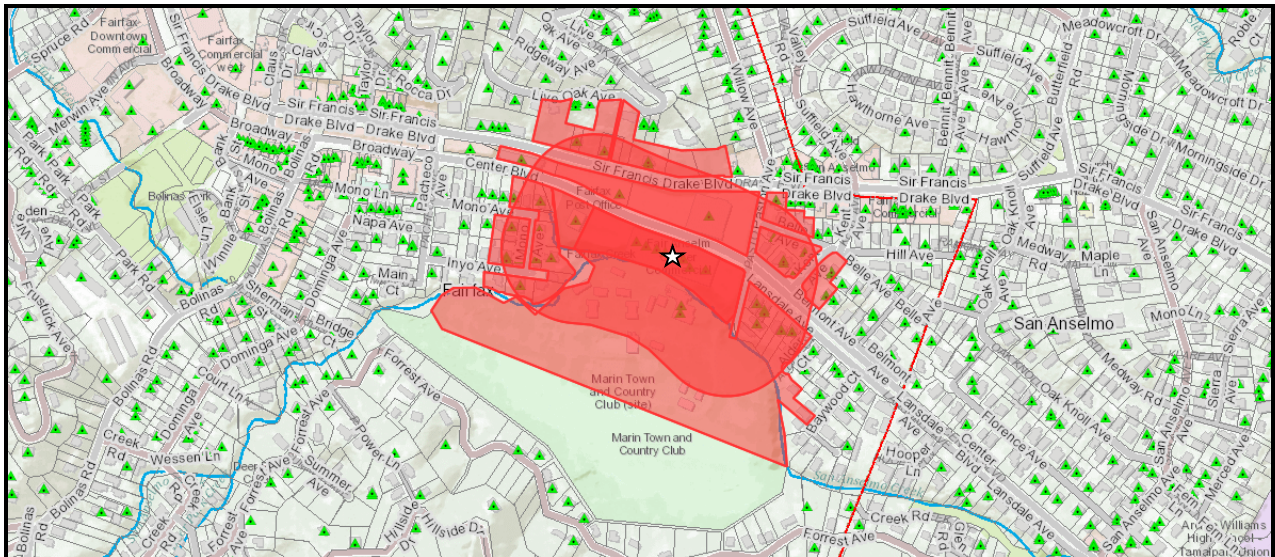


**TOWN OF FAIRFAX
STAFF REPORT**
Department of Planning and Building Services

TO: Planning Commission
DATE: August 17, 2023
FROM: Linda Neal, Principal Planner
LOCATION: 771 Center Blvd.; APN # 002-131-14
ZONING: CH Highway Commercial Zone
PROJECT: Remodel of existing commercial space into an alternative healing center
ACTION: Conditional Use Permit; Application # 23-24
APPLICANT: Colin Russell
OWNER: Rich Hall, Magna Real Estate
CEQA STATUS: Categorically exempt, §15301(a)



**771 CENTER BOULEVARD
FAIR-ANSELM COMMERCIAL CENTER**

PROJECT DESCRIPTION

The project encompasses the remodel and conversion of an existing approximately 2,000 square-foot commercial space that used to be operated as the Sukhasiddhi (Buddhist) meditation center. The space will be remodeled to accommodate an alternative physical health and healing treatment and wellness business (Attachment B – applicant’s supplemental information).

Provided on-site will be a lobby, room to leave personal belongings such a shoes, Americans with Disabilities Act (ADA) compliant men’s and women’s restrooms, two

showers, two cold plunge pools, three sauna rooms, a lounge at the rear of the space and the following areas:

- A prism light pad room providing a full-body light therapy device that uses red and near-infrared light waves to accelerate recovery, reduce inflammation, and increase collagen.
- A cyro room that will have a cryo chamber that uses a combination of liquid nitrogen and electricity to cool the air around you and provide potentially therapeutic benefits.
- Normatec room that has an air pressure massager intended to temporarily relieve minor muscle aches and/or pains, and to temporarily increase circulation to the treated areas.
- Massage room.

BACKGROUND

The Fair-Anselm shopping center is located on the south side of Center Boulevard adjacent to the San Anselmo Creek. Other health related businesses for people and animals located in the center include the Fairfax Gym and Fitlab Strong and the West Marin Pet Hospital.

DISCUSSION

The commercial suite is in the CH Highway Commercial Zone. The purpose of the CH Zone is, "to allow a variety of service, retail and wholesale business with long operating hours, diversity of building size and type and short-term parking" (Town Code § 17.096.010). "The highway commercial zone is designed to cater to automobile traffic rather than to pedestrian traffic. The buildings are more dispersed than in the central commercial zone and allow greater vehicular access."

The Town Zoning Ordinance was adopted in 1973 when it was common for zoning codes to list permitted and conditional uses specifically in long lists. The code predates many business uses that we consider commonplace today such as health spas similar to the one being proposed. Town Code section 17.096.050(B)(10) gives authority to the Planning Commission through the conditional use permit process to allow uses not included in the permitted or conditional use lists in the CH Zone regulations, "which are determined to be equivalent to those listed in the permitted use section but requiring regulation of location, extent or operation because of some unique characteristic."

The proposed spa is a personal service wellness use similar to a gym or a spa offering beauty or other health and personal well-being services such as saunas and hot tubs, acupuncture, and physical therapy.

Based on the above staff has made the determination that the proposed use requires the approval of a Conditional Use Permit (CUP).

Conditional Use Permit (Town Code Chapter 17.032)

There are other similar businesses located in the Fair-Anselm Center such as "Therapeutic Bodywork and Yoga Center" that offers yoga, massage and labor preparation classes, certified Thai massage courses as well as custom, sports therapy and medical massage services and neuromuscular therapy, "Flow as Medicine" which uses osteopathic medicine rooted in Cranial Osteopathy, a hands-on, evidence-based therapeutic practice that sources both western & eastern philosophies to support the body's ability to heal itself and "Activate" that uses a whole body approach to treatment, looking at the whole kinetic chain.

Traffic Impact Permit (Town Code Chapter 17.056)

Town Code § 17.056.050(A)(2) requires that a traffic impact permit (TIP) be obtained from the Planning Commission for the reuse of existing structures where the new use will generate one hundred average daily traffic (ADT) more than the previous use (Town Code § 17.056.090).

The Town Traffic Engineering firm Parametrix (formerly Parisi Traffic Engineering) reviewed the proposed use in comparison to the previous meditation center use and determined the following:

The Institute of Transportation Engineers (ITE) Trip Generation Manual, 11th Edition, does not have land uses that easily reflect either the existing or the proposed use. While the ITE does address traffic created by some religious facilities such as a church, synagogue and a mosque, the numbers are based on large facilities over 10,000 square feet in size. There is no spa land use in the ITE, only an athletic club but again, the traffic generation counts are based on large facilities over 30,000 square-feet in size.

The Town Traffic Engineer pointed out that Fairfax Municipal Code § 17.056.050(D) indicates "the Town can accept other sources of traffic generation figures for unique land uses" and that it would be reasonable for the Town to determine an ADT trip generation estimate based on the planned employee staffing level and programming capacity/appointment duration for the spa. If the purpose of the review is only to determine if a TIP is required, the calculation can be done for the proposed use first and if the spa will generate 100 ADT per day or more, then the trip generation for the meditation center would be assessed.

With one to two staff members present at any time (including business owner/operator) and seven treatment rooms, and full bookings will result in an average of 54 to 72 customers per day (Attachment C – 1 customer in each of the 7 treatment rooms over a thirteen hour day with treatments averaging 1.25 to 1.75 hours each).

The previous tenant, with offices in San Rafael, was a Buddhist Center which, according to a member, hosted weekly classes and programs lasting one week to several weeks that would have 20 to 60 people in attendance. When visiting speakers came, as many as one hundred people were in attendance in the 2,000 square foot space.

Based on the above information, staff determined that the spa use would not generate 100 or more ADT more than the Buddhist Center that previously operated from the 771 Center Boulevard commercial space and does not require a Traffic Impact Permit.

Conditional Use Permit Findings [Town Code § 17.032.060(A) through (D)]

1. The proposed business is not expected to generate the need for additional parking or cause a significant amount of traffic to visit the Fair-Anselm Plaza center than the previous use. Therefore, the approval of the Conditional Use Permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment.
2. The development and use of the property, as approved under the Conditional Use Permit shall not create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the Conditional Use Permit.
3. Approval of the Conditional Use Permit is not contrary to those objectives, goals, or standards pertinent to the particular case and contained or set forth in the Fairfax General Plan goals, objectives or policies adopted by the Town.
4. Approval of the Conditional Use Permit will result in equal or better development of the premises than would otherwise be the case, and that the approval is in the public interest and for the protection of the community.

Other Department/Agency Comments/Conditions

Marin County Environmental Health Services (MC EHS)

MC EHS commented that the plunge pools will not be drained with the water replaced after each treatment and the project plans are therefore subject to the review and approval of the Marin Environmental Health Department prior to issuance of the building permit to remodel the space.

Marin Municipal Water District (MMWD)

MMWD had the following specific condition for the project:

The proposed conversion of the space will not impair the District's ability to continue to provide water service to the site. However, the property's current annual water entitlement may be insufficient for the new use. Therefore, the purchase or transfer of additional water entitlement may be required. Water service required for the proposed spa will be available upon request and fulfillment of the following requirements:

Complete a High-Pressure Water Service Application and submit it with a copy of the building permit application and the required fee. The rest of the standard MMWD conditions of approval have been incorporated into and can be read in their entirety in the attached Resolution No. 2023-21.

