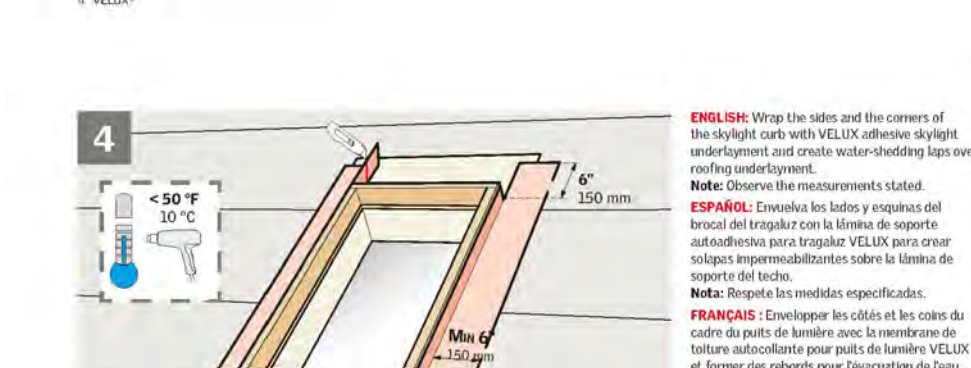
Consult the regulations about building material standards in reference to the glass type for your intended glass type in your jurisdiction.

ENGLISH: ATTENTION
ESPAÑOL: Atención
FRANÇAIS: Attention

ENGLISH: ATTENTION
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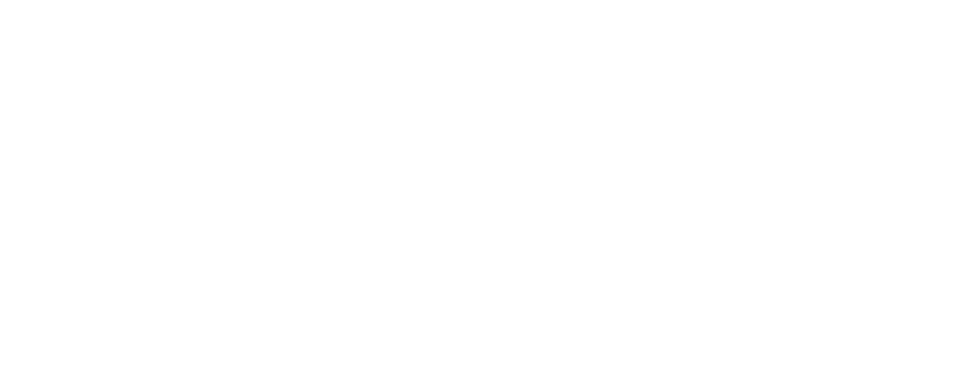