Ross Valley Fire Department, Ross Valley Sanitary District, Fairfax Police, Public Works, and Building Departments

No comments or conditions were received from any other town departments or Marin County agencies with jurisdiction over the project.

Sign Permit

In 1995 the owner of the Fair-Anselm Shopping Center obtained Design Review approval for a sign program that allows one, 4 square foot hanging sign per business to be affixed beneath the expanded roof overhangs along the frontage in front of each business. If the applicants propose a sign that complies with the sign program or the Sign Ordinance, Town Code Chapter 17.064, a business identification sign can be approved ministerially by staff. If the applicants apply for any sign not complying with the approved sign program or Sign Ordinance or proposed exterior color or structural changes to the building, they will require approval of future discretionary permits from the Planning Commission. These requirements are included as conditions of approval for the project in the resolution for approval [Town Code § 17.020.030(A) and § 17.064.050]

RECOMMENDATION

Move to approve application 23-24 based on the findings and subject to the conditions contained in attached Resolution No. 2023-21.

ATTACHMENTS

- A – Resolution No. 2023-21
- B – Applicant’s supplemental information
- C – E-mail from business owner regarding estimated length of treatment

RESOLUTION NO 2023-21

A Resolution of the Fairfax Planning Commission Approving a Conditional Use Permit for Longevity, An Alternative Physical Health and Healing Treatment and Wellness Business, at 771 Center Boulevard, Fair Anselm Commercial Center

WHEREAS, the Town of Fairfax received an application to remodel the existing vacant commercial space at 771 Center Boulevard by Longevity on June 29, 2023; and

WHEREAS, the Planning Commission held a duly noticed Public Hearing on August 17, 2023, at which time all interested parties were given a full opportunity to be heard and to present evidence; and

WHEREAS, based on the information presented in the staff report, the interior remodel floor plan and supplemental information provided by the applicant as well as testimony at the public hearing, the Planning Commission has determined that the applicant has met the burden of proof required to support the findings necessary for the proposed Conditional Use Permit as described below; and

WHEREAS, the Planning Commission has determined the proposed use, subject to obtaining Marin Environmental Health Department approval of their plans and the required permits for additional water entitlement from the Marin Municipal Water District meets, all the required findings to enable them to approve the Conditional Use Permit; and

WHEREAS, The project is exempt from the California Environmental Quality Act per Categorical Exemption Sections 15303(a), 15301(a); and

WHEREAS, in accordance with Section 17.040.220 of the Fairfax Municipal Code, the Planning Commission hereby makes the following findings to support approval of the application for a Conditional Use Permit.

1. The reuse of the commercial space in an existing commercial building as a Health Treatment Spa does not conflict with any of the goals, policies or programs contained in the 2010-2030 Fairfax General Plan; and
2. The Commission finds the proposed project is categorically exempt from the California Environmental Quality Act per categorical exemption section 15301, Class 1(a). Class 1(a) consists of the operation, repair, maintenance permitting, leasing, licensing, or minor alterations of existing public or private structures mechanical equipment, or topographic features involving negligible or no expansion of use beyond that existing at the time of lead agency's determination, including interior alterations involving such things as interior partitions, plumbing and electrical conveyances; and
3. The proposed business will provide non-traditional wholistic treatments for residents experiencing pain or other ailments in the Fairfax area not currently provided by the businesses in Fairfax; and

4. The exterior of the business is not changing architecturally.

Conditional Use Permit Findings [Town Code sections 17.032.060(A) through (D)]

- A. The approval of the proposed physical health treatment business shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment because there are other alternative health treatment businesses in the Fair-Anselm Shopping Center and Town.
- B. The development and use of property as approved under the CUP shall not significantly increase the traffic or number of people visiting the shopping center. Therefore, approval of the CUP shall not cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, or any or all of which effects are substantially beyond that which might occur without approval or issuance of the CUP.
- C. Approval of the CUP is not contrary to those objectives, goals, or standards pertinent to the particular case and contained within the 2010-2030 Fairfax General Plan or Town Code Title 17, Zoning Ordinance.
- D. Approval of the CUP will allow a physical treatment and wellness-oriented business that will complement other physical exercise businesses in the shopping center and be equal or better development of the premises than would otherwise be the case. Therefore, said approval is in the public interest and for the protection or enhancement of the general health, safety, or welfare of the community.

Conditions of Approval

Whereas, the project is approved subject to the business compliance with the following conditions:

1. The approval is based on the plans by Colin Russell received by the Town on June 29, 2023.
2. The applicants shall maintain the premises in a neat and attractive manner at all times. Such maintenance shall include, but not be limited to, exterior building materials, signage, windows, planters, outdoor furniture, the ground and the pavement surfaces.
3. The applicant shall comply with all applicable local, county, state and federal laws and regulations. Local ordinances which must be complied with include, but are not limited to: the Noise Ordinance, Chapter 8.20, Polystyrene Foam, Degradable and Recyclable Food Packaging, Chapter 8.16, Garbage and

Rubbish Disposal, Chapter 8.08, Urban Runoff Pollution Prevention, Chapter 8.32 and the Americans with Disabilities Act.

4. Any other changes made to the exterior of the building or site, including but not limited to new lighting, planters, exterior color changes, etc., shall comply with the design review regulations of the Town Code, Chapter 17.020.
5. The applicant and its heirs, successors, and assigns shall, at its sole cost and expense, defend with counsel selected by the Town, indemnify, protect, release, and hold harmless the Town of Fairfax and any agency or instrumentality thereof, including its agents, officers, commissions, and employees (the "Indemnitees") from any and all claims, actions, or proceedings arising out of or in any way relating to the processing and/or approval of the project as described herein, the purpose of which is to attack, set aside, void, or annul the approval of the project, and/or any environmental determination that accompanies it, by the Planning Commission, Town Council, Planning Director or any other department or agency of the Town. This indemnification shall include, but not be limited to, suits, damages, judgments, costs, expenses, liens, levies, attorney fees or expert witness fees that may be asserted or incurred by any person or entity, including the applicant, third parties and the Indemnitees, arising out of or in connection with the approval of this project, whether or not there is concurrent, passive, or active negligence on the part of the Indemnitees. Nothing herein shall prohibit the Town from participating in the defense of any claim, action, or proceeding. The parties shall use best efforts, acting in good faith, to select mutually agreeable defense counsel. If the parties cannot reach agreement, the Town may select its own legal counsel and the applicant agrees to pay directly, or timely reimburse on a monthly basis, the Town for all such court costs, attorney fees, and time referenced herein, provided, however, that the applicant's duty in this regard shall be subject to the Town's promptly.
6. There shall be no storage of any materials or supplies for the business outside the building.
7. Failure to comply with the conditions for Conditional Use Permit # 23-24 as herein enumerated, may result in revocation or modification of the Conditional Use Permit by the Planning Commission, in accordance with Chapter 17.024 of the Fairfax Town Code (section 17.024.090, grounds for revocation and 17.024.100, grounds for modification).
8. The applicants shall obtain a sign permits from either the staff or the Planning Commission prior to erecting any new signs as required by the Sign Ordinance, Town Code Chapter 17.064 or the previously approved Fair-Anselm Sign Program.

Marin County Environmental Health Services (EHS)

- 9. The project requires the approval of plans by the Health Department prior to issuance of the building permit for the alternative healing center.

Marin Municipal Water District (MMWD)

- 10. The property's current annual water entitlement may be insufficient for the new use. Therefore, the purchase or transfer of additional water entitlement may be required. Water service required for the proposed spa will be available upon request and fulfillment of the following requirements:
 - a. Complete a High-Pressure Water Service Application and submit it with a copy of the building permit application and the required fee.
 - b. Comply with all indoor requirements of District Code 13 Water Conservation which may require verification of specific indoor fixture efficiency compliance.

WHEREAS, the Planning Commission has reviewed the project based on the project plans and information provided in the applicant's supplemental information containing the business floor plan and description of the proposed use;

NOW, THEREFORE BE IT RESOLVED, the Planning Commission of the Town of Fairfax hereby approves the Conditional Use Permit 23-24 based on the findings and conditions of approval contained in this document. The foregoing resolution was adopted at a regular meeting of the Planning Commission held in said Town, on the 17th day of August 2023, by the following vote:

AYES:

NOES:

ABSTAIN:

Chair Cindy Swift

Attest: _____
Linda Neal,
Fairfax Principal Planner

Longevity
Fairfax Use Permit Application
Attachment page 1

Use Permit Applications – Additional information required.

- A written description of proposed use, major activities, hours of operation, number of employees on the premises during the busiest shift and when the busiest shift is expected and other information pertinent to the application.
 - *Longevity is a health-benefit service provider with a goal of providing access to the immensely sought-after equipment that does not fit in the typical home space. Using futuristic, cutting-edge technology, we aim to improve mental and physical health for all who pass through our doors. Our main goal is to provide a spa-like environment completely focused on relaxation and rejuvenation experiencing benefits such as immunity, recovery, anti-inflammatory, and regenerative properties.*

Our products and activities to take place on the premises include cold plunge pool baths with infrared sauna, red light therapy, cryotherapy, and various muscle recovery tools such as Normatec compression boots. Additional products and services adjacent to these service offerings may be added in the future, consistent with health and recovery.

Hours of operation will be:

*7am-8pm, Monday through Friday
7am-6pm, Saturday and Sunday*

Number of employees on premises during busiest shift

1-2 employees, including owner/operator

Busiest Shift is expected:

*Mornings 7-8:30am
Afternoons 12-1pm
Evenings 4-7pm*

Additional Information:

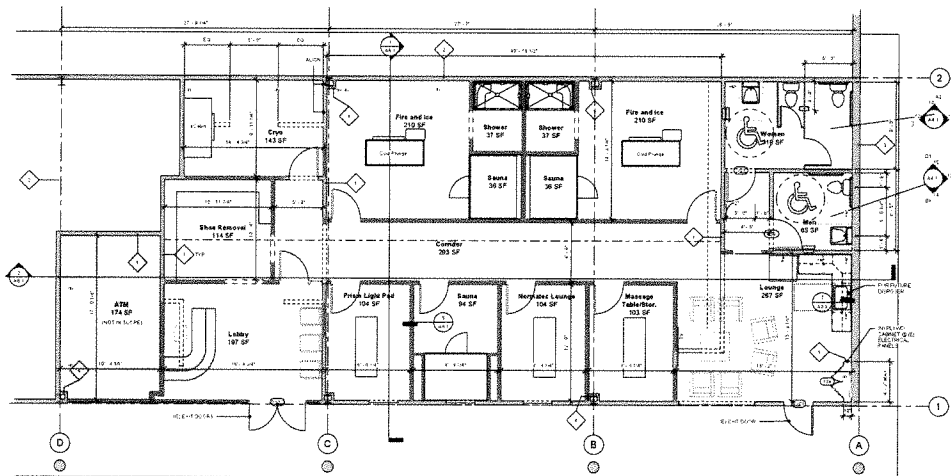
The global health and wellness market is primarily driven by the increased consumer expenditure of a wide variety of health and wellness products and services. The growing burden of physical and mental diseases such as cancer, depression, anxiety, and numerous others has a significant role in the development of the trillion dollars health and wellness industry. The rising personal disposable income, increased awareness regarding the

health and wellness products and services among the consumers, rising government expenditure on the development of sophisticated healthcare infrastructure, and desire for healthy and active lifestyle among the population are several important factors that drives the growth of the global health and wellness market.

The increased demand for healthy products and increased awareness regarding the importance of personal hygiene has boosted the growth of the personal care products globally. The sedentary lifestyle of the consumers, busy and hectic schedules and growing prevalence of various chronic diseases such as asthma, blood pressure, diabetes, cancer, arthritis, and various mental disorders are the major drivers of the health and wellness market.

Marin has a population that is very health conscientious, enjoys the outdoors, and appreciates new and tech forward options for health and recovery. This makes Longevity's business and product offerings a welcome addition to the area and health, wellness, and recovery options available to them.

- Floorplan inclusive of equipment locations:



- Customer and employee areas designated. No living areas.
- If different uses are included in this activity, for example storage, retail, living space, etc. Indicate square footage of each proposed use.
- Further information relevant to these issues and which further explain your project.

In this day and age, people are struggling to find the right fit for solutions regarding general health and maintenance of the body. Instead of cycling through different fitness trainers and health advocates, who may have a variety of approaches that may or may not work, clients can find exponential health benefits, backed by science, through equipment and services that anybody can use. Longevity's goal is to improve the length and quality of life for all those that step through our doors.

The services we offer benefit our clients in the following ways:

- *Disease prevention*
- *Increased basal metabolic rate*
- *Recovery*
- *Weight loss*
- *Cardiovascular health*
- *Cell regeneration*

The growing interest in these alternative therapies can be found across social media and will be further enhanced by the marketing and sales strategies of Longevity.

Fairfax Use Permit Application

Attachment page 2

- a. The approval of the use permit shall not constitute a grant of special privilege and shall not contravene the doctrines of equity and equal treatment.

The granting of this permit should coincide with adjacent and similar uses found in Fairfax, and more broadly in Marin. These products and services are a welcome addition for the people of Fairfax and Marin County, and businesses operating in similar capacities include:

- *Marin Family Spa - Massage, acupuncture facial and foot reflexology*
- *Almonte Spa - Massage, hot-tub, infrared sauna, Finnish sauna*
- *Resonance Marin - Facials, massage, full body treatments, ayurveda, acupuncture and infrared sauna*
- *Evo Spa - Facials, massage, cryo t-shock, detox, hydrafacial treatments and red light therapy*
- *Spa Vitale - Massage, facials and waxing*
- *9 Corners Med Spa - Acupuncture, cryo whole body, infrared sauna, massage and facials*

- b. The development and use of property, as approved under the use permit, shall not create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the use permit.

This development and use of property should NOT create a public nuisance, cause excessive or unreasonable detriment to adjoining properties or premises, or cause adverse physical or economic effects thereto, or create undue or excessive burdens in the use and enjoyment thereof, any or all of which effects are substantially beyond that which might occur without approval or issuance of the use permit. This development should BENEFIT the surrounding businesses and public by offering welcome products and services, drive customer traffic to the business and surrounding businesses, and promote health and wellbeing for the people of Fairfax and Marin County.

- c. Approval of the use permit is not contrary to those objectives, goals, or standards pertinent to the particular case and contained or set forth in any master plan, development plan or other plan or policy, officially adopted by the town.

Linda Neal

From: Joe Drimmer <joedrim@gmail.com>
Sent: Wednesday, August 9, 2023 2:43 PM
To: Linda Neal
Subject: Re: Longevity CUP

Hi Linda,

So here I'll provide a short list of our services and the time it takes to use each one. Considering cryo therapy and cold plunge are similar, we would not expect people to use both in the same day.

Cryo therapy - 15 minute appointment
Red light therapy - 30 minute appointment
Sauna/cold plunge - 45 minute appointment
Normatec compression boots - 30 minute appointment

If a client were to come in for full use of equipment, they would be there for a total of 1 hr 15 minutes of using cryo in lieu of sauna/plunge, and 1 hr 45 minutes on a day that they use sauna/plunge instead of cryo.

Hope this will suffice, happy to answer any more questions
Sent from my iPhone

> On Aug 9, 2023, at 11:01 AM, Linda Neal <lneal@townoffairfax.org> wrote:

>

> Hi Joe,

>

> So all I really need to know is the average amount of time you expect people visiting the spa will spend. The goal is to be able to show the Commission that your proposed business will not generate 100 average daily traffic trips more than were generated by the buddhist center previously located at 771 Center Blvd. I figure that if all 7 treatment rooms are used for one hour per customer for 13 hours a day, that could be a maximum number of visits to the spa of 91, which is not 100 so there is no way the business could generate 100 ADT's more than the buddhist center previously at 771 Cetner Boulevard. However, if you plan to crank people through so that you have one treatment per every 1/2 hour for a total visits per day of 182, the Commission might wasn't to have you contact a Traffic Engineer to provide actual traffic count numbers for them before they act on the requested Use Permit,

>

> So if you can tell me the average amount of time you expect most clients to spent at the spa, and whether you expect all 7 rooms to be in use constantly or do people that use the plunge pools usually warm up with a massage or light therapy after their plunge and end up staying for about an hour? That would be helpful.

>

> Linda Neal

> Principal Planner

> (415) 453-1584

>

> -----Original Message-----

> From: Joe Drimmer <joedrim@gmail.com>

> Sent: Thursday, June 29, 2023 8:44 AM

> To: Linda Neal <lneal@townoffairfax.org>

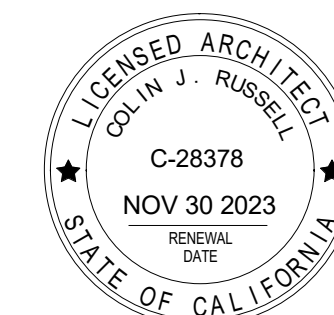
> Subject: Re: Longevity CUP

>

> Hi Linda,

Longevity Tenant Improvements

771 Center Street
Fairfax, CA 94930



Longevity Tenant Improvements - 771 Center, Fairfax, CA

771 Center Blvd.
Fairfax, CA

Project No.:	210025
Drawn By:	MP
Checked By:	CR
Issued Date:	7/11/23

Revisions		
No.	Description	Date

Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. Russell Architects must be notified of any variations from the dimensions and conditions shown by these drawings.