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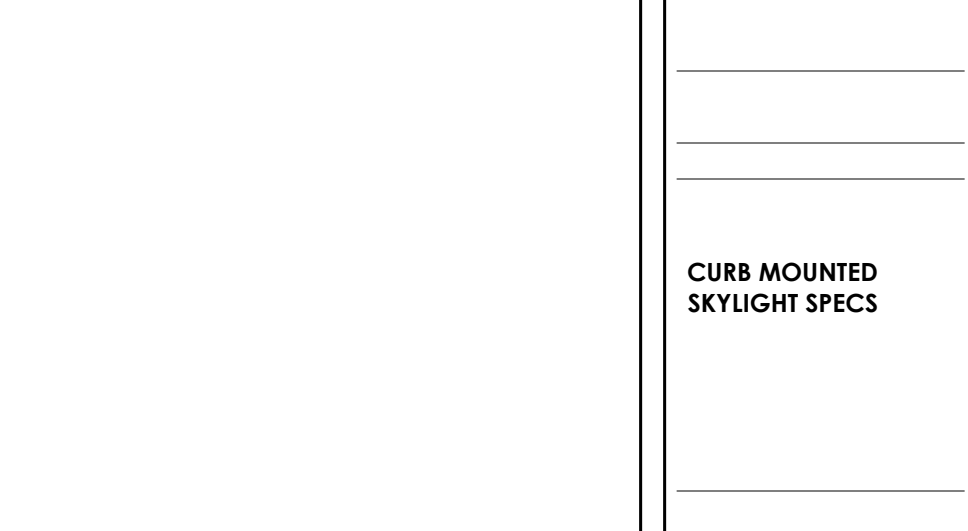
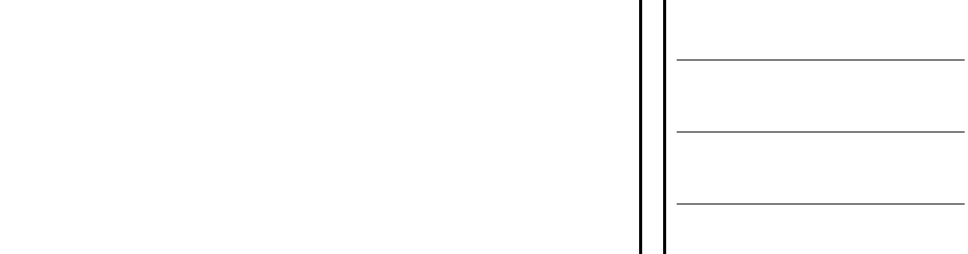
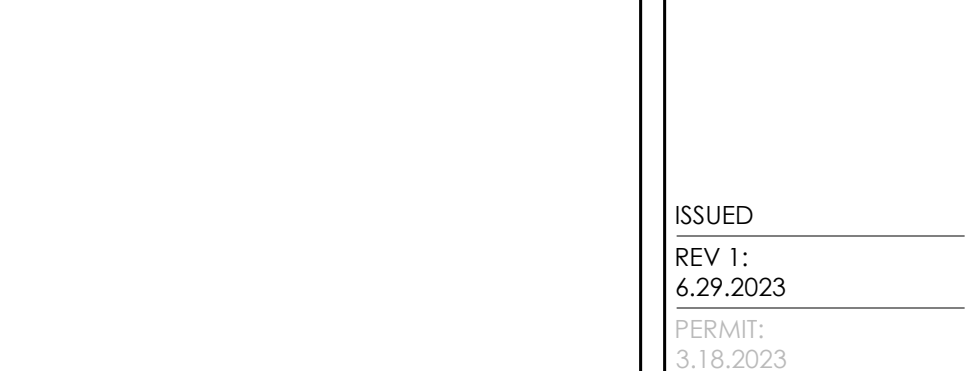
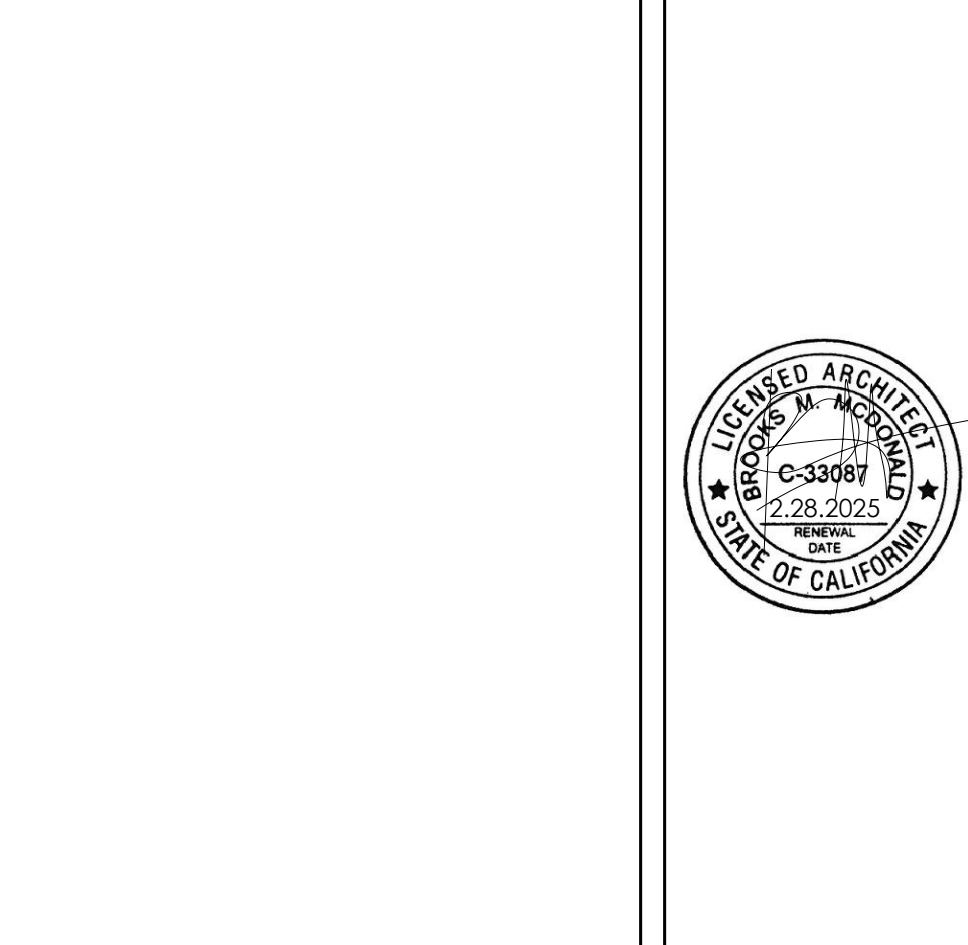
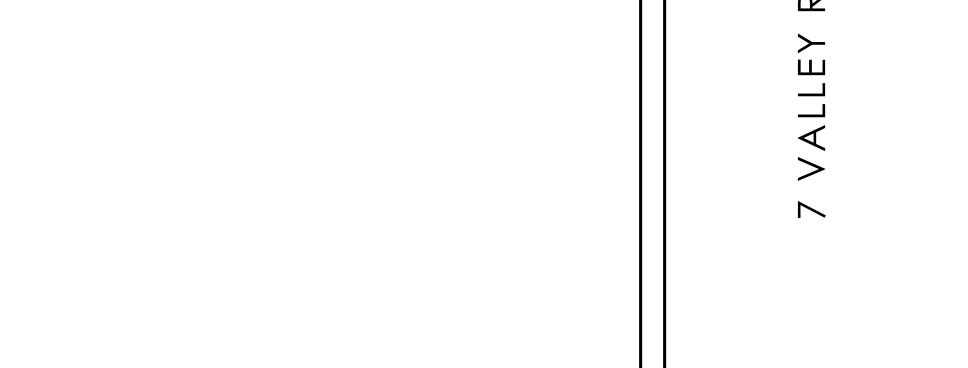
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ENGLISH: ATTENTION
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FRANÇAIS: Attention

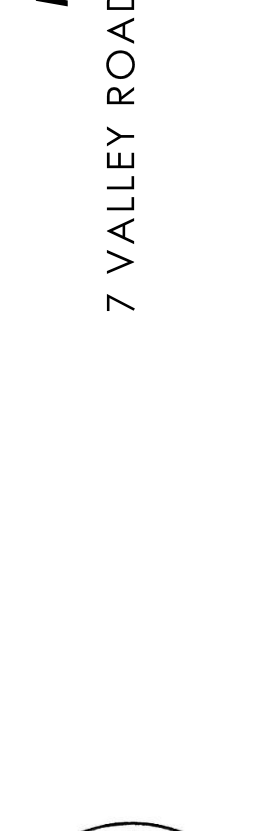
ENGLISH: ATTENTION
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INFORMATION FOR LE PROPRIETAIRES OCCUPANT
VEUILLEZ COMPLETER ET RENDRE AU PROPRIETAIRE OCCUPANT

A5.0