Sheet Title
Title Sheet

Scale: As Indicated

Sheet No:

A0

Of Sheets

GENERAL NOTES

- DESIGNS REPRESENTED BY THESE DRAWINGS ARE THE PROPERTY OF THE ARCHITECT AND WERE DEVELOPED FOR USE ON THIS PROJECT ONLY. THESE DRAWINGS AND THE DESIGNS THEY REPRESENT SHALL NOT BE USED BY OR DISCLOSED TO ANY PERSON OR FIRM OUTSIDE THE SCOPE OF THIS PROJECT WITHOUT WRITTEN PERMISSION FROM RUSSELL & DAVIS ARCHITECTS.
- THE GENERAL CONDITIONS OF THE CONTRACT FOR THE CONSTRUCTION OF BUILDINGS, PUBLISHED BY THE AMERICAN INSTITUTE OF ARCHITECTS SHALL APPLY TO AND GOVERN THE WORK OF THIS CONTRACT. A COPY OF THE GENERAL CONDITIONS, ALTHOUGH NOT BOUND HEREIN, IS AVAILABLE FOR REVIEW AT THE OFFICE OF THE ARCHITECT.
- CONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB AND SHALL NOTIFY THE ARCHITECT PROMPTLY OF ANY VARIATIONS FROM DIMENSIONS AND CONDITIONS SHOWN. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. CONSTRUCTION DETAILS NOT FULLY SHOWN OR NOTED SHALL BE SIMILAR TO DETAILS SHOWN FOR SIMILAR CONDITIONS.
- DISCREPANCIES AND INCONSISTENCIES IN CONTRACT DOCUMENTS: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE ARCHITECT IN WRITING, DURING THE BIDDING PERIOD, OF ANY INCONSISTENCIES OR OMISSIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS OR ANY VARIATIONS NEEDED IN ORDER TO CONFORM TO CODES, RULES AND REGULATIONS. UPON RECEIPT OF THIS INFORMATION, THE ARCHITECT WILL SEND WRITTEN INSTRUCTION TO ALL CONCERNED. ANY SUCH DISCREPANCY, OMISSION, OR VARIATION NOT REPORTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY CLAIMS FOR EXTRAS WILL NOT BE HONORED.
- TESTING AND INSPECTIONS: THE CONTRACTOR SHALL ARRANGE AND PAY FOR ALL TESTING AND INSPECTIONS REQUIRED BY APPLICABLE BUILDING CODES, ORDINANCES OR DIRECTIVES OF GOVERNING BUILDING OFFICIALS. THE OWNER OR ARCHITECT MAY REQUIRE TESTING OF MATERIALS FOR CONFORMANCE WITH THE CONTRACT DOCUMENTS. THE OWNER SHALL PAY ALL COSTS FOR SUCH TESTING IF THE TESTS INDICATE CONFORMANCE. THE CONTRACTOR SHALL PAY COSTS WHEN THE TESTING INDICATES NON-CONFORMANCE.
- PERMITS AND INSPECTIONS: THE OWNER SHALL PAY FOR PLAN CHECKING FEES AND BUILDING PERMITS. EACH CONTRACTOR SHALL SECURE AND PAY FOR PERMITS REQUIRED FOR THEIR WORK AND FOR ALL INSPECTIONS WHICH MAY ALSO BE REQUIRED.
- SCOPE OF WORK: THE SCOPE OF WORK FOR EACH DIVISION SHALL INCLUDE ALL LABOR, MATERIALS, APPLIANCES, EQUIPMENT AND FACILITIES NECESSARY TO DO ALL OF THE WORK INDICATED IN THE DRAWINGS AND SPECIFICATIONS. THE CONTRACTOR SHALL SUPPLY ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES OF EVERY KIND, INCLUDING WATER AND POWER, NECESSARY FOR THE PROPER EXECUTION OF THE WORK SHOWN ON THE DRAWINGS.
- ALL MATERIALS SHALL BE NEW AND UNUSED AND OF HIGH QUALITY IN EVERY RESPECT. ALL WORK TO BE DONE IN A PROFESSIONAL MANNER. MANUFACTURER'S MATERIAL, EQUIPMENT, ETC. SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS. ALL WORKERS AND SUBCONTRACTORS SHALL BE SKILLED IN THEIR TRADE.
- MATERIALS AND WORKMANSHIP WARRANTY: THE CONTRACTOR SHALL REPLACE ANY DEFECTIVE MATERIALS AND CORRECT POOR WORKMANSHIP WITH NO ADDITIONAL COST TO THE OWNER, AND SHALL REMEDY ANY DEFECTS IN MATERIAL OR WORKMANSHIP WHICH APPEAR IN ONE YEAR FROM THE DATE OF COMPLETION OF THE JOB. THIS WARRANTY APPLIES TO WORK DONE BY SUBCONTRACTORS AS WELL AS THE WORK DONE BY THE EMPLOYEES OF THE CONTRACTOR.
- SHORING: IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DESIGN AND PROVIDE ADEQUATE SHORING, BRACING AND FORMWORK AS REQUIRED FOR THE PROTECTION OF LIFE AND PROPERTY DURING THE CONSTRUCTION OF THIS BUILDING.
- BRACING: TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED TO HOLD ALL COMPONENTS OF THE STRUCTURE IN PLACE UNTIL FINAL SUPPORT IS SECURELY ANCHORED.
- SHOP DRAWINGS: CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL PRIOR TO PROCEEDING WITH FABRICATION. CONTRACTOR SHALL SUBMIT SAMPLES OF ALL NEW FINISH MATERIALS TO THE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION OR EXECUTION.
- ALL EXTERIOR DOORS SHALL BE WEATHERSTRIPPING ALL SASH AND SLIDING GLASS DOORS TO HAVE WEATHERSTRIPPING.
- ALL GLAZING SHALL COMPLY WITH CHAPTER 24, C.B.C., 2001 EDITION.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST APPLICABLE EDITION OF THE NATIONAL ELECTRICAL CODE (N.E.C.), LOCATION AND RATING OF ALL ELECTRICAL PANELS TO BE PROVIDED BY ELECTRICAL CONTRACTOR.
- SEE TITLE 24 ENERGY COMPLIANCE DOCUMENTS FOR ALL ENERGY CONSERVATION INSULATION AND FURNACE REQUIREMENTS.
- HVAC SYSTEM INCLUDING ROUGH DUCTWORK INSTALLED AS PART OF SHELL DESIGN, MECHANICAL CONTRACTOR TO DESIGN AND INSTALL A NEW INTERNAL HVAC DUCT WORK, CONTROLS, THERMOSTATS, AND ALL OTHER REQUIRED COMPONENTS. COORDINATE HVAC WORK WITH ELECTRICAL CONTRACTOR. ALL REQUIRED ENGINEERING OR DRAWINGS FOR MECHANICAL AND PLUMBING SYSTEMS TO BE PROVIDED BY LICENSED CONTRACTOR. COORDINATE DUCT LOCATIONS WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION. PROVIDE SMOKE DETECTORS WITH PRIMARY POWER FROM BUILDING WIRING WHERE SHOWN ON DRAWINGS.
- ALL REQUIRED ENGINEERING OR DRAWINGS FOR ELECTRICAL SYSTEMS TO BE PROVIDED BY LICENSED CONTRACTOR. COORDINATE ALL WORK WITH ARCHITECT PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE WATER-RESISTANT GYPSUM WALL BOARD AT ALL WET LOCATIONS, INCLUDING BATHROOMS, SHOWER ROOMS AND KITCHENS. PROVIDE CEMENT BACKER BOARD AT ALL AT ALL CERAMIC TILE SURFACES.
- ALL FIRE PROTECTION & SPRINKLER DESIGN TO BE PROVIDED BY LICENSED CONTRACTOR.

PROJECT DATA

AP # 002-131-14

APPLICABLE CODES: ALL CONSTRUCTION SHALL COMPLY w/ 2022 CBC PART 2, TITLE 24 CCR; 2022 CPC PART 5, TITLE 24 CCR; CMC PART 4, TITLE 24 CCR; CEC PART 3, TITLE 24 CCR; 2022 CFC PART 9, TITLE 24 CCR; 2022 CALIF ENERGY CODE, PART 6, TITLE 24 CCR; CALIF. GREEN BUILDING CODE, PART 11 TITLE 24 CCR; & OTHER APPLICABLE SECTIONS OF FAIRFAX MUNICIPAL CODE

OCCUPANCY: B (OFFICE/RETAIL)

CONSTRUCTION TYPE: UNKOWN (ASSUMED TYPE VN)

NUMBER OF STORIES: 2

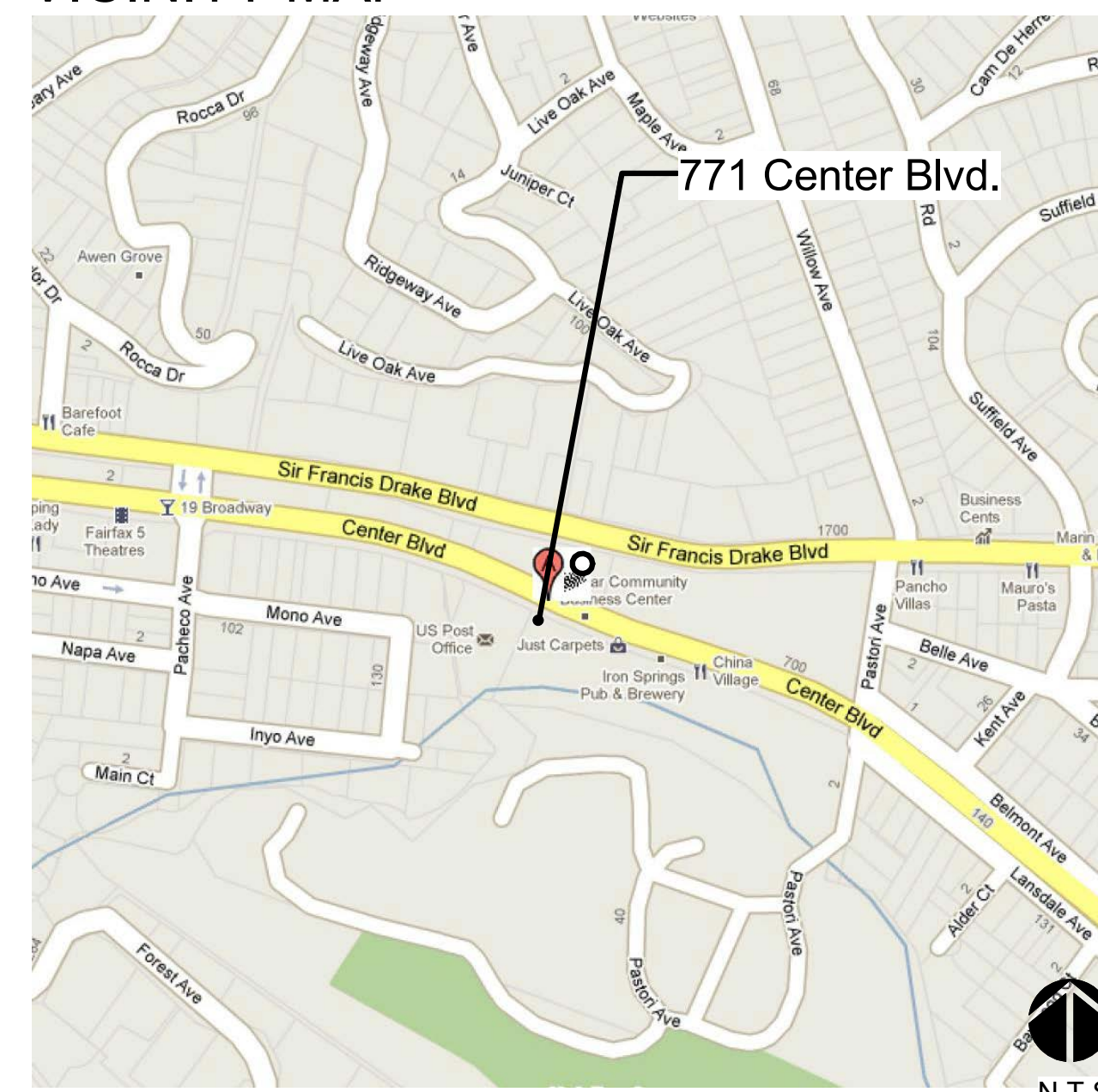
FIRE SPRINKLERS: NO - NOT REQUIRED

FIRE EXTINGUISHERS: TO BE LOCATED AS SHOWN AND NOT TO BE SEPARATED BY A DISTANCE GREATER THAN A 74' RADIUS FOR EACH SERVICE AREA

ACCESSIBILITY: ARCHITECT STIPULATES THAT EXISTING PATH OF TRAVEL COMPLIES w/ TITLE 24 ACCESSIBILITY.

MAXIMUM TRAVEL DISTANCE TO EXITS: 60 FEET (250 FEET ALLOWED)

VICINITY MAP



PROJECT DIRECTORY

OWNER
Magna Real Estate
PO Box 633
Ross, CA 94957
PH: (415) 4596149
Cell: (415) 302-8888
CONTACT: Richard Hall
E-MAIL: richrick@yahoo.com

ARCHITECT
Russell Architects
1430 4th Street
San Rafael, CA 94901
PH: (415) 686-1594
CONTACT: Colin Russell
E-MAIL: crussell@russarch.net

GENERAL CONTRACTOR
TBD

SCOPE OF WORK

INTERIOR TENANT IMPROVEMENTS TO AN EXISTING RETAIL SHELL BUILDING

SHEET INDEX

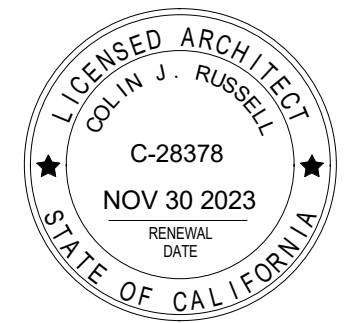
A0	Title Sheet
A1.0	Site Plan, Project Notes
A2.1	Level 1 Floor Plan
A5.1	Exterior Elevations and Signage
A6.1	Building Sections

SYMBOL LEGEND

EXTERIOR ELEVATION :		EXTERIOR ELEVATION NUMBER
		SHEET WHERE ELEVATION OCCURS
		WALL DESIGNATION NUMBER
INTERIOR ELEVATION :		SHEET WHERE ELEVATION OCCURS
WALL SECTION:		WALL SECTION NUMBER
		SHEET WHERE SECTION OCCURS
DETAIL BUBBLE:		DETAIL NUMBER
		SHEET WHERE DETAIL OCCURS
DETAIL SECTION:		DETAIL NUMBER
		SHEET WHERE DETAIL OCCURS
KEYNOTE:		KEYNOTE NUMBER - NUMBER CORRESPONDS TO NUMBER IN KEYNOTE LEGEND
WORKING POINT:		ELEVATION TARGET OR WORKING POINT
DOOR KEY:		DOOR NUMBER
WALL TYPE TAG:		TYPE REFERENCE

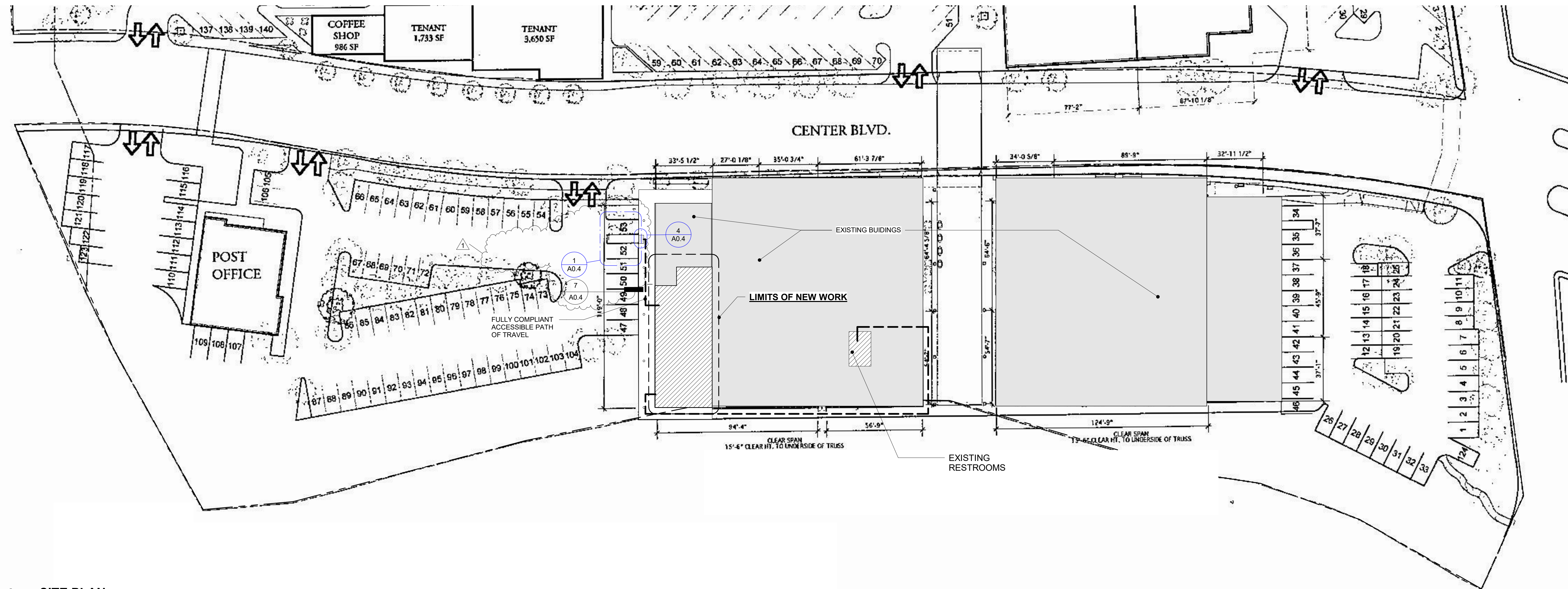
ABBREVIATIONS

&	AND	GALV.	GALVANIZED	R	RADIUS
(E)	EXISTING	GEN.	GENERAL	R.C.P.	REFLECTED CEILING PLAN
(N)	NEW	GRP.	GROUP	REF.	REFERENCE
@	AT	G.W.B.	GYPSUM WALL BOARD	REQD	REQUIRED
AC	AIR CONDITIONING	GYP.	GYPSUM	REV.	REVISION
ADD.	ADDENDUM	H.C.	HANDICAPPED OR	RM.	ROOM
A.F.F.	ABOVE FINISHED FLOOR	H.M.	HOLLOW CORE	S	SOUTH
ARCH.	ARCHITECT OR ARCHITECTURAL	H.V.A.C.	HOLLOW METAL HEATING, VENTILATION & AIR CONDITIONING	S.C.	SOLID CORE
B.O.	BOTTOM OF			S.F.	SQUARE FOOT/FEET OR STOREFRONT
B.O.H.	BACK OF HOUSE	HWDR.	HARDWARE	S.S.	STAINLESS STEEL
BD.	BOARD	HR.	HOUR	SCH.	SCHEDULE
BLDG.	BUILDING	HT.	HEIGHT	SECT.	SECTION
BULL.	BULLETIN	IN.	INCH(ES)	SHT.	SHEET
C.L.	CENTER LINE	INT.	INTERIOR	SIM.	SIMILAR
C.O.	CLEAN OUT	LL.	LANDLORD OR	SPEC.	SPECIFICATION (S)
CLG.	CEILING	LAV.	LEASE LINE	SQ.	SQUARE
CLR.	CLEAR	LBS.	POUNDS	S.S.D.	SEE STRUCTURAL DRAWINGS
C.M.U.	CONCRETE MASONRY UNIT	M.D.F.	MEDIUM DENSITY FIBERBOARD	STD.	STANDARD (S)
COL.	COLUMN	MACH.	MACHINE	STOR.	STORAGE
CONC.	CONCRETE	MAX.	MAXIMUM	STRUCT.	STRUCTURAL
CONT.	CONTINUOUS	MECH.	MECHANICAL	SUSP.	SUSPENDED
COORD.	COORDINATE	MEZZ.	MEZZANINE	T.B.D.	TONGUE AND GROVE TO BE DETERMINED
CORR.	CORRIDOR	MFG.	MANUFACTURER	T.O.	TOP OF
CUB.	CUBIC	MGR.	MANAGER	TEL.	TELEPHONE
DEMO.	DEMOLITION	MIN.	MINIMUM	TEMP.	TEMPERED
DIA.	DIAMETER	MTD.	MISCELLANEOUS	TYP.	TYPICAL
DTL.	DETAIL	MTL.	MOUNTED	U.B.C.	UNIFORM BUILDING CODE
DWG(S).	DRAWING(S)	N	NORTH	U.S.	UNDER SIDE UNLESS OTHERWISE NOTED
E	EAST	N.T.S.	NOT TO SCALE	VCT.	VINYL COMPOSITION TILE
ELEC.	ELECTRIC OR ELECTRICAL	N/A	NOT APPLICABLE	VEST.	VESTIBULE
ELEV.	ELEVATION	NIC	NOT IN CONTRACT	VIF	VERIFY IN FIELD
EQ.	EQUAL	NO. OR #	NUMBER	W	WEST
ETC.	ETCETERA	O.D.	ON CENTER	W.H.	WATER HEATER
F.T.	FIRE TREATED	O/I	OUTSIDE DIAMETER	W/O	WITHOUT
FIN.	FINISH OR FINISHED	OPP.	OPPOSITE	WT.	WOOD
FKT.	FIXTURE	PART.	PARTITION	W.	WEST
FLR.	FLOOR	PJ	PROJECT	W/O	WITHOUT
FT.	FOOT / FEET	PLUMB.	PLUMBING	W.	WEST
GA.	GAUGE	PLYWD.	PLYWOOD	W/O	WITHOUT



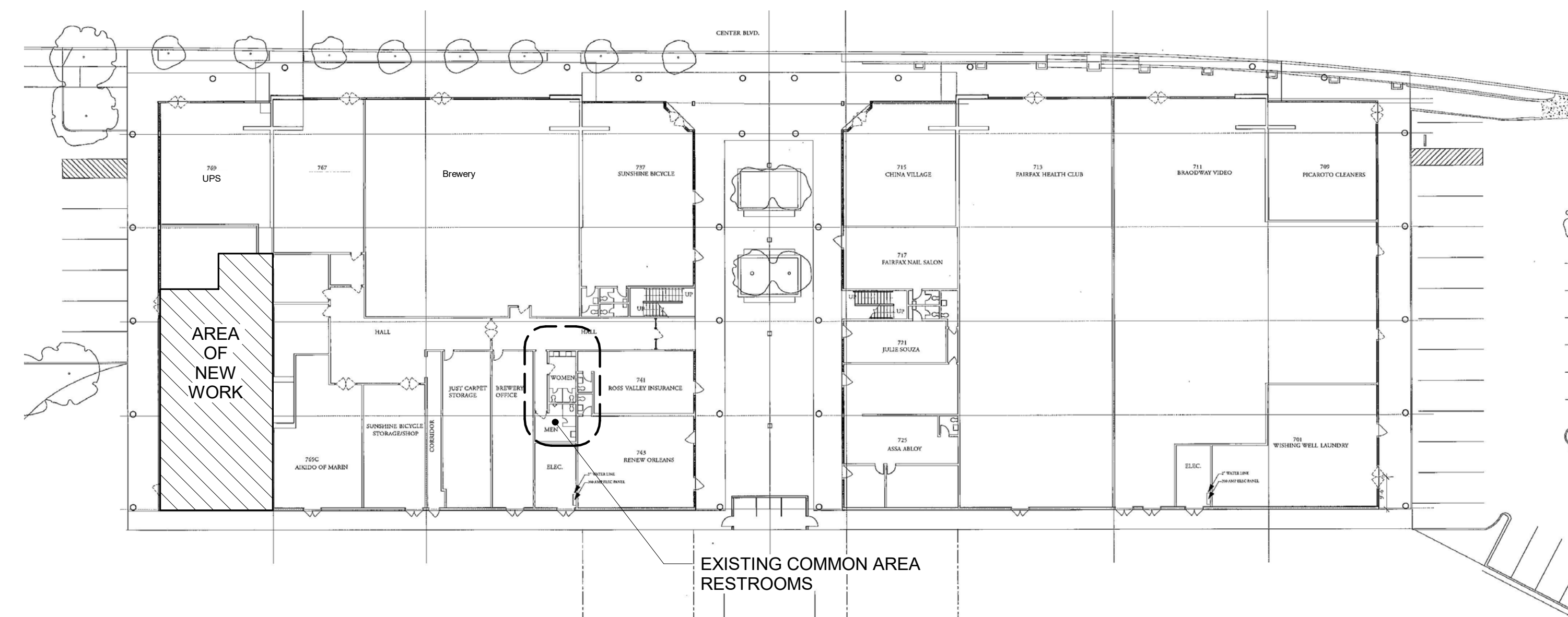
Longevity Tenant Improvements - 771 Center, Fairfax, CA

771 Center Blvd.
Fairfax, CA



1 SITE PLAN

1" = 30'-0"



2 Building Plan with Restrooms

1" = 1'-0"

Project No.:	210025
Drawn By:	CR, MP
Checked By:	CR
Issued Date:	7/11/23

No.	Description	Date
1	Plan Check Response	2/8/2010

Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. Russell Architects must be notified of any variations from the dimensions and conditions shown by these drawings.

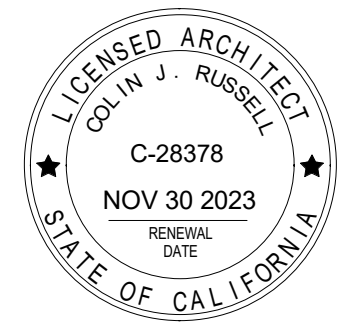
Sheet Title
Site Plan, Project Notes

Scale: As indicated

Sheet No:

A1.0

Of Sheets



**Longevity Tenant
Improvements - 771
Center, Fairfax, CA**

771 Center Blvd.
Fairfax, CA

Project No.: 210025
Drawn By: CR, MP
Checked By: CR
Issued Date: 7/1/23

Revisions		
No.	Description	Date

Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. Russell Architects must be notified of any variations from the dimensions and conditions shown by these drawings.

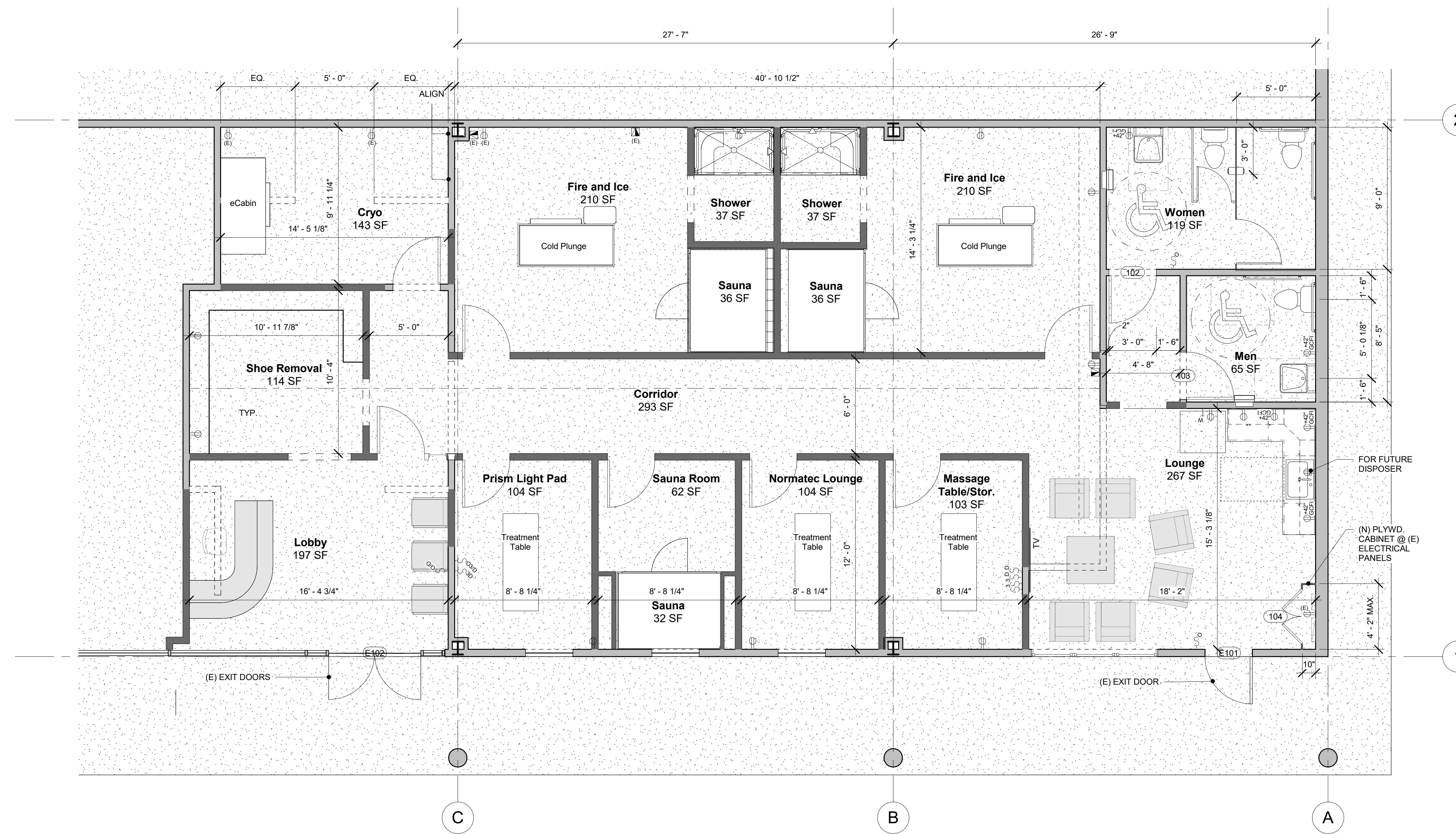
Sheet Title
Level 1 Floor Plan

Scale: 1/4" = 1'-0"

Sheet No:

A2.1

Of Sheets



WALL LEGEND

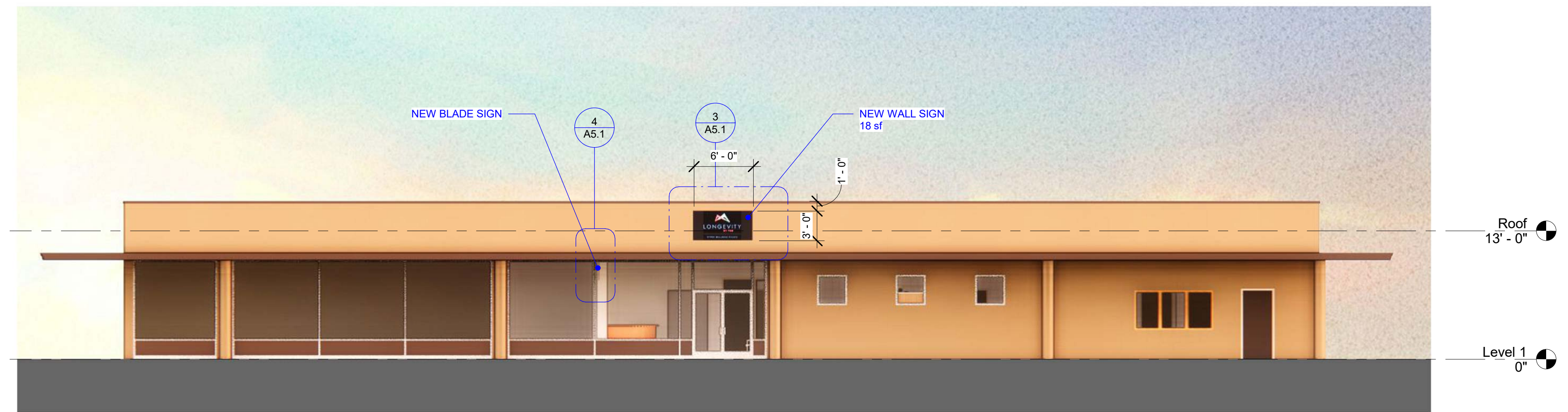
- NEW WALL - 3-5/8" MTL. STUDS W/ 5/8" GWB BOTH SIDES, FLOOR TO STRUCTURE ABOVE
- EXISTING WALL TO REMAIN
- EXISTING FURRING - 2 1/2" METAL STUDS W/ 5/8" GWB ONE SIDE

1 Level 1

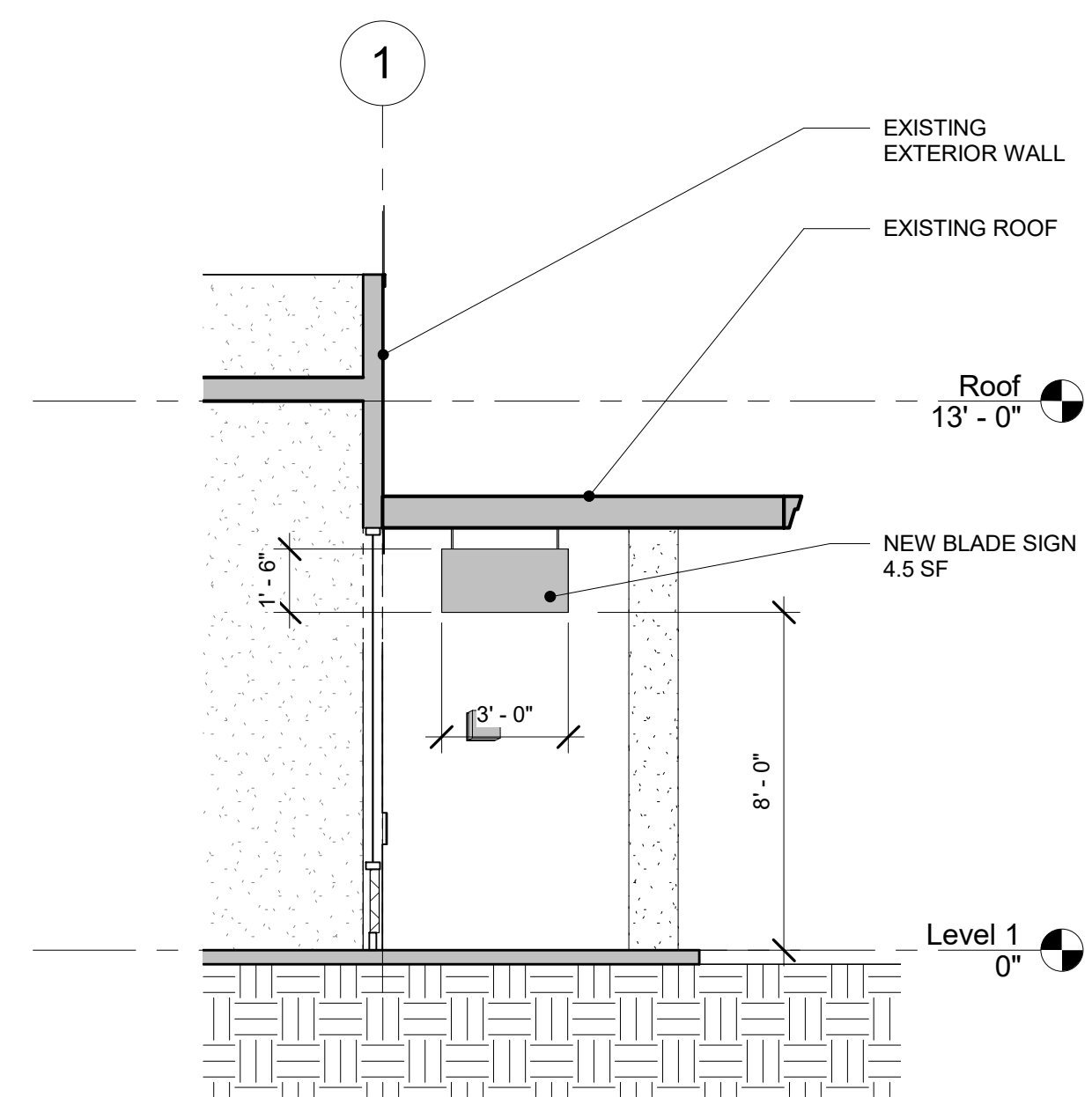
1/4" = 1'-0"



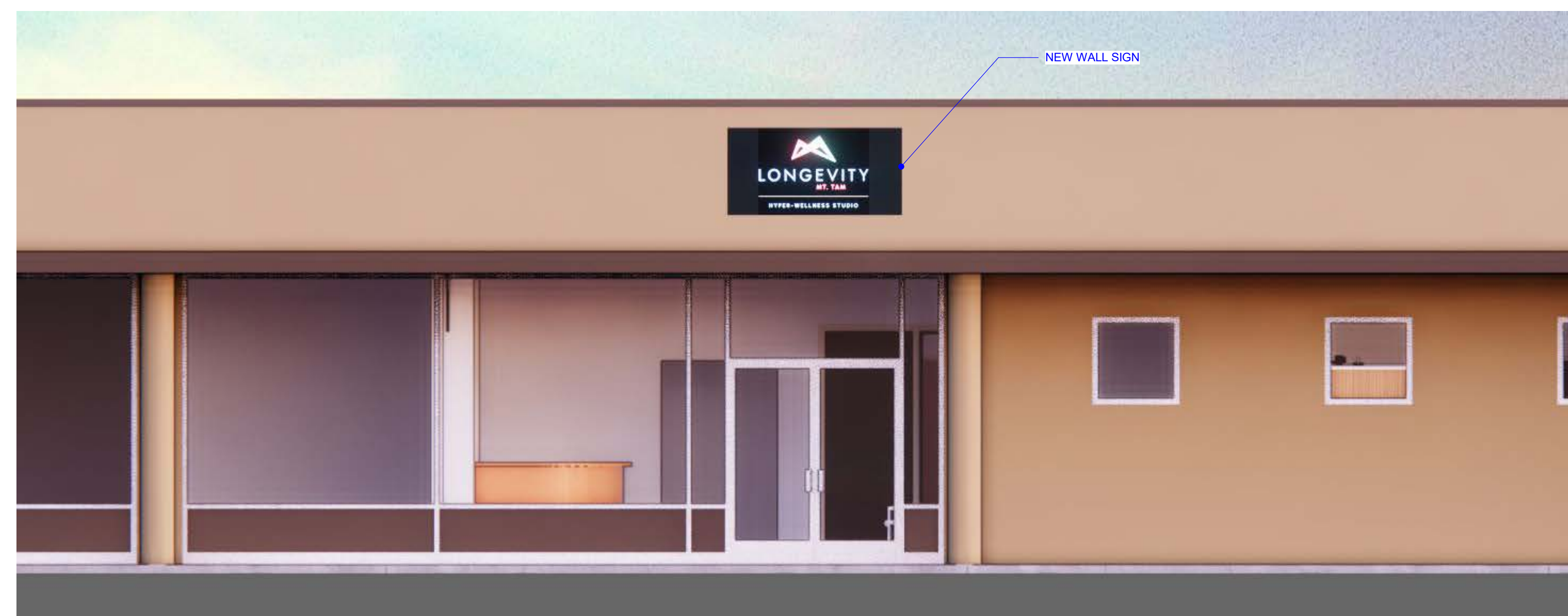
1 West Elevation Existing 1/8" = 1'-0"



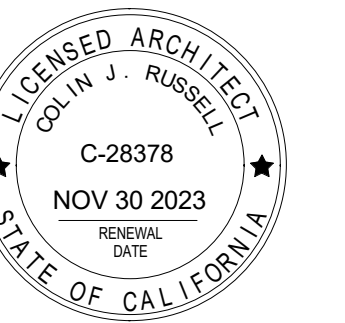
2 West Elevation Proposed 1/8" = 1'-0"



4 Blade Sign Elevation 1/4" = 1'-0"



3 New wall sign 1/2" = 1'-0"



Longevity Tenant Improvements - 771 Center, Fairfax, CA

771 Center Blvd.
Fairfax, CA

Project No.:	210025
Drawn By:	MP
Checked By:	CR
Issued Date:	7/11/23

Revisions		
No.	Description	Date

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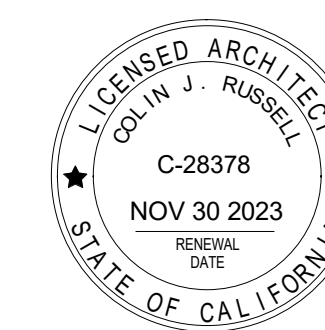
Sheet Title
Exterior Elevations and Signage

Scale: As indicated

Sheet No:

A5.1

Of Sheets



**Longevity Tenant
Improvements - 771
Center, Fairfax, CA**

771 Center Blvd.
Fairfax, CA

Project No.:	210025
Drawn By:	Author
Checked By:	Checker
Issued Date:	7/1/23

Revisions

Material herein is for use by authorized contractors, bidders and subcontractors in connection with this project only. All dimensions on these drawings shall take precedence over scaled dimensions. Contractors shall be responsible to verify all dimensions and conditions on the job. Russell Architects must be notified of any variations from the dimensions and conditions shown by these drawings.

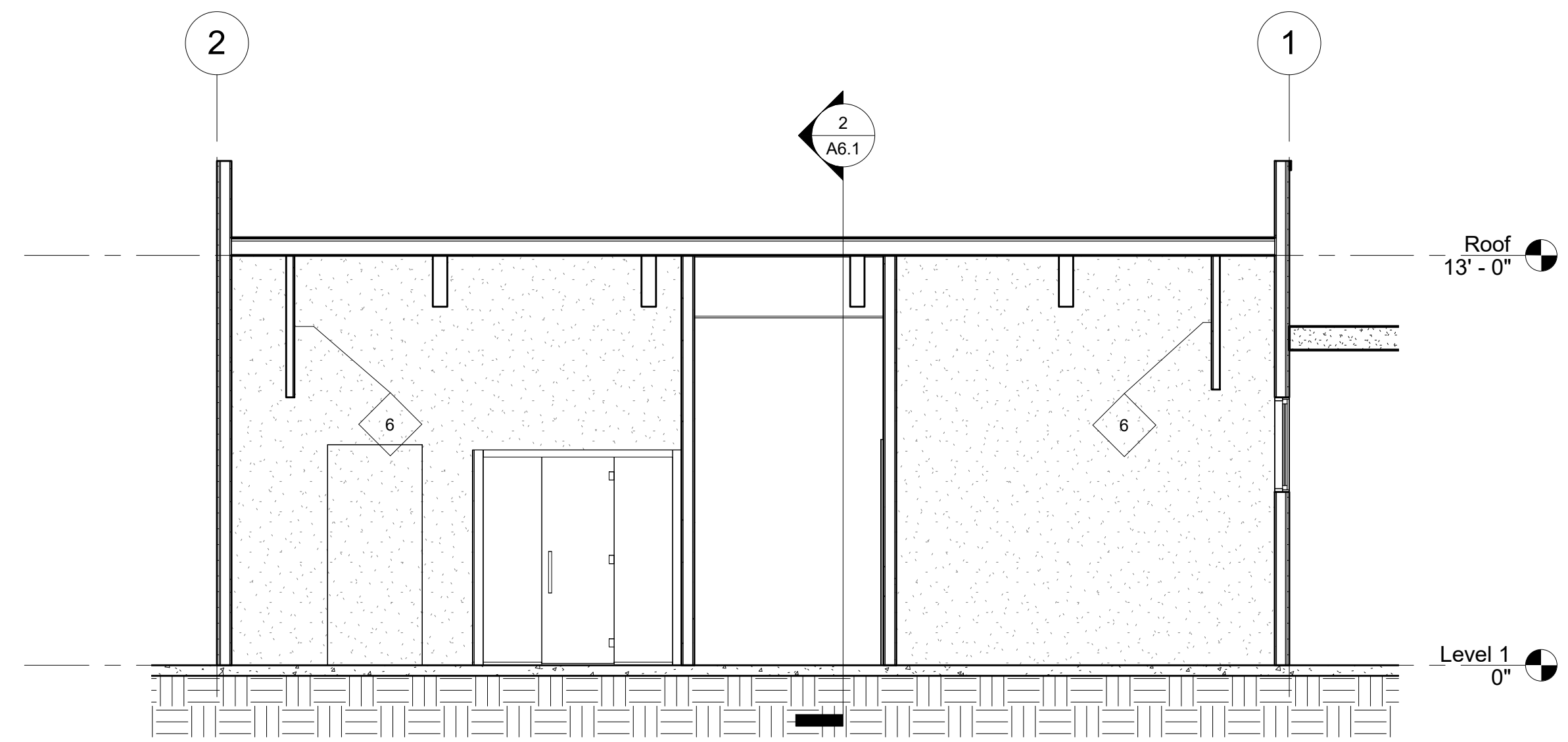
Sheet Title
Building Sections

Scale: 1/4" = 1'-0"

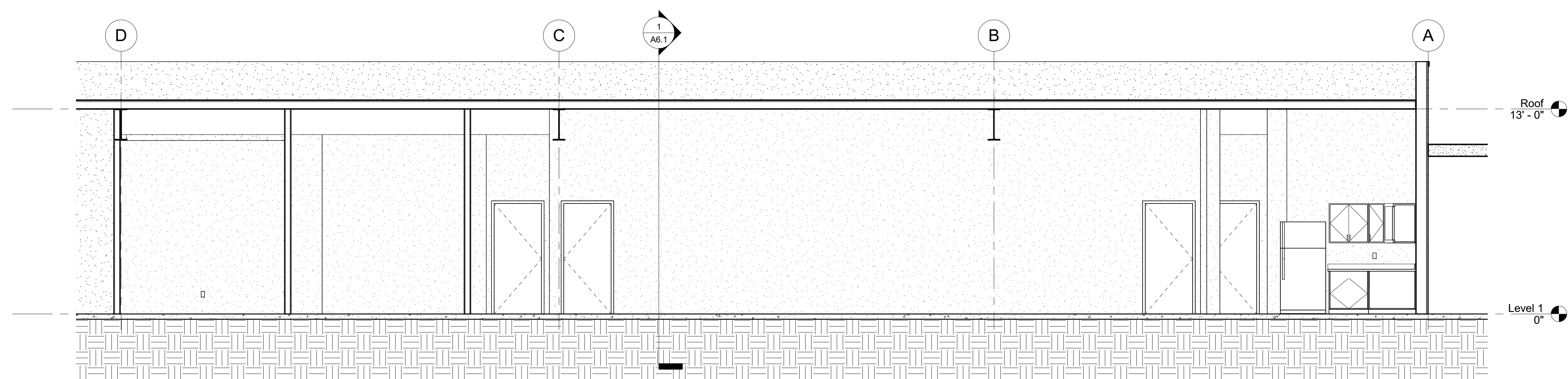
Sheet No.:

A6.1

Of Sheets



1 Section 1 1/4" = 1'-0"



2 Section 2 1/4" = 1'-0"